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26-2856-2011

SCANNED BY
PLANNING

CONSTRUCTION PLANS FOR

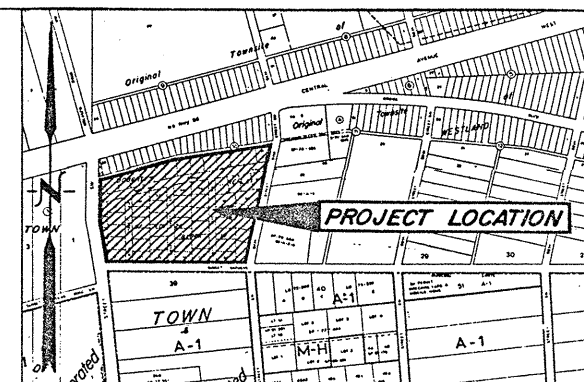
MOUNTAIN VIEW

MOBILE HOME PARK

PUBLIC IMPROVEMENTS

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1.	COVER SHEET
2, a, b, c, d	PLAT SHEETS
3.	GRADING PLAN
4.	OVERALL PAVING & UTILITY PLAN <u>UTILITY IMPROVEMENTS PLAN & PROFILE</u>
5.	WATER LINE IMPROVEMENTS-LINE "A" STA. 0+00.00 TO STA. 9+35.53
6.	WATER LINE IMPROVEMENTS-LINE "A" STA. 9+35.53 TO STA. 25+13.36
7.	WATER LINE IMPROVEMENTS-LINE "A" STA. 25+13.36 TO STA. 34+97.63, LINE "B" & LINE "C"
8.	CENTRAL AVENUE WEST- LEFT TURN BAY PLAN & PROFILE
9.	SANITARY SEWER IMPROVEMENTS - 94TH ST. S.W. PLAN & PROFILE
10.	SUNSET GARDENS RD.- PLAN & PROFILE (NOT IN CONTRACT)
11.	94TH STREET - PLAN & PROFILE (NOT IN CONTRACT)



VICINITY MAP

SCALE: 1"=800'

L-9

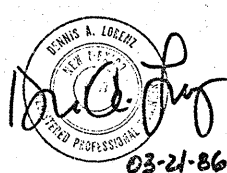
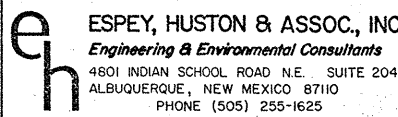
GENERAL NOTES

- All work detailed on these plans to be performed under contract, unless stated otherwise or provided for herein, shall be constructed in accordance with the City of Albuquerque Interim Standard Specifications Public Works Construction, 1985 (referred herein as "Standard Specifications").
- Two (2) working days prior to any excavation, Contractor must contact line locating service, 765-1234, for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules, and regulations concerning construction safety and health.
- Contractor shall maintain access to adjacent properties during construction.
- All gas, electric, telephone lines, cables, and appurtenances encountered during construction that require relocation, shall be done by the responsible utility. Contractor shall be responsible for coordination of all necessary utility adjustments.
- It will be the Contractor's responsibility to protect and maintain in service all existing utilities.
- The Contractor will be required to confine his work within the construction limits and/or public right-of-way to preserve existing vegetation and private property. Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes.
- A disposal site for all excess excavation material, asphaltic paving, concrete curbs and sidewalks, etc., shall be obtained by the Contractor in compliance with applicable environmental regulations and approved by the Field Engineer. All costs incurred in obtaining a disposal site and haul thereto shall be considered incidental to the project and no separate measurement or payment shall be made.
- When abutting new pavement to existing, sawcut existing pavement to a straight edge and at a right angle, or as approved by the Project Engineer, to remove any broken or cracked pavement.
- The Contractor must submit a construction signing and barricading plan to Traffic Engineering a minimum of three (3) working days prior to construction to receive a barricading permit.
- Backfill compaction shall be according to specified street use.
- All trench backfill shall be compacted to a minimum 90% maximum density as per ASTM D-1557.

APPROVED
FOR
CONSTRUCTION

CITY OF

REV.	SHEETS	CITY	ENGR.	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS										

ENGINEERS SEAL		APPROVED FOR CONSTRUCTION	
			
PROJECT NUMBER		SHEET 1 OF 11	
2856			

C30-119(2)



LOCATION MAP

L-9

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are recorded.
4. Unless otherwise indicated, all points marked with an open circle are set 5/8" rebar with cap "FH&A L.S. 7719".

PURPOSE OF PLAT

1. Vacate interior lot lines of Lots 28 through 91, Dougherty's Replat of Lot 28, Block 10 of Central Townsite of Westland "in" Lots 1 through 18 of Original Townsite of Westland.
2. Vacate public rights-of-way, Plainview Road SW, Longview Road SW, Fairview Road SW, Westland Road SW, (Vac. Ord. V-85-43) and a portion of a Public Alley (Vac. Ord. V-85-44).
3. Create Lots 1A-13A, 16A-18A, and 28A.
4. Dedicate additional rights-of-way as shown hereon.
5. Grant Electrical Power, Communication, Gas and Public Water Line easements as shown hereon.
6. Grant Private Access Easements as shown hereon.

DESCRIPTION

A tract of land situate within projected Section 28, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Artesco Grant, Bernalillo County, New Mexico being LOTS 1-18, BLOCK 10, ORIGINAL TOWNSITE OF WESTLAND, and the same is shown and designated on said plat, dated 1945 (D-35) of the County Clerk of Bernalillo County, New Mexico, and is more particularly described as follows:

BEGINNING at the northeast corner of the herein described tract, said point being the intersection of the south right-of-way line of Central Avenue West and the west right-of-way line of 94th Street SW, from whence NGS Brass Cap "REWARD" bears N 32° 59' 26" W, 5940.94 feet;

THENCE along the west right-of-way line of 94th Street SW, S 08° 04' 12" E, 216.68 feet to a point;

THENCE continuing S 12° 34' 37" W, 970.08 feet to the southeast corner, said point being on the north right-of-way line of Sunset Gardens Road SW;

THENCE along said right-of-way line N 89° 43' 23" W, 1070.19 feet to the southwest corner, said point being on the east right-of-way line of 98th Street SW;

THENCE along said right-of-way line N 09° 29' 59" W, 523.22 feet to a point;

THENCE continuing N 00° 17' 47" E, 148.02 feet to a point, said point being on the centerline of a vacated Public Alley;

THENCE along said centerline N 75° 01' 25" E, 494.45 feet to a point;

THENCE leaving said centerline N 14° 58' 35" W, 129.99 feet to a point; said point being on south right-of-way line of Central Avenue West;

THENCE along said right-of-way line N 75° 01' 25" E, 923.91 feet to the point of beginning and containing 26.5908 acres more or less.

UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-04-22-1926

SUBDIVISION DATA

1. DRB Case No. 86-276
2. Zone Atlas Index No. L-9
3. Total Number Lots Created: 17
4. Gross Subdivision Acreage: 26.5908
5. Date of Survey: June 20, 1985 (P.B. #60 & #80)

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owners and/or proprietors thereof, said owners and/or proprietors do hereby dedicate to the public rights-of-way shown hereon for the use of the State of New Mexico, the County of Bernalillo, the City of Albuquerque, and the City of Westland, the easements reserved for overhead distribution lines for pole type utilities and buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The undersigned owners and/or proprietors do hereby grant Gas Line easements for installation and maintenance of natural gas lines, valves, and other equipment and facilities reasonably necessary to provide gas to residents of the subdivision and such shall include the right of ingress and egress for construction and maintenance of such facilities. Public Waterline easements for installation, maintenance, and operation of waterlines, valves, pumps, hydrants and/or other related equipment and facilities reasonably necessary to provide fire protection and potable water to the residents of the subdivision shown hereon in accordance with the plans and procedures of the City of Albuquerque. The undersigned owners and/or proprietors do hereby grant private access easements as shown hereon to be individually and privately and collectively owned by the owners of LOT 28A. It shall be the duty of said owners and/or proprietors of LOT 28A to maintain said access easements at owners and/or proprietors expense. The undersigned owners and/or proprietors do hereby dedicate to the public the following: lot lines, vacation of public rights-of-way, and vacation of a portion of a public alley.

WEST MESA DEVELOPMENT GROUP

Curtis A. Brewer, Managing Director
Date 4/29/86

STATE OF NEW MEXICO) ss
COUNTY OF BERNALILLO)

On this 29th day of April, 1986, the FREE CONSENT AND DEDICATION was acknowledged before me.

Notary Public
Date 4-29-86

Julio Vincioni, Managing Director
Date 4-29-86

STATE OF NEW MEXICO) ss
COUNTY OF BERNALILLO)

On this 27th day of April, 1986, the FREE CONSENT AND DEDICATION was acknowledged before me.

Notary Public
Date 4-27-86

Clayton Ross, Managing Director
Date 4-27-86

STATE OF NEW MEXICO) ss
COUNTY OF BERNALILLO)

On this 27th day of April, 1986, the FREE CONSENT AND DEDICATION was acknowledged before me.

Notary Public
Date 4-27-86

PLAT FOR

VISTA

LOTS 1A-13A, 16A-18A & 28A
ALBUQUERQUE, NEW MEXICO
APRIL, 1986

APPROVED AND ACCEPTED BY:

Subdivision Case No. SP-86-190

Richard J. Doughty, Planning Director, City of Albuquerque, N.M. 5-20-86
Fred J. Gagne, City Engineer, City of Albuquerque, N.M. 5-16-86
Fred J. Gagne, City Engineer, City of Albuquerque, N.M. 5-16-86
Timothy Aldrich, Albuquerque Metropolitan Attyo Flood Control Authority 5-16-86
Timothy Aldrich, Traffic Engineer, City of Albuquerque, N.M. 5-16-86
Timothy Aldrich, Water Resources Department, City of Albuquerque, N.M. 5-19-86
Timothy Aldrich, Park & Recreation Department, City of Albuquerque, N.M. 5-17-86
Timothy Aldrich, Chief City Supervisor, City of Albuquerque, N.M. 05/06/86
Timothy Aldrich, Property Management, City of Albuquerque, N.M. 5-9-86
Timothy Aldrich, Gas Company of New Mexico 5-7-86
Timothy Aldrich, Notary Public, City of Albuquerque, N.M. 5-7-86

SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, dated March 26, 1986, Policy No. M174767, US LIFE TITLE INSURANCE CORPORATION, DALLAS, dated October 29, 1985, Policy No. 0090079, Policy No. 0081132, dated April 29, 1985, LAWYERS TITLE INSURANCE CORPORATION, dated March 19, 1984, Policy No. 85-00-07863 and STEWART TITLE GUARANTY COMPANY, dated July 1, 1983, Policy No. 640466, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility easements and other matters of record and interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich 04/16/86
Date

STATE OF NEW MEXICO) ss
COUNTY OF BERNALILLO)

On this 16th day of April, 1986, the SURVEYOR'S CERTIFICATION was acknowledged before me.

Notary Public
Date 4-16-86

Job No. 6753
Office TA, D.J., VL
Draft CE, VH
P.L. GO, BO
Date 4-86
ESPEY, HUSTON & ASSOC., INC.
Engineering & Development Consultants
4801 RANCHO ROAD, N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-4425

SHEET 1 OF 7

C30-119(1)

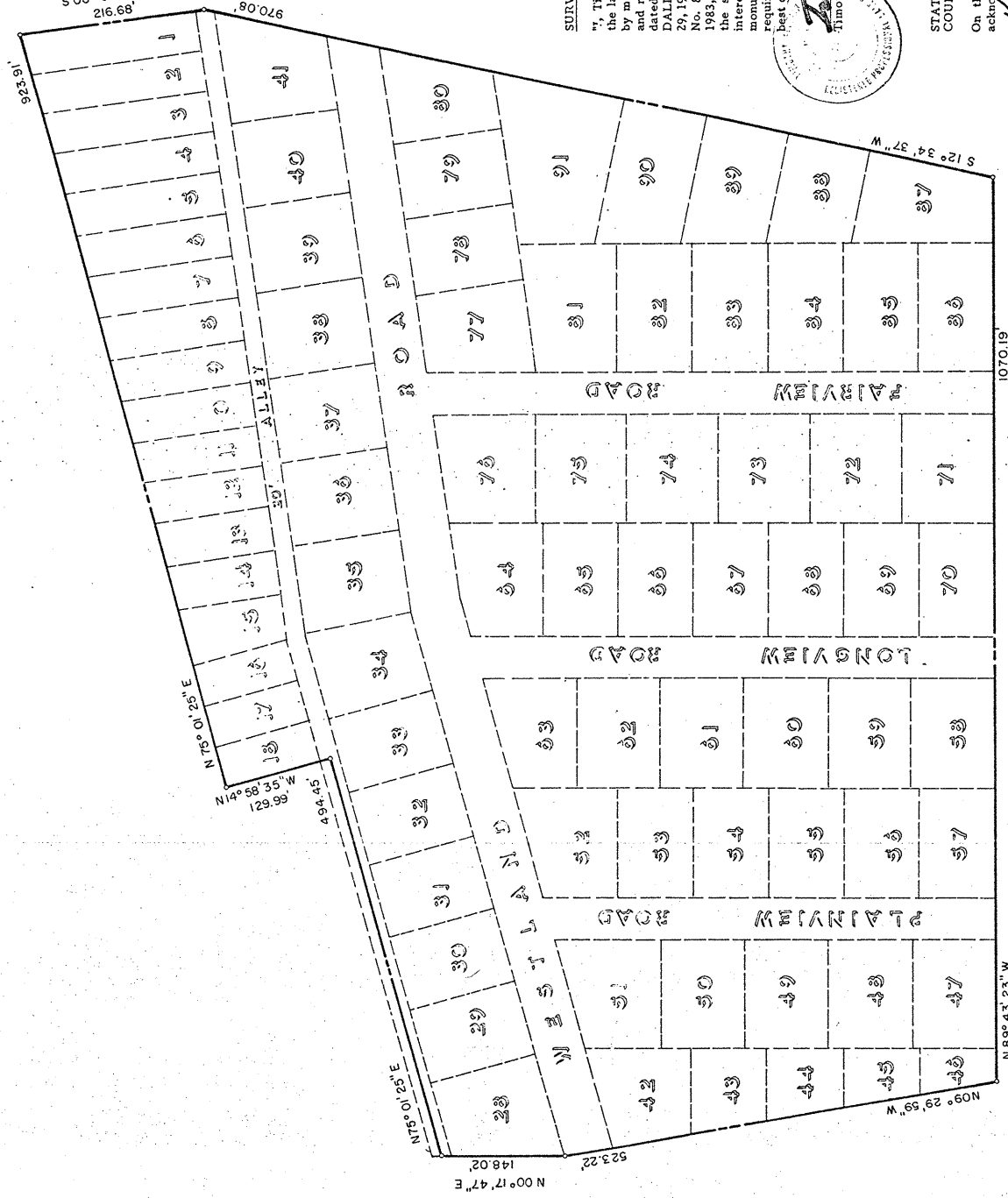
UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-04-22-1926

C30-119(2)

PLAT FOR

VISTA

LOTS 1A-13A, 16A-18A & 28A
ALBUQUERQUE, NEW MEXICO
APRIL, 1986



SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, and noted in title reports prepared by TITLE USA INSURANCE CORPORATION, DALLAS, dated October 29, 1985, Policy No. 0090079, Policy No. 0081132, dated April 29, 1985, LAWYERS TITLE INSURANCE CORPORATION, dated March 19, 1984, Policy No. 85-00-07863 and STEWART TITLE GUARANTY COMPANY, dated July 1, 1983, Policy No. 640466, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility easements and other matters of record and interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich 05/06/86
Date

STATE OF NEW MEXICO) ss
COUNTY OF BERNALILLO)

On this 6th day of May, 1986, the SURVEYOR'S CERTIFICATION was acknowledged before me.

Notary Public
Date 5-6-86

LOT LINES AND RIGHT-OF-WAYS TO BE VACATED BY THIS PLAT

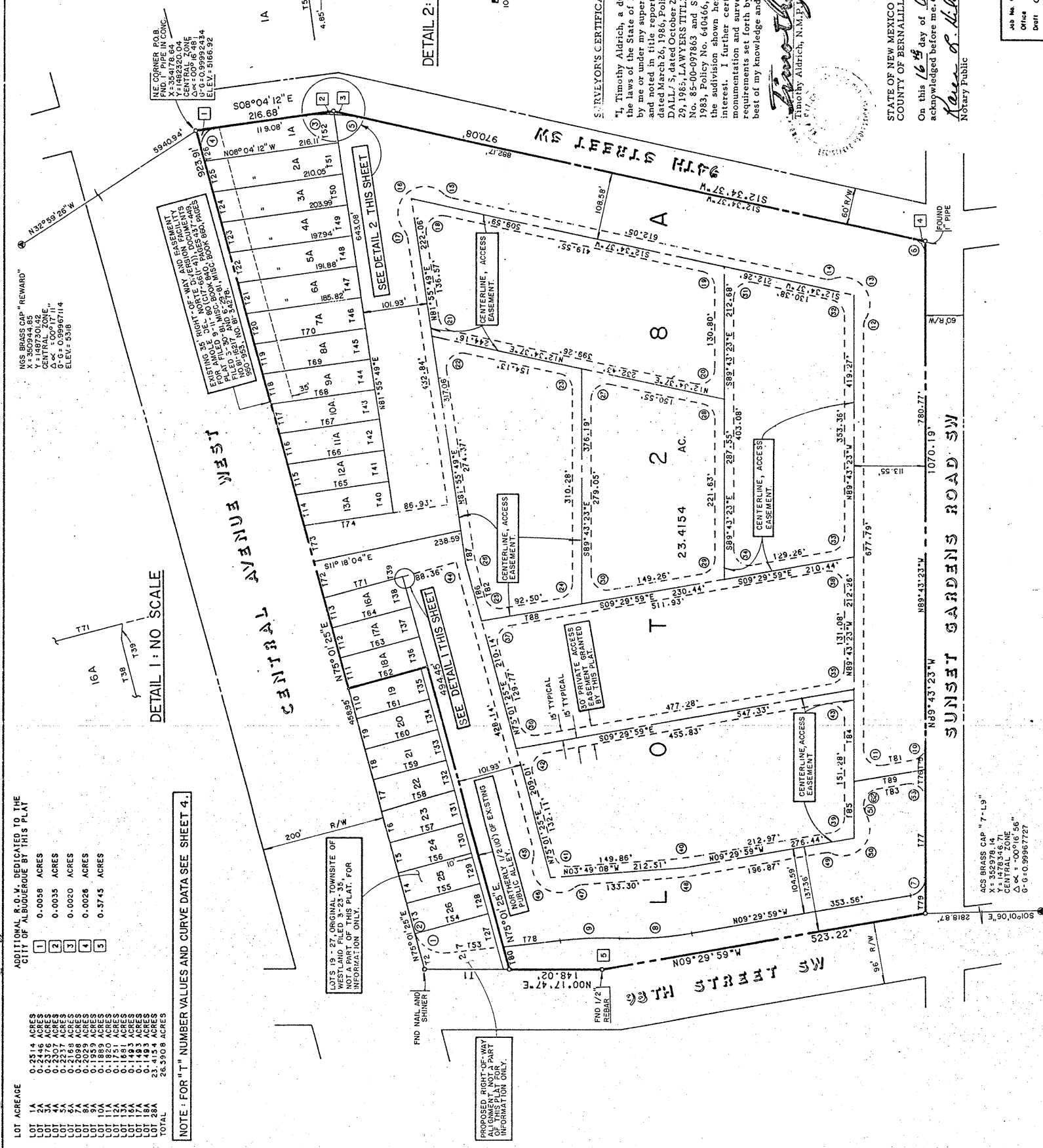
Job No. 6753
Office TA, D.J., VL
Draft CE, VH
P.L. GO, BO
Date 4-86
ESPEY, HUSTON & ASSOC., INC.
Engineering & Development Consultants
4801 RANCHO ROAD, N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-4425

SHEET 2 OF 7

C30-119(2)

PLAT FOR
86 48061
VISTA
LOTS 1A-13A, 16A-18A & 28A
ALBUQUERQUE, NEW MEXICO
APRIL, 1986

SCANNED BY
PLANNING



UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-04-22-1926

C30-119(3)

PLAT FOR
86 48061
VISTA
LOTS 1A-13A, 16A-18A & 28A
ALBUQUERQUE, NEW MEXICO
APRIL, 1986

DATA FOR SHEET 3

ADDITIONAL COURSES										CURVE DATA										CH-BEARING										TAN										CHORD										LENGTH										RADIUS										DELTA										BEARING										DISTANCE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
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SCANNED BY
PLANNING

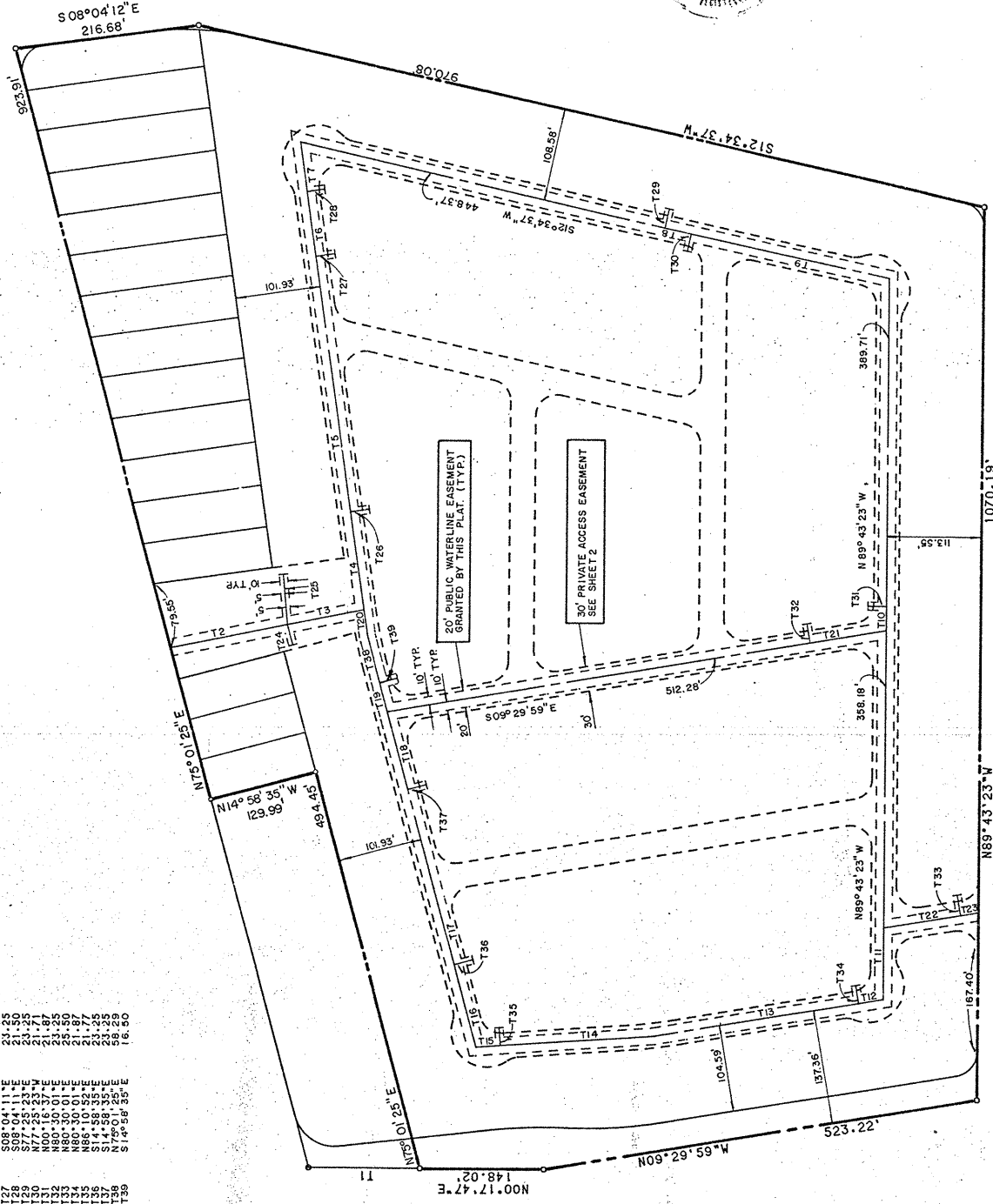
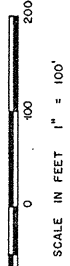
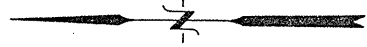
C30-119(7)

UTILITY COUNCIL LOCATION SYSTEM LOG NO. SP-04-22-1926

REF. NO.	BEARING	DISTANCE
T1	T400°17'47"E	134.75
T2	S11°18'04"E	142.23
T3	N00°00'00"E	119.84
T4	N81°55'49"E	307.43
T5	N81°55'49"E	57.82
T6	S12°34'37"E	241.37
T7	N89°43'23"W	29.87
T8	N03°29'59"W	29.57
T9	N03°29'59"W	745.50
T10	N03°29'59"W	29.31
T11	N75°01'25"E	220.14
T12	N75°01'25"E	97.38
T13	N81°55'49"E	31.31
T14	N03°29'59"W	91.14
T15	N03°29'59"W	22.00
T16	N81°55'49"E	61.23
T17	N03°29'59"W	23.35
T18	N03°29'59"W	23.35
T19	N03°29'59"W	23.35
T20	N03°29'59"W	23.35
T21	N03°29'59"W	23.35
T22	N03°29'59"W	23.35
T23	N03°29'59"W	23.35
T24	N03°29'59"W	23.35
T25	N03°29'59"W	23.35
T26	N03°29'59"W	23.35
T27	N03°29'59"W	23.35
T28	N03°29'59"W	23.35
T29	N03°29'59"W	23.35
T30	N03°29'59"W	23.35
T31	N03°29'59"W	23.35
T32	N03°29'59"W	23.35
T33	N03°29'59"W	23.35
T34	N03°29'59"W	23.35
T35	N03°29'59"W	23.35
T36	N03°29'59"W	23.35
T37	N03°29'59"W	23.35
T38	N03°29'59"W	23.35
T39	N03°29'59"W	23.35
T40	N03°29'59"W	23.35
T41	N03°29'59"W	23.35
T42	N03°29'59"W	23.35
T43	N03°29'59"W	23.35
T44	N03°29'59"W	23.35
T45	N03°29'59"W	23.35
T46	N03°29'59"W	23.35
T47	N03°29'59"W	23.35
T48	N03°29'59"W	23.35
T49	N03°29'59"W	23.35
T50	N03°29'59"W	23.35
T51	N03°29'59"W	23.35
T52	N03°29'59"W	23.35
T53	N03°29'59"W	23.35
T54	N03°29'59"W	23.35
T55	N03°29'59"W	23.35
T56	N03°29'59"W	23.35
T57	N03°29'59"W	23.35
T58	N03°29'59"W	23.35
T59	N03°29'59"W	23.35
T60	N03°29'59"W	23.35
T61	N03°29'59"W	23.35
T62	N03°29'59"W	23.35
T63	N03°29'59"W	23.35
T64	N03°29'59"W	23.35
T65	N03°29'59"W	23.35
T66	N03°29'59"W	23.35
T67	N03°29'59"W	23.35
T68	N03°29'59"W	23.35
T69	N03°29'59"W	23.35
T70	N03°29'59"W	23.35
T71	N03°29'59"W	23.35
T72	N03°29'59"W	23.35
T73	N03°29'59"W	23.35
T74	N03°29'59"W	23.35
T75	N03°29'59"W	23.35
T76	N03°29'59"W	23.35
T77	N03°29'59"W	23.35
T78	N03°29'59"W	23.35
T79	N03°29'59"W	23.35
T80	N03°29'59"W	23.35
T81	N03°29'59"W	23.35
T82	N03°29'59"W	23.35
T83	N03°29'59"W	23.35
T84	N03°29'59"W	23.35
T85	N03°29'59"W	23.35
T86	N03°29'59"W	23.35
T87	N03°29'59"W	23.35
T88	N03°29'59"W	23.35
T89	N03°29'59"W	23.35
T90	N03°29'59"W	23.35
T91	N03°29'59"W	23.35
T92	N03°29'59"W	23.35
T93	N03°29'59"W	23.35
T94	N03°29'59"W	23.35
T95	N03°29'59"W	23.35
T96	N03°29'59"W	23.35
T97	N03°29'59"W	23.35
T98	N03°29'59"W	23.35
T99	N03°29'59"W	23.35
T100	N03°29'59"W	23.35

NOTE: ALL DATA SHOWN REGARDING WATER LINE
EASEMENT IS CENTERLINE.

PLAT FOR
VISTA
LOTS 1A-13A, 16A-18A & 28A
ALBUQUERQUE, NEW MEXICO
APRIL, 1986



SURVEYOR'S CERTIFICATION

I, Timothy Albright, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, and noted in title reports prepared by TITLE USA INSURANCE CORPORATION, dated March 26, 1984, Policy No. M174767, US LIFE TITLE INSURANCE COMPANY OF DALLAS, dated October 29, 1985, Policy No. 00960079, Policy No. 0081132, dated April 29, 1985, LAWYER'S TITLE INSURANCE CORPORATION, dated March 19, 1984, Policy No. 85-00-07862, and STEWART TITLE GUARANTY COMPANY, dated July 1, 1983, Policy No. 64466, or made known to me by the owners and/or previous owners of the land shown on this plat, and that I have complied with the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Albright
Timothy Albright, N.M.L.S. No. 17119
Date 04/16/86



STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

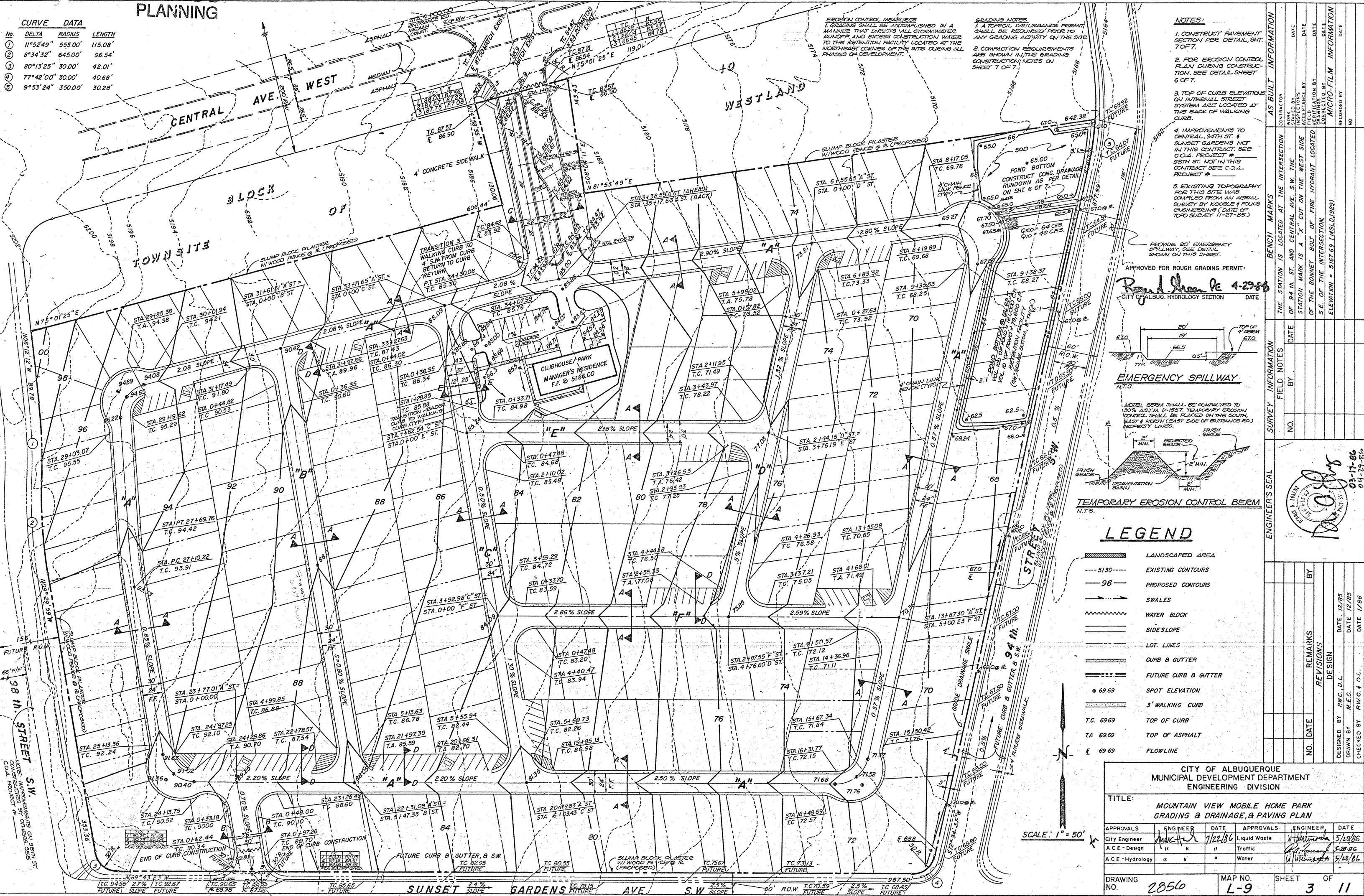
On this 16 day of April, 1986, the SURVEYOR'S CERTIFICATION was acknowledged before me by
Raeen S. Khan
Notary Public



PUBLIC WATER LINE EASEMENT LAYOUT

C30-119(7)

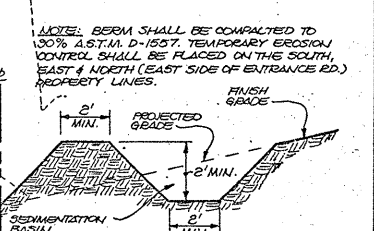
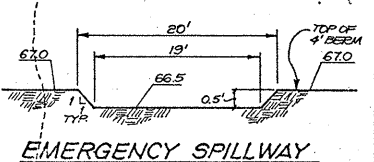
CURVE	DATA
No.	DELTA RADIUS LENGTH
1	11°52'49" 555.00' 115.08'
2	8°34'32" 645.00' 96.54'
3	80°13'25" 30.00' 42.01'
4	77°42'00" 30.00' 40.68'
5	9°53'24" 350.00' 30.28'



- NOTES:**
1. CONSTRUCT PAVEMENT SECTION PER DETAIL, SHT. 7 OF 7.
 2. FOR EROSION CONTROL PLAN DURING CONSTRUCTION, SEE DETAIL SHEET 6 OF 7.
 3. TOP OF CURB ELEVATIONS ON INTERNAL STREET SYSTEM ARE LOCATED AT THE BACK OF WALKING CURB.
 4. IMPROVEMENTS TO CENTRAL, 94TH ST. & SUNSET GARDENS NOT IN THIS CONTRACT. SEE C.O.A. PROJECT # 98TH ST. NOT IN THIS CONTRACT SEE C.O.A. PROJECT #
 5. EXISTING TOPOGRAPHY FOR THIS SITE WAS COMPILED FROM AN AERIAL SURVEY BY KOOBLE & FOLLS ENGINEERING (DATE OF TOP SURVEY 11-27-85).

APPROVED FOR ROUGH GRADING PERMIT:

Reginald J. Serna, P.E. 4-29-86
CITY OF ALBUQUERQUE, HYDROLOGY SECTION DATE



LEGEND

- LANDSCAPED AREA
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SWALES
- WATER BLOCK
- SIDE SLOPE
- LOT LINES
- CURB & GUTTER
- FUTURE CURB & GUTTER
- SPOT ELEVATION
- 3' WALKING CURB
- TOP OF CURB
- TOP OF ASPHALT
- FLOWLINE

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION			
TITLE: MOUNTAIN VIEW MOBILE HOME PARK GRADING & DRAINAGE, & PAVING PLAN			
APPROVALS	ENGINEER	DATE	APPROVALS
City Engineer	<i>Mark A. ...</i>	7/22/86	Liquid Waste
A.C.E. Design	" "	" "	Traffic
A.C.E. Hydrology	" "	" "	Water
DESIGNED BY	R.W.C. D.L.	DATE 12/85	
DRAWN BY	M.E.C.	DATE 12/85	
CHECKED BY	R.W.C. D.L.	DATE 1/86	
DRAWING NO.	2856	MAP NO.	L-9
		SHEET	3 OF 11

SCANNED BY
PLANNING

CURVE DATA

No.	DELTA	RADIUS	LENGTH
①	11°52'49"	555.00'	115.08'
②	6°34'32"	645.00'	96.54'
③	80°13'25"	30.00'	42.01'
④	77°42'00"	30.00'	40.68'
⑤	9°53'24"	350.00'	30.28'

PROPOSED 8" SANITARY SEWER EXTENSION SEE SHEET 9 OF 10 FOR FULL SCOPE OF WORK.

NOT IN CONTRACT SEE SHEET 10

LEGEND

- BOUNDARY LINE
- - - LOT LINE
- ===== PROPOSED CURB & GUTTER
- ==== FUTURE CURB & GUTTER
- ===== EXISTING CURB & GUTTER
- - - CENTERLINE OF STREET
- PROPOSED WALKING CURB
- W- EXISTING WATER LINE
- SAS- EXISTING SANITARY SEWER LINE
- SAS- PROPOSED SANITARY SEWER LINE
- W- PROPOSED PUBLIC WATER LINE IN 20' PUBLIC WATERLINE EASEMENT
- [Symbol] PROPOSED METERED SERVICE LINE
- [Symbol] PROPOSED FIRE HYDRANT
- [Symbol] PROPOSED GATE VALVE/WALVE BOX
- [Symbol] PROPOSED CAP
- [Symbol] PROPOSED MANHOLE
- [Pattern] PROPOSED ASPHALT PAVING

ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 INDIAN SCHOOL ROAD NE SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-1423

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: MOUNTAIN VIEW MOBILE HOME PARK OVERALL PAVING & UTILITY PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	[Signature]	7/22/86	Liquid Waste	[Signature]	5/28/86
A.C.E.-Design	" "	" "	Traffic	[Signature]	5/28/86
A.C.E.-Hydrology	" "	" "	Water	[Signature]	5/28/86

DRAWING NO. 2856 MAP NO. L-9 SHEET 4 OF 11

[illegible]

CENTRAL AVENUE WEST

STATION 0+00.00
CENTERLINE INTERSECTION
OF CENTRAL AVE. & PROPOSED
CENTERLINE OF ENTRANCE RD.
EXISTING ASPHALT

STATION 0+90.00 ± 20' RT.
BEGIN PUBLIC WATER
LINE CONSTRUCTION
INSTALL 1-12"x12"x6" TEE
WITHRUST BLOCK
1- NON-PRESSURIZED CONNECTION
T.P. ELEV. = 5182.21

STATION 1+05.00 - 20' RT.
INSTALL 1-6" GATE
VALVE W/TYPE 'A' VALVE
BOX

STATION 2+50.00 - 35.66' LT.
INSTALL 1-1/2" WATER
METER W/METER BOX

STATION 4+38.10
CONSTRUCT 2" METERED
SERVICE LINE
INSTALL METER W/METER
BOX - 18.25' RT.

STATION 6+13.89
INSTALL 1-6"x6"x6" TEE
WITHRUST BLOCK - T.P. ELEV. = 5165.25
INSTALL 1- FIRE HYDRANT
16.50' RT. FLANGE ELEV. = 5170.01
1-3"x3"x6" CONCRETE PAD @ ELEV. = 5163.84

STATION 8+72.71
INSTALL 1-6"x90" BEND
WITHRUST BLOCK
T.P. ELEV. = 5163.7

STATION 8+77.71 - P.I.

STATION 8+93.52
INSTALL 1-11/4" BEND
WITHRUST BLOCK
T.P. ELEV. = 5163.8

STATION 9+35.53
MATCH LINE STA. 9+35.53

STATION 3+37.00 - 20' RT.
STATION 34+97.63 - LINE "A"
INSTALL 1-6"x6"x6" TEE
WITHRUST BLOCK.
T.P. ELEV. = 5179.43

STATION 3+37.50 - 10' RT.
INSTALL 1-6" GATE VALVE
W/TYPE 'A' VALVE BOX

STATION 3+38.59 - LINE "A"
STATION 35+17.63 - LINE "A"
STATIONING TIE-IN

STATION 7+42.58
CONSTRUCT 2" METERED
SERVICE LINE
INSTALL METER W/TRAFFIC METER
BOX - 18.25' RT.

20' PUBLIC WATERLINE EASEMENT (TYP.)

NEW DRIVEWAY TO BE CONSTRUCTED
UNDER PRIVATE IMPROVEMENTS PLANS
AFTER PUBLIC WATERLINE CONSTRUCTION

FOR CONTINUATION
SEE SHEET 7

LINE "A"

STA. 0+00.00 TO STA. 9+35.53

SCALE: 1" = 50' HORIZ.
1" = 05' VERT.

GENERAL NOTES:

- ALL STATIONING IS BASED ON THE CENTERLINE OF PROPOSED STREET.
- THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING LINES PRIOR TO START OF CONSTRUCTION.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, CONCRETE PAVING, ASPHALTIC PAVING, ETC., SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE FIELD ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- WHERE REMOVAL OF EXISTING CURBS AND GUTTER, SIDEWALK OR PAVEMENT IS REQUIRED, CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. CURB AND GUTTER SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHEN ABUTTING NEW PAVEMENT TO EXISTING, SAWCUT EXISTING PAVEMENT TO A STRAIGHT LINE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE PROJECT ENGINEER, TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. NO SEPARATE PAYMENT SHALL BE MADE BUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- THE FOLLOWING CITY OF ALBUQUERQUE STANDARD DRAWINGS ARE APPLICABLE FOR THE PROPOSED PUBLIC WATERLINE:
W-8 W-20
W-2 W-11 W-22
W-4 W-17 W-23
W-7 W-18

LEGEND

- BOUNDARY LINE
- LOT LINE
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED WALKING CURB
- CENTERLINE OF STREET
- EXISTING WATER LINE
- EXIST. SANITARY SEWER LINE
- PROPOSED PUBLIC WATERLINE IN 20' PUBLIC W.L. EASEMENT
- PROPOSED GATE VALVE W/ VALVE BOX
- PROPOSED METERED SERVICE LINE
- PROPOSED FIRE HYDRANT
- PROPOSED CAP
- PROPOSED MANHOLE
- PROPOSED SPOT ELEVATION
- PROPOSED SANITARY SEWER LINE

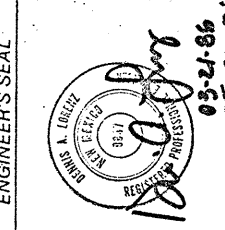
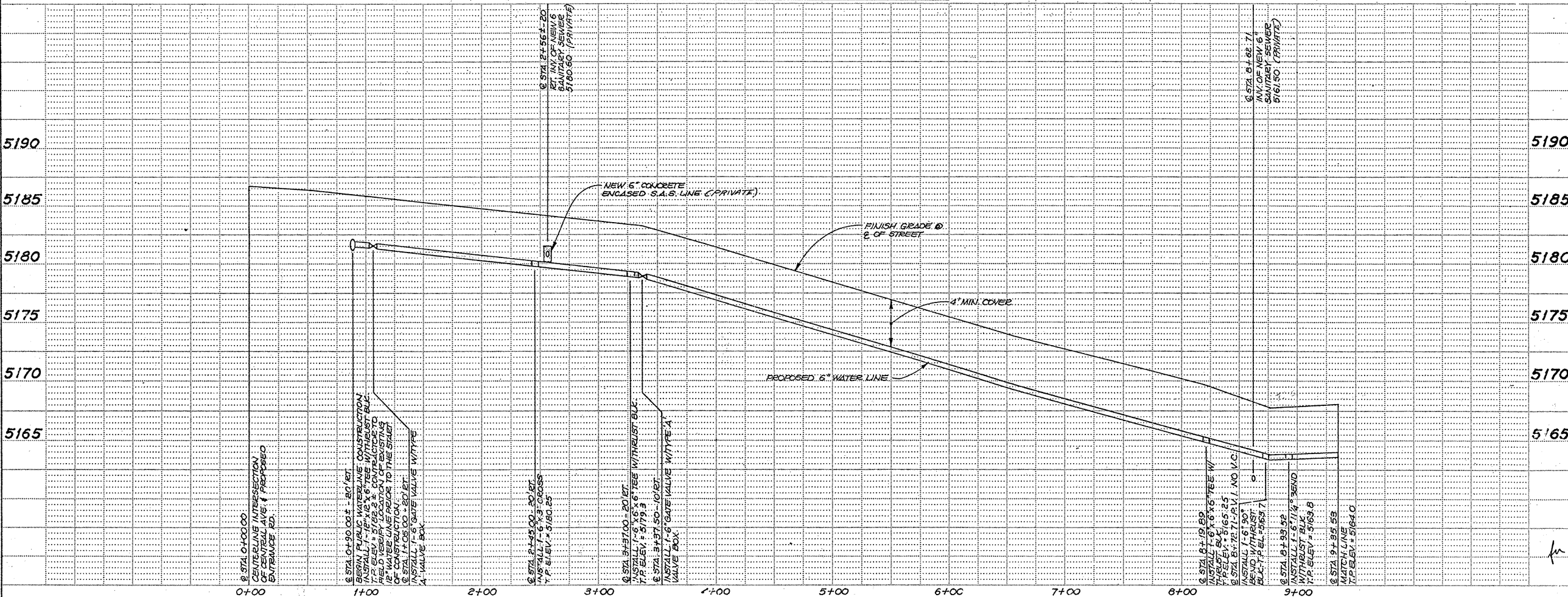
ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consulting
4801 INDIAN SCHOOL ROAD N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-1625

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: MOUNTAIN VIEW MOBILE HOME PARK
WATER LINE IMPROVEMENTS - PLAN & PROFILE
LINE "A" - STA. 0+00.00 TO STA. 9+35.53

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	7/22/86	Liquid Waste	<i>[Signature]</i>	5/28/86
A.C.E. - Design	" "	7/22/86	Traffic	<i>[Signature]</i>	
A.C.E. - Hydrology	" "	7/22/86	Water	<i>[Signature]</i>	5/28/86

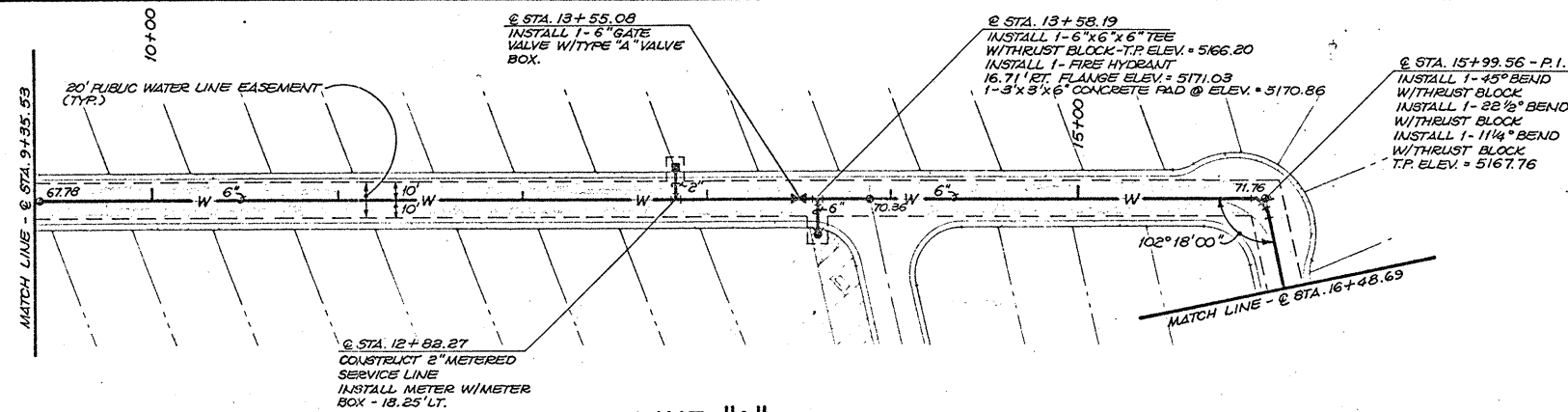
DRAWING NO. 2856 MAP NO. L-9 SHEET 5 OF 11



REVISIONS	DATE	BY
DESIGN	12/27/85	
REVISIONS	12/28/85	
DESIGN	1/7/86	

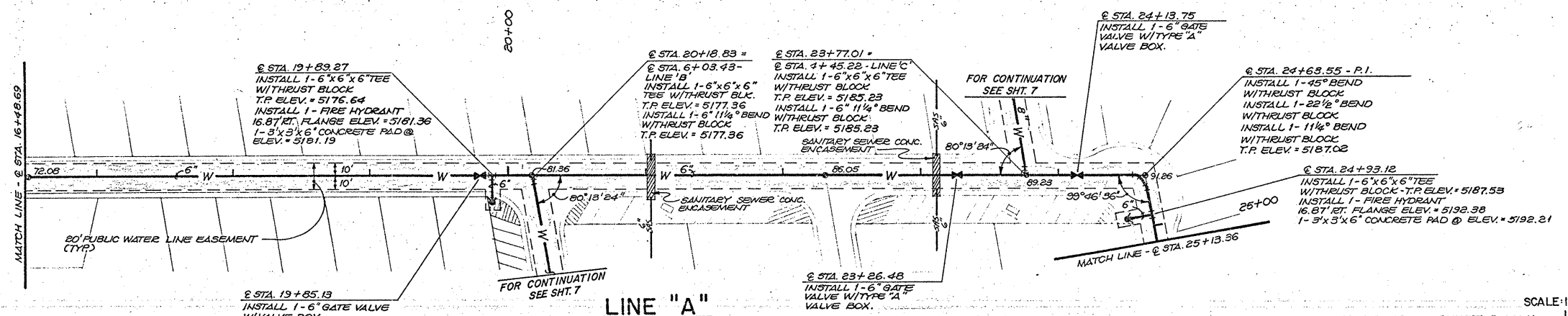
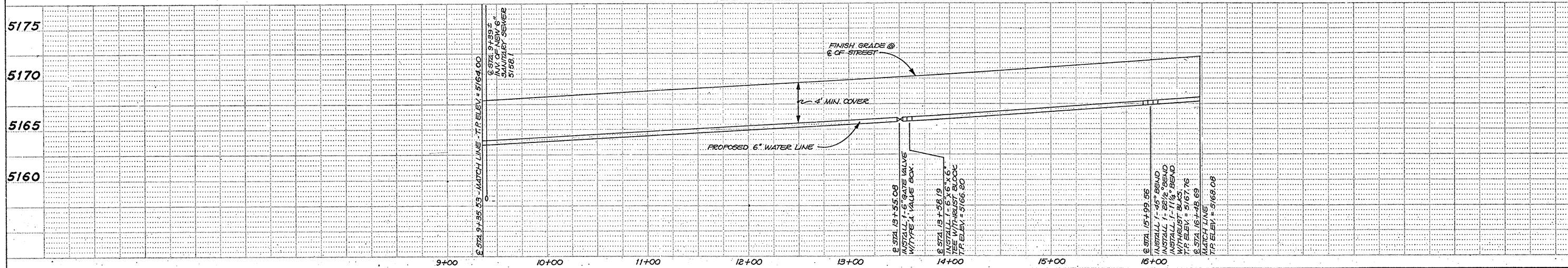
DESIGNED BY	DATE	CHECKED BY	DATE
RWC	12/27/85	JTO	1/7/86
DRAWN BY	DATE	REVIEWED BY	DATE
R.D.	12/28/85		

SCALE: 1" = 50' HORIZ.
1" = 05' VERT.



LINE "A"
STA.9+35.53 TO STA.16+48.69

NOTE: SEE GENERAL NOTES ON SHEET 5 OF 11
FOR CONSTRUCTION OF WATER SYSTEM.



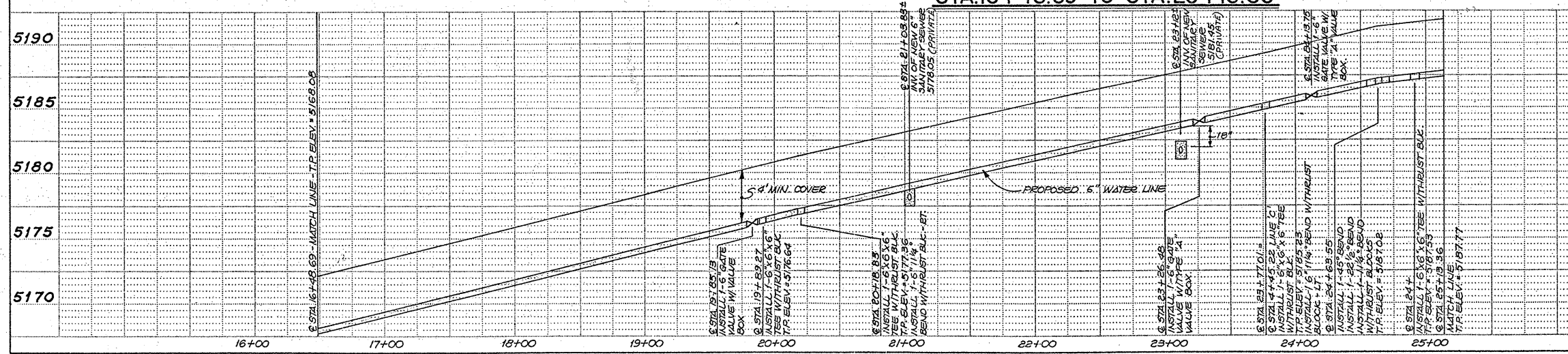
SEE SH. 1

LINE "A"

STA.16+48.69 TO STA.25+13.36

VALVE
VALVE

NOTE: SEE GENERAL NOTES ON SHEET 5 OF 11
FOR CONSTRUCTION OF WATER SYSTEM.



ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
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ALBUQUERQUE, NEW MEXICO 87110
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CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

36 TITLE: MOUNTAIN VIEW MOBILE HOME PARK
WATER LINE IMPROVEMENTS - PLAN & PROFILE
LINE "A" - STA. 9+35.53 TO STA. 25+13.36

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	7/2/86	Liquid Waste	<i>[Signature]</i>	5/28/86
A.C.E.-Design	" "	" "	Traffic	<i>[Signature]</i>	
A.C.E.-Hydrology	" "	" "	Water	<i>[Signature]</i>	5/28/86

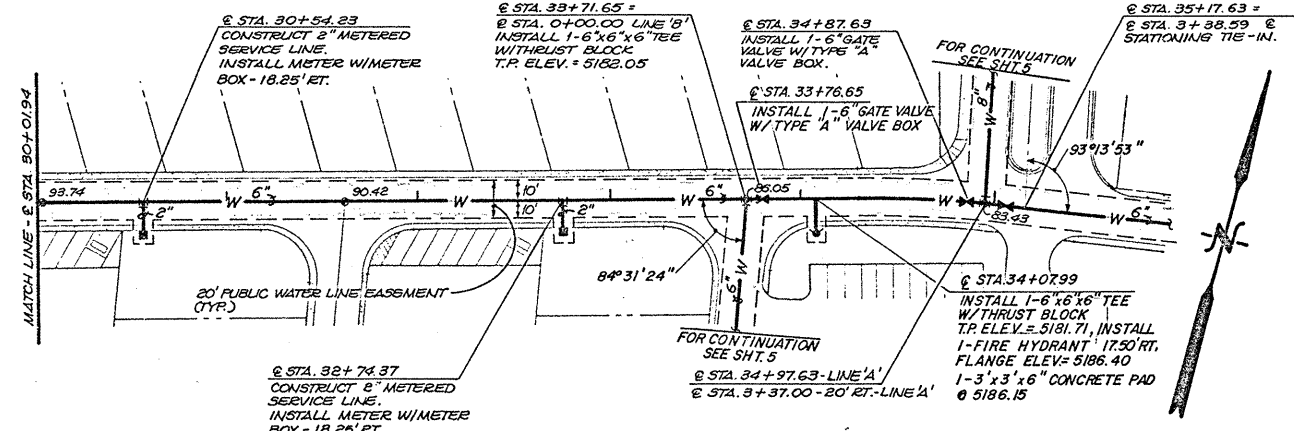
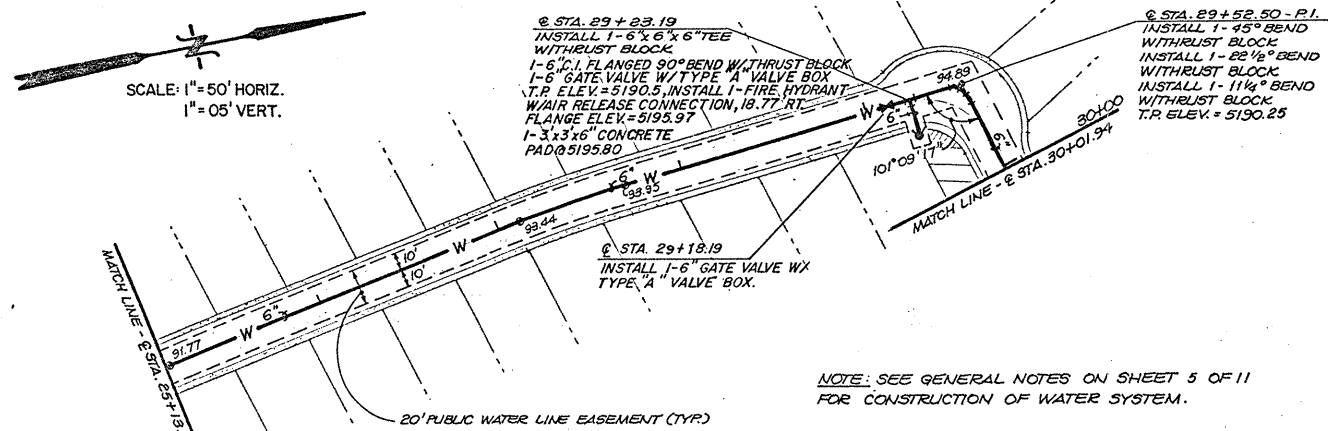
DRAWING NO.	2856	L-9	SHEET 6 OF 11
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1008
DENNIS A. SPENTZ
REGISTERED PROFESSIONAL
03-2-86
05-20-86
for

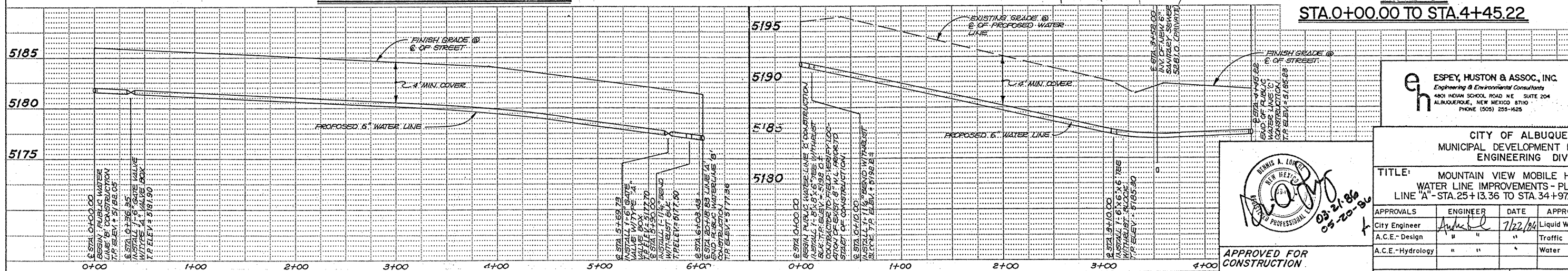
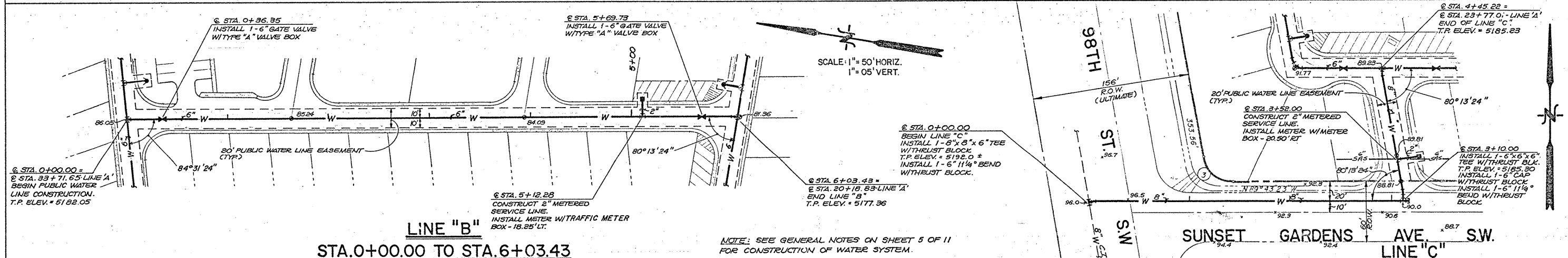
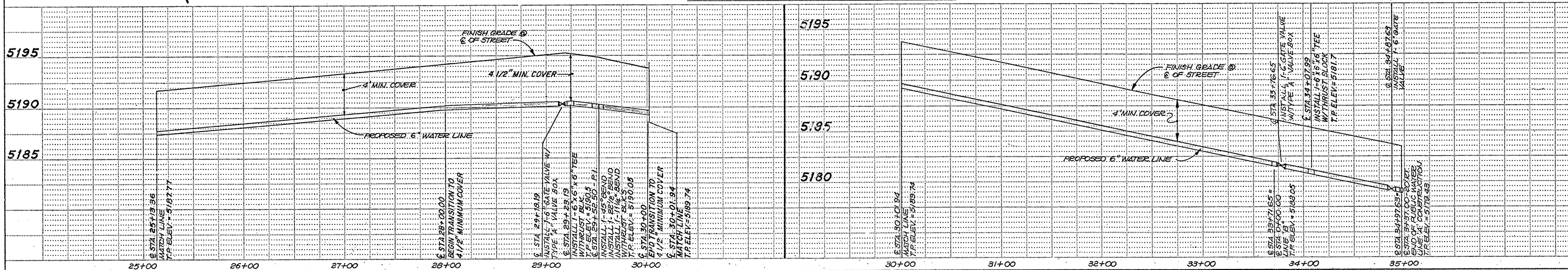
APPROVED FOR
CONSTRUCTION

CITY ENGINEER DATE

SCANNED BY
PLANNING



TEM. LINE "A"
STA.25+13.36 TO STA.34+97.63



APPROVED FOR
CONSTRUCTION.

CITY ENGINEER DATE

ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 INDIAN SCHOOL ROAD N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-1625

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: MOUNTAIN VIEW MOBILE HOME PARK
WATER LINE IMPROVEMENTS - PLAN & PROFILE
LINE "A" - STA.25+13.36 TO STA.34+97.63, LINE "B", LINE "C"

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>Andrew L.</i>	7/22/86	Liquid Waste	<i>W. Williams</i>	5/28/86
A.C.E.-Design	" "	"	Traffic	<i>N.A. Smith</i>	
A.C.E.-Hydrology	" "	"	Water	<i>W. Williams</i>	5/28/86

DRAWING NO.	2856	L-9	SHEET 7 OF 11
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LEGEND

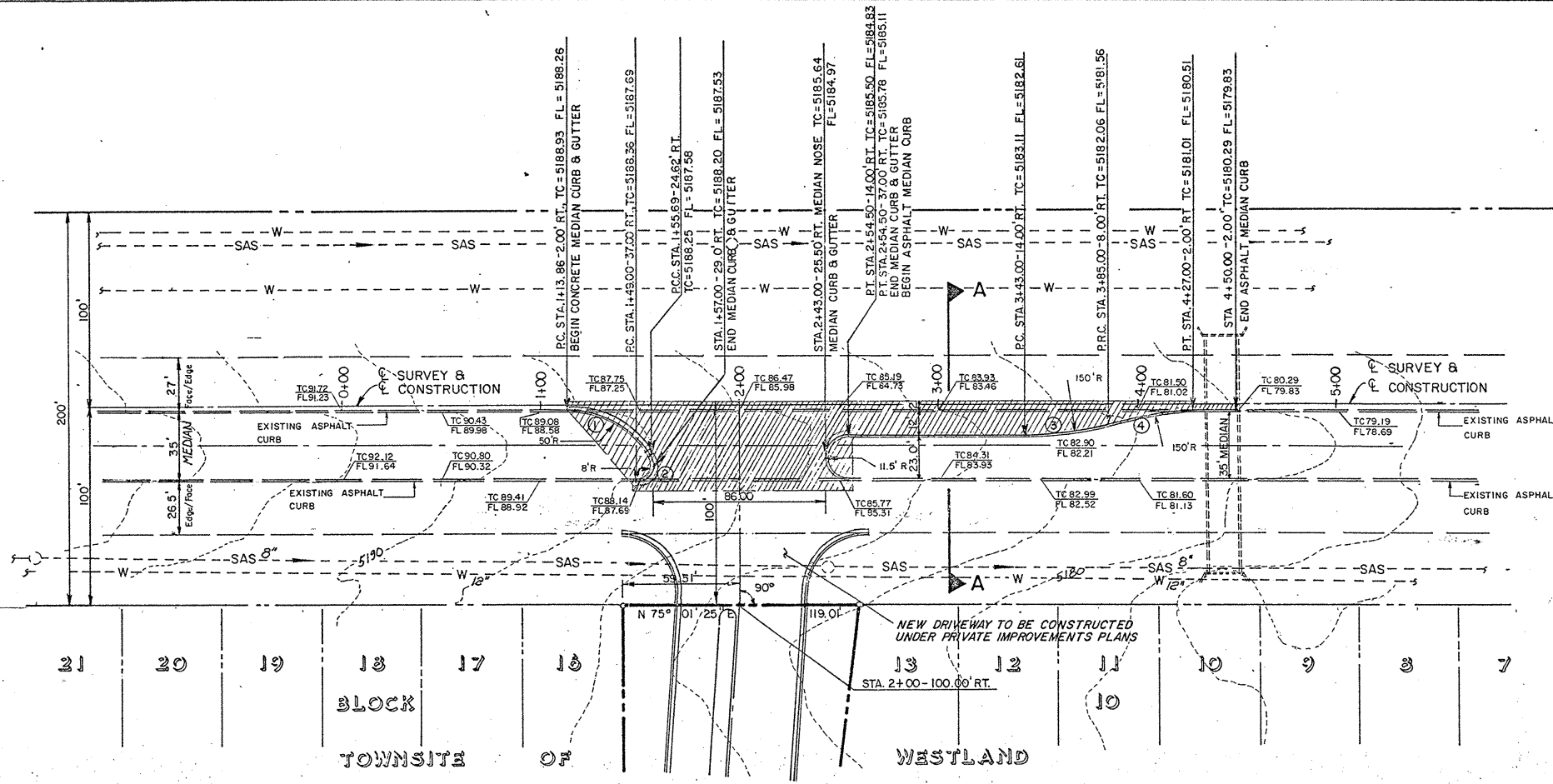
-  CENTERLINE OF STREET
 EXISTING ASPHALT CURB
 NEW ASPHALT CURB
 NEW CONCRETE CURB & GUTTER
 LIMITS OF CONSTRUCTION

 EXISTING TOP OF CURB &
 FLOWLINE ELEVATION
 NEW TOP OF CURB &
 FLOWLINE ELEVATION

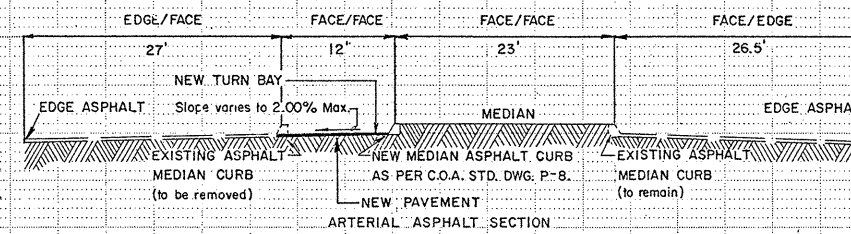
 NEW ASPHALT PAVEMENT

CURVE DATA

- ① $\Delta = 56^{\circ}47'46''$ ② $\Delta = 123^{\circ}12'14''$ ③ $\Delta = 16^{\circ}15'37''$
 $R = 50.00'$ $R = 8.00'$ $R = 150.00'$
 $T = 27.03'$ $T = 14.90'$ $T = 21.43'$
 $L = 49.56'$ $L = 17.20'$ $L = 42.57'$
- ④ $\Delta = 16^{\circ}15'37''$
 $R = 150.00'$
 $T = 21.43'$
 $L = 42.57'$

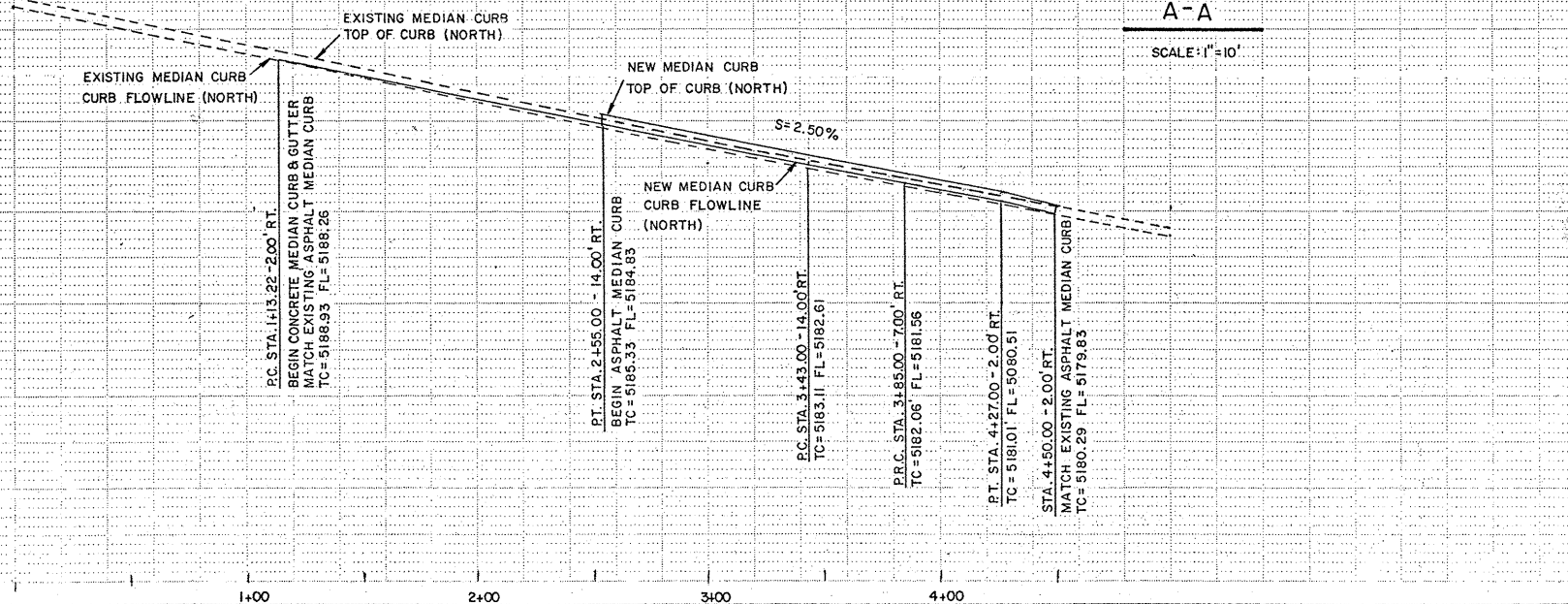


CENTRAL AVENUE WEST



SECTION
A-A

SCALE: 1" = 10'



GENERAL NOTES:

1. ALL STATIONINGS IS BASED ON CENTERLINE OF RIGHT-OF-WAY.
2. THE FOLLOWING CITY OF ALBUQUERQUE STANDARD DRAWINGS ARE APPLICABLE:
P-3
P-8
3. ALL SLOPES AS SHOWN ON PROFILES ARE BASED ON SURVEY BASELINE STATIONING (STREET CENTERLINE), UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS AND RADIUS OF CURBS RETURNS ARE SHOWN TO FACE OF CURB.
5. WHERE REMOVAL OF EXISTING CURBS AND GUTTER, SIDEWALK OR PAVEMENT IS REQUIRED, CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO NEAREST JOINT. CURB AND GUTTER, SUCH AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
6. WHEN ABUTTING NEW PAVEMENT TO EXISTING, SAWCUT EXISTING PAVING TO A STRAIGHT LINE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE PROJECT ENGINEER, TO REMOVE ANY SLOTTED OR CRACKED PAVEMENT. NO SEPARATE PAYMENT SHALL BE MADE BUT SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
7. ALL OFFSET DIMENSIONS SHOWN ON THESE PLANS ARE GIVEN FROM CENTERLINE OF RIGHT-OF-WAY TO FACE OF CURB.
8. ALL LANE STRIPING IS TO BE DONE BY THE CITY OF ALBUQUERQUE AFTER CONSTRUCTION IS COMPLETED.
9. STREET PAVEMENT REPLACEMENT, BACK-FILL AND COMPACTION SHALL BE ACCORDING TO ATERIAL STREET USE.
10. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, CONCRETE RAVING, ASPHALTIC PAVING, ETC., SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE FIELD ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OF PAYMENT SHALL BE MADE.

AS BUILT INFORMATION	
CONTRACTOR	WORK
INSPECTED BY	DATE
APPROVED BY	DATE
LOCATED BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO	

BEANCH: MARKS

THE STATION IS LOCATED AT THE INTERSECTION
OF 94TH ST. AND CENTRAL AVE. S.W. THE STATION
MARK IS A "X" CUT ON THE WEST SIDE OF THE
BOUNNET BOLT OF FIRE HYDRANT LOCATED SE
OF THE INTERSECTION.

ELEVATION = 5167.69 (MSLD 1929)

[illegible][illegible]

eh **ESPEY, HUSTON & ASSOC., INC.**
Engineering & Environmental Consultants
4901 INDIAN SCHOOL ROAD N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-1625

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: CENTRAL AVENUE WEST
LEFT TURN BAY - PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	7/22/86	Liquid Waste	<i>[Signature]</i>	5/28/86
A.C.E.-Design	" "	"	Traffic	<i>[Signature]</i>	5-28-86
A.C.E.-Hydrology	" "	"	Water	<i>[Signature]</i>	5/28/86

DRAWING NO.	2856	MAP NO.	L-9	SHEET	8	OF	11
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SCANNED BY
PLANNING

CENTRAL
AVENUE

WEST

STA. 0+00.00
BUILD 4" DIA. MANHOLE
TYPE 'E' IN LINE W/ EXIST.
8" SANITARY SEWER LINE.
CONTRACTOR TO FIELD VERIFY
THE LOCATION OF EXIST. WATER
AND SEWER LINES PRIOR TO
START OF CONSTRUCTION.
RIM ELEV. = 5167.40
EXIST. INV. @ NEW M.H. = 5154.2 ±
NEW INV. (S) = 5154.35

WEST

PRELIMINARY HORIZONTAL ALIGNMENT
AS PER DESIGN PREPARED BY BOYLE
ENGINEERING, 1980.

FUTURE STORM DRAINAGE IMPROVEMENTS
SEE SHEET 10 OF 10 FOR INFORMATION.

EDGE OF EXIST.
DIRT ROAD

FUTURE CURB & GUTTER AND SIDEWALK

P.C. STA. 1+76.83
C. OF 94TH ST. S.W.

STA. 2+38.67 (±0.01)
BUILD 4" DIA. MANHOLE TYPE 'E'
RIM ELEV. = 5163.55
INV. (W) = 5156.80
INV. (N) = 5156.70
INV. (S) = 5156.80

SCALE: 1" = 20' HORIZ.
1" = 05' VERT.

INSTALL 3 L.F. - 6" SAS
@ 0.0100 P/F
INSTALL 1 - 8" CAP @ D
W/END @ INV. = 5156.85

INSTALL 41.87 L.F. - 8" SAS
@ 0.0117 P/F

INSTALL 1 - 8" CAP
@ R. INV. = 5157.23

PRIVATE IMPROVEMENTS TO BE
CONSTRUCTED BY OTHERS

94TH STREET S.W.

PROPOSED STREET PROFILE @ L. OF NEW SANITARY SEWER LINE

EXISTING GRADE @ L. OF NEW SANITARY SEWER LINE

EXISTING 6" C.I. WATER LINE

PROPOSED 8" SANITARY
SEWER LINE

234.67 L.F. - 6" SAS @ 0.0100 P/F

5' STUBOUT

4" DIA. MANHOLE

4" DIA. M.H.

STA. 0+00.00
BUILD 4" DIA. MANHOLE
TYPE 'E' IN LINE W/ EXIST.
8" SANITARY SEWER LINE.
CONTRACTOR TO FIELD VERIFY
THE LOCATION OF EXIST. WATER
AND SEWER LINES PRIOR TO
START OF CONSTRUCTION.
RIM ELEV. = 5167.40
EXIST. INV. @ NEW M.H. = 5154.2 ±
NEW INV. (S) = 5154.35

STA. 2+38.67 (±0.01)
BUILD 4" DIA. MANHOLE
TYPE 'E' IN LINE W/ EXIST.
8" SANITARY SEWER LINE.
CONTRACTOR TO FIELD VERIFY
THE LOCATION OF EXIST. WATER
AND SEWER LINES PRIOR TO
START OF CONSTRUCTION.
RIM ELEV. = 5163.55
INV. (W) = 5156.80
INV. (N) = 5156.70
INV. (S) = 5156.80

GENERAL NOTES:

- ALL STATIONING IS BASED ON THE CENTERLINE OF PROPOSED SANITARY SEWER LINE.
- THE FOLLOWING CITY OF ALBUQUERQUE STANDARD DRAWINGS ARE APPLICABLE:
S-2 S-6
S-5 S-12

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	THE STATION IS LOCATED AT THE INTERSECTION OF 94TH ST. AND CENTRAL AVE. S.W. THE STATION MARK IS A "X" CUT ON THE WEST SIDE OF THE BOWNET BOLT OF FIRE HYDRANT LOCATED SE OF THE INTERSECTION. ELEVATION = 5167.63 (MOLD 1929)	DATE	NO.	BY	NO.	BY
APPROVED BY	DATE		DATE				
REVISIONS	DATE		DATE				
REVISIONS	DATE		DATE				
REVISIONS	DATE		DATE				
REVISIONS	DATE		DATE				
REVISIONS	DATE		DATE				
REVISIONS	DATE		DATE				
REVISIONS	DATE		DATE				
REVISIONS	DATE		DATE				

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	THE STATION IS LOCATED AT THE INTERSECTION OF 94TH ST. AND CENTRAL AVE. S.W. THE STATION MARK IS A "X" CUT ON THE WEST SIDE OF THE BOWNET BOLT OF FIRE HYDRANT LOCATED SE OF THE INTERSECTION. ELEVATION = 5167.63 (MOLD 1929)	DATE	NO.	BY	NO.	BY
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REVISIONS	DATE		DATE				
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REVISIONS	DATE		DATE				

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
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APPROVED BY	DATE		DATE				
REVISIONS	DATE		DATE				
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REVISIONS	DATE		DATE				
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AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	THE STATION IS LOCATED AT THE INTERSECTION OF 94TH ST. AND CENTRAL AVE. S.W. THE STATION MARK IS A "X" CUT ON THE WEST SIDE OF THE BOWNET BOLT OF FIRE HYDRANT LOCATED SE OF THE INTERSECTION. ELEVATION = 5167.63 (MOLD 1929)	DATE	NO.	BY	NO.	BY
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REVISIONS	DATE		DATE				
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PHONE (505) 255-1625

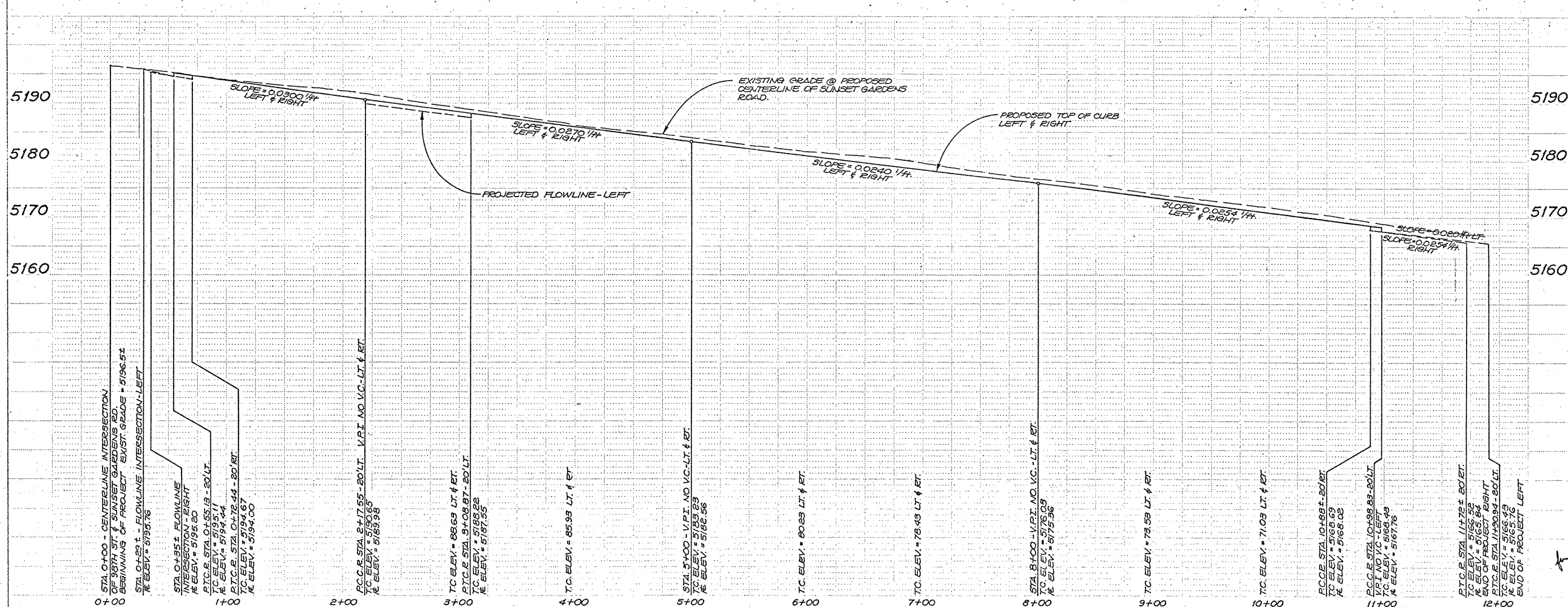
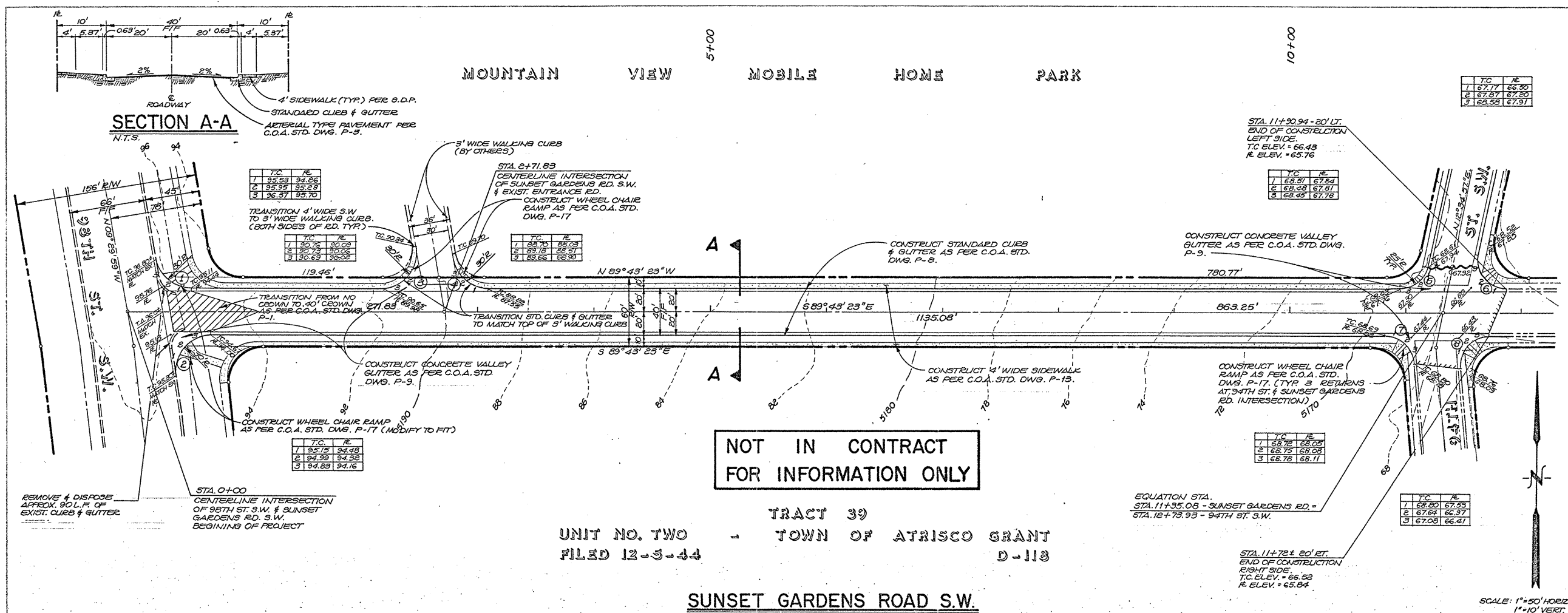
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE:
94TH STREET S.W.
SANITARY SEWER IMPROVEMENTS-PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	Michael	7/22/86	Liquid Waste	Williamson	5/28/86
A.C.E. - Design	"	"	Traffic	"	"
A.C.E. - Hydrology	"	"	Water	"	"

DRAWING NO.	2856	MAP NO.	L-9	SHEET	9 OF 11
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SCANNED BY
PLANNING



NOTE:
THIS SHEET NOT IN CONTRACT FOR D.R.C.
REVIEW ONLY & C.O.A. APPROVED STREET
GRADES, IMPROVEMENTS SHOWN DEFERRED
UNTIL DOWNSTREAM STORM DRAIN IMPROVE-
MENTS ARE IN PLACE.

CUEVE DATA

①	$\Delta = 80^{\circ} 3' 25''$ $R = 30.00'$ $L = 42.00'$ $T = 25.27'$	⑥	$\Delta = 95^{\circ} 22' 18''$ $R = 25.00'$ $L = 41.61'$ $T = 27.46'$
②	$\Delta = 98^{\circ} 46' 35''$ $R = 30.00'$ $L = 52.24'$ $T = 35.61'$	⑦	$\Delta = 77^{\circ} 42' 00''$ $R = 25.00'$ $L = 33.90'$ $T = 20.14'$
③	$\Delta = 99^{\circ} 39' 35''$ $R = 30.00'$ $L = 52.24'$ $T = 35.61'$	⑧	$\Delta = 64^{\circ} 37' 42''$ $R = 25.00'$ $L = 36.93'$ $T = 22.76'$
④	$\Delta = 80^{\circ} 13' 25''$ $R = 30.00'$ $L = 42.00'$ $T = 25.27'$		
⑤	$\Delta = 102^{\circ} 18' 00''$ $R = 25.00'$ $L = 44.64'$ $T = 31.04'$		

ED
VE-

INFORMATION

BENCH MARKS

THE STATION IS LOCATED AT THE INTERSECTION

SURVEY INFORMATION
FIELD NOTES

ENGINEER'S SEAL

[illegible]

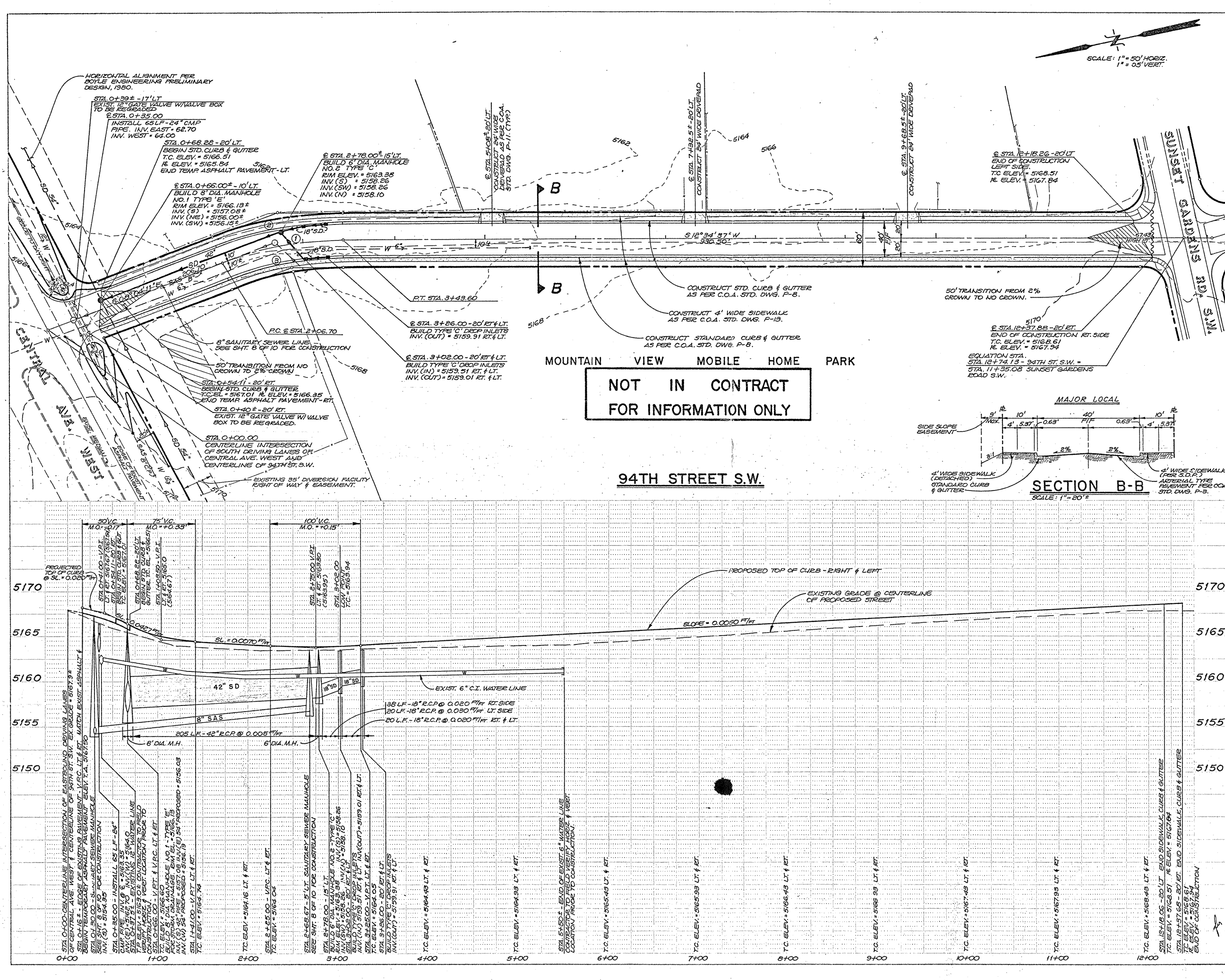
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: MOUNTAIN VIEW MOBILE HOME PARK
SUNSET GARDENS RD. S.W. - PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	7/22/86	Liquid Waste	<i>[Signature]</i>	5/28/86
A.C.E.-Design	" "	"	Traffic	<i>[Signature]</i>	5-28-86
A.C.E.-Hydrology	" "	"	Water	<i>[Signature]</i>	5/28/86

DRAWING NO.	2856	MAP NO. L-9	SHEET 10	OF 11
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SCANNED BY
PLANNING



NOTE:
THIS SHEET NOT IN CONTRACT FOR D.R.C. REVIEW ONLY & C.O.A. APPROVED STREET GRADES. IMPROVEMENTS SHOWN DEFERRED UNTIL DOWNSTREAM STORM DRAIN IMPROVEMENTS ARE IN PLACE.

CURVE DATA
① $\Delta = 20^\circ 35' 48''$
 $R = 350.00'$
 $L = 136.93'$
 $T = 69.22'$
② $\Delta = 20^\circ 35' 48''$
 $R = 350.00'$
 $L = 136.93'$
 $T = 69.22'$
③ $\Delta = 20^\circ 35' 48''$
 $R = 350.00'$
 $L = 136.93'$
 $T = 69.22'$

SECTION B-B
SCALE: 1" = 20'

ENGINEER'S SEAL
A. L. BROWN
Professional Engineer
No. 10,000
Exp. 12/31/96

REVISIONS

NO.	DATE	REVISIONS
1	5/12/86	DESIGN
2	5/12/86	DESIGN

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE:
MOUNTAIN VIEW MOBILE HOME PARK
94TH STREET S.W. - PLAN & PROFILE
AND STORM DRAIN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	A. L. BROWN	5/12/86	Liquid Waste	A. L. BROWN	5/12/86
A.C.E. - Design			Traffic		
A.C.E. - Hydrology			Water		

DESIGNED BY P.W.C. DATE 5/12/86
DRAWN BY R.D. DATE 5/12/86
CHECKED BY D.L. DATE 5/12/86

DRAWING NO. 2856
MAP NO. L-9
SHEET 11 OF 11