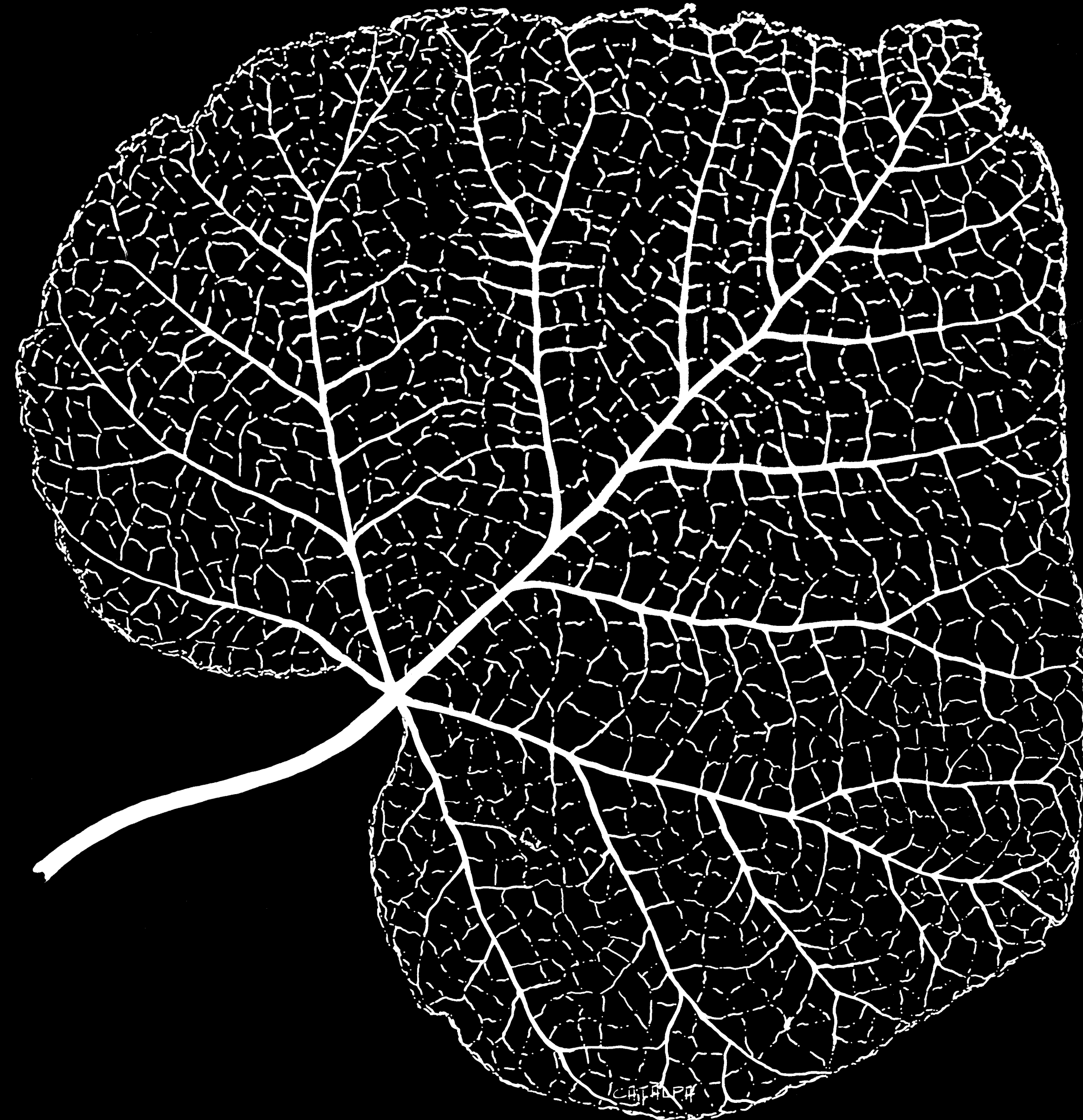
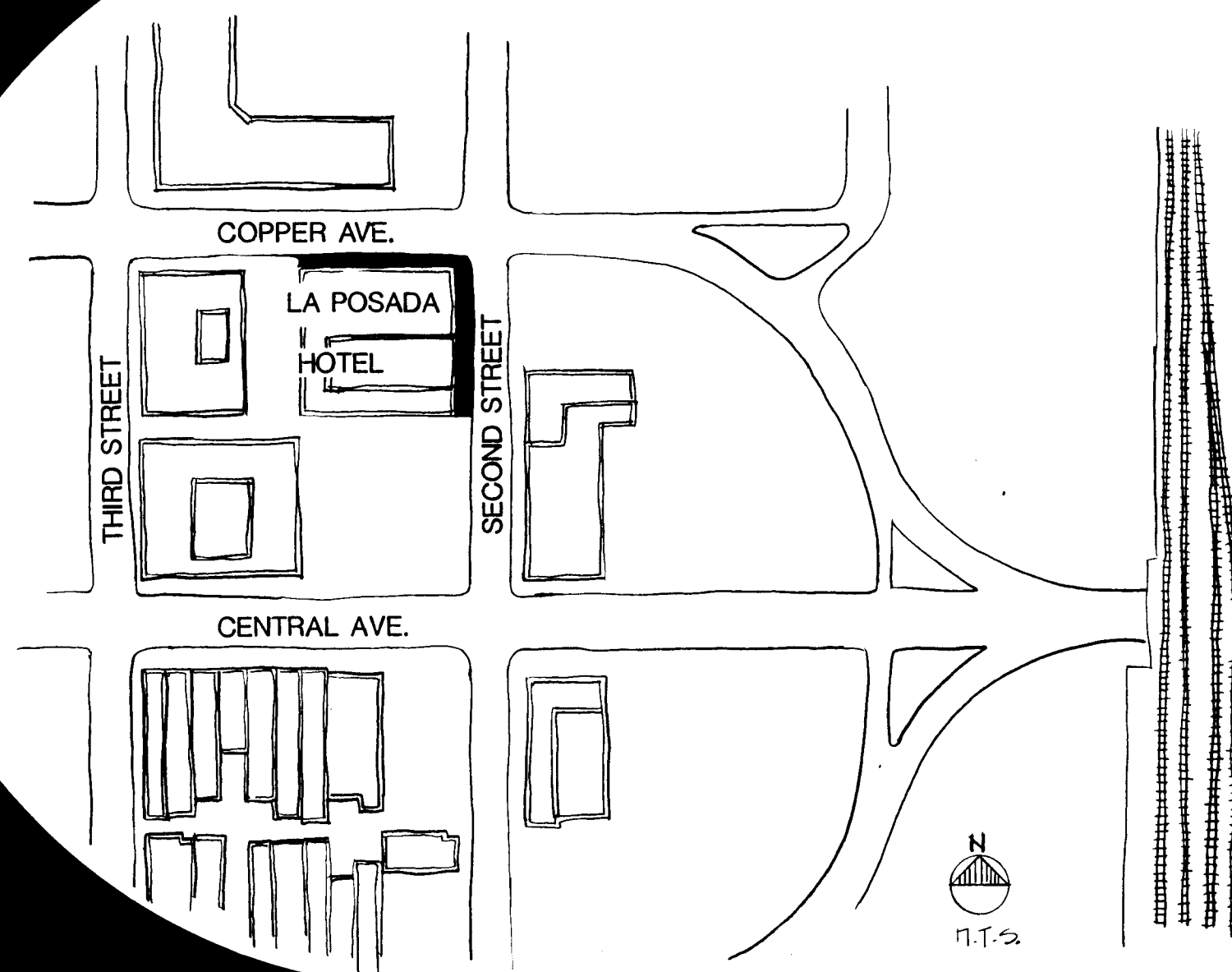




LOCATION MAP



STREETSCAPE IMPROVEMENTS TO LA POSADA DE ALBUQUERQUE HOTEL

125 2nd ST. N.W. ALBUQUERQUE NEW MEXICO 87102

PROJECT OF:

THE CITY OF ALBUQUERQUE
COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
P.O. BOX 1293
ALBUQUERQUE, NEW MEXICO 87103
DIRECTOR: REX V. ALLENDER

JUNE 1984

MAYOR, CITY OF ALBUQUERQUE

HARRY KINNEY

CITY COUNCIL, CITY OF ALBUQUERQUE

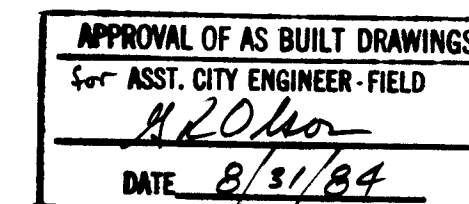
PATRICK J. BACA
NADYNE C. BICKNELL
FRED BURNS
STEVE GALLEGOS
VINCENT E. GRIEGO
FRAN J. HILL
THOMAS W. HOOVER
RICHARD MATHERS
KEN SCHULTZ

PROJECT COORDINATOR

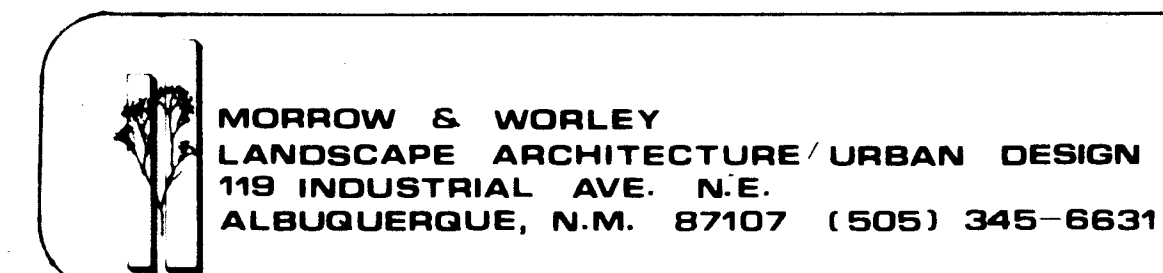
SCOTT COLEMAN
P.O. BOX 2128
ALBUQUERQUE, NM 87102
505-242-9090

SCHEDULE OF DRAWINGS

1. COVER
2. DEMOLITION & CONSTRUCTION DETAILS
3. CONSTRUCTION PLAN & DETAILS
4. PLANTING & IRRIGATION PLAN AND CONSTRUCTION DETAILS



1	2	3	4	5	6	7	8	9	10	11	12
2	6	2	1	2	1	0	1	8	4		



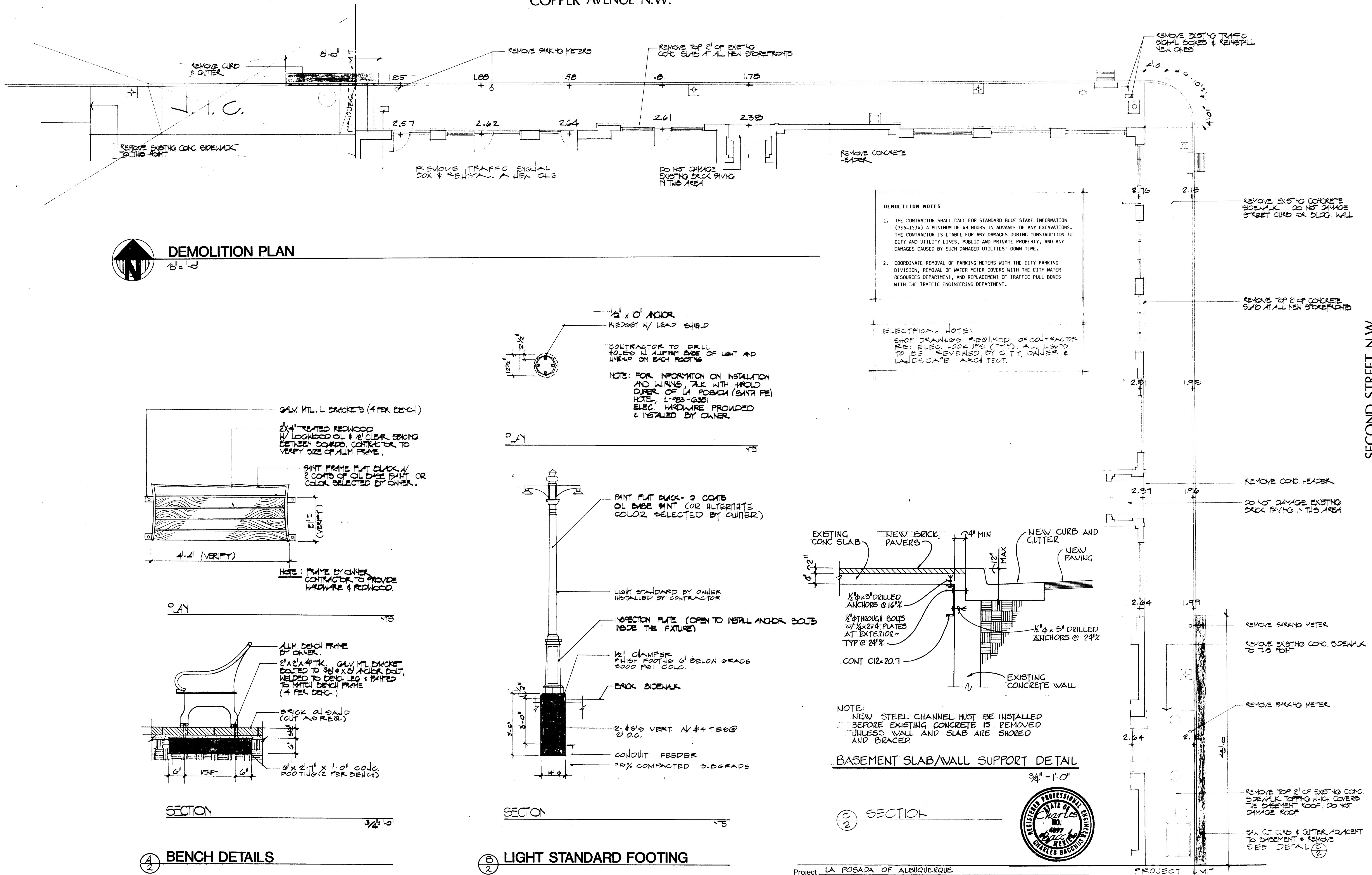
APPROVED FOR CONSTRUCTION

[Signature]
CITY ENGINEER

DATE

PROJECT No. 2121

"As-Built"
Improvements by
BRADBURY & STAMM
UNDER PRIVATE CONTR.
WITH SOUTHWEST
RESORTS, Inc.
3 YEAR WARRANTY
BOND TO BE POSTED
BY DEVELOPER.
[Signature]
8/31/84



SECOND STREET N.W.

MORROW & WORLEY, P.A.
LANDSCAPE ARCHITECTURE URBAN DESIGN
118 INDUSTRIAL AVE. N.E.
ALBUQUERQUE, N.M. 87107 (505) 345-8631

DEMOLITION PLAN & CONSTRUCTION DETAILS

JUNE 1984 REVISED 9/22/84
7/2/84

LA POSADA HOTEL STREETScape AS-BUILT 5/6/84
SECOND & COPPER N.W.
ALBUQUERQUE, NM 87103
COMMUNITY AND ECONOMIC DEVELOPMENT DEPT./CITY OF ALBUQUERQUE

SHEET
2
OF 6

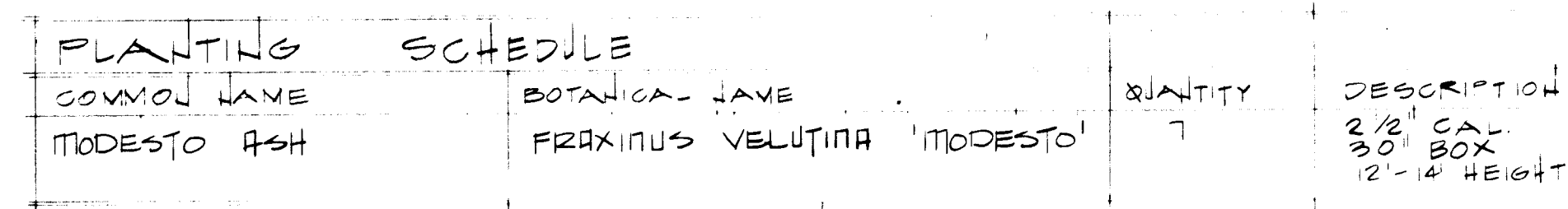
Project LA POSADA OF ALBUQUERQUE
Project No. _____ Date 6/20/84 Chk. _____ Sheet No. 2
By CEB _____ Date _____
Bacchus Consulting Engineering Albuquerque, N.M.

AS-BUILT

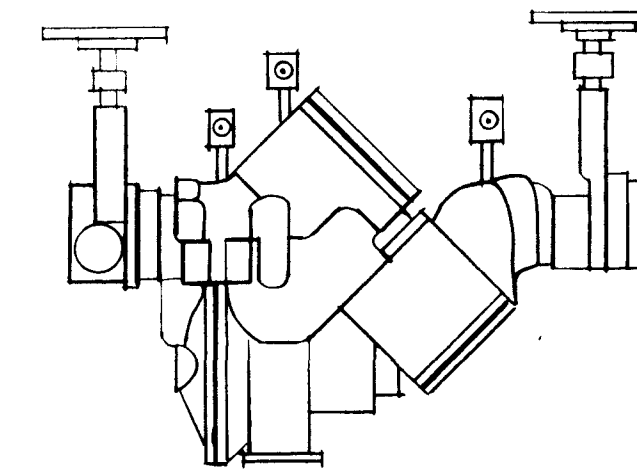
26 21 21 02 84

PROJECT No. 2121

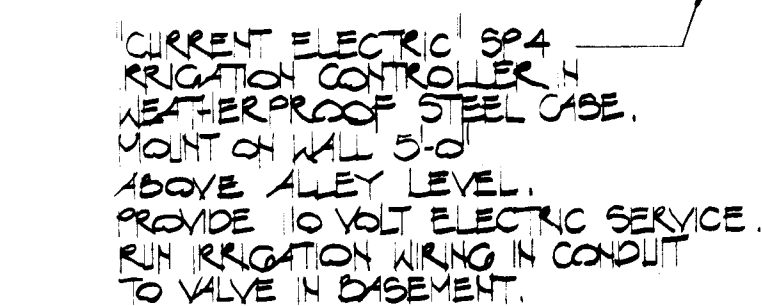
Note: see sheet #3
for traffic control
street light
conduit layout



1. THE CONTRACTOR SHALL CALL FOR STANDARD BLUE STAKE INFORMATION (765-1234) A MINIMUM OF 48 HOURS IN ADVANCE OF ANY EXCAVATIONS. THE CONTRACTOR IS LIABLE FOR ANY DAMAGES DURING CONSTRUCTION TO CITY AND UTILITY LINES, PUBLIC AND PRIVATE PROPERTY, AND ANY DAMAGES CAUSED BY SUCH DAMAGED UTILITIES' DOWN TIME.
2. IRRIGATION MAIN REPLACEMENT IS SCHEMATIC; MODIFY AS REQUIRED TO AVOID FOOTINGS, STREET LIGHTING WIRING, TRAFFIC LIGHT WIRING, TELEPHONE WIRING, UTILITY LINES, TREE ROOT BALLS, AND OTHER OBSTACLES. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AS-BUILT DRAWINGS SHOWING THE EXACT LOCATION OF PIPING AND WIRING.
3. IRRIGATION LINES ARE TO BE 18" BELOW GRADE. AFTER LINE PLACEMENT, RE-COMPACT TRENCHES TO RECEIVE BRICK PAVING.
4. CONTRACTOR TO PROVIDE 600 DRAINAGE OF ALL COLLECTIONS.



see memo
sh.t.# 5 for
approval



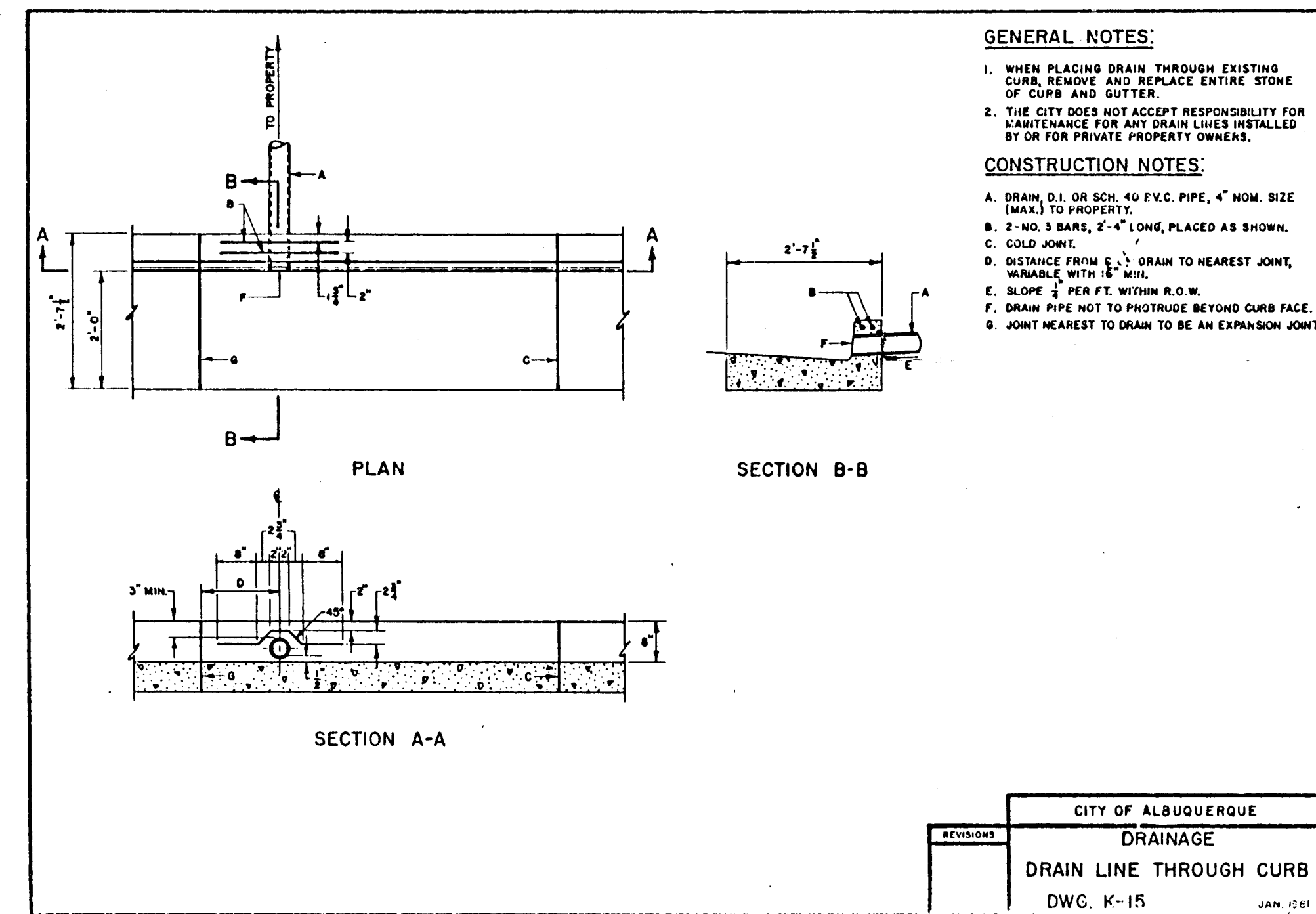
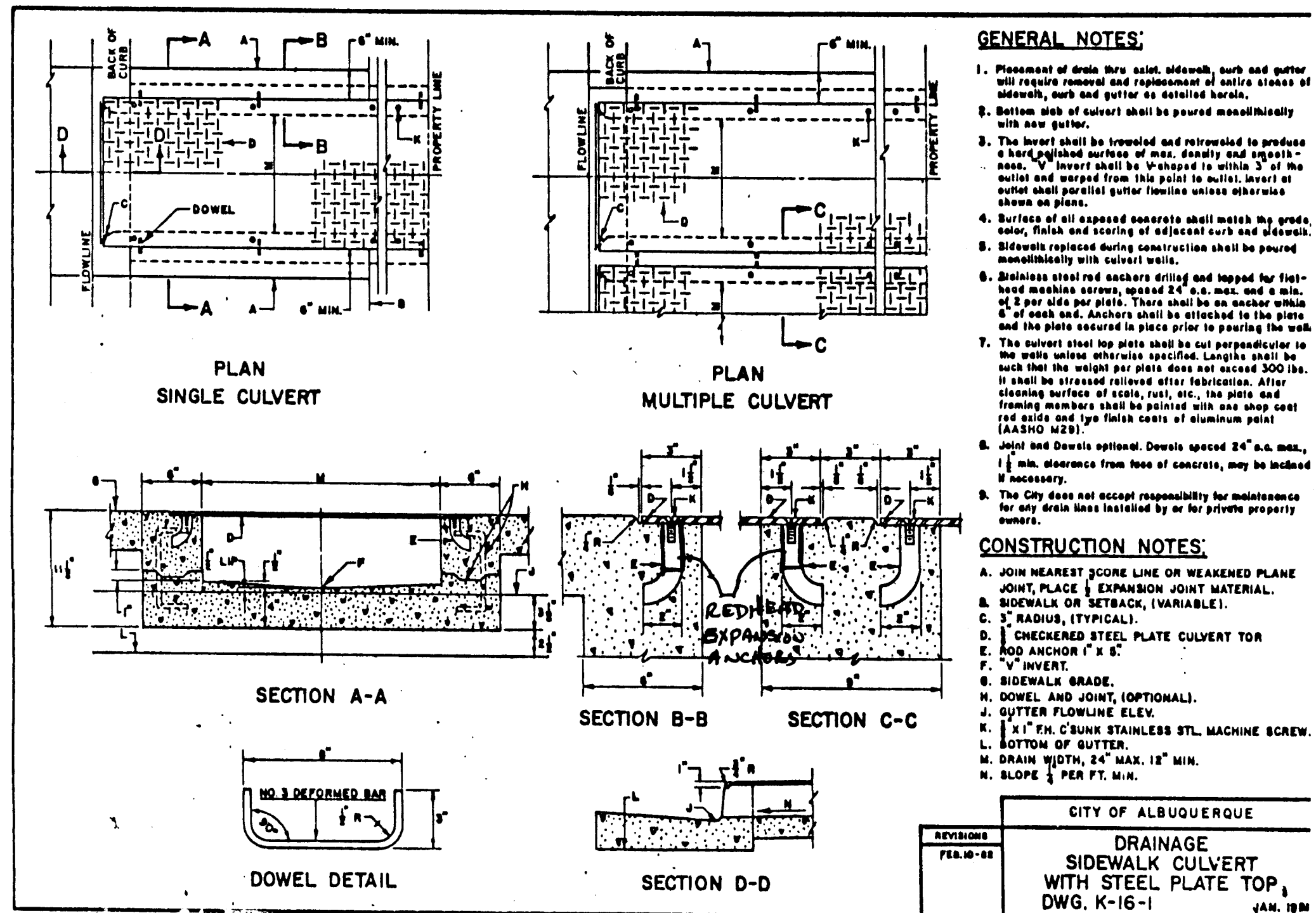
SECOND STREET N.W.

LA POSADA HOTEL STREETSCAPE
SECOND & COPPER N.W.
ALBUQUERQUE, NM 87103
COMMUNITY AND ECONOMIC DEVELOPMENT DEPT./CITY OF ALBUQUERQUE

MORROW & WORLEY, P.A.
LANDSCAPE ARCHITECTURE / URBAN DESIGN
119 INDUSTRIAL AVE. N.E.
ALBUQUERQUE, N.M. 87107 (505) 345-6631

SHEET
4
OF 6

PROJECT No. 2121



MORROW AND WORLEY
 LANDSCAPE ARCHITECTURE / URBAN DESIGN
 119 Industrial Ave., Northeast
 Albuquerque, New Mexico 87107
 (505) 345-6631 — (505) 345-7711

August 29, 1984

Mr. Michael Weix
 Mechanical Section Supervisor
 Buildings and Inspection
 Municipal Development Department
 City of Albuquerque
 123 Central NW
 Albuquerque, NM 87102

RE: La Posada Hotel Irrigation

Dear Mr. Weix:

In order to expedite the subject project the Owner has asked that I document our conversation of August 17, 1984 concerning the backflow prevention for the project's irrigation system.

The one valve bubbler system is equipped with a reduced pressure backflow preventer. This mechanism is placed in the basement approximately five (5) feet from the floor. I understand that you agree that this backflow protection approach conforms with all codes and offers the best protection available, for a back-pressure situation.

Your assistance on this project is appreciated.

Respectfully,
 MORROW AND WORLEY, P.A.

Kirk J. Worley
 Landscape Architect

KJW:kt

La Posada
 de Albuquerque

July 16, 1984

Mr. Charles Volz
 Chief Building Inspector
 City of Albuquerque

Dear Mr. Volz,

Pertaining to the U.B.C. Code requirement for a 5 foot level platform adjacent to existing doors at the sidewalk locations, La Posada de Albuquerque, respectfully requests a variance for this requirement because the brick paving that is currently replacing the removed sidewalk can not conform to this code. The elevation of the top of the curb and elevation of the entry at entrances would create an unacceptable transition should this requirement be enforced. It should be noted that Greg Olson from Drafting has approved the street scape and is aware of this condition.

Thank you,

Scott Coleman
 Project Director

SC/kjs

APPROVED:

CHARLES W. VOLZ, AIA
 Chief Building Official
 Code Administration Division

26 21 21 05 84

AS-BUILT
 8/16/84

MORROW & WORLEY, P.A.
 LANDSCAPE ARCHITECTURE / URBAN DESIGN
 119 INDUSTRIAL AVE. N.E.
 ALBUQUERQUE, N.M. 87107 (505) 345-6631

9/22/84
 1/2/84

CONSTRUCTION DETAILS
 JUNE 1984 REVISED

LA POSADA HOTEL STREETSCAPE
 SECOND & CORPES N.W.
 ALBUQUERQUE, NM 87103
 COMMUNITY AND ECONOMIC DEVELOPMENT DEPT./CITY OF ALBUQUERQUE

SHEET
 11
 OF 16

PROJECT No. 2121



KILLING BOLD SET IN SAND THROUGHOUT

AS BUILT SCHEMATIC LAYOUT OF PAVING 1/8" = 1'-0"

26 21210684

AS-BUILT
8/16/04
18/11/04

MORROW & WORLEY, P.A.
LANDSCAPE ARCHITECTURE / URBAN DESIGN
115 INDUSTRIAL AVE. N.E.
ALBUQUERQUE, N.M. 87107 (505) 345-6631

LA PASADA HOTEL AS BUILT 8/16/04

SHEET
6

PROJECT No. 2121