

CONSTRUCTION PLANS FOR

SEGO_COX SUBDIVISION

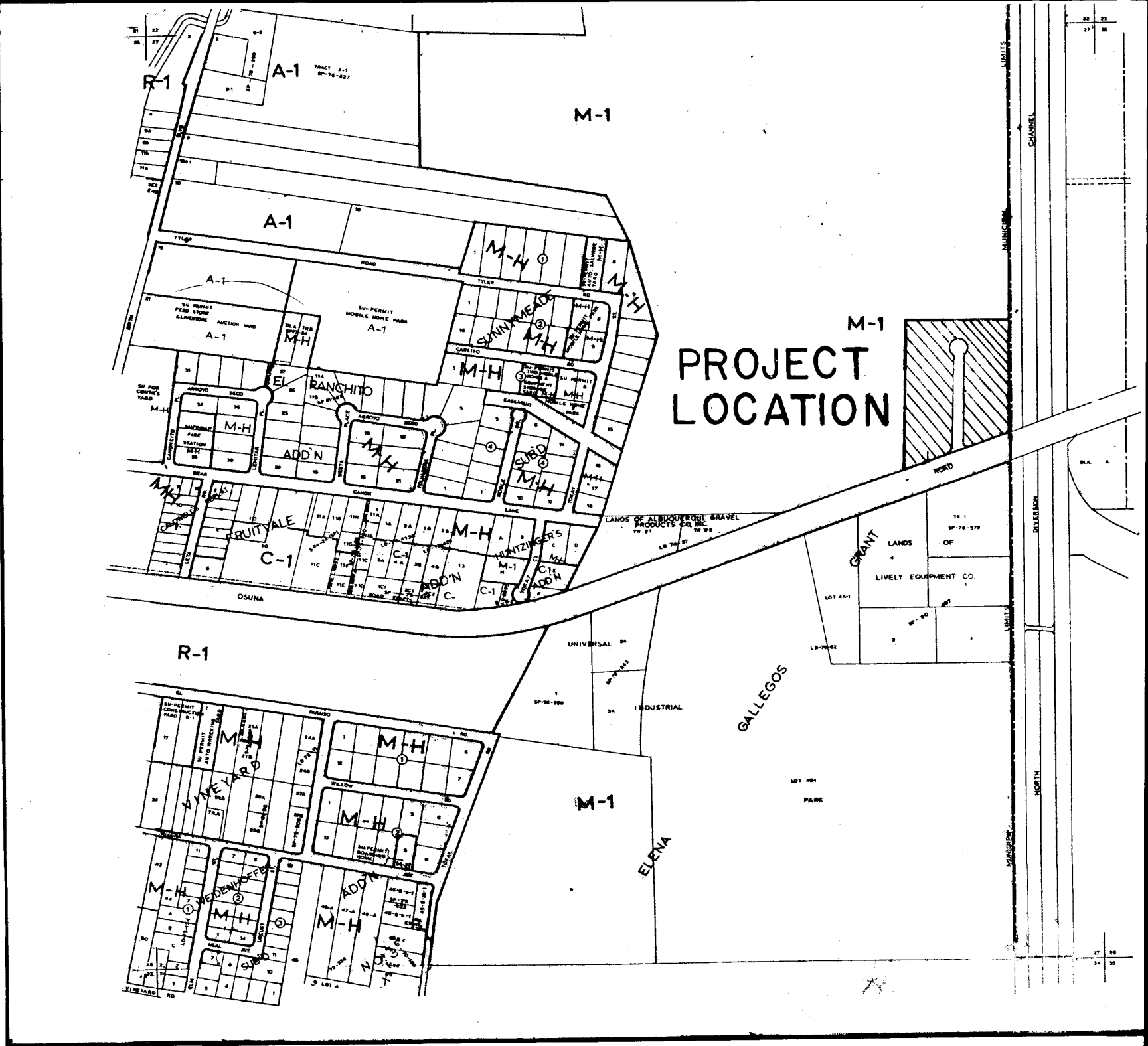
WATER & SEWER LINE DESIGN

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5. PLAT

W.F. McManus
10-1-85

26 24420185



VICINITY MAP E-16

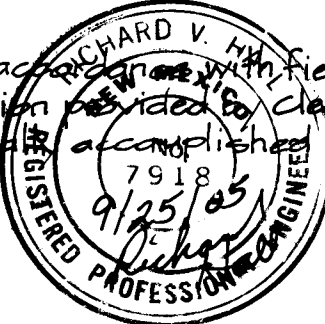
SCALE: 1" = 800'

GENERAL NOTES

1. All work detailed on these plans to be performed under contract shall, except otherwise stated or provided for hereon, be constructed in accordance with the New Mexico Standard Specifications for Public Works Construction - 1979 Edition (referred herein as the Standard Specifications) and the contract documents for Public Works Contract No. 85-1.
2. Two (2) working days prior to any excavation, Contractor must contact line locating service, 765-1234, for location of existing utilities.
3. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
4. All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules, and regulations concerning construction safety and health.
5. Contractor shall maintain access to adjacent properties during construction.
6. All gas, electric, telephone lines, cables, and appurtenances encountered during construction that require relocation, shall be done by the responsible utility. Contractor shall be responsible for coordination of all necessary utility adjustments.
7. It will be the Contractor's responsibility to protect and maintain in service all existing utilities.
8. The Contractor will be required to confine his work within the construction limits and/or public right-of-way to preserve existing vegetation and private property. Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes.
9. A disposal site for all excess excavation material, asphaltic paving, concrete curbs and sidewalks, etc., shall be obtained by the Contractor in compliance with applicable environmental regulations and approved by the Field Engineer. All costs incurred in obtaining a disposal site and haul thereto shall be considered incidental to the project and no separate measurement of payment shall be made.

The improvements shown herein have been as built in accordance with field surveys performed by Hall Engineering Co. and information provided by the water construction (contractor) to reflect construction actually accomplished as of this date, to the best of my knowledge and belief.

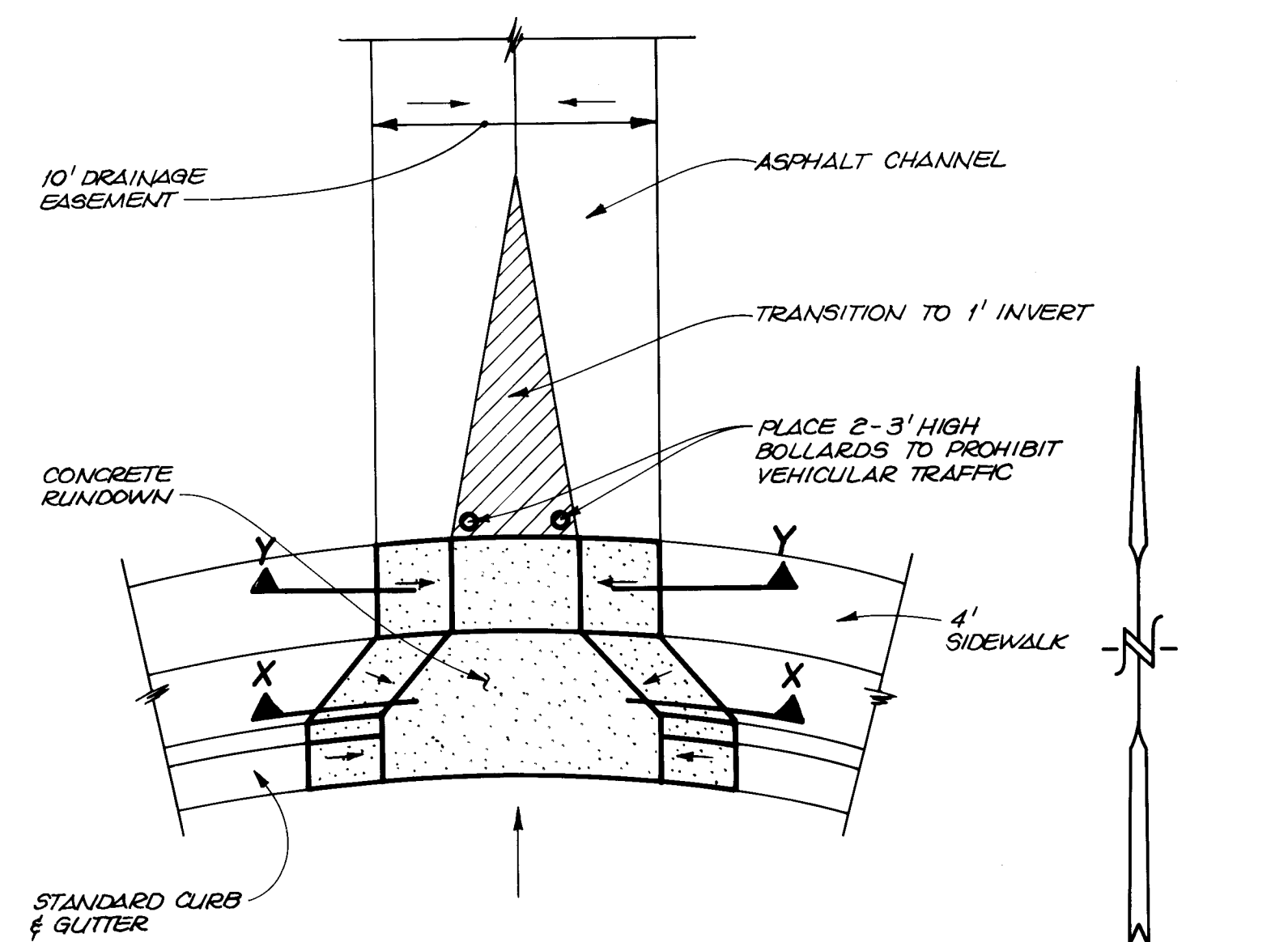
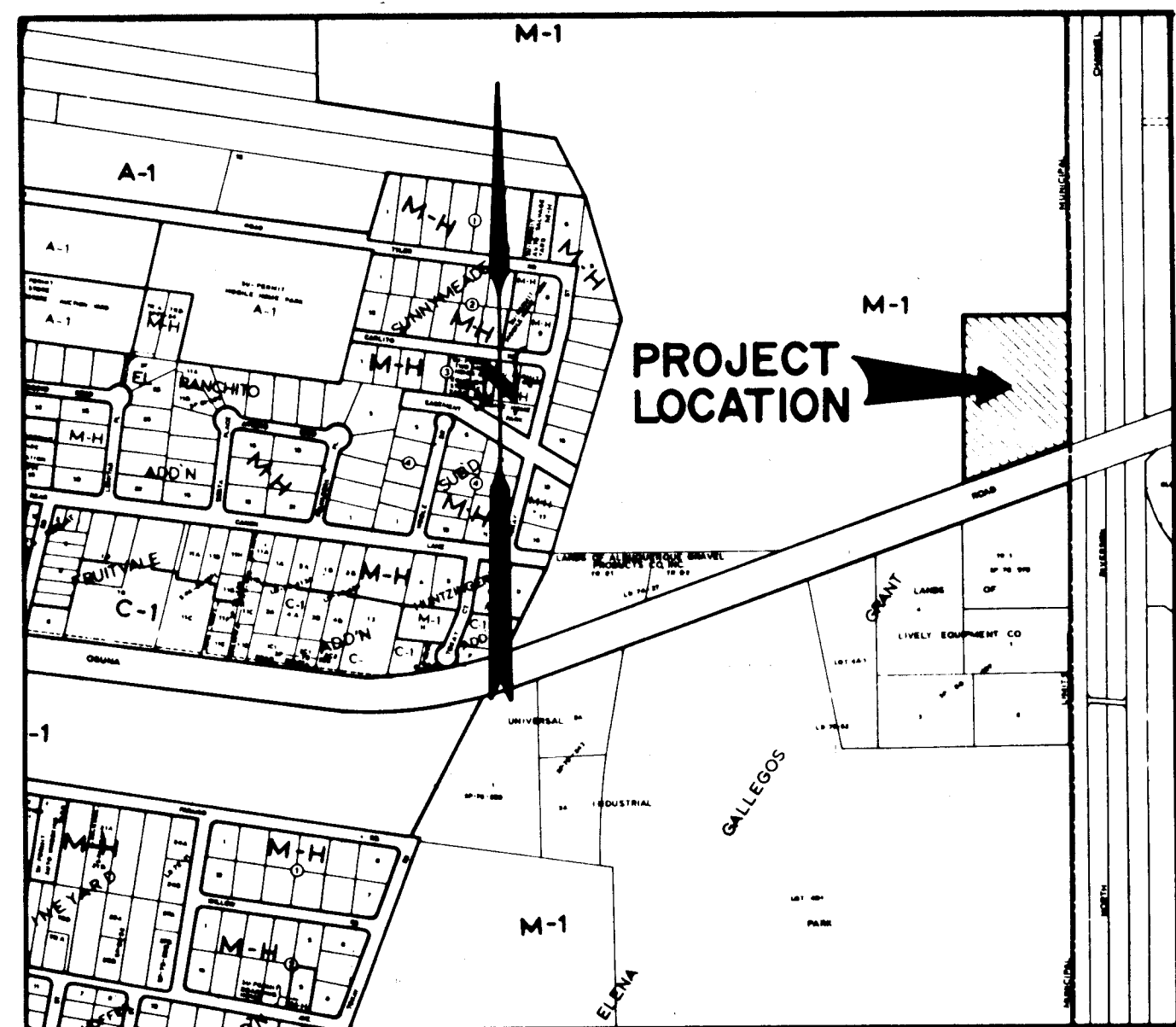
Richard V. Hall
Richard V. Hall N.M.P.E. 1918



REV.	SHEETS	CITY	ENGR.	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
2	3				RDG - WRD		8/15/85			
1	3				8/15/85		8/15/85	Druid/H. Hummer Traffic Eng.		8/15/85

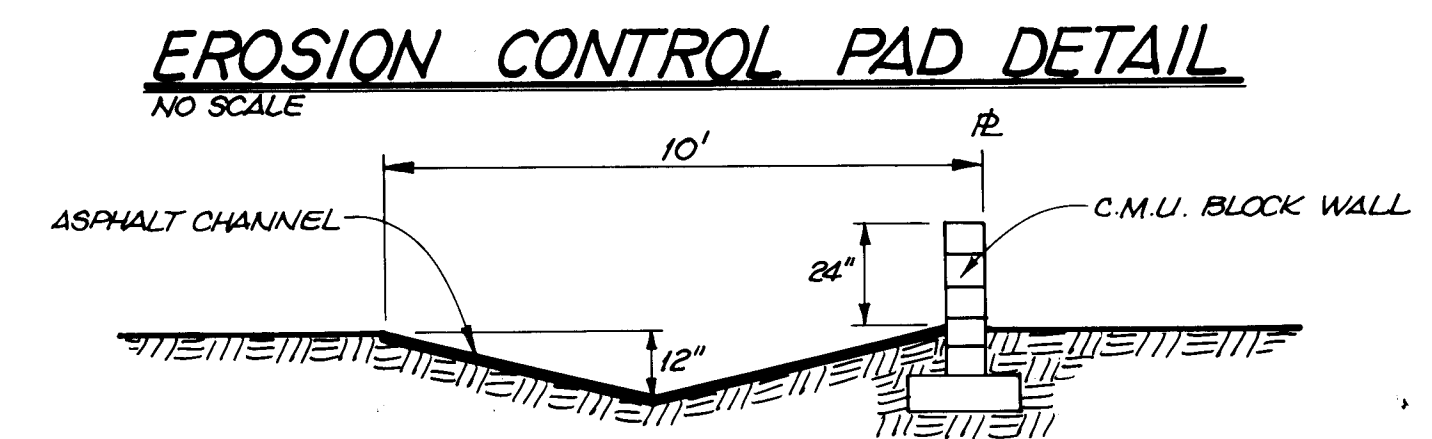
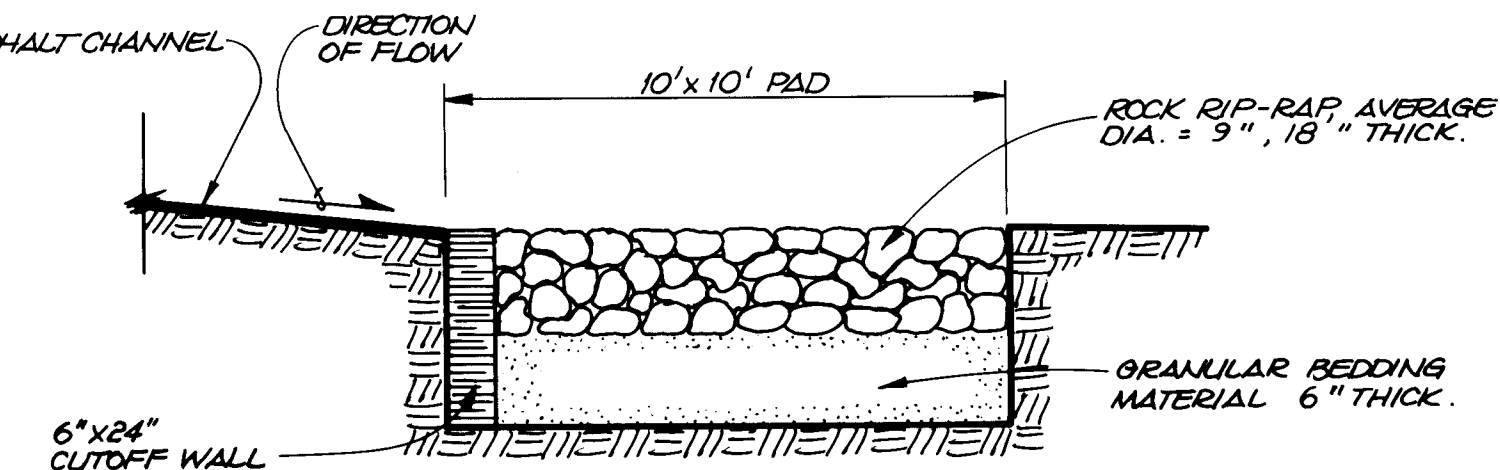
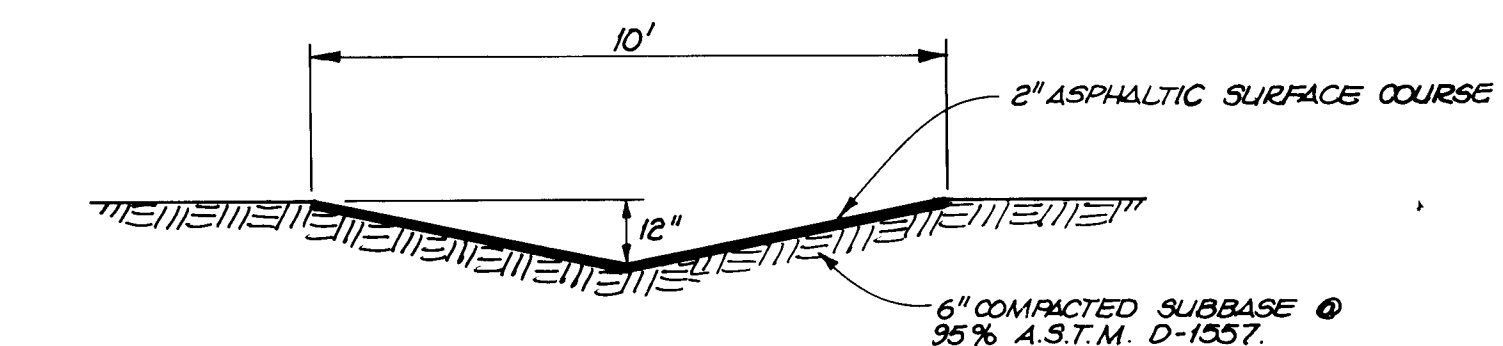
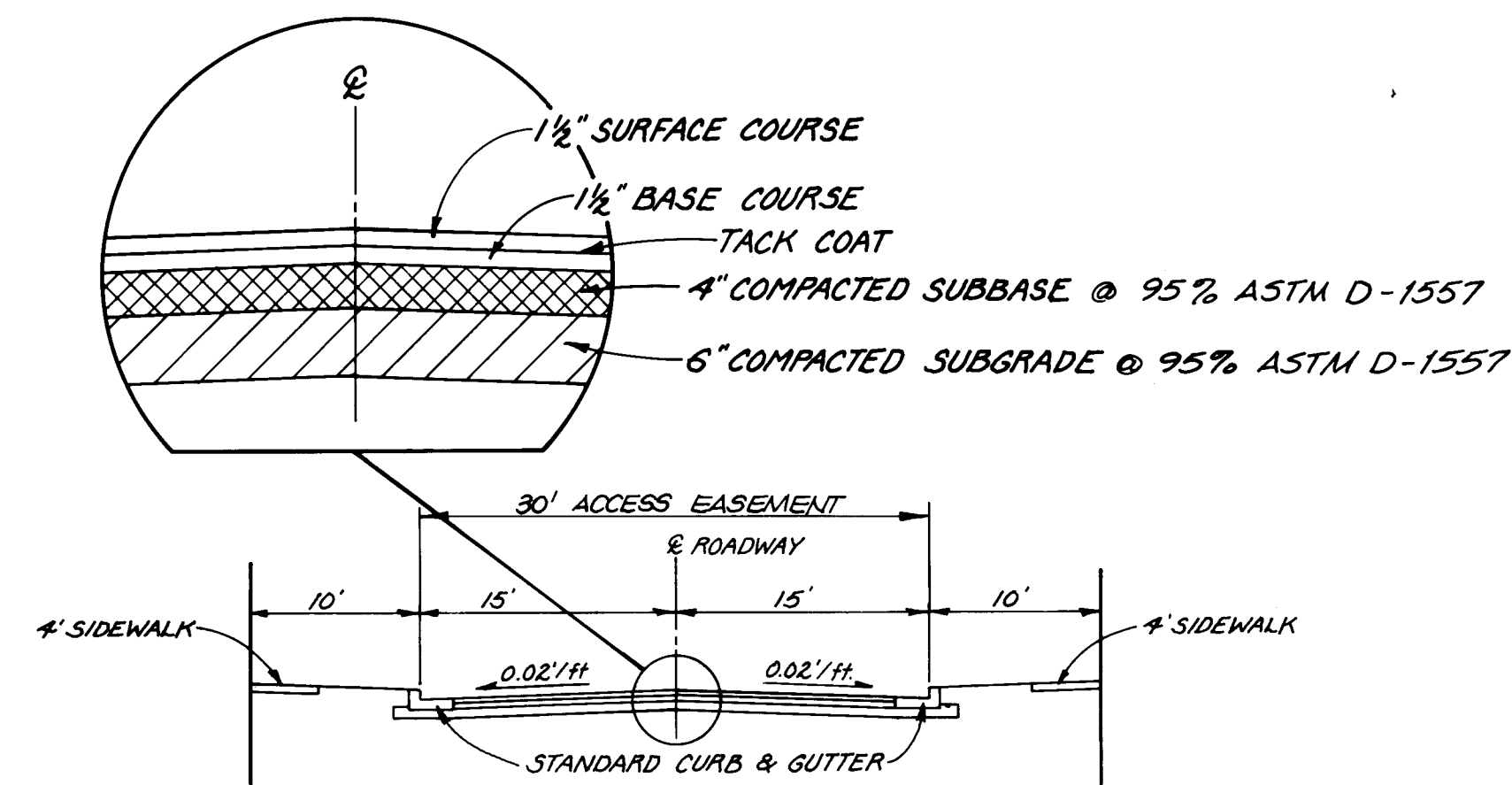
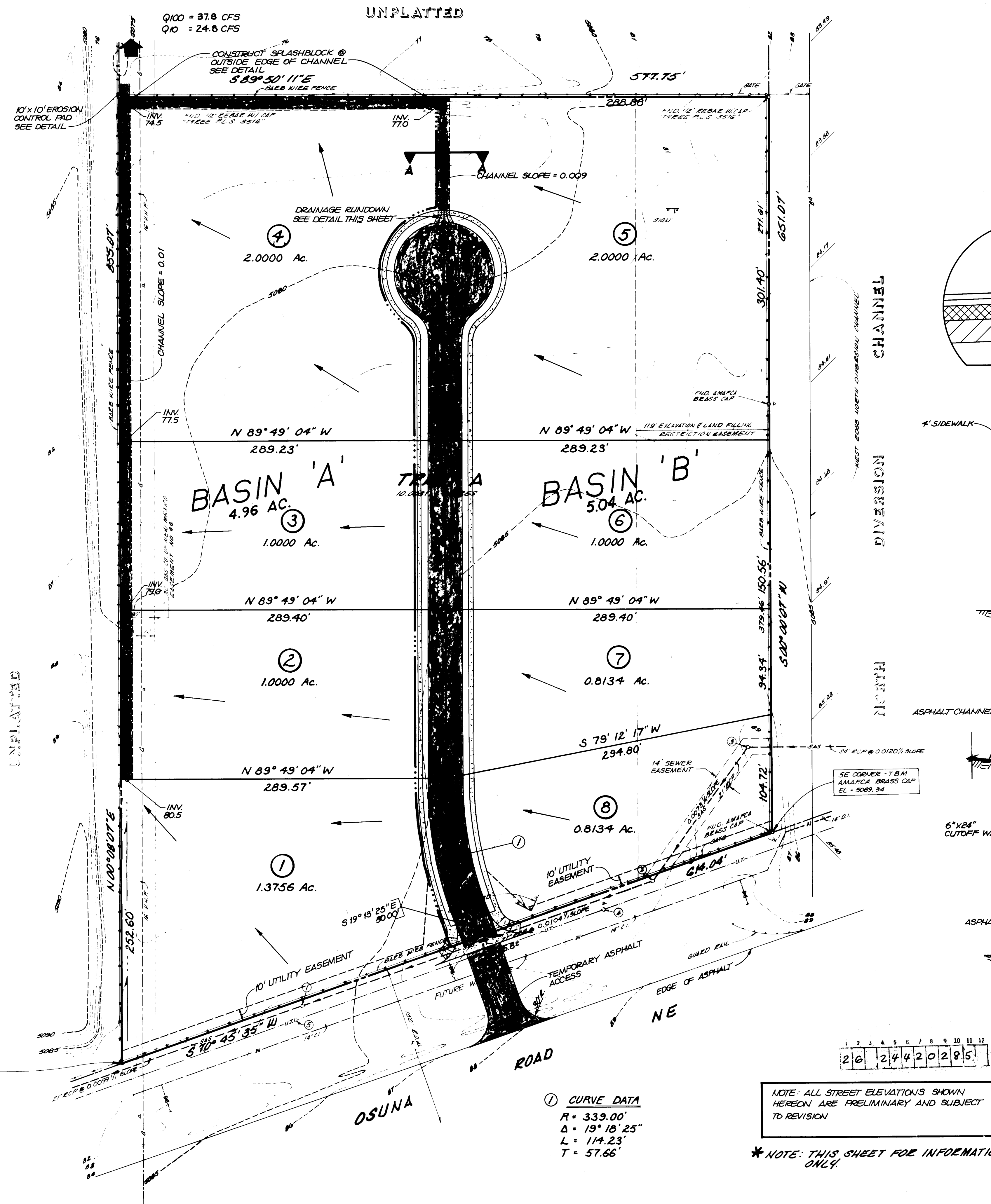
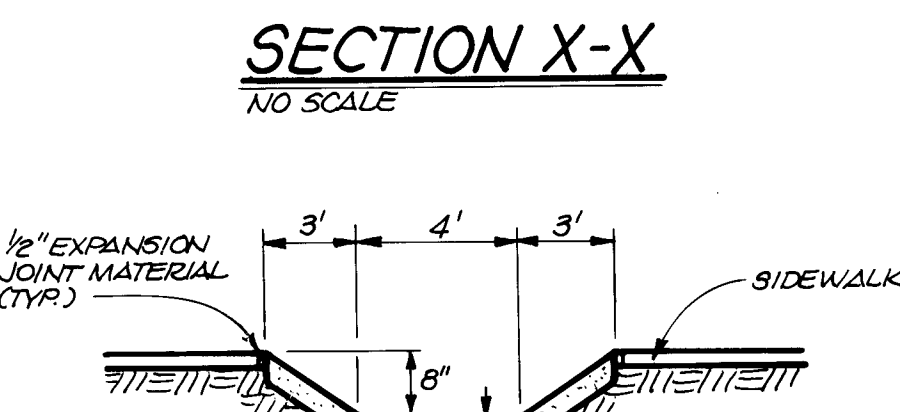
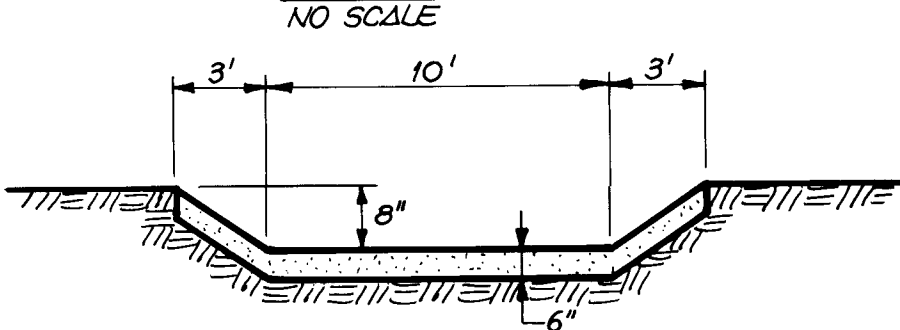
APPROVAL OF REVISIONS

	ENGINEERS SEAL	HALL ENGINEERING COMPANY INC. 337 EUBANK N.E., SUITE 103 ALBUQUERQUE, NEW MEXICO 87123 Phones: (505) 292-1115 & 292-1116	APPROVED FOR CONSTRUCTION <i>W.F. McManus</i> 8/15/85
	PROJECT NUMBER 2442	SHEET 1 OF 5	



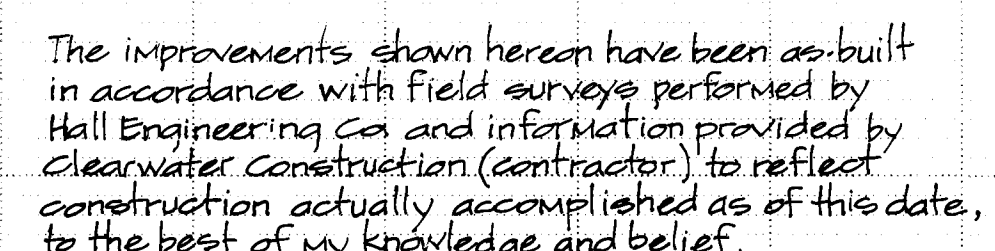
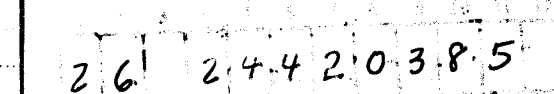
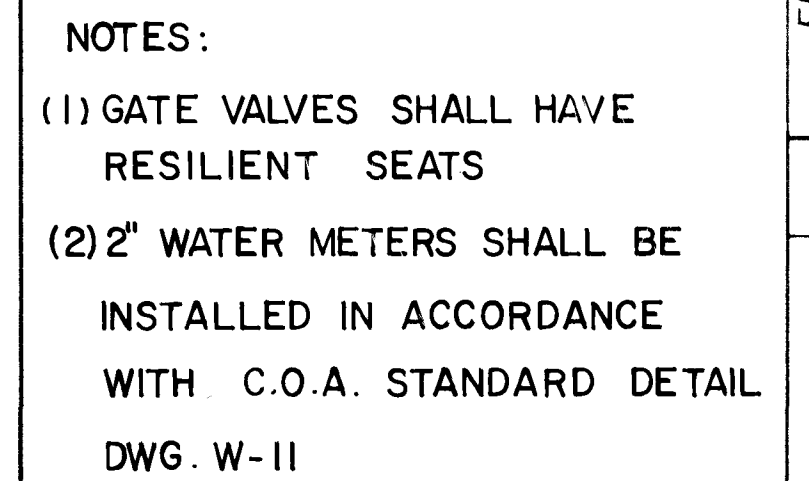
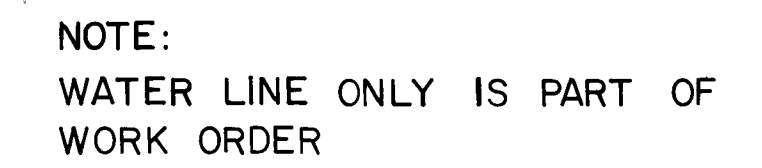
PLAN

DRAINAGE RUNDOWN DETAIL



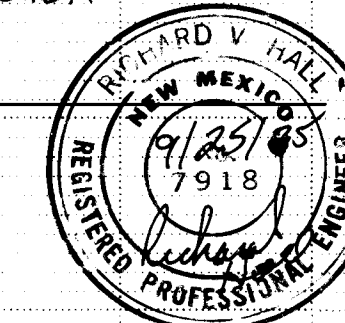
NO	REVISIONS	BY	DATE
SEGO - COX ADDITION DRAINAGE PLAN			
ESPEY, HUSTON & ASSOC., INC. Engineering & Environmental Consultants 7801 INDIAN SCHOOL ROAD NE SUITE 204 ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 255-1625			
DESIGNED BY	DAL	DATE	1-85
DRAWN BY	BT/RO	FB	
CHECKED BY	DAL	JOB NO.	6027
APPROVED BY			

PLATE 2



The improvements shown herein have been as-built in accordance with field surveys performed by Hall Engineering Co. and information provided by Clearwater Construction (contractor), to reflect construction actually accomplished as of this date, to the best of my knowledge and belief.

Richard V Hall
Richard V. Hall N.M.P.E. 7418



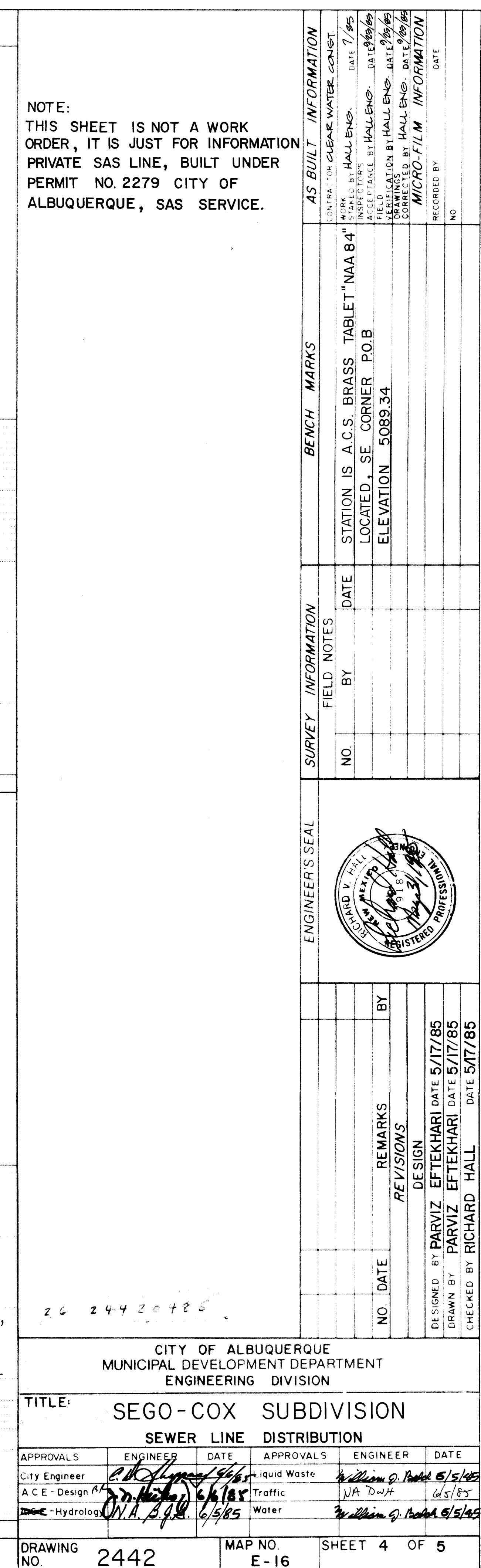
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

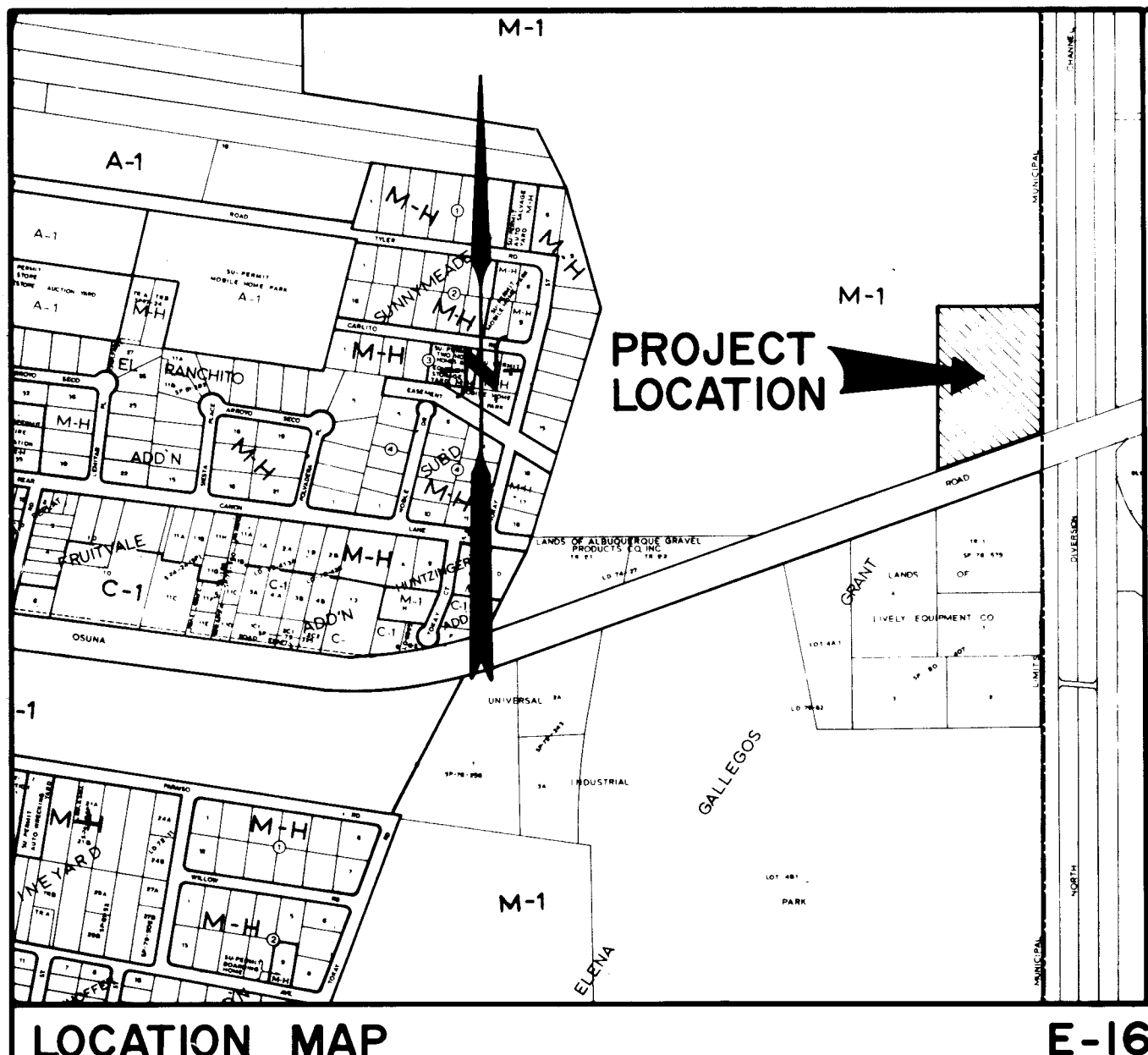
TITLE: SEGO-COX SUBDIVISION

STREET PAVING AND WATER LINE DISTRIBUTION

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	P. W. O'Connell	6/6/85	Liquid Waste	William G. Prida	6/5/85
A C E - Design	P. W. O'Connell	6/6/85	Traffic	W. A. D. W.	6/5/85
A C E - Hydrology	W. A. D. W.	6/5/85	Water	William G. Prida	6/5/85

DRAWING NO.	2442	MAP NO.	E-16	SHEET 3 OF 5
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LOCATION MAP
SCALE: 1"=800'

PURPOSE OF THIS PLAT

1. Subdivide Tract A into 8 lots.
2. Grant public water and private access and sanitary sewer easements, drainage easements, utility and gas line easements as shown.

SUBDIVISION DATA

1. D.R.B. Case No. 85-65
2. Zone Atlas No.: E-16
3. Gross Acreage: 10.0024 Acres
4. Number of lots created: 8
5. Date of Survey: 01-02-85 (FB #36)
6. Utility Council Location System Log No.: SP-01-16-1076

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Unless shown otherwise, all points are set with 5/8" rebar with cap "EH&A L.S. 7719".

UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-01-16-1076

DESCRIPTION

A tract of land situate within projected Section 27, Township 11 North, Range 3 East, New Mexico Principal Meridian, within the Elena Gallegos Grant, Bernalillo County, New Mexico and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being the intersection of the west right-of-way line of the North Diversion Channel and the north right-of-way line of Osuna Road N.E., and being common with the southeast corner of the SEGO-COX SUBDIVISION, as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on December 26, 1984 (Document No. 8497676, Book C25, Page 197);

THENCE along the north right-of-way line of Osuna Road N.E. S 70° 46' 35" W, 614.02 feet to the southwest corner;

THENCE leaving said right-of-way line N 00° 08' 56" E, 855.03 feet to the northwest corner;

THENCE S 89° 49' 04" E, 577.76 feet, to the northeast corner, said point being on the west right-of-way line of the North Diversion Channel;

THENCE along said right-of-way line S 00° 01' 05" W, 651.02 feet to the point of beginning and containing 10.0024 acres more or less.

FREE CONSENT AND DEDICATION

The subdivision herein described is with free consent and in accordance with the desires of the undersigned owners and/or proprietors thereof and said owners and/or proprietors do hereby grant the following:

1. UTILITY EASEMENTS: 10 foot utility and sidewalk easement as shown hereon is granted for the common and joint use and benefit of:
 - a. The Public Service Company of New Mexico, Gas Company of New Mexico, Mountain Bell Telephone and Albuquerque Cable Television, Inc. for installation and maintenance of constructed facilities necessary to provide electric, telephone, natural gas and cable television service to the residents of the subdivision shown hereon, which shall include the rights of ingress and egress (both surface and subsurface), and the right to trim interfering trees.
 - b. The City of Albuquerque for installation, service, and maintenance of water and sanitary sewer lines, valves, pumps, hydrants, and/or related equipment and facilities reasonably necessary to provide fire protection and potable water to the residents of the subdivision shown hereon and also to provide a liquid waste disposal system in accordance with the plans and procedures of the City of Albuquerque.
2. PUBLIC WATER: Public water easement as shown hereon is granted for installation, service and maintenance of water lines, valves, pumps, hydrants and/or other related equipment and facilities reasonably necessary to provide fire protection and potable water to the residents of the subdivision shown hereon in accordance with the plans and procedures of the City of Albuquerque.
3. GAS LINE EASEMENTS: Gas line easement is granted to the Gas Company of New Mexico for installation and maintenance of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service to the residents of the subdivision shown hereon, which shall include the rights of ingress and egress.
4. PRIVATE ACCESS EASEMENT: Private access easement as shown hereon is granted for the common and joint use and benefit of:
 - a. The City of Albuquerque for access over and across the private roadway as shown hereon for the purpose of allowing various operating departments to provide service to the residents of the subdivision shown hereon in the same manner as to and to the same extent as though the private roadway shown hereon was a dedicated public street. "Operating Departments" as referred to above shall include, but not be limited to, the departments of the City of Albuquerque providing the following services: (1) Police protection; (2) Fire protection; (3) Water Resources; (4) Solid refuse and liquid waste disposal; (5) Animal Control; and (6) Planning functions.
 - b. The residents, owners and/or proprietors of the subdivision shown hereon to access their property over and across the private roadway as shown hereon. It shall be the duty of said residents, owners and/or proprietors to maintain said private roadway at residents, owners and/or proprietors cost and said residents, owners and/or proprietors do hereby agree not to obstruct said private roadway.
5. PRIVATE DRAINAGE AND SANITARY SEWER EASEMENTS: Private drainage and sanitary sewer easements as shown hereon to be privately and collectively owned by the owners of the individual properties which the easements serve. It shall be the duty of said owners and/or proprietors to maintain said drainage and sanitary sewer easements and facilities at owners and/or proprietors cost and said owners and/or proprietors do hereby agree not to obstruct or alter contours of said drainage easements and facilities thereof.

On this 25th day of January, 1985, the foregoing instrument was acknowledged before me, My commission expires 1-25-85

William A. Sego, Notary Public, State of New Mexico, County of Bernalillo

On this 25th day of January, 1985, the foregoing instrument was acknowledged before me, My commission expires 1-25-85

James L. Sego, Notary Public, State of New Mexico, County of Bernalillo

On this 25th day of January, 1985, the foregoing instrument was acknowledged before me, My commission expires 1-25-85

David L. Sego, Notary Public, State of New Mexico, County of Bernalillo

SEGO-COX SUBDIVISION
LOTS 1 THROUGH 8

BEING A REPLAT OF
SEGO-COX SUBDIVISION
TRACT A
SITUATE WITHIN
PROJECTED SECTION 27
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
ELENA GALLEGOS GRANT
BERNALILLO COUNTY, NEW MEXICO
JANUARY 1985

APPROVED AND ACCEPTED BY: SUBDIVISION CASE No. S-85-7

Planning Director, City of Albuquerque, NM Date
City Engineer, City of Albuquerque, NM Date
AMAFCA Date
Traffic Engineer, City of Albuquerque, NM Date
Chief City Surveyor, Engineering Division Date
Property Management, City of Albuquerque, NM Date
Water Resources, City of Albuquerque, NM Date
Parks and Recreation, City of Albuquerque, NM Date
Public Service Company of New Mexico Date
Gas Company of New Mexico Date
Mountain Bell Telephone Date

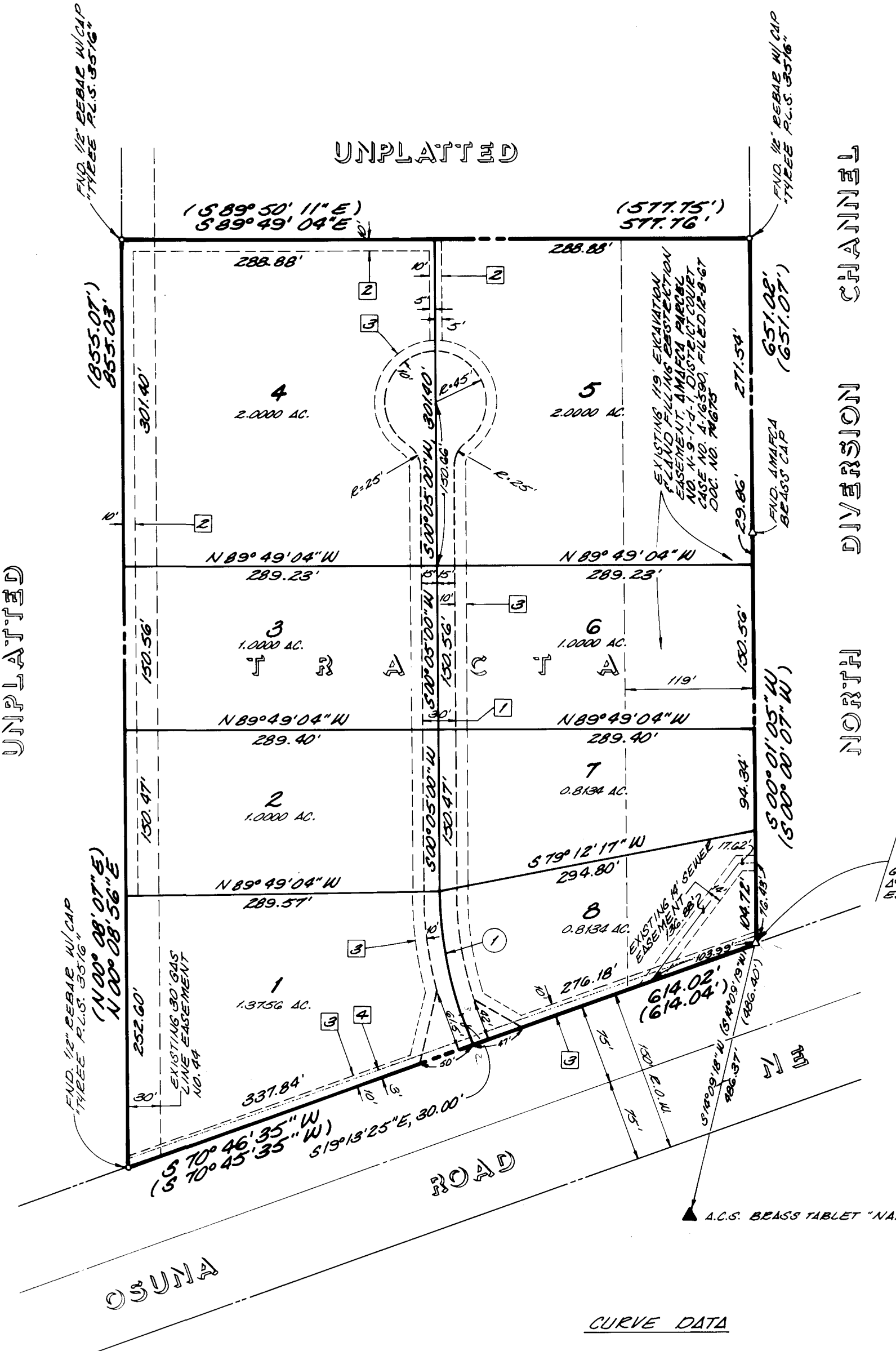
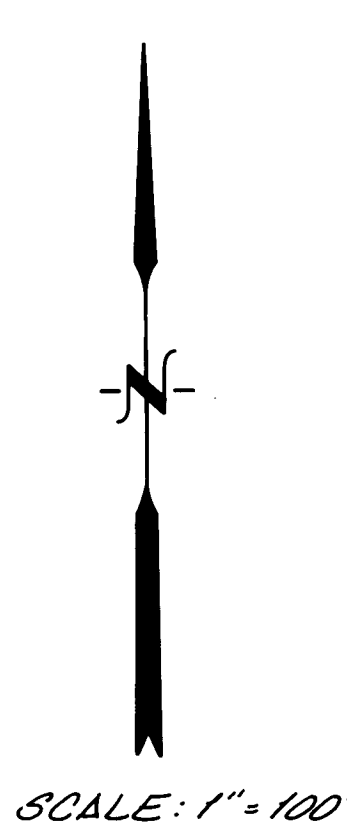
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, do hereby certify that I am a Registered Professional Land Surveyor under the laws of the State of New Mexico, and that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich, N.M.P.L.S. No. 7719 Date 1/25/85
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss
On this 25th day of January, 1985, the SURVEYORS CERTIFICATION was acknowledged before me,
Carol Eng, Notary Public

COMPUTER FILE: G2PT
JOB NO. G2PT-02
DATE 1-25-85
DRAWN LASHKUNSKI
P.L. ENG
DATE 1-16-85
Sheet 1 of 2
ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 ROMAN SCHOOL ROAD, N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-1655

UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-01-16-1076



- EASEMENTS GRANTED BY THIS PLAT
1. PRIVATE ACCESS, DRAINAGE (SANITARY SEWER), PUBLIC WATER & GAS LINE EASEMENTS
 2. 10' PRIVATE DRAINAGE EASEMENT
 3. 10' UTILITY & SIDEWALK EASEMENT
 4. 3' ADDITIONAL STREET RIGHT-OF-WAY TO BE DEDICATED TO ALBUQUERQUE

SEGO-COX SUBDIVISION
LOTS 1 THROUGH 8

BEING A REPLAT OF
SEGO-COX SUBDIVISION
TRACT A
SITUATE WITHIN
PROJECTED SECTION 27
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
ELENA GALLEGOS GRANT
BERNALILLO COUNTY, NEW MEXICO
JANUARY 1985

NOTE: THIS SHEET FOR
INFORMATION ONLY.

SURVEYOR'S CERTIFICATION

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Timothy Aldrich, N.M.P.L.S. No. 7719 Date 1/25/85
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss
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Carol Eng, Notary Public

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P.L. ENG
DATE 1-16-85
Sheet 2 of 2
ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
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PHONE (505) 255-1655