

CONSTRUCTION PLANS FOR
THE CHAMPIONS AT TANOAN

BEING A PORTION OF TRACT E OF THE AMENDED
SUMMARY PLAT OF TANOAN PROPERTIES

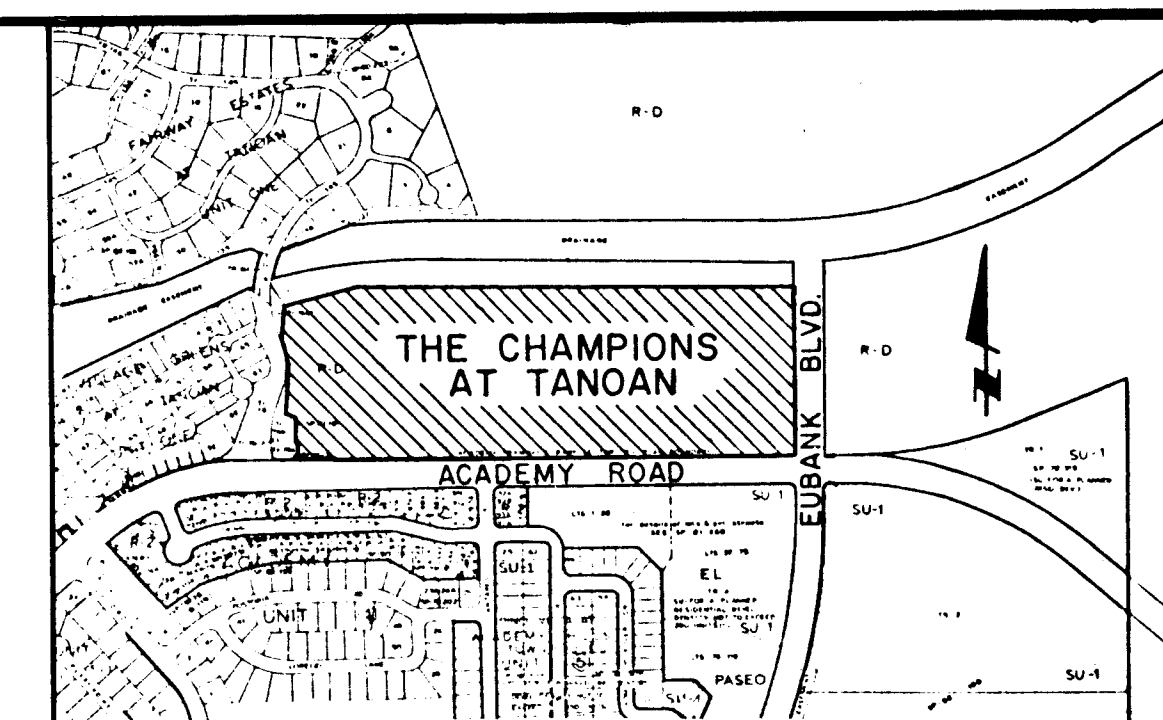
ALBUQUERQUE, NEW MEXICO

SEPTEMBER 1984

WATER/SANITARY SEWER STUBS-SIDEWALK CULVERTS
(Reference S.A.D. 205 - Project No. 1721)

INDEX TO DRAWINGS

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
1.....	COVER SHEET
2.....	SITE DEVELOPMENT PLAN/PRELIMINARY PLAT (Approved 9-4-84)
3.....	STA. 10+00-22+00 (Proj. #1721 Sheet 24/87)
4.....	STA. 22+00-33+00 (Proj. #1721 Sheet 25/87)



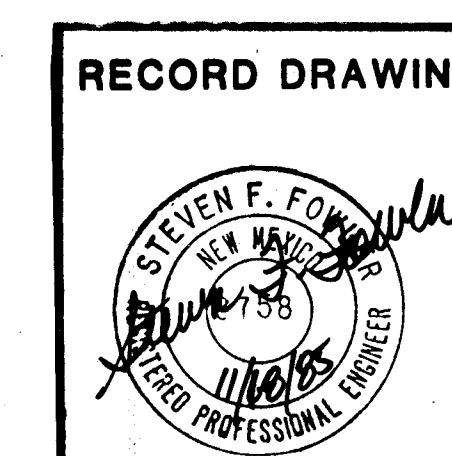
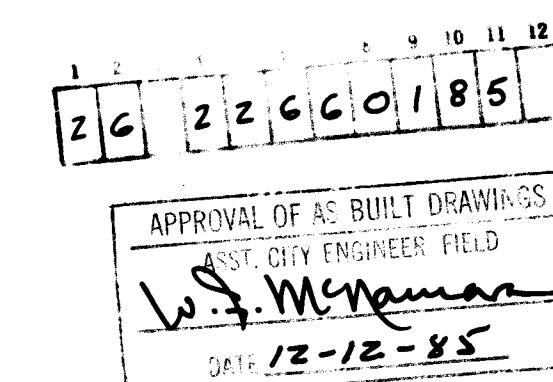
VICINITY MAP ZONE ATLAS E-21-Z

GENERAL NOTES

- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with the New Mexico Standard Specification for Public Works Construction - 1979 Edition (referred to herein as the Standard Specifications) and the contract documents for this project.
- Two (2) working days prior to any excavation, Contractor must contact line locating service 765-1234, for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer or Surveyor so that the conflict can be resolved with minimum amount of delay.
- All utilities and utility service lines shall be installed prior to paving.
- Backfill compaction shall be according to specified street use.
- Tack coat requirements shall be determined by the City Engineer.
- Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- If curb is depressed for a drivepad or a handicap ramp, the drivepad or ramp shall be constructed prior to acceptance of the curb and gutter.
- All storm drainage facilities shall be completed prior to final acceptance.
- Manholes shall be 4' inside diameter Type "C" or "E" except as noted.
- Electronic marker disks (EMD's) are to be installed per section 131. In addition to those shown on the plans. The following EMD's are required:
 - Sewer- At the property line for all service lines.
 - Water- Single service. Over the main line at the service tap.
 - Water- Double service. Over the main line halfway between the service taps.

GREINER Job No. 0690445

PREPARED FOR:
AMERIWEST CORPORATION
P.O. BOX 25625
ALBUQUERQUE, NEW MEXICO 87125



REV	SHEETS	CITY ENGR	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS									

	GREINER ENGINEERING 2601 WYOMING BLVD., NE ALBUQUERQUE, NM 87112 (505) 292-1936	APPROVED FOR CONSTRUCTION
	2266	SHEET 1 OF 4

AmeriWest

The Champions at Tanoan

PRELIMINARY PLAT/SITE DEVELOPMENT PLAN

FOR TRACT E, TANDAN PROPERTIES, AS SHOWN ON THE
"AMENDED SUMMARY PLAT OF TANDAN PROPERTIES,
ALBUQUERQUE, NEW MEXICO" (BEING FILED FOR ASSES-
MENT PURPOSES) FILED JUNE 28, 1982.
DRB-84-357
GROSS DENSITY= 5.1 DU./AC.

AGENT:
GREINER ENGINEERING SCIENCES, INC
2601 WYOMING NE.
ALBUQUERQUE, NEW MEXICO 87112
(CONTACT D. MOREHEAD, 292-1936)

APPLICANT:
AMERIWEST CORPORATION
PO BOX 25625
ALBUQUERQUE, NEW MEXICO 87125
(CONTACT C. MATTHEWS, 883-3580)

Sketch Plan/Site Development Plan review at the D.R.B. May 22, 1984. Case 40RB-84-357 (See comments attached).

CURRENT ZONING:
Its current zoning is, as dictated by the "Academy - Truway
Urban Sector Development Plan", RD with maximum density of
1400/Acre.

Applicant proposes 282 dwelling units: 91 detached, single family houses; and 191 attached townhouses. The gross density is 14.0 DU/AC. The applicant is 1 DU/AC therefor. According to the Preliminary Plat/Site Development Plan from Environmental Planning Commission review. This is below the 14 DU/AC density shown on the "Academy - Trisway - Emerald Sector Development Plan". The unit foot prints shown on the Preliminary Plat/Site Development Plan are reasonable facsimiles of the units proposed. Typical elevations & architectural renderings have been developed for review.

Conditions for lot development will be:

1. The minimum lot size for the detached house will be 3200 sq. ft.
2. The set back for the detached house will be, unless otherwise shown on the plan: 15' - front yards, except 20 to the garage door for a garage or carport; 15' - side yard; no side yard, except for 10' on the street side, except 10' and 10' spacing between residential buildings.
3. The minimum lot size for the attached townhouses will be 2200 sq. ft.

6. The setbacks for the attached townhouse will be, unless otherwise shown on the plan: 15' - front yards, except 20' to the garage door for a garage or carport; 15' rear yard or 6' side yard, except for 10' on the lot line between owner lots; and 10' spacing between residential buildings.

7. All attached townhouse units building height maximum will be 34'. Otherwise, building height maximum will be 26'.

8. All streets will be private with 15' easements dedicated on both sides of the street for public utilities and access.

There will be no "painted" signage used in this project other than traffic control and street names.

Street lighting will be provided. The illumination criteria used for the existing Tamaan community will be used.

The walls proposed will have the same appearance as those of the existing Yenan community. The plan will categorize the walls as follows: Perimeter wall (solid) - 6' white blue block, solid walls except for Academy Rd. landscaping view area, which will be 3' wrought iron fences (as shown on the Plan). This wall will front Academy & Huxham.

Garden Wall - 5' typical height white slump block, colored masonry block, or stuccoed masonry block. This wall will be on the common lot line, except on detached house units, where the wall will be located as shown with a perpetual easement dedicated to the adjacent lot.

Chapman will be a 36' street width (back of curb to back of curb) from Tanager Dr. to the Arnold Palmer Lane N.E. intersection at which point the street will transition to a 30' width. 4' sidewalks are shown on both sides located at the back of curb (consistent with the location of sidewalk in the existing Tanager Communities). The remainder of the streets will be 30' street widths with a 4' sidewalk on one side located at the back of curb. Gary Player Lane N.E. will have sidewalks on both sides.

The emergency access shown on the 5/22/84 sketch review has been relocated to the Nancy Lopez Lane S.E. cul-de-sac. This will be a 16' wide, concrete surface treatment with 6' wrought iron gate.

The dead end streets shown will not require extra curbs since the street lengths do not exceed 150'.

Refuge easements for "dead end" streams will be provided as shown. This will provide a common refuse collection for these areas. Refuse pickup is scheduled for routine, weekly service. The Homeowners' Association will be responsible for enforcement and maintenance of the easement area.

The parking requirement for the development is a minimum of 2 spaces per unit, which is provided in the garage/driveway. 54 additional off premises parking stalls are provided throughout the development.

WATER/SANITARY SEWER SERVICE:

Water and sanitary sewer service is readily available from existing facilities adjacent to the project. No "offsite" improvements are anticipated. Required infrastructure is being addressed with the Water Resources Department via the availability statement.

SOLAR ACCESS:

Those lots which front on the "North-South" streets, have

DRAINAGE AND EROSION CONTROL:

A complete Drainage Report has been submitted to the City Engineer, Hydrology Section for review/comment and approval. Provisions delineated by this report have been used in the final design. The drainage plan which is represented on the Preliminary Plat/Size Plan, Maintenance of 5' private drainage easement will be that of the individual lot owner.

CONSTRUCTION SCHEDULE:
Currently, AECOM/West Corporation plans to develop the project in three units. Each phase will contain approximately one-third of the total number of dwelling units. Beginning with the initial phase at the west side of the site (unit one), the delineation on the Preliminary Platified Development Plan, "The Dunes".

SOIL INVESTIGATION:
A soils investigation and report has been prepared by F.H. Fox & Assoc.

Onsite open space is being provided per SD zoning requirements. Offsite open space, Park Dedication and Park Development requirements have been previously satisfied per the following agreements:

1. Park Dedication Agreement - July 30, 1979
2. Asseand - December 19, 1968
3. Open Space Agreement - July 2, 1979
4. Grant of Easement (multiple areas) - June 25, 1968

LANDSCAPING: A separate landscaping Plan has been prepared for submittal. In this plan the streetscape has been proposed in accordance with the Street Tree Ordinance.

2 6 2 2 6 6 0 2 8 5

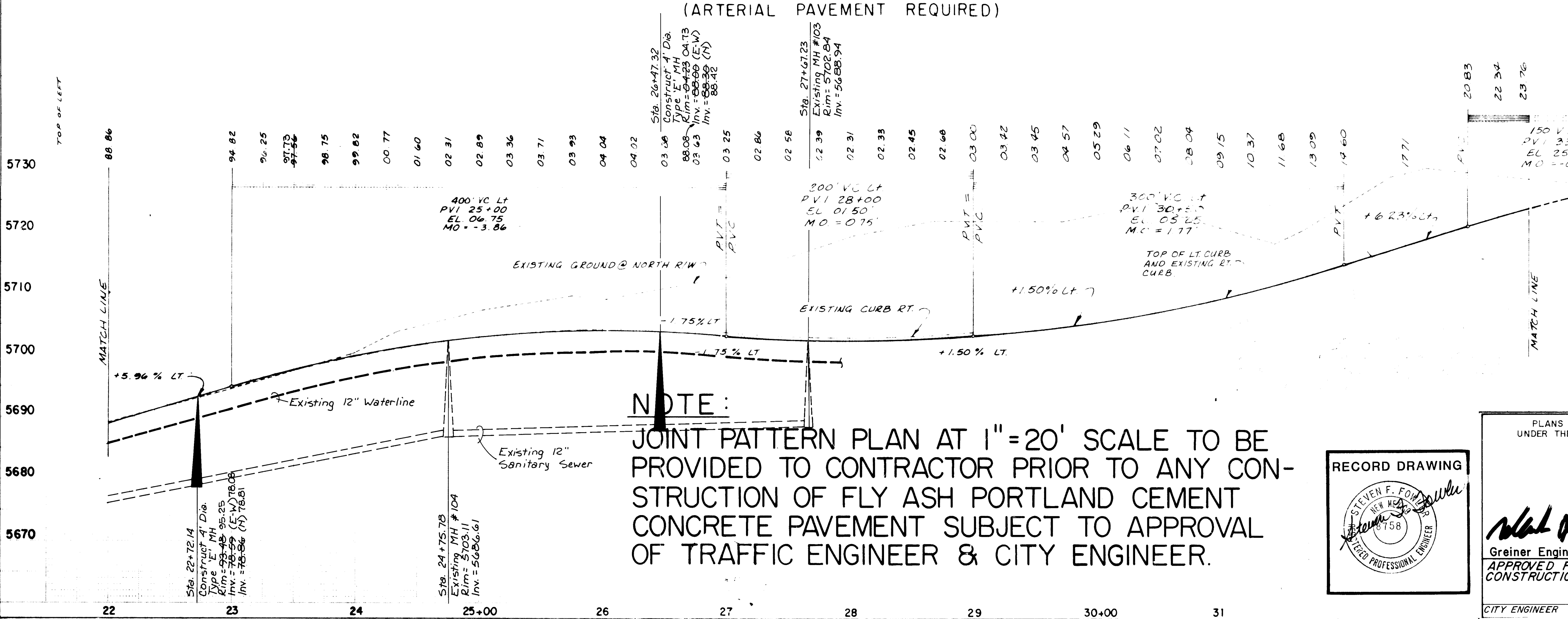
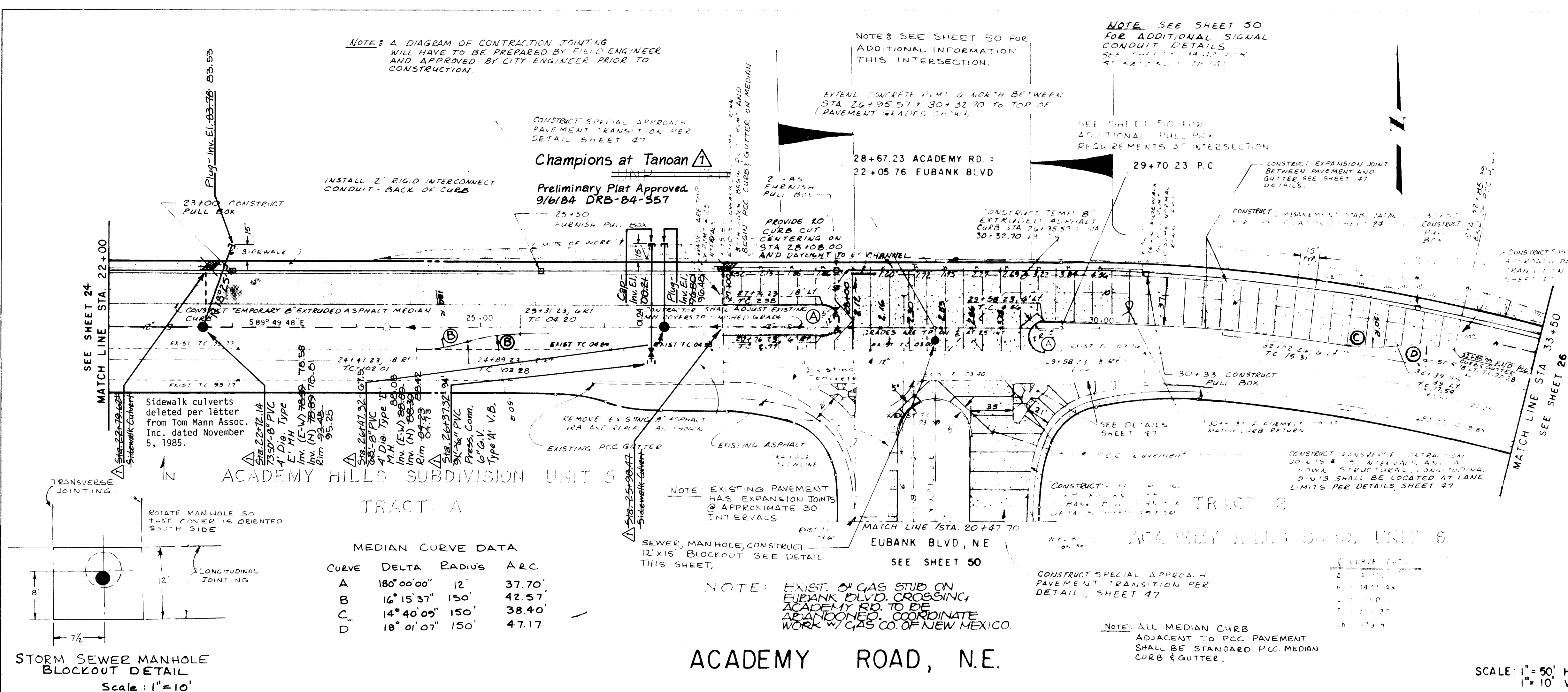
ACADEMY ROAD PAVING
Sta. 10+00 to Sta. 33+00
Water/San. Sewer Stubbs - Sidewalk Culverts

Daniel Zboron
 GRADUATE ENGINEERING
 OF TEXAS

DRAWING NO. 2266	MAP NO. 2	SHEET 2 OF 4	9/19/15 9/19/15
-------------------------	------------------	----------------------------	--------------------

PLAN	DATE	BY
SURVEYED		
NOTED		
NO		

PROFILE	DATE	BY
SURVEYED		
NOTED		
NO		



AS BUILT INFORMATION DATE: _____ BY: _____																									
BENCH MARKS ACROSS BRASS CAP "3-ERIA" LOCATION: APPROXIMATELY 650' NORTH ALONG THE PROPOSED EUBANK BLVD. ELEVATION: 5700.00 DATE: _____ BY: _____																									
FIELD NOTES DATE: _____ BY: _____																									
REFERENCES MAP NO. E 21 EST. NO. _____ W.O. NO. _____																									
REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>9/20/84</td> <td>DESIGN</td> </tr> <tr> <td>2</td> <td>9/20/84</td> <td>DESIGN</td> </tr> <tr> <td>3</td> <td>9/20/84</td> <td>DESIGN</td> </tr> </tbody> </table>		NO.	DATE	REMARKS	1	9/20/84	DESIGN	2	9/20/84	DESIGN	3	9/20/84	DESIGN												
NO.	DATE	REMARKS																							
1	9/20/84	DESIGN																							
2	9/20/84	DESIGN																							
3	9/20/84	DESIGN																							
NOTES: 1. The Changes Shown (Δ) Are Improvements Intended To Serve The Champions At Tanoan And Are Intended To Be Constructed During S.A.D. 205 (Proj. No. 1721). 2. The Contractor Shall Field Verify The Existing Sanitary Sewer Line And Waterline For Location And Elevation. 3. The Contractor Shall Provide Adequate Traffic Control On Academy Rd. During Construction Of Waterline And Sanitary Sewer Stub-outs.																									
PLANS PREPARED UNDER THE DIRECTION OF CITY ENGINEER: _____ DATE: _____																									
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION TITLE: ACADEMY ROAD PAVING STA. 22+00 - STA. 33+00 WATER/SAN. SEWER STUBS - SIDEWALK CULVERTS																									
<table border="1"> <thead> <tr> <th>APPROVALS</th> <th>ENGINEER</th> <th>DATE</th> <th>APPROVALS</th> <th>ENGINEER</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>City Engineer</td> <td>R. F. Fain</td> <td>9/20/84</td> <td>Liquid Waste</td> <td>R. F. Fain</td> <td>9/20/84</td> </tr> <tr> <td>A.C.E. - Design</td> <td>R. F. Fain</td> <td>9/20/84</td> <td>Traffic</td> <td>R. F. Fain</td> <td>9/20/84</td> </tr> <tr> <td>Hydrology</td> <td>R. F. Fain</td> <td>9/20/84</td> <td>Water</td> <td>R. F. Fain</td> <td>9/20/84</td> </tr> </tbody> </table>		APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE	City Engineer	R. F. Fain	9/20/84	Liquid Waste	R. F. Fain	9/20/84	A.C.E. - Design	R. F. Fain	9/20/84	Traffic	R. F. Fain	9/20/84	Hydrology	R. F. Fain	9/20/84	Water	R. F. Fain	9/20/84
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE																				
City Engineer	R. F. Fain	9/20/84	Liquid Waste	R. F. Fain	9/20/84																				
A.C.E. - Design	R. F. Fain	9/20/84	Traffic	R. F. Fain	9/20/84																				
Hydrology	R. F. Fain	9/20/84	Water	R. F. Fain	9/20/84																				
DRAWING NO. 2266																									
SHEET 4 OF 4																									

