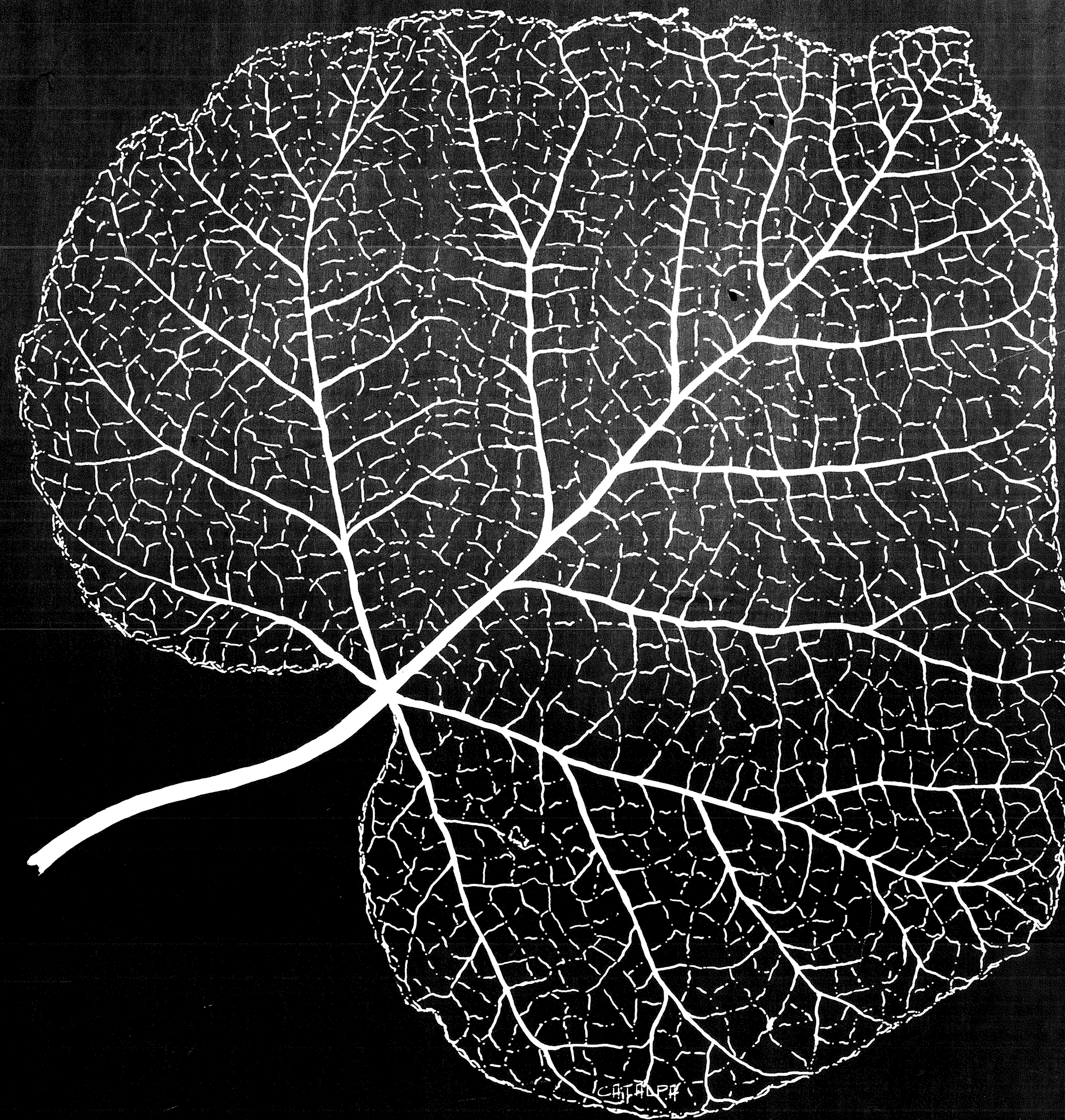
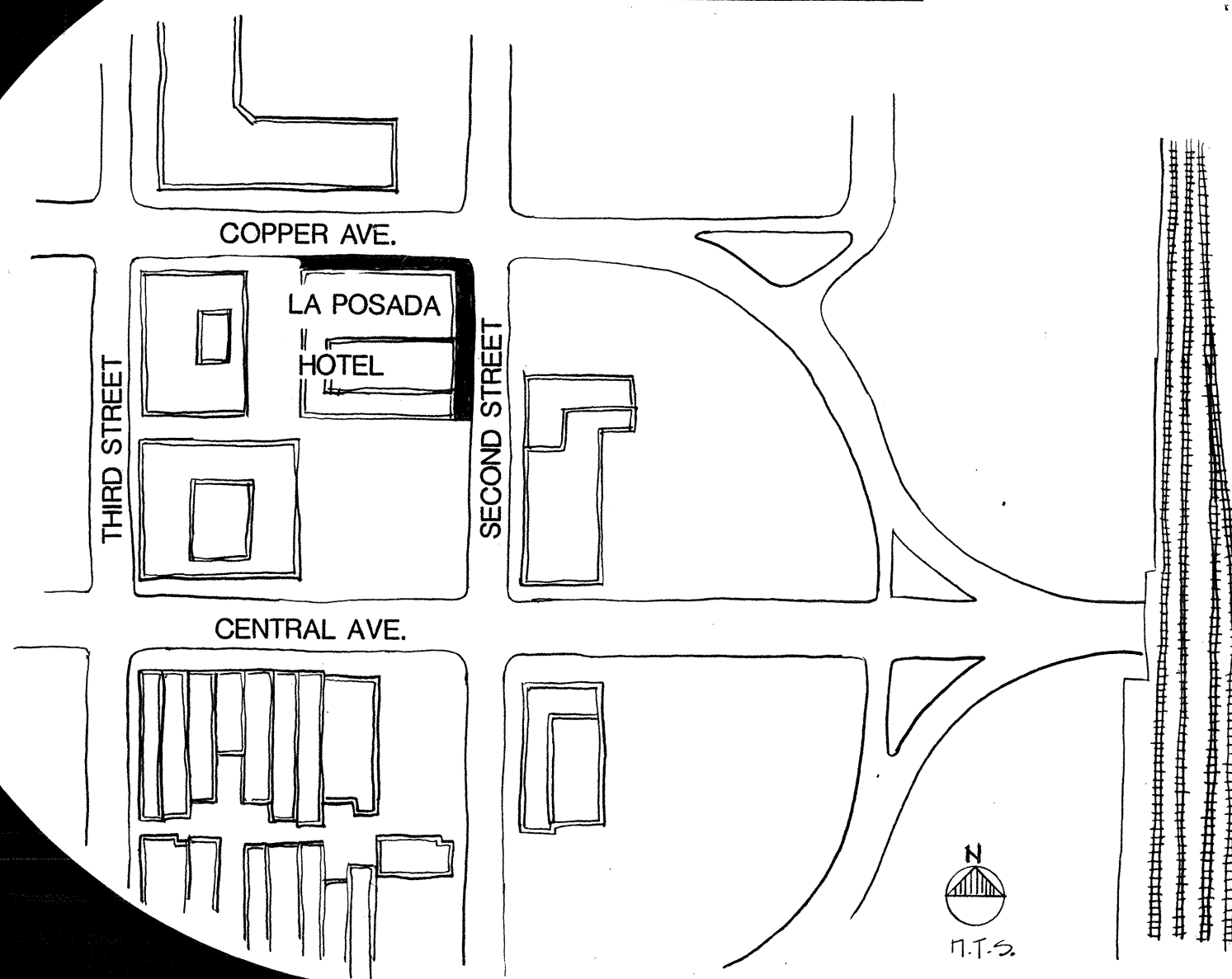




LOCATION MAP



STREETSCAPE IMPROVEMENTS TO LA POSADA DE ALBUQUERQUE HOTEL

125 2nd ST. N.W. ALBUQUERQUE NEW MEXICO 87102

PROJECT OF:
THE CITY OF ALBUQUERQUE
COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
P.O. BOX 1293
ALBUQUERQUE, NEW MEXICO 87103
DIRECTOR: REX V. ALLENDER

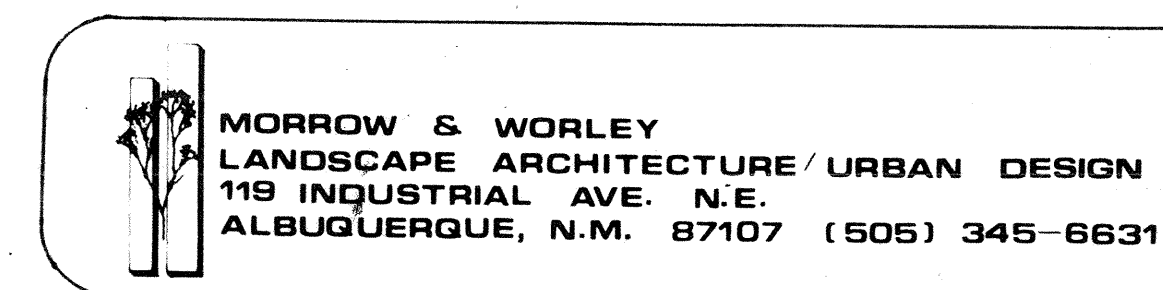
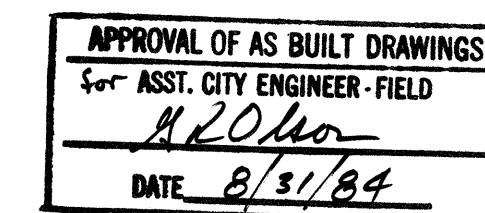
JUNE 1984

MAYOR, CITY OF ALBUQUERQUE
HARRY KINNEY

CITY COUNCIL, CITY OF ALBUQUERQUE

PROJECT COORDINATOR
SCOTT COLEMAN
P.O. BOX 2128
ALBUQUERQUE, NM 87102
505-242-9090

PATRICK J. BACA
NADYNE C. BICKNELL
FRED BURNS
STEVE GALLEGOS
VINCENT E. GRIEGO
FRAN J. HILL
THOMAS W. HOOVER
RICHARD MATHERS
KEN SCHULTZ



APPROVED FOR CONSTRUCTION
CITY ENGINEER
DATE

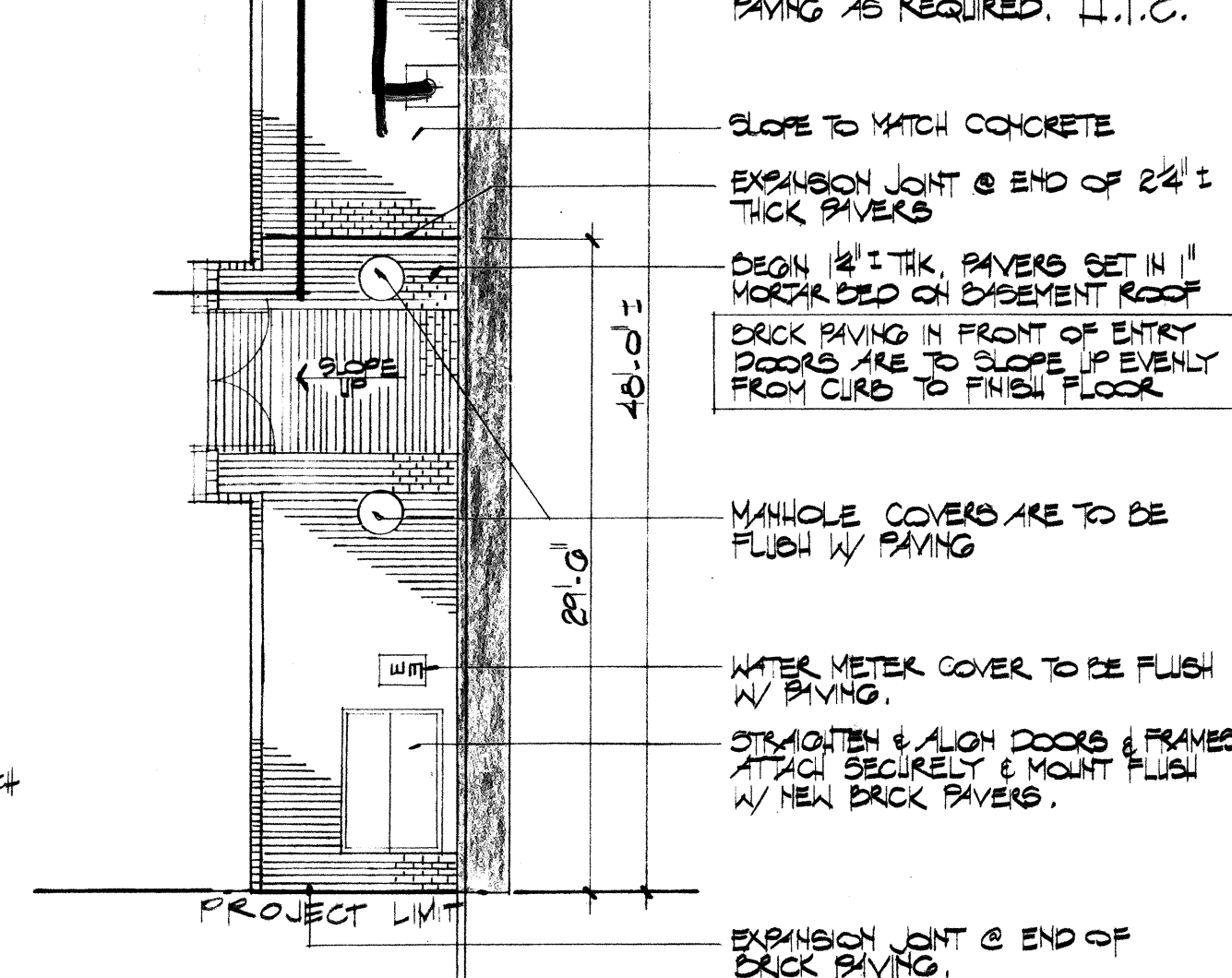
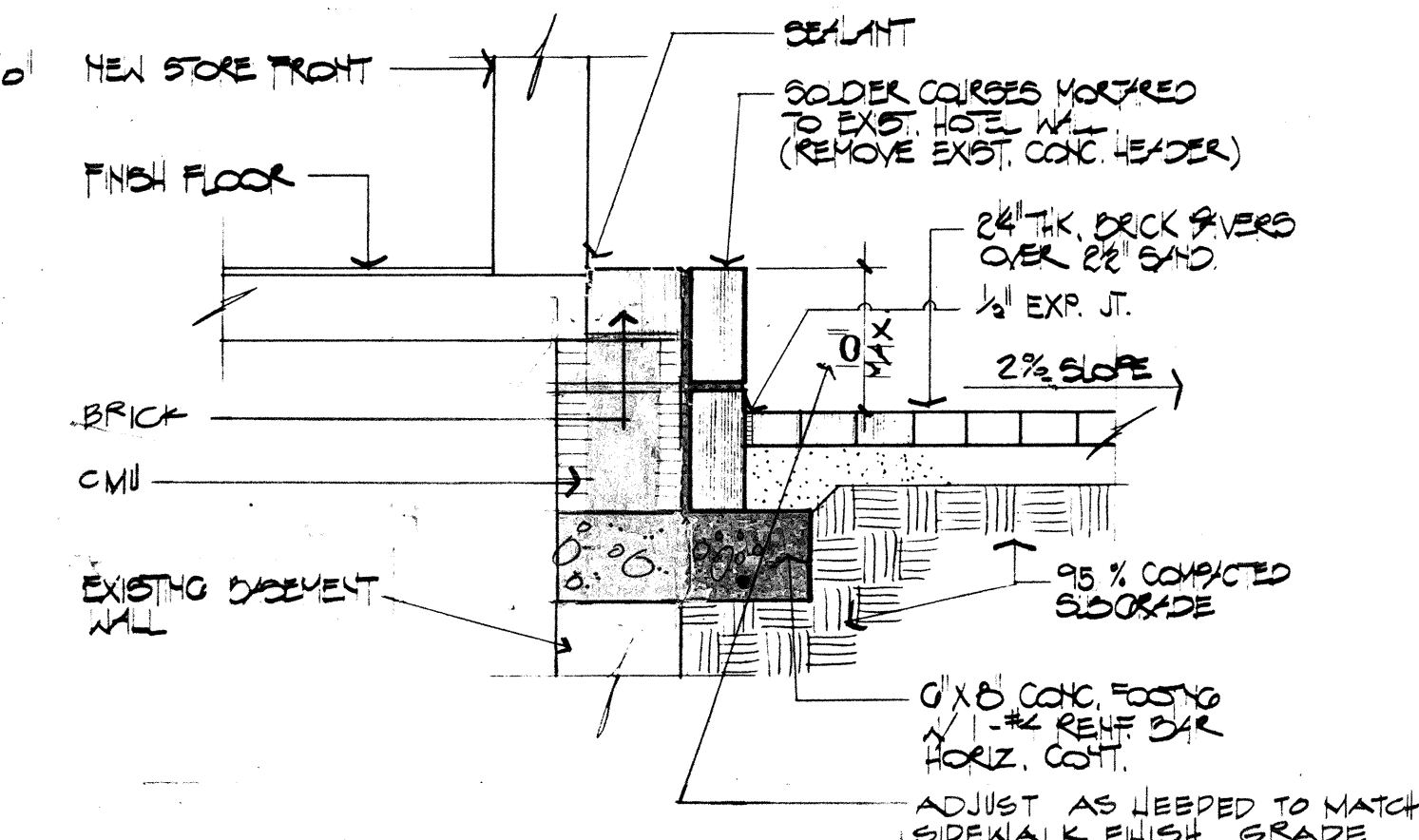
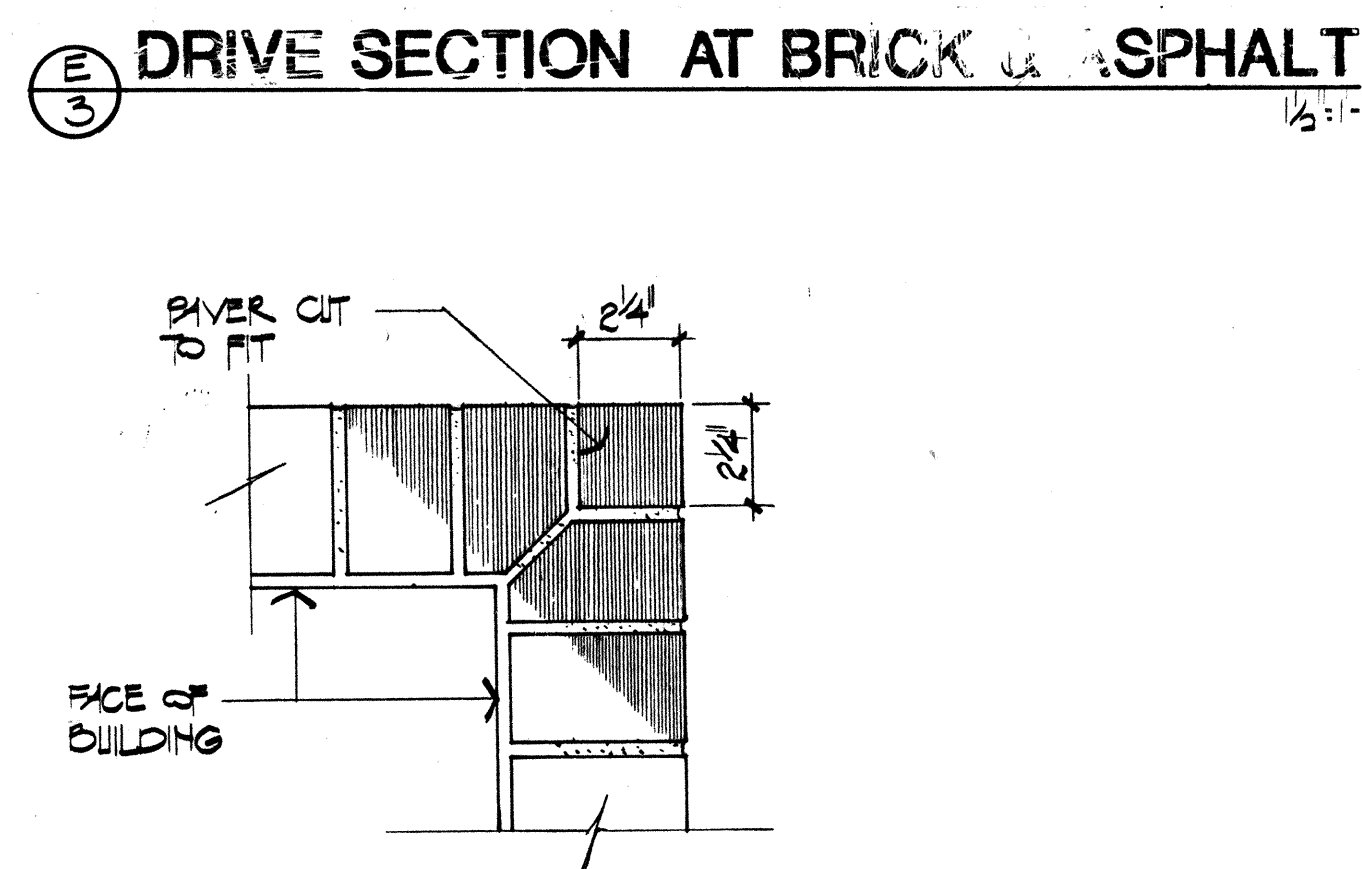
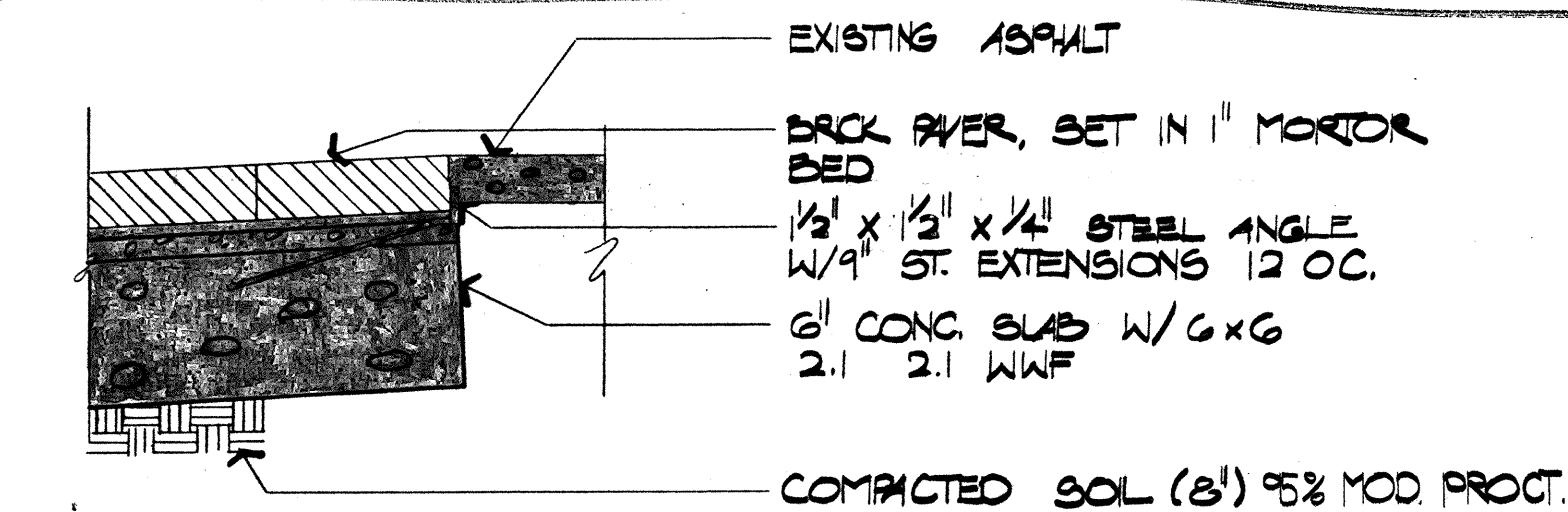
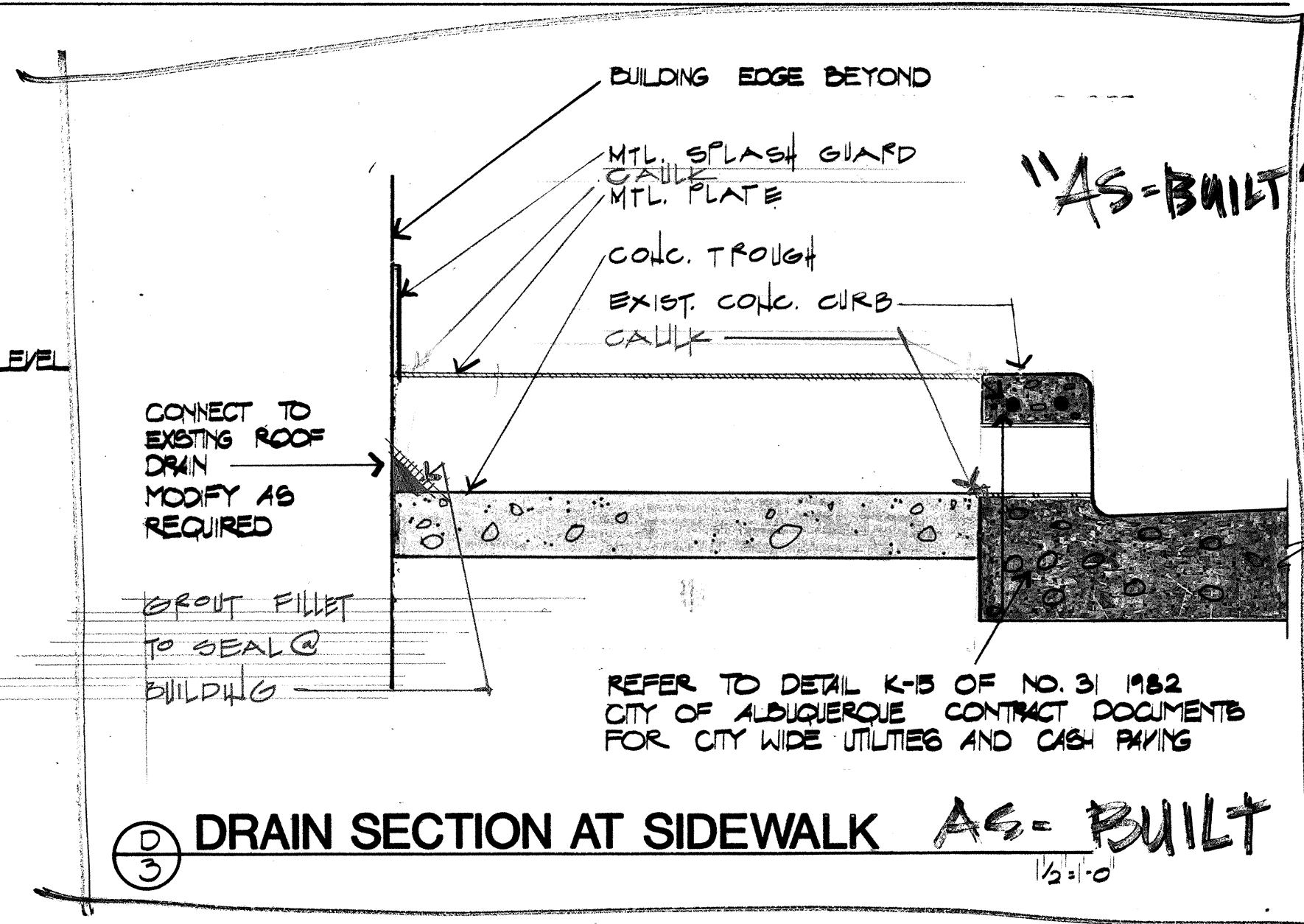
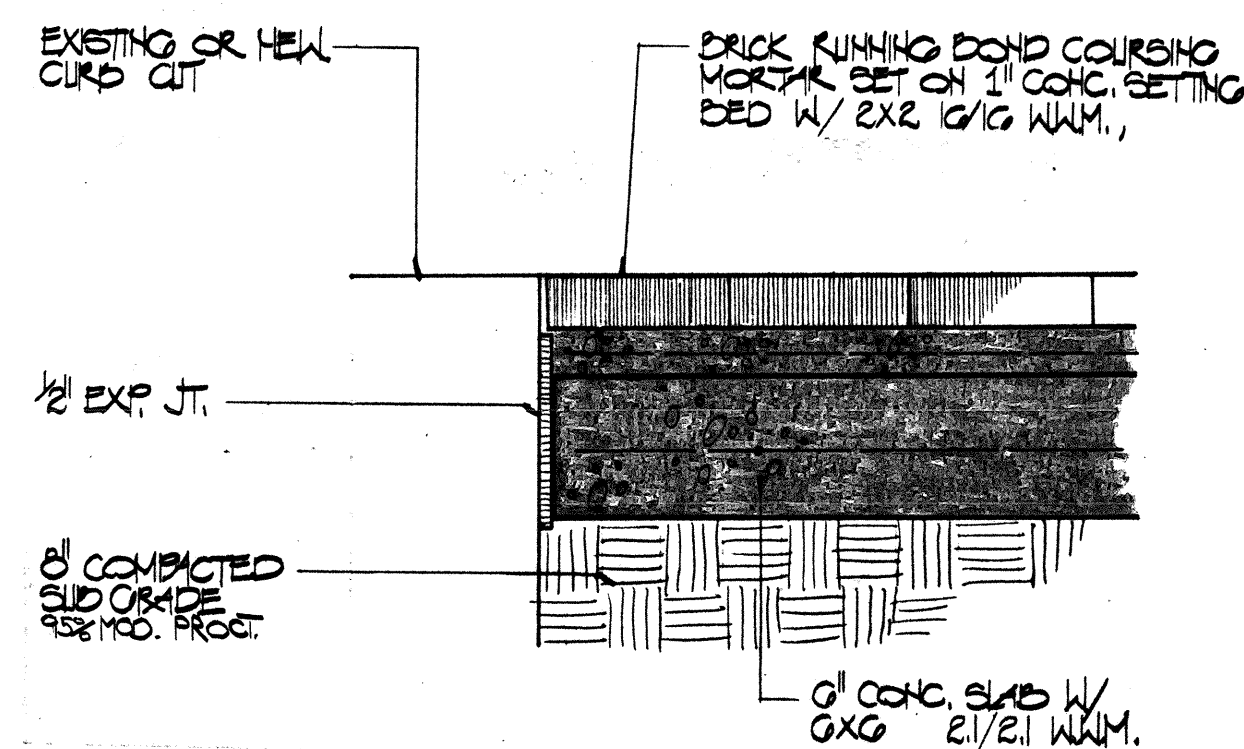
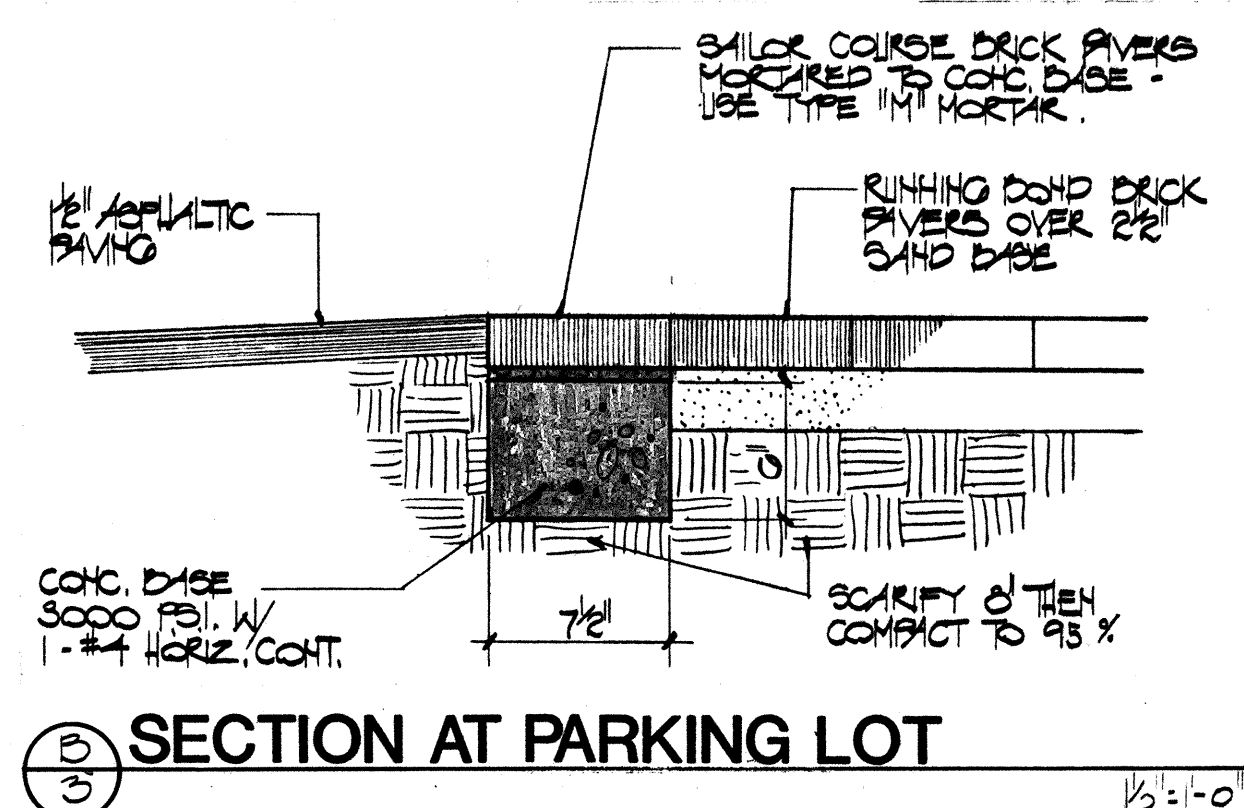
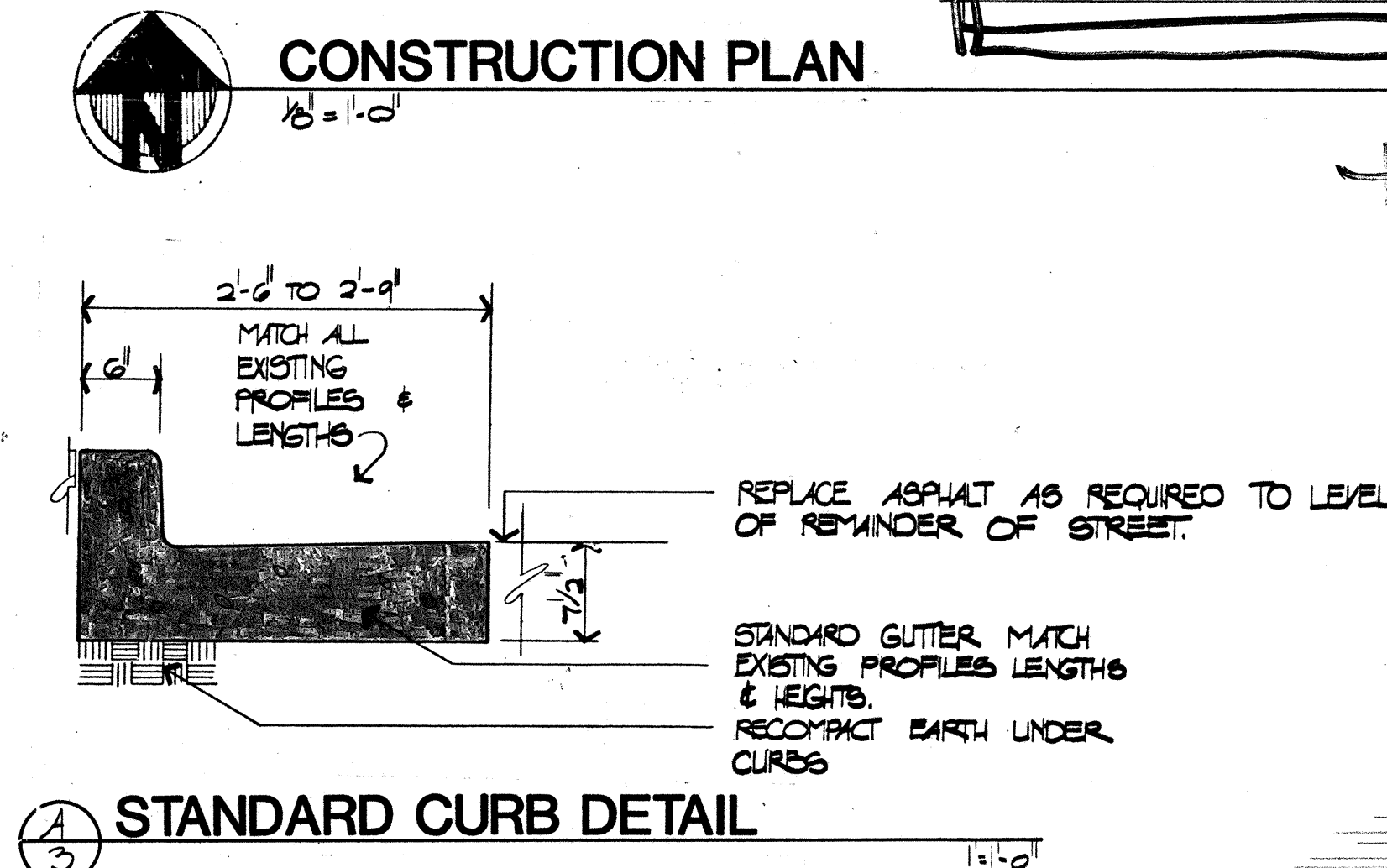
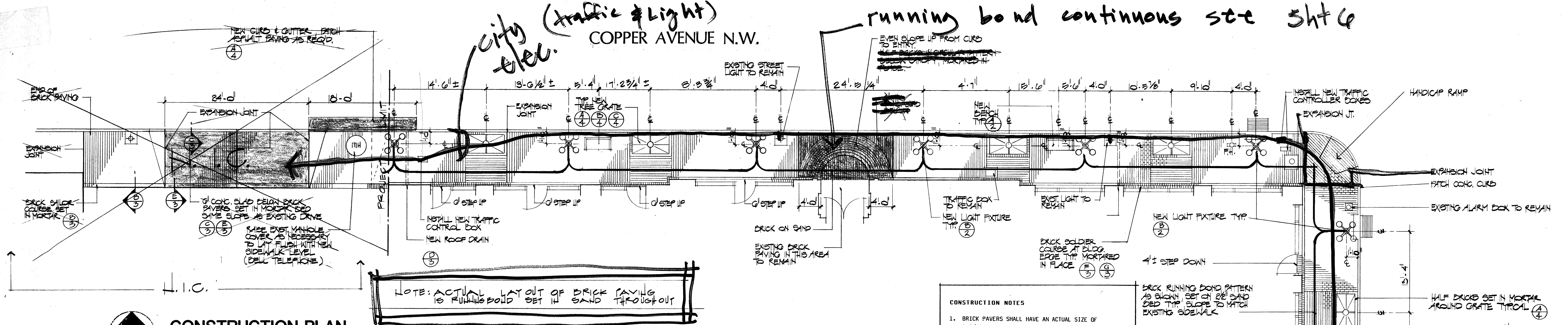
SCHEDULE OF DRAWINGS

1. COVER
2. DEMOLITION & CONSTRUCTION DETAILS
3. CONSTRUCTION PLAN & DETAILS
4. PLANTING & IRRIGATION PLAN AND CONSTRUCTION DETAILS

1	2	3	4	5	6	7	8	9	10	11	12
26	21	21	01	84							

"As-BUILT"
Improvements by
BRADBURY & STAMM
UNDER LICENSE CONTR.
WITH SOUTHWEST
RESORTS, INC.
3 YEAR WARRANTY
BOND TO BE POSTED
BY DEVELOPER.
8/31/84

PROJECT No. 2121

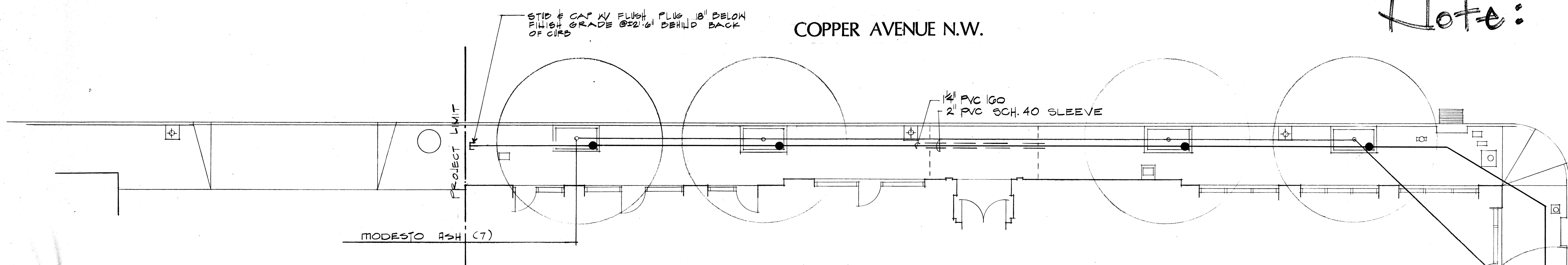


- CONSTRUCTION NOTES**
- BRICK PAVERS SHALL HAVE AN ACTUAL SIZE OF 3-1/4" x 4" x 8" AND 2-1/4" x 4" x 8" (THICKNESS AS INDICATED ON PLAN AND DETAILS). PAVERS SHALL BE A MIXTURE OF THE FOLLOWING COLORS:
 'ENDICOTT' SIENNA IRONSPOT
 'ENDICOTT' DARK IRONSPOT
 'ENDICOTT' MEDIUM IRONSPOT #46
 'MIDLAND' AUTUMN HAZE
 'MIDLAND' RED
 THE SUPPLIER SHALL PROVIDE A 120 BRICK MIXTURE SAMPLE LAID OUT AT THE HOTEL SITE TO BE APPROVED BY THE OWNER, CONTRACTOR, AND LANDSCAPE ARCHITECT.
 - WHEN REPLACING TRAFFIC ELECTRICAL PULL BOXES, REFER TO DRAWING T-4-1, CITY OF ALBUQUERQUE STANDARD CITY ENGINEERING DEPARTMENT DETAIL FROM CONTRACT DOCUMENTS, PUBLIC WORKS CONTRACT 84-1.
 - CONTRACTOR SHALL ADD OR REMOVE FILL AS REQUIRED TO BRING NEW BRICK SIDEWALK UP TO LEVEL OF EXISTING CONCRETE SIDEWALK. ALL SOIL MATERIAL SHALL BE SCARIFIED TO A DEPTH OF 8", CLEANED OF ALL DEBRIS, RECOMPACTED TO 95% MODIFIED PROCTOR AND LEVELED TO REQUIRED SLOPE AND ELEVATION.
 - TREE GRATE, LIGHT AND BENCH LOCATIONS MAY BE MODIFIED SLIGHTLY AS REQUIRED TO AVOID UNDERGROUND OBSTRUCTIONS AND TO SIMPLIFY BRICK COURSING. HOWEVER, A CONSTANT 1'-10" CENTER LINE FROM BACK OF CURB MUST BE MAINTAINED.
 - THE CONTRACTOR SHALL CALL FOR STANDARD BLUE STAKE INFORMATION (765-1234) A MINIMUM OF 48 HOURS IN ADVANCE OF ANY EXCAVATIONS. THE CONTRACTOR IS LIABLE FOR ANY DAMAGES DURING CONSTRUCTION TO CITY AND UTILITY LINES, PUBLIC AND PRIVATE PROPERTY, AND ANY DAMAGES CAUSED BY SUCH DAMAGED UTILITIES' DOWN TIME.
 - THE CONTRACTOR MUST PROVIDE A MINIMUM OF 4 PASSING COMPACTION TESTS: 2 ON COPPER AVENUE AND 2 ON SECOND STREET. THE CITY OF ALBUQUERQUE RESERVES THE RIGHT TO TAKE ANY ADDITIONAL TESTS IT DEEMS NECESSARY IF CONTRACTOR'S EXPANSIVE LANDSCAPE ARCHITECT, OWNER, AND CITY RESERVE THE RIGHT TO DETERMINE THE LOCATION OF THE COMPACTION TESTS.

AS BUILT

1 2 3 4 5 6 7 8 9 10 11 12
26 21 21 03 84

PROJECT No. 2121

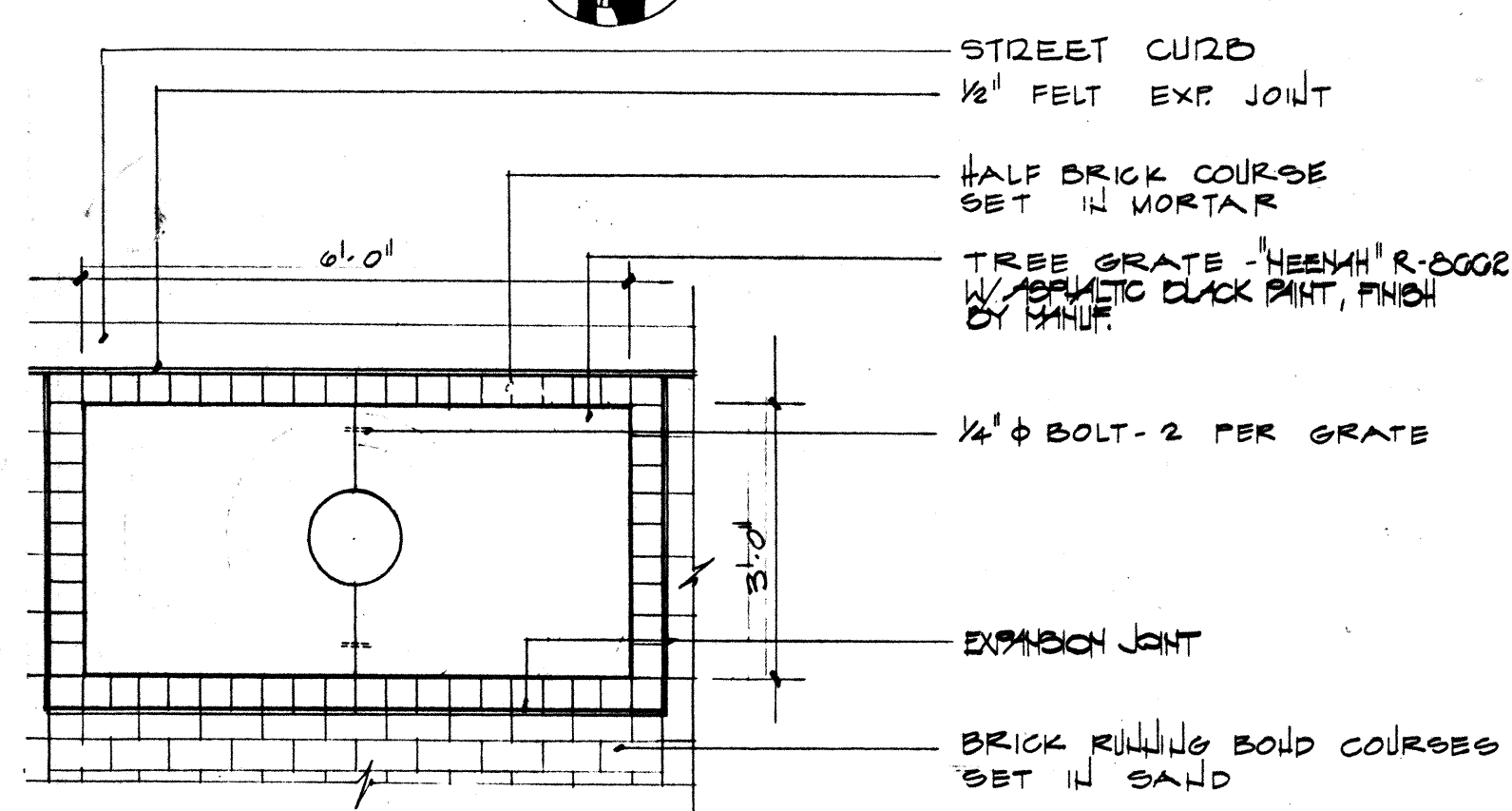


Note: see sheet #3 for traffic control & street light conduit layout

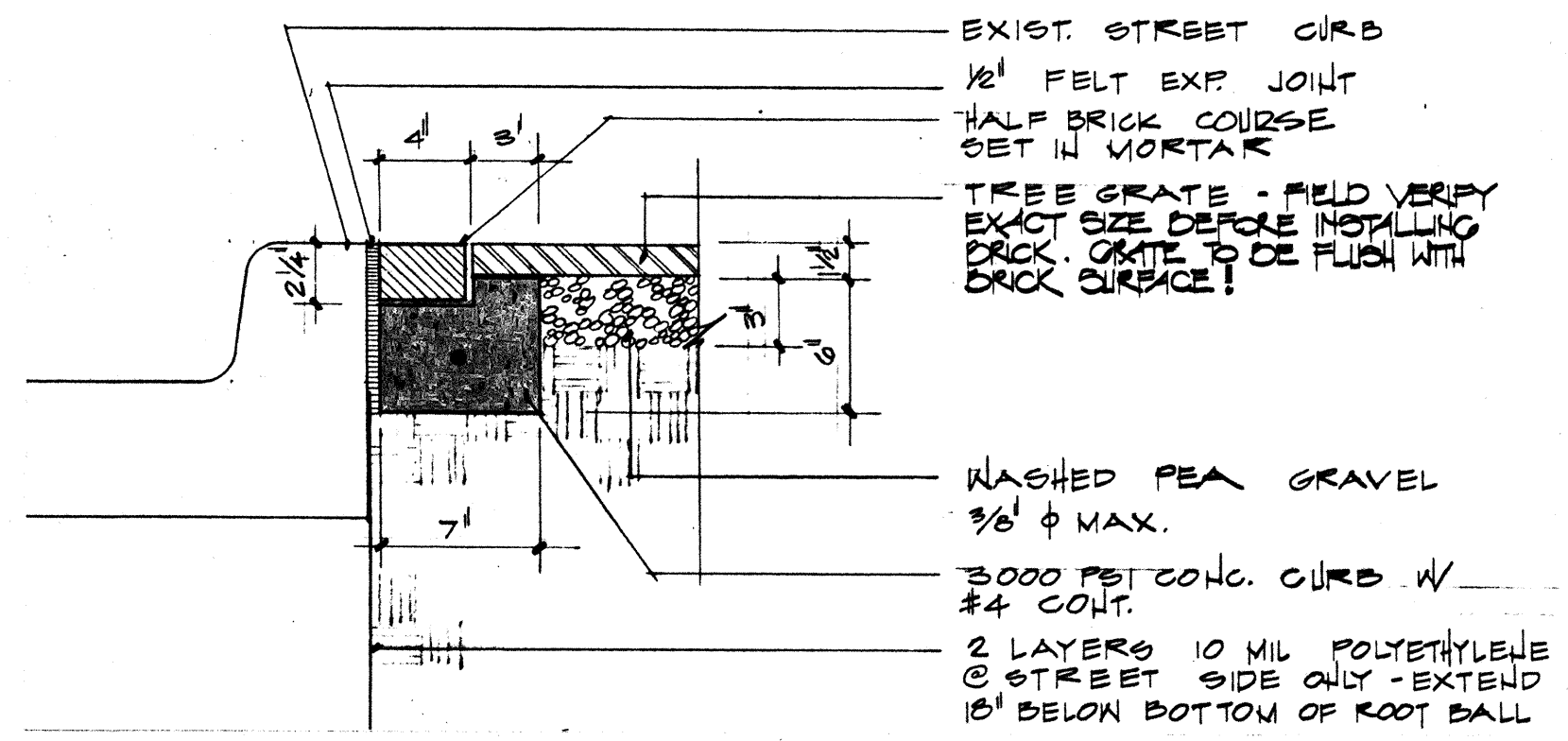
PLANTING SCHEDULE			
COMMON NAME	BOTANICAL NAME	QUANTITY	DESCRIPTION
MODESTO ASH	FRAXINUS VELUTINA 'MODESTO'	7	2 1/2" CAL. 30' BOX 12'-14' HEIGHT

- IRRIGATION NOTES**
1. THE CONTRACTOR SHALL CALL FOR STANDARD BLUE STAKE INFORMATION (765-1234) A MINIMUM OF 48 HOURS IN ADVANCE OF ANY EXCAVATIONS. THE CONTRACTOR IS LIABLE FOR ANY DAMAGES DURING CONSTRUCTION TO CITY AND UTILITY LINES, PUBLIC AND PRIVATE PROPERTY, AND ANY DAMAGES CAUSED BY SUCH DAMAGED UTILITIES' DOWN TIME.
 2. IRRIGATION MAIN REPLACEMENT IS SCHEMATIC: MODIFY AS REQUIRED TO AVOID FOOTINGS, STREET LIGHTING WIRING, TRAFFIC LIGHT WIRING, TELEPHONE WIRING, UTILITY LINES, TREE ROOT BALLS, AND OTHER OBSTACLES. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AS-BUILT DRAWINGS SHOWING THE EXACT LOCATION OF PIPING AND WIRING.
 3. IRRIGATION LINES ARE TO BE 18" BELOW GRADE. AFTER LINE PLACEMENT, RE-COMPACT TRENCHES TO RECEIVE BRICK PAVING.
 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF ALL CONNECTIONS.

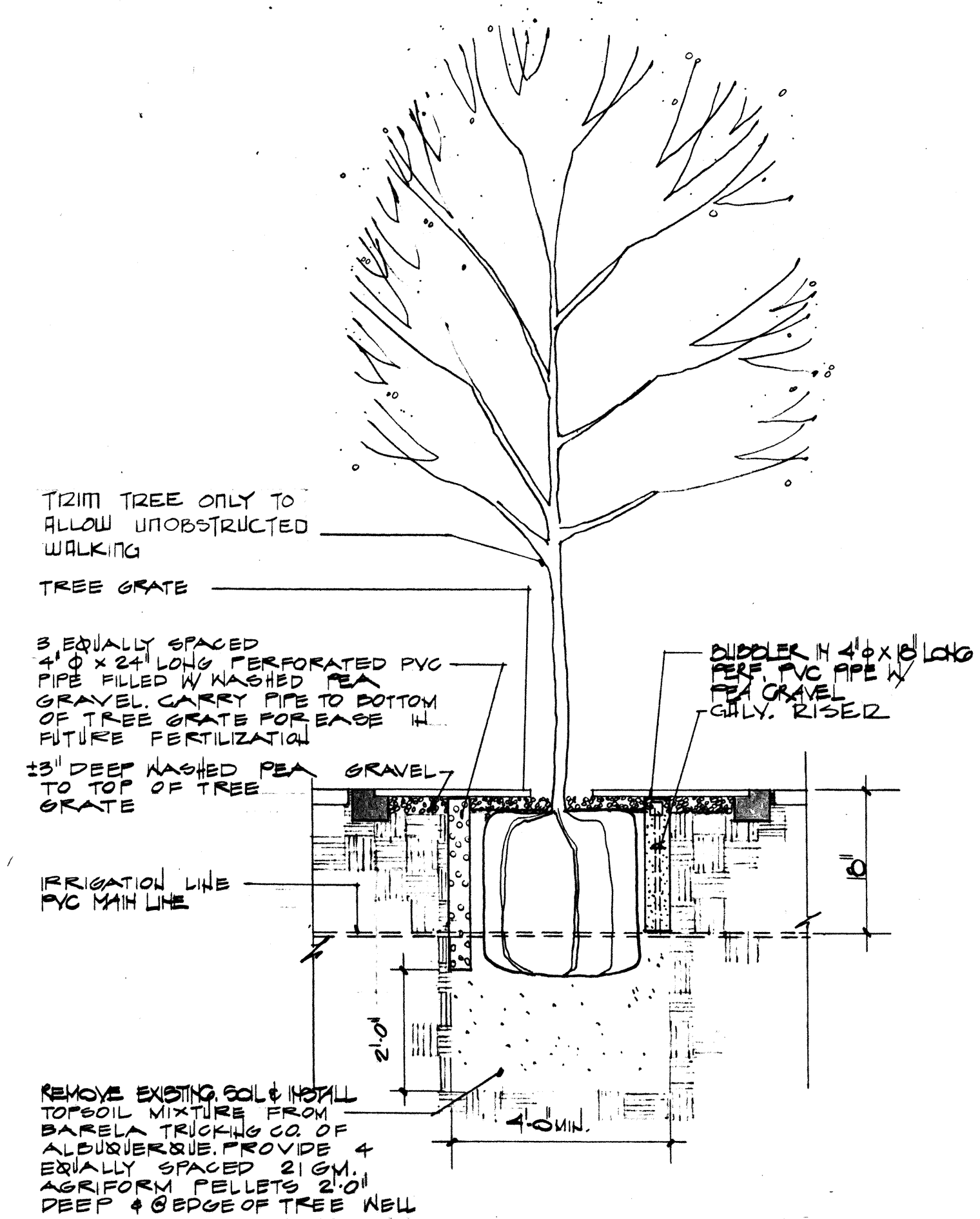
PLANTING & IRRIGATION PLAN
1/8" = 1'-0"



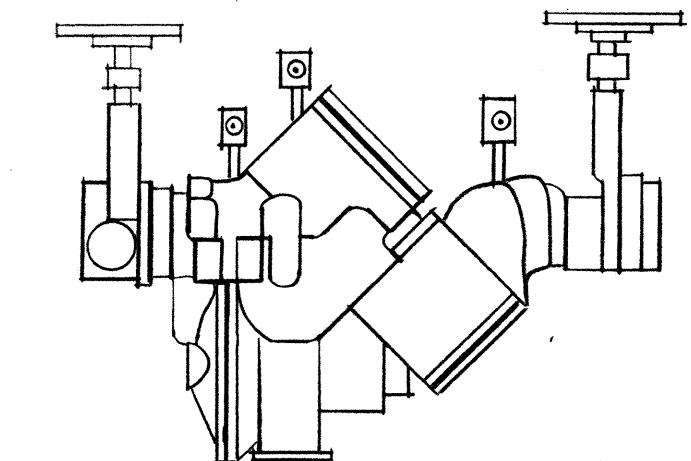
④ TREE GRATE PLAN
1/4" = 1'-0"



⑤ SECTION AT TREE GRATE
1/4" = 1'-0"



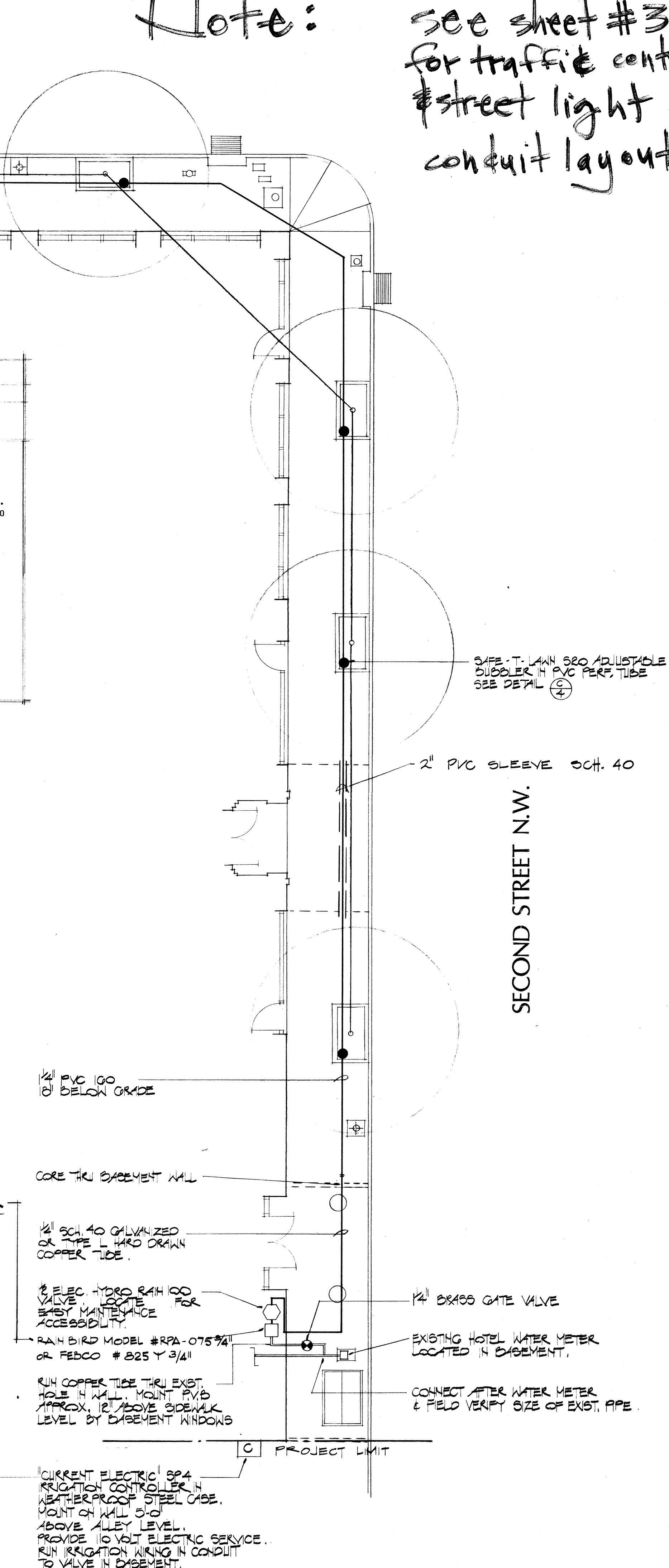
⑥ TREE PLANTING DETAIL
1/4" = 1'-0"



see memo sh. #5 for approval

AS-BUILT
8/16/04

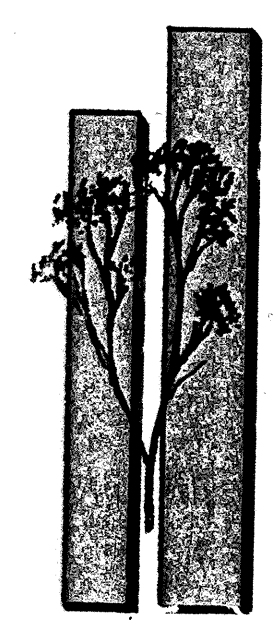
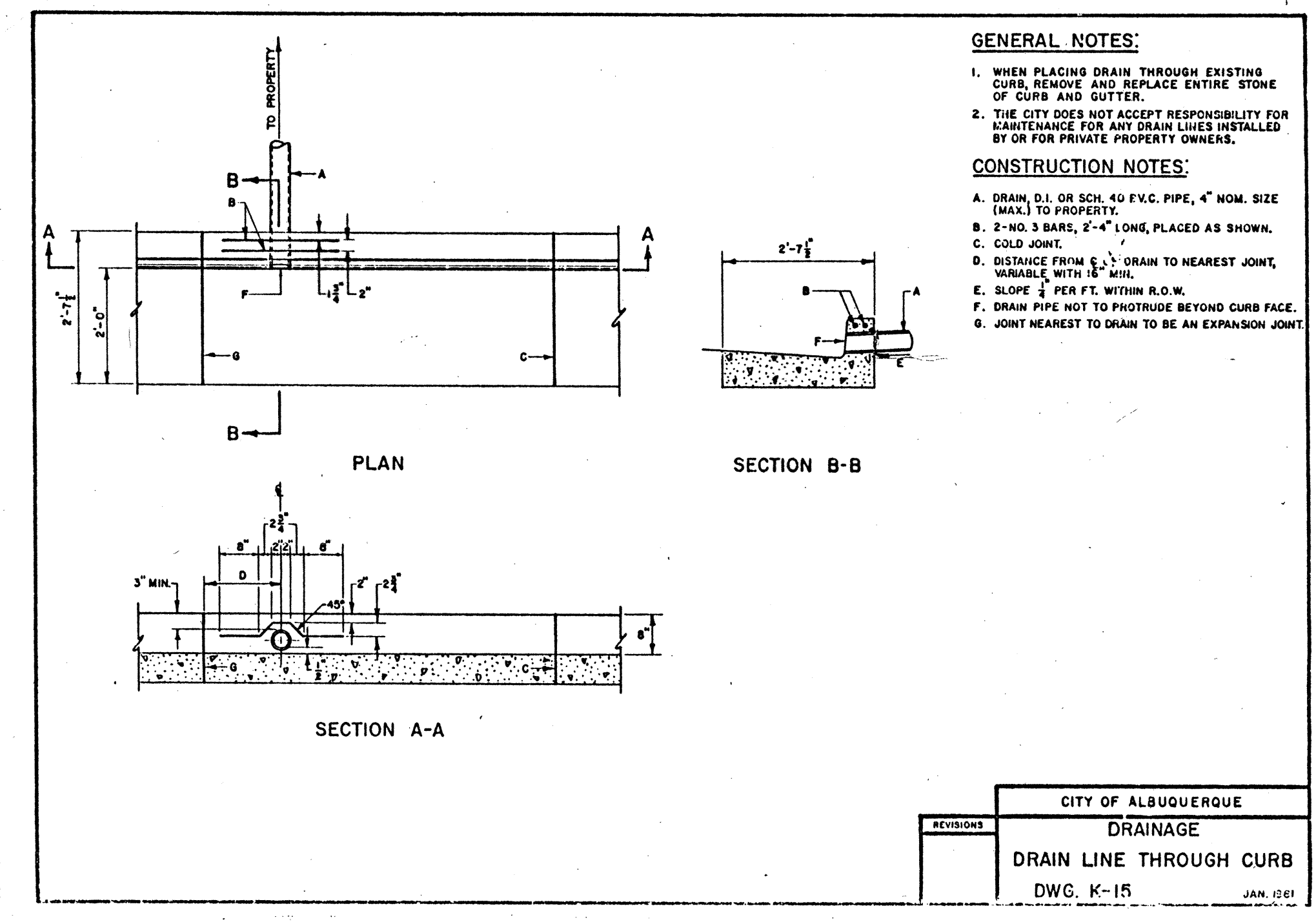
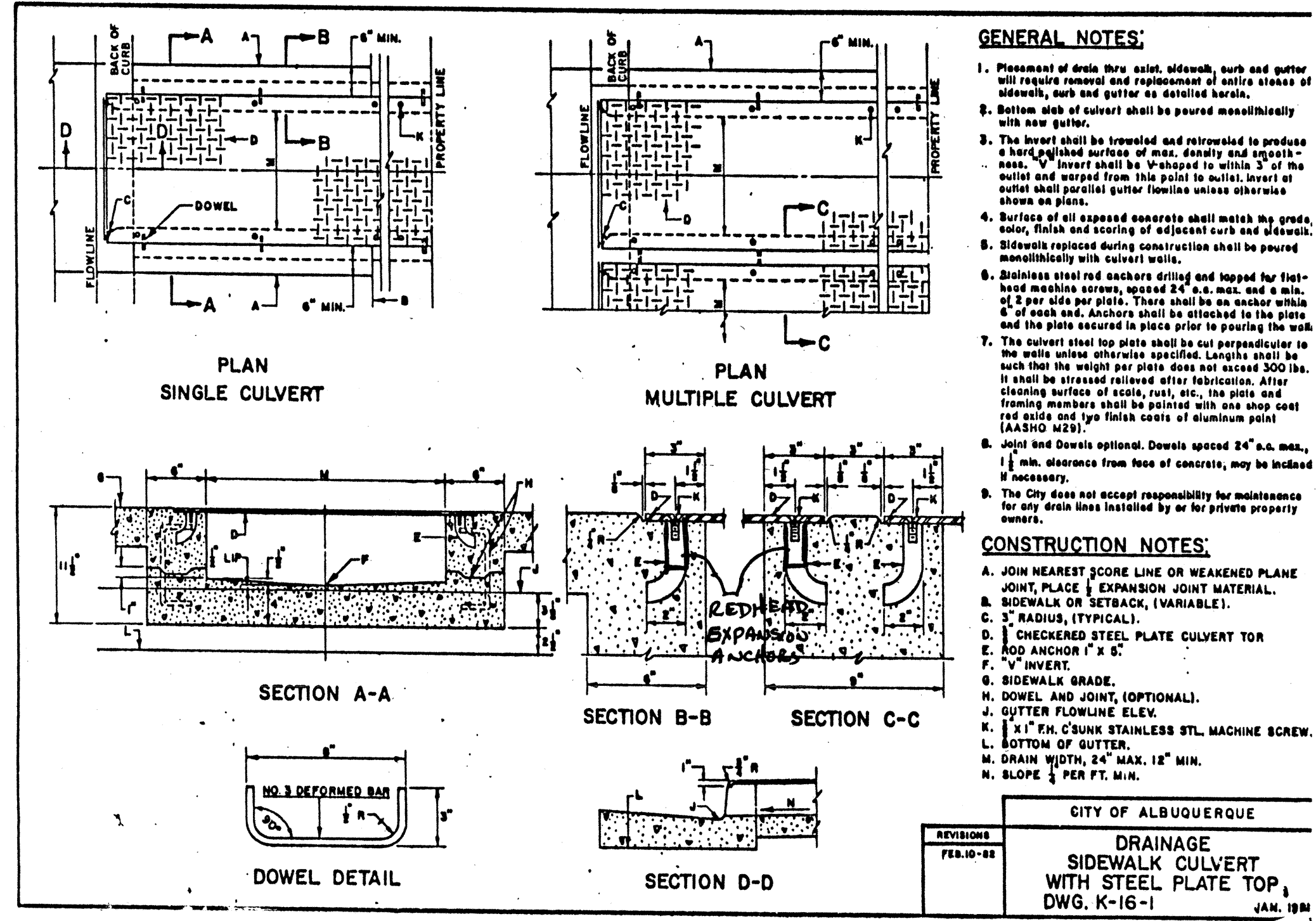
1	2	3	4	5	6	7	8	9	10	11	12
2	6	2	1	2	1	0	4	8	4		



PLANTING & IRRIGATION PLAN AND CONSTRUCTION DETAILS

LA POSADA HOTEL STREETSCAPE AS-BUILT 8/16/04

SECOND & COPPER N.W.
ALBUQUERQUE, NM 87103
COMMUNITY AND ECONOMIC DEVELOPMENT DEPT./CITY OF ALBUQUERQUE



MORROW AND WORLEY
 LANDSCAPE ARCHITECTURE / URBAN DESIGN
 119 Industrial Ave., Northeast
 Albuquerque, New Mexico 87107

August 29, 1984

Mr. Michael Weix
 Mechanical Section Supervisor
 Buildings and Inspection
 Municipal Development Department
 City of Albuquerque
 123 Central NW
 Albuquerque, NM 87102

RE: La Posada Hotel Irrigation

Dear Mr. Weix:

In order to expedite the subject project the Owner has asked that I document our conversation of August 17, 1984 concerning the backflow prevention for the project's irrigation system.

The one valve bubbler system is equipped with a reduced pressure backflow preventer. This mechanism is placed in the basement approximately five (5) feet from the floor. I understand that you agree that this backflow protection approach conforms with all codes and offers the best protection available, for a back-pressure situation.

Your assistance on this project is appreciated.

Respectfully,
 MORROW AND WORLEY, P.A.

Kirk J. Worley
 Kirk J. Worley
 Landscape Architect

KJW:kt

La Posada
 de Albuquerque

July 16, 1984

Mr. Charles Voltz
 Chief Building Inspector
 City of Albuquerque

Dear Mr. Voltz,

Pertaining to the U.B.C. Code requirement for a 5 foot level platform adjacent to existing doors at the sidewalk locations, La Posada de Albuquerque, respectfully requests a variance for this requirement because the brick paving that is currently replacing the removed sidewalk can not conform to this code. The elevation of the top of the curb and elevation of the entry at entrances would create an unacceptable transition should this requirement be enforced. It should be noted that Greg Olson from Drafting has approved the street scape and is aware of this condition.

Thank you,
Scott Coleman
 Scott Coleman
 Project Director

SC/kjs

APPROVED:

Charles W. Voltz
 CHARLES W. VOLTZ, AIA
 Chief Building Official
 Code Administration Division

AS-BUILT
 8/16/84

1	2	3	4	5	6	7	8	9	10	11	12
2	6	2	1	2	1	0	5	8	4		

Second of Copper • P.O. Box 2125 • Albuquerque, N.M. 87101 • (505) 345-9090

MORROW & WORLEY, P.A.
 LANDSCAPE ARCHITECTURE / URBAN DESIGN
 119 INDUSTRIAL AVE.
 ALBUQUERQUE, N.M. 87107 (505) 345-6631

CONSTRUCTION DETAILS
 AS-BUILT 9/16/84
 JUNE 1984 REVISED 9/23/84
 LA POSADA HOTEL STREETSCAPE
 SECOND & COPPER N.W.
 ALBUQUERQUE, NM 87103
 COMMUNITY AND ECONOMIC DEVELOPMENT DEPT./CITY OF ALBUQUERQUE

SHEET
 11
 OF 16

PROJECT No. 2121



REINFORCING BOLD SET IN SAND THROUGHOUT

AS BUILT SCHEMATIC LAYOUT OF PAVING 1/8" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12
26	21	21	06	84							

AS-BUILT

8/16/84

APD
8/16/84

LA PASADA HOTEL AS BUILT 8/16/84

SHEET
6
of 6

MORROW & WORLEY, P.A.
LANDSCAPE ARCHITECTURE/URBAN DESIGN
118 INDUSTRIAL AVE. N.E.
ALBUQUERQUE, N.M. 87107 (505) 345-6631