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NOTICE TO CONTRACTORS

- New Mexico Standard Specifications for Public Works Construction-1979 Edition will be referred to hereon as the "Standard Specification."
- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with "Contract Documents for City-Wide Utilities and Cash Paving No. 31 and the Standard Specification."
- Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with a minimum amount of delay.

APPROVED FOR CONSTRUCTION:

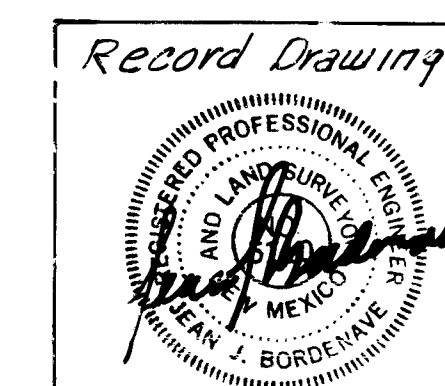
Shirley D. Davis 3/2/83
CITY ENGINEER DATE

Thomas T. Mann Jr. 12/22/81
THOMAS T. MANN JR., NMPE & LS No. 3792 DATE
Thomas T. Mann Jr. 2/8/83
THOMAS T. MANN JR., NMPE & LS No. 3792 DATE

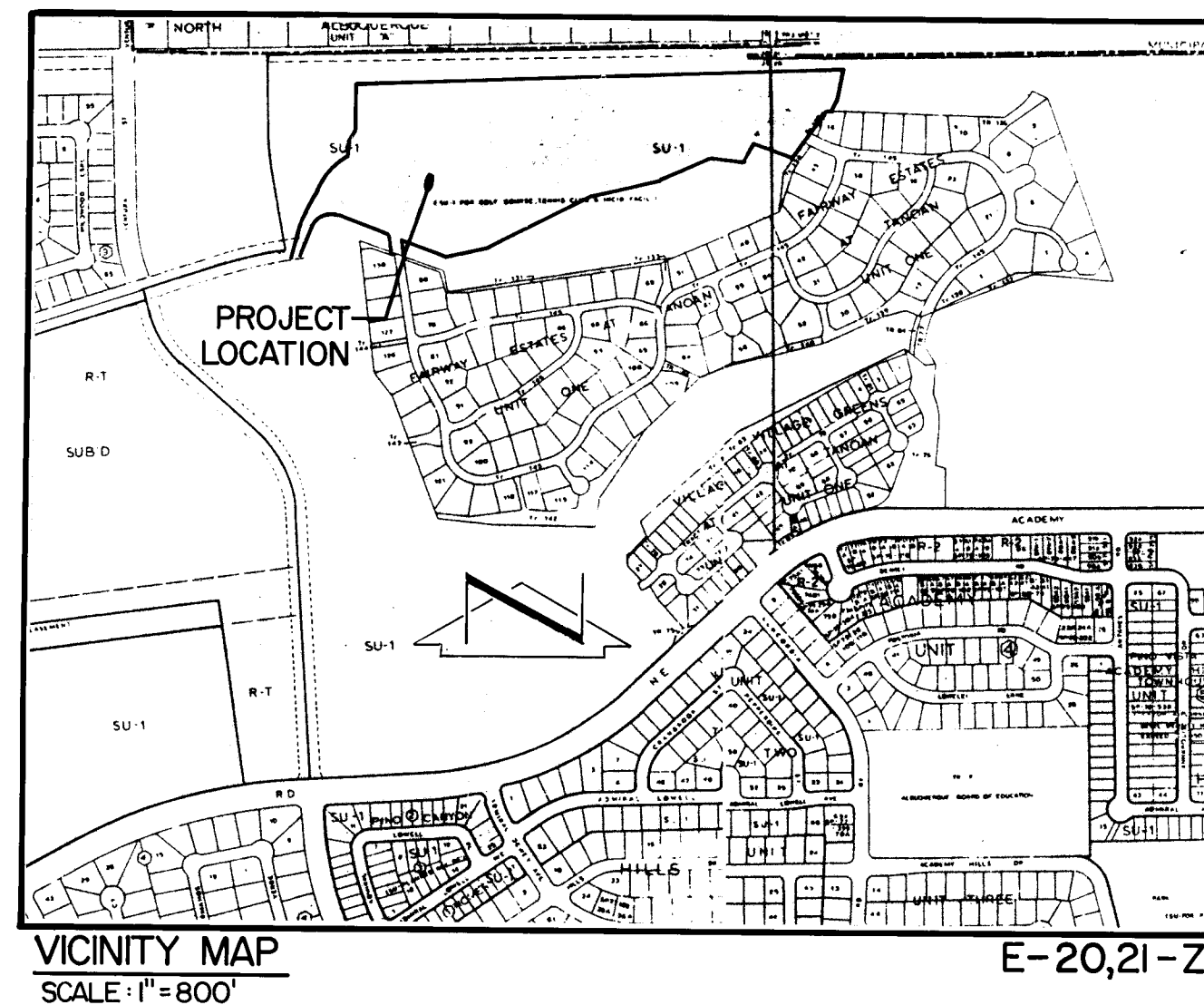
THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ All utilities and utility service lines shall be installed prior to paving.
- ☒ Backfill compaction shall be according to specified street use.
- ☒ Tack coat requirements shall be determined by the City Engineer.
- ☐ Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- ☒ If curb is depressed for a driveway, the driveway shall be constructed prior to acceptance of curb and gutter.
- ☒ All storm drainage facilities shall be completed prior to final acceptance.
- ☒ The requestor or developer shall be responsible for repair or replacement of all curb and gutter or sidewalk damaged after approval by the City Engineer of work completed by the Contractor.

DATE	REVISIONS
12/82	REDATED & RESIGNED, CHANGED STANDARD SPECS.



JOB No. 1-049



CONSTRUCTION PLANS FOR THE DEVELOPMENT OF FAIRWAYS NORTH AT TANOAN ALBUQUERQUE, NEW MEXICO

DECEMBER, 1982

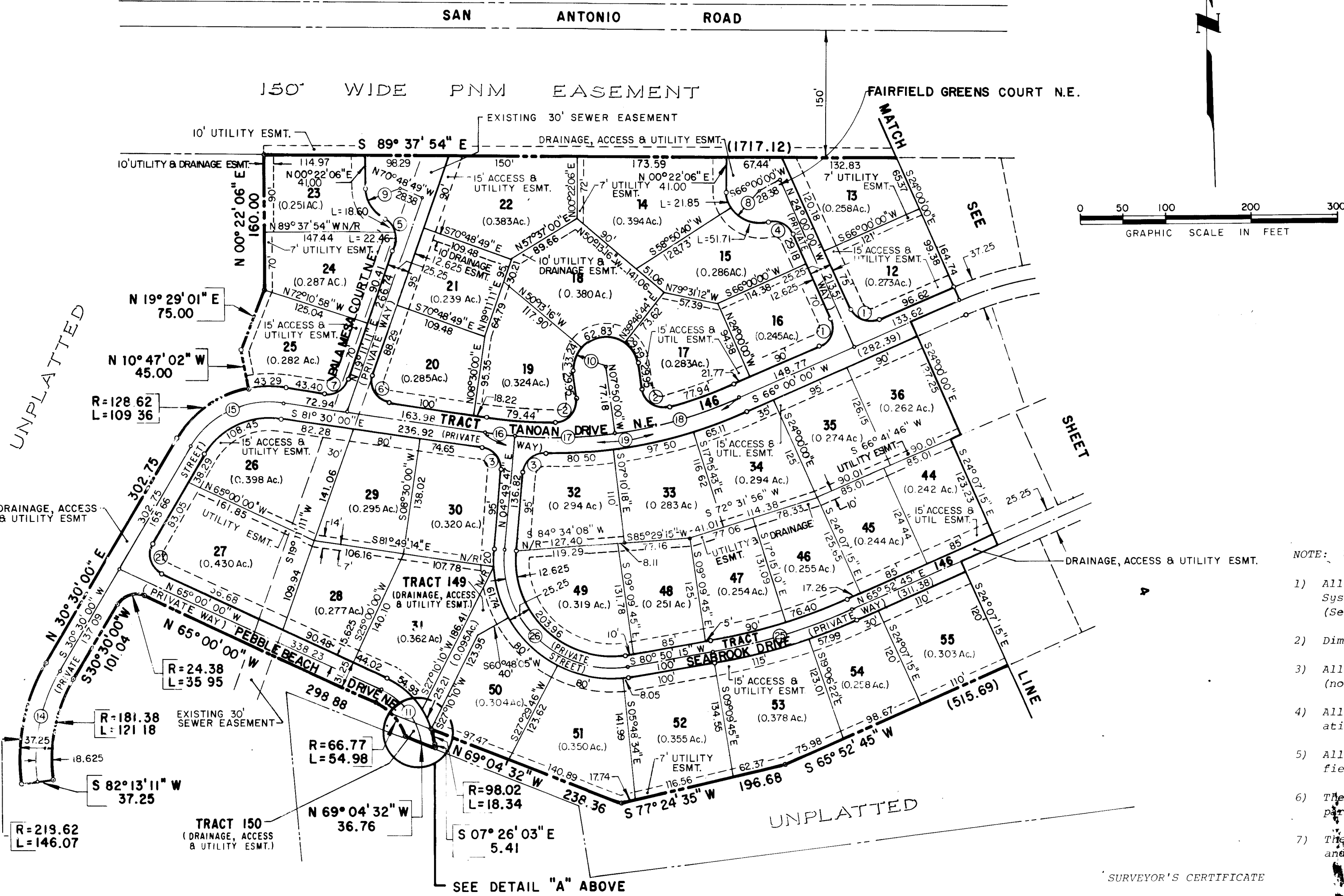
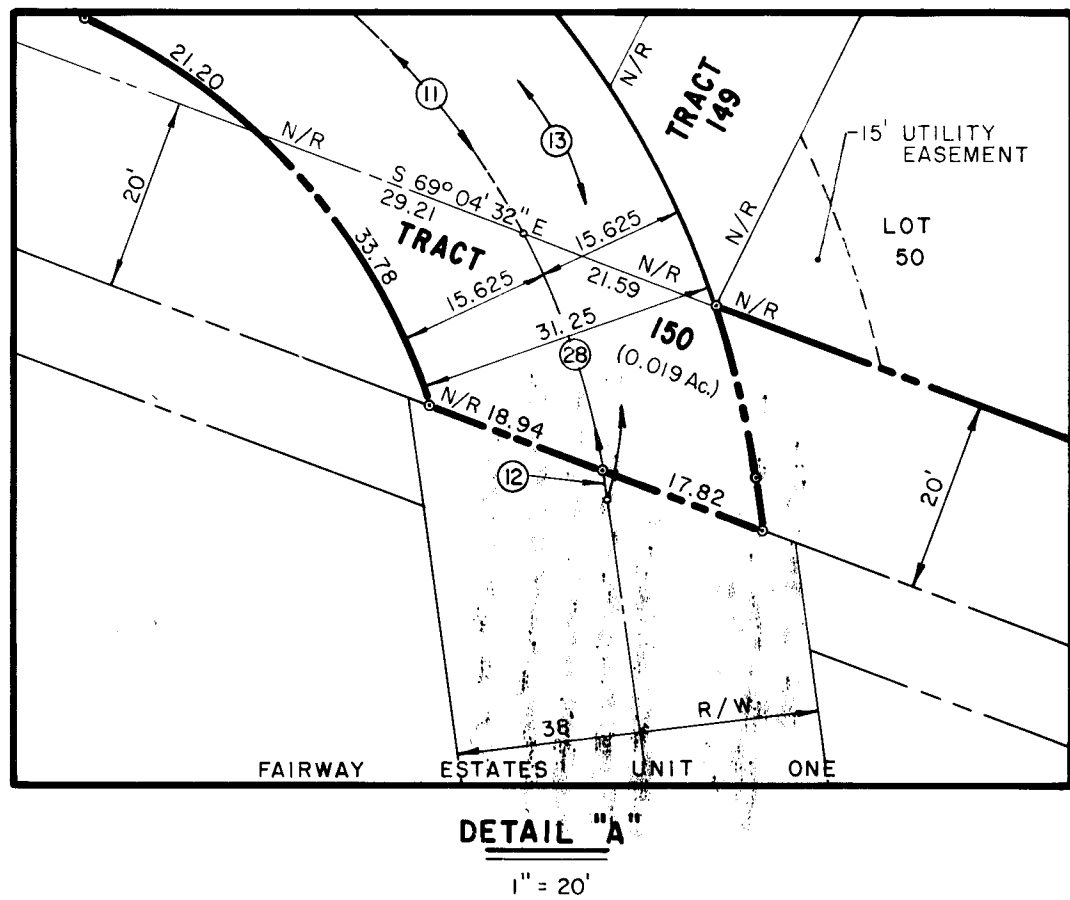
PREPARED FOR :
AMDEC
6400 UPTOWN BLVD. N.E.
P.O. BOX 25000
ALBUQUERQUE, NEW MEXICO 87125
PREPARED BY :
TOM MANN ASSOCIATES, INC.
811 DALLAS N.E.
ALBUQUERQUE, NEW MEXICO 87110

PROJECT BENCHMARK:
A STANDARD A.C.S. BRASS CAP STAMPED "1-D21" SET IN THE TOP OF A CONC. POST PROJECTING 0.5 FEET ABOVE THE GROUND LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF SAN ANTONIO BLVD. (DIRT) & HOLBROOK STREET (DIRT), ALSO LOCATED WITHIN THE RIGHT-OF-WAY OF AN ELECTRIC TRANSMISSION LINE APPROXIMATELY 1.5 MI. EAST OF WYOMING BLVD. ELEVATION: 5637.38 FEET.

82 18484

TOTAL LOTS CREATED: 67
TOTAL TRACTS CREATED: 6
TOTAL MILEAGE OF STREETS CREATED: 0
TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0
TOTAL MILEAGE OF HALF WIDTH STREETS CREATED: 0
TOTAL ACREAGE OF SUBDIVISION: 24.894

State of New Mexico
County of Bernalillo
This instrument was filed for record
on 21st APR 8 1982
At 10:00 clock P.M. Recorded in Vol. C19
of records of said County Folio 125-3-4
Clark & Naveau
Deputy Clerk



ZONE ATLAS PAGE NO. E-20 and E-21

NOTE: UNLESS OTHERWISE INDICATED

- 1) All bearings are referenced to the New Mexico State Plane Coordinate System (Central Zone) having a delta-alpha angle of -00°09'37" (Sector Plan Centroid).
- 2) Dimensions along curved lines are arc lengths.
- 3) All side lot lines are perpendicular to front lot line or radial (noted N/R if not radial).
- 4) All lots and parcels within this subdivision are subject to Declaration of Restrictive Covenants filed separately from this plat.
- 5) All block corners indicated thus (▲) shall be permanently identified by steel pin and aluminum cap.
- 6) There is a five foot (5') minimum drainage easement adjacent and parallel to all sides of each lot.
- 7) There is a fifteen foot (15') access and utility easement adjacent and parallel to the front of all lots.

SURVEYOR'S CERTIFICATE

I, L.A. Carleton, Jr., under the laws of New Mexico, certify that I am a Registered Land Surveyor and that this plat was prepared by me, or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and survey of the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

COMMUNITY SCIENCES CORPORATION

SHEET 3 OF 4

DATE	DEC. 1980
SCALE	1" = 100'
DESIGNED	CSC
DRAWN	KCW/MKS
JOB NO.	78-3-022



fairways north
at tanoan

TOTAL LOTS CREATED: 67
TOTAL TRACTS CREATED: 6
TOTAL MILEAGE OF STREETS CREATED: 0
TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0
TOTAL MILEAGE OF HALF WIDTH STREETS CREATED: 0
TOTAL ACREAGE OF SUBDIVISION: 24.894

82-18484

State of New Mexico
County of Bernalillo
This instrument was filed for record
on 21st APR 8 1982
At 10:00 clock P.M. Recorded in Vol. C19
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Clark & Naveau
Deputy Clerk

CURVE DATA				
CURVE NO.	RADIUS	ARC LENGTH	DELTA	TANGENT
1	24.38	38.29	90-00-00	24.38
2	24.38	41.49	97-51-08	27.81
3	24.38	36.75	86-19-47	22.86
4	30.00	41.06	78-25-19	24.48
5	30.00	41.06	78-25-20	24.48
6	24.38	42.83	100-41-11	29.40
7	24.38	33.74	79-18-49	20.21
8	41.00	73.56	102-47-25	51.35
9	41.00	42.65	59-36-15	23.48
10	40.00	125.66	180-00-00	
11	82.40	53.70	37-20-14	27.84
12	82.40	3.05	02-07-17	1.53
13	82.40	82.79	57-53-57	45.27
14	200.00	133.62	38-16-49	69.41
15	110.00	130.55	68-00-00	74.20
16	535.00	34.27	03-40-13	17.14
17	535.00	118.24	12-39-47	59.36
18	535.00	150.96	16-10-00	75.98
19	535.00	303.47	32-30-00	155.94
20	375.00	159.49	24-22-06	80.97
21	525.00	289.22	31-33-52	148.38
22	550.00	94.02	05-37-41	27.03
23	125.00	163.39	74-53-33	95.73
24	750.00	122.80	09-22-53	61.54
25	650.00	169.70	14-57-30	85.53
26	125.00	226.88	103-59-32	159.97
27	24.38	40.63	95-30-00	26.83
28	82.40	26.04	18-06-26	13.13
29	550.00	20.29	02-06-49	10.15
30	550.00	33.74	03-50-52	16.87

ZONE ATLAS PAGE NO. E-20 and E-21

NOTE: UNLESS OTHERWISE INDICATED

- 1) All bearings are referenced to the New Mexico State Plane Coordinate System (Central Zone) having a delta-alpha angle of -00°09'37" (Sector Plan Centroid).
- 2) Dimensions along curved lines are arc lengths.
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- 4) All lots and parcels within this subdivision are subject to Declaration of Restrictive Covenants filed separately from this plat.
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- 6) There is a five foot (5') minimum drainage easement adjacent and parallel to all sides of each lot.
- 7) There is a fifteen foot (15') access and utility easement adjacent and parallel to the front of all lots.

SURVEYOR'S CERTIFICATE

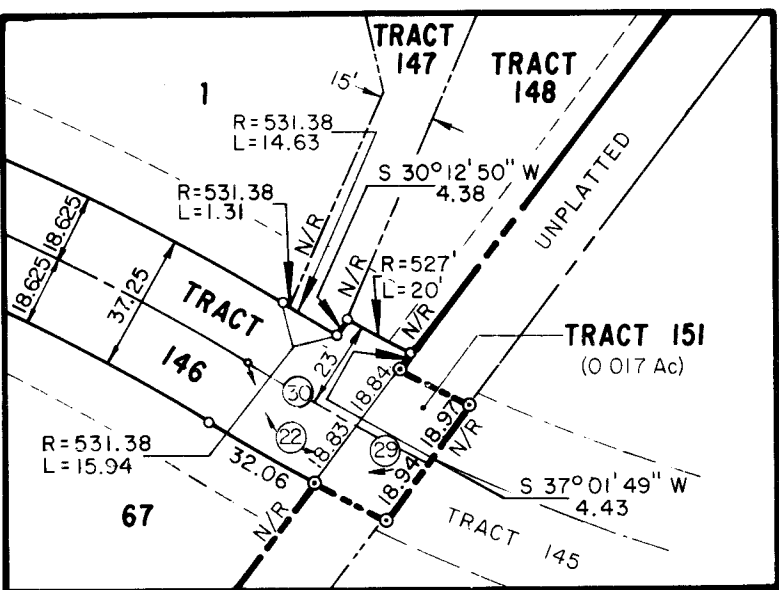
I, L.A. Carleton, Jr., under the laws of New Mexico, certify that I am a Registered Land Surveyor and that this plat was prepared by me, or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and survey of the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

COMMUNITY SCIENCES CORPORATION

SHEET 4 OF 4

DATE	DEC. 1980
SCALE	1" = 100'
DESIGNED	CSC
DRAWN	KCW/MKS
JOB NO.	78-3-022

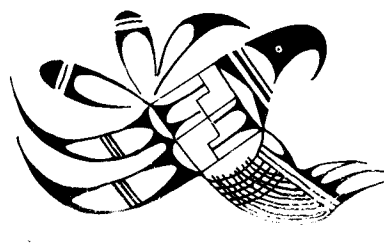
L.A. Carleton, Jr.
N.M.L.S. No. 7270
3/3/82



DETAIL "B"



SHEET 3 OF 15



fairways north
at tanoan



fairways north at tanoan

82 18481

T.I.N.R.4.E., PROJECTED SECTIONS 28 AND 29
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DEC. 1980

NOTE: All bearings recited herein are based on the New Mexico State Plane system, Central Zone. All distances are expressed in local, ground measurement. Mean delta-alpha for the project's approximate centroid is -00°09'37" (Sector Development Plan Surveys). Retracement of this perimeter and comparison with adjacent subdivisions or surveys should consider the delta-alpha applicable to that specific portion.

THIS SUBDIVISION FILING COMPRISES 4 SHEETS:
Sheet 1 of 4 - Description, Free Consent and Dedication
Sheet 2 of 4 - Legend of Easements and Approvals
Sheet 3 of 4 - Plat of Geometry
Sheet 4 of 4 - Plat of Geometry

FREE CONSENT AND DEDICATION

The subdivision of the land hereon described is with the free consent and in accordance with the desires of the undersigned owners and proprietors thereof, and said owners and proprietors do hereby dedicate all easements shown on this plat, the use of which easements shall be limited to those uses specified in the legend on Sheet 2 of 4 of this filing.

AFFILIATED MORTGAGE AND DEVELOPMENT COMPANY

By: Charles A. Haegelin
Charles A. Haegelin, Executive Vice President

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged by me on this 27th day of JANUARY, 1981 by Charles A. Haegelin, Executive Vice President of Affiliated Mortgage and Development Company, a New Mexico Corporation, on behalf of said Corporation.

My Commission Expires: 8-10-83

Virginia Perkins
NOTARY PUBLIC

TANOAN ENTERPRISES, INC.

By: James D. Smith
James D. Smith, Vice President

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged by me on this 27th day of JANUARY, 1981 by James D. Smith, Vice President of Tanoan Enterprises, Inc., a New Mexico Corporation, on behalf of said Corporation.

My Commission Expires: 8-10-83

Virginia Perkins
NOTARY PUBLIC



8-10-83

DESCRIPTION:

That certain parcel of land situate within Projected Sections 28 and 29, Township 11 North, Range 4 East of the New Mexico Principal Meridian, within the Elena Gallegos Grant, lying between the Fairway of the Tanoan Golf Course and a Public Service Company of New Mexico Transmission Line Easement and being more particularly described as follows:

BEGINNING at the Northeast corner of the parcel herein described, a point on the southerly boundary of the said Public Service Company of New Mexico (PNM) Easement; whence, the City of Albuquerque Survey Brass Cap "1-D21" having New Mexico State Plane Coordinates (Central Zone) x = 415,462.45 feet and y = 1,513,473.51 feet, bears N58°30'03"W, 290.22 feet; thence,

S60°31'27"W, 46.43 feet; thence, S15°31'27"W, 69.98 feet; thence,

S37°01'49"W, 123.35 feet to a Point On Curve (POC); thence,

Southeasterly, 20.31 feet along the arc of a curve bearing to the left (said curve having a radius of 531.38 feet and a chord which bears S62°58'52"E, 20.31 feet) to a Point On Curve (POC); and being a point on the Northerly Boundary of the "AMENDED, fairway estates at tanoan, unit one, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MAY, 1979" as filed in the Office of the Bernalillo County Clerk on June 25, 1979 on August 21, 1979; thence,

S37°01'49"W, 37.91 feet along the said Northerly Boundary to a Point On Curve (POC); thence,

Northwesterly, 20.27 feet along the arc of a curve bearing to the right (said curve having a radius of 568.62 feet and a chord which bears N62°19'08"W, 20.27 feet) to a Point On Curve (POC); thence,

S37°01'49"W, 124.74 feet; thence, N81°03'12"W, 148.71 feet; thence,

S58°53'28"W, 135.48 feet; thence, S69°40'37"W, 115.17 feet; thence,

S78°35'23"W, 329.85 feet; thence, S65°52'45"W, 515.69 feet; thence,

S77°24'35"W, 196.68 feet; thence, N69°04'32"W, 238.36 feet to a Point On Curve (POC); thence,

Southeasterly, 18.34 feet along the arc of a curve bearing to the right (said curve having a radius of 98.02 feet and a chord which bears S12°47'44"E, 18.32 feet) to a Point of Tangency (PT); thence,

S07°26'03"E, 5.41 feet to a point on the said Northerly Boundary of Fairway Estates at Tanoan; thence,

N69°04'32"W, 36.76 feet along the said Northerly Boundary to a Point On Curve (POC); thence,

Northwesterly, 54.98 feet along the arc of a curve bearing to the left (said curve having a radius of 66.77 feet and a chord which bears N41°24'48"W, 53.44 feet) to a Point of Tangency (PT); thence,

N65°W, 298.88 feet to a Point of Curvature (PC); thence,

Southwesterly, 35.95 feet along the arc of a curve bearing to the left (said curve having a radius of 24.38 feet and a chord which bears S72°45'W, 32.78 feet) to a Point of Tangency (PT); thence,

S30°30'W, 101.04 feet to a Point of Curvature (PC); thence,

Southerly, 121.18 feet along the arc of a curve bearing to the left (said curve having a radius of 181.38 feet and a chord which bears S11°21'36"W, 118.94 feet) to a Point On Curve (POC); thence,

Radially, S82°13'11"W, 37.25 feet to a Point On Curve (POC); thence,

Northerly, 146.07 feet along the arc of a curve bearing to the right (said curve having a radius of 218.62 feet and a chord which bears N11°21'36"E, 143.36 feet) to a Point of Tangency (PT); thence,

N30°30'E, 302.75 feet to a Point of Curvature (PC); thence,

Northeasterly, 109.36 feet along the arc of a curve bearing to the right (said curve having a radius of 128.62 feet and a chord which bears N°4°51'29"E, 106.10 feet) to a Point On Curve (POC); thence,

Radially, N10°47'02"W, 45.00 feet; thence,

N19°29'01"E, 75.00 feet; thence, N10°22'06"E, 160.00 feet to a point of the said Southerly Boundary of the PNM Easement; thence,

Following the said PNM Easement:

S89°37'54"E, 1,717.12 feet; thence, S89°36'36"E, 248.54 feet to the POINT OF BEGINNING of the parcel herein described.

The above delineated parcel contains 24.894 acres, more or less.

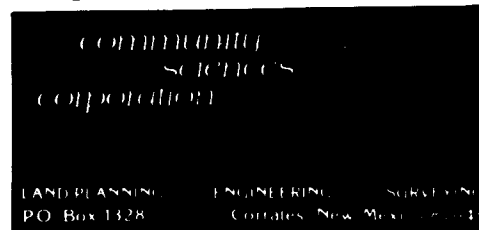
SURVEYOR'S CERTIFICATE

I, L.A. Carleton, Jr., under the laws of New Mexico, certify that I am a Registered Land Surveyor and that this plat was prepared by me, or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and survey of the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

COMMUNITY SCIENCES CORPORATION

L.A. Carleton, Jr.
L.A. Carleton, Jr. N.M.L.S. #7270

SHEET 1 OF 4



fairways north at tanoan

82 18481

APPROVALS

Antoni C. Lopez 1-22-80 D 2 3/12/82
MOUNTAIN BELL DATE

Gas Company 1-22-81 8/3/12/82
GAS COMPANY OF NEW MEXICO DATE

Public Service Company 1-30-81 8/11/3-12-82
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE

AMAFCA 1-28-82
AMAFCA DATE

Richard S. Hall 4/1/82
CITY ENGINEERING DATE
ALBUQUERQUE, NEW MEXICO

Charles D. Smith 3/1/82
John E. Smith 3/1/81
PARKS AND RECREATION DATE
ALBUQUERQUE, NEW MEXICO

G. Munchy By King 4/7/82 S-79-36
PLANNING DIRECTOR DATE
ALBUQUERQUE, NEW MEXICO

Robert A. Truitt 2-18-81
TRAFFIC ENGINEER DATE
ALBUQUERQUE, NEW MEXICO

John E. Smith 2/3/81 2/11/3-12/82
CHIEF SURVEYOR DATE
ALBUQUERQUE, NEW MEXICO

John E. Smith 4/1/81
WATER RESOURCES DATE
ALBUQUERQUE, NEW MEXICO

John E. Smith 8/12/82
PROPERTY MANAGEMENT DATE
ALBUQUERQUE, NEW MEXICO

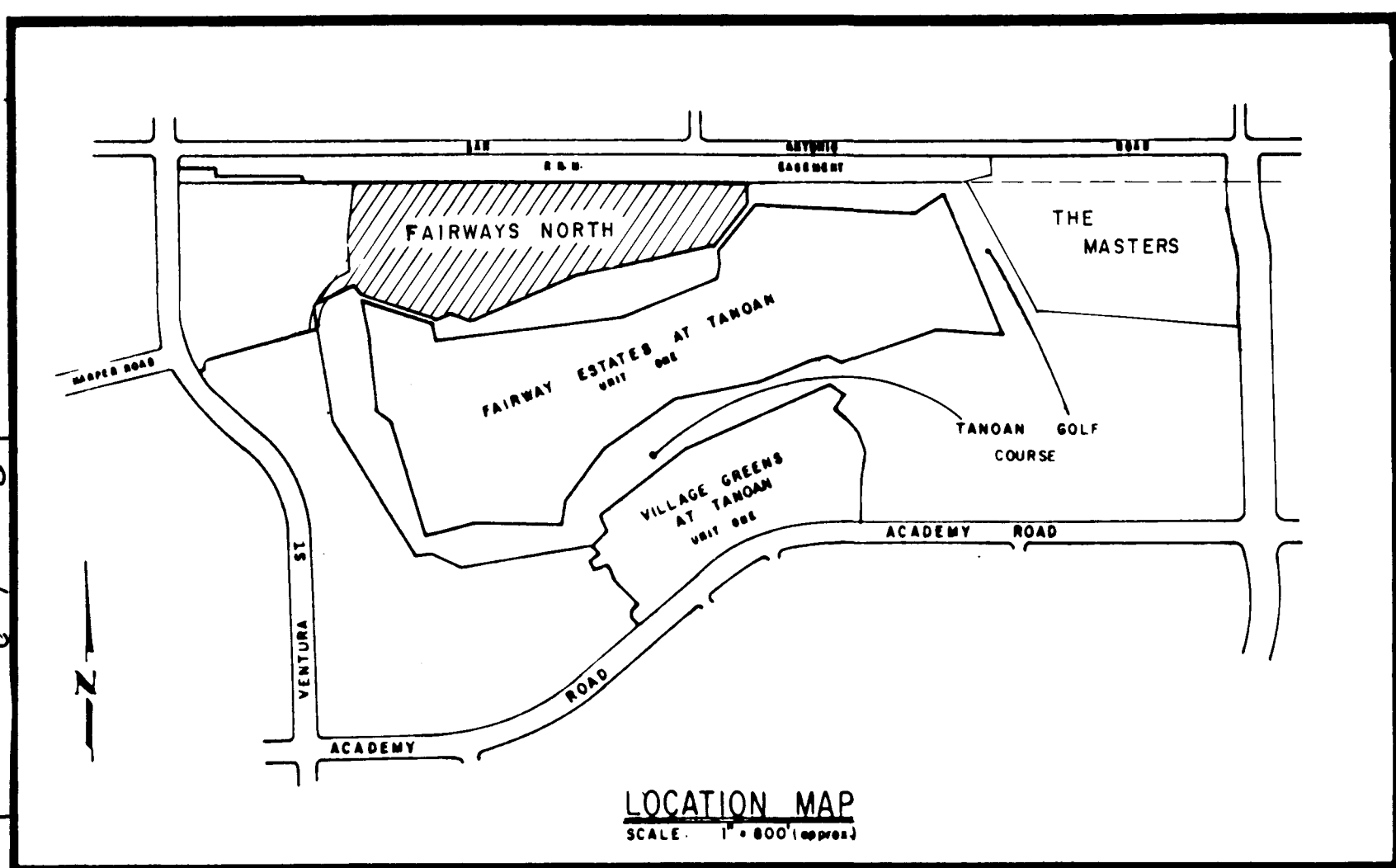
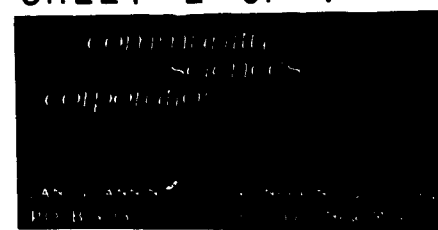
SURVEYOR'S CERTIFICATE

I, L.A. Carleton, Jr., under the laws of New Mexico, certify that I am a Registered Land Surveyor and that this plat was prepared by me, or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and survey of the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

COMMUNITY SCIENCES CORPORATION

L.A. Carleton, Jr.
L.A. Carleton, Jr. N.M.L.S. #7270

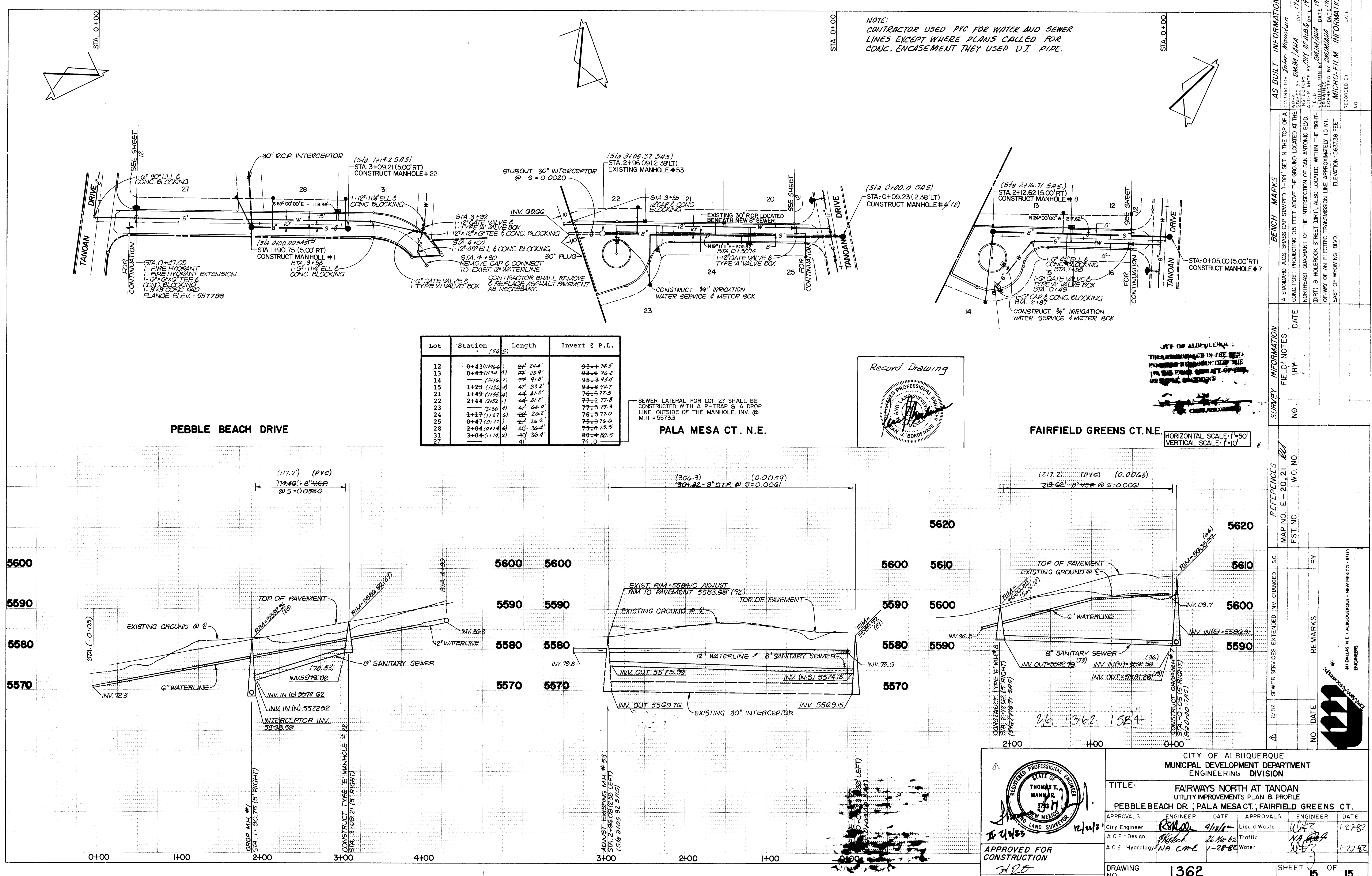
SHEET 2 OF 4



LOCATION MAP
SCALE 1" = 800' (approx)

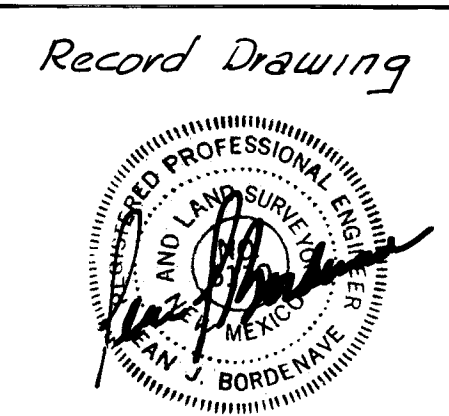
DESCRIPTION OF EASEMENTS

- UTILITY EASEMENTS: Utility easements on the plat are granted for the common and joint use and benefit of:
 - The City of Albuquerque for installation, service and maintenance of water and sewer lines, valves, pumps and/or other related equipment and facilities reasonably necessary to deliver potable water to the residents of the subdivision and provide a liquid waste disposal system in accordance with the plans and procedures of the City of Albuquerque;
 - The Public Service Company of New Mexico for installation, maintenance and service of electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service to the residents of the subdivision;
 - The Gas Company of New Mexico for installation of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas to the residents of the subdivision;
 - Mountain Bell for the installation, service and maintenance of all telephone lines, switching equipment and other related equipment and facilities reasonably necessary to provide telephone service to the residents of the subdivision;
 - Albuquerque Cable Television, Inc. for the purpose of installation, service and maintenance of such line or cable as is reasonably required to provide cable TV service to the residents of the subdivision;
 - Tanoan Home Owners' Association for the installation service and maintenance of their utilities.
- DRAINAGE EASEMENTS: Drainage easements are granted to the City of Albuquerque for the benefit of all owners of the subdivision or indicated on the plat for the passage, containment or diversion of surface waters; and between individual property owners as indicated on the plat by reference or notation.
- ACCESS EASEMENTS: The City of Albuquerque is hereby granted an access easement over and across Tracts 146, 147, 149, 150, and 151 for the purpose of allowing its various operating departments to provide service to the residents of the subdivision in the same manner and to the same extent as though Tracts 146, 147, 149, 150, and 151 were dedicated public streets. "Operating departments" as referred to above shall include but shall not be limited to the department of the City providing the following services: (1) Police protection; (2) Fire protection; (3) Water resources; (4) Solid refuse and liquid disposal; (5) Animal control; (6) City planning functions; and (7) Traffic engineering and control. All owners of the subdivision are granted the right to access their property over and across Tracts 146, 147, 149, 150, and 151.
- In Tracts 146, 147, 149, 150, and 151 the City of Albuquerque shall have the exclusive right to place underground utilities lines within six (6) feet of the centerline of a water or sewer line except for perpendicular crossings or where written approval has been obtained from the City of Albuquerque. Gas Company of New Mexico, Public Service Company of New Mexico and Mountain States Telephone and Telegraph are excepted from compliance with the requirements of the first sentence in this paragraph.



Lot	Station (54.5)	Length	Invert @ P.L.
12	0+43.0(14.4)	27' 24.4'	93+4 94.5
13	0+43.0(14.4)	27' 23.9'	93+6 96.2
14	— (216.7)	77' 91.0'	95+3 95.4
15	1+23 (142.4)	47' 33.2'	93+8 94.7
21	1+49 (155.4)	44' 31.2'	76+5 77.5
22	2+44 (252.7)	44' 31.2'	77+3 79.3
23	— (236.4)	47' 46.0'	77+3 79.3
24	1+137 (1127.6)	22' 26.2'	76+3 77.0
25	0+47 (147.7)	27' 26.2'	75+3 76.6
28	2+04 (1114.6)	40' 36.4'	75+8 75.5
31	3+04 (1114.2)	40' 36.4'	80+4 80.5
27	—	41'	74 0

SEWER LATERAL FOR LOT 27 SHALL BE CONSTRUCTED WITH A P-TRAP & A DROP LINE OUTSIDE OF THE MANHOLE. INV. @ M.H. = 5573.3



APPROVED FOR CONSTRUCTION

CITY ENGINEER

DATE

APPROVED

ENGINEER

DATE

APPROVED

ENGINEER

DATE

APPROVED

ENGINEER

DATE

CITY OF ALBUQUERQUE

MUNICIPAL DEVELOPMENT DEPARTMENT

ENGINEERING DIVISION

TITLE:

FAIRWAYS NORTH AT TANOAN

TITLE:

UTILITY IMPROVEMENTS PLAN & PROFILE

TITLE:

PEBBLE BEACH DR., PALA MESA CT., FAIRFIELD GREENS CT.

APPROVALS

ENGINEER

DATE

APPROVALS

ENGINEER

DATE

APPROVALS

ENGINEER

DATE

APPROVALS

ENGINEER

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APPROVALS

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DATE

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APPROVALS

ENGINEER

DATE

APPROVALS

ENGINEER

DATE

DRAWING NO.

1362

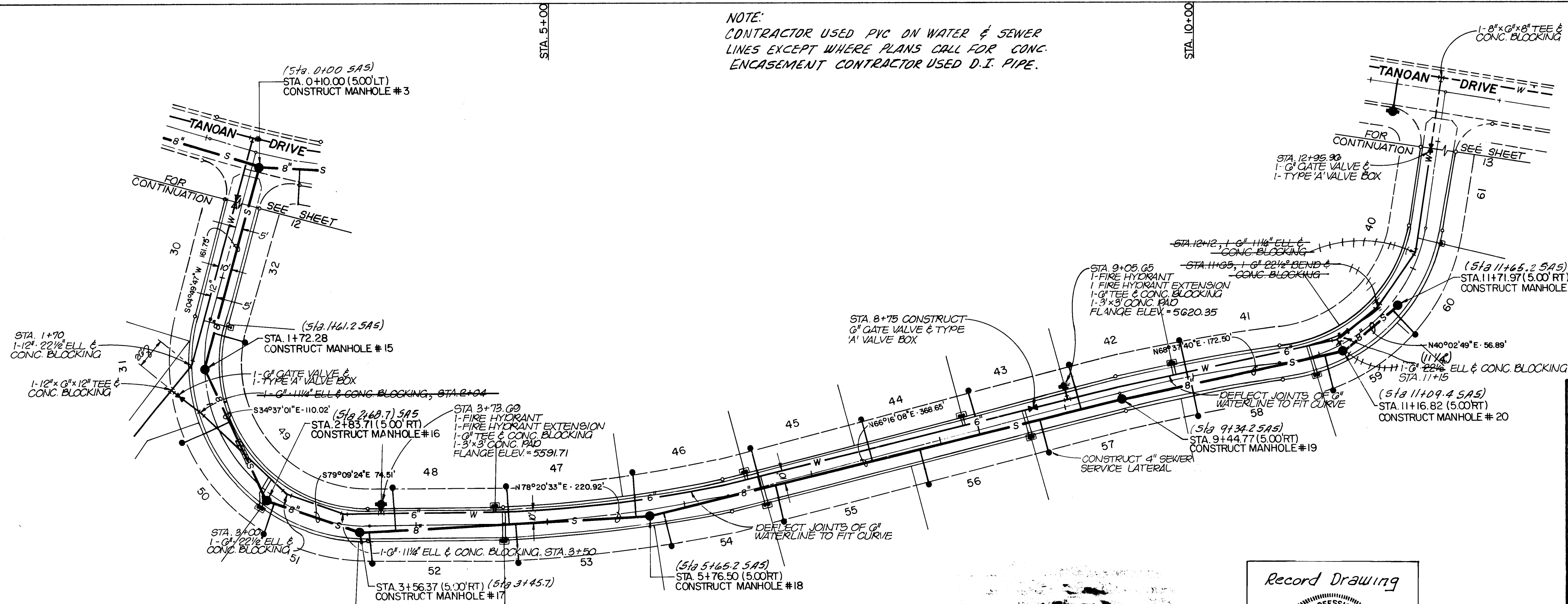
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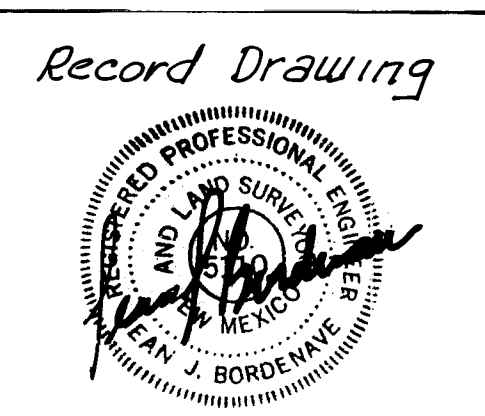
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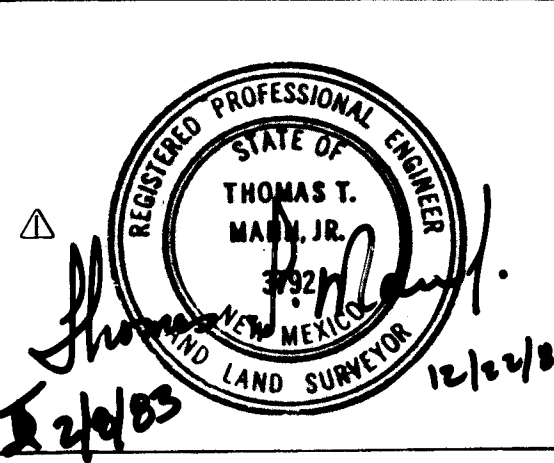
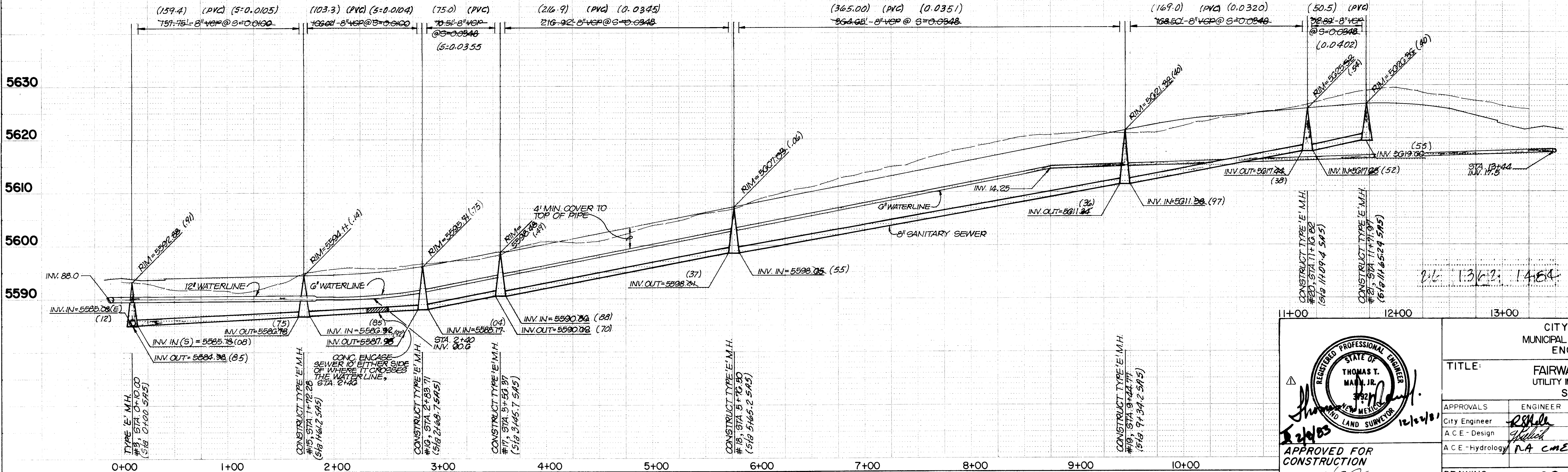
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		REFERENCES		REMARKS	
CONTRACTOR	Inter Mountain	STANDARD	ACCS BRASS CAP STAMPED 1-1021 SET IN THE TOP OF A CONC. POST PROJECTING 05 FEET ABOVE THE GROUND LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF SAN ANTONIO BLVD. (DIRT) & HOLBROOK STREET (DIRT) ALSO LOCATED WITHIN THE RIGHT-OF-WAY OF AN ELECTRIC TRANSMISSION LINE APPROXIMATELY 15 MI. EAST OF WYOMING BLVD. ELEVATION 5637.38 FEET	DATE	DATE	NO.	NO.	NO.	NO.
STATIONED BY	DMJM/MAA	DATE	1983	DATE	1983	NO.	NO.	NO.	NO.
DESIGNED BY	DMJM/MAA	DATE	1983	DATE	1983	NO.	NO.	NO.	NO.
CHECKED BY	DMJM/MAA	DATE	1983	DATE	1983	NO.	NO.	NO.	NO.
RECORDED BY	DMJM/MAA	DATE	1983	DATE	1983	NO.	NO.	NO.	NO.



Lot	Station	Length	Invert @ P.L.
41	9+98 (9.98)	37	34.2'
42	9+16 (9.16)	36	34.2'
43	9+31 (9.31)	36	34.4'
44	9+46 (9.46)	36	34.4'
45	9+61 (9.61)	35	32.4'
46	9+76 (9.76)	35	29.2'
47	9+91 (9.91)	35	29.2'
48	10+06 (10.06)	35	33.1'
49	10+21 (10.21)	28	24.0'
50	10+36 (10.36)	28	24.0'
51	10+51 (10.51)	28	24.0'
52	10+66 (10.66)	28	24.0'
53	10+81 (10.81)	28	24.0'
54	10+96 (10.96)	28	24.0'
55	11+11 (11.11)	28	24.0'
56	11+26 (11.26)	28	24.0'
57	11+41 (11.41)	28	24.0'
58	11+56 (11.56)	28	24.0'
59	11+71 (11.71)	28	24.0'
60	11+86 (11.86)	28	24.0'



HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=10'

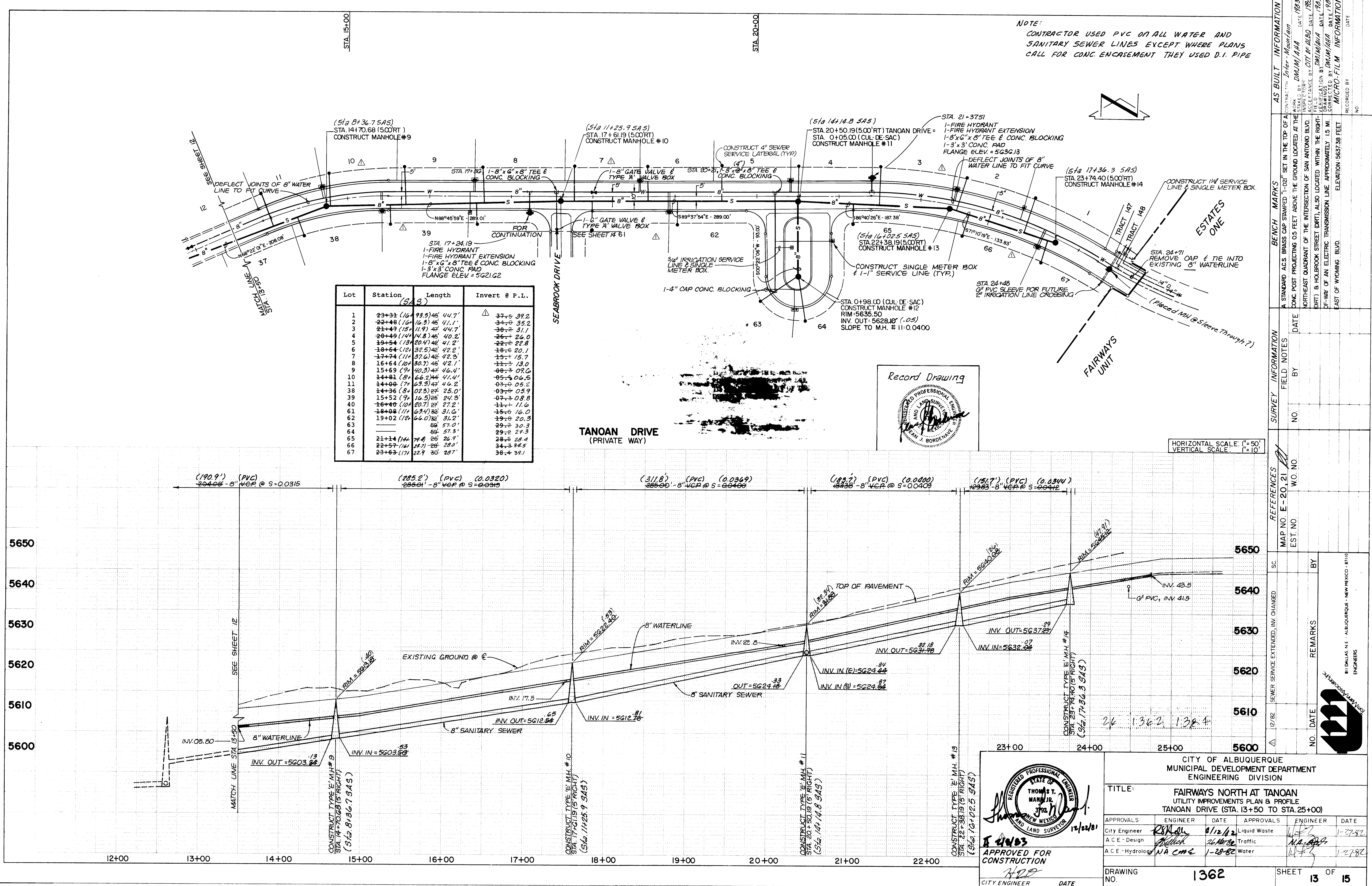


CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: FAIRWAYS NORTH AT TANOAN
UTILITY IMPROVEMENTS PLAN & PROFILE
SEABROOK DRIVE N.E.

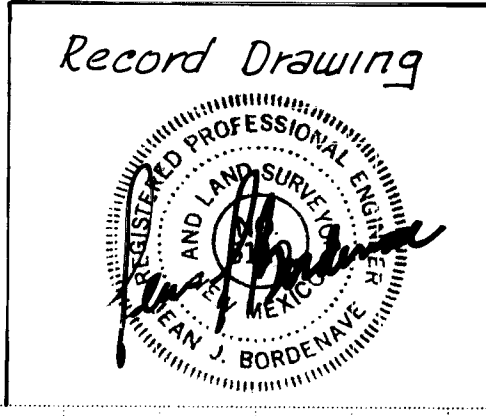
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	[Signature]	4/12/82	Liquid Waste	[Signature]	1-27-82
A.C.E. Design	[Signature]	26/10/82	Traffic	[Signature]	1-27-82
A.C.E. Hydrology	[Signature]	1-28-82	Water	[Signature]	1-27-82

DRAWING NO. 1362 SHEET 14 OF 15



Lot	Station	Length	Invert @ P.L.
1	23+31 (16+93.5) 45'	44.7'	37-5 39.2
2	22+48 (16+16.5) 45'	41.1'	34-0 35.2
3	21+47 (15+11.9) 42'	44.7'	30-2 31.1
4	20+49 (14+14.8) 45'	40.2'	26-+ 26.0
5	19+54 (13+20.4) 42'	41.2'	22-2 22.8
6	18+64 (12+32.5) 42'	42.2'	18-6 20.1
7	17+74 (11+37.6) 42'	42.3'	15-+ 15.7
8	16+64 (10+30.7) 45'	42.1'	11-3 13.0
9	15+69 (9+10.3) 42'	46.4'	08-3 07.6
10	14+81 (8+66.3) 44'	41.4'	05-+ 06.5
11	14+00 (7+63.3) 42'	46.2'	03-0 05.2
38	14+36 (8+02.3) 27'	25.0'	03-0 05.9
39	15+52 (9+16.5) 25'	24.3'	07-3 08.8
40	16+40 (10+20.7) 27'	27.2'	11-+ 11.6
61	18+08 (11+63.4) 32'	31.6'	15-6 16.0
62	19+02 (12+66.0) 32'	31.2'	19-8 20.3
63	---	59' 57.0'	29-2 30.3
64	---	59' 57.3'	29-2 29.3
65	21+14 (14+74.4) 25'	26.9'	28-5 28.4
66	22+57 (16+18.1) 28'	28.0'	34-3 34.5
67	23+63 (17+22.9) 30'	28.7'	38-4 39.1

NOTE:
CONTRACTOR USED PVC ON ALL WATER AND
SANITARY SEWER LINES EXCEPT WHERE PLANS
CALL FOR CONC. ENCASEMENT THEY USED D.I. PIPE



HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=10'

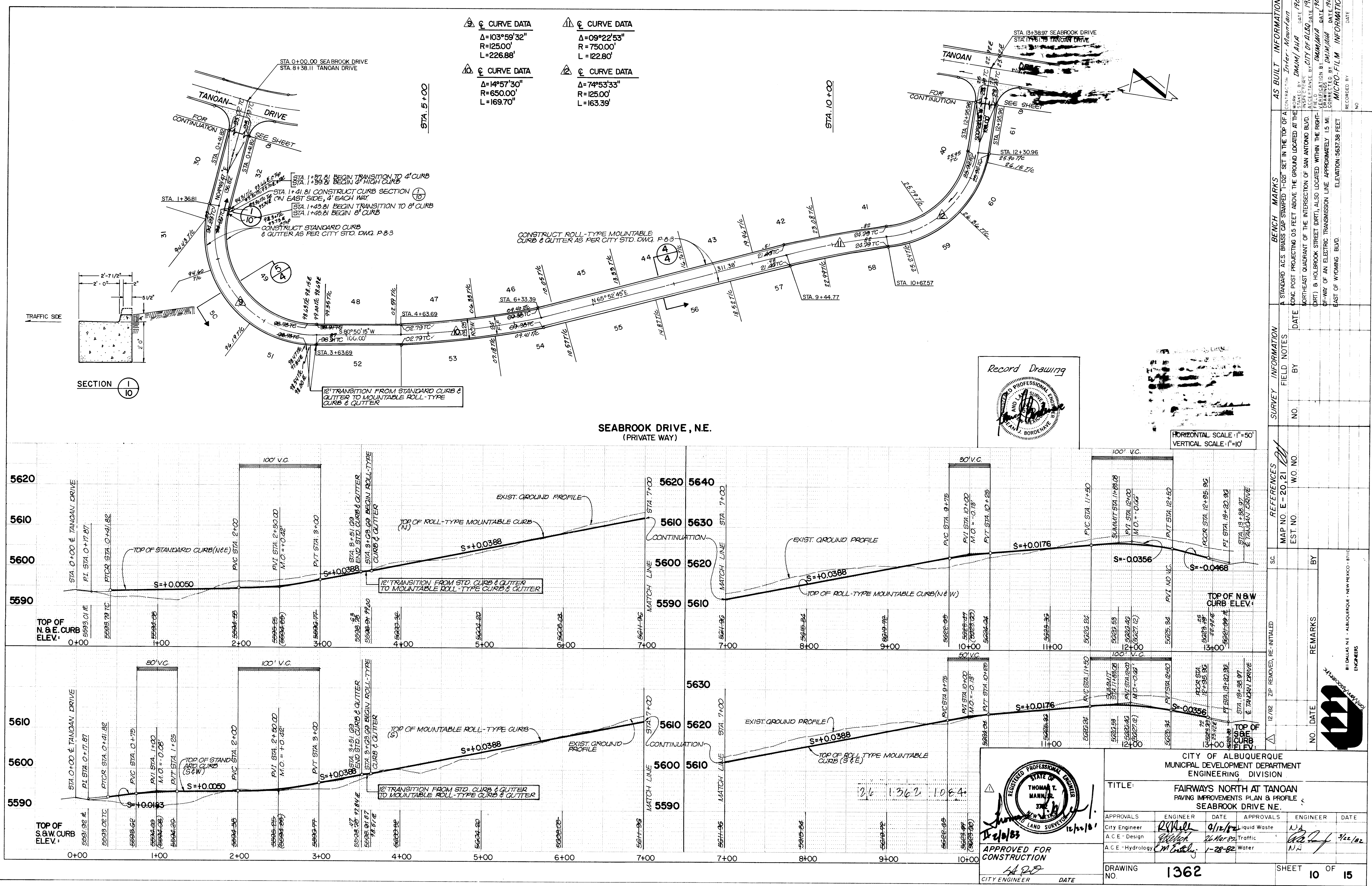
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		REFERENCES	
CONTRACTOR: Inter-Mountain		A STANDARD A.C.S. BRASS CAP STAMPED "1-102" SET IN THE TOP OF A CONC. POST PROJECTING 0.5 FEET ABOVE THE GROUND LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF SAN ANTONIO BLVD. (DRT) & HOLBROOK STREET (DRT), ALSO LOCATED WITHIN THE RIGHT-OF-WAY OF AN ELECTRIC TRANSMISSION LINE APPROXIMATELY 1.5 MI. EAST OF WYOMING BLVD.		DATE: 12/22/81		MAP NO. E-20, 21	
INSPECTOR: DMJM/AHA		DATE: 1983		BY: NO.		EST. NO. WO. NO.	
FIELD: DMJM/AHA		DATE: 1983		NO.		SC	
CORRECTED BY: DMJM/AHA		DATE: 1983		NO.		BY	
MICRO-FILM INFORMATION		ELEVATION: 5637.38 FEET		REMARKS		NO. DATE	
RECORDED BY: NO.		DATE: 12/22/81		BY: 81 DALLAS N.E. ALBUQUERQUE - NEW MEXICO - 87110		ENGINEERS	

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: FAIRWAYS NORTH AT TANOAN
UTILITY IMPROVEMENTS PLAN 8, PROFILE
TANOAN DRIVE (STA. 13+50 TO STA. 25+00)

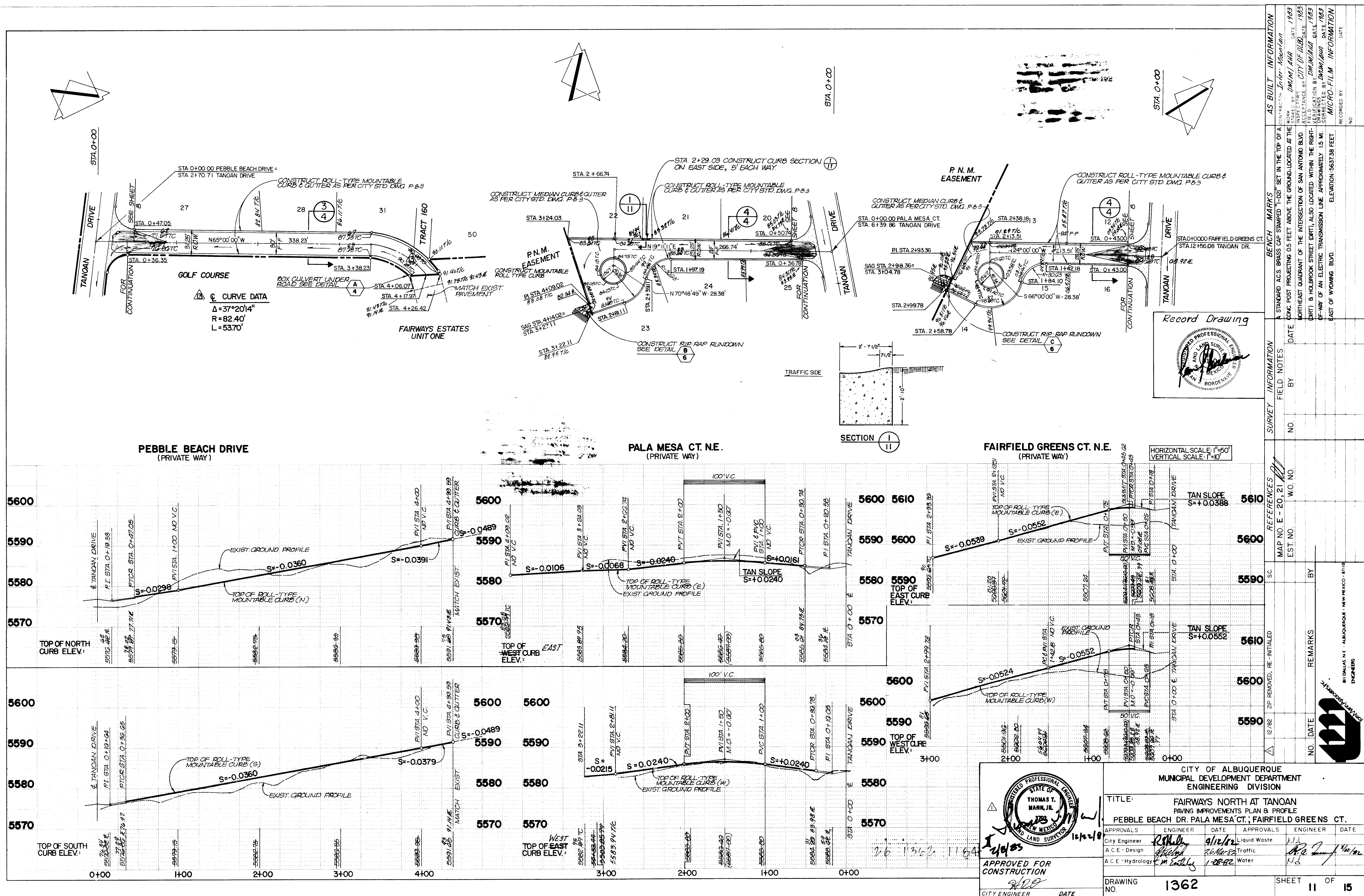
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	RSK/ah	8/12/82	Liquid Waste	NA/ah	1-27-82
A.C.E. - Design	NA/ah	26/M/82	Traffic	NA/ah	1-27-82
A.C.E. - Hydrology	NA/ah	1-28-82	Water	NA/ah	1-27-82

DRAWING NO. 1362 SHEET 13 OF 15



9. CURVE DATA	11. CURVE DATA
$\Delta=103^{\circ}59'32''$	$\Delta=09^{\circ}22'53''$
$R=125.00'$	$R=750.00'$
$L=226.88'$	$L=122.80'$
10. CURVE DATA	12. CURVE DATA
$\Delta=14^{\circ}57'30''$	$\Delta=74^{\circ}53'33''$
$R=650.00'$	$R=125.00'$
$L=169.70'$	$L=163.39'$

TANOCAN & PROFILE N.E.			SHEET 10 OF 15		
APPROVALS			ENGINEER		
DATE			DATE		
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CONCRETE
ASPHALT (PLAN)
ASPHALT (SECTION)
RIP-RAP
GUNITE
GRAVEL
UNDISTURBED EARTH (SECTION)
COMPACTED SUBGRADE (SECTION)
COMPACTED SUBBASE (SECTION)

CENTERLINE
SUBDIVISION BOUNDARY
PROPERTY LINE (PLAN)
PROPERTY LINE (SECTION)
EASEMENT LINE
MATCH LINE
SECTION CUT LINE

EXISTING CONTOUR
PROPOSED CONTOUR
SWALE
DIRECTION OF FLOW
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
SIDE SLOPE

STORM DRAIN
STORM SEWER MANHOLE
GAS LINE

The diagram illustrates several types of DNA mutations:

- Substitution (S):** A single nucleotide is replaced by another.
- Deletion:** A segment of DNA is removed, indicated by hatching.
- Insertion:** A segment of DNA is added, indicated by hatching.
- Point Mutation:** A single nucleotide is changed, represented by a black dot.
- Frameshift Mutations:** Indels (insertions or deletions) that shift the reading frame, shown with brackets and arrows.

SEWAGE SANITARY SEWER •

SEWER LINE

SEWER ENCASED IN CONCRETE

SEWER MANHOLE

SERVICE LATERALS

SEWER PLUG

SINGLE CLEANOUT

DOUBLE CLEANOUT

WATER LINE
GATE VALVE & VALVE BOX
BUTTERFLY VALVE
PRESSURE REDUCING VALVE
REDUCER
FIRE HYDRANT

WATER FITTINGS •
CAP
CROSS
TEE
ELBOW
WATER SERVICES

MISCELLANEOUS:

TREES & SHRUBS

POWER POLE

TELEPHONE POLE

CHAINLINK FENCE

FIELD FENCE

COMMON YARD WALL

RETAINING WALL

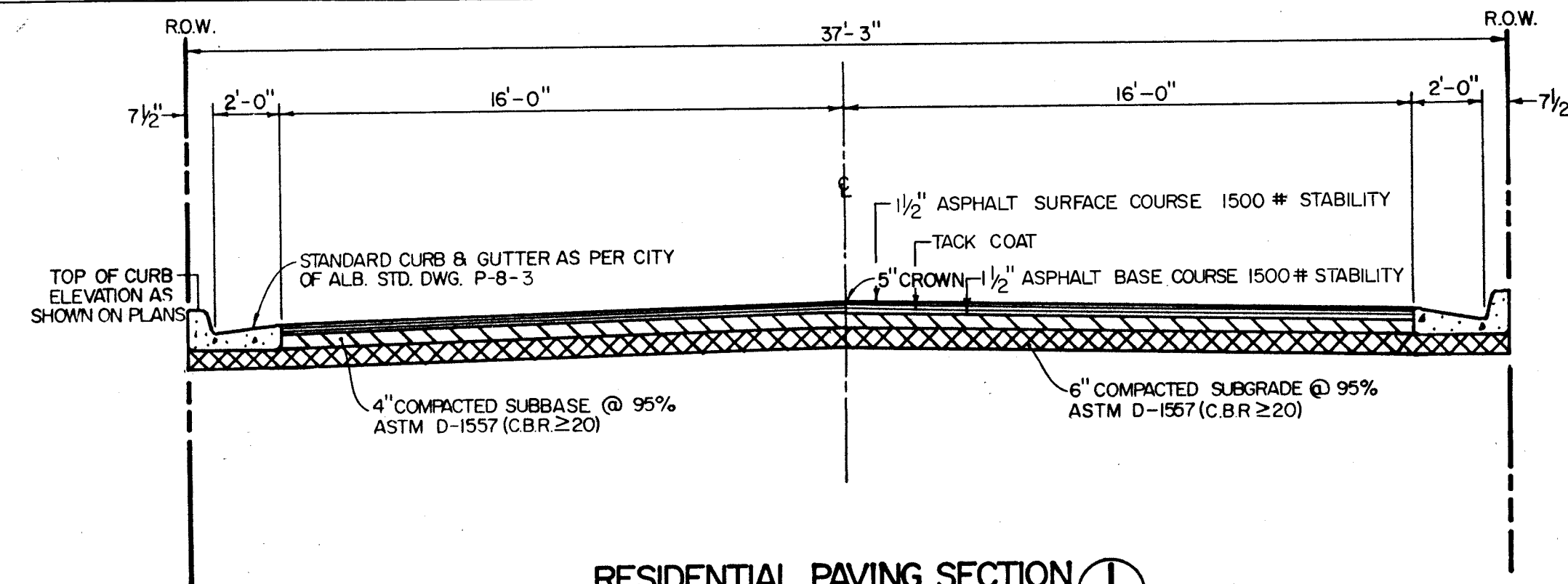
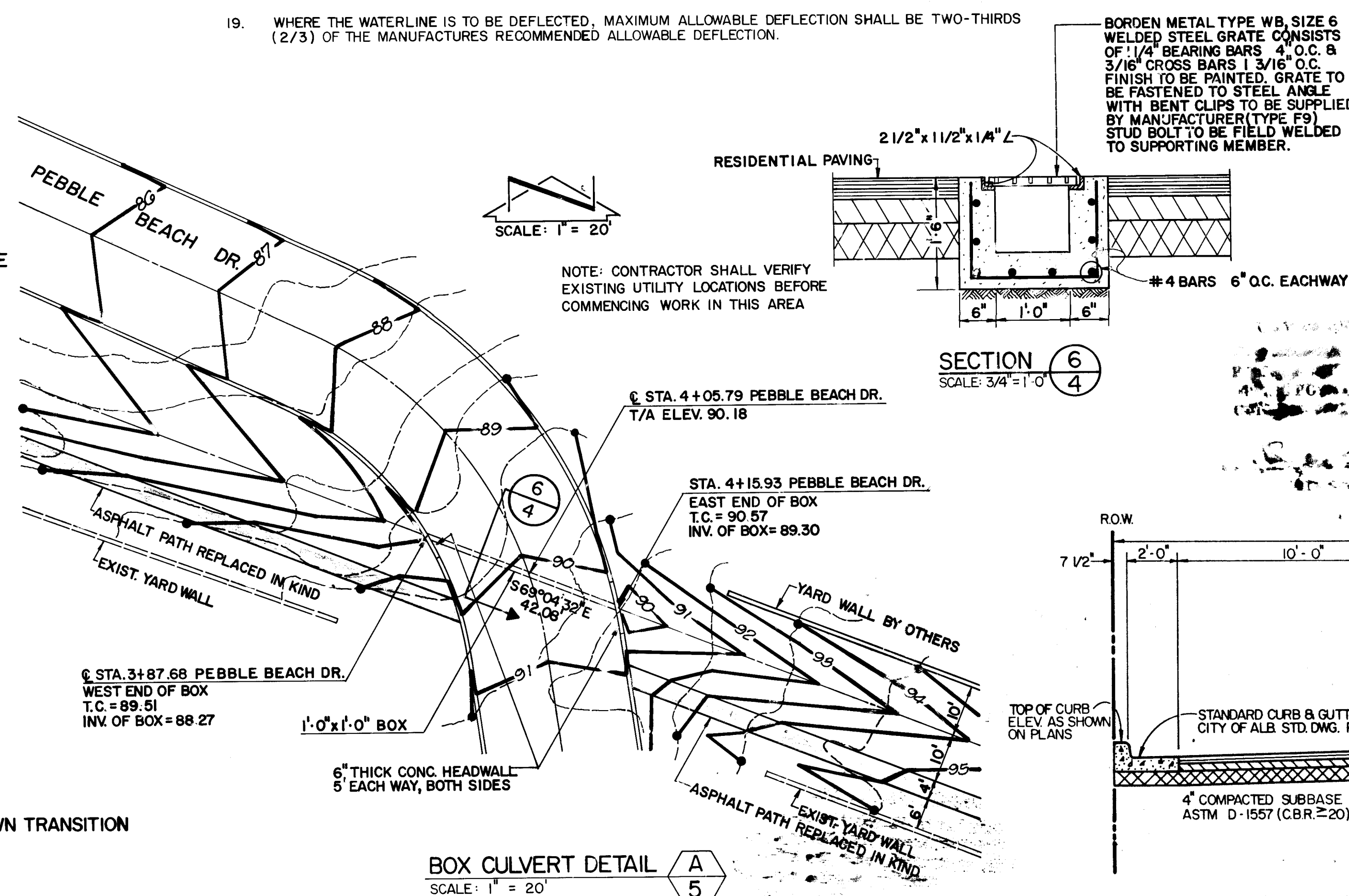
NO CROWN AREA & NO CROWN TRANSITION

1. ALL CONSTRUCTION SHALL COMPLY WITH THE "STANDARD SPECIFICATION" AND THE CITY OF ALBUQUERQUE "CONTRACT DOCUMENTS FOR CITY-WIDE UTILITIES AND CASH PAVING NO. 31" - △
2. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES BY CALLING 765-1234 48 HOURS BEFORE COMMENCING WORK IN AREAS NEAR UNDERGROUND UTILITY LINES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES. THE ENGINEER SHALL BE PROMPTLY NOTIFIED OF ANY PROBLEMS OR CONFLICTS THAT ARE ENCOUNTERED.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
4. THE CONTRACTOR WILL BE REQUIRED TO CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS AND/OR RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION AND PRIVATE PROPERTY.
5. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

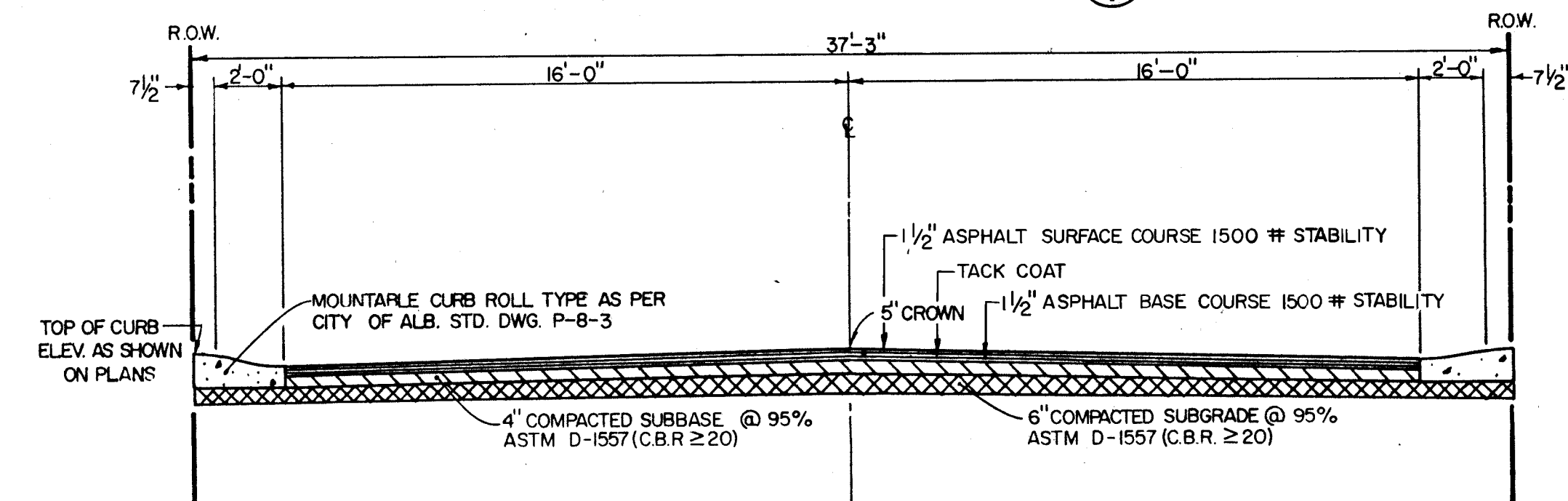
6. ALL SLOPES AS SHOWN ON PROFILES ARE BASED ON CENTERLINE STATIONING, EXCEPT CUL-DE-SACS WHICH, STARTING AT THE P.C.L. OF THE RETURN, SHOW STATIONS AND CORRESPONDING SLOPES BASED ON TRUE DISTANCE ALONG THE FACE OF CURB.
7. WHERE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK OR PAVEMENT IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. CURB AND GUTTER SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
8. WHEN ABUTTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK EXISTING PAVING TO A STRAIGHT LINE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE PROJECT ENGINEER, TO REMOVE ANY BUMP OR CRACK PAVEMENT. NO SEPARATE PAYMENT SHALL BE MADE BUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
9. ALL DIMENSIONS AND RADII OF CURB AND CURB RETURNS ARE SHOWN TO FACE OF CURB.

10. ALL STATIONING IS BASED ON STREET CENTERLINE, UNLESS OTHERWISE NOTED.
11. SLOPES SHOWN ON THE PROFILES ARE BASED ON TRUE DISTANCES, NOT CENTERLINE STATIONING. LENGTHS SHOWN ON PROFILES ARE TRUE DISTANCES FROM EDGE OF MANHOLE TO EDGE OF MANHOLE.
12. ALL MANHOLES SHALL BE 4-FOOT DIAMETER TYPE 'E' AS PER CITY OF ALBUQUERQUE STANDARD DRAWING S-2-3 UNLESS OTHERWISE NOTED. Δ
13. SEWER SERVICE LATERALS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISKS AS PER CITY OF ALBUQUERQUE STANDARD DRAWING S-9. EMD SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 131 OF THE CITY OF ALBUQUERQUE "CONTRACT DOCUMENTS FOR CITY-WIDE UTILITIES AND CASH PAVING NO. 31". Δ
14. WHERE SEWER AND WATER LINES CROSS, IF VERTICAL CLEARANCE DOES NOT EXCEED 3'-0", CONTRACTOR Δ SHALL ENCASE SEWER PIPE IN CONCRETE, 10 FEET EACH SIDE OF WATER LINE. (NOTE THE POLICY ON THE PROXIMITY OF WATER AND SEWER LINES.)

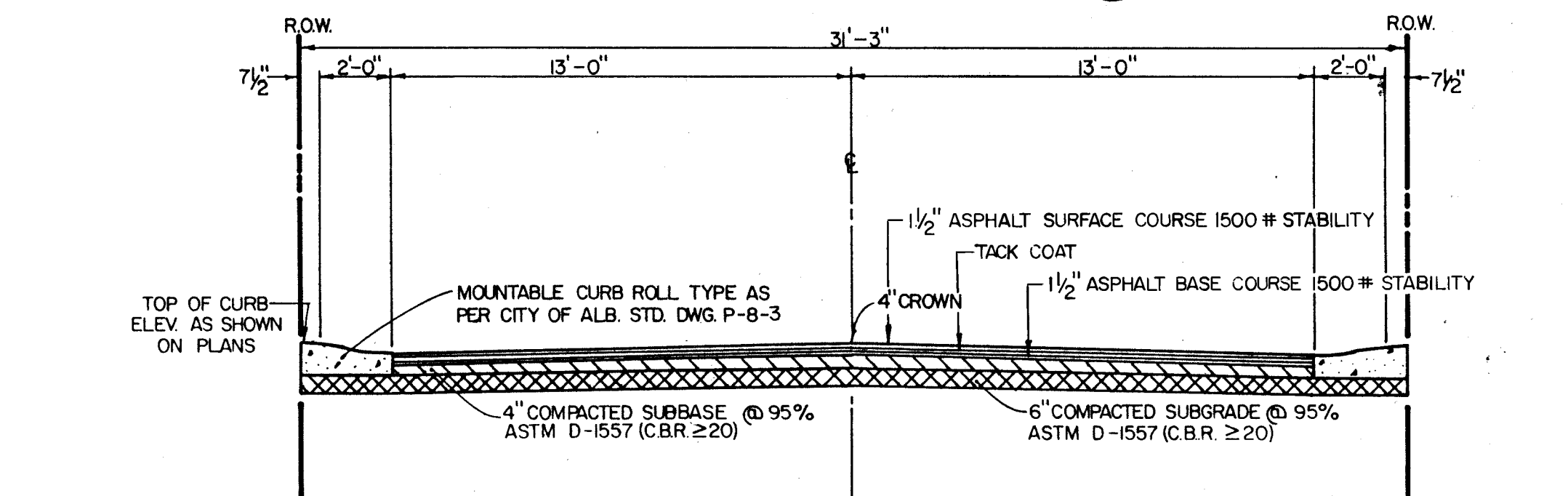
15. WATER MAIN SHALL BE CAST IRON PIPE, OR AS APPROVED BY THE CITY OF ALBUQUERQUE WATER RESOURCES DIVISION.
16. WATER LINE SHALL HAVE A MINIMUM COVER OF 4'0" (TOP OF CURB TO TOP OF PIPE).
17. ELECTRONIC MARKER DISKS (EMD) SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 131 OF THE CITY OF ALBUQUERQUE "CONTRACT DOCUMENTS FOR CITY-WIDE UTILITIES AND CASH PAVING NO. 31".
18. ALL STATIONING IS BASED ON STREET CENTERLINE, UNLESS OTHERWISE NOTED.
19. WHERE THE WATERLINE IS TO BE DEFLECTED, MAXIMUM ALLOWABLE DEFLECTION SHALL BE TWO-THIRDS (2/3) OF THE MANUFACTURES RECOMMENDED ALLOWABLE DEFLECTION.



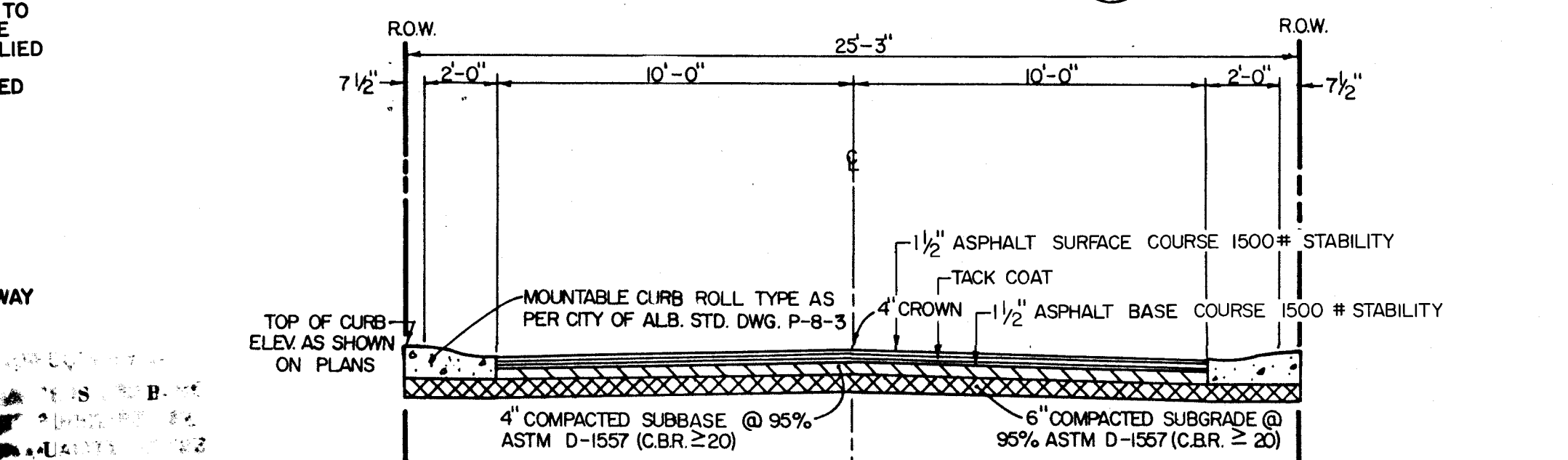
RESIDENTIAL PAVING SECTION (1)
SCALE: 1" = 4' (7)



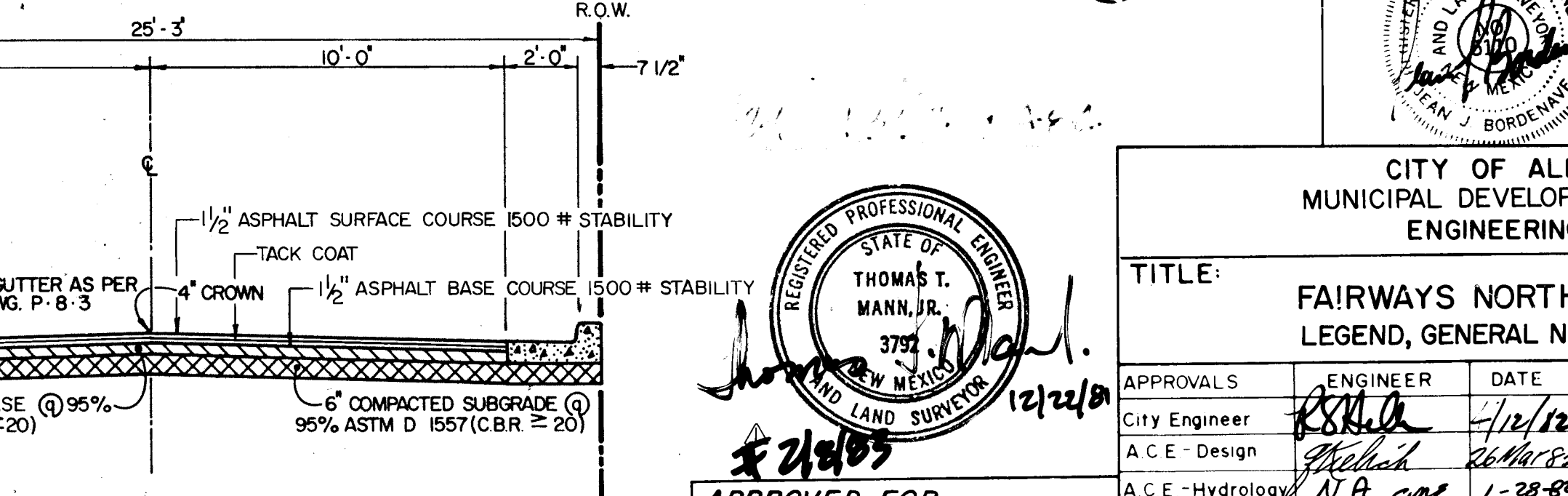
RESIDENTIAL PAVING SECTION **(2)**
SCALE: 1" = 4' **7**



RESIDENTIAL PAVING SECTION 3
7
SCALE: 1" = 4'

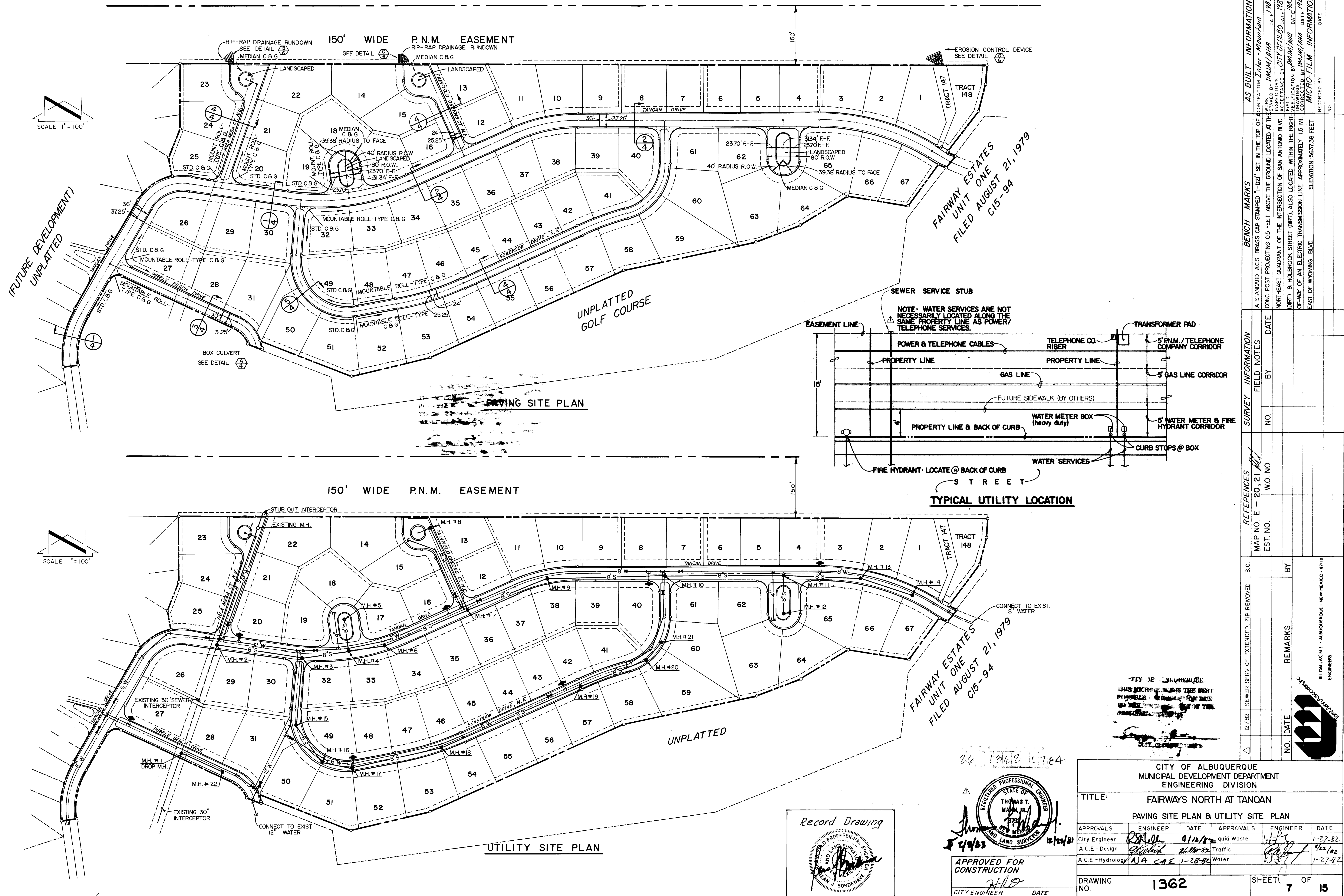


RESIDENTIAL PAVING SECTION 4
7
SCALE: 1"=4'



RESIDENTIAL PAVING SECTION **5**
SCALE: 1" = 4' **7**

[illegible]

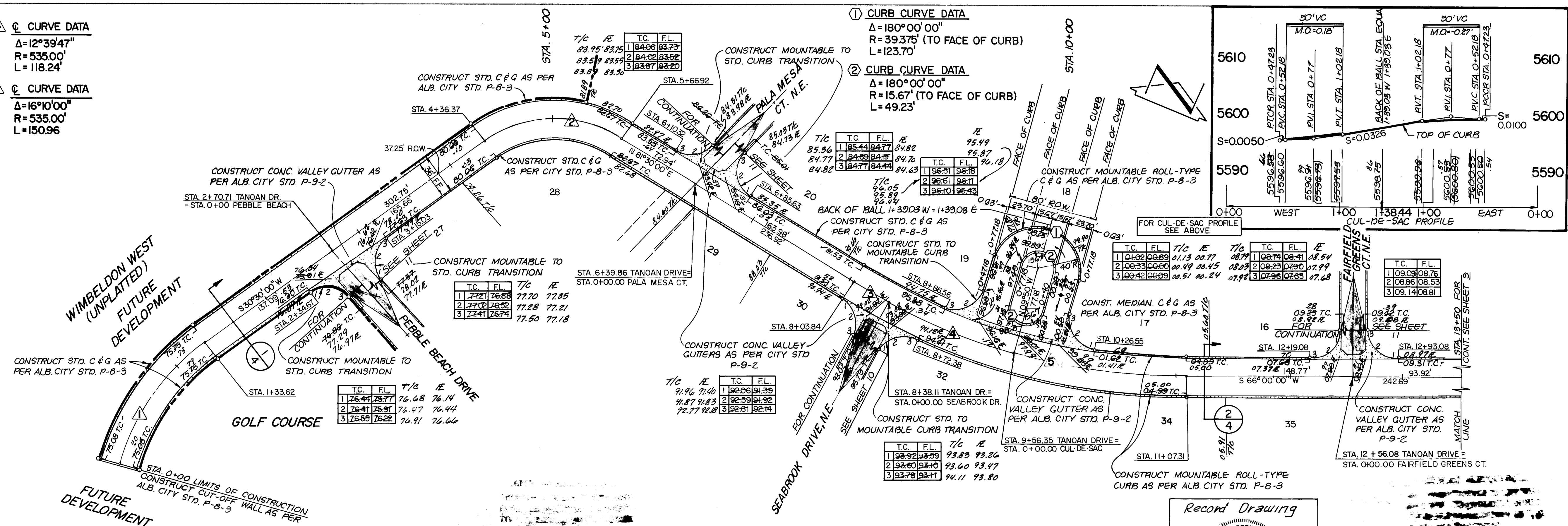


△ C CURVE DATA
Δ=38°16'49"
R=200.00'
L=133.62'

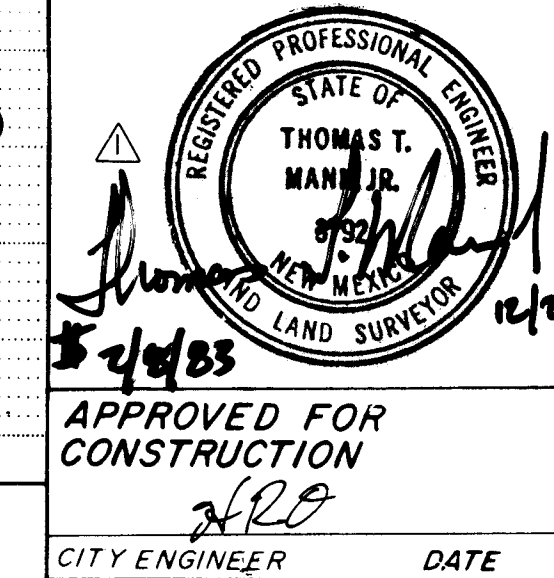
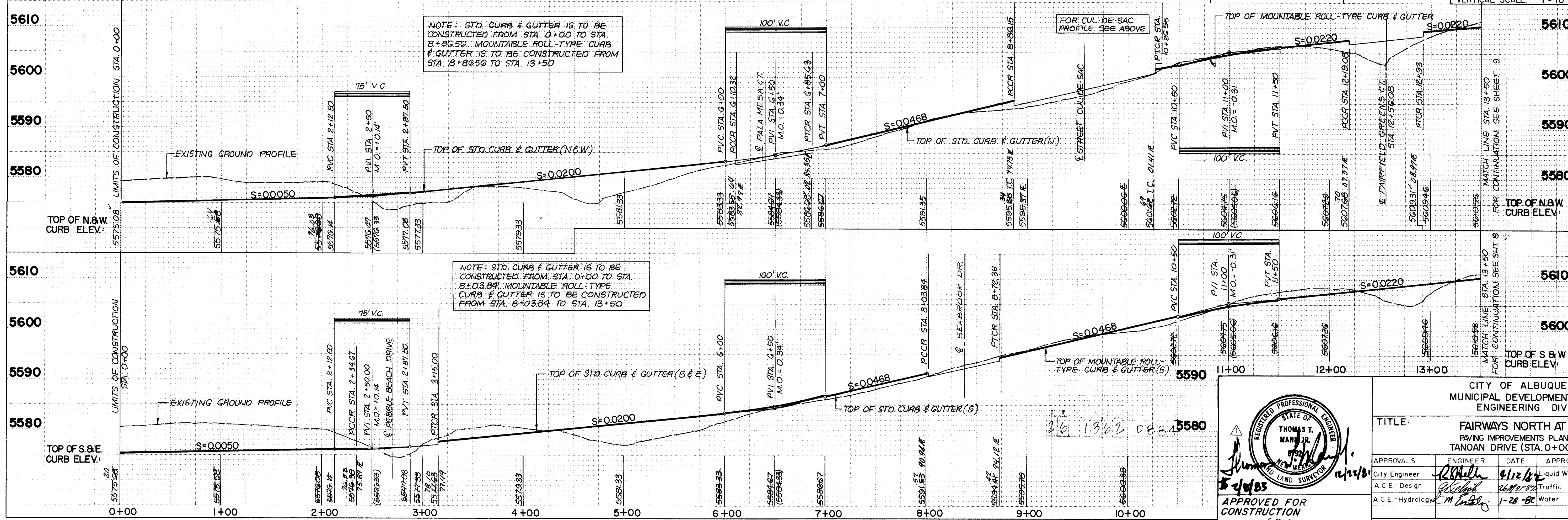
△ C CURVE DATA
Δ=12°39'47"
R=535.00'
L=118.24'

△ C CURVE DATA
Δ=68°00'00"
R=110.00'
L=130.55'

△ C CURVE DATA
Δ=16°10'00"
R=535.00'
L=150.96'



TANOAN DRIVE
(PRIVATE WAY)

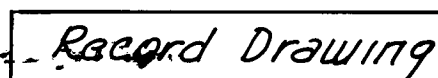
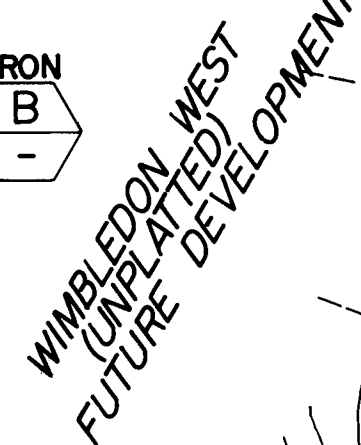


CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: FAIRWAYS NORTH AT TANOAN
PAVING IMPROVEMENTS PLAN & PROFILE
TANOAN DRIVE (STA. 0+00 TO 13+50)

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	Thomas T. Mann, Jr.	8/12/82	City Engineer	Thomas T. Mann, Jr.	8/12/82
A.C.E. - Design	Thomas T. Mann, Jr.	8/12/82	A.C.E. - Design	Thomas T. Mann, Jr.	8/12/82
A.C.E. - Hydrology	Thomas T. Mann, Jr.	8/12/82	A.C.E. - Hydrology	Thomas T. Mann, Jr.	8/12/82

DRAWING NO. 1362 SHEET 8 OF 15



DRAWING NO.	1362	SHEET 5 OF 15
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NO.	DATE	REMARKS	BY
1	12/82	RE - INITIALED, ZIP TAPE REMOVED.	SC

8111 DALLAS, N.E. • ALBUQUERQUE • NEW MEXICO • 87110
ENGINEERS

