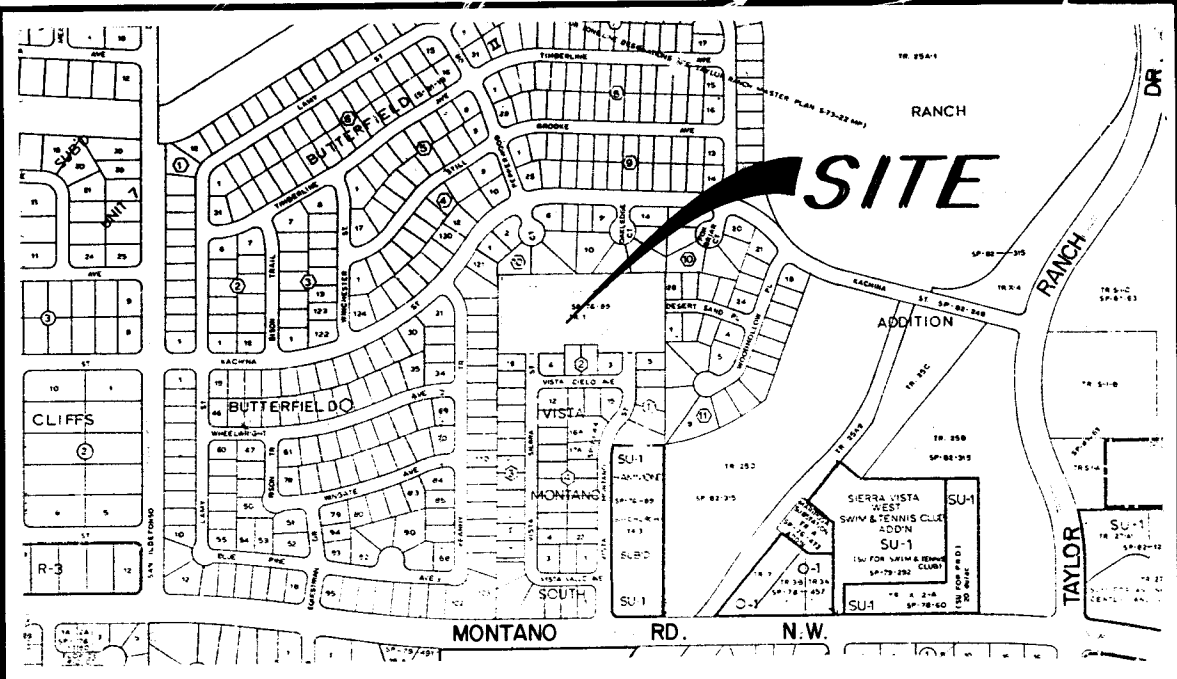


VISTA MONTANO NORTH

1. COVER
2. PLAT
3. GRADING / DRAINAGE PLAN
4. STREET / UTILITY PLAN & PROFILE



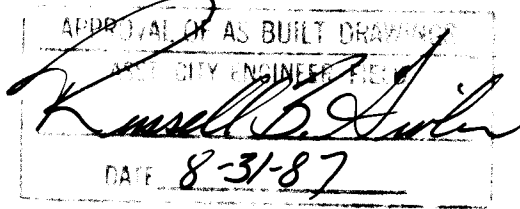
VICINITY MAP E-11

NOTICE TO CONTRACTOR

1. All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with the City of Albuquerque Interim Standard Specifications for Public Works Construction.
2. Two (2) working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
3. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with minimum amount of delay.

THE FOLLOWING NOTES APPLY WHEN CHECKED

- ☒ All utilities and utility service lines shall be installed prior to paving.
- ☒ Backfill compaction shall be according to specified street use. - RESIDENTIAL
- ☒ Tack coat requirements shall be determined by the City Engineer.
- ☒ Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- ☒ If curb is depressed for a drive-pad or a handicap ramp, the drive-pad or ramp shall be constructed prior to acceptance of the curb and gutter.
- ☒ All storm drainage facilities shall be completed prior to final acceptance.



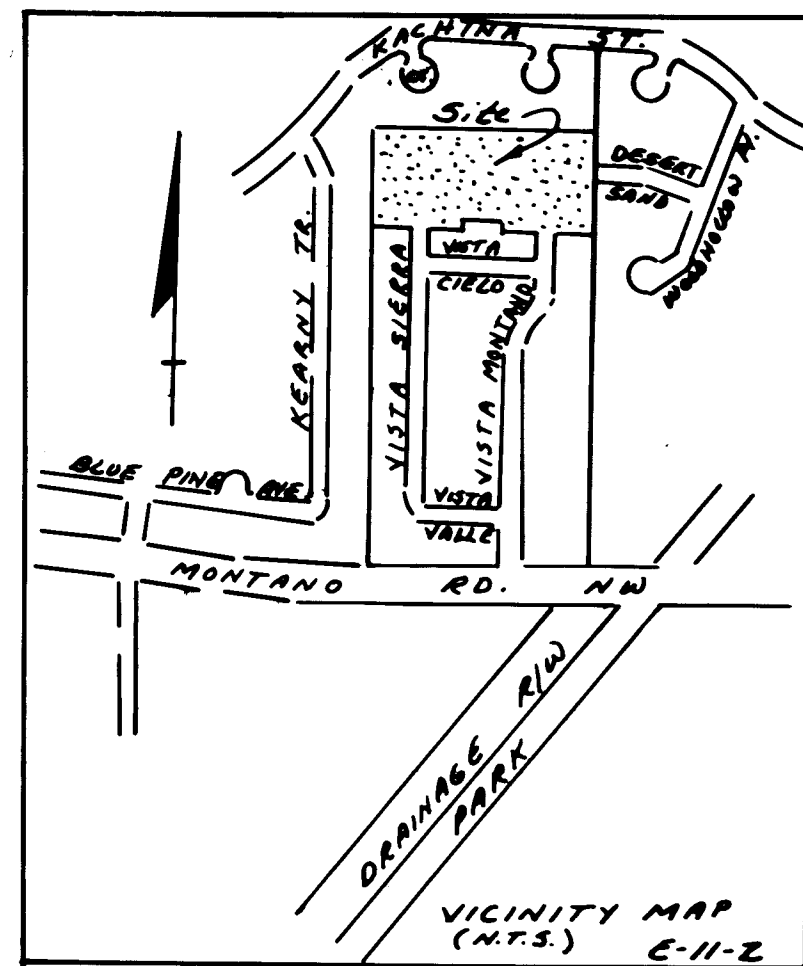
26 30190187

REV	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
		WEISS / HINES ENGINEERING, INC. 1100 ALVARADO N.E. ALBUQUERQUE, NEW MEXICO 87110 (505) 266-3444				APPROVED FOR CONSTRUCTION 12/30/86			
		PROJECT NO. 3019				SHEET OF 1 4			

SP 07-15-1230

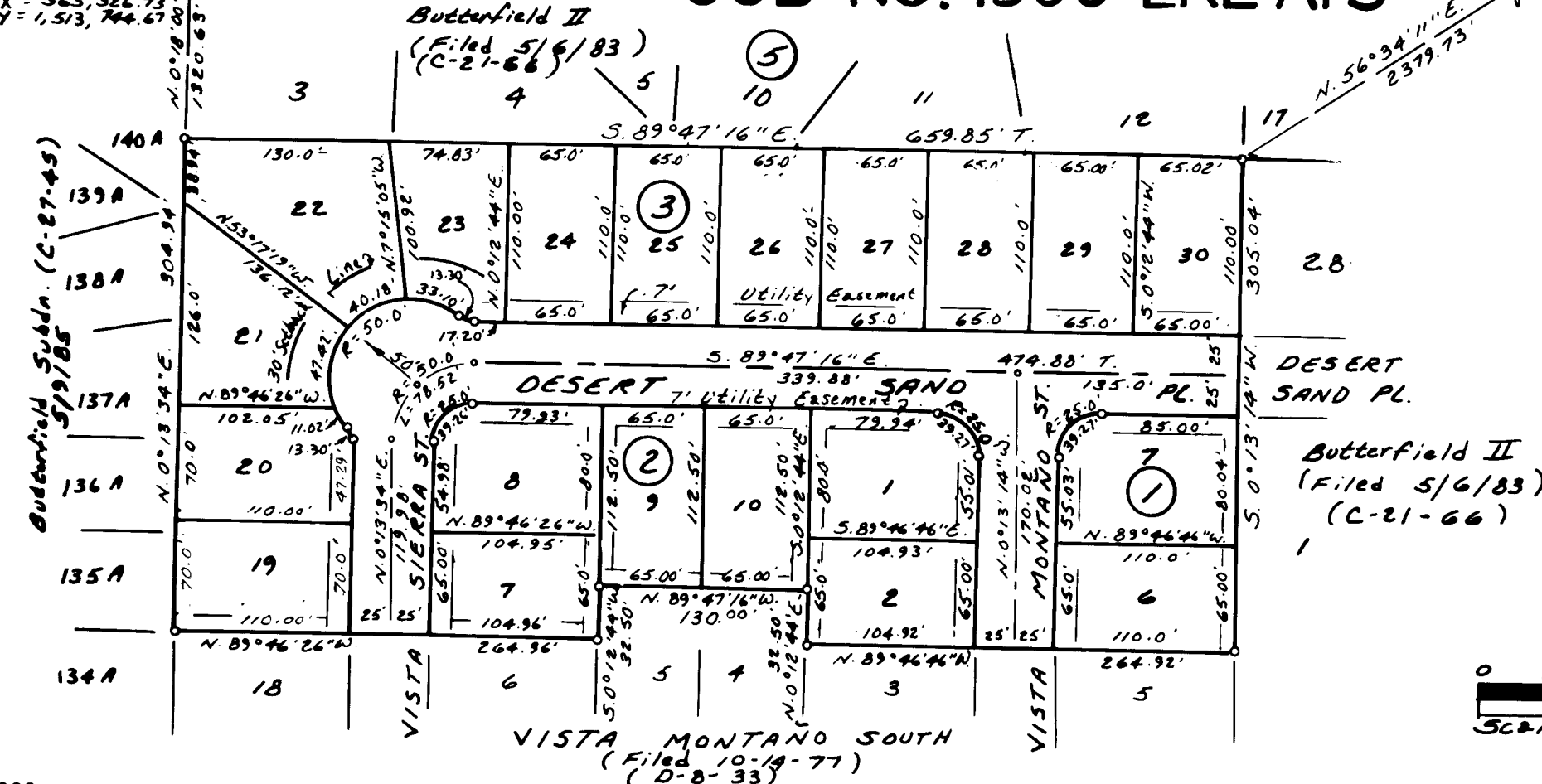
86104418
VISTA MONTAÑO NORTH
 SECTION 26 T.11N., R.2E., N.M.P.M.
 BERNALILLO COUNTY,
 NEW MEXICO

ELDER CO. JULY 1986
JOB NO.4300 EKE AFS



5/4 Cor.
 7/11 N.E.E.
 1/2 R.R. 2, Place
 Sec. 25, T.11N., R.2E., N.M.P.M.
 Containing 2.00 Acres
 S. 1/2 Sec. 25, T.11N., R.2E., N.M.P.M.
 Y = 4,513, X = 4,678

T.11N., R.2E.
 23 24 Sec. 24
 25 Sec. 25
 26 25 Containing 2.00 Acres
 Containing 2.00 Acres
 Y = 4,513, X = 4,678
 Elev. = 5,112.53



0 50 100
 Scale 1"=100'

- NOTES: 1. UNLESS SHOWN N/R, LOT LINES ARE 90° TO STREET LINES OR RADIAL THEREOF.
 2. ALL MEASUREMENTS ALONG CURVED LINES ARE MEASURED ALONG THE ARC.
 3. UNLESS OTHERWISE SHOWN, BLOCK CORNERS HAVE A RADIUS OF 25 FEET, A CENTRAL ANGLE OF 90° AND AN ARC DISTANCE OF 39.27 FEET.
 4. BEARINGS AND DISTANCES ARE RECORD FROM THE HAMMOND SUBDIVISION, BUTTERFIELD SUBDIVISION & BUTTERFIELD 11 SUBDIVISION.
 5. LOT CORNERS HAVE NOT BEEN SET UNTIL APPROVAL OF THIS PLAT.
 6. BEARINGS SHOWN ARE ON LOCAL SYSTEM, FOR STATE PLANE GRID SYSTEM ROTATE ALL BEARINGS CLOCKWISE 00°01'24".
 7. Δα = -00°15'30"
 8. MILES OF ROAD CREATED HALF WIDTH= 0.000 FULL WIDTH=0.169
 9. TOTAL ACREAGE= 4.532 ACRES.
 10. CITY OF ALBUQ. WATER & SANITARY SEWER SERVICE TO THIS SUBDIVISION MUST BE VERIFIED AND CO-ORDINATED WITH THE WATER RESOURCE DEPT., CITY OF ALBUQUERQUE, NEW MEXICO.
 11. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE 7' (FEET) WIDE AND ARE GRANTED FOR THE COMMON USE OF:

DESCRIPTION, FREE CONSENT & DEDICATION:

THE UNDERSIGNED OWNERS AND PROPRIETORS OF THE LAND SHOWN HEREON DO HEREBY CONSENT TO THE SUBDIVISION OF THE LAND SHOWN HEREON, BEING A PORTION OF THE HAMMOND SUBDIVISION, WITHIN SECTION 26, T.11N., R.2E., N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, MARCH 30, 1976, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED, WHENCE THE NORTHEAST CORNER OF SECTION 26, T.11N., R.2E., N.M.P.M., BEARS N.56°34'11"E., 2379.73 FEET DISTANT (A BRASS CAPPED MONUMENT IN PLACE); THENCE S.00°13'14"W., 305.04 FEET TO THE SOUTHEAST CORNER; THENCE N.89°46'46"W., 264.92 FEET TO A POINT; THENCE N.00°12'44"W., 32.50 FEET; THENCE N.89°47'16"W., 130.00 FEET; THENCE S.00°12'44"W., 32.50 FEET; THENCE N.89°46'26"W., 264.96 FEET TO THE SOUTHWEST CORNER; THENCE N.00°13'34"E., 304.94 FEET TO THE NORTHWEST CORNER; THENCE S.89°47'16"E., 699.85 FEET TO THE NORTHEAST CORNER AND POINT OF BEGINNING. CONTAINING 4.532 ACRES MORE OR LESS, AND NOW COMPRISING VISTA MONTAÑO-NORTH, AN ADDITION TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, IS WITH THE FREE CONSENT AND IN ACCORDANCE TO THE DESIRE OF THE UNDERSIGNED OWNERS AND PROPRIETORS WHO DO HEREBY DEDICATE THE PUBLIC RIGHTS-OF-WAY AND DRAINAGE RIGHTS-OF-WAY SHOWN HEREON, TOGETHER WITH ALL EASEMENTS SHOWN ON THIS PLAT.

Harrison E. Smith
 HARRISON E. SMITH

Phyllis M. Smith
 PHYLLIS M. SMITH

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON July 14th, 1986 BY HARRISON E. SMITH AND BY PHYLLIS M. SMITH, HIS WIFE.

MY COMMISSION EXPIRES AUG. 26, 1986.

Edward K. Elder
 EDWARD K. ELDER, NOTARY PUBLIC

SURVEYOR'S CERTIFICATE:

I, EDWARD K. ELDER, A DULY QUALIFIED LAND SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME, THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT IT SHOWS ALL EASEMENTS OF RECORD, AND THAT IT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE.

Edward K. Elder
 EDWARD K. ELDER, N.M.R.L.S. NO. 1323

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON July 14th, 1986 BY EDWARD K. ELDER.

MY COMMISSION EXPIRES JULY 18, 1987.

Edward K. Elder
 EDWARD K. ELDER, NOTARY PUBLIC

OFFICE OF ELDER
 EDWARD K. ELDER
 NOTARY PUBLIC
 My Comm. Expires 7/18/87

APPROVALS:

Jack Cloud 10-22-86
 PLANNING DEPARTMENT DATE
 5-86-47 E-11-2

Paul J. Quinn 10-21-86
 CITY ENGINEER DATE

Paul J. Quinn 10-21-86
 CITY ENGINEER DATE

Paul J. Quinn 10-21-86
 CITY ENGINEER DATE

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Paul J. Quinn 10-21-86
 CITY ENGINEER DATE

Paul J. Quinn 10-21-86
 CITY ENGINEER DATE

Don E. Entzgaard 8/26/86
 WATER RESOURCES DATE

Rene Elwell 8-21-86
 PROPERTY MANAGER DATE

Wendy Clark 08/26/86
 CITY SURVEYOR DATE

Paul J. Quinn 8-11-86
 PUBLIC SERVICE CO. OF N.M. DATE

Paul J. Quinn 8-11-86
 PUBLIC SERVICE CO. OF N.M. DATE

Paul J. Quinn 8-11-86
 PUBLIC SERVICE CO. OF N.M. DATE

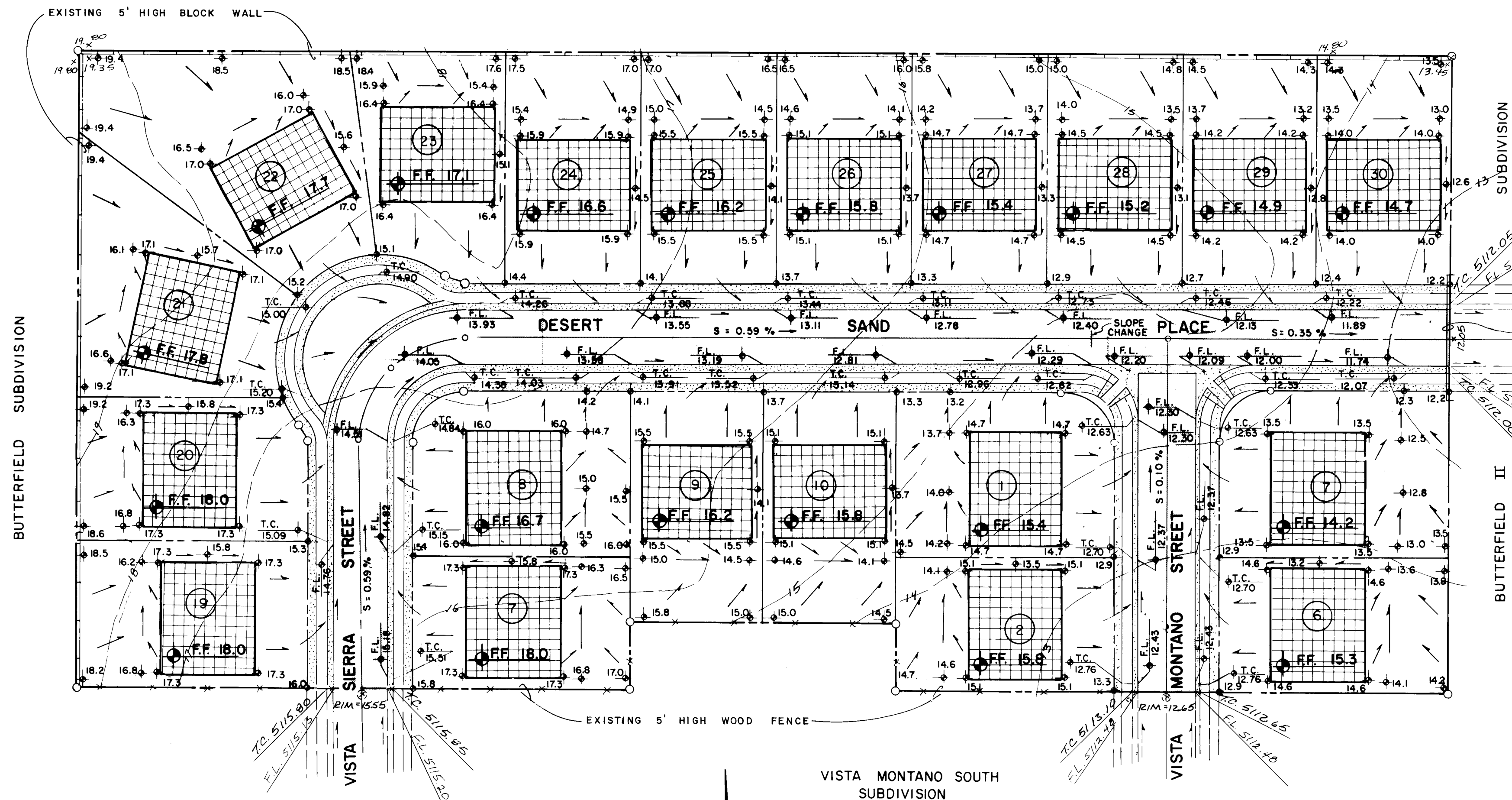
Paul J. Quinn 8-11-86
 PUBLIC SERVICE CO. OF N.M. DATE

Paul J. Quinn 8-11-86
 PUBLIC SERVICE CO. OF N.M. DATE

Paul J. Quinn 8-11-86
 PUBLIC SERVICE CO. OF N.M. DATE

26 30190287

BUTTERFIELD II SUBDIVISION



TEMPORARY BENCH MARK - TOP OF CURB AT PROPERTY LINE ELEVATION = 5,112.05'

NOTE: TOTAL SURFACE RUNOFF FROM SITE (Q=100 = 13.3 CFS) DISCHARGES IN DESERT SAND PLACE, WHICH HAS A CAPACITY OF 24 CFS (n=0.020, s=0.5%, d=0.53'). THESE FLOWS TRAVEL TO THE CUL-DE-SAC AT THE SOUTH END OF WOODHOLLOW PLACE, AND THENCE TO THE A.M.A.F.C.A. MARIPOSA CHANNEL THROUGH A TRIPLE-D DROP INLET AND 30\"/>

CONSTRUCT APPROXIMATELY 60' OF SILT FENCE OR TEMPORARY 6\"/>

SCOPE:

The proposed improvements are comprised of a 20-unit residential single-dwelling development including paved streets, roll curbs, sidewalks, houses and associated infrastructure.

The Present site is undeveloped vacant land surrounded by residential subdivisions. Existing surrounding public streets and utilities have been brought to the subdivision boundary and will be extended through the development.

The intent of this plan is to show:

- Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.
- The extent of proposed site improvements, including buildings, walks and pavement.
- The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City requirements for drainage management.
- The relationship of onsite improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

GENERAL NOTES: The site will be graded so that all flows will drain past the eastern property line in Desert Sands Place NW, thence to the storm sewer inlet located in the cul-de-sac at the southern end of Woodhollow Place NW. Individual lots will have shallow swales to drain backyards towards the fronts of the lots and into streets.

LEGAL: Lots 6 and 7 of Block 1, Lots 1, 2, and 7-10 of Block 2, and Lots 19-30 of Block 3, Vista Montano Subdivision.

SURVEYOR: Elder Company Surveying, 530 Jefferson N.E., Albuquerque, NM. July, 1986.

B.M.: NE corner of Section 26, T11N, R2E, NMPM Brass Cap monument in place in concrete. Elevation = 5,112.53'.

T.B.M.: Top of curb (north) on Desert Sand Place at east property line. Elevation = 5,112.05'.

SOILS: SCS Soils Map #20 (Bernalillo County, NM). Soil is type 'MVA', Hydrologic Soil Group 'B'.

FLOOD HAZARD: FEMA Map #14. Due to the construction of the Mariposa Detention Facility, the site has been removed from the flood plain.

OFF-SITE DRAINAGE: Concrete block walls block flows from the north and west. Approximately 0.7 acres of the residential development to the south (Vista Cielo Ave.) drain into the site in Vista Sierra and Vista Montano Streets. No flows enter the site from the east.

EROSION CONTROL: Contractor shall be responsible for containing sediment generated during construction by use of a temporary earth berm or silt fence constructed across the site's eastern outlet.

CALCULATIONS: Calculations are based on the City of Albuquerque D.P.M. Manual, Vol. II for the 100 year-6 hour storm, using the Rational Formula to compare the existing and proposed runoff rates.

RATIONAL METHOD- Q = CIA (ON-SITE)

Area of site: 197,014 sq. ft. = 4.5 Ac.

Run-off Coefficient:

Existing site:	Developed Site:
Undeveloped Area = 197,014 ft ²	Roof Area = 49,500 ft ²
	Landscaped Area = 107,229 ft ²
	Paved Area = 40,285 ft ²
	$C_r = \frac{49,500(0.90)}{197,014} = 0.23$
	$C_l = \frac{107,229(0.25)}{197,014} = 0.14$
	$C_p = \frac{40,285(0.95)}{197,014} = 0.19$
	Composite C = 0.40
	Composite C = 0.56

Rainfall Intensity:

$I = P_r (6.84) T^{-0.51} = 4.65$ in per hour
where $P_r = 2.2 T^{0.078} D^{-1}$
 $T_c = 10$ minutes

Existing Condition:

Existing Condition:	Developed Condition:
$Q_{100} = (0.40)(4.65)(4.5) = 8.4$ cfs	$Q_{100} = (0.56)(4.65)(4.5) = 11.7$ cfs
$V_{100} = (8.4)(50T_c)(60 \text{ sec/min})/2 = 12,555 \text{ cu. ft.}$	$V_{100} = (11.7)(50)(60)/2 = 17,550 \text{ cu. ft.}$

RATIONAL METHOD- Q = CIA (OFF-SITE)

Area: Vista Sierra Street, Vista Montano Street, 1/4 of Vista Cielo Avenue, and fronts of adjoining lots.

Existing off-site:

Landscaped Area = 17,884 ft²
Paved Area = 11,616 ft²
 $C_l = \frac{17,884(0.25)}{29,500} = 0.15$
 $C_p = \frac{11,616(0.90)}{29,500} = 0.35$
Composite C = 0.50

$Q_{100} = (0.50)(4.65)(0.68) = 1.6$ cfs
 $V_{100} = (1.6)(50T_c)(60 \text{ sec/min})/2 = 2,400 \text{ cu. ft.}$

$Q_{100} = (0.50)(4.65)(0.68) = 1.6$ cfs
 $V_{100} = (1.6)(50T_c)(60 \text{ sec/min})/2 = 2,400 \text{ cu. ft.}$

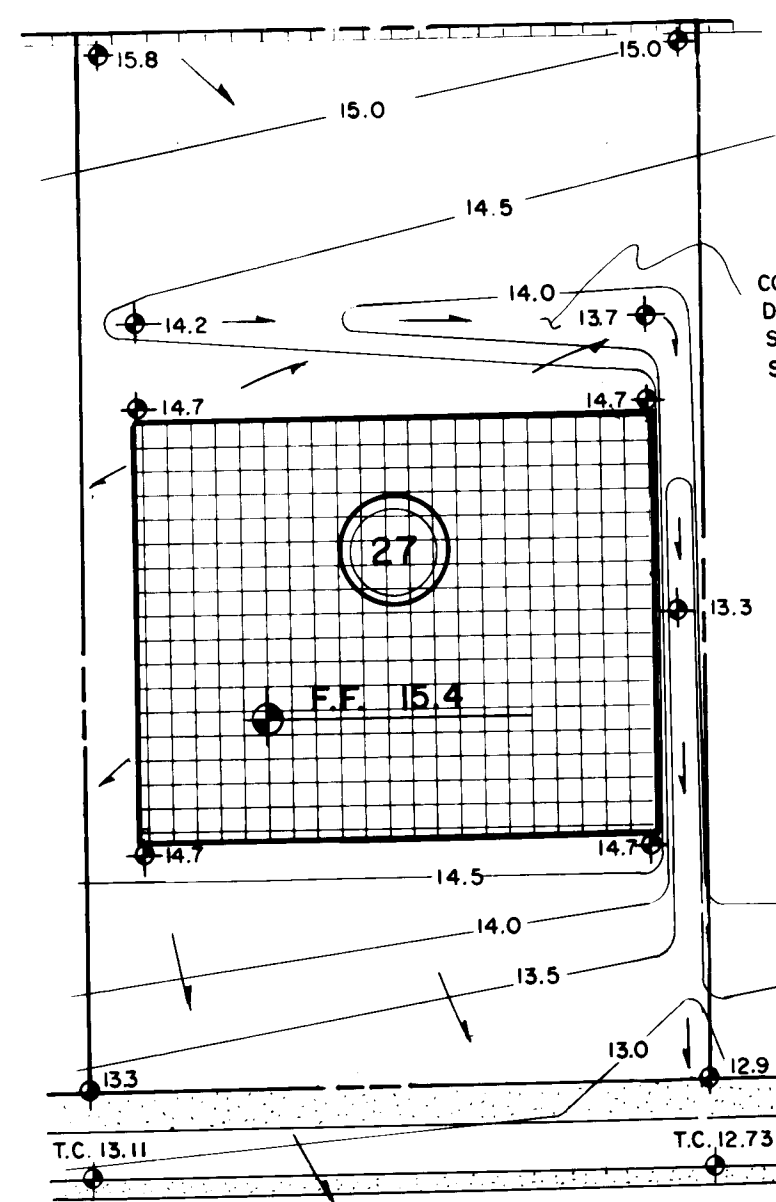
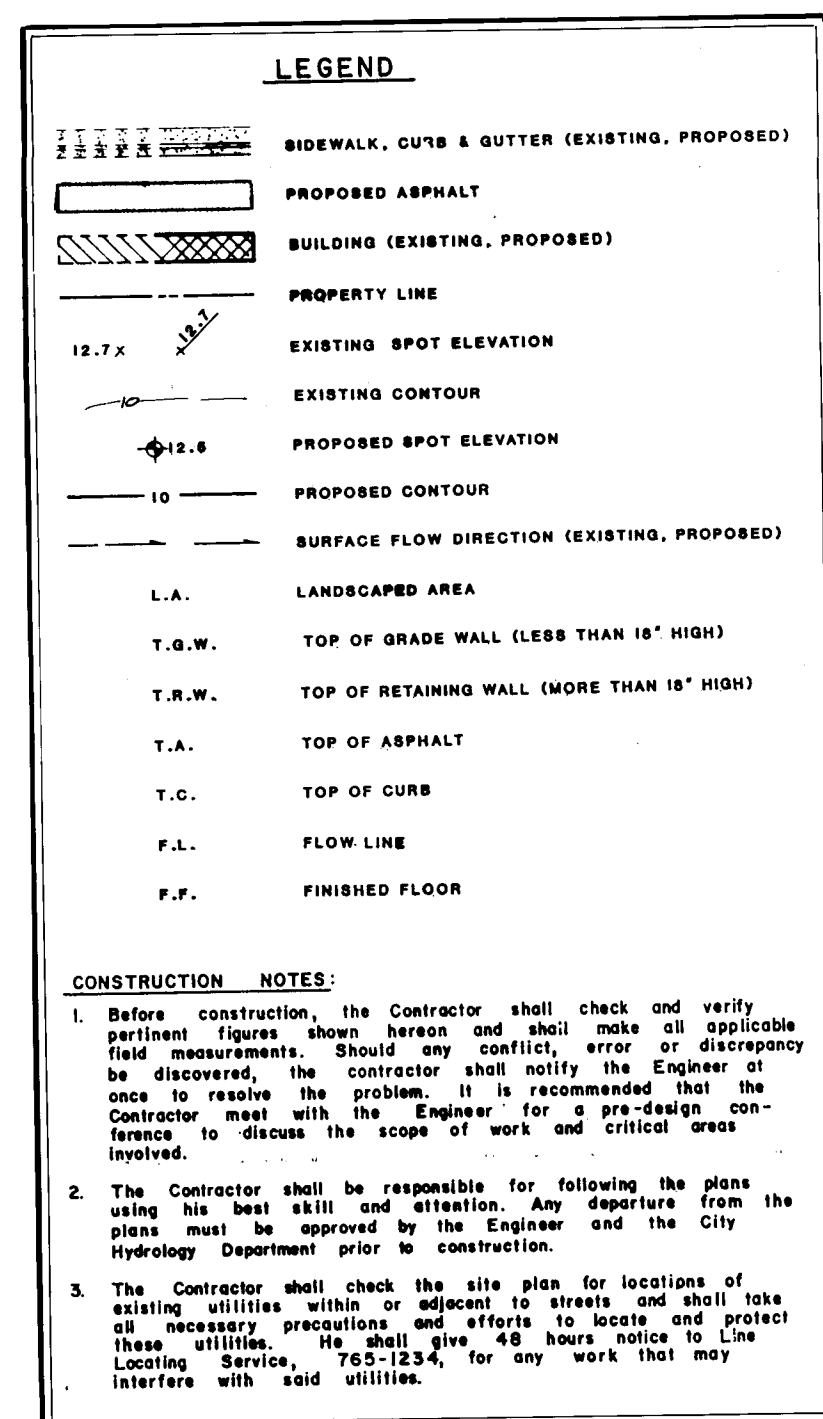
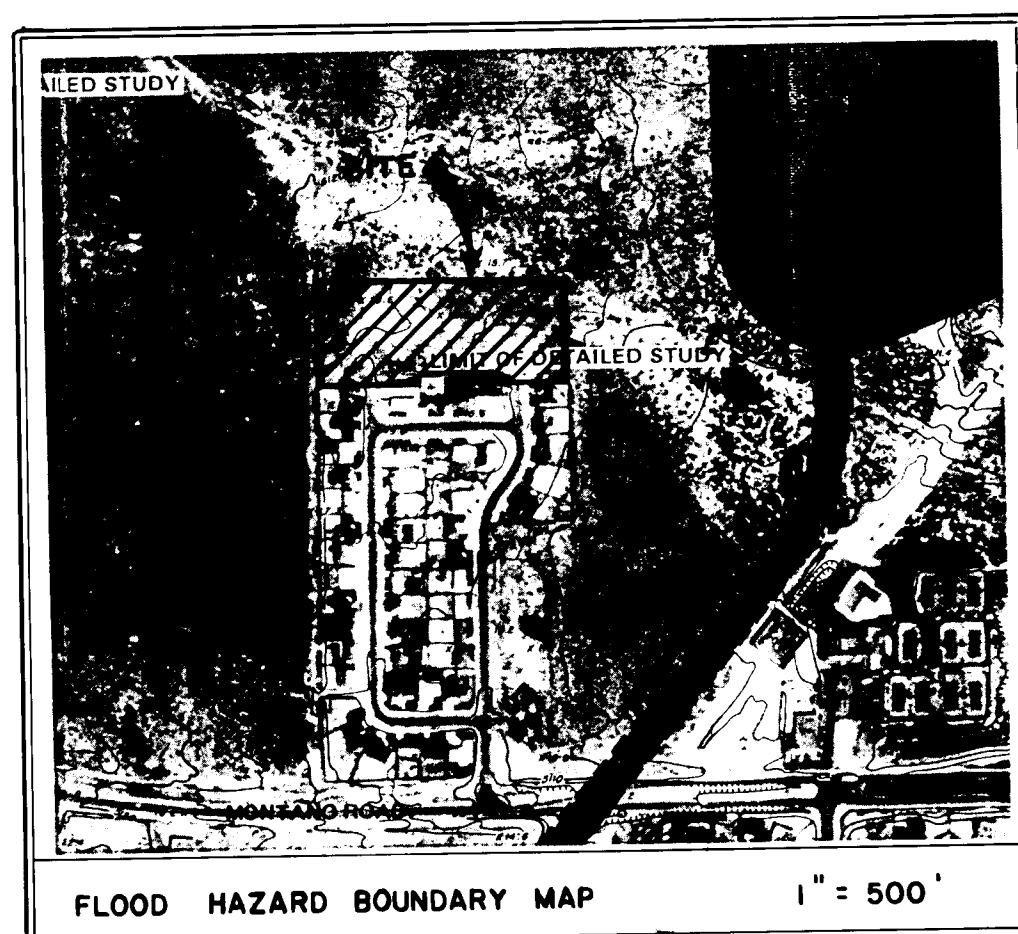
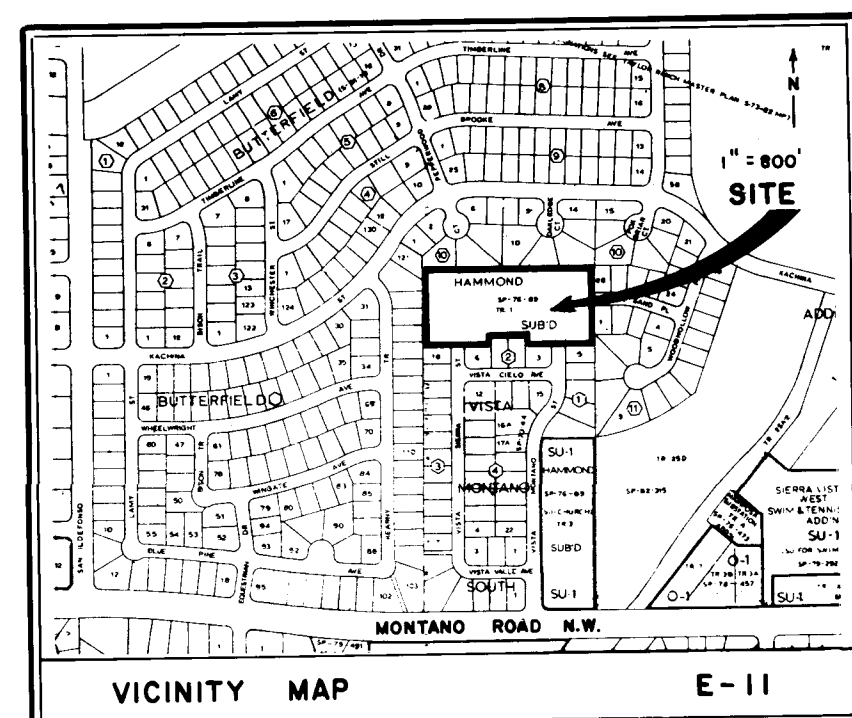
Total Flows (Developed):

On-site	11.7 cfs	17,550 cu.ft.
Off-site	1.6 cfs	2,400 cu.ft.
	13.3 cfs	19,950 cu.ft.

SUMMARY:

$Q_{100} = (13.3)-(8.4) = 4.9$ cfs (increase)
 $V_{100} = (19,950)-(12,555) = 7,395 \text{ cu. ft. (increase)}$

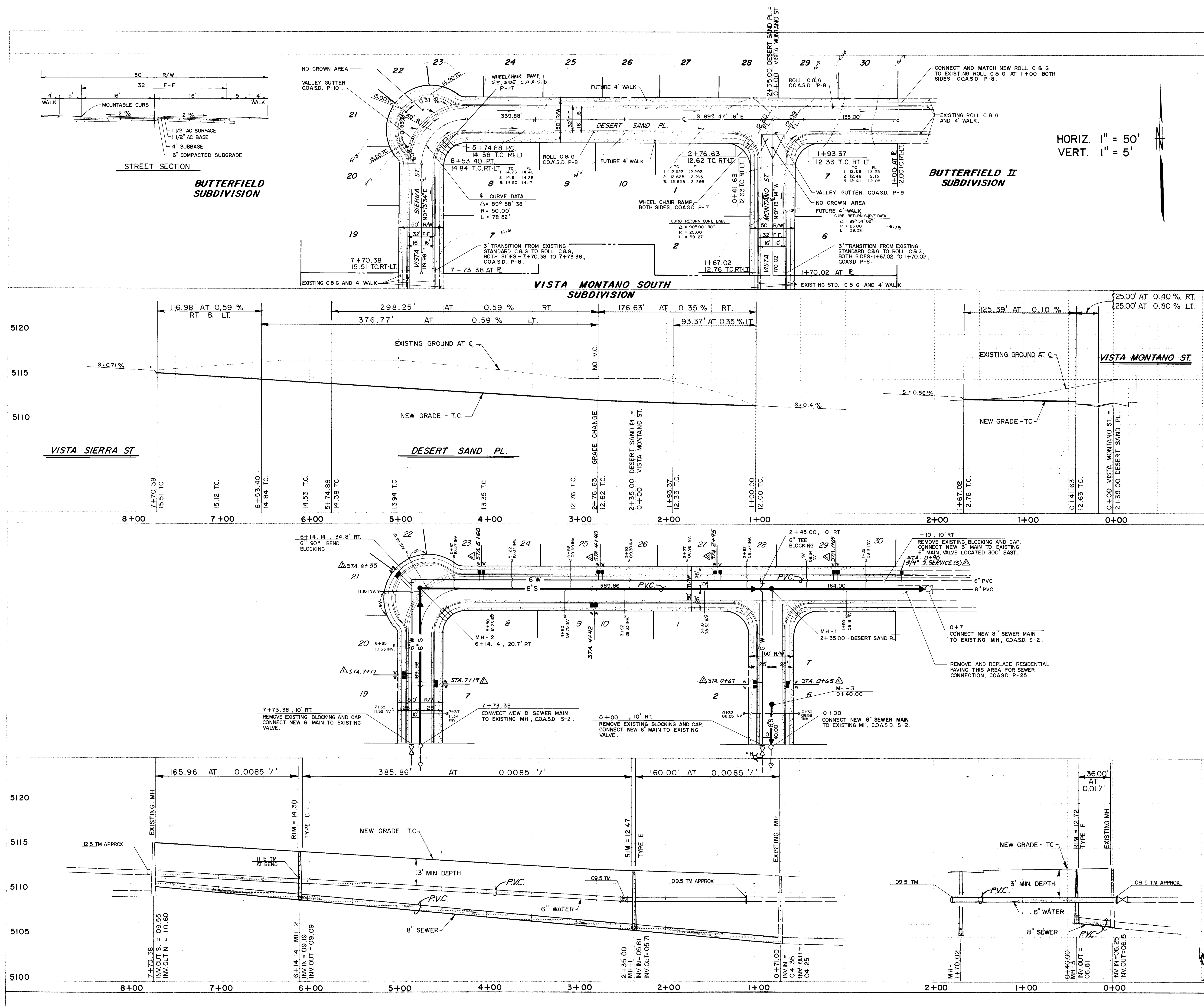
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TYPICAL LOT GRADING PLAN

1" = 20'

FOR INFORMATION ONLY
3019



NOTES

C.O.A.S.D. - City of Albuquerque Standard Drawing.

Install E.M.D. at all bends, caps and tees.

All valves will be resilient seat and be installed with type "A" valve box and valve anchoring.

Approved pipe material:

Sewer - PVC, VCP, DI or approved equal.
Water - C900, PVC, AC, DI or approved equal.

Place blocking at all bends, tees, crosses, caps, valves and fire hydrants.

Stationing baseline for streets and utilities is along streets centerline.

See Project #2651 for information on Desert Sand Place in the Butterfield II Subdivision.

See Project #C-069-77 for information on Vista Sierra Street and Vista Montano Street in the Vista Montano South Subdivision.

AS BUILT INFORMATION

CONTRACT NO. _____

DATE _____

INSPECTED BY _____

DATE _____

APPROVED BY _____

DATE _____

RECORDED BY _____

DATE _____

BENCH MARKS

BRASS CAP MONUMENT IN CONCRETE ELEV. = 5102.53

S.E. CORNER SECTION 26, T.11N., R.2E. N.M.P.M.

SURVEY INFORMATION

FIELD NOTES

NO. _____

DATE _____

BY _____

ENGINEER'S SEAL

CHRISTOPHER L. WEISS, P.E.

1100 ALVARADO N.E. ALBUQUERQUE, N.M. 87110 (505) 266-3444

REVISIONS

NO.	DATE	BY	REMARKS
1	8-24-87	Revised from as-built information	

DESIGN

DESIGNED BY DEC. 8-86

DRAWN BY DEC. 8-86

CHECKED BY C.L.W. DATE 8-86

26 30190487

WEISS / HINES ENGINEERING, INC.

1100 ALVARADO N.E. ALBUQUERQUE, NEW MEXICO 87110 (505) 266-3444

CITY OF ALBUQUERQUE

MUNICIPAL DEVELOPMENT DEPARTMENT

ENGINEERING DIVISION

TITLE: VISTA MONTANO NORTH SUB DIVISION

STREET & UTILITY PLAN & PROFILE

DESERT SAND PL. - VISTA MONTANO ST. - VISTA SIERRA ST.

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	[Signature]	9/24/86	Liquid Waste	[Signature]	9/24/86
A.C.E. - Design	[Signature]	9/24/86	Traffic	[Signature]	9/24/86
A.C.E. - Hydrology	[Signature]	9/24/86	Water	[Signature]	9/24/86

DRAWING NO. 3019

MAP NO. E-11

SHEET 4 OF 4