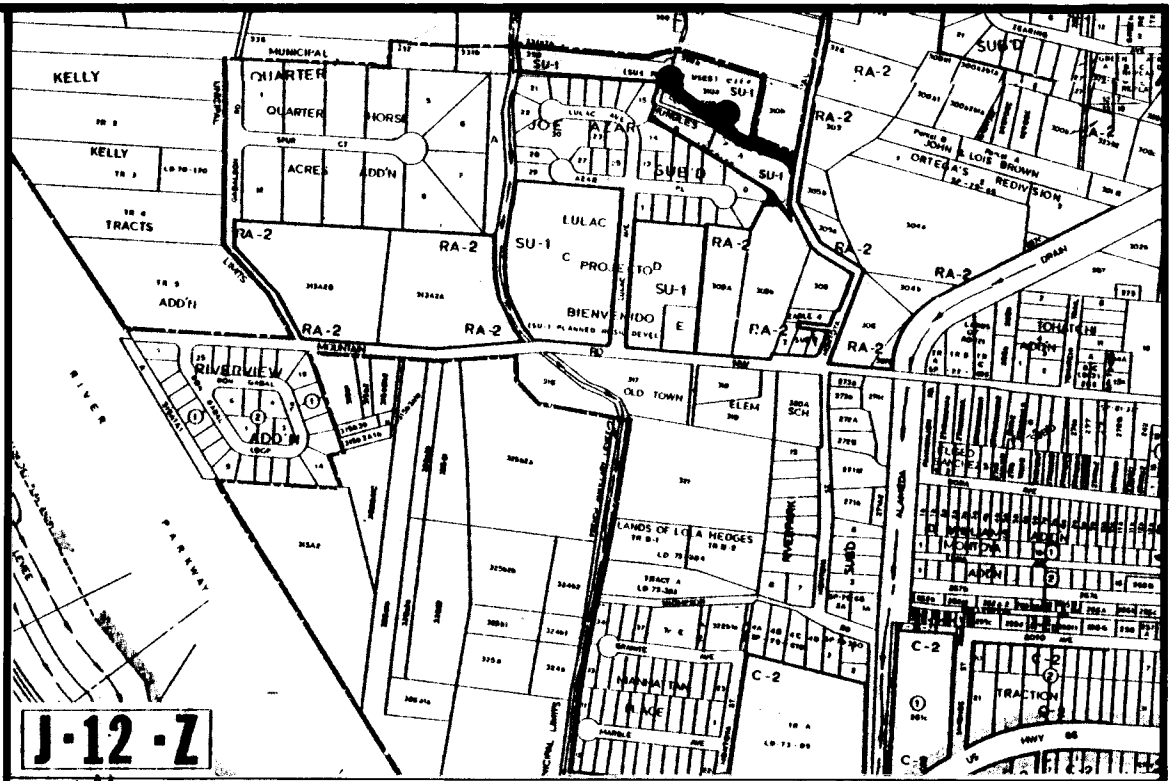


MAXIMILLIAN COMPOUND

A PLANNED SINGLE-FAMILY RESIDENTIAL DEVELOPMENT

INDEX TO SHEETS

- 1 COVER SHEET
- 2 SUBDIVISION PLAT
- 3 GRADING PLAN
- 4 PAVING PLAN - STREET SECTION, MAXIMILLIAN ROAD
- 5 PLAN & PROFILE, MAXIMILLIAN ROAD
- 6 SEWER & WATER PLAN & PROFILE
- 7 DETAILS



NOTICE TO CONTRACTORS

- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with the New Mexico Standard Specifications for Public Works Construction - 1979 Edition and the Contract Documents for Public Works Contract No. 84-3.
- Two (2) working days prior to any excavation, contractor must contact Line Locating Service 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with a minimum of delay.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

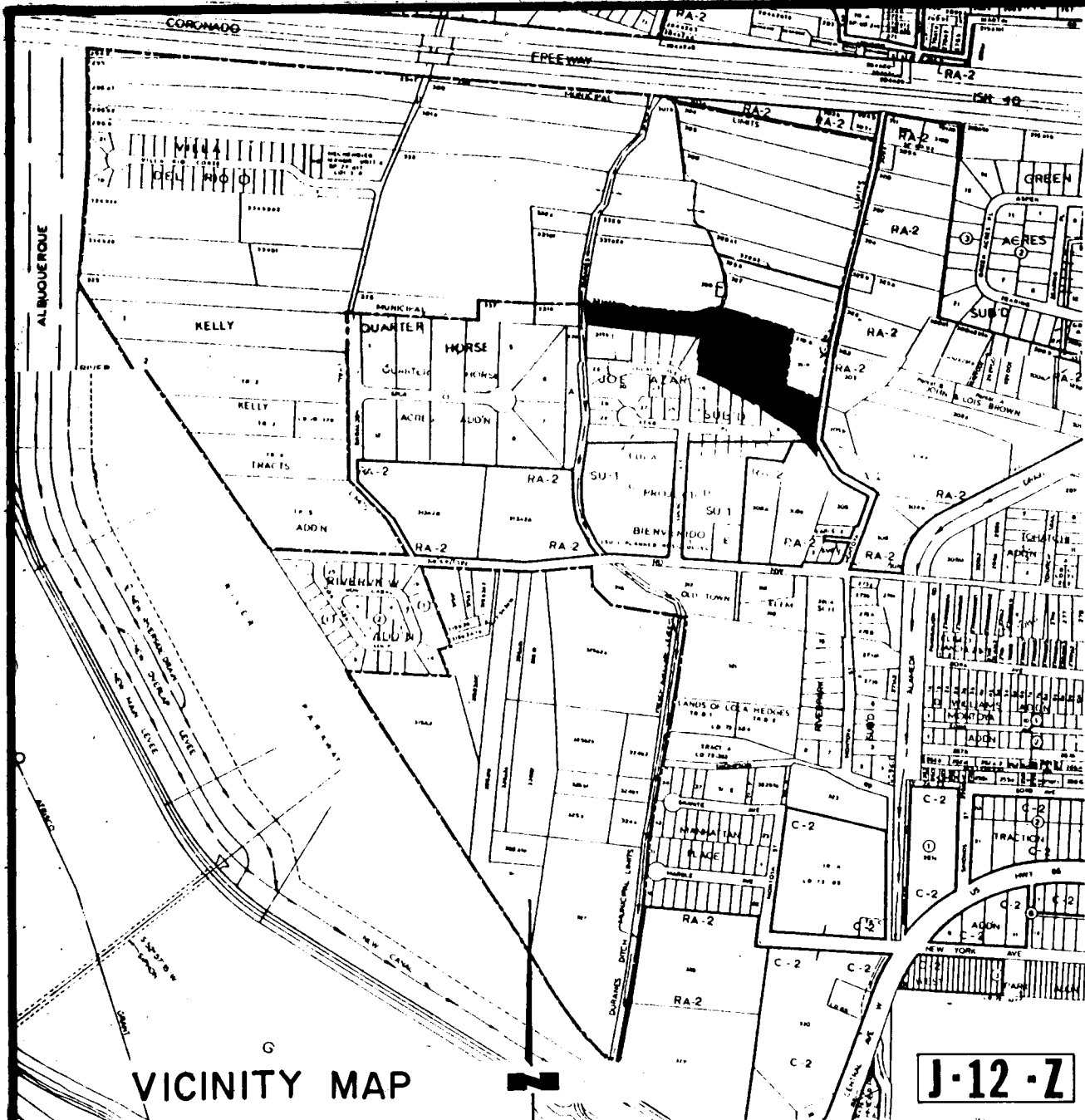
- ☒ All utilities and utility service lines shall be installed prior to paving.
- ☒ Backfill compaction shall be according to specified street use. RESIDENTIAL
- ☒ Tack coat requirements shall be determined by the City Engineer.
- ☐ Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- ☐ If curb is depressed for a driveway or a handicap ramp, the driveway or ramp shall be constructed prior to acceptance of the curb and gutter.
- ☒ All storm drainage facilities shall be completed prior to final acceptance.

W.F. McNamara
9-4-85

2142 21420185

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
1	6 OF 7	W.F. McNamara	9/4/85	W.F. McNamara	RD-Plan	3/8/85			
APPROVAL OF REVISIONS									

	ENCHANTMENT Inc. ENGINEERING 7800 MARBLE AVENUE, NE SUITE 10 ALBUQUERQUE, NM 87110 265-7703	APPROVED FOR CONSTRUCTION 5/23/85 C.E.
2142		SHEET 1 OF 7



VICINITY MAP

J-12-Z

SUBDIVISION DATA

Case No. _____
Zone Atlas Index J-12
Gross Subdivision Acreage: 5.0291 acres
Total number of lots created: 17
Total mileage of full-width streets created: 0.111
Date of survey: November, 1983

NOTES

Bearings are local system derived from the JOE AZAR SUBDIVISION (filed May 17, 1972, Book 05, p.15). For New Mexico State Plane Grid Bearings (Central Zone) rotate plat bearings counterclockwise 00°27'45".

Distances shown are ground distances.

All return radii are 25.00'

Lot lines are perpendicular to street right-of-way lines or are radial thereto except where noted S/R.

DESCRIPTION

A tract of land situate within the City of Albuquerque, Bernalillo County, New Mexico in projected Sections 12 and 13, Township 10 North, Range 2 East, New Mexico Principal Meridian, and comprising Tracts 310a, 330 and 331a2b, Middle Rio Grande Conservancy District Property Map No. 35, together with RUNDLES SUBDIVISION, plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico on April 19, 1968 in Map book B4, page 136, and being more particularly described by metes and bounds as follows:
BEGINNING at the Southeast corner of the herein described tract, said corner being a point on the West Right-of-way line of Montoya Road, NW, from which point A.C.S. Control Point 7-J13A bears S. 80°37'00"E., 2572.06 feet distant, and running from said Beginning Point thence, N. 41°17'00"W., a distance of 138.72 feet to a point, said point being on the North boundary of the JOE AZAR SUBDIVISION, plat of which was filed May 17, 1972 in Map book D5, page 15; thence, continuing along said subdivision boundary, N. 59°11'20"W., a distance of 270.60 feet; thence, continuing along said subdivision boundary, N. 59°09'20"W., a distance of 78.25 feet; thence, continuing along said subdivision boundary, N. 62°43'30"W., a distance of 176.56 feet; thence, continuing along said subdivision boundary, N. 21°58'50"E., a distance of 72.66 feet; thence, continuing along said subdivision boundary, N. 18°53'20"E., a distance of 88.96 feet; thence, continuing along said subdivision boundary, N. 85°57'30"W., a distance of 516.00 feet to a point on the east line of the Duranes Ditch; thence, running along the east line of said ditch, N. 02°40'15"W., a distance of 95.50 feet; thence, S. 86°10'55"E., a distance of 463.73 feet; thence, N. 79°04'34"E., a distance of 83.78 feet; thence, N. 85°53'53"E., a distance of 41.48 feet to a point, said point being common to the southwest corner of Tract 331a2a and the southeast corner of Tract 327, M.R.G.C.D. Property Map No. 35; thence, S. 71°57'28"E., a distance of 334.70 feet; thence, S. 10°40'34"W., a distance of 234.38 feet; thence, S. 68°30'30"E., a distance of 182.93 feet to a point on the West Right-of-way line of Montoya Road, NW; thence, along said west right-of-way line, S. 08°36'02"W., a distance of 159.55 feet; thence, continuing along said west right-of-way line, S. 02°46'48"E., a distance of 76.47 feet to the Southeast corner of the herein described tract and Place of Beginning, and containing 5.0291 acres, more or less.

DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owners and proprietors thereof and said owners and proprietors do hereby dedicate all streets and public right-of-way shown hereon to the City of Albuquerque in fee simple and do hereby grant all utility easements shown hereon including the rights of surface and subsurface ingress and egress and the right to trim interfering trees and bushes. The undersigned owners and proprietors also grant to the City of Albuquerque in perpetuity all sanitary sewer, water line and drainage easements shown hereon including the right to construct, operate, inspect, and maintain lines and facilities therein. Unless specifically limited elsewhere on this plat, all easements granted to the City of Albuquerque may be used for any or all of the purposes of sanitary sewer, water line or drainage facility even though only one of these purposes is stated on the easement as drawn on the plat.

Max M. Sanchez 4-3-84
Anthony Beck 4-3-84

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

On this 4 day of May, 1983, the foregoing instrument was acknowledged before me.

Notary Public

My commission expires

84 69252

SUBDIVISION PLAT OF

MAXIMILLIAN COMPOUND

BEING A REPLAT OF RUNDLES SUBDIVISION
TOGETHER WITH TRACTS 310a, 330 and 331a2b
M.R.G.C.D. PROPERTY MAP No 35

WITHIN PROJECTED SECTIONS 12 & 13, T.10N., R.2E., N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AUGUST 5, 1983

APPROVALS

Adolfo Jarama 7-31-84
Traffic Engineer, Transportation Department Date
Robert W. Smith 4/1/84
Parks and Recreation Department Date
Public Service Company 8/1/84
Mountain Bell Telephone Date
Paula Y. McElfee 8-10-84
Gas Company of New Mexico Date
La Monte Debaro 12/3/83
Chief City Surveyor, Engineering Division Date
Jon E. Edgeland 7/31/84
Water Resources Department Date
Howard R. Smith 12/5/83
Property Management Date
N.A. 8/10/84
G.A.M.A.F.C.A. Date
City Engineer, Engineering Division 8/10/84 Date

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article XI of Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico.

Charles Salinas 31 August 1983
City Planner

SURVEYOR'S CERTIFICATION

I, J. W. Bettis do hereby certify that I am a registered Professional Engineer and Land Surveyor under the laws of the State of New Mexico, and that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

J. W. Bettis
Reg. P.E. & L.S. #3441

ENCHANTMENT Inc.
ENGINEERING
7800 MARBLE AVENUE, NE SUITE 10
ALBUQUERQUE, NM 87112
265-7703
SHEET 1 OF 2

LASON 1-505-344-9404
BEST COPY AVAILABLE

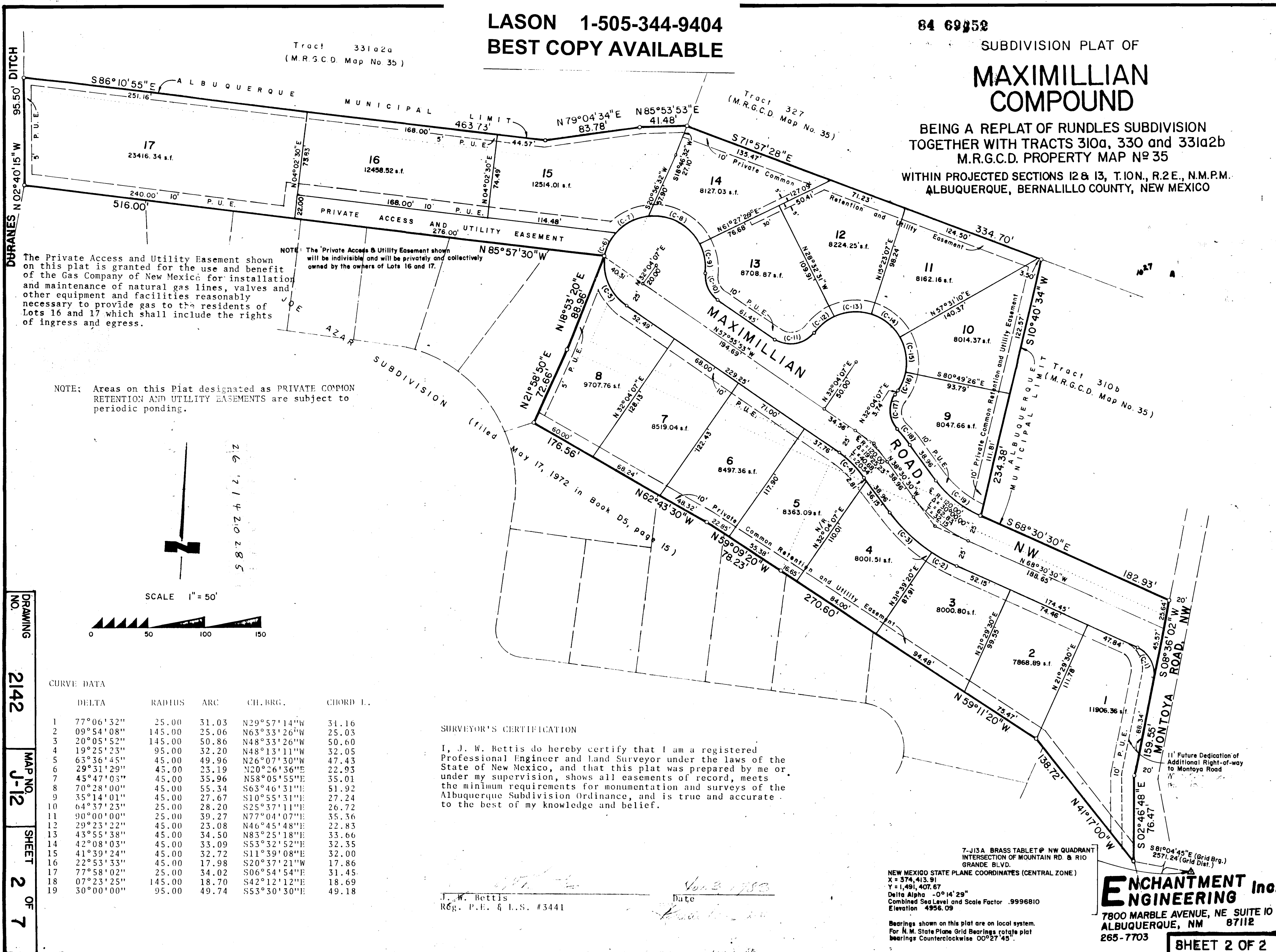
84 69252

SUBDIVISION PLAT OF

MAXIMILLIAN COMPOUND

BEING A REPLAT OF RUNDLES SUBDIVISION
TOGETHER WITH TRACTS 310a, 330 and 331a2b
M.R.G.C.D. PROPERTY MAP No 35

WITHIN PROJECTED SECTIONS 12 & 13, T.10N., R.2E., N.M.P.M.
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



SURVEYOR'S CERTIFICATION

I, J. W. Bettis do hereby certify that I am a registered Professional Engineer and Land Surveyor under the laws of the State of New Mexico, and that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

J. W. Bettis
Reg. P.E. & L.S. #3441

Date

7-J13A BRASS TABLET @ NW QUADRANT
INTERSECTION OF MOUNTAIN RD. & RIO
GRANDE BLVD.
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE)
X = 374,413.91
Y = 1,491,407.67
Delta Alpha = 0°14'29"
Combined Sd Level and Scale Factor .9996810
Elevation 4568.09
Bearings shown on this plat are on local system.
For N. M. State Plane Grid Bearings, rotate plat
bearings Counterclockwise 00°27'45".

ENCHANTMENT Inc.
ENGINEERING
7800 MARBLE AVENUE, NE SUITE 10
ALBUQUERQUE, NM 87112
265-7703
SHEET 2 OF 2



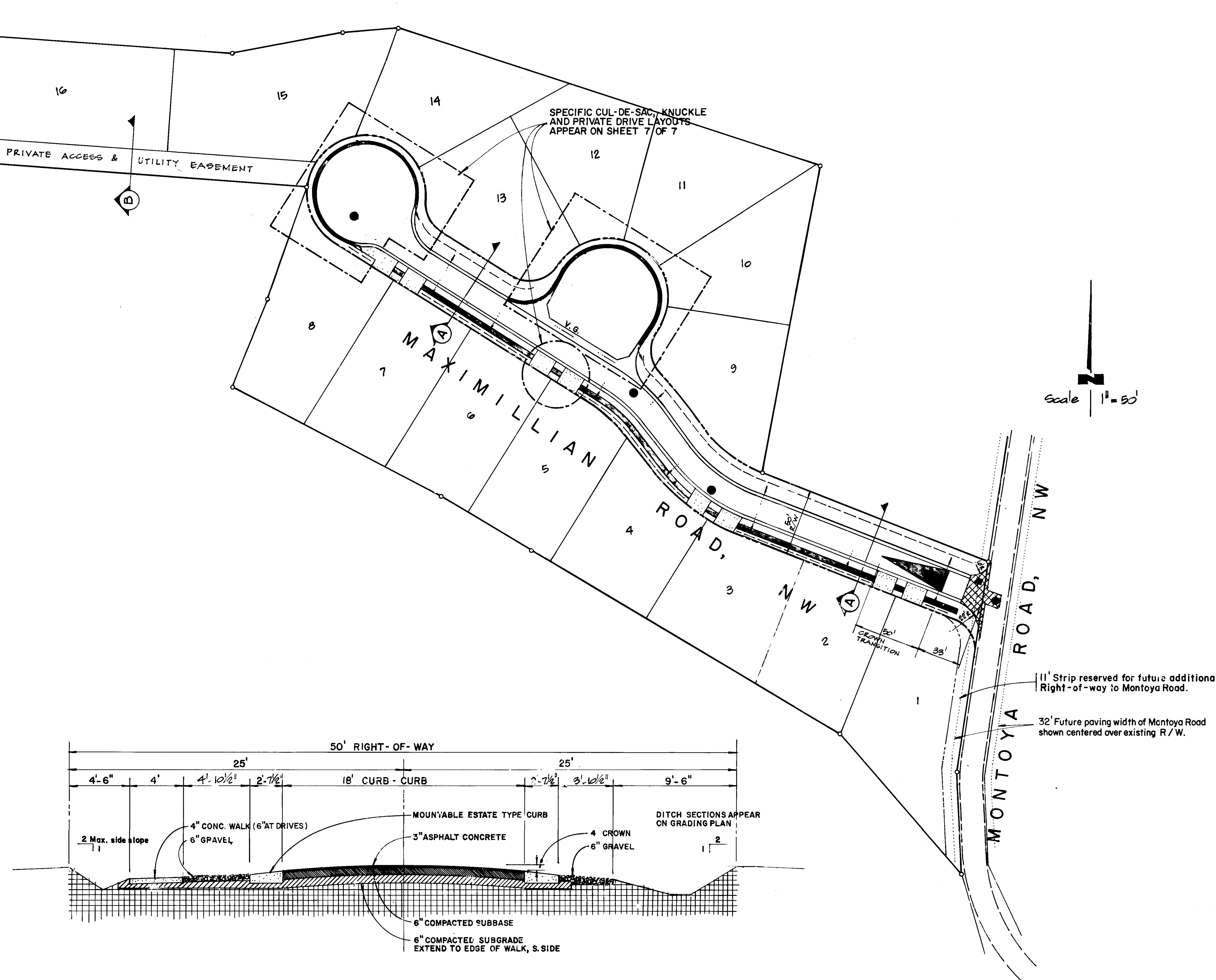
(B) SECTION. FRONT TO REAR
SCALE 1" = 20'

2	6	2	1	4	2	0	3	8	5
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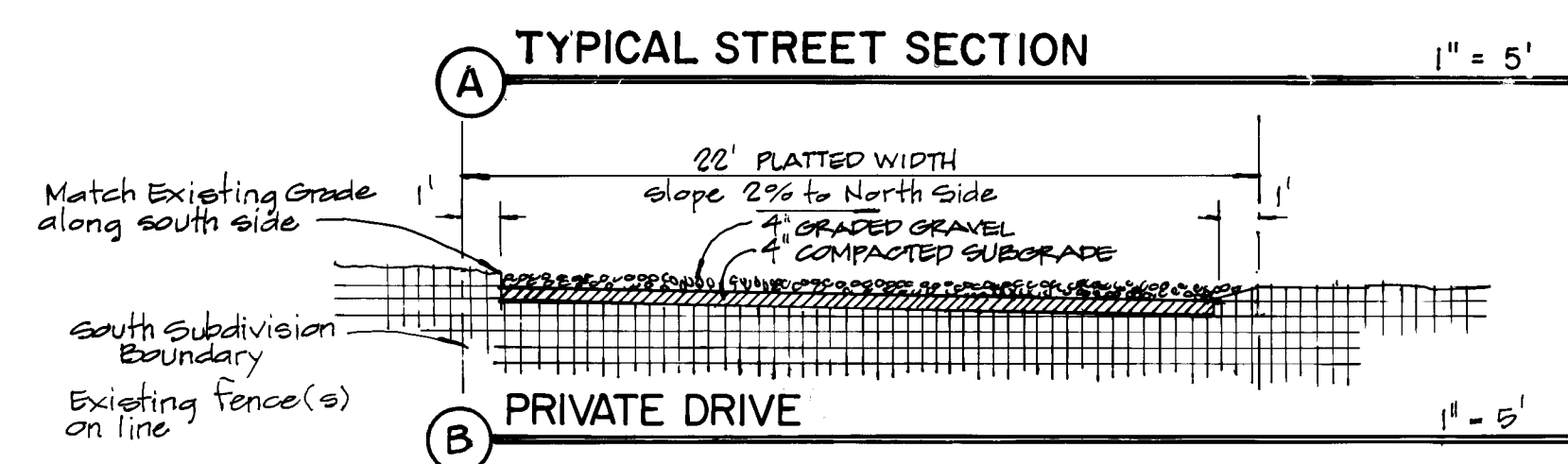
Jim Leymon, Jr., P.E. 8105 Date

69/85 Date

[illegible]



ALL OTHER CONSTRUCTION DETAILS NOT SPECIFIED HEREON SHALL BE PER RESIDENTIAL STREET PAVING DWG. P-1-I. PUBLIC WORKS CONTRACT DOCUMENT NO. 84-3

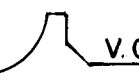
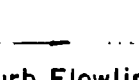
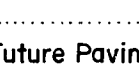


WIDTH OF PAVEMENT OF MAXIMILLIAN ROAD IS PER APPROVED SPECIAL-USE DEVELOPMENT PLAN.

Specific Cul-de-sac and Knuckle layouts
appear on DETAILS - Sheet 7 of 7 .

Temporary Turnout connection to Montoya Rd.
appears on DETAILS - Sheet 7 of 7 .
Backfill and compaction shall be per
RESIDENTIAL Street use.

LEGEND

- 
 Valley Gutter
- 
 Temporary Turnout Paving
- 
 Curb Flowline & Direction of Street Runoff.
- 
 Crown Transition
- 
 Ditches
- 
 Curbs
- 
 Drive Location (4' Thick)
 4 Concrete Sidewalk (4' Thick)

[illegible]

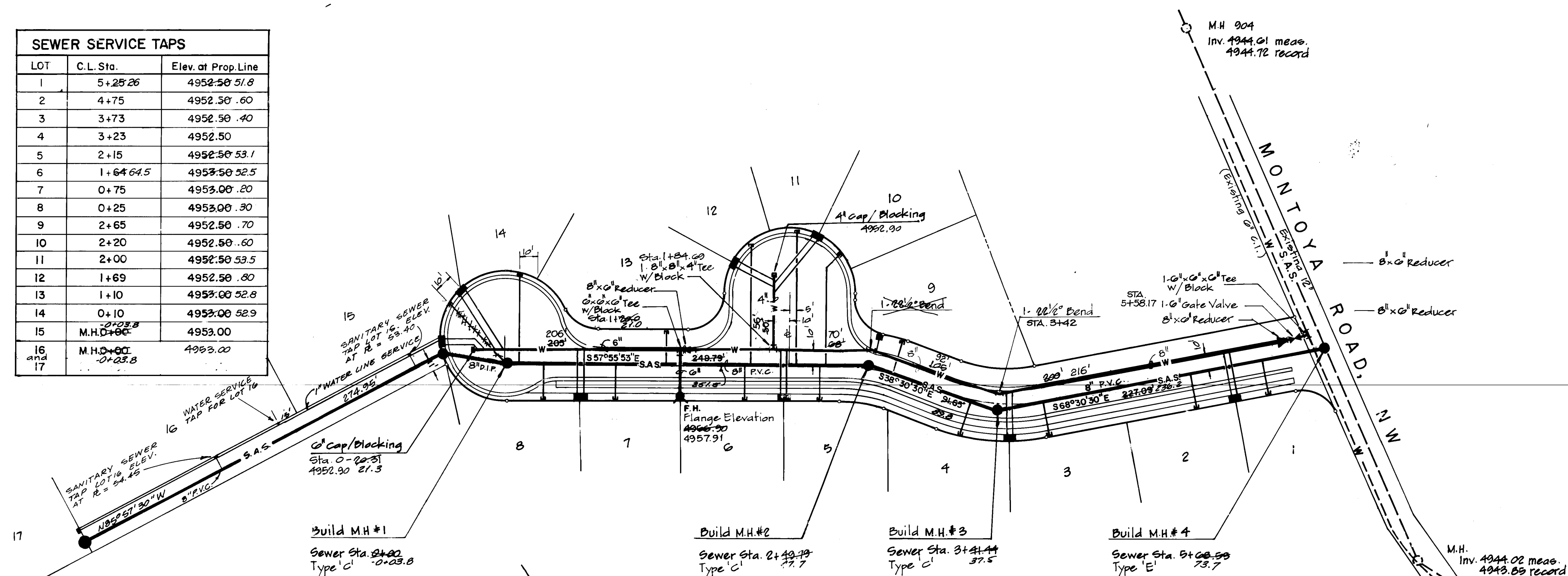
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: **PAVING PLAN & STREET SECTION
MAXIMILLIAN ROAD**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>C. J. [Signature]</i>	4/6/85	Liquid Waste	<i>R. [Signature]</i>	8/1/85
A.C.E.-Design	<i>H. [Signature]</i>	2/1/85	Traffic	<i>[Signature]</i>	3/1/84
A.C.E.-Hydrology	<i>N. A. [Signature]</i>	8/1/84	Water	<i>R. [Signature]</i>	8/1/84

DRAWING NO.	2142	MAP NO. J-12	SHEET 4	OF 7
----------------	------	-----------------	------------	---------

SEWER SERVICE TAPS		
LOT	C.L. Sta.	Elev. at Prop. Line
1	5+25.26	4952.50 51.8
2	4+75	4952.50 .60
3	3+73	4952.50 .40
4	3+23	4952.50
5	2+15	4952.50 53.1
6	1+64.64.5	4953.50 52.5
7	0+75	4953.00 .20
8	0+25	4953.00 .30
9	2+65	4952.50 .70
10	2+20	4952.50 .60
11	2+00	4952.50 53.5
12	1+69	4952.50 .80
13	1+10	4953.00 52.8
14	0+10	4953.00 52.9
15	M.H.D. 1+80	4953.00
16	M.H.D. 1+80	4953.00
17	M.H.D. 1+80	4953.00



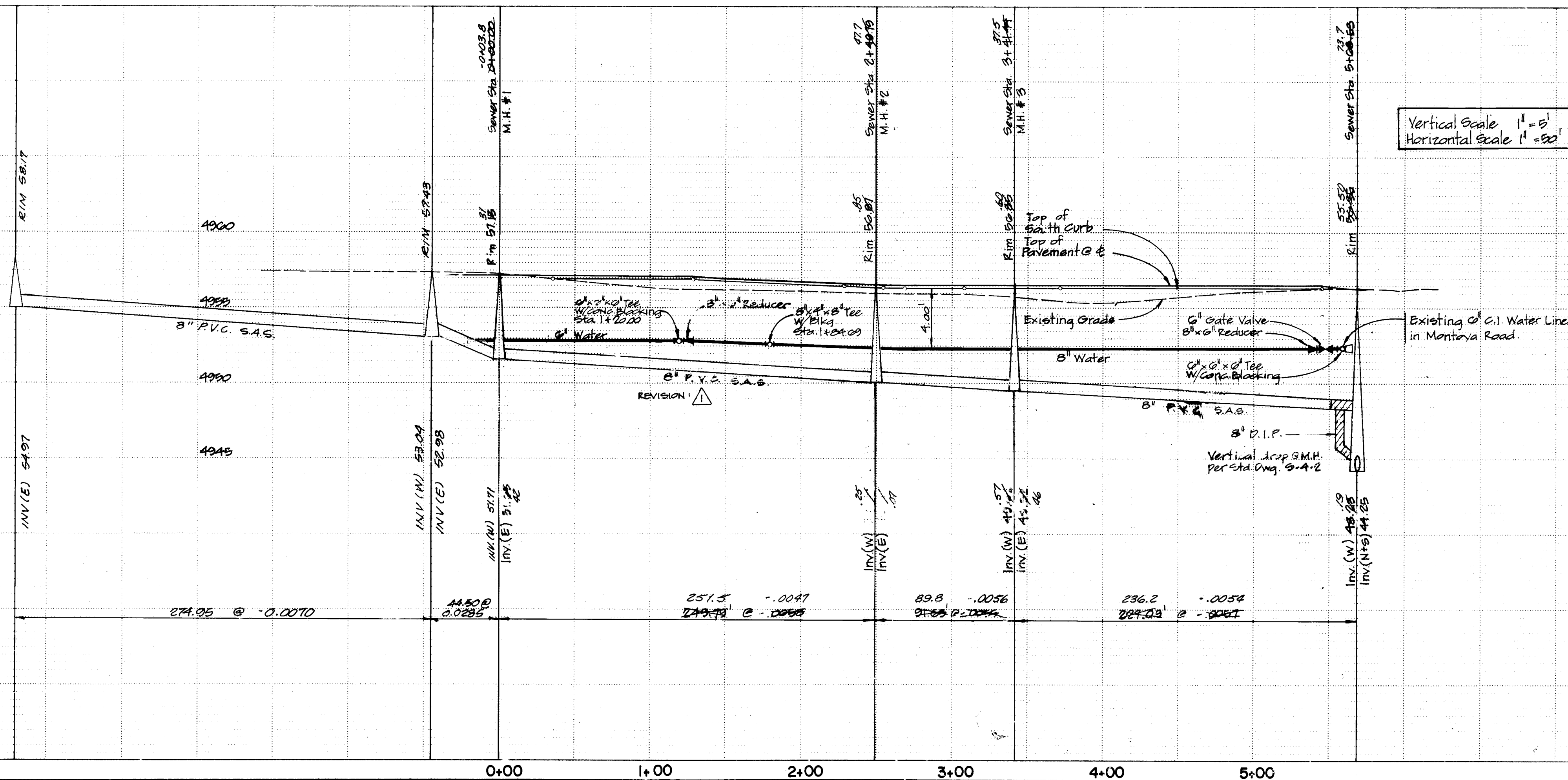
RECORD DRAWING

The improvements shown on this drawing have been as-built in accordance with field surveys performed by Espey, Huston and Associates, Inc. and information provided by Construction Contracting and Management, Inc. (contractors) to reflect construction actually accomplished as of this date, to the best of my knowledge and belief.

Jim Leymon, Jr., P.E. 8105

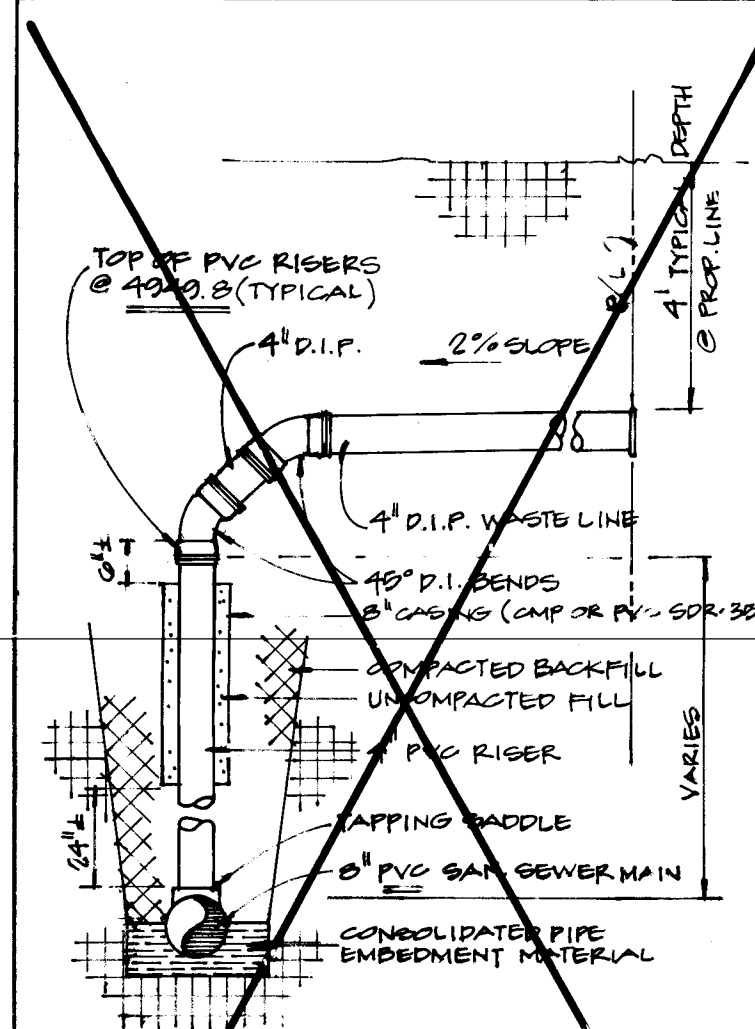
Date _____

M A X I M I L L I A N R O A D, N W



STATIONING SHOWN IS FOR SINGLE SEWER
LINE AND HAS BEEN RUN FROM END TO
CONNECTION IN MONTOYA ROAD (W.-E.) FOR
THE PURPOSE OF APPROXIMATING STREET
LAYOUT STATIONING.

ELECTRONIC MARKER DISCS SHALL BE INSTALLED
OVER ENDS OF ALL SANITARY SEWER SERVICE
EXTENSIONS.



SEWER RISER DETAIL

~~NO SCALE~~

NOTES

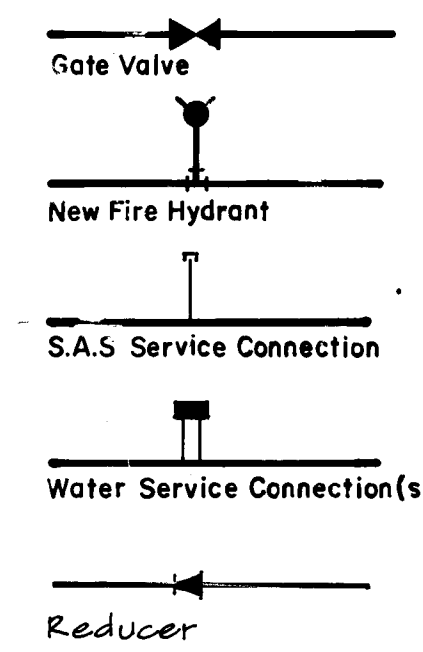
1. THIS DETAIL APPLIES ONLY TO INSTALLATION OF FLEXIBLE PIPE MAIN.
2. REFER TO SPECIFICATIONS SECTION 305 FOR MATERIAL REQUIREMENTS

LEGEND

- S.A.S. 
 New Sanitary Sewer
 S.A.S. 
 Existing Sanitary Sewer

 New Manhole

 Existing Manhole
 W 
 New Water Line
 W 
 Existing Water Line
- Line sizes and materials optional



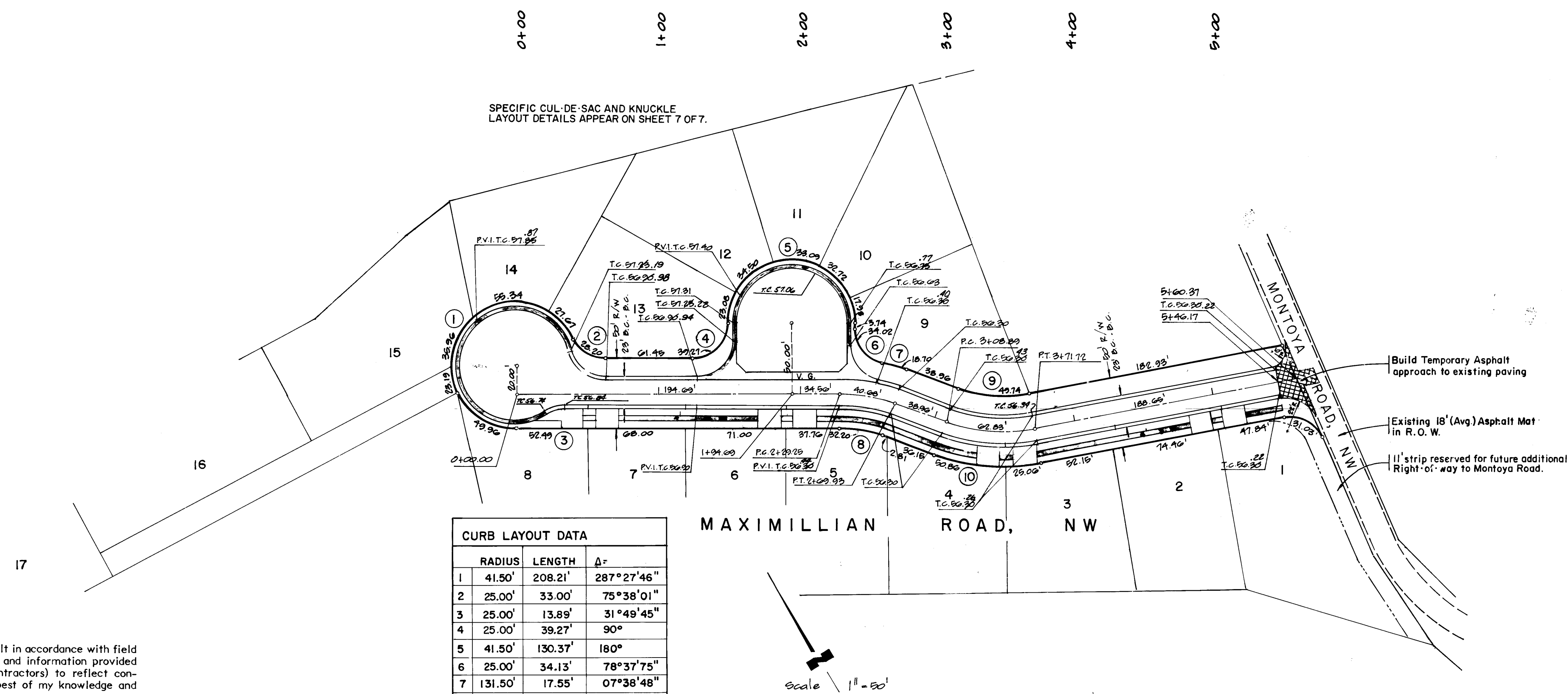
26 21420685

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: SEWER & WATER PLAN & PROFILE
MAXIMILLIAN ROAD

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>C. N. [Signature]</i>	2/6/84	Liquid Waste	<i>R. P. [Signature]</i>	9/1/84
ACE - Design	<i>H. P. [Signature]</i>	2/1/85	Traffic	NA DWH	8/1/84
ACE - Hydrology	<i>N. A. [Signature]</i>	8/1/84	Water	<i>R. P. [Signature]</i>	9/1/84

DRAWING NO.	2142	MAP NO. J-12	SHEET 6 OF 7
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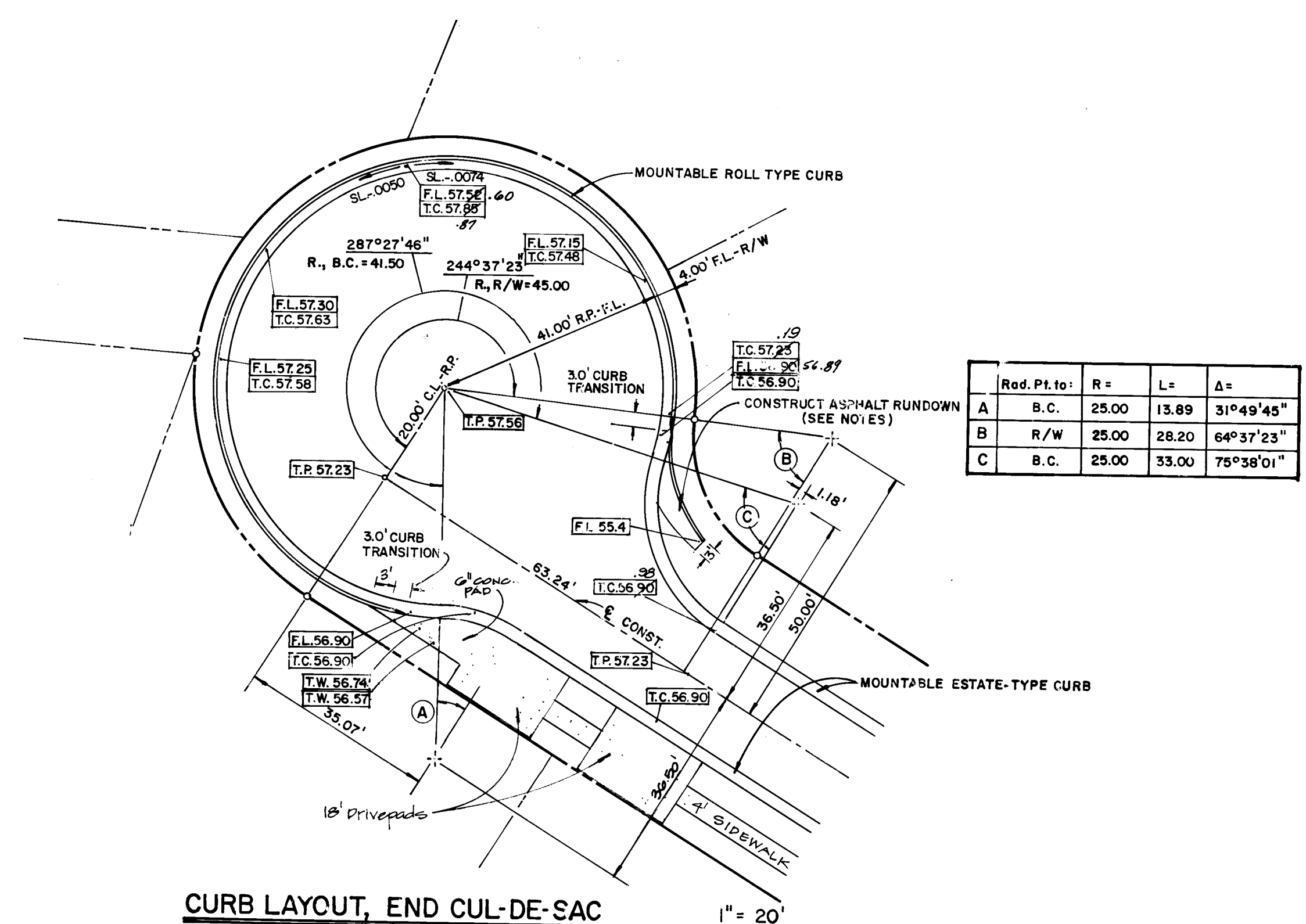


RECORD DRAWING

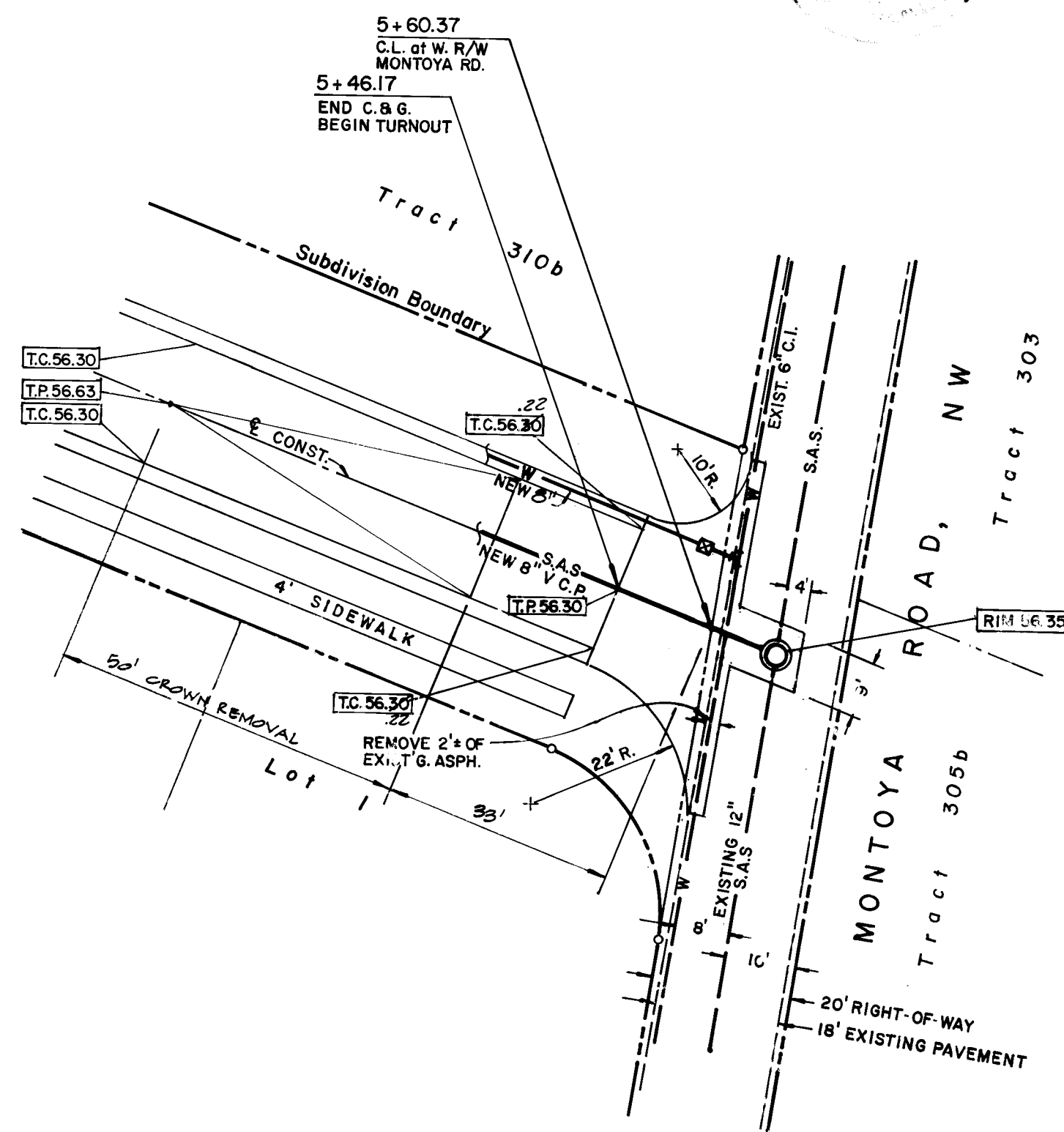
The improvements shown on this drawing have been as-built in accordance with field surveys performed by Espey, Huston and Associates, Inc. and information provided by Construction Contracting and Management, Inc. (contractors) to reflect construction actually accomplished as of this date, to the best of my knowledge and belief.

Jim Leymon, Jr., P.E. 8105

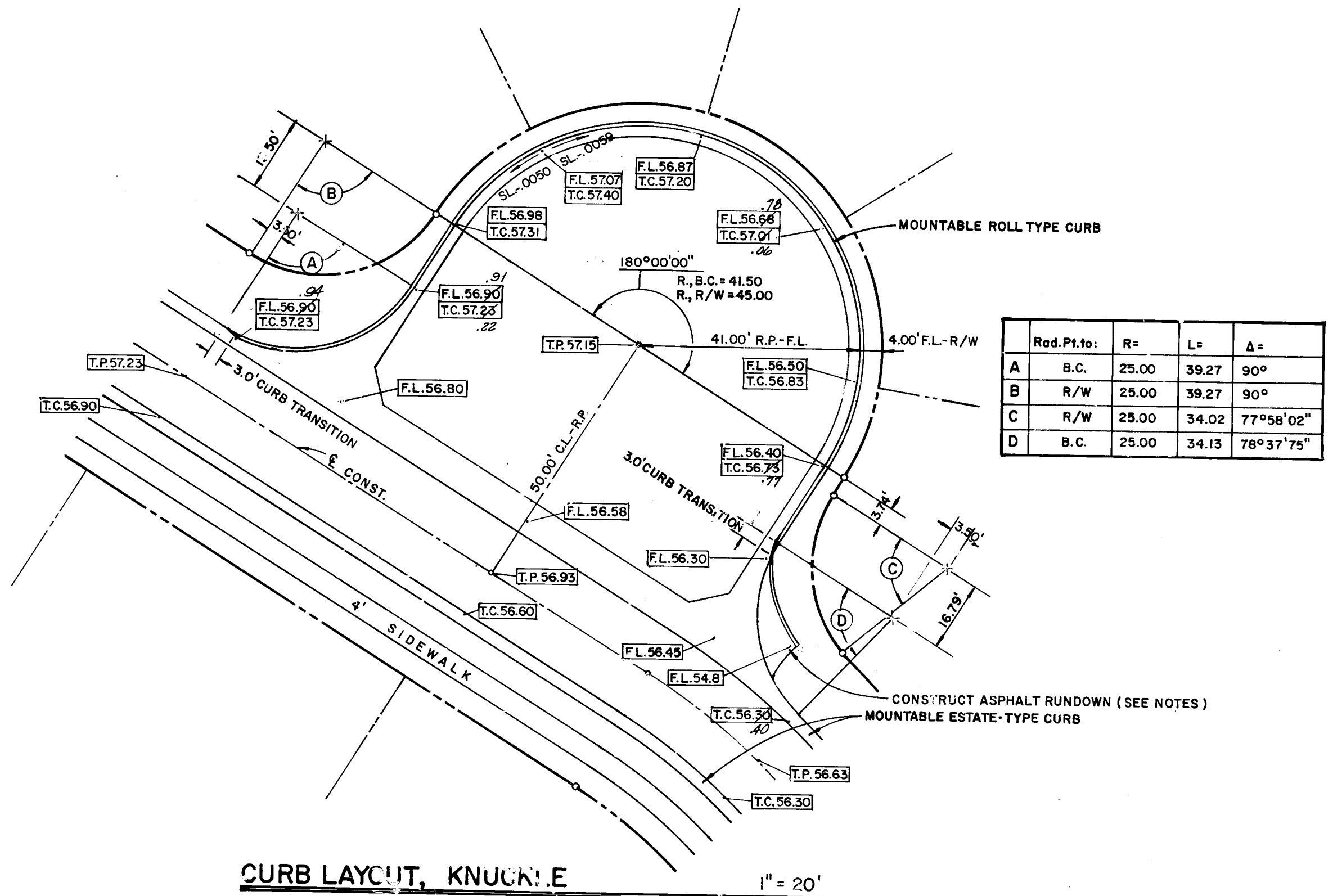
9-85 Date



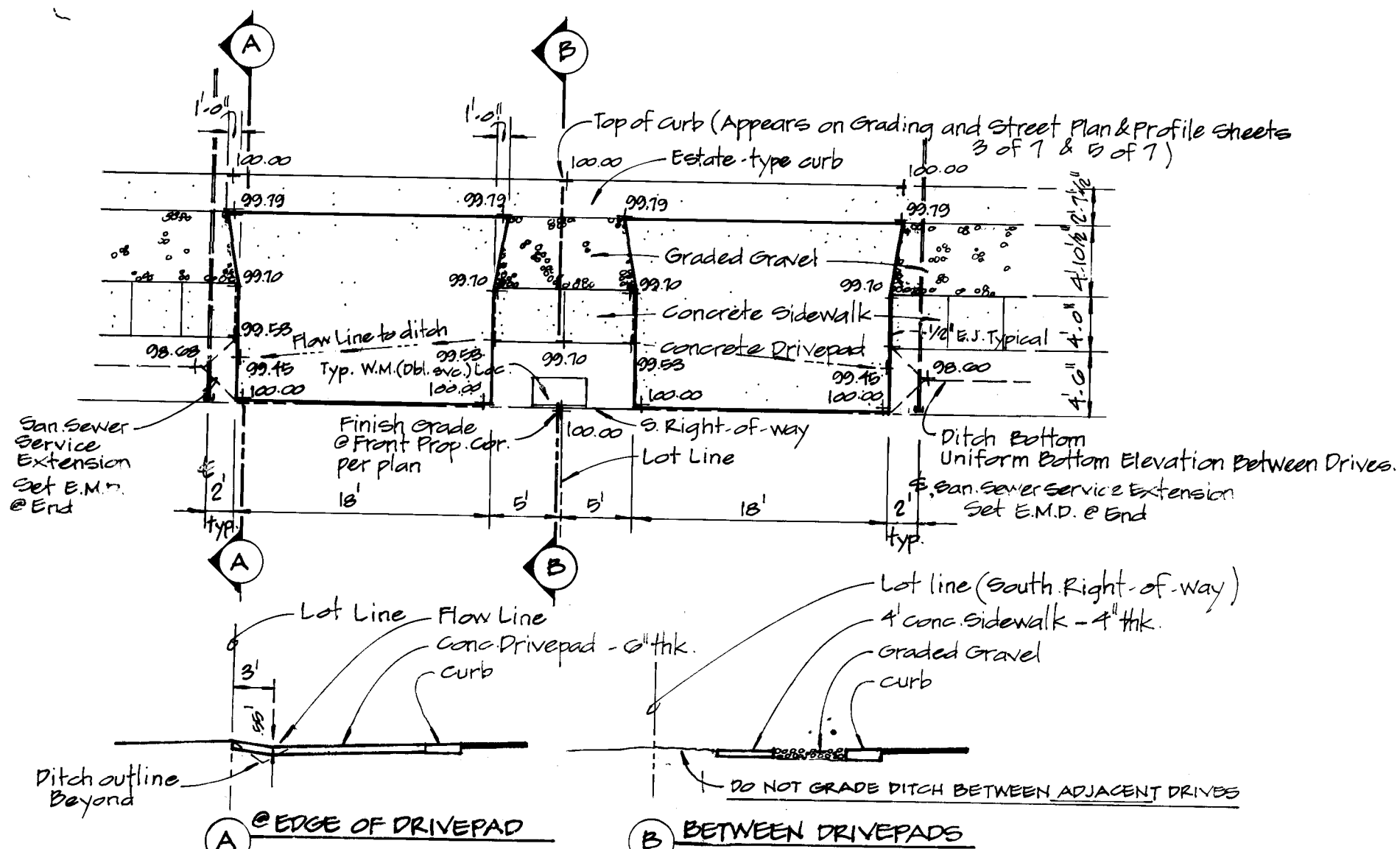
CURB LAYOUT, END CUL-DE-SAC 1" = 20'



TURNOUT TO MONTOKA RD. 1" = 20'



CURB LAYOUT, KNUCKLE 1" = 20'



TYPICAL DRIVEWAY LAYOUT 1" = 10'

Cross section of street appears on PAVING PLAN AND STREET SECTION, MAXIMILLIAN ROAD

Sheet of

Elevations shown hereon are to Finished Surfaces.

Asphalt Rundowns shall be matched to outside curb heights and extended to side ditch bottoms. Construction may entail on-site dimensioning. Rundown dimensions, Excepting toe widths as shown, may be SCALED from drawings.

Backfill and Compaction of Temporary Turnout connection shall be according to RESIDENTIAL Street use.

Lay-in and construct even transition from crown and curbing on Maximilian Road to cut edge of existing asphalt in Montoya Road.

Extent of excavation at new Manhole in Montoya Road determined from Public Works Contract Document No. 84-1, Section 550.01.

LEGEND

- New Manhole
- New Gate Valve & Box
- Existing Sanitary Sewer
- New Sanitary Sewer
- Existing Water
- New Water
- New Estate-type curb
- New Mountable Roll-type curb
- Temporary Turnout Paving (New)
- Existing Asphalt Paving (Width as Noted)
- Right-of-way Line
- Tract & Interior Lot Boundaries
- Proposed Finished Elevations
- T.C. - Top of Curb
- T.P. - Top of Pavement
- F.L. - Flow Line
- T.W. - Top of Walk

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: **DETAILS
MAXIMILLIAN ROAD, NW**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	8/1/85	Liquid Waste	<i>[Signature]</i>	8/1/85
A.C.E.-Design	<i>[Signature]</i>	2/1/85	Traffic	<i>[Signature]</i>	8/1/85
A.C.E.-Hydrology	<i>[Signature]</i>	8/1/84	Water	<i>[Signature]</i>	8/1/84

DRAWING NO. **2142** MAP NO. **J-12** SHEET **7** OF **7**