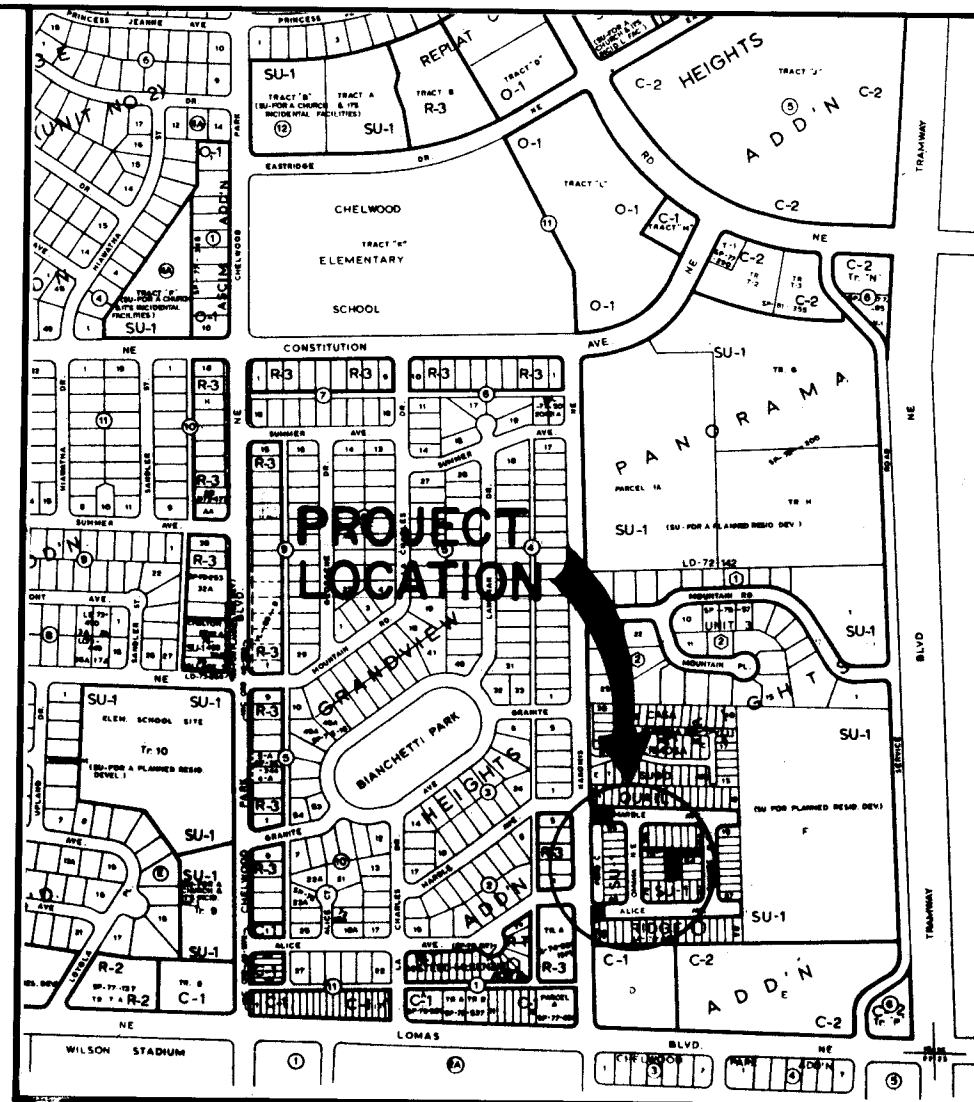




VICINITY MAP
SCALE: 1" = 800'

CONSTRUCTION PLANS FOR

QUAIL RIDGE SUBDIVISION

DRAINAGE IMPROVEMENTS

SHEET NO	DESCRIPTION
1	COVER SHEET
2	PLAT
3	OVERALL PLAN
4	PLAN & PROFILE

GENERAL NOTES

- All work detailed on these plans to be performed under contract shall, except otherwise stated or provided for hereon, be constructed in accordance with the New Mexico Standard Specifications for Public Works Construction - 1979 Edition (referred herein as the Standard Specifications) and the contract documents for Public Works Contract No. 84-3.
- Two (2) working days prior to any excavation, Contractor must contact line locating service, 765-1234, for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules, and regulations concerning construction safety and health.
- Contractor shall maintain access to adjacent properties during construction.
- All gas, electric, telephone lines, cables, and appurtenances encountered during construction that require relocation, shall be done by the responsible utility. Contractor shall be responsible for coordination of all necessary utility adjustments.
- It will be the Contractor's responsibility to protect and maintain in service all existing utilities.
- The Contractor will be required to confine his work within the construction limits and/or public right-of-way to preserve existing vegetation and private property. Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes.
- A disposal site for all excess excavation material, asphaltic paving, concrete curbs and sidewalks, etc., shall be obtained by the Contractor in compliance with applicable environmental regulations and approved by the Field Engineer. All costs incurred in obtaining a disposal site and haul thereto shall be considered incidental to the project and no separate measurement or payment shall be made.
- Where removal of existing curbs and gutters, sidewalk or pavement is required, Contractor shall sawcut and/or remove to the nearest joint. Curb and gutter shown on these plans as existing and not to be removed under this contract, which is damaged or displaced by the Contractor shall be removed and replaced at the Contractor's expense.
- Any existing utility service lines that do not require relocation and are damaged by the Contractor shall be removed and replaced at the Contractor's expense. This expense shall be considered incidental to the project and no separate payment shall be made.

26 23970185

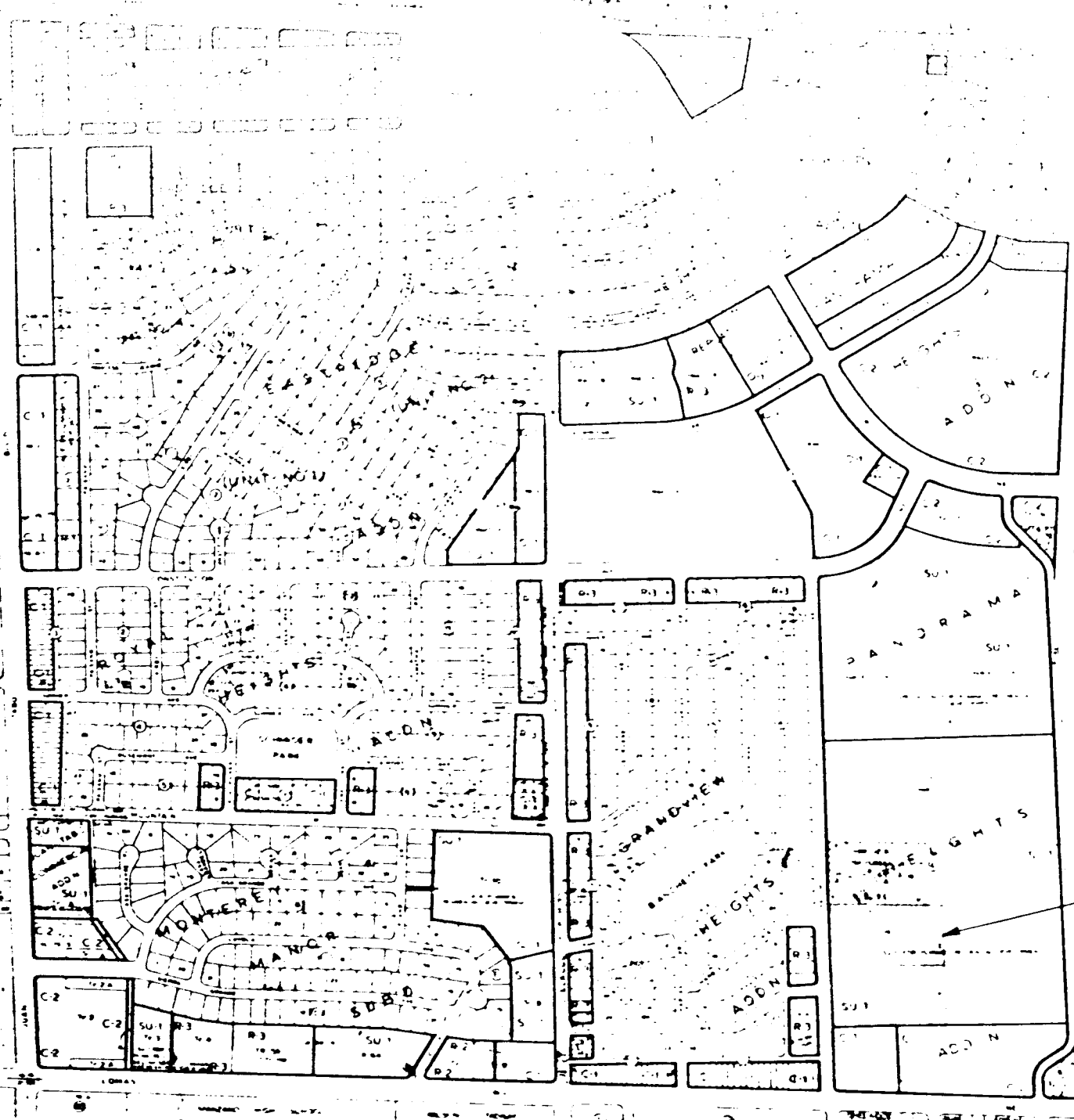
W. J. Huffman
1/1/85

RECORD DRAWING

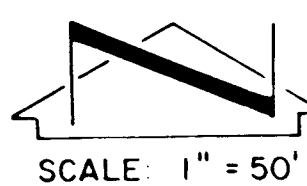
DATE

REV	SHEETS	CITY	ENGR.	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS										

ENGINEERS SEAL 	ESPEY, HUSTON & ASSOC., INC. Engineering & Environmental Consultants 4801 INDIAN SCHOOL ROAD N.E. SUITE 204 ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 255-1625	APPROVED FOR CONSTRUCTION
PROJECT NUMBER 2397		SHEET 1 OF 4



VICINITY MAP
ZONE ATLAS NO J-22



SCALE 1" = 50'

AMENDED QUAIL RIDGE (SUBMITTED AS PANORAMA RIDGE) A SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO

BEING A REPLAT OF
PARCELS B AND C PANORAMA HEIGHTS ADDITION

I. THIS PLAT WAS AMENDED TO CHANGE THE
DIMENSIONS OF LOTS 56 THRU 63 AND LOTS
67 THRU 74.

AS AMENDED BY RECORD IN VOL. 18
O. Records, said County, N.M. 1978
Clerk & Recorder
Deputy Clerk

TO BE RE-FILED WITH
NOTED CORRECTIONS

DESCRIPTION

A certain tract of land lying within the City Limits of Albuquerque, Bernalillo County, New Mexico, comprised of Parcels B and C of Panorama Heights Addition as shown on the Plat filed in the office of the County Clerk of Bernalillo County, New Mexico on July 14, 1972 and being more particularly described as follows:

Beginning at a point whence the triangulation point "SPROUL" bears N19°01'15" E a distance of 2239.72 feet; thence S1°52'59" E a distance of 594.07 feet; thence S89°25'31" W a distance of 257.62 feet; thence S88°33'24" W a distance of 315.00 feet; thence N1°26'34" W a distance of 616.16 feet; thence S88°49'15" E a distance of 568.61 feet to the point of beginning which has coordinates X = 425,417.41 and Y = 1,487,745.14 and containing 7.9073 acres more or less.

The preceding bearings and distances are grid and ground respectively and the coordinates are on the New Mexico Coordinate System, Central Zone with the ground to grid factor = 0.999656.

APPROVALS:

AMAPCA	6-22-78
Planning Director, City of Albuquerque, N.M.	7-15-78
City Engineer, City of Albuquerque, N.M.	6/27/78
Traffic Engineer, City of Albuquerque, N.M.	6/21/78
Director of Parks and Recreation, City of Albuquerque, N.M.	6/27/78
Chief Surveyor, City of Albuquerque, N.M.	6/27/78
Property Manager, City of Albuquerque, N.M.	6/27/78
Mountain Bell	6-21-78
Public Service Company of New Mexico	6-23-78
Gas Company of New Mexico	6/20/78
Water Resources, City of Albuquerque, N.M.	7/15/78

Certification:

I, Thomas T. Mann, Jr., do hereby certify that I am a registered Land Surveyor under the laws of the State of New Mexico, and that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and is true and correct to the best of my knowledge and belief.

Date of Survey 6/78
Thomas T. Mann, Jr. NMPE & LS No. 3792

Case No. Z-72-121
Talos No. SP 6-78-106

Mileage Created

Full Width = 0.35
Half Width = 0.00
Total Mileage = 0.35
Zoning - SU
Acreage = 7.9073 ± acres

RECORD DRAWING

DATE

SHEET 2 OF 10

Goldberg · Mann & Associates
Engineers-Planners
811 Pennsylvania N.E. Albuquerque, New Mexico 87109

APPROVED FOR
CONSTRUCTION

CITY ENGINEER DATE

NOTE:
1. All radii equal 25.00 feet unless otherwise noted.
2. Utility easements as shown are for underground power and telephone.

LASON 1-505-344-9404
BEST COPY AVAILABLE

DEDICATION:

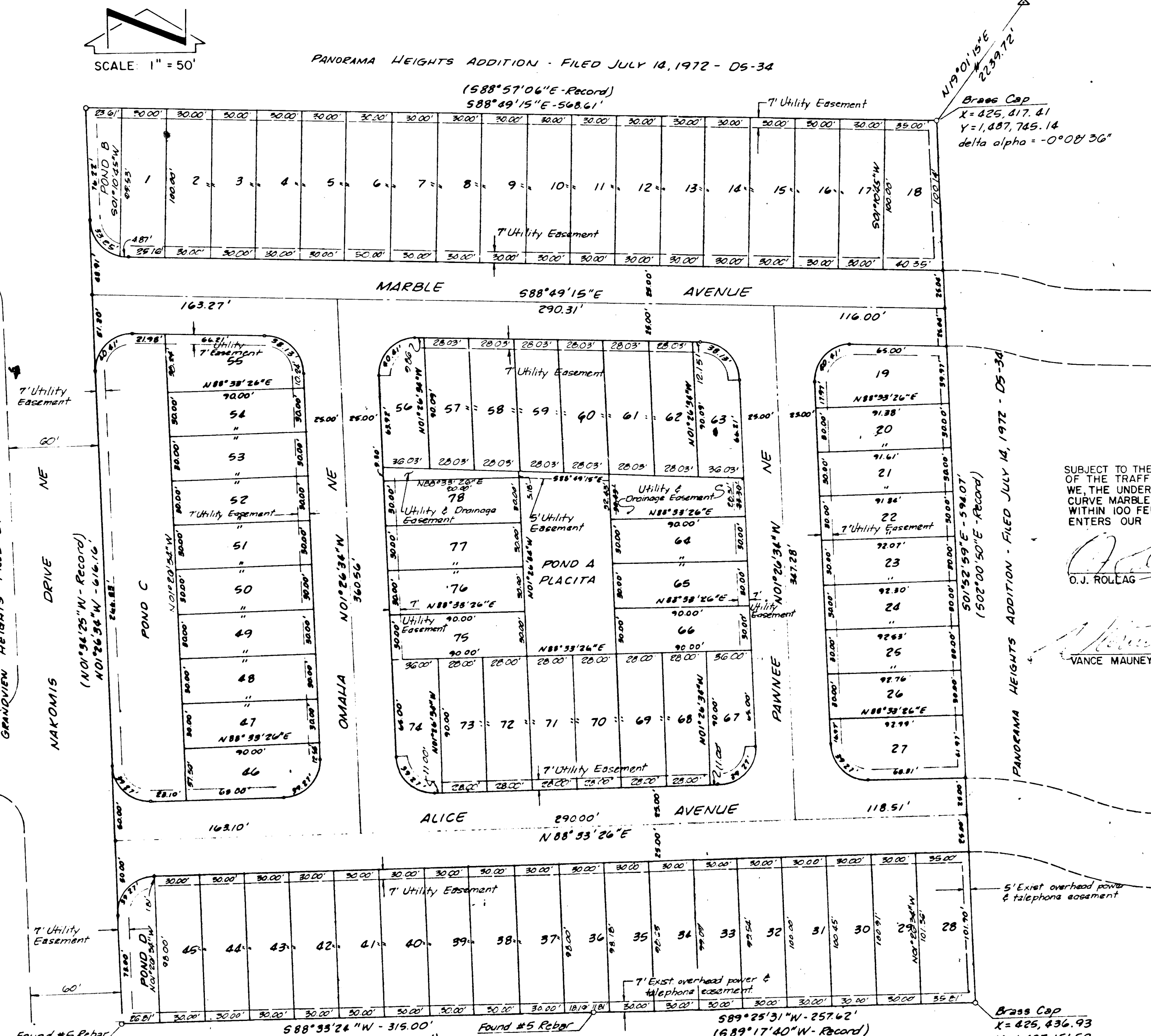
The undersigned owners of the land shown hereon do hereby consent to the subdivision of said land in the manner shown on this plat and hereby dedicate all public rights of way, together with all easements shown by dashed lines, including the right of ingress and egress and the right to trim interfering trees. This subdivision shall be developed in accordance with the drainage report and amendments developed by Goldberg-Mann and Associates and approved on 6-20-1978.

JERRY TORR DATE
CAROL TORR DATE

ACKNOWLEDGEMENT:

State of New Mexico)
County of Bernalillo) ss
On this 20th day of June, 1978, before me, a Notary Public in and for the said county, personally appeared the persons whose signatures appear above, who being duly sworn by me, did say they are the owners and proprietors of the land shown hereon, and acknowledged this instrument as their free act and deed.

My commission expires: 6/4/81
Notary Public



SUBJECT TO THE APPROVAL OF THE TRAFFIC ENGINEER WE, THE UNDERSIGNED, AGREE TO CURVE MARBLE AND ALICE AVE. WITHIN 100 FEET AFTER IT ENTERS OUR PROPERTY.

O.J. ROLLAG DATE

VANCE MAUNEY DATE

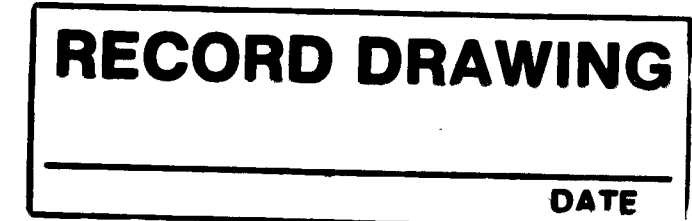
Brass Cap
X = 425,436.93
Y = 1,487,151.59

26 23970285

D8-165 D9-180

D-9-180 2397

SHEET 2 OF 4

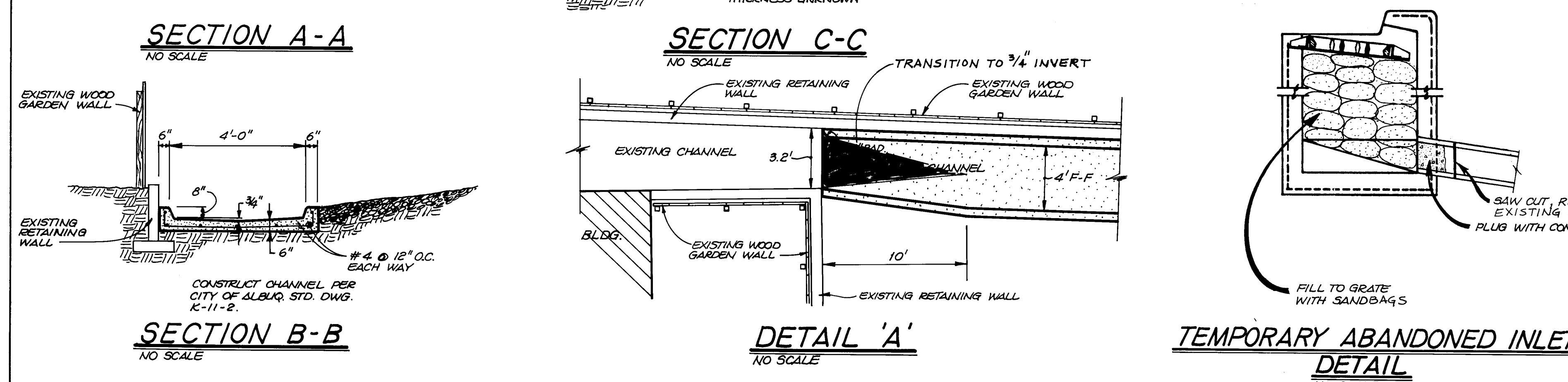
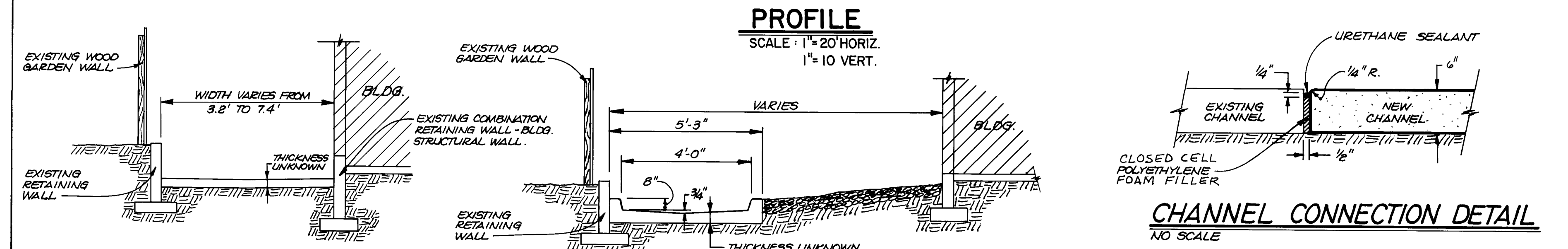
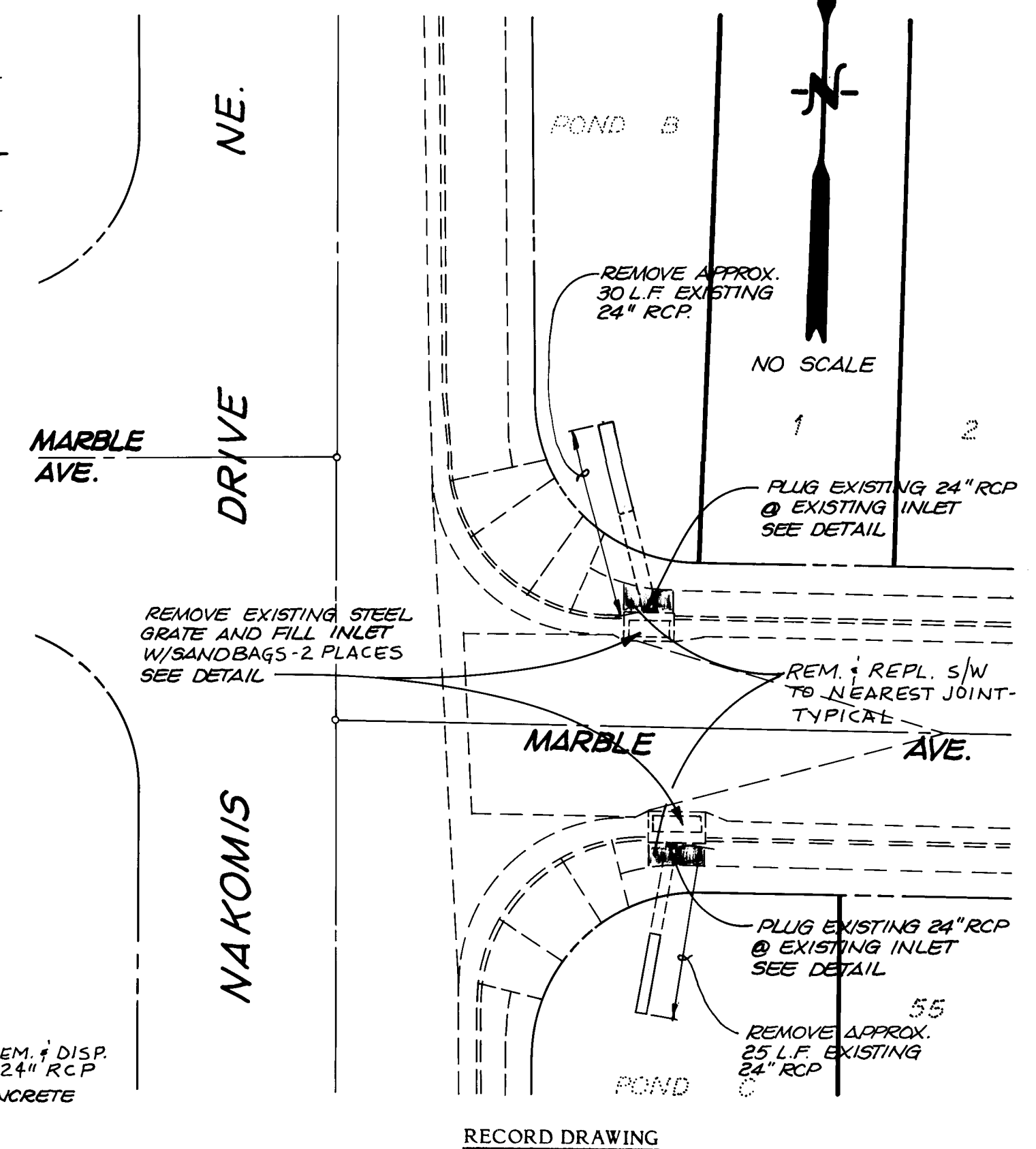
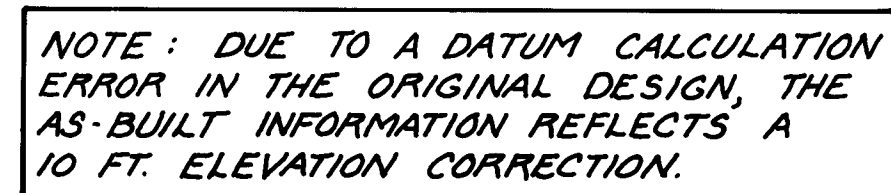


RECORD DRAWING

_____ DATE _____

RECORD DRAWING

_____ DATE _____



NOTES:

1. ALL CHANNEL STATIONING IS BASED ON CENTERLINE OF CHANNEL.
2. ALL COMPACTION ASSOCIATED WITH THE CONSTRUCTION OF DRAINAGE STRUCTURES SHALL BE 95% A.S.T.M. D-1557.

RECORD DRAWING

DATE _____

[illegible]

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: QUAIL RIDGE SUBDIVISION
PLAN & PROFILE

PROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
Engineer	<i>C.A. Sharma</i>	3/2/85	Liquid Waste	<i>NA. Raza</i>	3/15/85
E-Design	<i>M.K. Khan</i>	3/20/85	Traffic	<i>NA. Durrani</i>	3/13/85
E-Hydrology	<i>B.G. Sankhala</i>	3/13/85	Water	<i>NA. Raza</i>	3/15/85

AWING	2397	MAP NO.	J-22	SHEET	4	OF	4
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The improvements shown on this drawing have been as-built in accordance with field surveys performed by Espey, Huston and Associates, Inc. and information provided by Baker/Sparling Contracting, Inc. (contractors) to reflect construction actually accomplished as of this date, to the best of my knowledge and belief.

