

PEPPERTREE SUBDIVISION

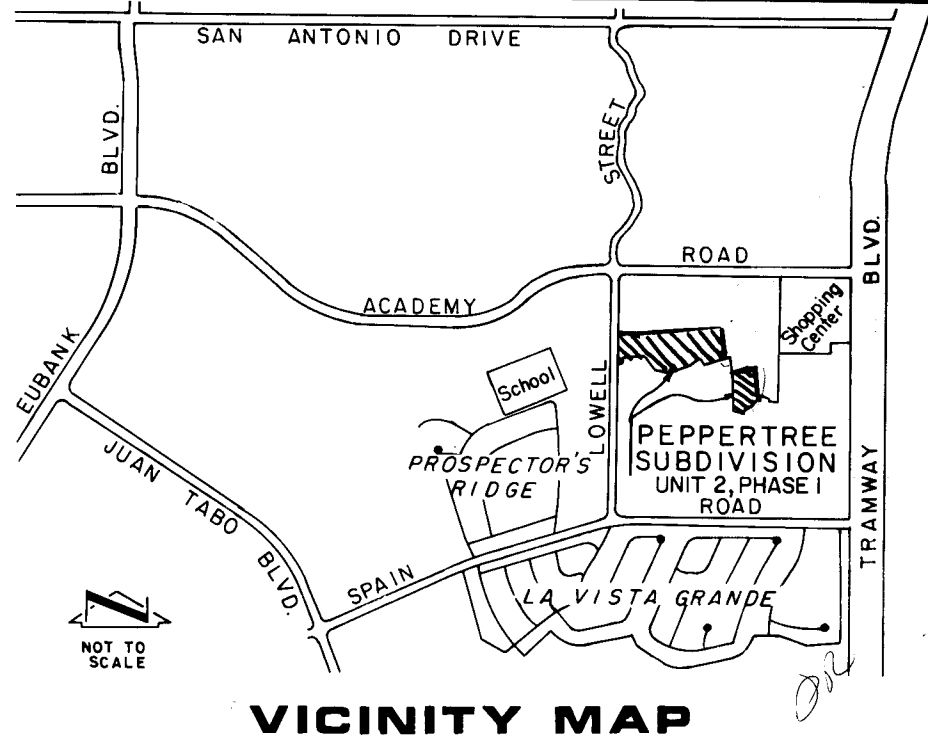
UNIT 2

PHASE 1

ALBUQUERQUE, NEW MEXICO

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	TITLE, INDEX TO DRAWINGS AND GENERAL NOTES
2-3	PLAT OF GEOMETRY
4-5	GRADING PLAN
6-7	EROSION CONTROL
8	PAVING COMPOSITE
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12	UTILITY COMPOSITE
13-15	UTILITY PLAN AND PROFILE
16	STORM DRAIN PLAN AND PROFILE



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1979 EDITION (REFERRED TO HEREIN AS THE STANDARD SPECIFICATIONS) AND THE CONTRACT DOCUMENTS FOR PUBLIC WORKS CONTRACT NO. 85-1
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

"AS-BUILT" (HORIZONTAL AND VERTICAL LOCATION ONLY)

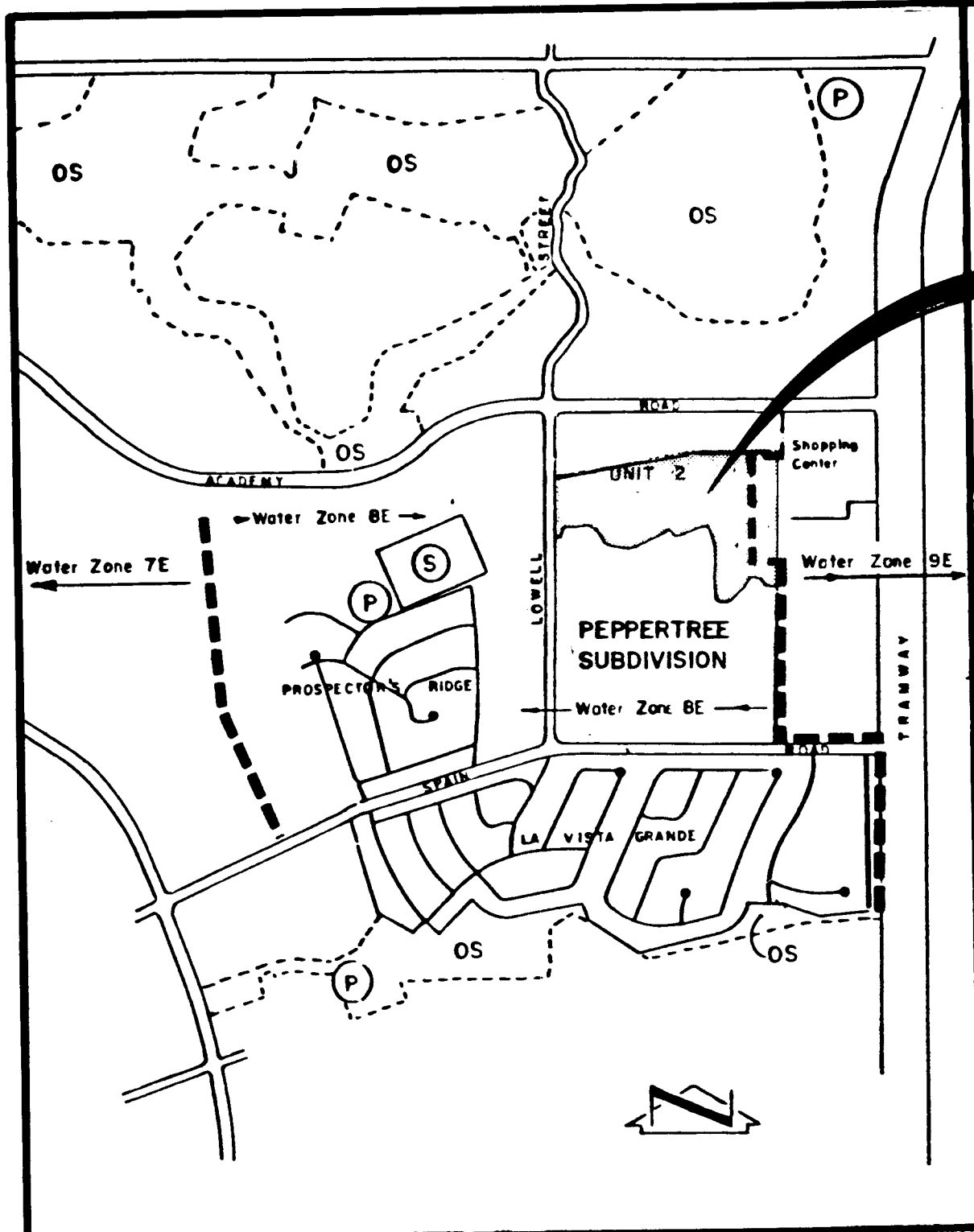
26 23250186

APPROVAL OF AS BUILT DRAWINGS
CONSTRUCTION ENGINEER
DATE 8-18-86

SETHEN E. WALLICH
7/21/86

REV.	SHEETS	CITY	ENGR.	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS										
								APPROVED FOR CONSTRUCTION <i>Happy L. Ochoa</i> A.C.E.-D.		
DRAWING NO.		2325		MAP NO.		E-22		SHEET 1 OF 16		

87-82-2



LOCATION MAP

SUBDIVISION DATA	
PLAT NO.	
ZONE ATLAS INDEX NUMBER	E-22
GROSS SUBDIVISION ACREAGE	43.37 ±
TOTAL NUMBER OF LOTS CREATED	44
MILEAGE OF STREET CREATED	0.3982

Note: All bearings shown on this plat are based on the filed plat of Peppertree Subdivision recorded in the office of the County Clerk of Bernalillo County, New Mexico on April 22, 1981 (C18-55). The bearings of the above referenced plat are based on the New Mexico State Plane Coordinate System Central Zone. All distances are local ground distances.

PEPPERTREE SUBDIVISION
UNIT 2 PHASE 1

Description:

A tract of land located within the City Limits of Albuquerque, Bernalillo County, New Mexico, and within projected Section 27, Township 11 North, Range 4 East, N.M.P.M. and being all of TRACT B-1-B of PEPPERTREE SUBDIVISION filed in the office of the County Clerk of Bernalillo County, New Mexico on February 16, 1983 (C-20-172), now comprising PEPPERTREE SUBDIVISION UNIT TWO and being more particularly described as follows:

BEGINNING at a point at the southwest corner of said Tract B-1-B, said point also being the northwest corner of Lot 1 of Block 8 of Peppertree Subdivision Unit One; from whence the City of Albuquerque Survey Monument "0-222", having New Mexico State Plane Central Zone coordinates of X = 424,296.00 feet and Y = 1,510,423.24 feet, bears S 50° 02' 35" W, a distance of 1148.07 feet;

THENCE from said point of beginning N 0° 02' 19" W, along the easterly right-of-way of Lovell Street NW a distance of 488.21 feet to the northwest corner of said Tract B-1-B;

THENCE N 69° 05' 21" E a distance of 150.39 feet;

THENCE along the arc of a curve to the right a distance of 191.09 feet, said curve having radius = 470.00 feet, chord = 189.78 feet, Δ = 23° 17' 42", chord Brg = N 78° 44' 13" E;

THENCE S 89° 36' 56" E, a distance of 492.08 feet to the northeast corner of said Tract B-1-B;

THENCE S 0° 05' 44" W, a distance of 1634.09 feet, to the southeast corner of said Tract B-1-B and a point on the easterly corner of Lot 11 of Block 2 of Peppertree Unit One;

THENCE N 69° 05' 21" E, a distance of 184.10 feet;

THENCE along the arc of a curve to the left a distance of 22.88 feet, said curve having radius = 385.99 feet, chord = 22.88 feet, Δ = 39° 23' 49", chord Brg = N 180° 19' 23" E;

THENCE S 33° 09' 27" W, a distance of 134.28 feet;

THENCE S 57° 02' 02" W, a distance of 67.84 feet;

THENCE N 89° 39' 41" W, a distance of 150.01 feet;

THENCE N 00° 11' 02" E, a distance of 210.00 feet;

THENCE S 89° 48' 58" E, a distance of 3.00 feet;

THENCE N 00° 11' 02" E, a distance of 190.27 feet;

THENCE N 130° 21' 14" W, a distance of 132.86 feet;

THENCE N 210° 07' 28" W, a distance of 50.00 feet;

THENCE N 170° 36' 19" W, a distance of 85.06 feet;

THENCE S 70° 11' 02" W, a distance of 150.00 feet;

THENCE S 190° 48' 51" W, a distance of 163.39 feet;

THENCE S 70° 11' 02" W, a distance of 163.39 feet;

THENCE S 40° 39' 15" W, a distance of 67.10 feet;

THENCE S 68° 52' 32" W, a distance of 110.00 feet;

THENCE S 78° 41' 32" W, a distance of 33.27 feet;

THENCE N 61° 12' 56" W, a distance of 161.02 feet;

THENCE N 42° 40' 40" W, a distance of 87.09 feet;

THENCE N 31° 00' 42" W, a distance of 74.52 feet;

THENCE S 89° 57' 41" W, a distance of 246.97 feet to the point of beginning. Containing 43.37 Acres more or less.

Note:

City of Albuquerque Water & Sanitary Service to these properties must be verified and coordinated with the City of Albuquerque Water Resources Department prior to construction.

85 77189
PEPPERTREE
SUBDIVISION-
UNIT 2 PHASE 1

AN ADDITION TO THE CITY OF ALBUQUERQUE SITUATE WITHIN THE ELENA GALLEGOS GRANT, COMPRISING A PORTION OF SECTION 27, TOWNSHIP 11 NORTH, RANGE 4 E, NMPM BERNALILLO COUNTY, NEW MEXICO JULY, 1985

APPROVALS:

<i>Clifford E. Anderson</i> Chief City Surveyor	8/20/85
<i>Thomas W. Kennedy</i> Traffic Engineer, City of Albuquerque, N.M.	9/10/85
<i>Richard J. Green</i> Planning Director, City of Albuquerque, N.M.	9/17/85
<i>Paul J. Cignini</i> City Engineer, City of Albuquerque, N.M.	9-16-85
<i>Leona Blumelt</i> Property Manager, City of Albuquerque, N.M.	9-16-85
<i>John E. Estep</i> Public Resources, City of Albuquerque, N.M.	9-10-85
<i>David J. Spicers</i> Public and Recreation, City of Albuquerque, N.M.	9-10-85
<i>Paul J. Cignini</i> AMATCA	9-16-85
<i>Wayne H. Henning</i> Mountain Hill	7-22-85
<i>Paula McElree</i> Gas Company of New Mexico	7-22-85
<i>St. Raphael</i> Public Service Company of New Mexico	7-22-85

S-84-21-1

CERTIFICATION

I, Clifford E. Anderson, under the Laws of New Mexico, certify that I am a Registered Land Surveyor and that this plat was prepared by me, or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

SCANLON AND ASSOCIATES, INC.
July 6, 1985
CLIFFORD E. ANDERSON, L.S. NO. 6472

STATE OF NEW MEXICO } ss.
COUNTY OF BERNALILLO }

The foregoing instrument was acknowledged before me on this 5th day of July, 1985 by Clifford E. Anderson, Vice President of Scanlon & Associates, on behalf of said corporation.

My commission expires: 11-21-97
Jackie C. Limburg
Notary Public

11-21-97
1 of 3

SCANLON & ASSOCIATES
C-28-68

87-82-2

PEPPERTREE SUBDIVISION
TRACT B-1-A
FILED FEB. 16, 1983
VOLUME C-20 FOLIO 173 (1-3)

Note: All exterior boundary corners were set with 1/2" rebar and cap as shown on recorded Peppertree Subdivision Plat (C20-172-2) filed on February 11, 1983 with the County Clerk of Bernalillo County, New Mexico. The bearings of the above referenced plat are based on the New Mexico State Plane Coordinate System Central Zone. All distances are local ground distances.

LOWELL STREET

Down 16-2325

SHEET 2 OF 16

LEGEND

(8) INDICATES BLOCK NUMBERS
SUBDIVISION BOUNDARY

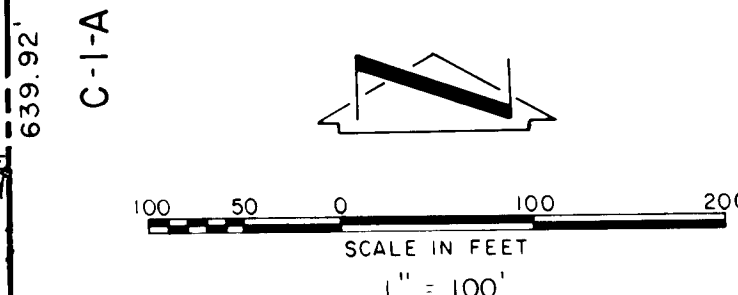
REPLAT OF PEPPERTREE SUBDIVISION
FILED MARCH 29, 1984
VOLUME C23 FOLIO 138

PEPPERTREE SUBDIVISION
UNIT ONE
FILED JAN. 19, 1983
VOLUME C-20 FOLIO 147 (1-4)

TRACT B-1-B-2
16.927 Acres

85 77189
PEPPERTREE
SUBDIVISION-
UNIT 2 PHASE 1

AN ADDITION TO THE CITY OF ALBUQUERQUE SITUATE WITHIN THE ELENA GALLEGOS GRANT, COMPRISING A PORTION OF SECTION 27, TOWNSHIP 11 NORTH, RANGE 4 E, NMPM BERNALILLO COUNTY, NEW MEXICO JULY, 1985



I, Clifford E. Anderson do hereby certify that I am a registered Land Surveyor under the laws of the State of New Mexico, and that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and correct to the best of my knowledge and belief.

Clifford E. Anderson
N.M.L.S. No. 6472
Scanlon & Associates, Inc.
Albuquerque, New Mexico

STATE OF NEW MEXICO } ss.
COUNTY OF BERNALILLO }

The foregoing instrument was acknowledged before me on this 5th day of July, 1985 by Clifford E. Anderson, Vice President of Scanlon & Associates, Inc., on behalf of said corporation.

My commission expires: 11-21-97
Jackie C. Limburg
Notary Public

ROYAL

11-21-97

2 of 3
SCANLON & ASSOCIATES
C-28-68

89-82-2

CURVE DATA						
NR.	RADIUS	ARC	CHORD	DELTA	TANGENT	CHORD BRG.
C1	385.39'	22.88'	22.88'	3°23'43"	11.45'	N18°13'23"E
C2	25.00'	39.27'	35.36'	90°00'00"	25.00'	S45°00'13"E
C3	435.75'	48.00'	47.88'	6°18'41"	24.02'	N86°48'20"E
C4	435.75'	62.00'	61.96'	1°10'35"	42.54'	N70°03'42"E
C5	435.75'	62.86'	62.86'	3°35'53"	15.69'	N78°40'28"E
C6	175.00'	8.85'	8.86'	2°52'58"	4.45'	N85°25'18"E
C7	25.00'	39.27'	35.36'	90°00'00"	25.00'	S45°00'13"E
C8	25.00'	39.27'	35.36'	90°00'00"	25.00'	S45°00'13"E
C9	25.00'	39.27'	35.36'	90°00'00"	25.00'	S45°00'13"E
C10	25.00'	39.27'	35.36'	90°00'00"	25.00'	S45°00'13"E
C11	68.00'	35.00'	24.82'	23°52'54"	15.58'	N77°03'29"E
C12	68.00'	35.00'	35.17'	34°05'02"	18.39'	S73°57'48"E
C13	DELETED					
C14	68.00'	80.39'	74.51'	78°46'01"	47.53'	S18°32'17"E
C15	904.52'	255.76'	256.81'	13°41'03"	128.74'	S 8°11'46"W
C16	25.00'	8.62'	8.62'	13°45'00"	4.35'	S 9°58'14"W
C17	25.00'	39.27'	35.36'	90°00'00"	25.00'	S44°54'18"E
C18	25.00'	37.36'	37.42'	0°00'00"	25.72'	S45°05'48"W
C19	929.52'	78.00'	69.98'	4°18'58"	38.42'	S 5°15'28"W
C20	929.52'	98.40'	89.96'	5°52'51"	45.84'	S14°11'13"W
C21	929.52'	24.12'	54.11'	3°20'08"	26.87'	S14°37'43"W
C22	418.39'	24.51'	24.58'	3°24'59"	12.26'	S14°18'47"W
C23	258.44'	59.82'	28.32'	6°23'03"	14.98'	N82°15'32"E
C24	895.64'	68.66'	68.48'	14°38'41"	34.52'	N82°15'32"E
C25	875.52'	70.00'	68.38'	4°53'36"	35.82'	S 2°25'28"W
C26	875.52'	80.00'	89.98'	5°51'47"	45.84'	S 2°35'14"W
C27	829.52'	68.66'	68.66'	14°38'41"	34.52'	N82°15'32"E
C28	101.00'	48.00'	39.74'	22°41'29"	26.27'	N78°58'17"E
C29	101.00'	68.00'	59.12'	34°02'11"	38.31'	N58°29'28"E
C30	101.00'	19.15'	19.12'	10°51'55"	9.61'	N28°01'22"E
C31	25.00'	21.34'	26.78'	48°55'04"	11.37'	N47°02'56"E
C32	45.00'	56.83'	55.13'	72°21'36"	32.81'	N 4°47'07"E
C33	45.00'	56.83'	55.13'	72°21'36"	32.81'	N 4°47'07"E
C34	45.00'	25.33'	25.37'	33°00'54"	13.34'	N58°51'08"W
C35	45.00'	23.83'	23.55'	38°28'33"	12.28'	N82°34'52"W
C36	45.00'	48.41'	48.96'	62°45'30"	27.53'	S08°47'37"W
C37	45.00'	35.87'	34.82'	45°40'01"	18.85'	S 3°28'38"E
C38	25.00'	21.34'	26.78'	48°55'04"	11.37'	S 1°03'07"E
C39	38.00'	69.60'	65.84'	67°35'37"	38.49'	S58°23'13"W
C40	25.00'	39.27'	35.36'	90°00'00"	25.00'	N44°52'41"E
C41	485.75'	64.00'	64.81'	7°49'43"	32.53'	N85°07'58"E
C42	485.75'	70.00'	69.94'	8°15'24"	35.86'	N78°10'16"E
C43	25.00'	37.36'	37.42'	0°00'00"	25.72'	S45°05'48"W
C44	121.00'	48.00'	39.82'	18°56'27"	28.18'	S30°35'41"E
C45	121.00'	65.00'	64.22'	30°46'43"	33.38'	S55°27'18"E
C46	121.00'	65.00'	64.22'	30°46'43"	33.38'	S86°14'08"E
C47	121.00'	26.07'	26.04'	9°38'05"	18.86'	N73°37'35"E
C48	25.00'	21.34'	26.78'	48°55'04"	11.37'	S85°39'58"E
C49	45.00'	35.30'	34.36'	45°42'33"	18.87'	S85°03'41"E
C50	45.00'	48.54'	47.88'	63°04'55"	27.62'	N48°03'55"E
C51	45.00'	48.77'	47.27'	63°21'52"	27.77'	N27°40'49"W
C52	45.00'	52.50'	49.57'	66°58'33"	28.78'	N87°47'01"W
C53	45.00'	30.50'	29.92'	38°58'13"	15.86'	S38°22'33"W
C54	25.00'	21.34'	26.78'	48°55'04"	11.37'	S44°25'08"W
C55	79.00'	124.03'	111.72'	90°00'00"	79.00'	N65°07'28"W
C56	25.00'	39.27'	35.36'	90°00'00"	25.00'	N23°52'32"E
C57	25.00'	39.64'	35.76'	91°18'38"	25.88'	S62°28'13"E
C58	25.00'	39.27'	35.36'	90°00'00"	25.00'	N25°11'02"E
C59	175.00'	8.85'	8.86'	2°52'58"	4.45'	N85°25'18"E
C60	25.00'	21.34'	26.78'	48°55'04"	11.37'	S48°06'11"E
C61	45.00'	56.83'	55.13'	72°21'36"	32.81'	N 8°51'30"E
C62	45.00'	56.83'	55.13'	72°21'36"	32.81'	N 8°51'30"E
C63	45.00'	48.18'	47.11'	38°48'26"	24.97'	N58°38'25"W
C64	45.00'	48.18'	47.11'	38°48'26"	24.97'	S64°58'58"W
C65	138.00'	21.34'	26.78'	48°55'04"	11.37'	N62°41'51"E
C66	138.00'	34.12'	34.54'	15°55'45"	17.24'	S78°18'55"E
C67	25.00'	39.27'	35.36'	90°00'00"	25.00'	N54°48'58"W
C68	25.00'	38.70'	34.82'	88°41'30"	24.44'	N5°31'07"E
C69	175.00'	8.85'	8.86'	2°52'58"	4.45'	N85°25'18"E
C70	25.00'	39.27'	35.36'	90°00'00"	25.00'	S45°00'13"E
C71	25.00'	39.27'	35.36'	90°00'00"	25.00'	S45°00'13"E
C72	318.84'	28.00'	65.86'	12°35'13"	12.14'	S68°12'21"W
C73	318.84'	28.00'	65.86'	12°35'13"	12.14'	S68°12'21"W
C74	318.84'	28.00'	65.86'	12°35'13"	12.14'	S68°12'21"W
C75	318.84'	28.00'	65.86'	12°35'13"	12.14'	S68°12'21"W
C76	182.00'	157.00'	141.42'	90°00'00"	182.00'	S66°07'28"E
C77	28.50'	22.76'	188.18'	85°11'27"	28.50'	N63°31'00"E
C78	88.80'	31.39'	109.00'	21°01'41"	21.39'	N68°14'22"E
C79	239.94'	184.30'	109.00'	21°01'41"	21.39'	N68°14'22"E
C80	125.00'	18.68'	15.53'	15°53'45"	7.76'	N22°44'56"E

NOTES:

- All side lot lines are perpendicular or radial to street right-of-way unless otherwise noted.
- All utility easements along the frontage of all lots are 10.00 feet unless otherwise noted.
- Centerline (IN LIEU OF R/W) Monumentation to be installed at all centerline PC'S, PT'S, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do not Disturb", "L.S. #3317".
- Front yard setback shall not be less than 20 feet.
- Back yard setback shall not be less than 15 feet.
- Side yard setback - solar access
 - Lots fronting on streets oriented within 30 degrees of due North - South will have a 15 foot setback if the adjacent sideyard setback is 5 feet or less, or 10 feet setback if the adjacent sideyard setback is more than 5 feet.
 - Lots fronting on streets oriented more than 30 degrees of due North - South will have one sideyard setback not less than 10 feet and the other sideyard setback not less than 5 feet.
 - Corner lots will have a sideyard setback not less than 10 feet on the street side.

FREE CONSENT AND DEDICATION

The subdivision of land hereon described is with the free consent and in accordance with the desires of the undersigned owner and proprietor thereof, and said owner and proprietor does hereby dedicate the public right-of-ways shown hereon, together with all easements shown on this plat. utility easements are reserved where shown by dashed lines, including the right of ingress and egress and the right to trim interfering trees.

PEPPERTREE DEVELOPMENT PARTNERS, a Joint Venture.
INMAN ENTERPRISES INC., Managing Venture Partner

By: _____
Christopher C. Inman
President

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

The foregoing instrument was acknowledged before me on this _____ day of _____, 1984 by Christopher C. Inman, President of Inman Enterprises, Inc., on behalf of said corporation and on behalf of Peppertree Development Partners.

Notary Public

My Commission Expires: _____

85 77489

PEPPERTREE
SUBDIVISION -
UNIT 2 PHASE 1

AN ADDITION TO THE CITY OF ALBUQUERQUE
SITUATE WITHIN THE ELENA GALLEGOS
GRANT, COMPROMISING A PORTION OF
SECTION 27, TOWNSHIP 11 NORTH,
RANGE 4 E, NMPM
BERNALILLO COUNTY, NEW MEXICO
JULY, 1985

N:10 A

C-28
68

I, Clifford E. Anderson do hereby certify that I am a registered Land Surveyor under the laws of the State of New Mexico, and that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and correct to the best of my knowledge and belief.

July 8, 1985 *Clifford E. Anderson*
Clifford E. Anderson
N.M.L.S. No. 6472
Scanlon & Associates, Inc.
Albuquerque, New Mexico

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

The foregoing instrument was acknowledged before me on this 24 day of July, 1985 by Clifford E. Anderson, Vice President of Scanlon & Associates, Inc., on behalf of said corporation.

My commission expires: November 21, 1987

Mark C. Scanlon
Notary Public

11-21-87

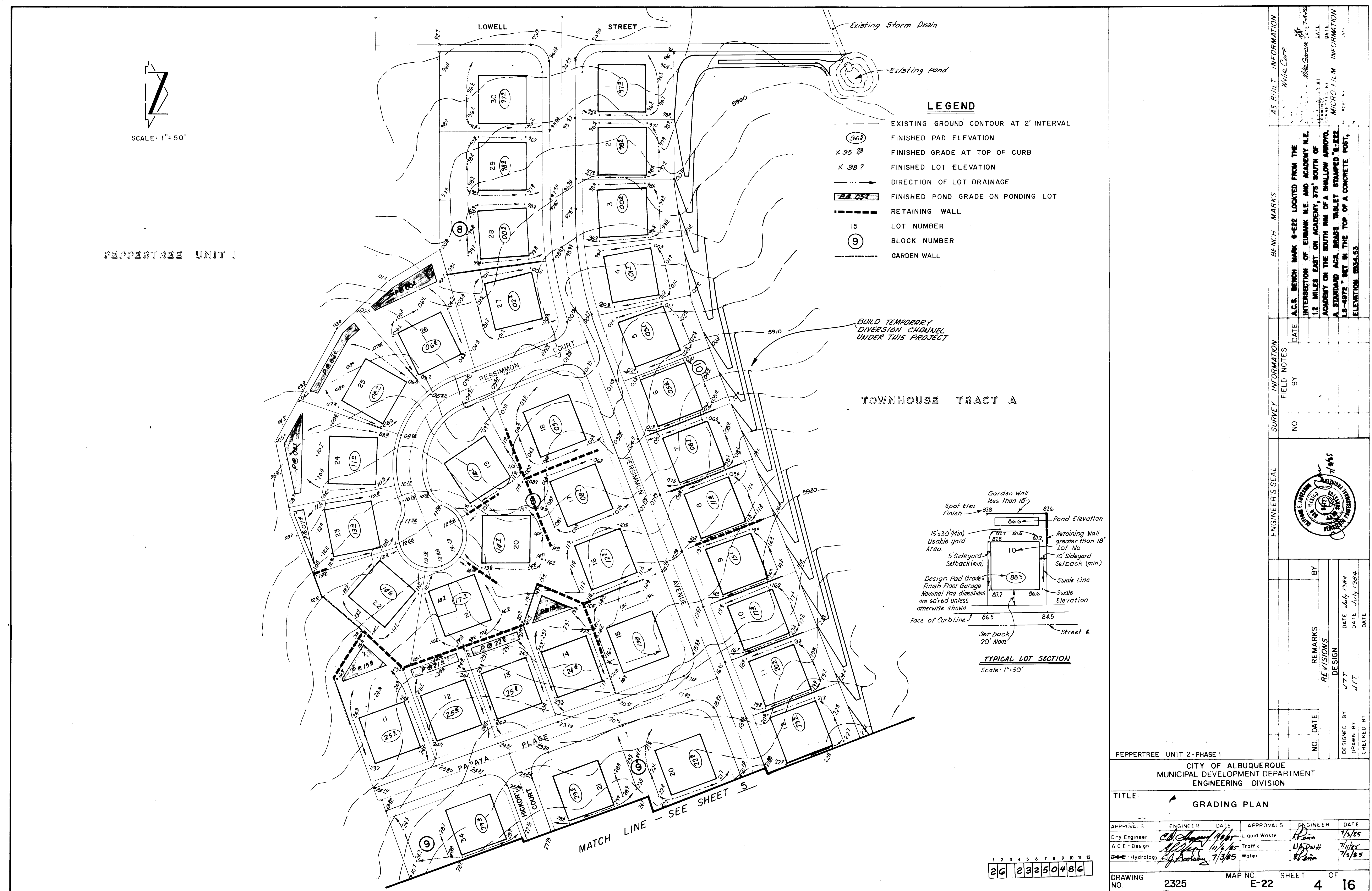
3 of 3

C-28-68

26 23250386

Dwg. No. 2325

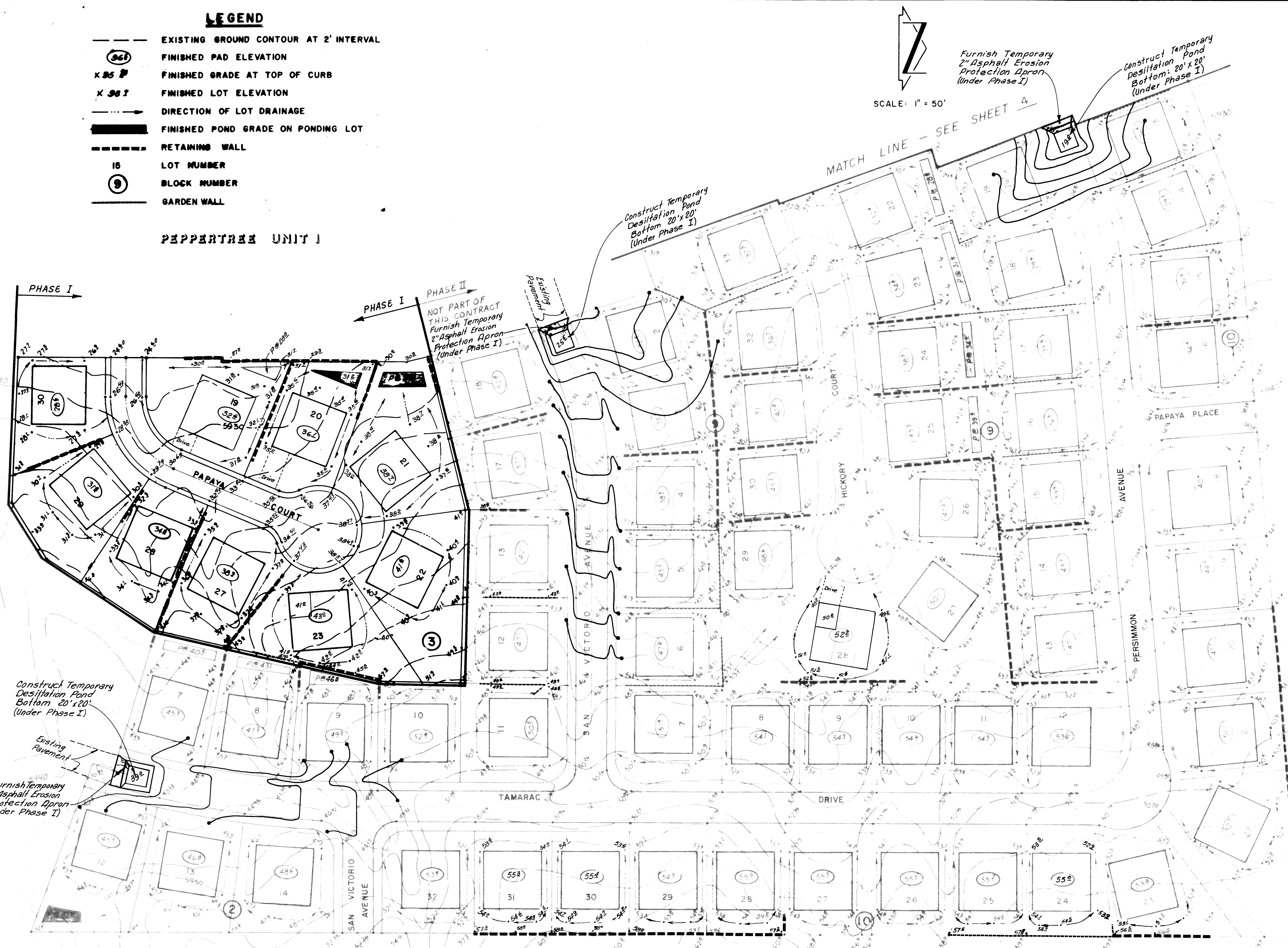
SHEET 3 OF 16



LEGEND

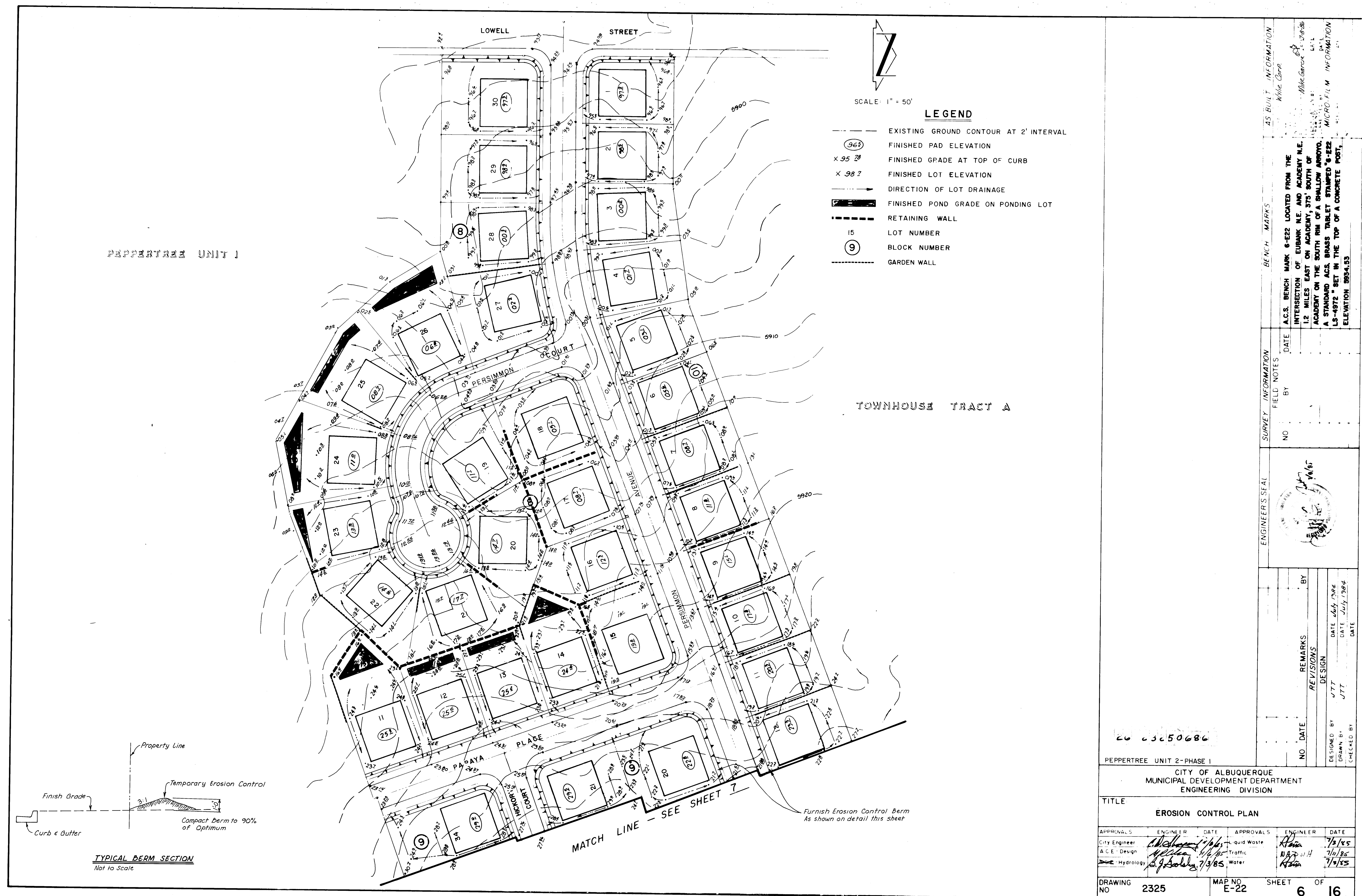
- EXISTING GROUND CONTOUR AT 2' INTERVAL
- FINISHED PAD ELEVATION
- FINISHED GRADE AT TOP OF CURB
- FINISHED LOT ELEVATION
- DIRECTION OF LOT DRAINAGE
- FINISHED POND GRADE ON PONDING LOT
- RETAINING WALL
- LOT NUMBER
- BLOCK NUMBER
- GARDEN WALL

PEPPERTREE UNIT 1



LASON 1-505-344-9404
BEST COPY AVAILABLE

AS BUILT INFORMATION		BENCH MARKS		NOTES	
DATE: 10/1/84		A.C.S. BENCH MARK 6-422 LOCATED FROM THE INTERSECTION OF EUNANK AVE AND ACADEMY N.E. 1.2 MILES EAST ON ACADEMY, 375' SOUTH OF ACADEMY ON THE SOUTH RM OF A SHALLOW ARROYO. A STANDARD A.C.S. BRASS TABLET STAMPED '6-422' IS SET IN THE TOP OF A CONCRETE POST. ELEVATION 5554.53		DATE: 10/1/84	
ENGINEER'S SEAL		REMARKS		DESIGNED BY: K.Z.	
BY: [Signature]		DATE: 10/1/84		CHECKED BY: [Signature]	
NO. DATE		REVISIONS		DESIGNED BY: K.Z.	
26 23 25 25 8 6		DESIGN		DATE: 10/1/84	
PEPPERTREE UNIT 2-PHASE I					
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION					
TITLE: GRADING PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	[Signature]	10/1/84	Liquid Waste	[Signature]	7/1/85
A.C.E. Design	[Signature]	11/84	Traffic	[Signature]	7/1/85
Hydrology	[Signature]	7/85	Water	[Signature]	7/1/85
DRAWING NO. 2325	MAP NO. E-22	SHEET 5	OF 16		

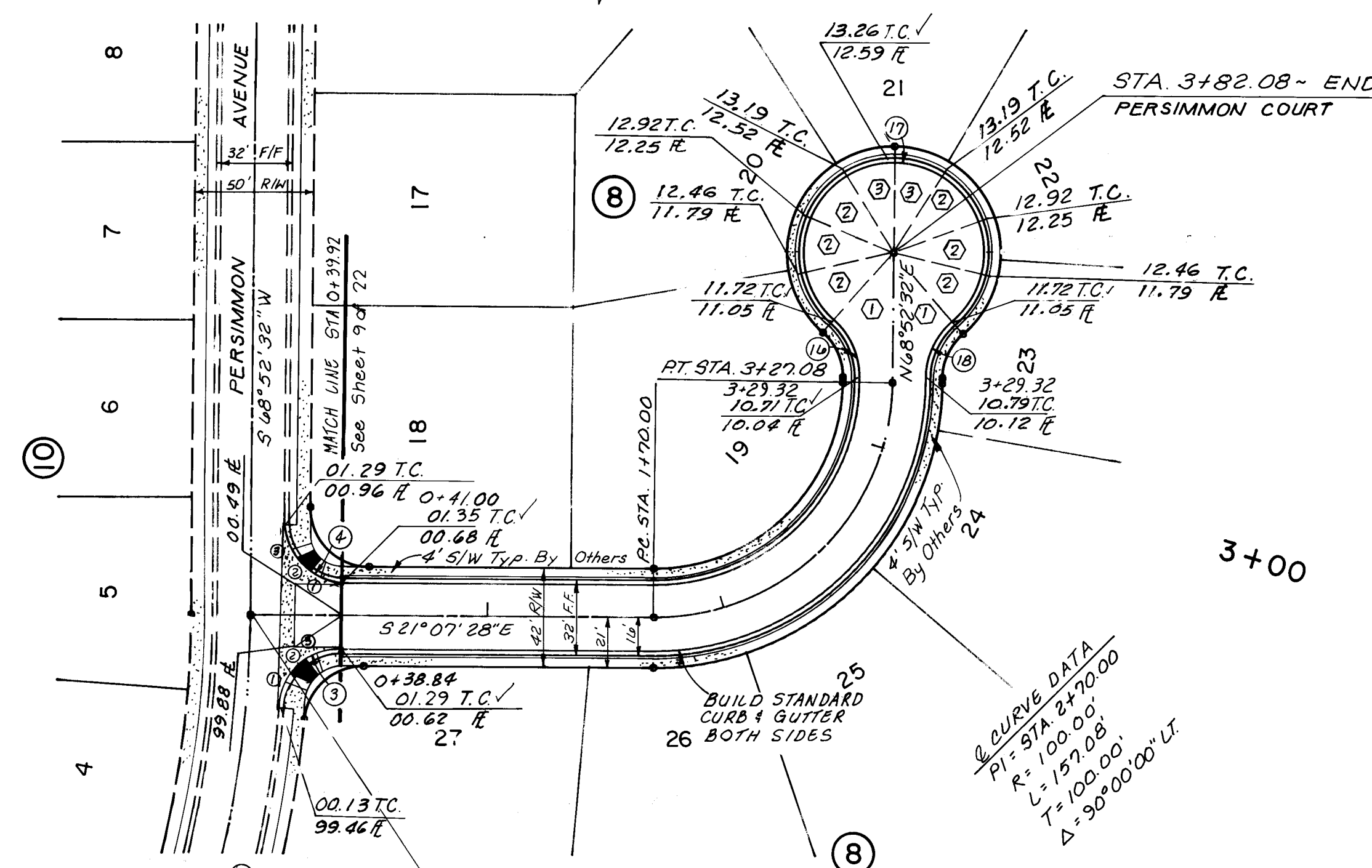




CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION					
TITLE: PAVING COMPOSITE					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	11/6/85	Liquid Waste	<i>[Signature]</i>	11/5/85
A/C E - Design	<i>[Signature]</i>	11/6/85	Traffic	<i>[Signature]</i>	11/11/85
Hydrology	N.A. 344	7/3/85	Water	<i>[Signature]</i>	11/9/85
DRAWING NO. 2325		MAP NO. E-22		SHEET 6 OF 16	

CURVE ④

1/4 POINT GRADES	
1	T.C. 01.42 F.L. 00.75
2	T.C. 01.32 F.L. 00.82
3	T.C. 01.22 F.L. 00.89



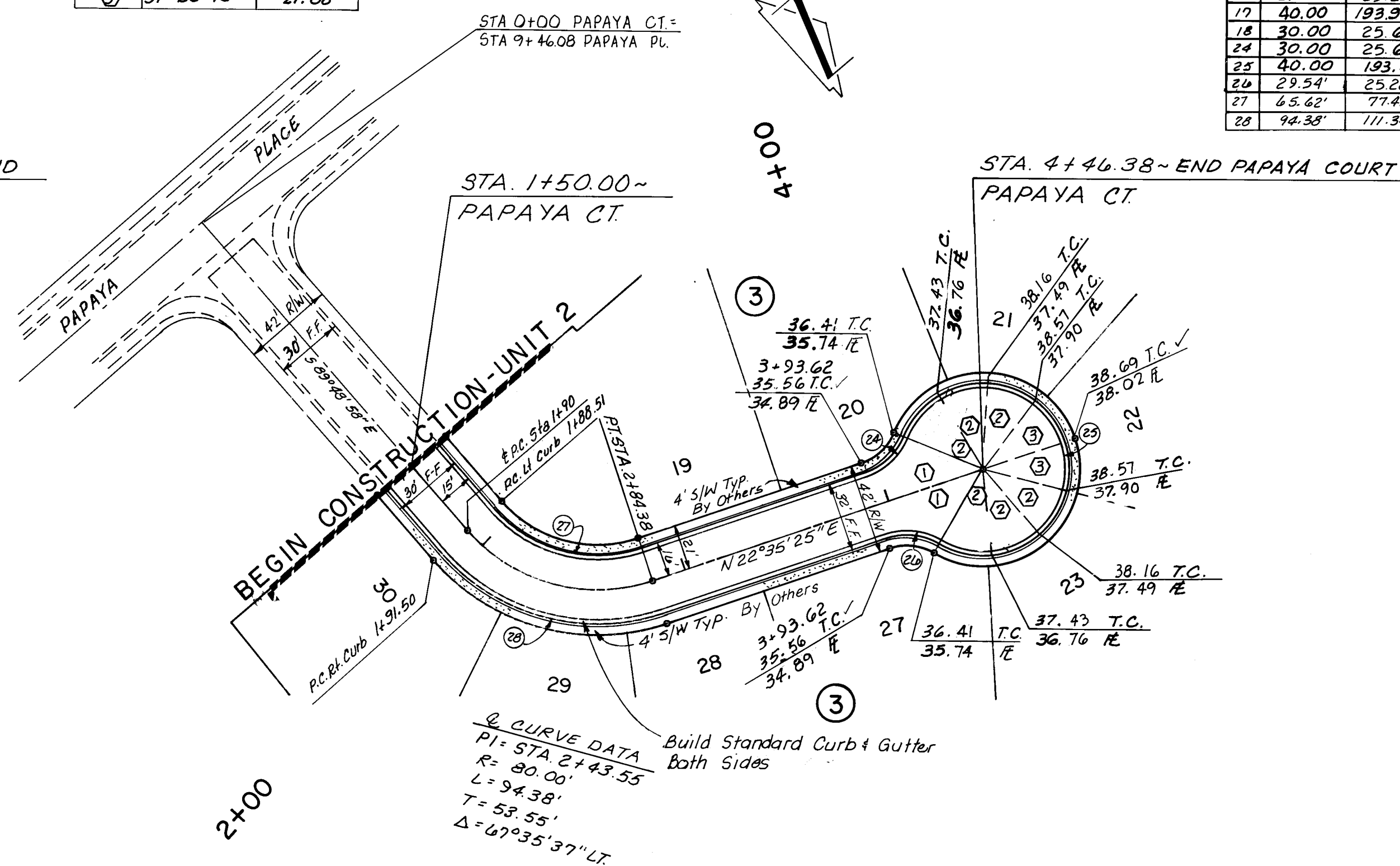
CURVE ③

1/4 POINT GRADES		
1	T.C. 00.42	F.L. 99.75
2	T.C. 00.71	F.L. 00.04
3	T.C. 01.00	F.L. 00.33

STA. 0+00 - PERSIMMON COURT =
STA. 4+09.36 - PERSIMMON AVENUE
SEE SHT. 9 OF 22
PERSIMMON COURT

PERSIMMON COURT

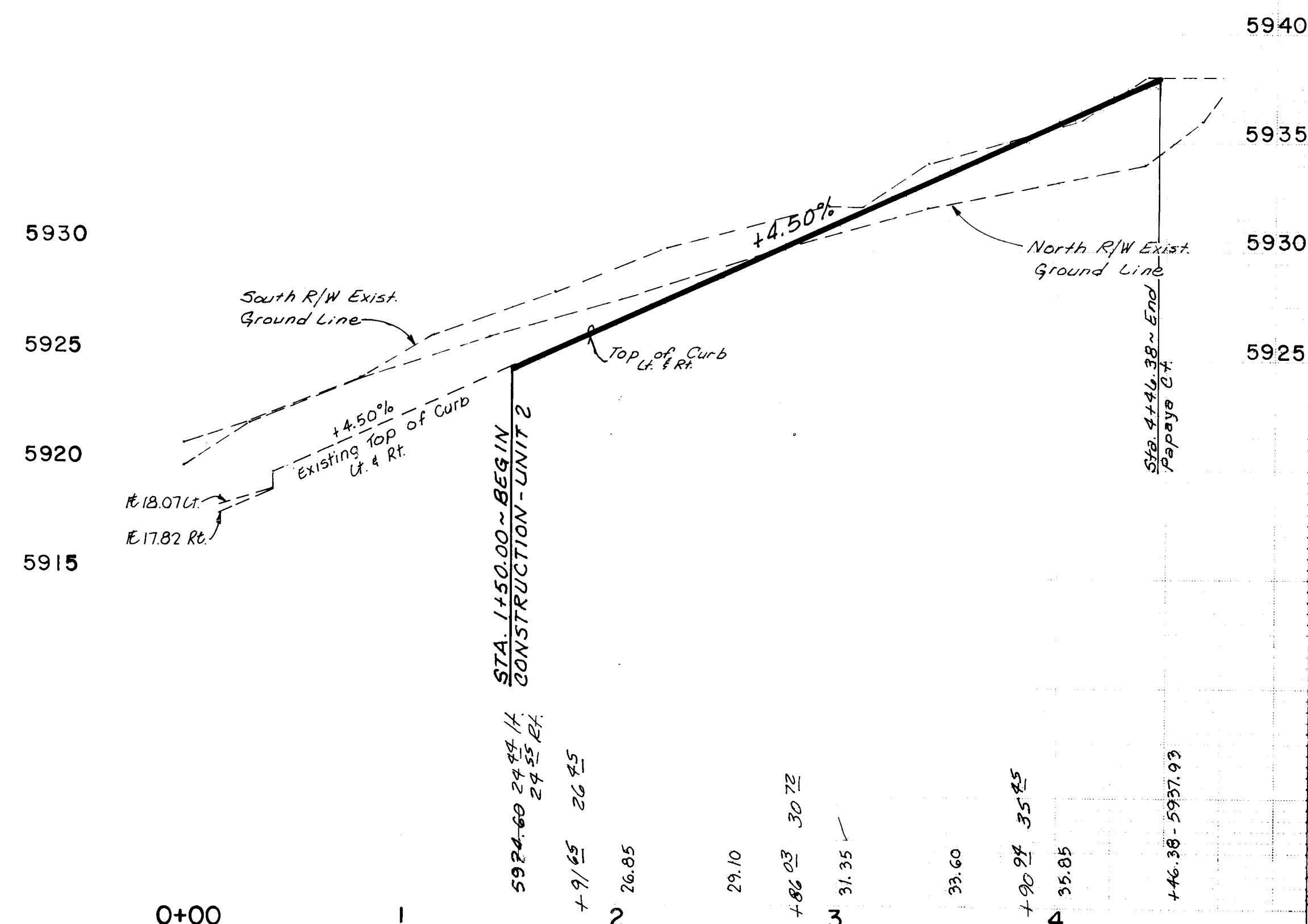
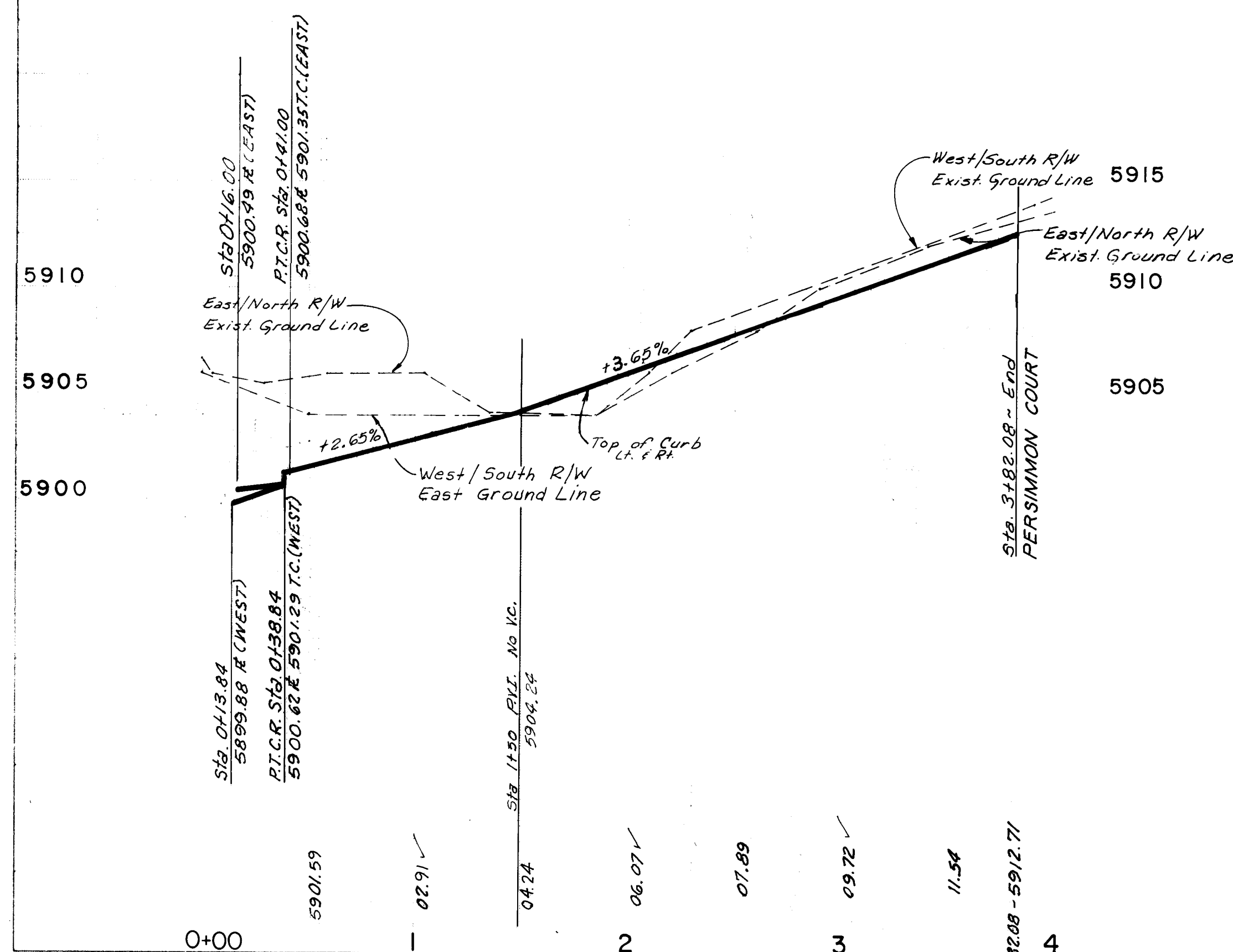
CURVE	Δ	L
①	$41^{\circ}04'57''$	—
②	$35^{\circ}48'36''$	25.00'
③	$31^{\circ}29'15''$	21.98'



CURB CURVE DATA				
NO.	R	L	T	Δ
3	22.00'	37.02'	22.84'	N ^{89°58'} E
4	25.00'	39.26'	25.00'	90°00'
14	29.54'	25.23'	1.13'	E ^{48°55'} O
17	40.00'	193.97	∞	N ^{27°50'} E
18	30.00'	25.61'	13.65'	E ^{48°55'} O
24	30.00'	25.61'	13.65'	E ^{48°55'} O
25	40.00'	193.97	∞	N ^{27°50'} E
26	29.54'	25.22'	13.43'	E ^{48°55'} O
27	66.42'	77.41'	43.92'	N ^{67°35'} E
28	94.38'	111.34'	63.17'	N ^{67°35'} E

PAPAYA COURT

SCALE: 1" = 50' HORIZ.
1" = 5' VERT.



262 23251 0.86

PEPPERTREE UNIT 2-PHASE I

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: PAVING PLAN & PROFILE
PERSIMMON COURT - PAPAYA COURT

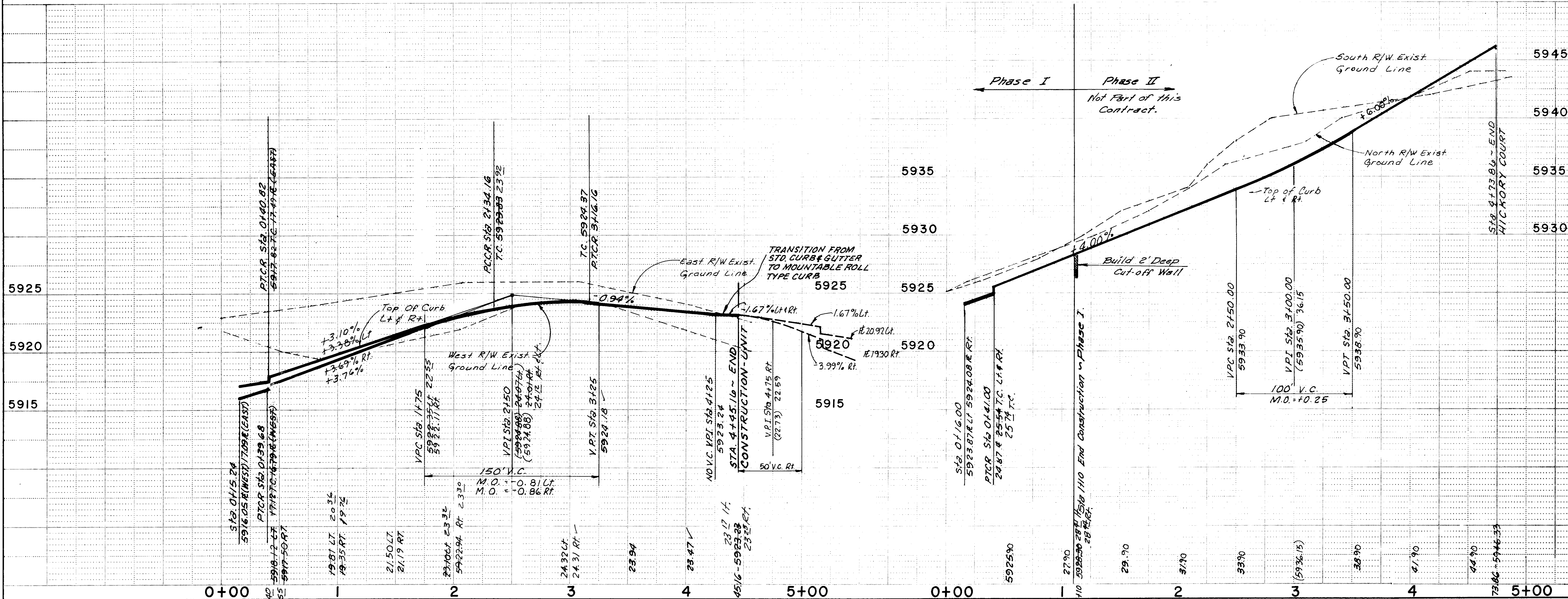
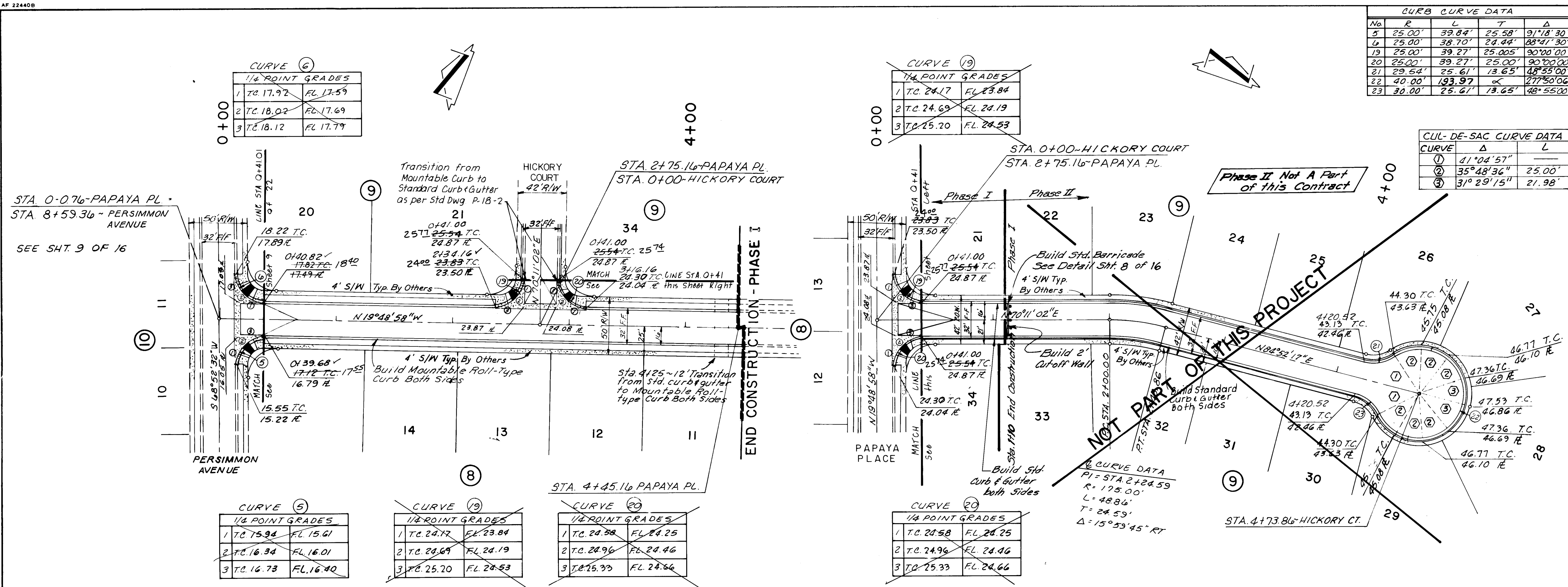
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>C. J. [Signature]</i>	<i>11/6/85</i>	Liquid Waste	<i>R. [Signature]</i>	<i>7/3/85</i>
A.C.E. Design	<i>[Signature]</i>	<i>11/6/85</i>	Traffic	<i>D. [Signature]</i>	<i>7/11/85</i>
Hydrology	<i>B. G. [Signature]</i>	<i>7/3/85</i>	Water	<i>R. [Signature]</i>	<i>7/3/85</i>

PEPPERTREE SUBDIVISION - UNIT 2

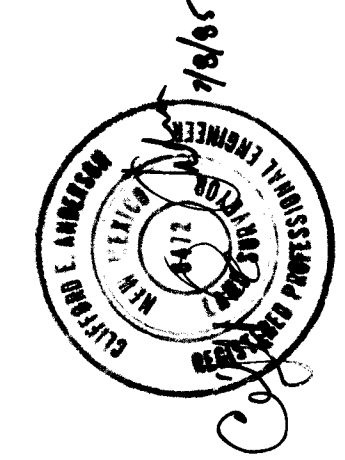
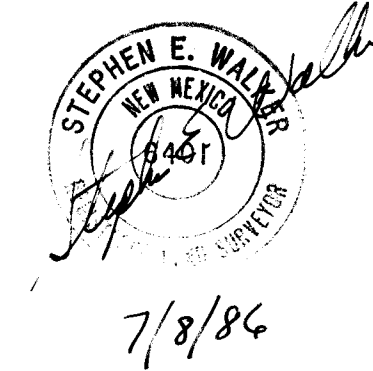
	DRAWING NO.	2325
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MAP NO.	F-22
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SHEET 10 OF 16



"AS-BUILT" (HORIZONTAL
AND VERTICAL LOCATION ONLY)



SURVEY INFORMATION			BENCH MARKS		AS BUILT INFORMATION	
NO.	FIELD NOTES		A.C.S. BENCH MARK 6-E22 LOCATED FROM THE INTERSECTION OF EUBANK N.E. AND ACADEMY N.E. 1.2 MILES EAST ON ACADEMY, 375' SOUTH OF ACADEMY ON THE SOUTH RIM OF A SHALLOW ARROYO. A STANDARD ACS. BRASS TABLET STAMPED "6-E22 LS-4972 " SET IN THE TOP OF A CONCRETE POST, ELEVATION 5934.53	CONTRACTOR: <i>Wile Corp</i>		
	BY	DATE		WORK CHANGED BY DATE	DATE	DATE
				ACCELRANCE BUILDING CONSULTANTS	7/16/86	
				FIELD LOCATION BY DRAWINGS CORRECTED BY	DATE	
				MICRO-FILM INFORMATION		
				RECORDED BY	DATE	
				NO		

[illegible]

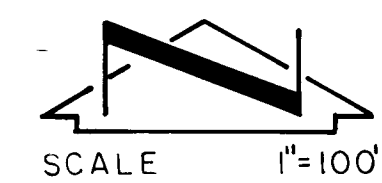
PEPPERTREE UNIT 2-PHASE I

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE:	PAVING PLAN & PROFILE
	PAPAYA PLACE STA0-0.76 TO STA4+45.16 & HICKORY COURT

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>C. J. [Signature]</i>	<i>4/6/85</i>	Liquid Waste	<i>[Signature]</i>	<i>7/3/85</i>
A.C.E. - Design	<i>[Signature]</i>	<i>11/6/85</i>	Traffic	<i>David W. Hume</i>	<i>7/11/85</i>
Hydrology	<i>B. J. [Signature]</i>	<i>7/3/85</i>	Water	<i>[Signature]</i>	<i>7/3/85</i>

DRAWING NO.	2325	MAP NO.	E-22	SHEET	11	OF	16
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- 1) The Contractor shall furnish RMD's on all water and sewer service stubs, caps and plugs.
- 2) Stationing on watermain refers to street centerlines. Stationing on sewer services refers to street centerlines Stations.
- 3) Contractor shall field verify locations and elevations of all existing pipe and utilities prior to construction.
- 4) Water - Services shall be 3/4" cts, SDR - 9 Polyethylene tubing, or 1" IPS, SDR 7 Polyethylene tubing in accordance with ASTM D-2737
- 4) All tees, bends and caps shall be blocked according to City of Albuquerque Standards.
- 6) All water meter boxes shall be furnished with heavy duty vehicle-proof cover.
- 7) Sewer Service stub locations and elevations shown on the following plan sheets shall be interpreted as occurring 2' beyond front property lines.
- 8) All pipe shall be furnished with Class "C" bedding unless otherwise noted.
- 9) In all locations where sewer mains exceed 13 feet in depth, sewer services shall be furnished with standard City of Albuquerque risers per City of Albuquerque standards.
- 10) All water valves shall be equipped w/Type A Boxes or as otherwise noted.
- 11) All sewer services shall be 4".
- 12) All valves will be resilient seat gate valves.
- 13) Fire Hydrants shall be 4'- 6" Bury.
- 14) Maximum Joint Deflection on curvilinear water and sewer lines shall not exceed that recommended by Pipe Manufacturer.

PROPOSED SEWER LINE W/ SIZE & FLOW

 EXISTING SEWER LINE W/ SIZE & FLOW

 PROPOSED MANHOLE

 EXISTING MANHOLE

 PROPOSED WATER LINE W/ SIZE

 EXISTING WATER LINE W/ SIZE

 PROPOSED GATE VALVE

 FIRE HYDRANT

 EXISTING WATER VALVE

 PROPOSED BUTTERFLY VALVE

 EXISTING BUTTERFLY VALVE

 PROPOSED STORM SEWER

NOTE: STATIONING FOR THE WATER SERVICES
IS GIVEN AS THE LOT CORNER
STREET CENTERLINE STATIONING

"AS-BUILT" (HORIZONTAL
AND VERTICAL LOCATION ONLY)

[illegible]

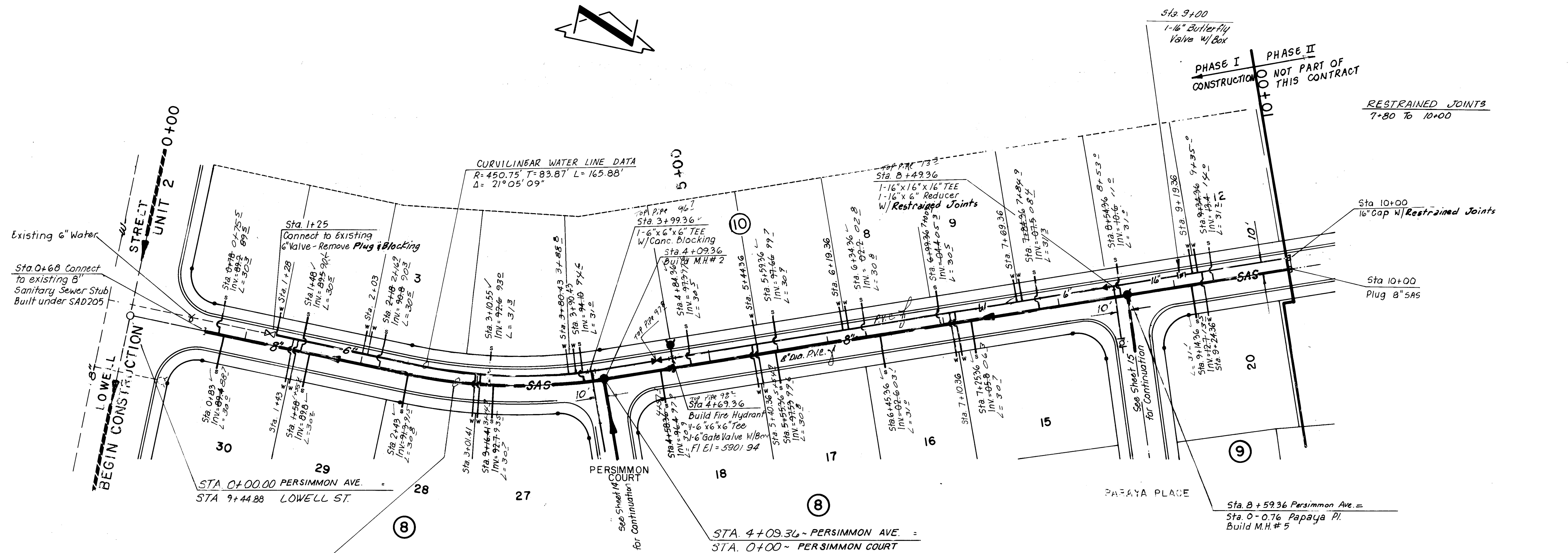
PEPPERTREE - UNIT 2-PHASE I

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: UTILITY COMPOSITE

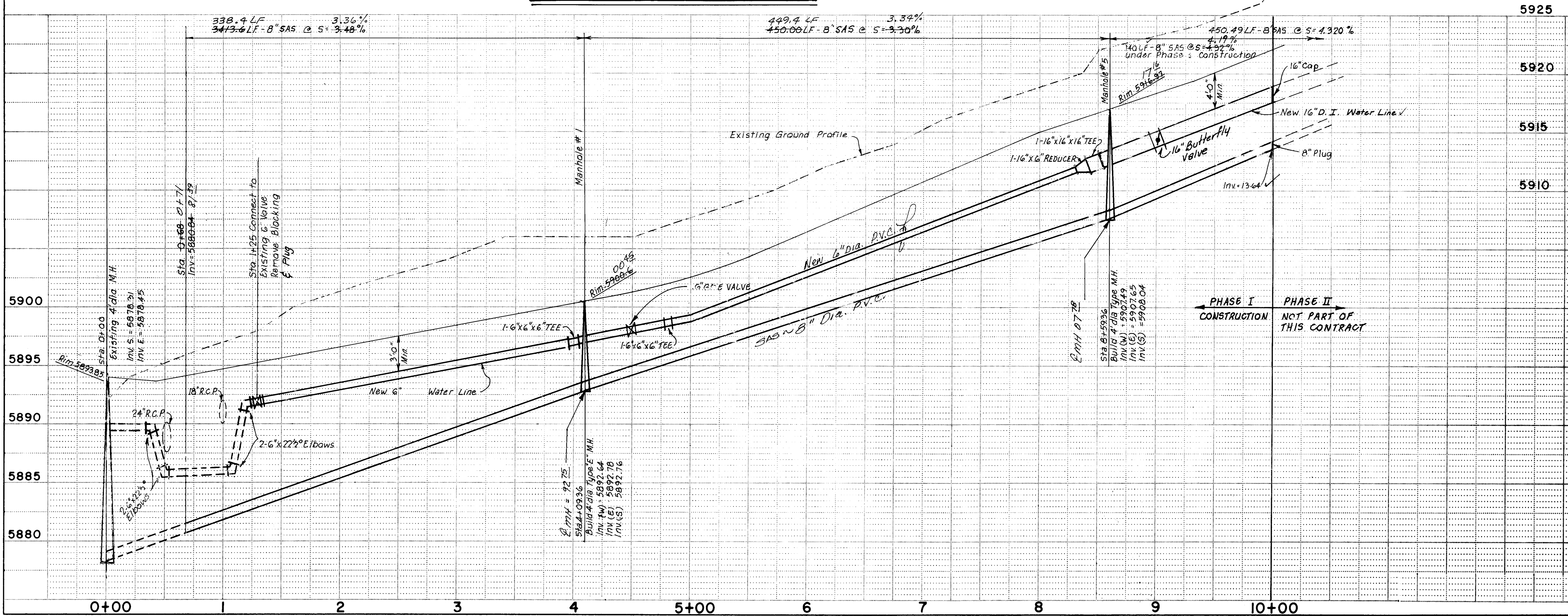
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>E. S. Chapman</i>	11/6/85	Liquid Waste	<i>Don</i>	7/3/85
A C E - Design	<i>ALLAN</i>	11/6/85	Traffic	<i>N. J. Doh</i>	7/1/85
ACE Hydrology	<i>N. A. S. J. S.</i>	7/3/85	Water	<i>Don</i>	7/3/85

DRAWING NO.	2325	MAP NO.	E-22	SHEET	12	OF	16
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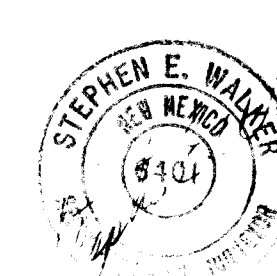


SCALE: 1" = 50' HORIZ.
 1" = 5' VERT.

PERSIMMON AVENUE



"AS BUILT" (HORIZONTAL) AND VERTICAL LOCATION



ENGINEER'S SEAL			SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION		
REVISIONS			FIELD NOTES			A.C.S. BENCH MARK 6-E22 LOCATED FROM THE INTERSECTION OF EUBANK N.E. AND ACADEMY N.E. 1.2 MILES EAST ON ACADEMY, 375' SOUTH OF ACADEMY ON THE SOUTH RIM OF A SHALLOW ARROYO. A STANDARD A.C.S. BRASS TABLET STAMPED 6-E22 LS-4972 "SET IN THE TOP OF A CONCRETE POST, ELEVATION 8834.53"			CONTRACTOR: Wille Corp		
NO.	DATE	REMARKS	NO.	BY	DATE	NO.	BY	DATE	NO.	BY	DATE
DESIGNED BY	DATE	DESIGN							WORK: Sanitary Sewer	DATE: 7-8-85	
DRAWN BY	DATE	DESIGN							INSPECTION: Wille Corp	DATE: 7-8-85	
CHECKED BY	DATE	DESIGN							FIELD: Wille Corp	DATE: 7-8-85	
									RECORDS: Wille Corp	DATE: 7-8-85	

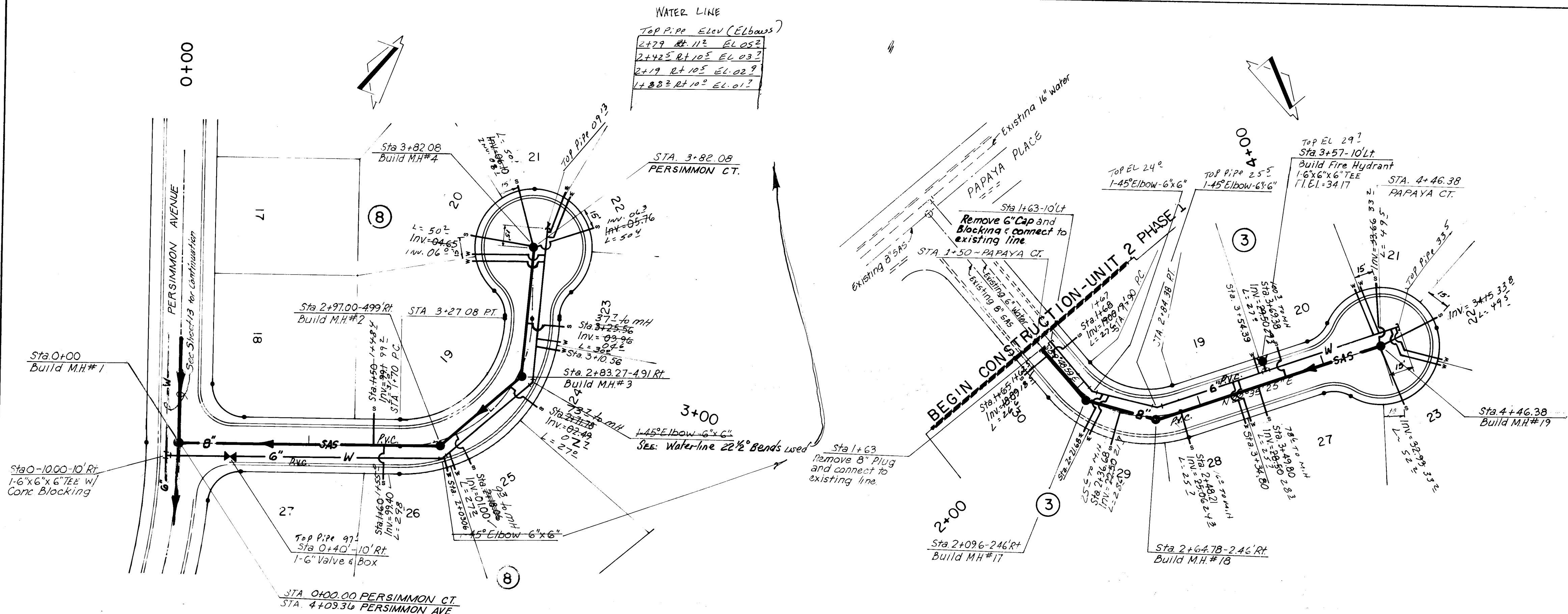
26 23251386

PEPPERTREE UNIT 2-PHASE I
 CITY OF ALBUQUERQUE
 MUNICIPAL DEVELOPMENT DEPARTMENT
 ENGINEERING DIVISION

TITLE: UTILITY PLAN & PROFILE
 PERSIMMON AVENUE ~STA. 0+00 TO STA. 10+00

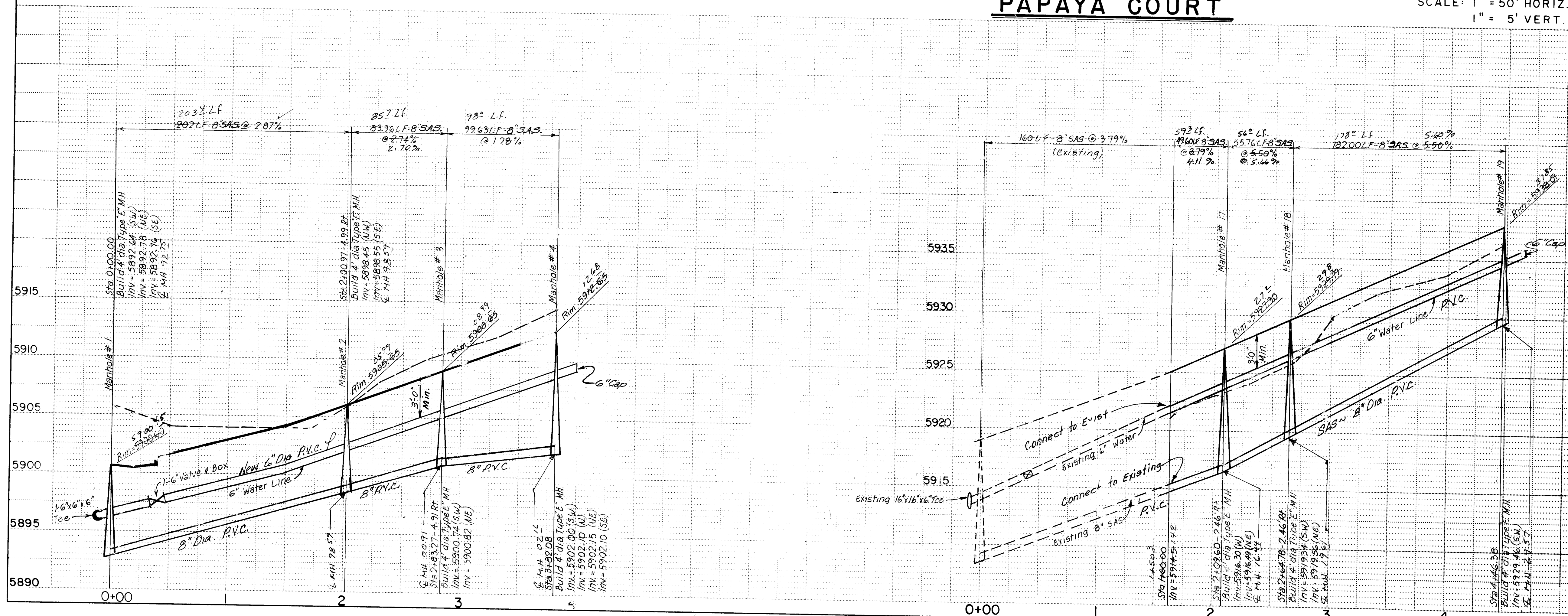
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	7/8/85	Liquid Waste	<i>[Signature]</i>	7/8/85
A.C.E. Design	<i>[Signature]</i>	7/8/85	Traffic	<i>[Signature]</i>	7/11/85
Hydrology	<i>[Signature]</i>	7/3/85	Water	<i>[Signature]</i>	7/3/85

DRAWING NO. 2325 MAP NO. E-22 SHEET 13 OF 16

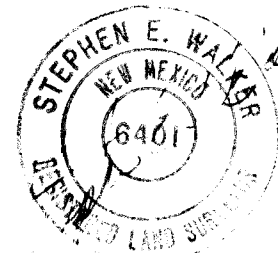


PAPAYA COURT

SCALE: 1" = 50' HORIZ.
1" = 5' VERT.



1" = 50' HORIZ.
1" = 5' VERT.



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AC.S. BENCH MARK	DATE	NO.	BY	NO.	DATE
W.H. Corp	7-8-85	6-222 LOCATED FROM THE INTERSECTION OF EUBANK N.E. AND ACADEMY N.E. 1.2 MILES EAST ON ACADEMY, 375' SOUTH OF ACADEMY ON THE SOUTH RM OF A SHALLOW ARROYO. A STANDARD A.C.S. BRASS TABLET STAMPED "6-222 LS-4972" SET IN THE TOP OF A CONCRETE POST, ELEVATION 5934.93	7-8-85				
MICRO-FILM INFORMATION		REVISIONS		DESIGNED BY		DRAWN BY	
RECORDED BY	DATE	NO.	DATE	DATE	DATE	DATE	DATE

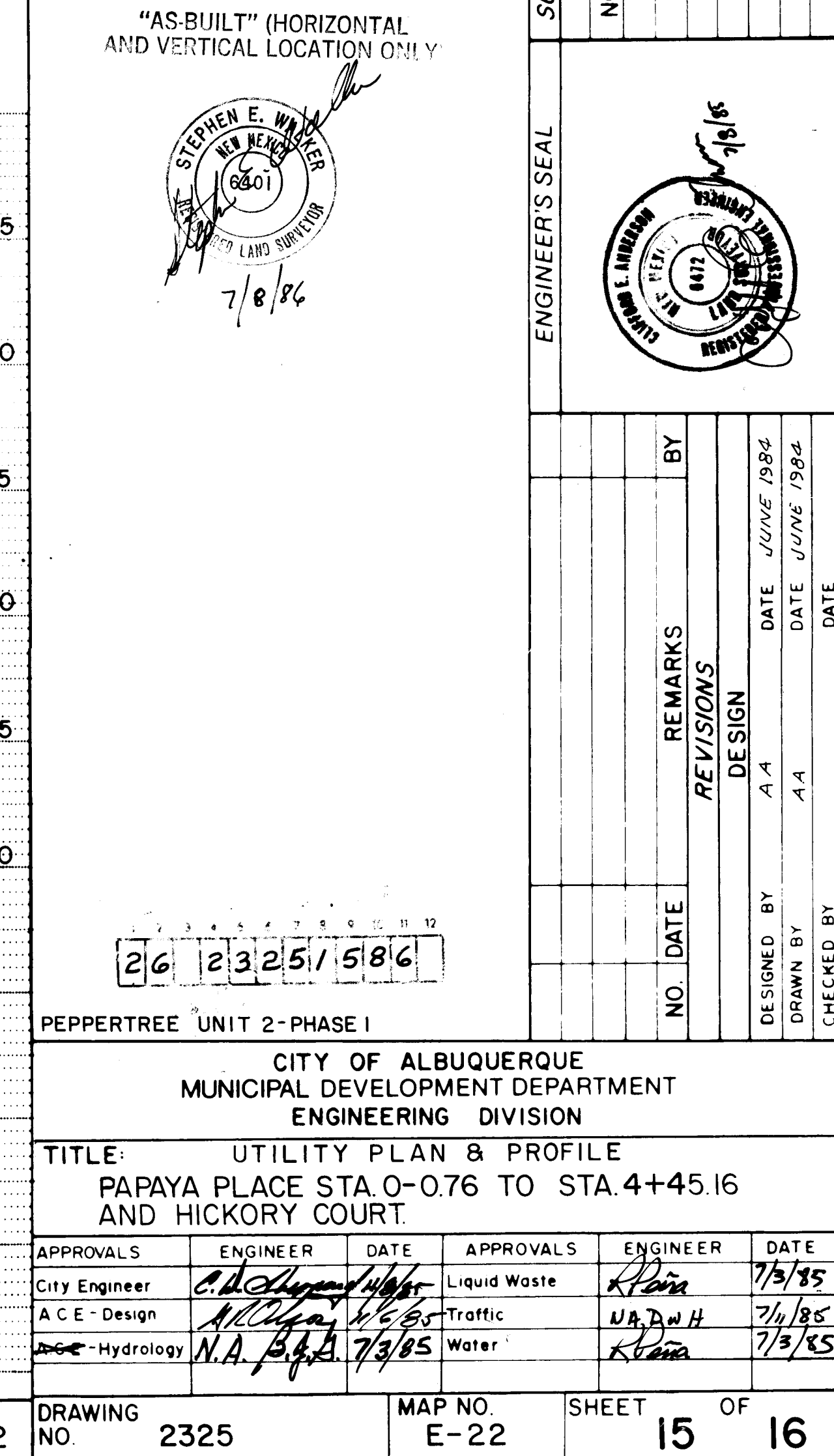
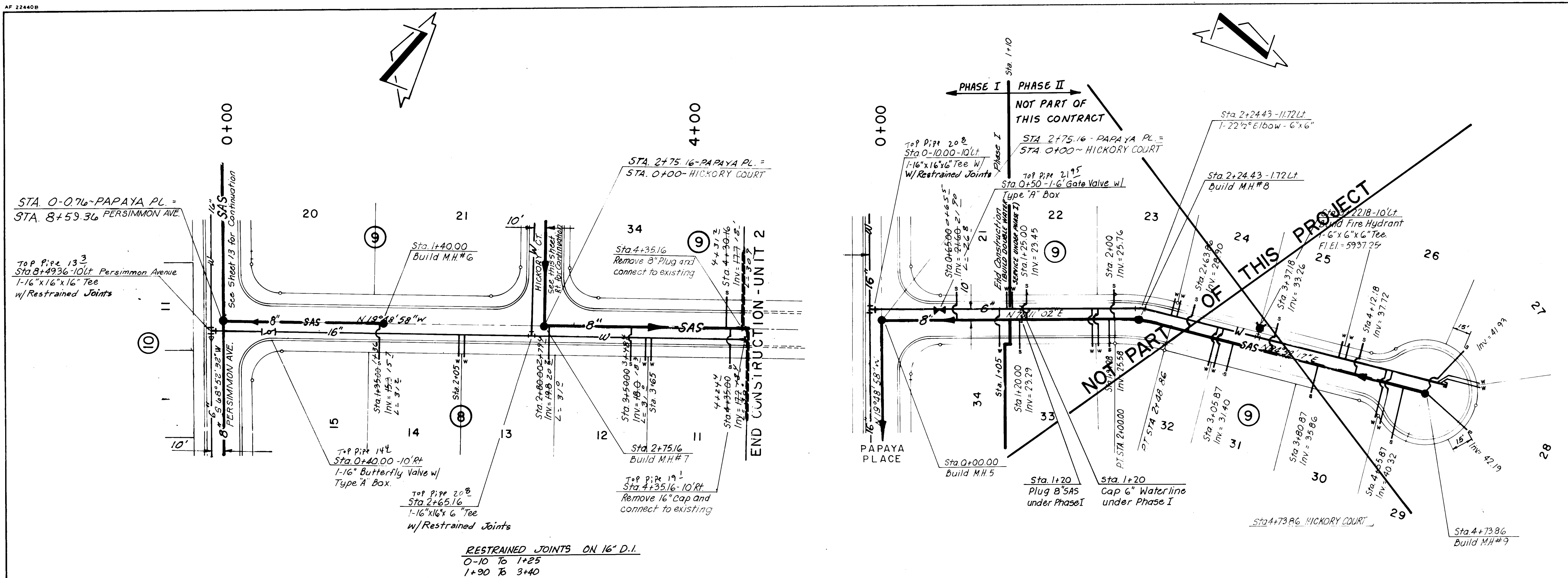
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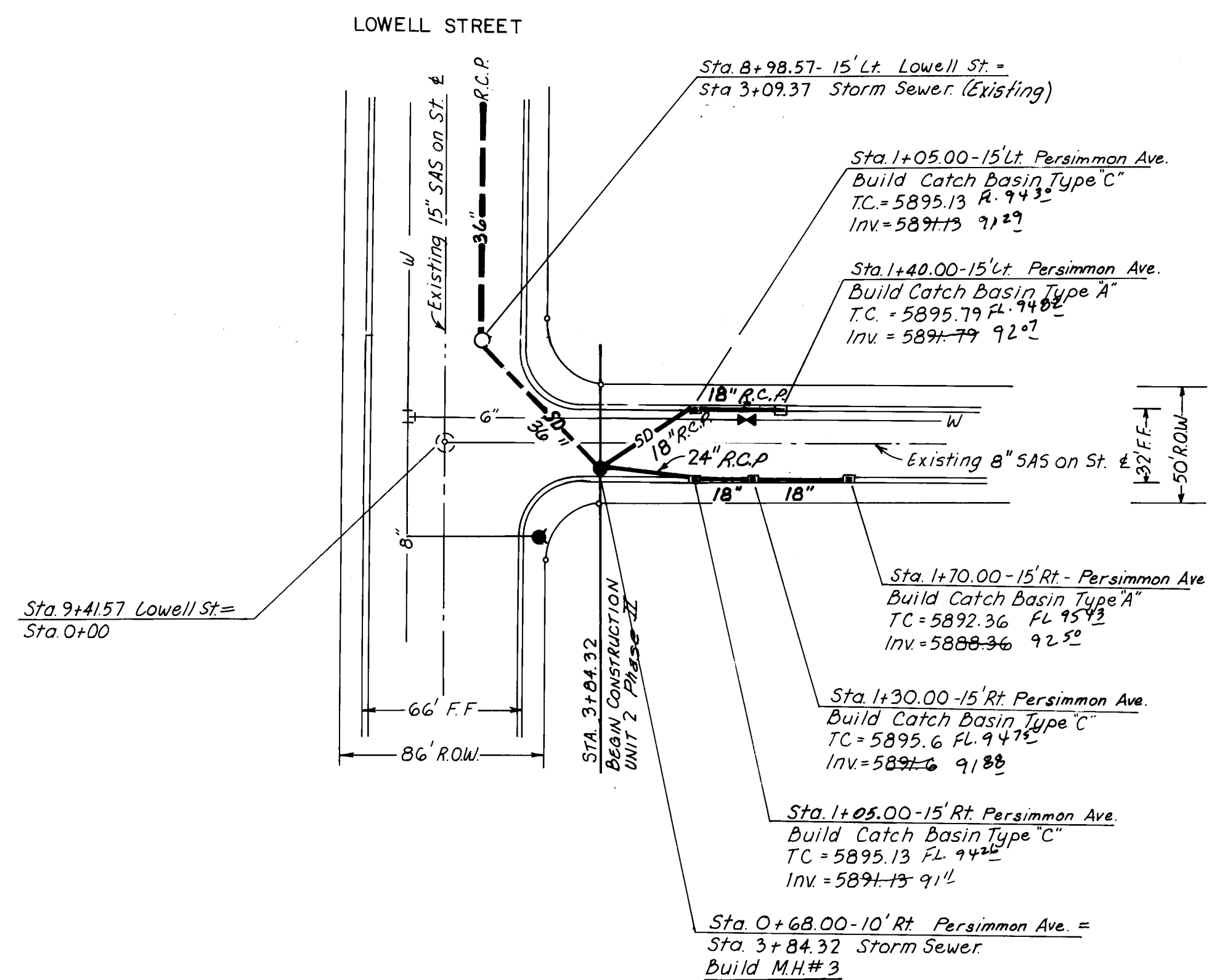
PEPPERTREE UNIT 2-PHASE I

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
TITLE: UTILITY PLAN & PROFILE
PERSIMMON COURT & PAPAYA COURT

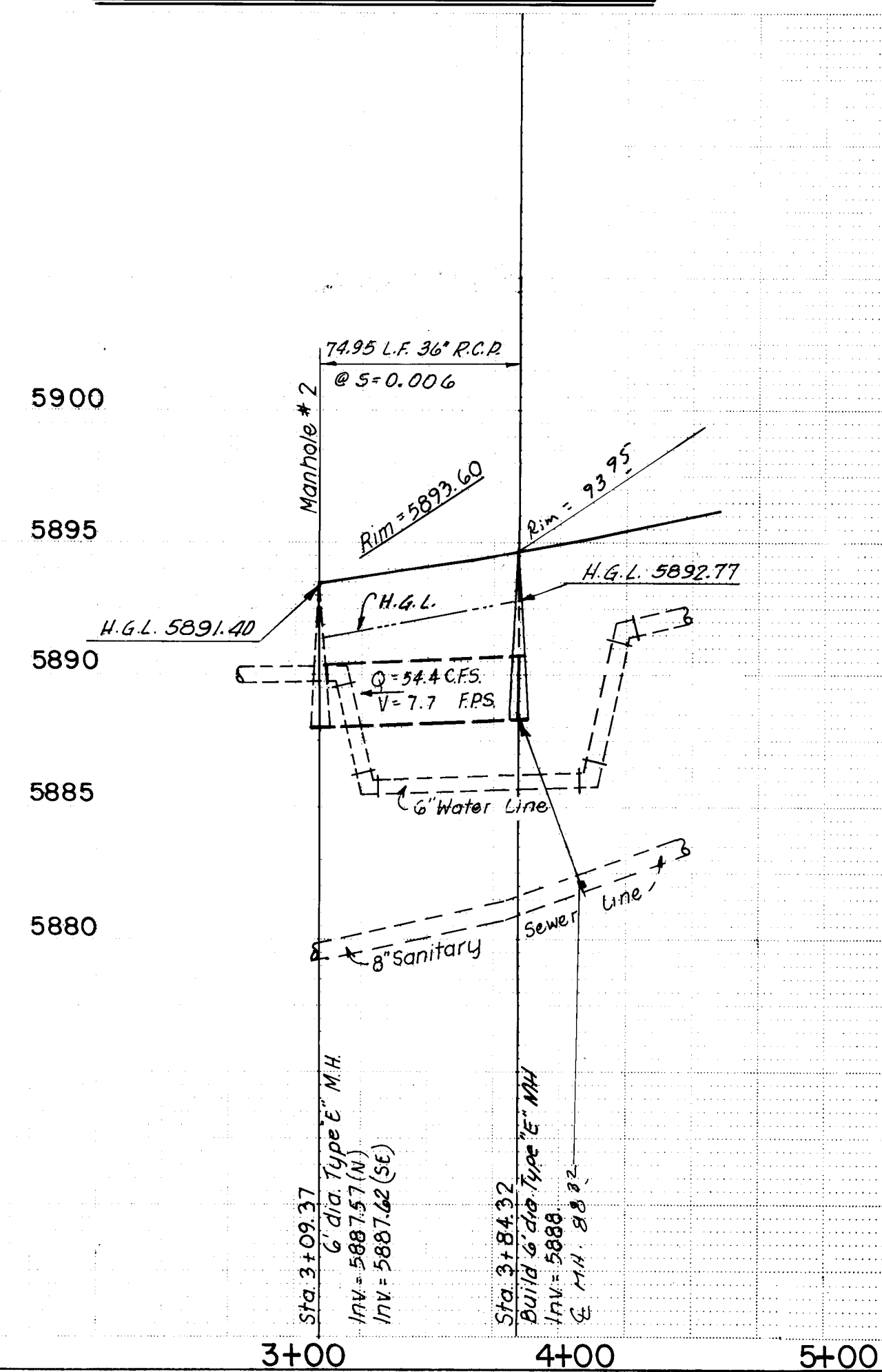
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
CITY Engineer	John Chappell	7/3/85	Liquid Waste	John Chappell	7/3/85
A.C.E. Design	W.H. Corp	7/3/85	Traffic	W.H. Corp	7/3/85
Hydrology	N.H. BQA	7/3/85	Water	N.H. BQA	7/3/85

DRAWING NO.	MAP NO.	SHEET	OF
2323	E-22	14	16

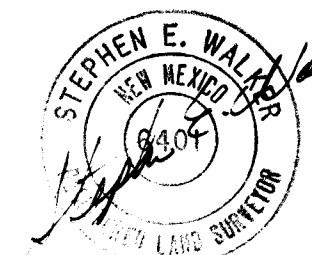




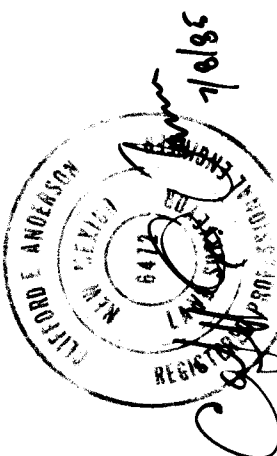
PERSIMMON AVENUE



"AS-BUILT" (HORIZONTAL
AND VERTICAL LOCATION ONLY)



7/8/80

[illegible]

PEPPERTREE UNIT 2-PHASE I

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: STORM SEWER PLAN AND PROFILE

LOWELL STREET AND PERSIMMON AVENUE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>C. J. Sherry</i>	11/6/85	Liquid Waste	<i>R. P. ...</i>	7/3/85
A C E - Design	<i>W. L. ...</i>	11/6/85	Traffic	<i>N. B. DWH</i>	7/1/85
Water - Hydrology	<i>B. J. ...</i>	7/3/85	Water	<i>R. P. ...</i>	7/3/85

DRAWING NO.	2325	MAP NO.	E-22	SHEET	16	OF	16
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