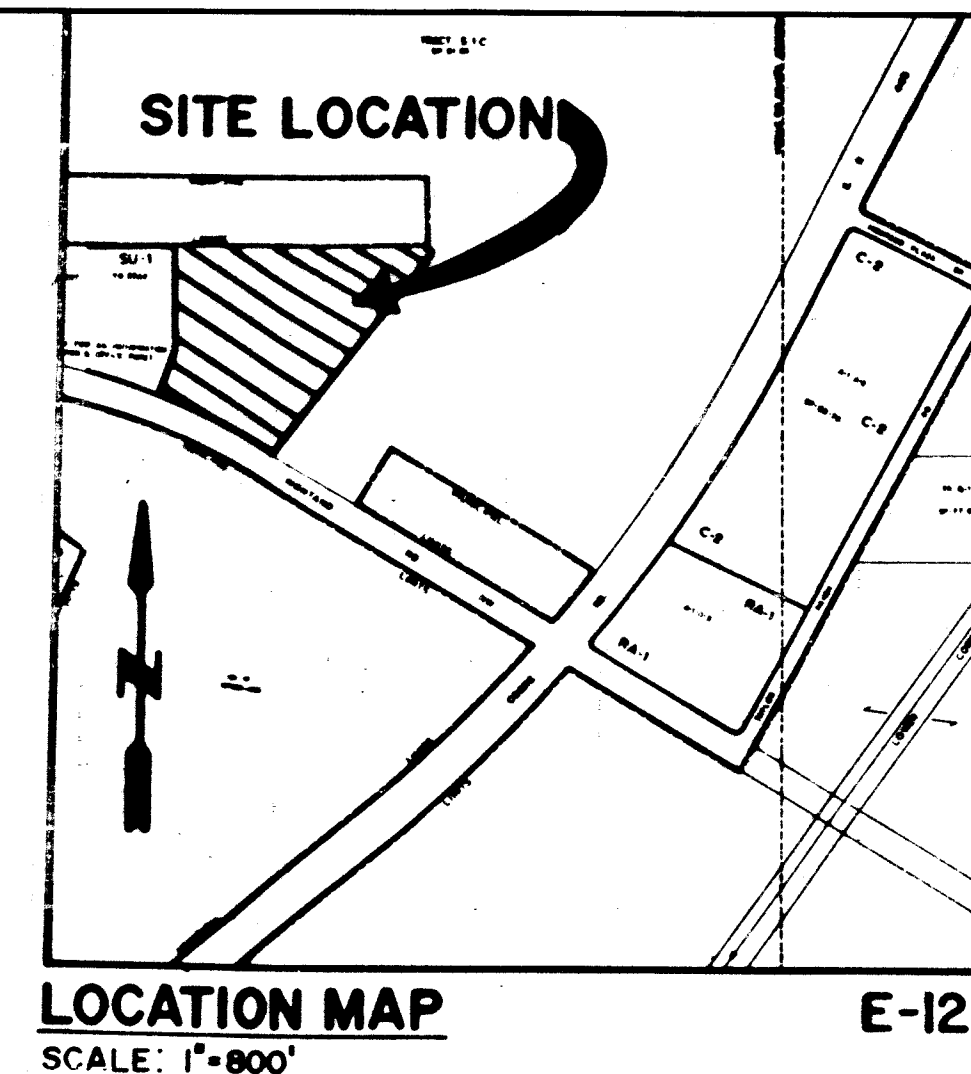




CONSTRUCTION PLANS FOR

DEL RIO APARTMENTS

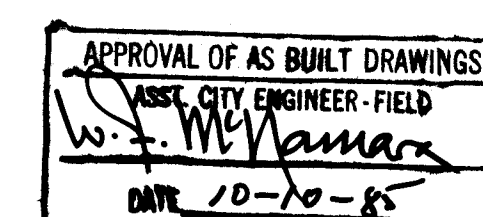
PUBLIC WATER LINE AND SAS CONNECTION

INDEX TO DRAWINGS

- 1 COVER SHEET
- 2 ARCHITECTURAL SURVEY
- 3 OVERALL WATERLINE LAYOUT & SAS CONNECTION
- 4 WATERLINE PLAN & PROFILE

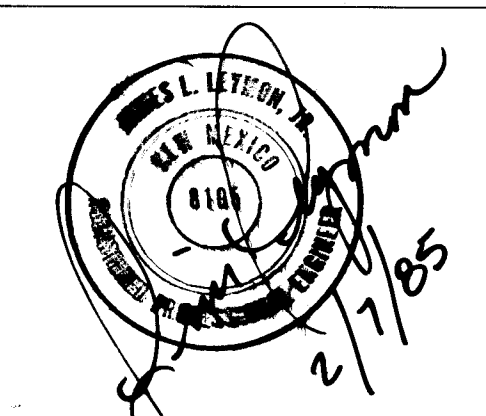
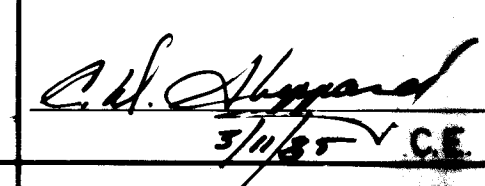
GENERAL NOTES

1. All work detailed on these plans to be performed under contract shall, except otherwise stated or provided for hereon, be constructed in accordance with the New Mexico Standard Specifications for Public Works Construction - 1979 Edition (referred herein as the Standard Specifications) and the contract documents for Public Works Contract No. 84-3.
2. Two (2) working days prior to any excavation, Contractor must contact line locating service, 765-1234, for location of existing utilities.
3. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
4. All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules, and regulations concerning construction safety and health.
5. Contractor shall maintain access to adjacent properties during construction.
6. All gas, electric, telephone lines, cables, and appurtenances encountered during construction that require relocation, shall be done by the responsible utility. Contractor shall be responsible for coordination of all necessary utility adjustments.
7. It will be the Contractor's responsibility to protect and maintain in service all existing utilities.
8. The Contractor will be required to confine his work within the construction limits and/or public right-of-way to preserve existing vegetation and private property. Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes.
9. A disposal site for all excess excavation material, asphaltic paving, concrete curbs and sidewalks, etc., shall be obtained by the Contractor in compliance with applicable environmental regulations and approved by the Field Engineer. All costs incurred in obtaining a disposal site and haul thereto shall be considered incidental to the project and no separate measurement or payment shall be made.
10. Where removal of existing curbs and gutters, sidewalk or pavement is required, Contractor shall sawcut and/or remove to the nearest joint. Curb and gutter shown on these plans as existing and not to be removed under this contract, which is damaged or displaced by the Contractor shall be removed and replaced at the Contractor's expense.
11. When abutting new pavement to existing, sawcut existing pavement to a straight edge and at a right angle, or as approved by the Project Engineer, to remove any broken or cracked pavement.
12. All stationing shown on these plans is based on street centerline unless noted otherwise.
13. The Contractor must submit a construction signing and barricading plan to Traffic Engineering a minimum of three (3) working days prior to construction to receive a barricading permit.
14. Backfill compaction shall be according to specified street use.
15. All trench backfill shall be compacted to a minimum 90% maximum density as per ASTM -D1557.
16. Any existing utility service lines that do not require relocation and are damaged by the Contractor shall be removed and replaced at the Contractor's expense. This expense shall be considered incidental to the project and no separate payment shall be made.



1 2 3 4 5 6 7 8 9 10 11 12
26 23 640 185

REV	SHEETS	CITY	ENGR.	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS										

 ENGINEERS SEAL	ESPEY, HUSTON & ASSOC., INC. Engineering & Environmental Consultants 4801 INDIAN SCHOOL ROAD N.E. SUITE 204 ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 255-1625	APPROVED FOR CONSTRUCTION  5/1/85
	PROJECT NUMBER 2364	SHEET 1 OF 1

ARCHITECTURAL SURVEY
FOR
TRACT 27-A3
OF
TAYLOR RANCH
SITUATE WITHIN
SECTION 25
TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY 1984

DESCRIPTION

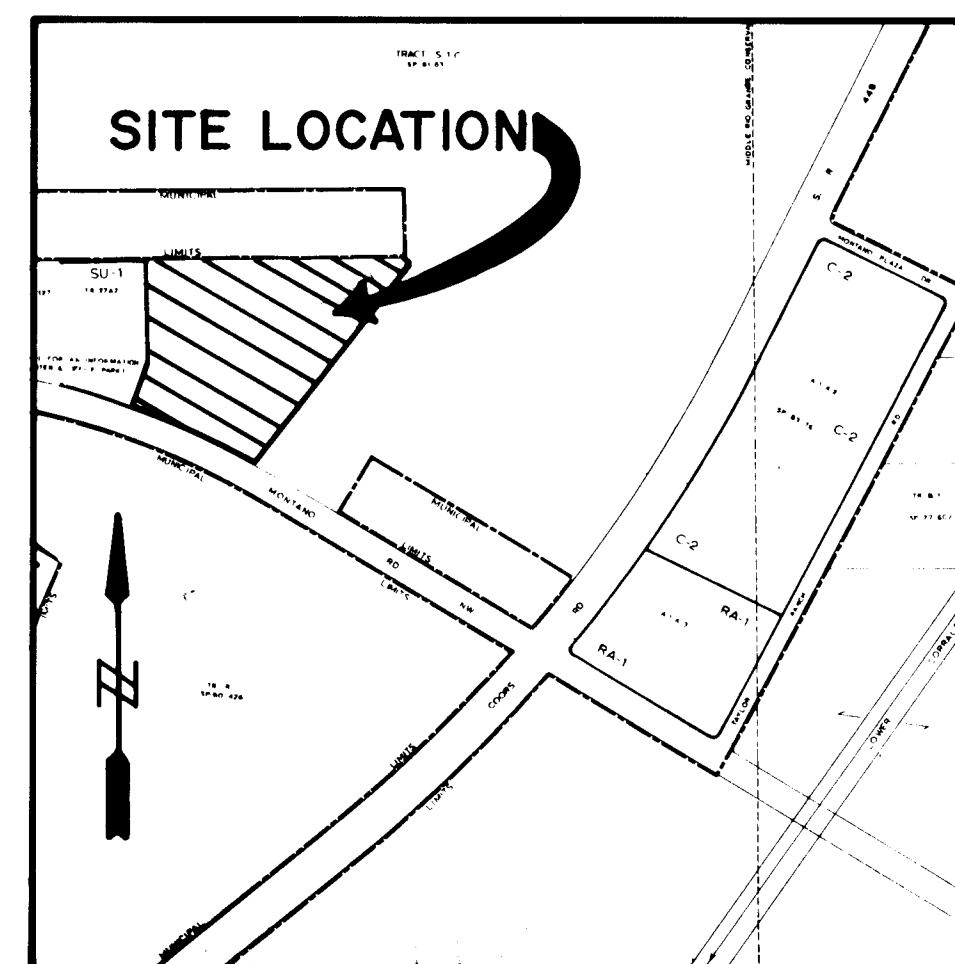
A tract of land situate within Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, New Mexico being Tract 27-A3 of TAYLOR RANCH as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on May 3, 1984 (C23-180, 1-4).

GENERAL NOTES

1. Basis of boundary is the plat of record (filed 5/3/84, C23-180, 1-4).
2. Topographic map compiled from actual field surveys conducted by Espey, Huston and Associates, Inc. on June 22 and 28, 1984
3. Information regarding telephone, electric and gas line locations obtained from Mountain Bell, PNM and the Gas Company of New Mexico and not from actual field survey.
4. All points marked with an open circle are found 1/2" rebar with cap "L.S. 4078" unless otherwise indicated.

LEGEND

- S.S.--- SANITARY SEWER LINE
- W.L.--- WATER LINE
- G.A.S.--- GAS LINE
- U.E.--- UNDERGROUND ELECTRIC LINE
- U.T.--- UNDERGROUND TELEPHONE LINE
- SPRINKLER LINE
- ▲ FIRE HYDRANT
- SANITARY SEWER MANHOLE
- TELEPHONE LINE MANHOLE
- WATER VALVE
- GAS VALVE
- ELECTRIC TRANSFORMER
- △ TELEPHONE LINE RISER
- ▽ SIGN
- FLAG POLE
- TREE
- WIRE FENCE



LOCATION MAP
SCALE: 1"=800'

Unless otherwise indicated, reservations contained in Patent from U.S.A., unrecorded easements, solar access rights, private covenants, private and community walls are not covered by this certificate.

I, Timothy Aldrich, New Mexico Registered Land Surveyor No. 7719, do hereby certify that the Tract shown hereon was surveyed under my supervision. I further certify that the location of improvements are as shown on this drawing, that there are no apparent encroachments except as shown hereon, that this drawing shows all easements as shown on the plat of record, and the same is true and correct to the best of my knowledge and belief.



Timothy Aldrich
Timothy Aldrich, M.R.L.S. No. 7719

07/30/84
Date

Job No. 5143-01
Office ALDRICH
Draft LASKOWSKI
F.B. 112, 113, 114
Date 7-25-84

ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 INDIAN SCHOOL ROAD N.E.
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 266-1200

TRACT 27-A3
12.599 ACRES

- ① N 26° 09' 35" E, 79.09 feet
- ② N 31° 43' 15" E, 44.61 feet
- ③ N 58° 16' 45" W, 50.00 feet
- ④ S 31° 43' 15" W, 14.00 feet
- ⑤ N 58° 16' 45" W, 10.00 feet
- ⑥ N 31° 43' 15" E, 14.00 feet
- ⑦ N 58° 16' 45" W, 225.54 feet
- ⑧ N 0° 13' 11" E, 249.30 feet
- ⑨ N 45° 13' 11" E, 77.50 feet
- ⑩ S 89° 46' 49" E, 193.14 feet
- ⑪ N 0° 13' 11" E, 10.00 feet
- ⑫ S 89° 46' 49" E, 10.00 feet
- ⑬ S 0° 13' 11" W, 10.00 feet
- ⑭ S 89° 46' 49" E, 79.00 feet
- ⑮ N 0° 13' 11" E, 85.00 feet
- ⑯ S 89° 46' 49" E, 374.00 feet
- ⑰ S 0° 13' 11" W, 84.43 feet
- ⑱ S 31° 43' 15" W, 18.642 feet
- ⑲ S 58° 16' 45" E, 145.00 feet
- ⑳ S 31° 43' 15" W, 20.00 feet
- ㉑ N 58° 16' 45" W, 45.00 feet
- ㉒ S 31° 43' 15" W, 10.00 feet
- ㉓ N 58° 16' 45" W, 10.00 feet
- ㉔ N 31° 43' 15" E, 10.00 feet
- ㉕ N 58° 16' 45" W, 73.00 feet
- ㉖ S 31° 43' 15" W, 17.00 feet
- ㉗ N 58° 16' 45" W, 10.00 feet
- ㉘ N 31° 43' 15" E, 17.00 feet
- ㉙ N 58° 16' 45" W, 27.00 feet
- ㉚ N 3° 43' 15" E, 12.50 feet
- ㉛ N 58° 16' 45" W, 10.00 feet
- ㉜ N 31° 43' 15" E, 10.00 feet
- ㉝ S 58° 16' 45" E, 10.00 feet
- ㉞ N 31° 43' 15" E, 106.28 feet
- ㉟ N 0° 13' 11" E, 58.78 feet
- ㊱ N 89° 46' 49" W, 223.00 feet
- ㊲ S 0° 13' 11" W, 34.00 feet
- ㊳ N 89° 46' 49" W, 10.00 feet
- ㊴ N 0° 13' 11" E, 34.00 feet
- ㊵ S 0° 13' 11" W, 17.00 feet
- ㊶ N 89° 46' 49" W, 7.00 feet
- ㊷ S 0° 13' 11" E, 85.00 feet
- ㊸ S 0° 13' 11" W, 34.00 feet
- ㊹ S 89° 46' 49" E, 16.00 feet
- ㊺ S 0° 13' 11" W, 20.00 feet
- ㊻ N 89° 46' 49" W, 16.00 feet
- ㊼ S 0° 13' 11" W, 223.46 feet
- ㊽ S 58° 16' 45" E, 7.40 feet
- ㊾ N 31° 43' 15" E, 9.50 feet
- ㊿ S 31° 43' 15" W, 9.50 feet
- ① S 58° 16' 45" E, 280.94 feet
- ② S 31° 43' 15" W, 30.00 feet
- ③ S 58° 16' 45" E, 29.50 feet
- ④ S 31° 43' 15" W, 10.00 feet
- ⑤ N 58° 16' 45" W, 29.50 feet
- ⑥ S 31° 43' 15" W, 33.44 feet
- ⑦ S 26° 09' 35" W, 40.09 feet
- ⑧ S 43° 50' 25" E, 10.00 feet
- ⑨ S 26° 09' 35" W, 10.00 feet
- ⑩ N 63° 50' 25" W, 10.00 feet
- ⑪ S 26° 09' 35" W, 28.15 feet
- ⑫ R = 2925.00
- ⑬ Δ = 0° 23' 30"
- ⑭ L = 20.00
- ⑮ Ch. = N 63° 29' 15" W, 20.00'

UNPLATTED LAND

20' WATERLINE EASEMENT

S 52° 50' 26" E, 5.53'

50' ACCESS AND UTILITY EASEMENT

R=992.52
Δ=05°26'19"
L=94.21'
T=47.14'

682.57'

TRACT 39
TRACT 38(1-4)

FILED 5-3-84

PLAZA DRIVE

TAYLOR RANCH

MONTANO

TRACT 379

MONTANO

ROAD

S 89° 46' 49" E

N 00° 13' 11" E

N 20° 20' 06" E

R=2925.00

Δ=10°50'27"

L=553.53'

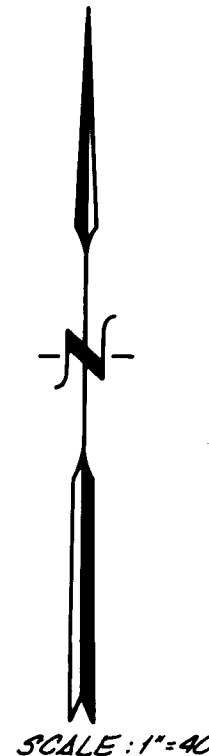
T=277.55'

R=3500'

Δ=89°21'18"

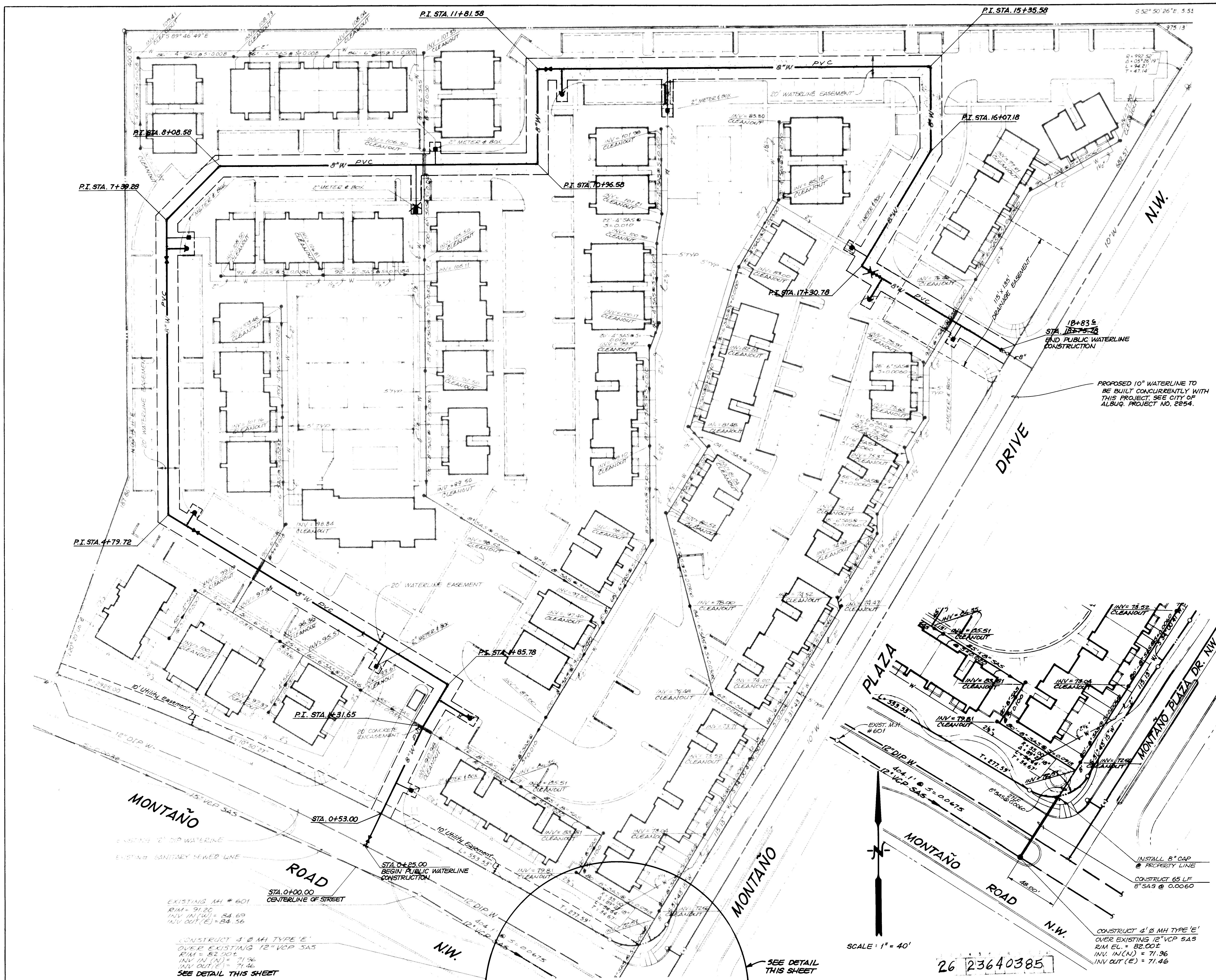
L=51.64'

T=34.61'



SCALE: 1"=40'

TRACT 27-A2, TAYLOR RANCH
FILED 5-17-82



RECORD DRAWING

The waterline shown on this drawing has been as-built in accordance with field notes by Espey, Huston & Associates, Inc. and information provided by Barker Spelling Contracting, Inc. (contractors) to reflect construction actually accomplished as of the date of this drawing to the best of my knowledge and belief.

Jim Lamm, Jr., P.E.
Date: 10/08/85

LEGEND

W	EXISTING WATERLINE
N	NEW PUBLIC WATERLINE
SAS	EXISTING SANITARY SEWER
●	EXISTING CLEANOUT
○	CONCRETE ENCASUREMENT
□	NEW GATE VALVE W/VALVE BOX
□	FUTURE GATE VALVE W/VALVE BOX
□	NEW FIRE HYDRANT
□	NEW WATER METER W/M. BOX
+	EXISTING SPOT ELEVATION
+	PROPOSED FLOWLINE ELEVATION
+	20' WIDE WATERLINE EASEMENT
---	RIGHT-OF-WAY/PROPERTY LINE
---	CENTERLINE OF STREET
---	PROPOSED BUILDINGS
---	FUTURE CURB & GUTTER
---	EXISTING CURB & GUTTER

ENGINEER'S SEAL

ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 INDIAN SCHOOL ROAD NE SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 255-1625

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: DEL RIO APARTMENTS
OVERALL WATERLINE LAYOUT AND SAS CONNECTION

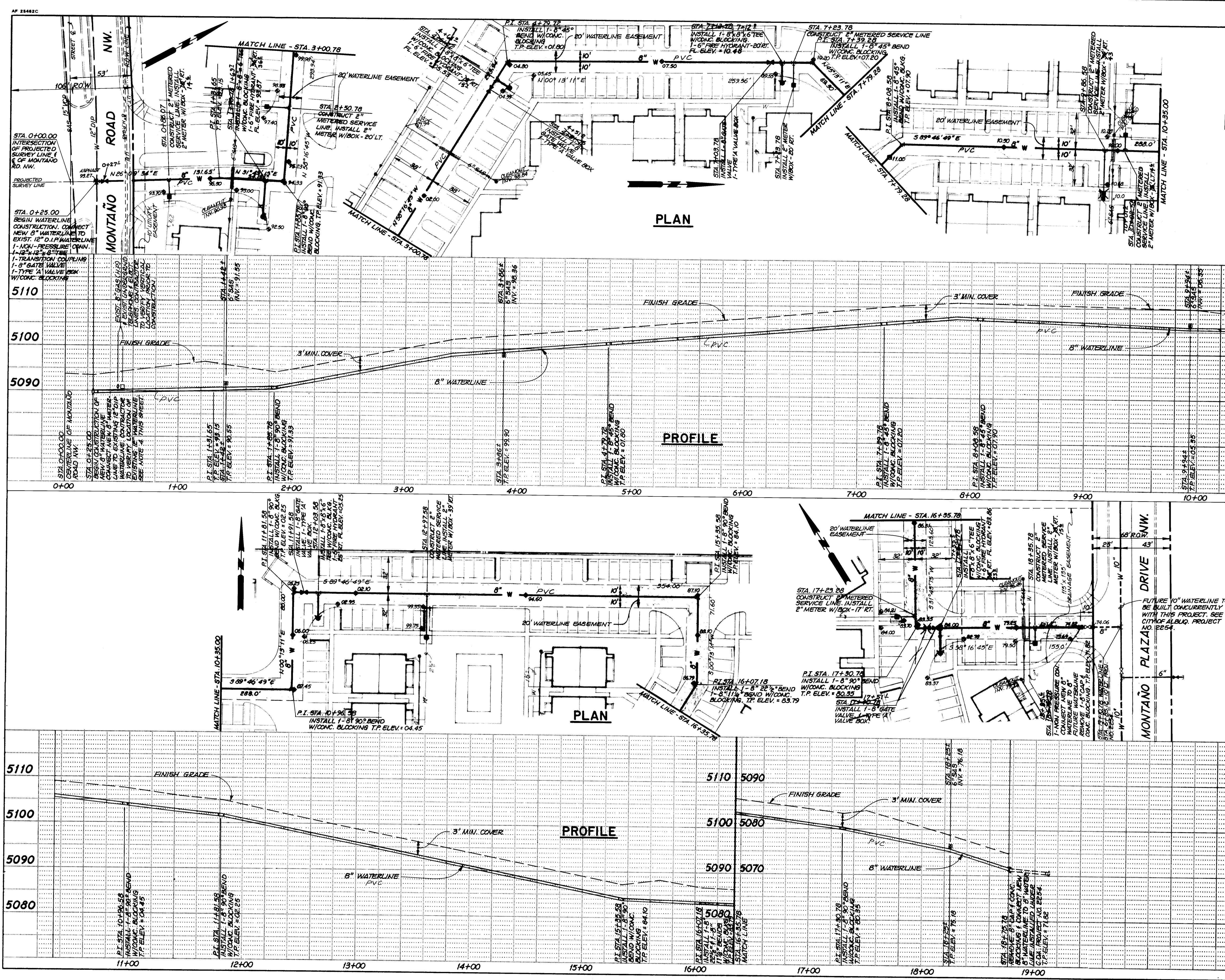
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>William R. Parker</i>	2/16/85	Liquid Waste	<i>William R. Parker</i>	2/16/85
A.C.E. - Design	<i>N.A. B.G.A.</i>	2/16/85	Traffic	<i>N.A. B.G.A.</i>	2/16/85
Hydrology	<i>N.A. B.G.A.</i>	2/16/85	Water	<i>William R. Parker</i>	2/16/85

AS BUILT INFORMATION	BENCH MARKS	SURVEY INFORMATION	ENGINEER'S SEAL	REVISIONS	NO.	DATE	REMARKS
CONTRACTOR: BAKER-SPELLING WORKED BY: E.H. & A. INSPECTED BY: E.H. & A. DATE: 03/85 DRAWINGS BY: E.H. & A. DATE: 01/85 CHECKED BY: E.H. & A. DATE: 01/85 MICRO-FILM INFORMATION RECORDED BY: E.H. & A. DATE: 01/85	BENCH MARK NO. 5-E11, A SQUARE, 'd' CHISELED ON TOP OF CURB AT THE WSW CURB RETURN, LOCATED AT THE INTERSECTION OF MONTAÑO ROAD NW. AND VALLE VISTA DR NW. IN THE SOUTHWEST QUADRANT OF THE INTER- SECTION. ELEV. = 5106.57 (MSLD '89)	FIELD NOTES NO. BY DATE		DESIGN DATE 12/1/84 DATE 12/19/84 DATE 12/31/84	NO.	DATE	REMARKS

DRAWING NO. 2364

MAP NO. E-12

SHEET 3 OF 4



NOTES:

- ALL WATER LINE STATIONING IS BASED ON THE CENTERLINE OF THE 20' WATERLINE EASEMENT UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COORDINATE THE WATER SHUT-OFF WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION. TELEPHONE 823-4052
- THE FOLLOWING CITY OF ALBUQ. STANDARD DETAIL DRAWINGS FOR THE WATER LINE CONSTRUCTION ARE APPLICABLE:
W-1-3 W-20-1
W-2-3 W-22
W-4-1 W-22
W-7-1
W-8-1
W-11-1
W-17
W-18
- DUE TO DISCREPANCIES BETWEEN AS-BUILT INFORMATION AND ESPEY, HUSTON SURVEY'S, CONTRACTOR TO VERIFY VERTICAL LOCATION OF EXISTING 12" D.I.P. WATERLINE IN MONTANO RD. N.W. PRIOR TO CONSTRUCTION.

RECORD DRAWING

The waterline shown on this drawing has been as-built in accordance with field survey performed by Espey, Huston and Associates, Inc. and information provided by Baker Spaulding Contracting, Inc. (Contractors) to reflect construction actually accomplished as of this date, to the best of my knowledge and belief.

Tim L. Payne, Jr., P.E., S.S. 1005

Date: 10/05/05

LEGEND

---	EXISTING WATERLINE
---	NEW PUBLIC WATERLINE
---	FUTURE WATERLINE
---	EXISTING SANITARY SEWER
---	EXISTING CLEANOUT
---	CONCRETE ENCASUREMENT
---	NEW GATE VALVE W/VALVE BOX
---	FUTURE GATE VALVE W/VALVE BOX
---	NEW FIRE HYDRANT
---	NEW WATER METER W/BOX
---	EXISTING SPOT ELEVATION
---	PROPOSED FLOWLINE ELEVATION
---	20' WIDE WATERLINE EASEMENT
---	RIGHT-OF-WAY/PROPERTY LINE
---	CENTERLINE OF STREET
---	PROPOSED BUILDINGS
---	FUTURE CURB & GUTTER
---	EXISTING CURB & GUTTER
---	EXISTING UNDERGROUND TELEPH.
---	EXISTING UNDERGROUND ELECT.
---	EXISTING GAS LINE

SCALE
1" = 40' HORIZ.
1" = 10' VERT.

ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 REAR SCHOOL ROAD, N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-1625

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE:
DEL RIO APARTMENTS
WATERLINE - PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>CD</i>	10/19/05	Liquid Waste	<i>William Baker</i>	2/6/05
A.C.E. - Design	<i>AK</i>	2/10/05	Traffic	<i>JD</i>	2/6/05
Hydrology	<i>N.A. & G.A.</i>	2/6/05	Water	<i>William Baker</i>	2/6/05

DRAWING NO. 2364 **MAP NO. E-12** **SHEET 4 OF 4**

ENGINEER'S SEAL

Tim L. Payne, Jr.

REVISIONS

NO.	DATE	REMARKS	BY
1	12/11/04	DESIGN	
2	12/19/04		
3	12/31/04		

AS BUILT INFORMATION

CONTRACTOR	DATE
BAKER SPULDING	03/05

FIELD	DATE
ALBUQUERQUE WATER SYSTEMS DIVISION	03/05

RECORDED BY	DATE
NO	

26 23640485