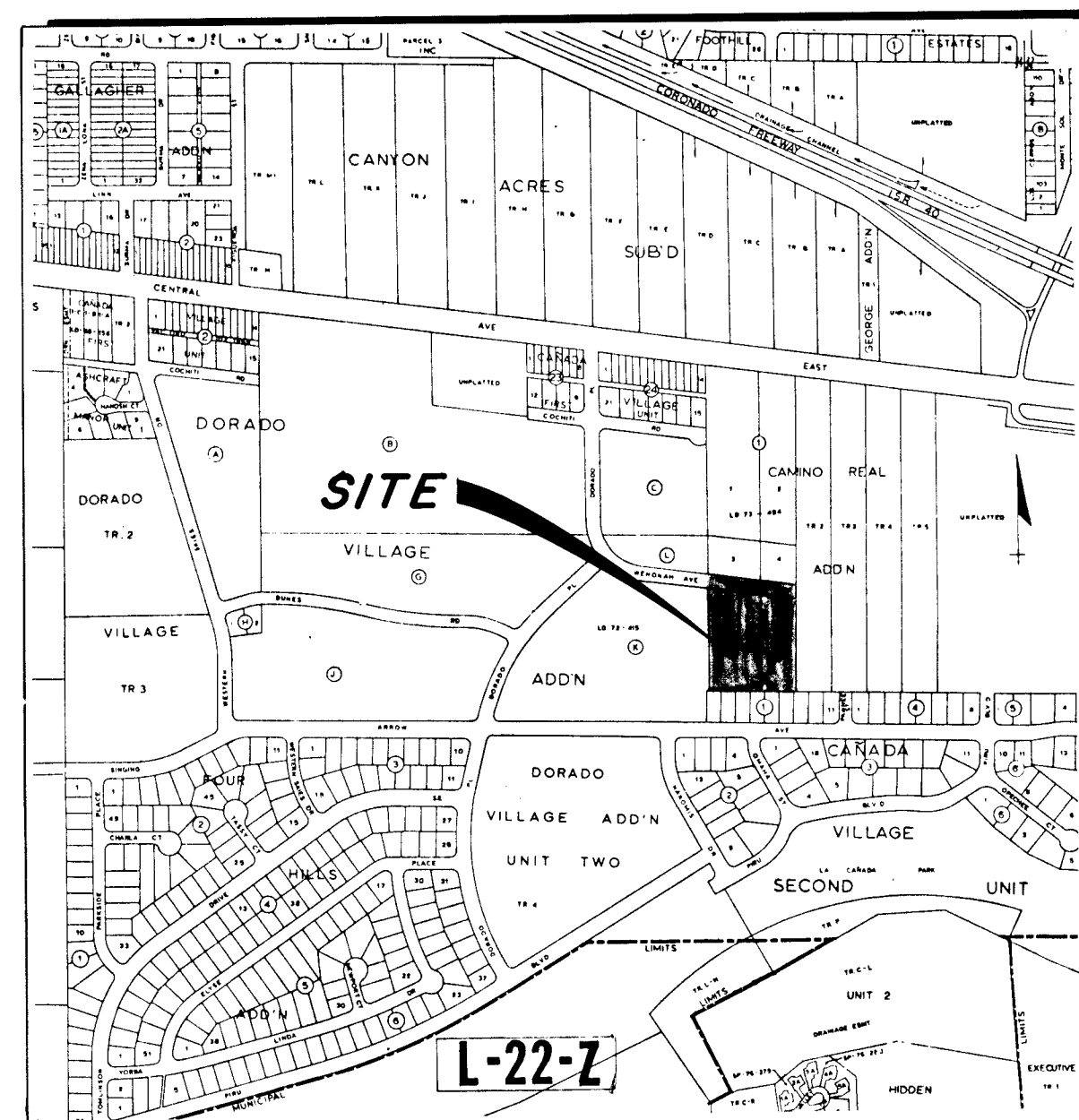


VICINITY MAP



Wenonah Village

INDEX TO DRAWINGS

1. COVER
2. PLAT
3. STREET PLAN & PROFILE
- 4-5. UTILITY PLAN & PROFILE

GENERAL NOTES

(Street Construction)

1. All curb returns have 25' radii unless otherwise noted.
2. All sidewalks are 48" wide except where otherwise shown and at wheel chair ramps.
3. All street grades shown are to top of curb and referred to centerline stationing unless specifically noted otherwise.
4. The "Interim Procedures for Street and Utility Design and Construction" (Jan. 21, 1977) requires that the water and sewer main alignments be checked for proximity to the curb alignments before proceeding with curb and gutter construction.

GENERAL NOTES - UTILITY

1. All utility stationing is referred to street C Stationing. See Note 1 of City Standard Drawing S-9 for water and sewer line proximity statement.

SEWER LINES

1. All sanitary sewer mains shall be vitrified clay pipe conforming to A.S.T.M. C-700 and A.S.T.M. C-425, latest revision.
2. All sanitary sewer manholes shall be Type E, 48" diameter, unless otherwise shown on the Drawings.

WATER LINES

1. Water mains shall be located 10 feet south or west of street centerlines except as otherwise indicated on the Drawings. Except where lines cross, water mains shall not be located less than 10 feet away from sewer lines nor closer than 3 feet to the lip of the curb and gutter.
2. Water mains shall be laid with a minimum cover of 3'-8" from top of main to top of the near curb.
3. All fire hydrants, valves, and fittings shall be provided with concrete blocking as shown on the "City Standard Details".
4. Fire hydrants shall be set with the bottom of the barrel flange 5" $\pm$ 3" above the top of curb.
5. Install E.M.S. at all sewer services and water main horizontal bends, tees, valves and dead ends and as per City Standard Drawings S8 and S9.

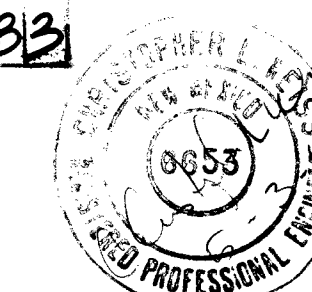
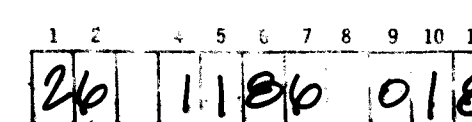
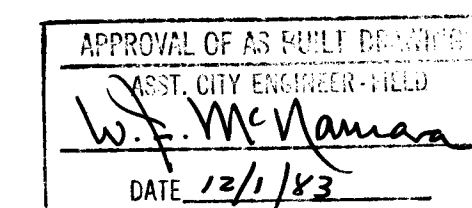
NOTICE TO CONTRACTORS

1. New Mexico Standard Specifications for Public Works Construction -1979 Edition will be referred to hereon as the "Standard Specification".
 2. All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with "Contract Documents for City-Wide Utilities and Cash Paving No. 31" and the Standard Specification."
- All utilities and utility service lines shall be installed prior to paving.
- Backfill compaction shall be according to specified street use. (Residential)
- Tack coat requirements shall be determined by the City Engineer.
- Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- If curb is depressed for a driveway, the driveway shall be constructed prior to acceptance of the curb and gutter.
- Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with a minimum amount of delay.

APPROVED FOR CONSTRUCTION BY

Richard S. Allen
CITY ENGINEER
A.R. Olson 1-31-83 QA

2/1/83
DATE



L-22-Z

SUMMARY PLAT 82 35120

"LOT A"

WENONAH VILLAGE

an addition to the City of Albuquerque, New Mexico
(formerly Lots 1 & 2, Blk. 2, FALE ADDITION)

MARCH 1982

NOTES:

- Bearings and distances shown in parenthesis are record.
- Basis of bearings is plat of Fale Addition.

DISCLOSURE: This plat is filed to show information on public and private easements only. The location of Lot lines, creating Lot "A", was recorded as Document No. 81-55886 in Misc. Book 886, at page 835, on October 22, 1981.

TITLE DESCRIPTION:

Lots numbered ONE (1) and TWO (2), Block numbered TWO (2) of FALE ADDITION, in addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, on December 12, 1981.

FURTHER CONSENT AND DEDICATION:

This subdivision is with the free consent of the undersigned owner(s). The undersigned hereby acknowledge to have title and also acknowledge that this plat is within the covenants and zoning restrictions applied to the property. The owners hereby dedicate utility easements for the installation and maintenance of public utility lines, including the public utility's right to ingress and egress and right to trim interfering trees. The owners hereby dedicate the privately maintained drainage and road easements as shown hereon, to be maintained by the owners association.

ACKNOWLEDGMENT:

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

I, the foregoing instrument was acknowledged before me this 12th day of MAY, 1982.
BY: **WENONAH PARTNERSHIP by Ken Tekin Inc., GENERAL PARTNER - Ken Tekin Inc., President**
My commission expires: 12-11-85 _____ Notary Public

SURVEYOR'S CERTIFICATE:

I, Franklin E. Wilson, licensed under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my direction, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, shows all easements of record, and is true and correct to the best of my knowledge and belief.

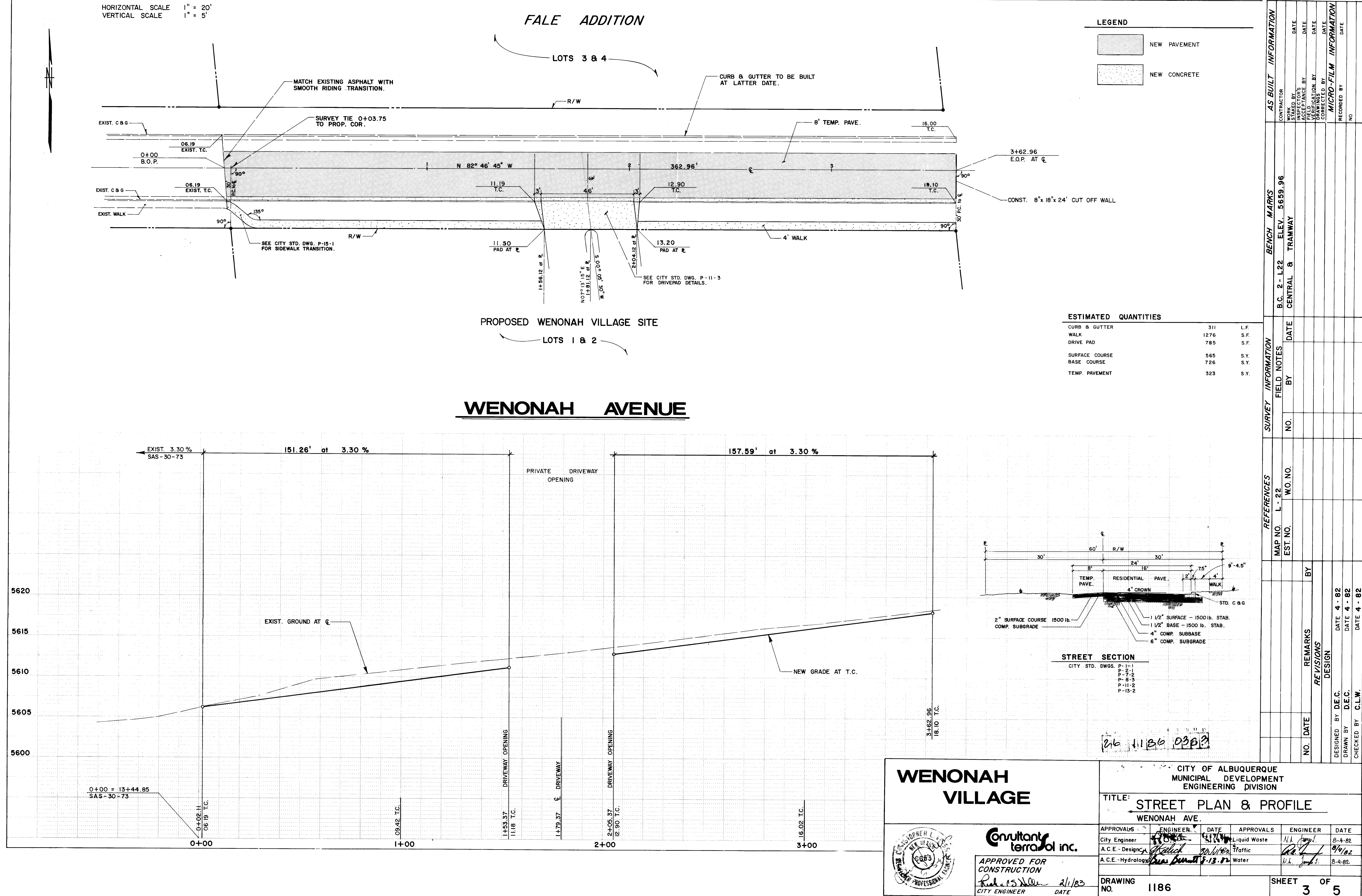
APPROVALS FOR CITY OF ALBUQUERQUE, NEW MEXICO (as required by the Albuquerque Subdivision Ordinance):

<i>[Signature]</i> City Engineer	Date 4/6/82
<i>[Signature]</i> City Traffic Engineer	Date 6-1-82
<i>[Signature]</i> City Water Resources Engineer	Date 6-15-82
<i>[Signature]</i> City Property Management	Date 5-16-82
<i>[Signature]</i> Public Safety	Date 6-23-82
<i>[Signature]</i> Village Planning Director	Date 7/7/82

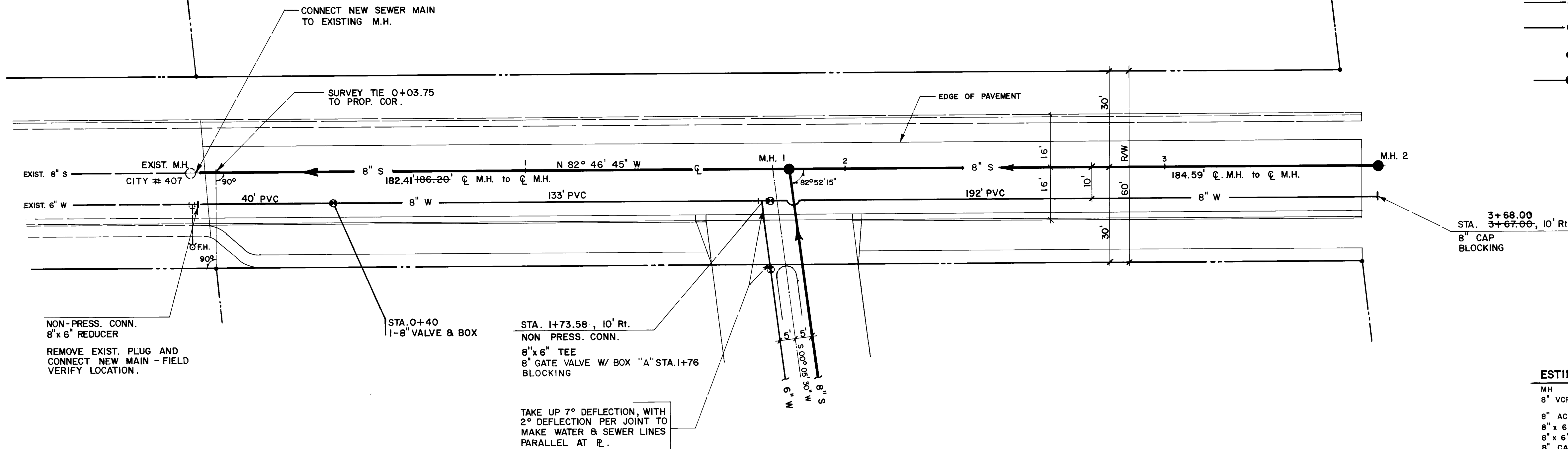
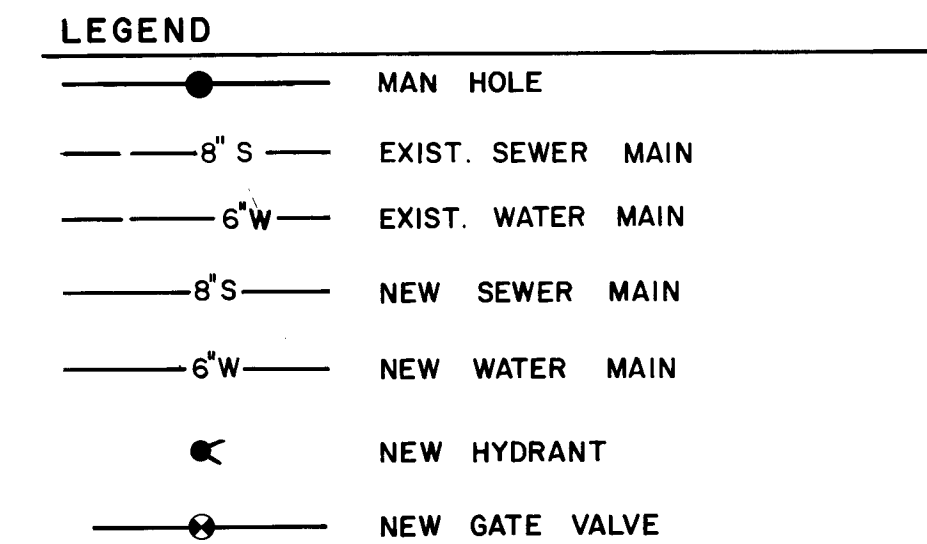
PREPARED BY: SOUTHWEST SURVEYING CO., 215 N. MAPLE ST., ALBUQUERQUE, NEW MEXICO 87102

The survey map depicts a rectangular area labeled "LOT A" measuring 330.73 ac. It is bounded by WENONAH AVENUE to the north, CAÑADA VILLAGE to the south, and HARTMAN - BROWN ADDITION to the east. To the west is the DORADO VILLAGE ADDITION. The map includes several easements: a 30' Private Drainage Easement on the western boundary, a 30' Private Utility Easement along the northern boundary, and a 30' Private Water & Sewer Easement running through the center. Dimensions are provided for all boundaries and internal features. A scale bar indicates 1 inch equals 40 feet.

				REFERENCES		SURVEY INFORMATION			BENCH MARKS		AS BUILT INFORMATION		
				MAP NO.		L - 22		FIELD NOTES		B.C. 2 - L22		ELEV. 5659.96	
				EST. NO.		W.O. NO.		NO.		CENTRAL &		TRAMWAY	
								BY					
NO. DATE		REMARKS		BY								DATE	
REVISIONS													
DESIGN													
DESIGNED BY D.E.C.		DATE 4 - 82										CONTRACTOR	
DRAWN BY D.E.C.		DATE 4 - 82										WORK STAKED BY	
CHECKED BY C.L.W.		DATE 4 - 82										INSPECTOR'S FIELD VERIFICATION BY	



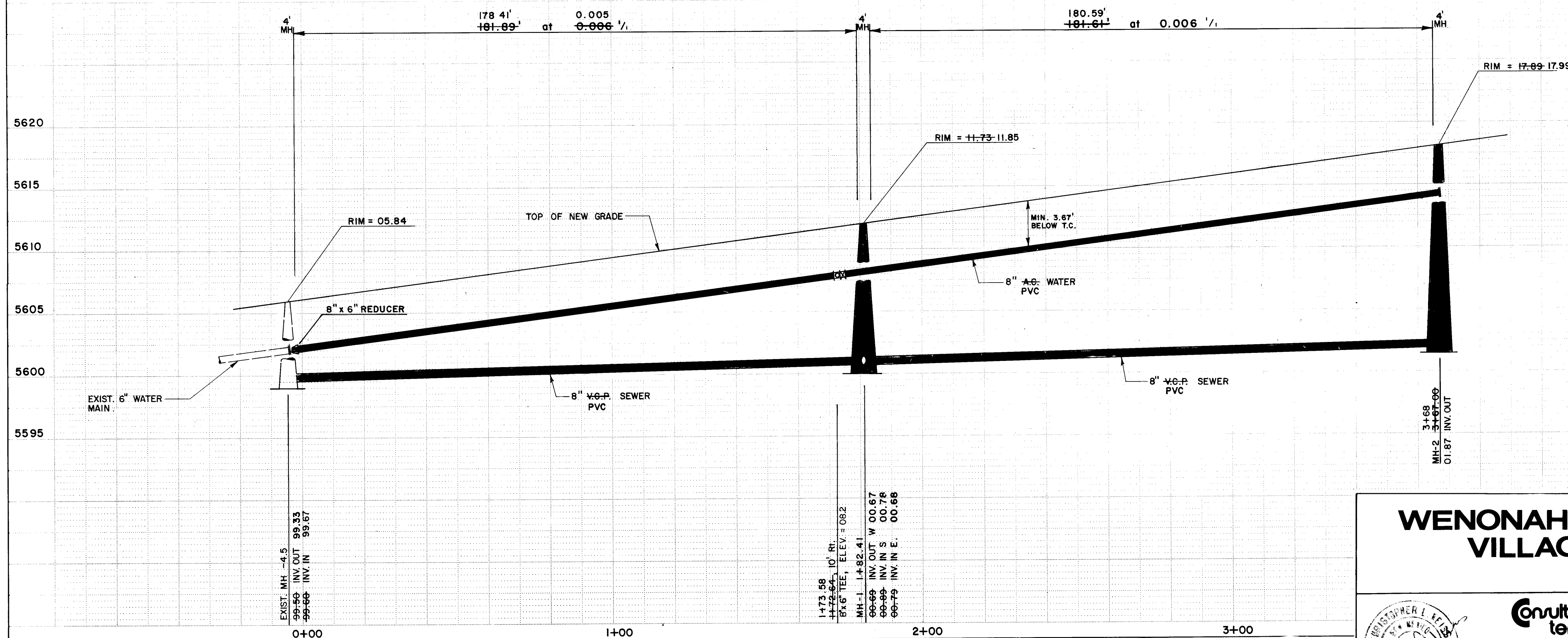
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 5'



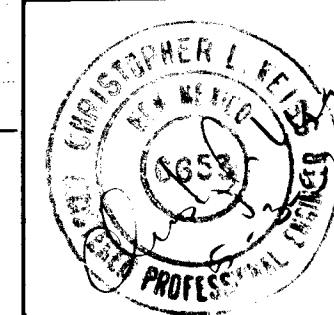
ESTIMATED QUANTITIES

MH	2	EA.
8" VCP SEWER MAIN	371	L.F.
8" AC WATER MAIN	370	L.F.
8" x 6" REDUCER	1	EA.
8" x 6" TEE	1	EA.
8" CAP	1	EA.
8" GATE VALVE W/ BOX	1	EA.
6" GATE VALVE W/ BOX BLOCKING	2	C.Y.

WENONAH AVENUE



WENONAH VILLAGE



Consultant terra inc.

APPROVED FOR CONSTRUCTION
Robert S. Miller 11/13
CITY ENGINEER DATE

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

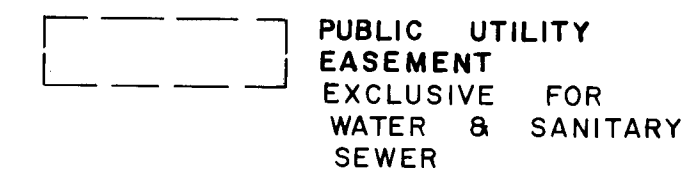
TITLE: UTILITY PLAN & PROFILE
WENONAH AVE.

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>R. Miller</i>	8/17/11	Liquid Waste	<i>James Capriella</i>	8-4-82
A.C.E. - Design	<i>Robert S. Miller</i>	30.6.182	Traffic	<i>N.A.</i>	
A.C.E. - Hydrology	<i>Robert S. Miller</i>	30.6.182	Water	<i>James Capriella</i>	8-4-82

DRAWING NO. 1186

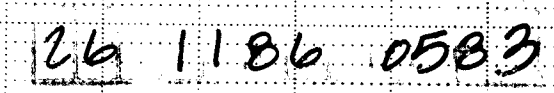
SHEET 4 OF 5

00/



ESTIMATED QUANTITIES

M.H.	1	EA.
8" V.C.P. SEWER MAIN	350	L.F.
6" A.C. WATER MAIN	320	L.F.
1 1/2" WATER SERVICE	512	L.F.
6" TEE	1	EA.
6" CAP	1	EA.
HYDRANT	1	EA.
BLOCKING	1.5	C.Y.



APPROVED FOR
CONSTRUCTION
Richard S. Miller 2/1/83
CITY ENGINEER DATE

ON - SITE UTILITIES

DRAWING NO.	1186	SHEET 5 OF 5
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[illegible]