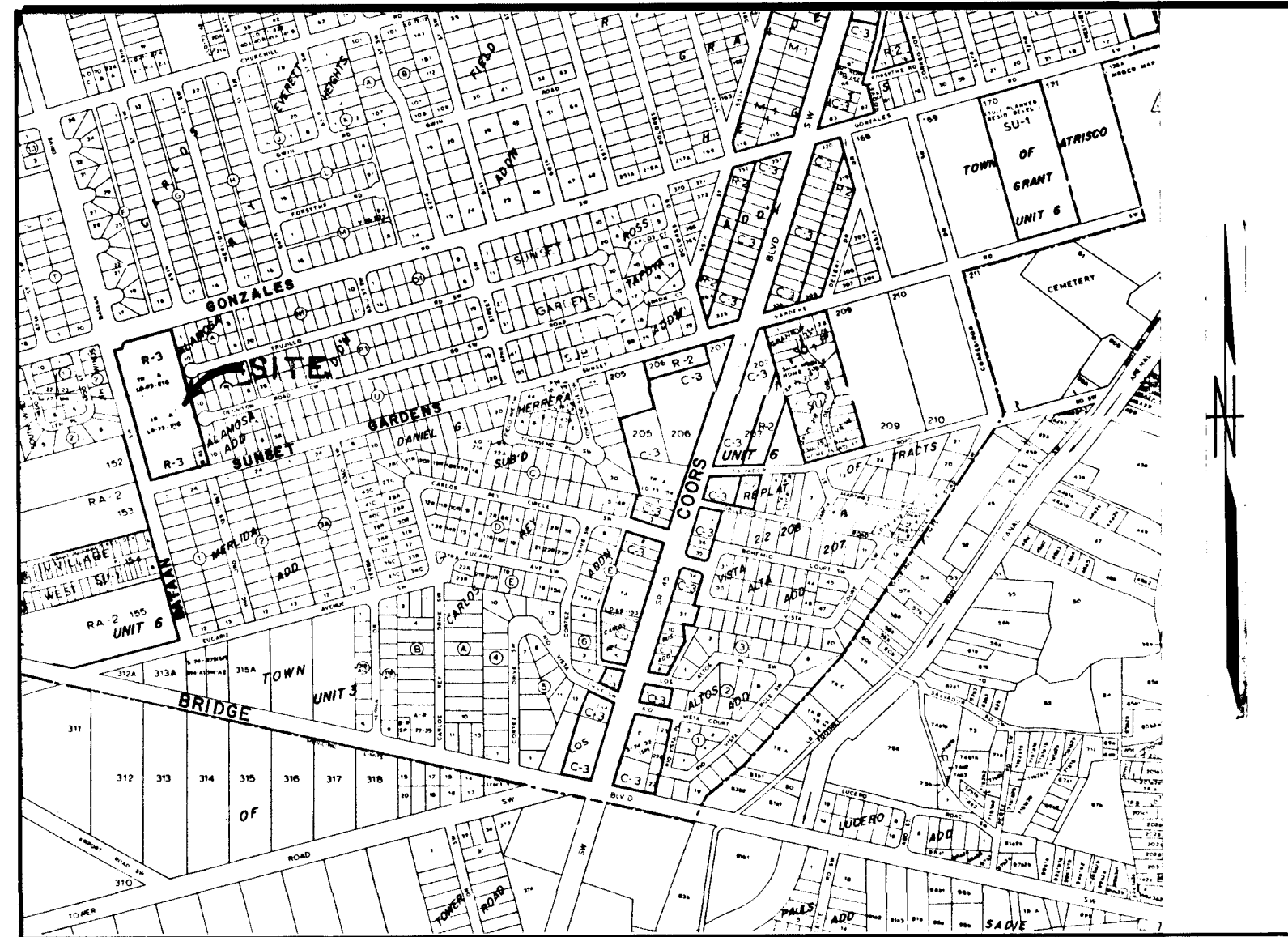




VICINITY MAP

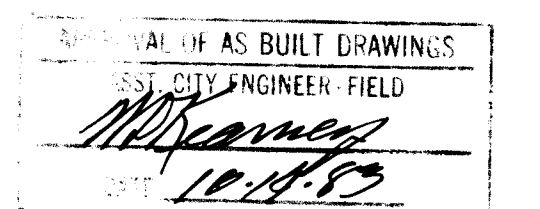


SUNSET GARDENS TOWNHOMES

INDEX TO DRAWINGS

I	COVER
2	PLAT
3	GRADING / DRAINAGE PLAN
4	MASTER PAVING AND UTILITY PLAN
5-7	PAVING PLAN & PROFILES
8-10	UTILITY PLAN & PROFILES
II	GRADING DETAILS

26 11 39 01 83



APPROVED BY: Richard S. Hill
CITY ENGINEER

5/15/81
DATE



SUNSET GARDENS TOWNHOMES

NOTES

- DENOTES PERMANENT INTERNAL CONTROL MONUMENTS TO BE SET AT KEY INTERSECTIONS. PERMANENT MONUMENTS BEING NOTCHED RANHOLE, 1/2" DIA. PLUSH. CONCRETE MONUMENTS WITH 3/8" STEEL RODS, "MAN-RODS" ON L NOTCHED FOR LINE ONLY.
- BEARINGS SHOWN HEREON ARE BASED ON THE NEW MEXICO STATE PLANE COORDINATE GRID, CENTRAL ZONE.
- R = RADIUS, L = ARC LENGTH, T = TANGENT
- UNLESS OTHERWISE INDICATED, LOT LINES ARE PERPENDICULAR OR RADIAL TO STREET RIGHT-OF-WAY LINES.
- R/R INDICATES NON-RADIAL.
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS, GROUND DISTANCES.
- ALL CURVED DIMENSIONS ARE GIVEN ALONG THE ARC.
- ALL RETURNS HAVE 25' RADII UNLESS OTHERWISE NOTED.
- EXISTING EASEMENTS AS SHOWN TO REMAIN. LAYOUT OF OTHER EXISTING EASEMENTS NOT PERMANENT TO THIS PLAT. LAYOUT WILL BE INDICATED BY SEPARATE DOCUMENT BY THE SEPARATE UTILITIES.

APPROVALS

PROPERTY MANAGEMENT, CITY OF ALBUQUERQUE, NEW MEXICO

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO

TRACER ENGINEERING, CITY OF ALBUQUERQUE, NEW MEXICO

PARKS & RECREATION DEPT., CITY OF ALBUQUERQUE, NEW MEXICO

CHIEF SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO

WATER RESOURCES DEPT., CITY OF ALBUQUERQUE, NEW MEXICO

A.M.A.F.C.A.

MOUNTAIN BELL TELEPHONE CO.

PUBLIC SERVICE COMPANY OF NEW MEXICO

GAS COMPANY OF NEW MEXICO

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY SUBSECTION 22.A.20 OF THE ALBUQUERQUE SUBDIVISION ORDINANCE.

PLANNING DEPT., CITY OF ALBUQUERQUE, NEW MEXICO

PLAT PREPARED BY: Conant & Lemoine inc.

FILED March 27, 1981

Plat No. S-80-51

APPROVED: K-II-B L-II

DATE OF SURVEY: 10-6-80

DEVELOPER: SANCHEZ CONSTRUCTION INC. 9998 MONTGOMERY N.E. ALBUQUERQUE, N. MEX. 292-4363

TOTAL ACRES: 4.7131

NO. OF LOTS: 71

MILES OF STREET CREATED: 0.1507

FULL WIDTH STREETS: NONE

HALF WIDTH STREETS: NONE

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

ON THIS 14th DAY OF January, 1981, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME.

MY COMMISSION EXPIRES August 25, 1984

Notary Public

8-25-84

SURVEYOR'S CERTIFICATE

I, STEPHEN E. WALKER, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, AND THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THIS PLAT INCLUDES ALL EASEMENTS OF RECORD.

Stephen E. Walker

STEPHEN E. WALKER, N.M.L.S. NO. 6401

DATE: 1/12/81

FREE CONSENT AND DEDICATION

THE SUBDIVISION OF THE LAND HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS AND PROPRIETORS THEREOF, AND SAID OWNERS AND PROPRIETORS DO HEREBY DEDICATE THE PUBLIC RIGHTS-OF-WAY SHOWN HEREON, TOGETHER WITH ALL EASEMENTS SHOWN ON THIS PLAT, POWER, COMMUNICATION EASEMENTS ARE RESERVED WHERE SHOWN BY DASHED LINES, BEING 14 FEET IN WIDTH CENTERED ON REAR LOT LINES AND 10 FEET IN WIDTH CENTERED ON THE SIDE LOT LINES EXCEPT AS NOTED, INCLUDING THE RIGHT OF INGRESS AND EGRESS, AND THE RIGHT TO TRIM INTERFERING TREES.

THE OWNER CERTIFIES THAT HE IS AWARE THAT AMAFCA'S APPROVAL HEREIN IS SUBJECT TO THE CONDITION THAT ANY AND ALL DEVELOPMENT OF THE PROPERTY WITHIN THIS SUBDIVISION, AND ANY AND ALL CONSTRUCTION TO BE UNDERTAKEN THEREON, SHALL BE SUBJECT TO OBTAINING THE FURTHER AND PRIOR APPROVAL OF AMAFCA, AND THAT SUCH DEVELOPMENT AND CONSTRUCTION IS IN FULL CONFORMITY WITH ALL APPLICABLE RULES, REGULATIONS AND REQUIREMENTS OF AMAFCA.

WILLIAM SANCHEZ, PRESIDENT SANCHEZ CONSTRUCTION INC.

DATE

SECRETARY SANCHEZ CONSTRUCTION INC.

DATE

FILED March 27, 1981

Plat No. S-80-51

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DATE

SECRETARY SANCHEZ CONSTRUCTION INC.

DATE



SUNSET GARDENS TOWNHOMES
ALBUQUERQUE, NEW MEXICO
January, 1981

SUBDIVISION PLAT

LEGAL DESCRIPTION

A tract of land situate within the City of Albuquerque, Bernalillo County, New Mexico, being a portion of Tract "A" of the Redivision of Tract 156; Unit No. 6; Portions of Tracts Allotted from the Town of Atrisco Grant, filed April 19, 1973, Book A4-117; together with a previously dedicated portion of Bataan Drive right-of-way no longer required by the City of Albuquerque, and being more particularly described as follows: Beginning at the northeast corner of the parcel herein described; said northeast corner being identical to the northeast corner of said Tract "A" and also the northwest corner of Lot 1, Block "A" of the Alamosa Addition; filed December 21, 1961, Bk C-5, Pg. 94 and also being a point on the southerly right-of-way line of Gonzales Road SW; thence S15°06'00"W; 594.00 feet to a point; thence S74°54'00"W; 61.00 feet to a point; thence S15°06'00"E; 100.00 feet to the southeast corner of the parcel herein described, said southeast corner being identical to the southeast corner of said Tract "A"; and also being a point on the northerly right-of-way line of Sunset Gardens Road SW; thence S74°54'00"W; 219.00 feet along said right-of-way line to a point of curvature; thence

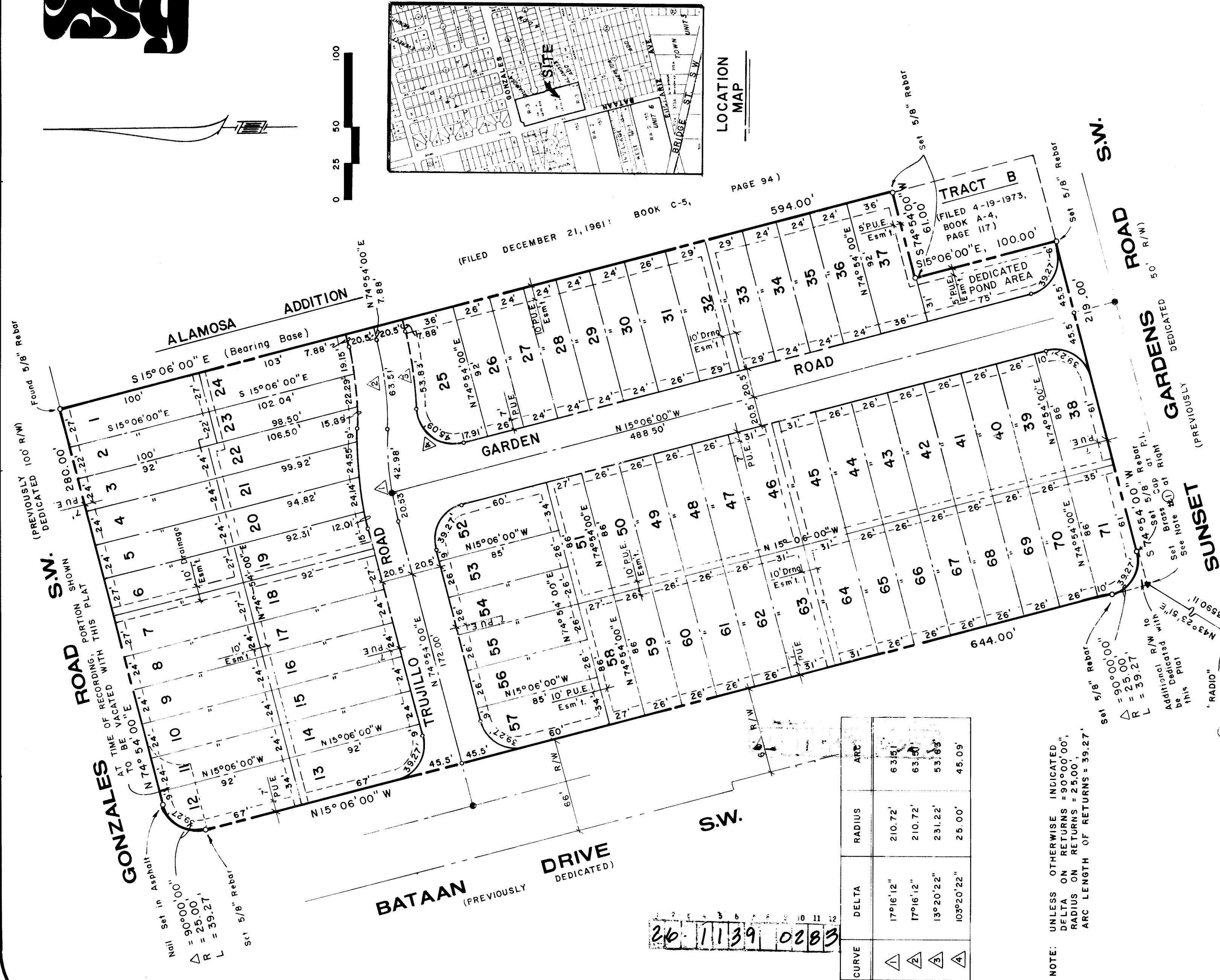
39.27 feet along the arc of a curve to the right, having a radius of 25.00 feet through a central angle of 90°00'00" to a point of tangency; said point being on the easterly right-of-way line of Bataan Drive SW; thence N15°06'00"W; 644.00 feet along said right-of-way line to a point of curvature; thence

39.27 feet along the arc of a curve to the right, having a radius of 25.00 feet, through a central angle of 90°00'00" to a point of tangency; said point being on the southerly right-of-way of Gonzales Road SW; thence N74°54'00"E; 280.00 feet along said right-of-way line to the northeast and beginning corner of the parcel herein described and containing 4.7131 acres, more or less.

NOTES
① Set Brass Cup at P.I.
X = 363,075.61
Y = 1,481,755.21
Δ = 0°15'47.47"
C. Factor = 0.9996808

② "RADIO"
X = 360,609.79
Y = 1,479,147.45
Δ = 0°16'03.44"
C. Factor = 0.9996788

③ Rotate Local Bearings Shown Clockwise 0°07'27" To State Plane Bearing System
Sheet 1 of 2



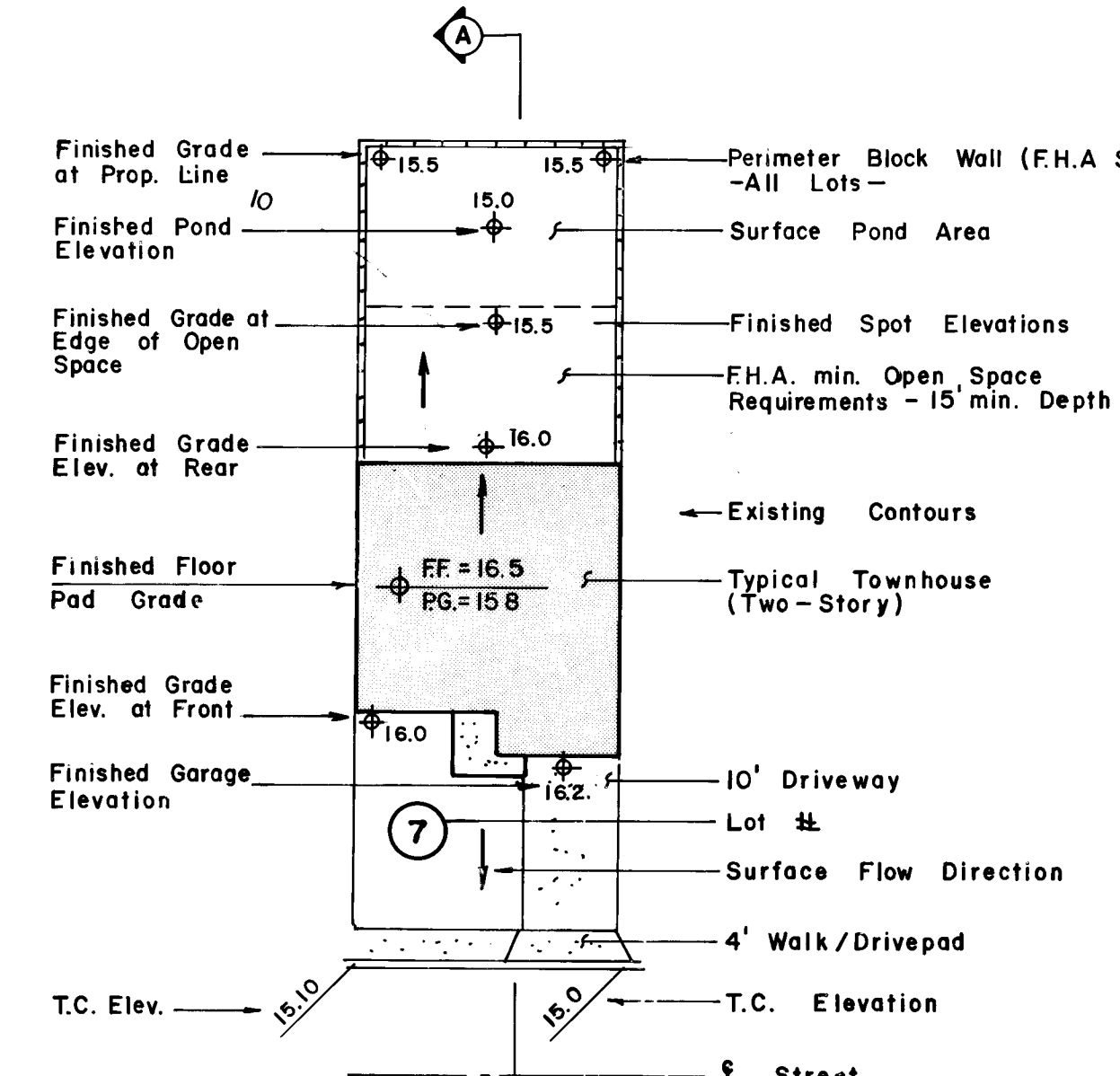
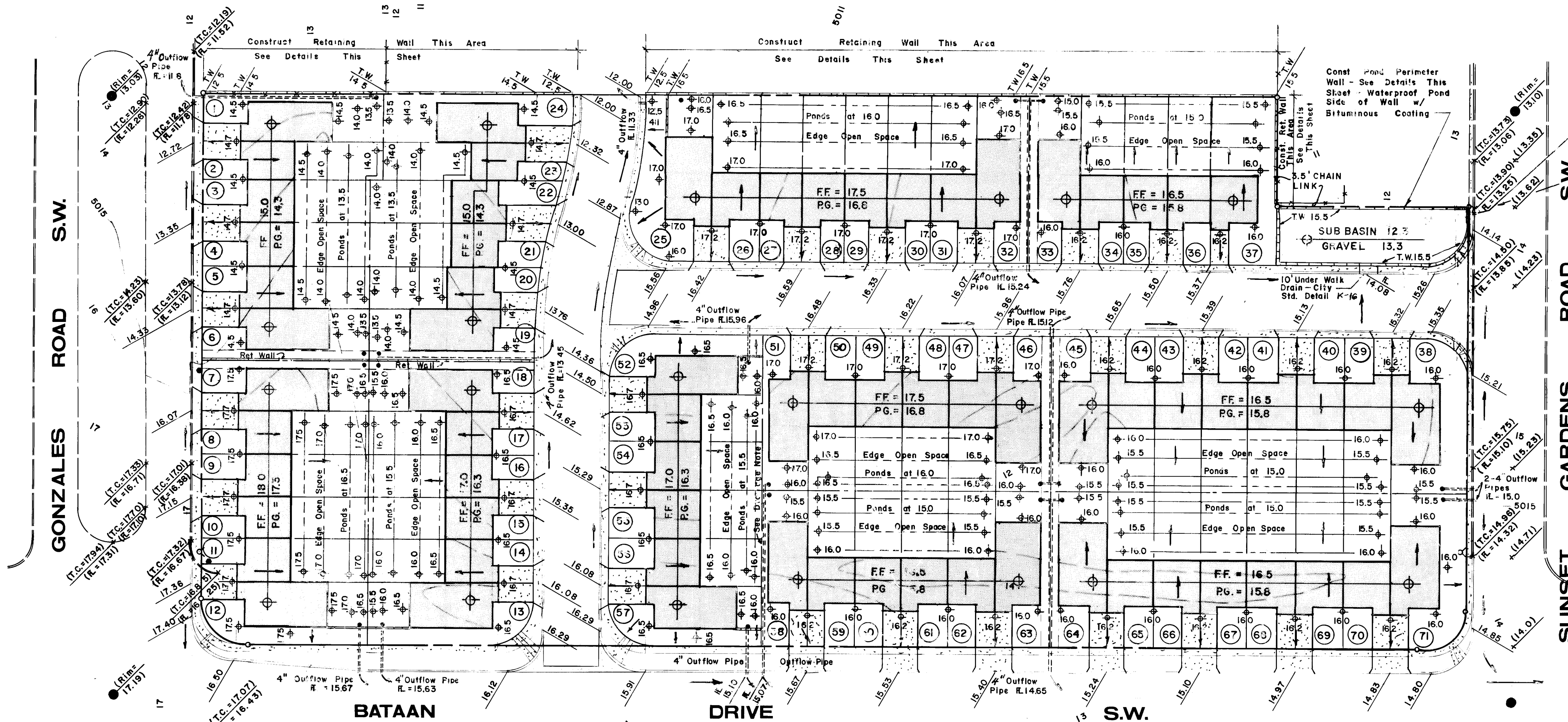
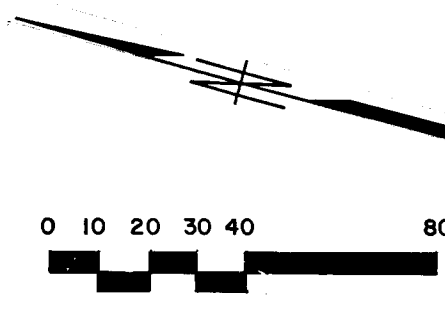
CURVE	DELTA	RADIUS	ARC
△	17°08'12"	210.72'	63.81'
△	17°08'12"	210.72'	63.81'
△	13°20'52"	231.22'	53.83'
△	103°20'22"	25.00'	45.09'

NOTE: UNLESS OTHERWISE INDICATED DELTA ON RETURNS = 90°00'00", RADIUS ON RETURNS = 2500', ARC LENGTH OF RETURNS = 39.27'

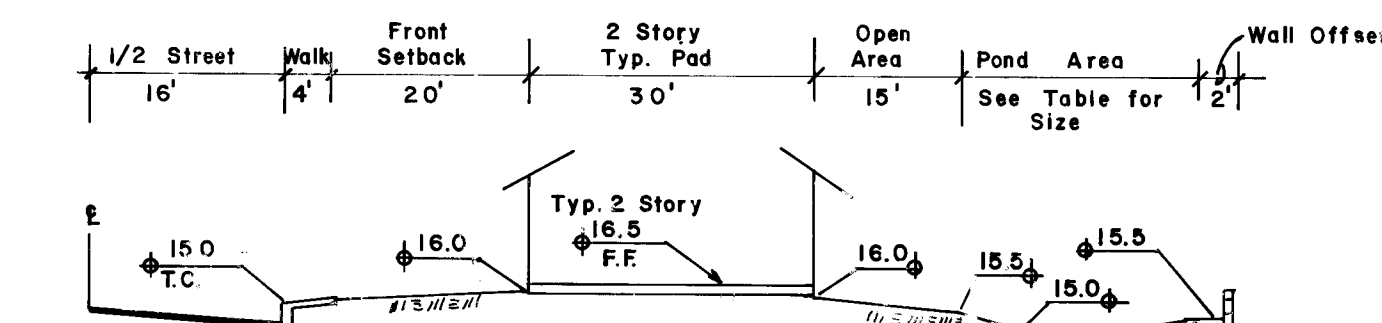
NOTES

DRAINAGE — Refer to Drainage Report for Pond Capacity Calculations
 — Hold Top Edges of All Surface Ponds 1' min. from Rear & Side Yard Walls at 15' from Any Building
 — Max. Depth of Surface Ponds = 0.5' w/2.1 s.s.
 — Const. Block Perimeter Wall Along the North Side of Lots 51 & 56 2'-0" min. Below Finished Grade and Waterproof Pond Side of Wall Full Depth
 — Extend All Outflow Pipes Under Walls & Thru Curb of Adjacent Street. Grout Opening Around Pipe where Concrete is Removed for Pipe.

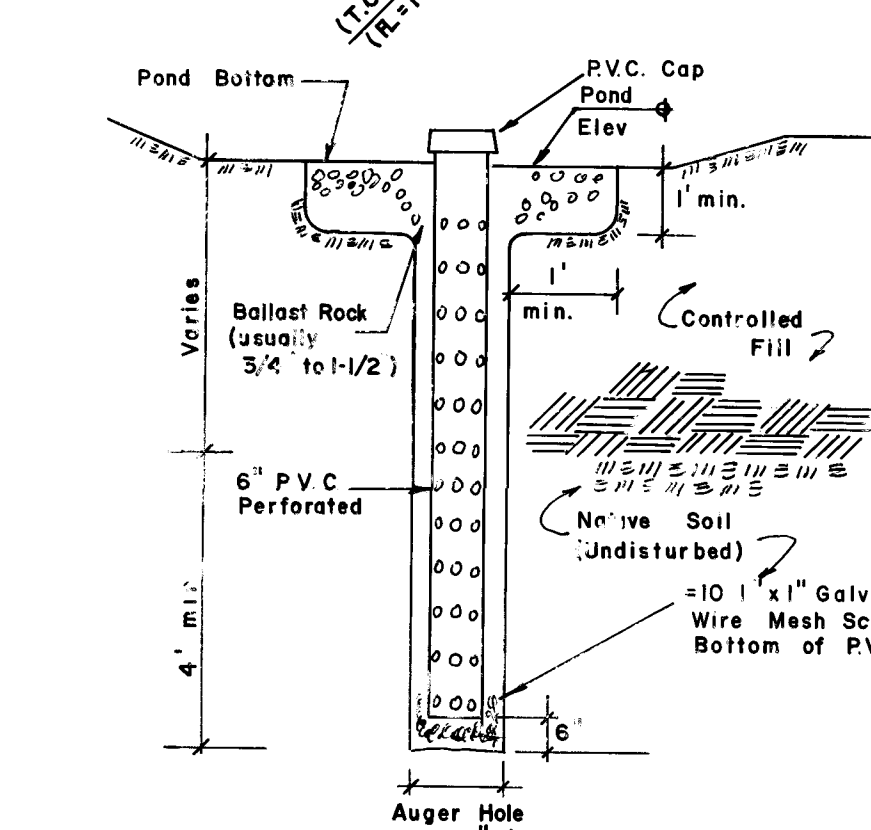
SOILS — Refer to Soils Report for Controlled Earthfill Specs.
GRADING — Lot Grading shall be in Accordance with F.H.A. M.P.S. & applicable requirements. Interior Lot Retaining walls, terracing, steps & rails, etc., shall be constructed if required to meet lot grading requirements. Diversion walls, water retention walls & retaining walls shall be constructed where required to meet lot grading requirements & in conformance with the recorded Protective Covenants. All drainage requirements, on or off site, shall be fulfilled prior to request for final mortgage insurance.



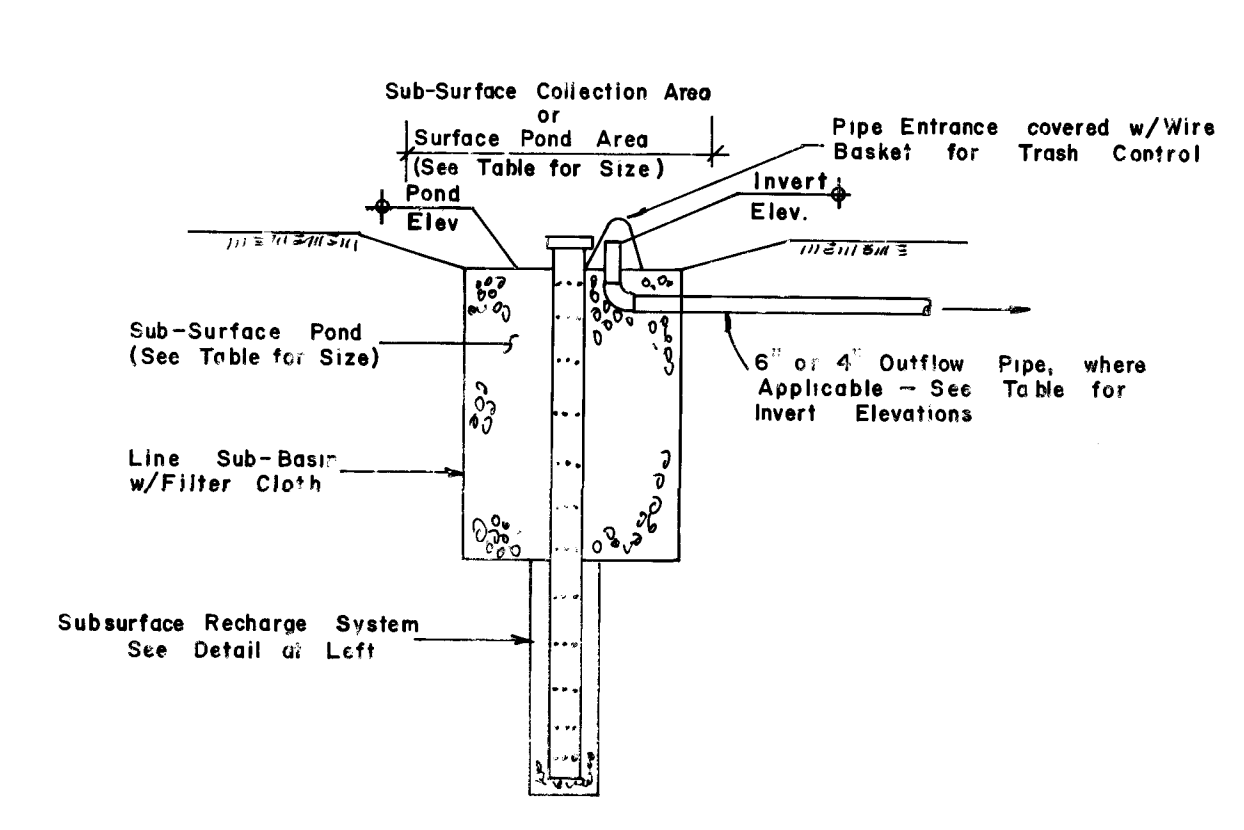
LOT LEGEND



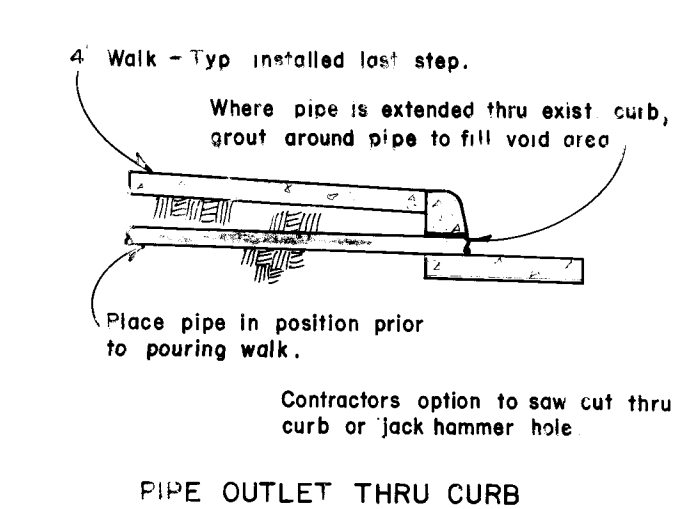
SECTION A



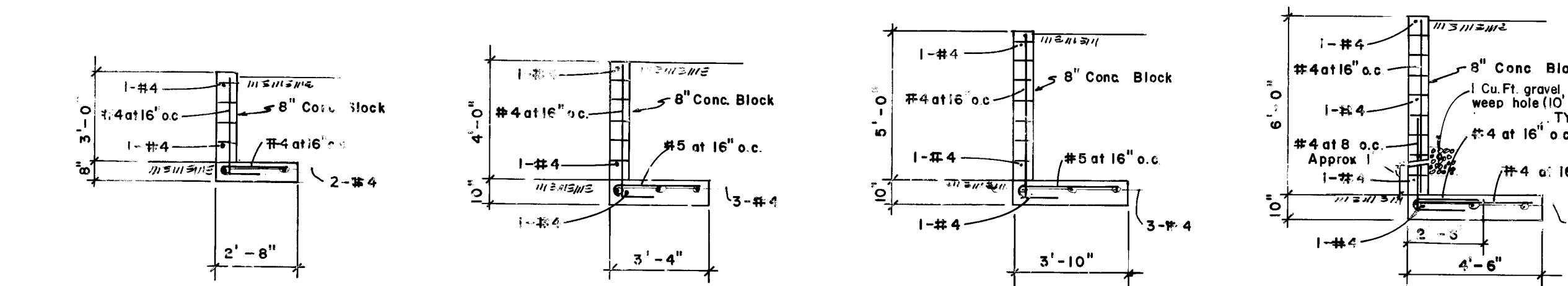
SUBSURFACE RECHARGE SYSTEM
 (TO BE LOCATED IN CENTER OF EACH SURFACE POND AREA)



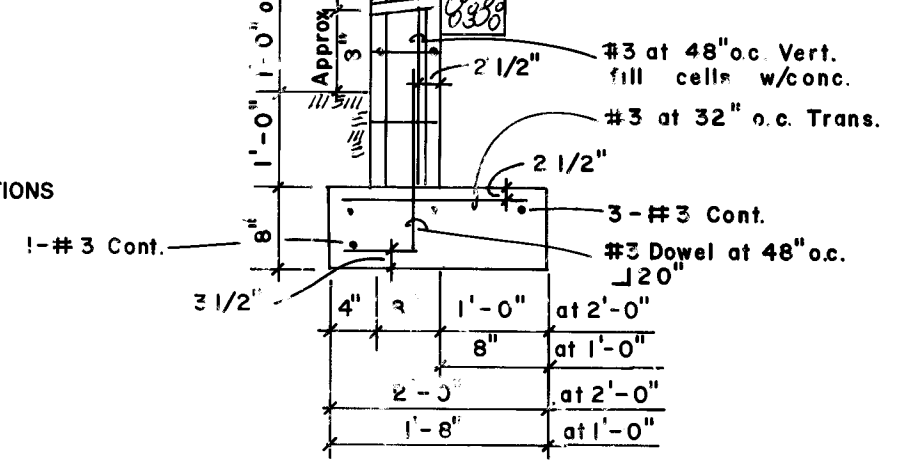
SURFACE / SUBSURFACE POND SYSTEM



PIPE OUTLET THRU CURB



SITE PERIMETER RETAINING WALLS



SIDE YARD RETAINING WALL

NOTE: FILL CELLS WITH CONCRETE ALL SECTIONS.

(BETWEEN LOTS 5-7 AND 18-19)

Pond Size/Lot Table (Pond sizes given as width, length, depth in feet)								
Lot #	Lot Size (feet)	Bldg. Size (feet)	Surface Pond	Surface Sub-surface Pond	Sub-surface Pond	Outflow Pipe	Inlet	Outlet
1 & 24	27x100 min.	22x50		5x25x0.5		6" PVC	#1 - 13.80	11.8
2-5, 8-11	28x23 - 22x100	22x30	23x18x0.5	5x25x2			#24 - 13.80	
14-17, 20-23	Rest = 24x92	24x30	21x20x0.5					
6-7, 18-19	27x92	22x50		5x25x0.5		6" PVC	#419 - 13.80	13.45
				5x25x1.7			7 - 16.80	
							18 - 15.80	
12-13	34x92	24x50		5x25x0.5		4" PVC	12 - 16.80	15.67
				5x25x2.2			13 - 15.80	15.63
25	36x92	26x50		5x25x0.5		4" PVC	16.30	11.33
26, 31, 37	26x92	26x30	20x22x0.5					
27-30, 34-36	24x92	24x30	21x20x0.5					
32 & 33	29x92	24x50		5x25x0.5		6" PVC	32 - 16.3	15.24
				5x25x2			33 - 15.5	
38 & 71	35x86	24x50			5x27x3.1	4" PVC	38 - 15.8	15.0
						4" PVC	71 - 15.8	
39 - 44	26x86	26x30	19x23x0.5					
45 - 46								
47 - 50								
59 - 62								
65 - 70								
45 - 46	31x86	26x50			5x27x3	6" PVC	45x46 - 15.12	
63 - 64						6" PVC	33 - 15.5	63x64 - 14.65
52 & 57	34x85	24x50			5x27x3.1	4" PVC	16.30	52-15.96
								57-15.10
53 - 56	26x85	20x30	18x23x0.5					

SUNSET GARDENS TOWNHOMES

APPROVED FOR CONSTRUCTION

Richard S. Hall 5/18/81

CITY ENGINEER DATE

CITY OF ALBUQUERQUE
 MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

GRADING/DRAINAGE

APPROVALS ENGINEER DATE APPROVALS ENGINEER DATE

City Engineer *R. S. Hall* 3/14/81 Liquid Waste

A.C.E. - Design *Richard S. Hall* 5/18/81 Traffic

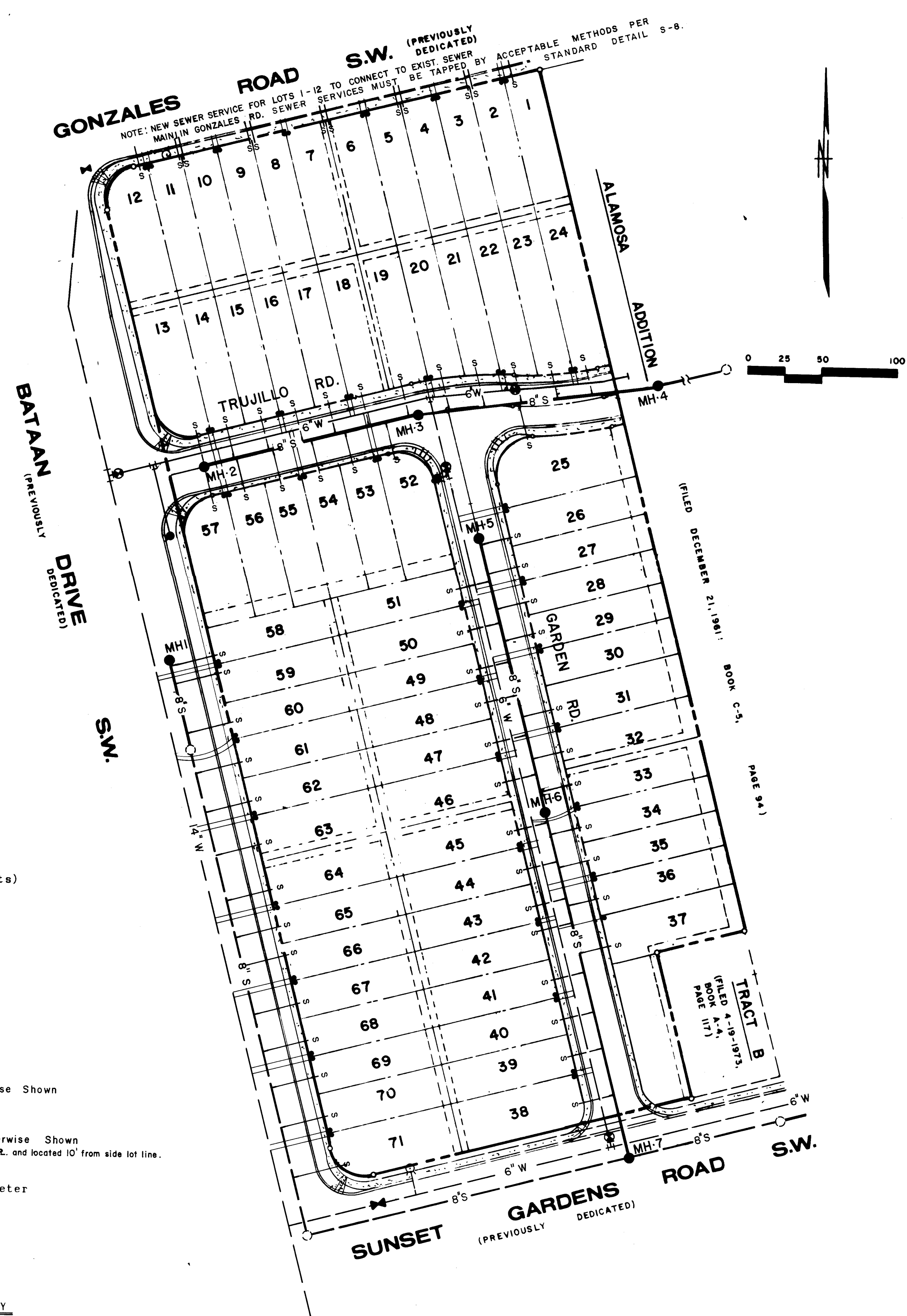
A.C.E. - Hydrology *Richard S. Hall* 5/18/81 Water

DRAWING NO. 1139 SHEET 3 OF 8

DESIGNED BY C.L.W. DATE 11-80

DRAWN BY M.W. DATE 11-80

CHECKED BY C.L.W. DATE 11-80



		REFERENCES		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		MAP NO.	K-II & L-II	FIELD NOTES		POLE AT THE S.E. CORNER OF		CONTRACTOR	
		EST. NO.	W.O. NO.	NO.	BY	DATE	TRUJILLO AND MERLIDA S.W.	WORK STAKED BY	DATE
							ELEVATION = 5011.63	ACCEPTANCE BY	DATE
								FIELD VERIFICATION BY	DATE
								DRAWINGS CORRECTED BY	DATE
NO.	DATE	REMARKS							
<i>REVISONS</i>									
<i>DESIGN</i>									
DESIGNED BY	C.L.W.	DATE	11-80						
DRAWN BY	M.W.	DATE	11-80						
CHECKED BY	C.L.W.	DATE	11-80						
						2. ACS BM # 2-K10 EL. = 5057.432			
						x CHISELED IN THE TOP OF CURB AT THE			
						WSW RETURN OF 68th. ST. S.W. & GWIN RD.			
						S.W.		RECORDED BY	
								NO	
<i>MICRO-FILM INFORMATION</i>									

MASTER UTILITY PLAN

GENERAL NOTES - UTILITY NOTES

1. All utility stationing is referred to street C Stationing. See Note 1 of City Standard Drawing S-9 for water and sewer line proximity statement.

SEWER LINES

1. All sanitary sewer mains shall be vitrified clay pipe conforming to A.S.T.M. C-700 and A.S.T.M. C-425, latest revision
2. All sanitary sewer manholes shall be Type E, 48" diameter, unless otherwise shown on the Drawings.
3. Lay sewer service at a 2% slope from main to R.

WATER LINES

1. Water mains shall be located 10 feet north or west of street centerlines except as otherwise indicated on the Drawings. Except where lines cross, water mains shall not be located less than 10 feet away from sewer lines nor closer than 3 feet to the lip of the curb and gutter.
2. Water mains shall be laid with a minimum cover of 3'-8" from top of main to top of the near curb.
3. All fire hydrants, valves, and fittings shall be provided with concrete blocking as shown on the "City Standard Details".
4. Fire hydrants shall be set with the bottom of the barrel flange 5" $\pm$ 3" above the top of curb.
5. Install E.M.S. at all sewer services and water main horizontal bends, tees, valves and dead ends and as per City Standard Drawings 58 and 59.

 SUNSET GARDENS TOWNHOMES	CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT ENGINEERING DIVISION					
	TITLE:					
	MASTER PLAN					
 Consultant's terraform inc.	APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
	City Engineer	<i>R. M. [Signature]</i>	<i>3/16/81</i>	Liquid Waste	<i>Pharmaceutical</i>	<i>3/16/81</i>
	A.C.E. - Design	<i>[Signature]</i>	<i>3/16/81</i>	Traffic	<i>U.A.</i>	
	A.C.E. - Hydrology	<i>[Signature]</i>	<i>3/16/81</i>	Water	<i>Pharmaceutical</i>	<i>3/16/81</i>
APPROVED FOR CONSTRUCTION <i>[Signature]</i> <i>3/16/81</i>			DRAWING NO. 1139		SHEET 4 OF 8	
CITY ENGINEER DATE						

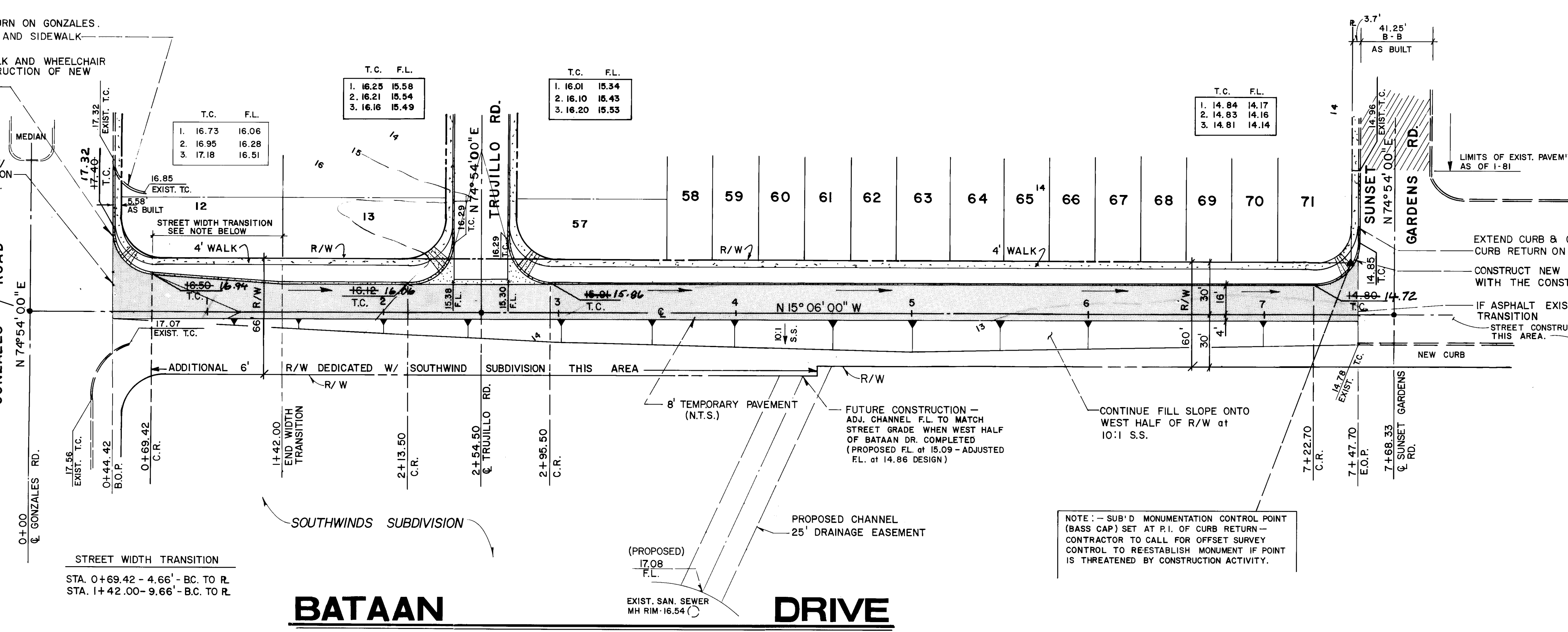
NOTE: THIS CONTRACT
REMOVE EXIST. CURB RETURN ON GONZALES.
EXTEND CURB & GUTTER AND SIDEWALK.

CONSTRUCT NEW SIDEWALK AND WHEELCHAIR
RAMP WITH THE CONSTRUCTION OF NEW
25' CURB RETURN.

MATCH EXIST. ASPHALT W/
SMOOTH RIDING TRANSITION
SAW CUT EXIST. PAVEM'T.
PRIOR TO LAYING NEW
ASPHALT.

STA. 0+00
BATAAN DRIVE

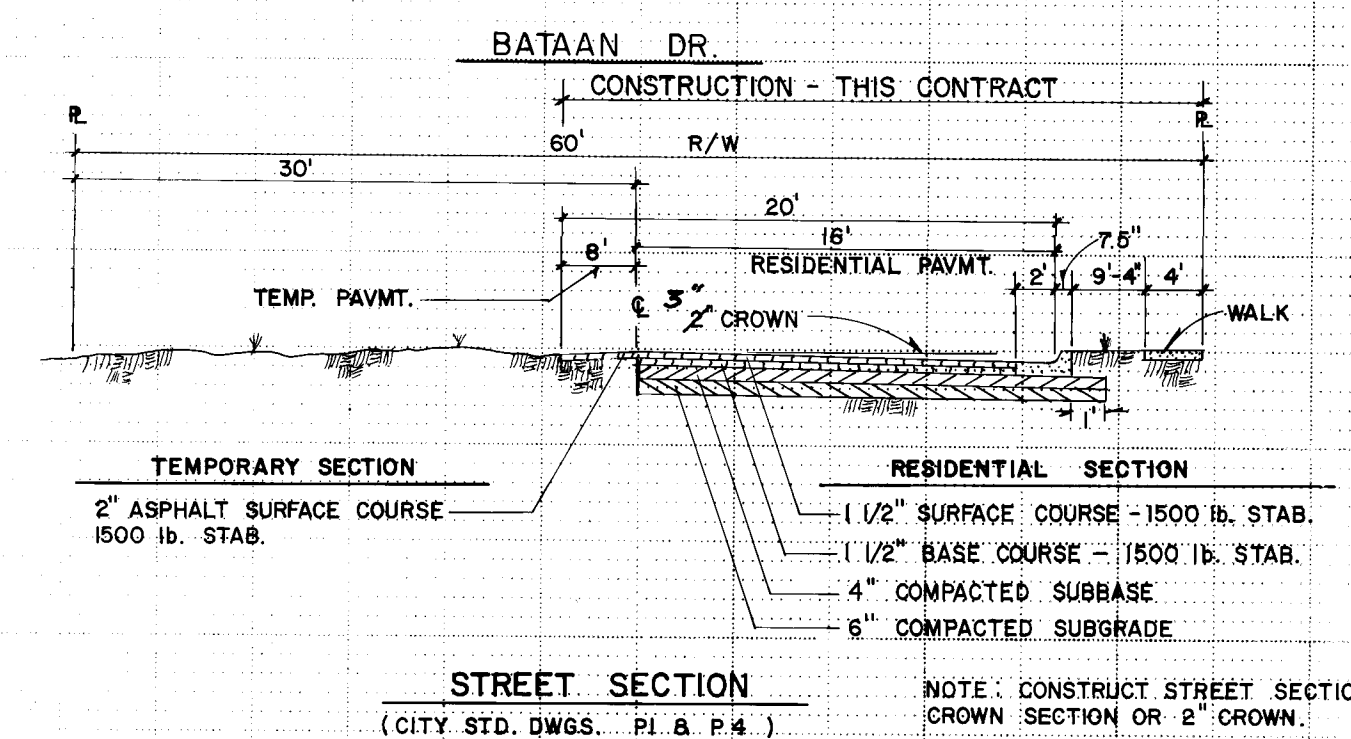
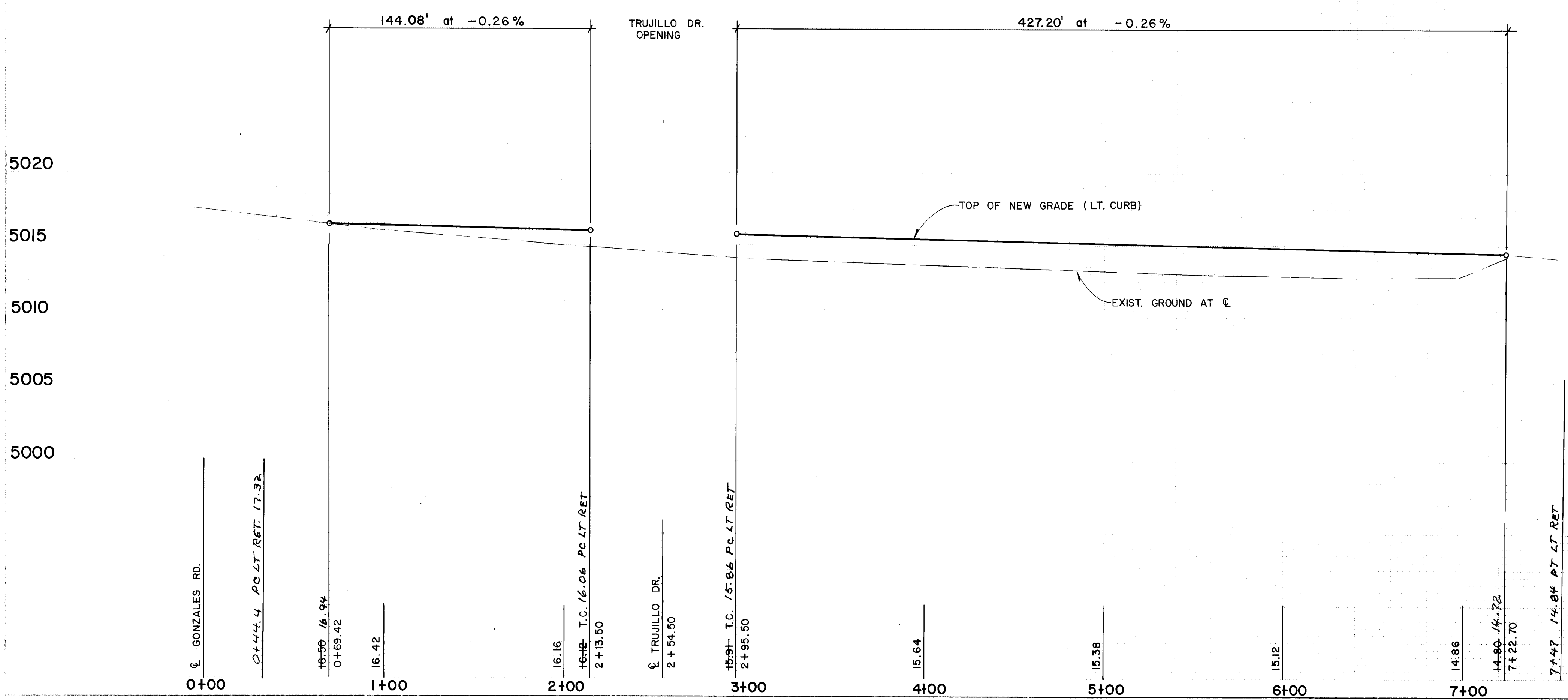
GONZALES ROAD
N 74°54'00"E



HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 5'

ESTIMATED QUANTITIES

REMOVE EXIST. CURB & GUTTER	50	L.F.
STD. CURB & GUTTER	732	L.F.
VALLEY GUTTER	71	YD ²
SIDEWALK	2605	FT ²
RESIDENTIAL PAVEMENT	1222	YD ²
TEMPORARY PAVEMENT	625	YD ²
WHEEL CHAIR RAMP	800	FT ²





SUNSET GARDENS TOWNHOMES

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

TITLE: **STREET PLAN & PROFILE**

BATAAN DR. between Gonzales Rd. and Sunset Rd. S.W.

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	5/16/81	Liquid Waste		
A.C.E. - Design	<i>[Signature]</i>	5/14/81	Traffic	<i>[Signature]</i>	5/14/81
A.C.E. - Hydrology	<i>[Signature]</i>	5/14/81	Water		

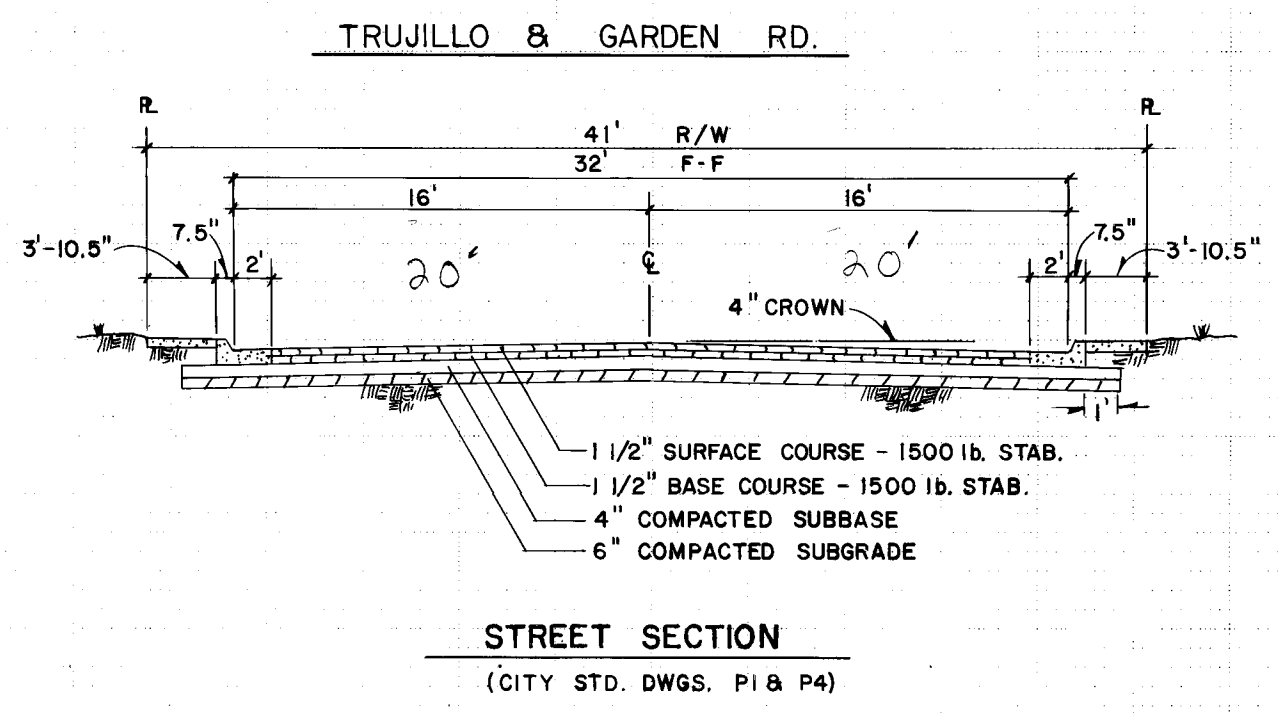
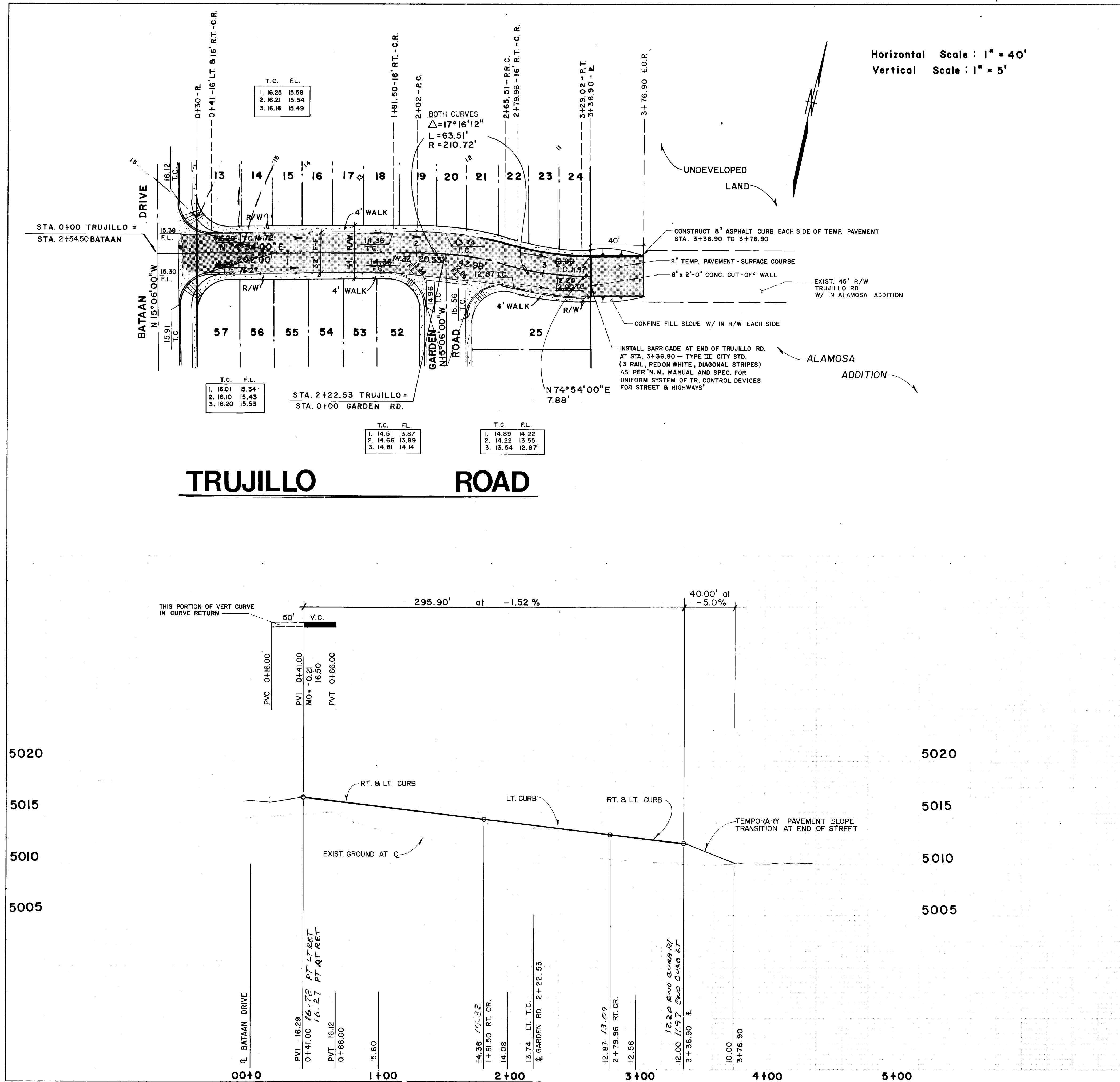
DESIGNED BY: C.L.W. / D.E.C. DATE: 10-80
DRAWN BY: M.W. / D.E.C. DATE: 10-80
CHECKED BY: C.L.W. DATE: 10-80

DRAWING NO. 1139 SHEET 5 OF 8

APPROVED FOR CONSTRUCTION

[Signature] 5/18/81

CITY ENGINEER DATE



SUNSET GARDENS TOWNHOMES

Consultant: terrad inc.

APPROVED FOR CONSTRUCTION
 CITY ENGINEER DATE 5/18/81

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT ENGINEERING DIVISION

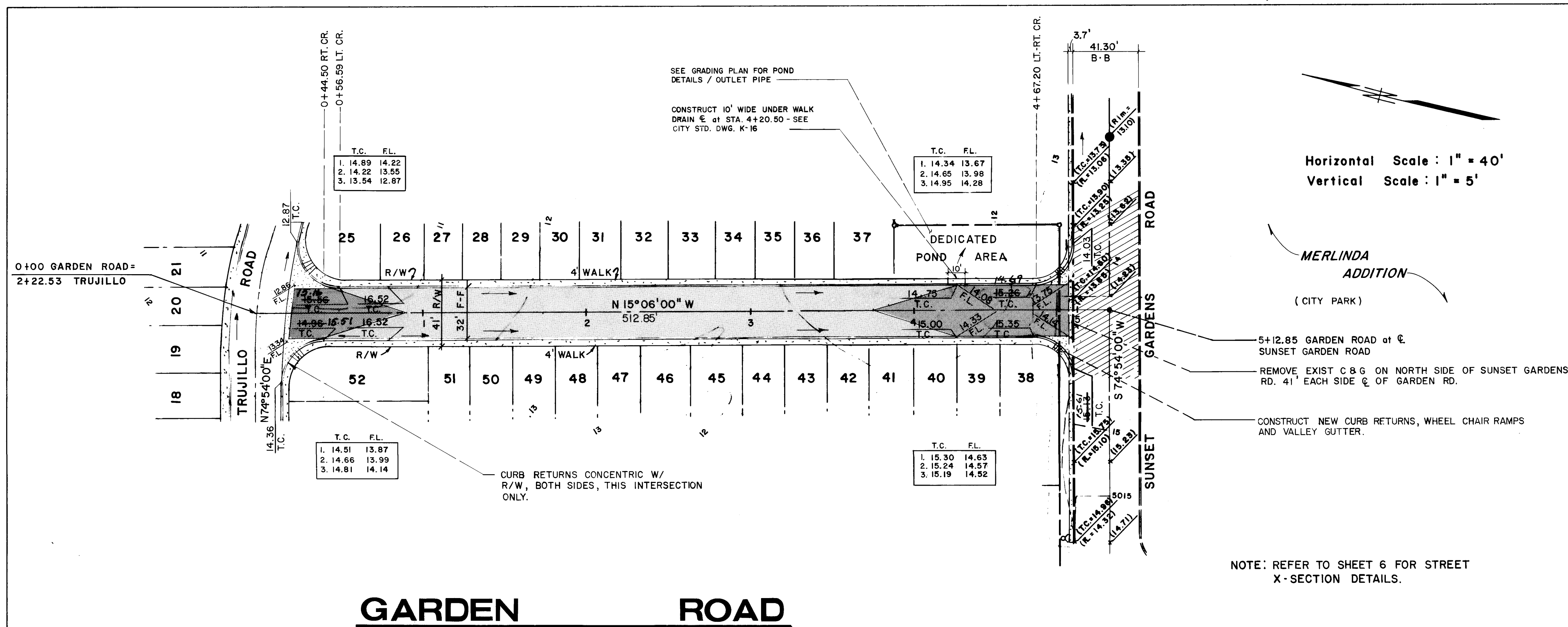
TITLE: STREET PLAN & PROFILE

TRUJILLO ROAD between Bataan Dr. and E. Property Line

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	R. M. H.	5/18/81	Liquid Waste		
A.C.E. - Design			Traffic		
A.C.E. - Hydrology			Water		

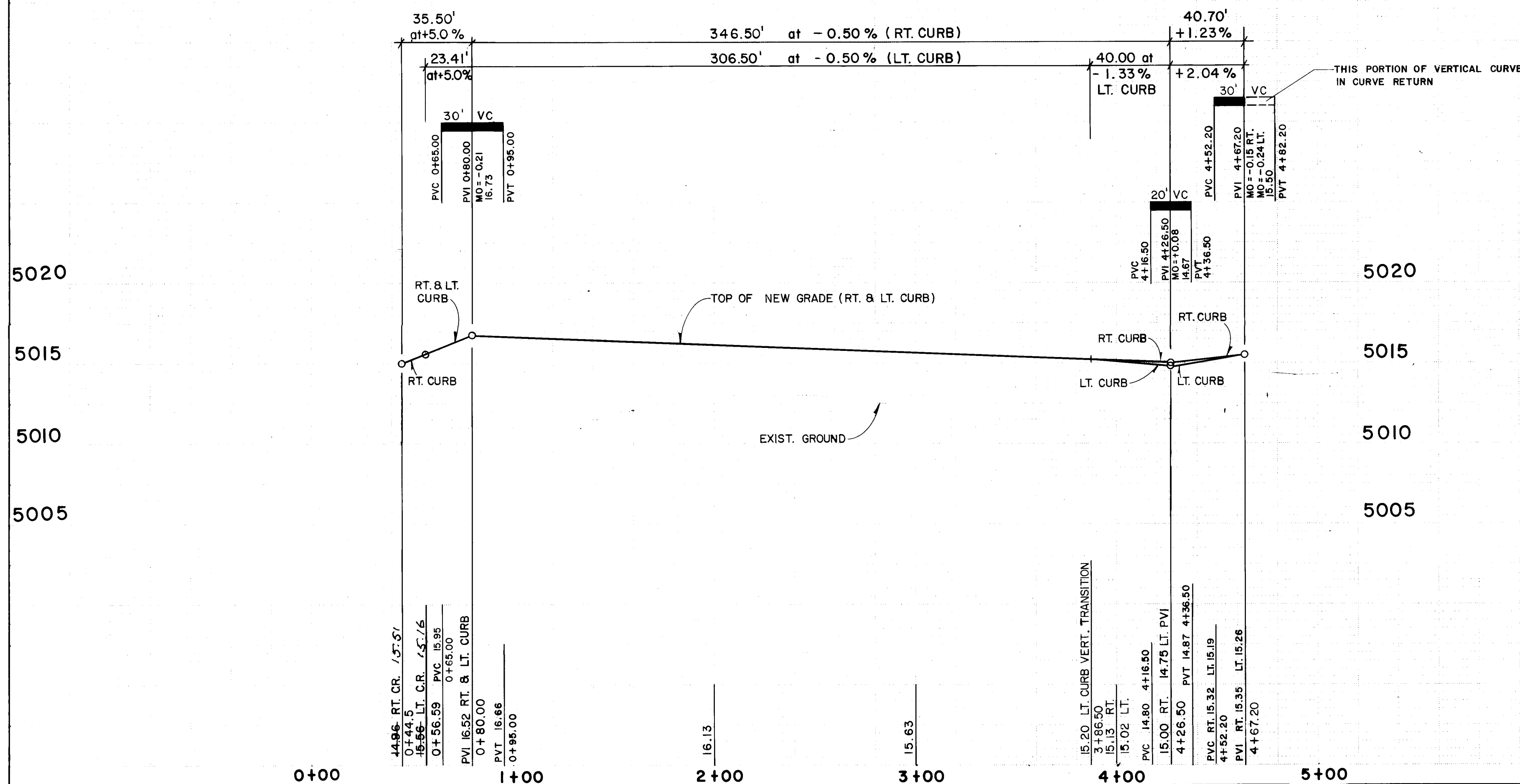
DRAWING NO. 1139

SHEET 6 OF 8



NOTE: REFER TO SHEET 6 FOR STREET X-SECTION DETAILS.

ESTIMATED QUANTITIES		
REMOVE EXIST. CURB & GUTTER	80	L.F.
STD. CURB & GUTTER	834	L.F.
VALLEY GUTTER	71	YD. ²
SIDEWALK	3333	FT. ²
RESIDENTIAL PAVEMENT	1472	YD. ²
WHEEL CHAIR RAMP	400	FT. ²



SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	CONTRACTOR	DATE
				WORK BY	DATE
				INSPECTOR'S	DATE
				ACCEPTANCE BY	DATE
				VERIFICATION BY	DATE
				DRAWING BY	DATE
				DRAWING CHECKED BY	DATE
				RECORDED BY	DATE
				NO.	

SUNSET GARDENS TOWNHOMES

Consultants
terraal inc.

APPROVED FOR CONSTRUCTION
Richard S. [Signature] 5/18/81
CITY ENGINEER DATE

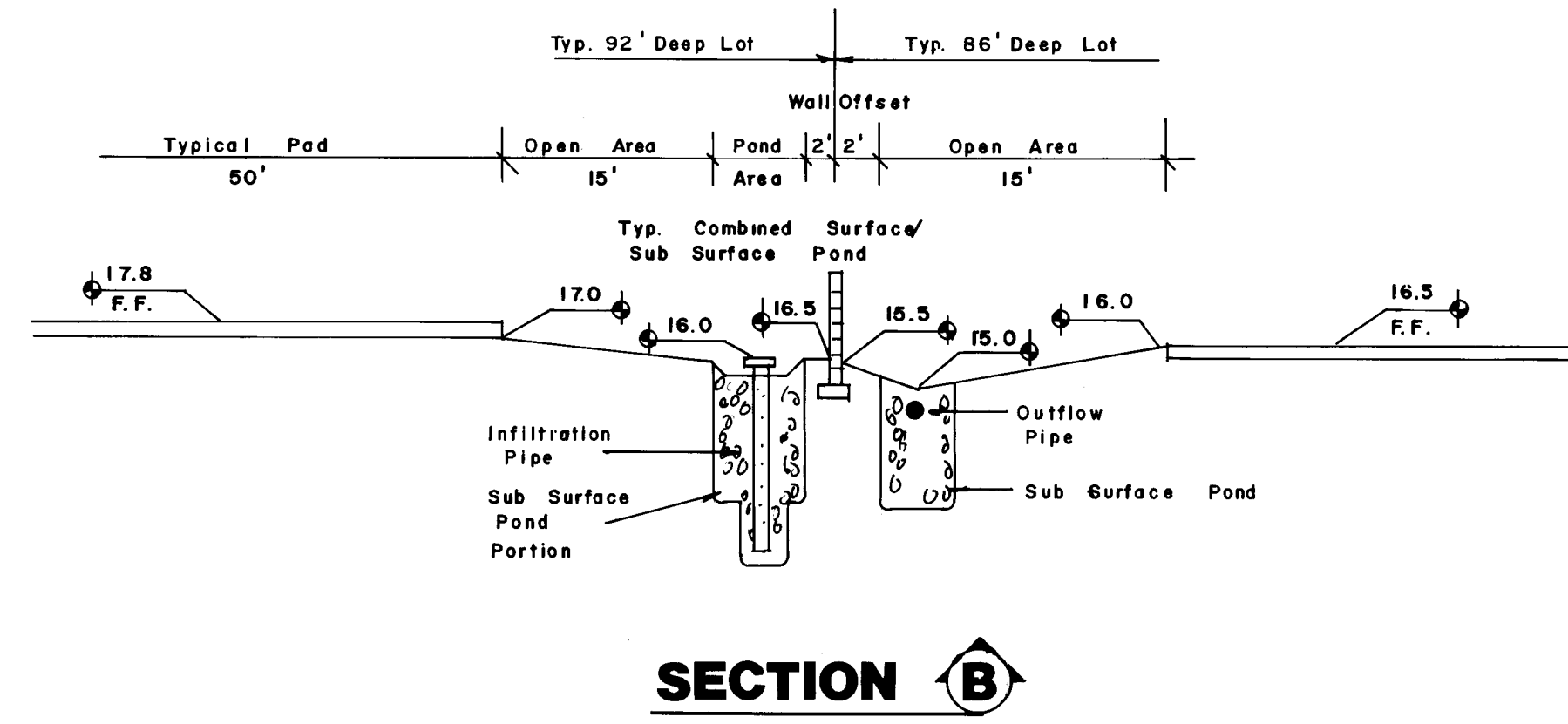
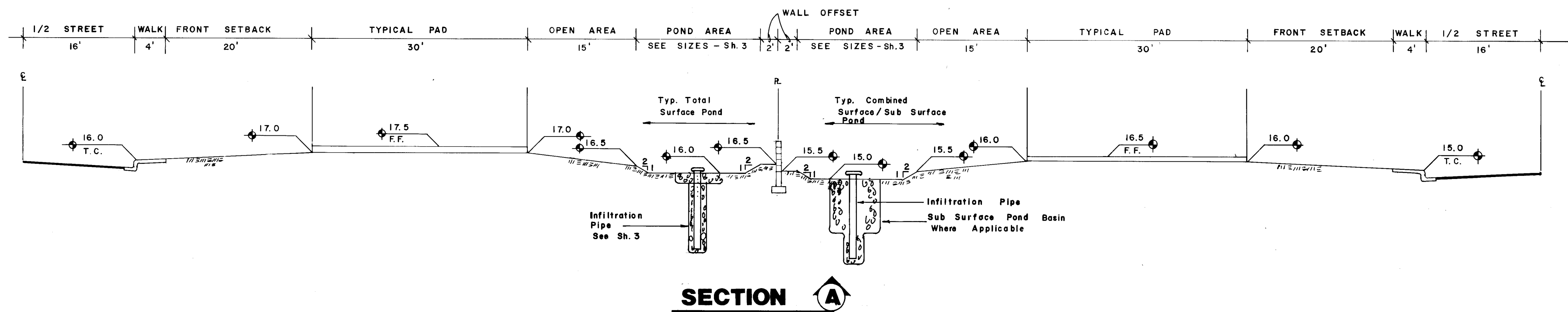
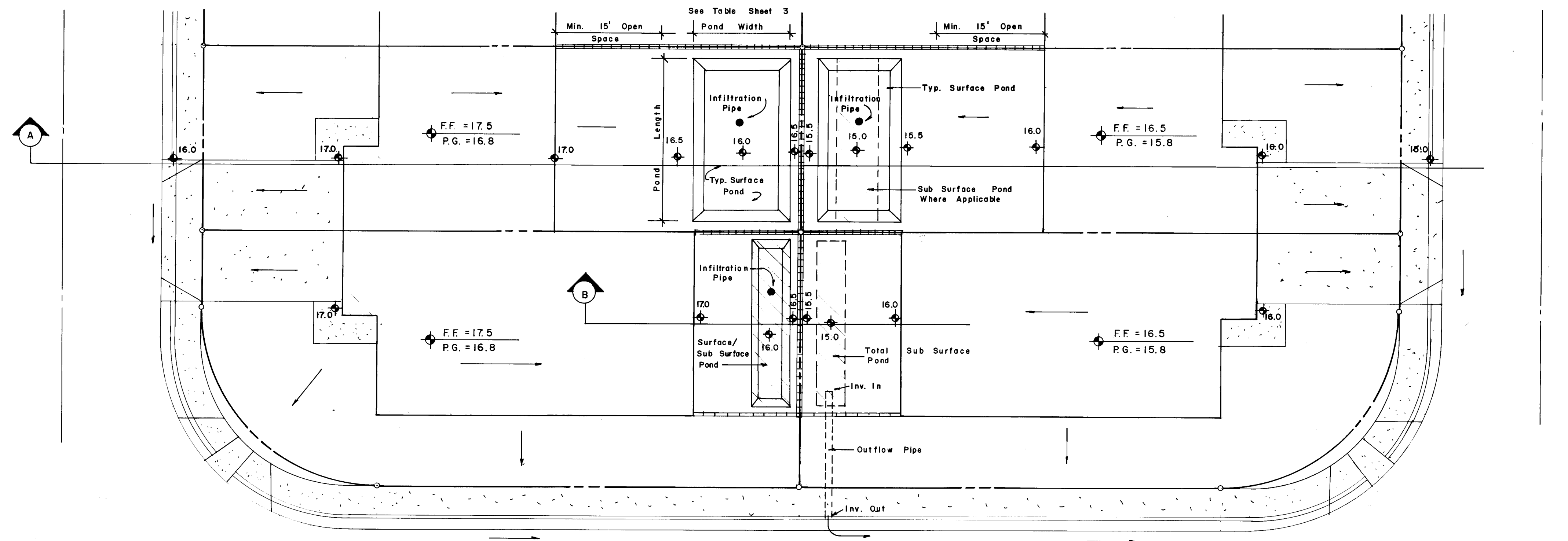
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

TITLE: **STREET PLAN & PROFILE**

GARDEN ROAD between Trujillo Road and Sunset Gardens Road

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	3/14/81	Liquid Waste	<i>[Signature]</i>	3/14/81
A.C.E. - Design	<i>[Signature]</i>	6/14/81	Traffic	<i>[Signature]</i>	6/14/81
A.C.E. - Hydrology	<i>[Signature]</i>	5/18/81	Water	<i>[Signature]</i>	5/18/81

DRAWING NO. 1139 SHEET 7 OF 8



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		REFERENCES		REVISIONS		DESIGN	
CONTRACTOR	WORKED BY	# 11 - KII: 60 PENNY NAIL IN POWER POLE AT S.E. CORNER OF TRUJILLO	DATE	NO.	BY	MAP NO. K-11 & L-11	EST. NO.	DATE	REMARKS	BY	DATE
INSPECTOR'S	ACCEPTANCE BY	8 MERLINDA S.W.	DATE								
VERIFICATION BY	DATE	ELEVATION = 5011.63	DATE								
DRAWING NO.	DATE										
MICRO-FILM INFORMATION											
RECORDED BY	NO.										

26 11 39 0883

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT ENGINEERING DIVISION					
TITLE: GRADING DETAILS					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer			Liquid Waste		
A.C.E. - Design	<i>[Signature]</i> 5/11/81		Traffic		
A.C.E. - Hydrolog	<i>[Signature]</i> 5/14/81		Water		
DRAWING NO. 1139			SHEET 8 OF 8		

APPROVED FOR CONSTRUCTION
[Signature] 5/11/81
CITY ENGINEER DATE

Consultant terra inc.