

# SUBDIVISION IMPROVEMENT PLANS

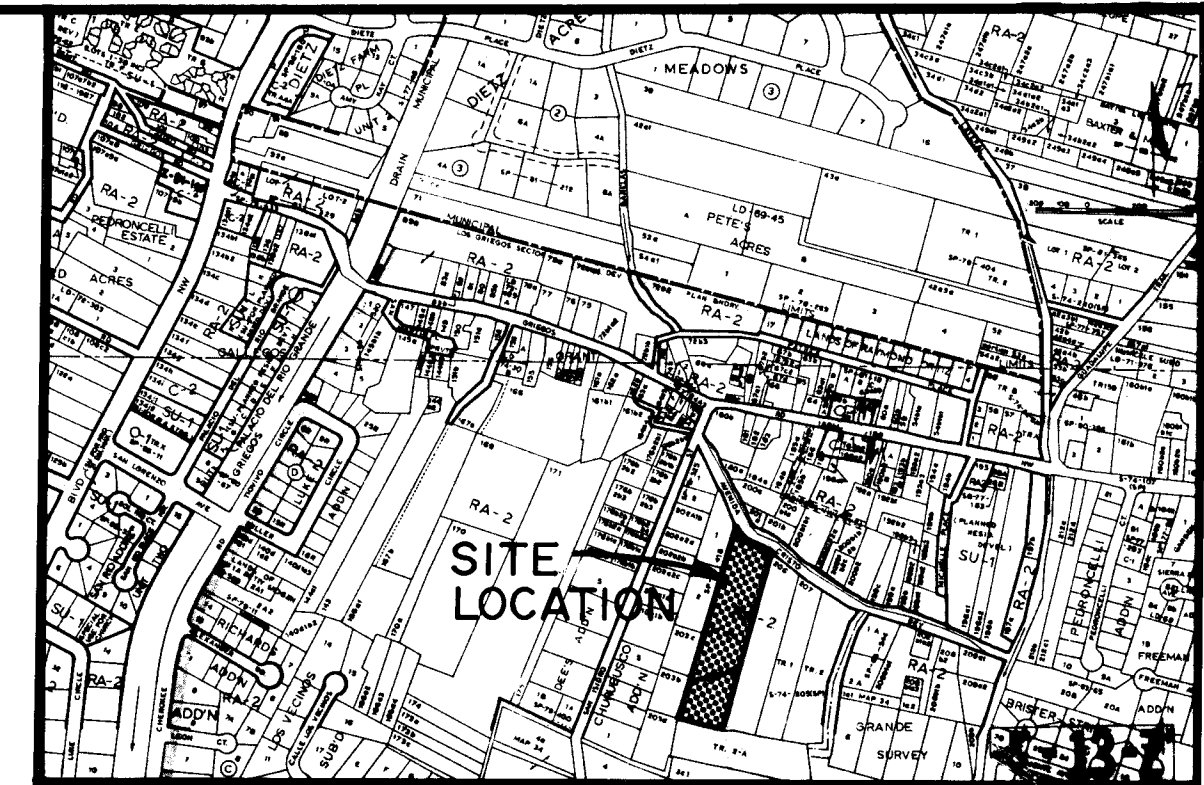
FOR

## LANDS OF SEYMOUR

ALBUQUERQUE, NEW MEXICO

### INDEX

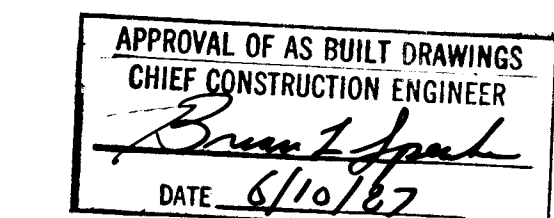
DESCRIPTION	SHEET NO.
TITLE SHEET	1
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VICINITY MAP

#### GENERAL NOTES:

- All work detailed on these plans to be performed under this contract shall be constructed in accordance with the City of Albuquerque Interim Standard Specifications for Public Works Construction - 1985 Edition (referred herein as the Standard Specification).
- Two (2) working days prior to any excavation, Contractor must contact line locating service, 765-1234, for locating of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions.
- All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules and regulations concerning construction safety and health.
- All gas, electric, telephone lines, cables and appurtenances encountered during construction that require relocation, shall be done by the responsible utility. Contractor shall be responsible for coordination of all necessary utility adjustments.
- It will be the Contractor's responsibility to protect and maintain in service all existing utilities.
- The Contractor will be required to confine his work within the construction limits and/or public right-of-way to preserve existing vegetation and private property. Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes.
- A disposal site for all excess excavation material, asphaltic paving, concrete curbs and sidewalks, etc., shall be obtained by the Contractor in compliance with applicable environmental regulations.
- Where removal of existing curbs and gutters, sidewalk or pavement is required, Contractor shall sawcut and/or remove to the nearest joint.
- When abutting new pavement to existing, sawcut existing pavement to a straight edge and at right angle, or as approved by the city, to remove any broken or cracked pavement.
- Backfill compaction shall be according to specified street use.
- Only Water Systems Division personnel are authorized to operate existing valves, fire hydrants, etc. Ph. #823-4200
- References made to Standard Drawings refer to the City of Albuquerque Standard Detail Drawings.
- All permanent pavement marking and traffic signing will be performed by the City of Albuquerque, Traffic Engineering Department.
- Where concrete blocking is called for, wrap all bends, tees, and other fittings with polyethylene.
- Bollards for the protection of the two fire hydrants shall be constructed as per STD. DWG. K-22 for stationary bollards.
- Water meter covers and lids shall be as per STD. DWG. W-19.

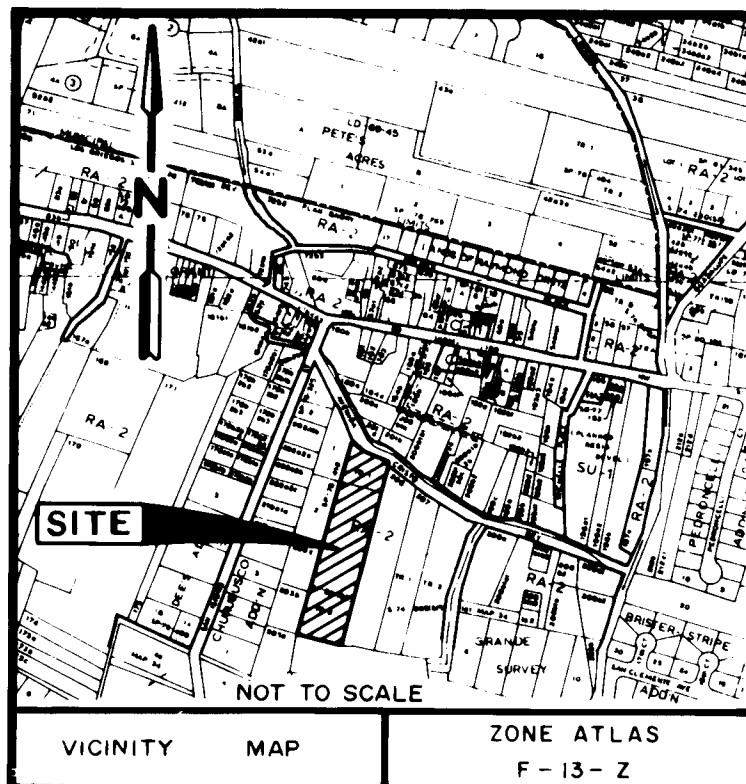


SET NO.  
DATE

26 30540187

REV.	SHEETS	CITY ENGR.	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS									

	GARDNER, MASON & ASSOC., INC. ALBUQUERQUE, NEW MEXICO	APPROVED FOR CONSTRUCTION  CITY ENGINEER
	3054	SHEET 1 OF 4



SP-06-26-2458

REDIVISION

08724358

OF

TRACT I-A

NOW COMPRISING LOTS 1 THROUGH 9

LANDS OF SEYMOUR

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JUNE, 1986

## PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

- The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Mountain Bell for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Jones Intercable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

## DEDICATION AND CONSENT STATEMENT

The undersigned owner(s) of the tract of land hereon shown: Tract I-A, LANDS OF SEYMOUR; as said Tract I-A is shown and designated on "Plat of Tracts I-A & 2-A LANDS OF SEYMOUR within Sec. 31, T. 11 N., R. 3 E., N.M.P.M., & Sec. 6, T. 10 N., R. 3 E., N.M.P.M., Albuquerque, New Mexico (A replat of TRS. 1 & 2) April, 1984", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 8, 1984, in Volume C24, Folio 50, (Now Comprising Lots 1 through 9), do hereby consent to the redivision shown; in the manner hereon shown; dedicate to the City of Albuquerque any additional right-of-way shown and grant any easement shown (for the purpose shown and noted), and including rights of ingress and egress for construction, installation, and maintenance of service lines and the right to trim interfering trees and shrubs; and hereby certify that this redivision is their free act and deed.

*Ernest J. Santistevan*  
ERNEST J. SANTISTEVAN  
1400 Phoenix N.W.  
Albuquerque, N.M. 87107

*Richard L. Gonzales*  
RICHARD L. GONZALES  
10112 Fourth N.W.  
Albuquerque, N.M. 87108

## NOTARY:

STATE OF New Mexico )  
COUNTY OF Bernalillo ) SS

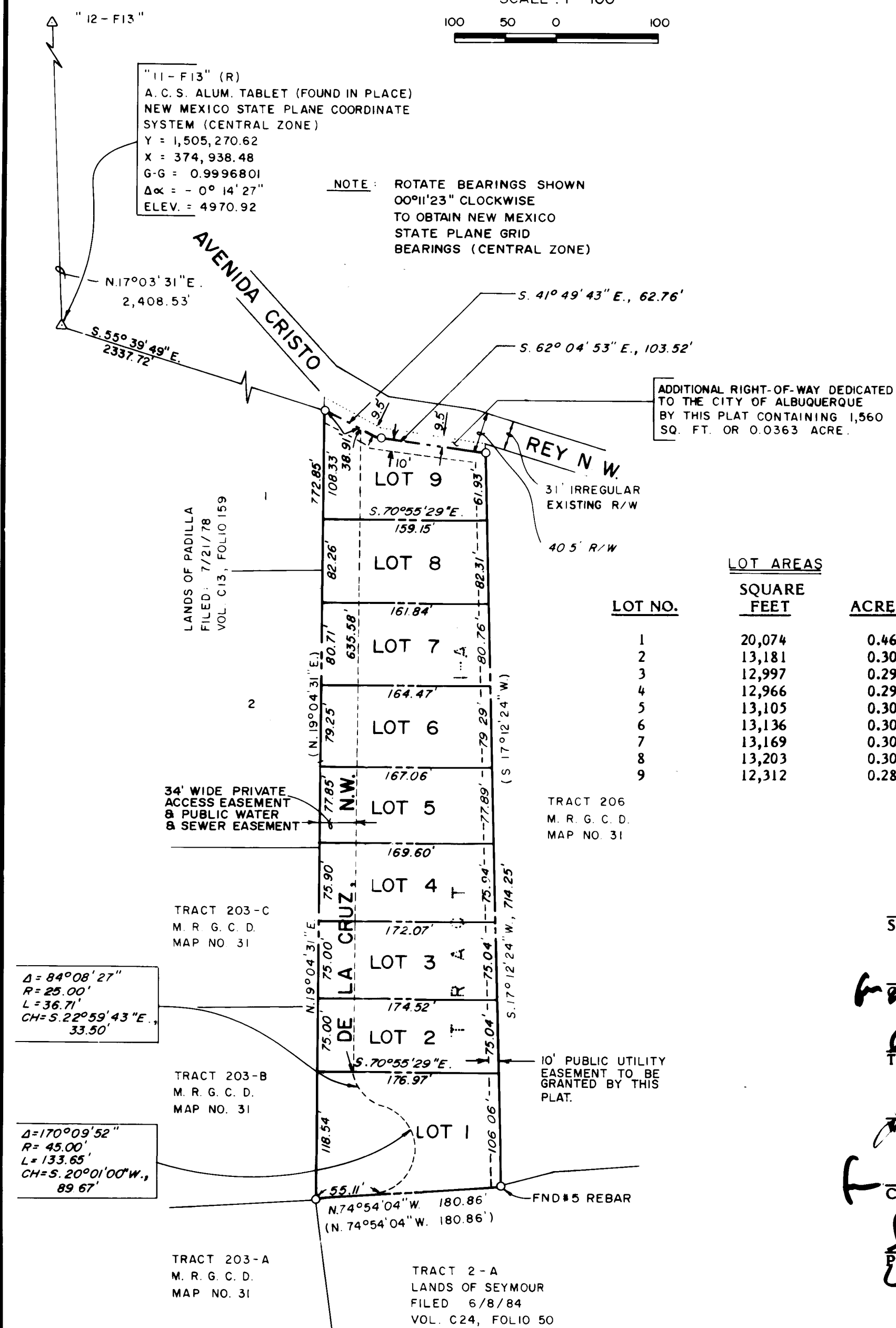
The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the 23 day of June, 1986.

My Commission Expires 8-24-87

*Yvonne M. Villaseca*  
Notary Public

## LOT AREAS

LOT NO.	SQUARE FEET	ACREAGE
1	20,074	0.4608
2	13,181	0.3026
3	12,997	0.2984
4	12,966	0.2977
5	13,105	0.3008
6	13,136	0.3016
7	13,169	0.3023
8	13,203	0.3031
9	12,312	0.2826



## NOTES:

- Unless otherwise indicated, all corners are marked with an iron stake surmounted with a cap marked "LS 4078".
- Bearings shown are based on bearings shown on "Plat of Tracts I-A & 2-A LANDS OF SEYMOUR within Sec. 31, T. 11 N., R. 3 E., N.M.P.M., & Sec. 6, T. 10 N., R. 3 E., N.M.P.M., Albuquerque, New Mexico (A Replat of Trs. 1 & 2) April, 1984".
- Bearings and distances shown are field and record data. Bearings and distances shown in parentheses are record data.
- Distances are ground distances.
- Total Gross Area = 124,142 square feet (2.8499 acres).
- The purpose for this plat is the redivision of Tract I-A, LANDS OF SEYMOUR into Lots 1 thru 9.
- Maintenance of the 34' wide private access easement, De La Cruz, N.W., shall be the responsibility of the owners of Lots 1 thru 9.
- Maintenance of on-site retention ponds shall be the responsibility of the individual property owners.

## SURVEYOR'S CERTIFICATE

I, FRED SANCHEZ, a registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and that it is true and correct to the best of my knowledge and belief.

*Fred Sanchez*  
FRED SANCHEZ, N.M.L.S. NO. 4078

Date 6/23/86

## NOTARY:

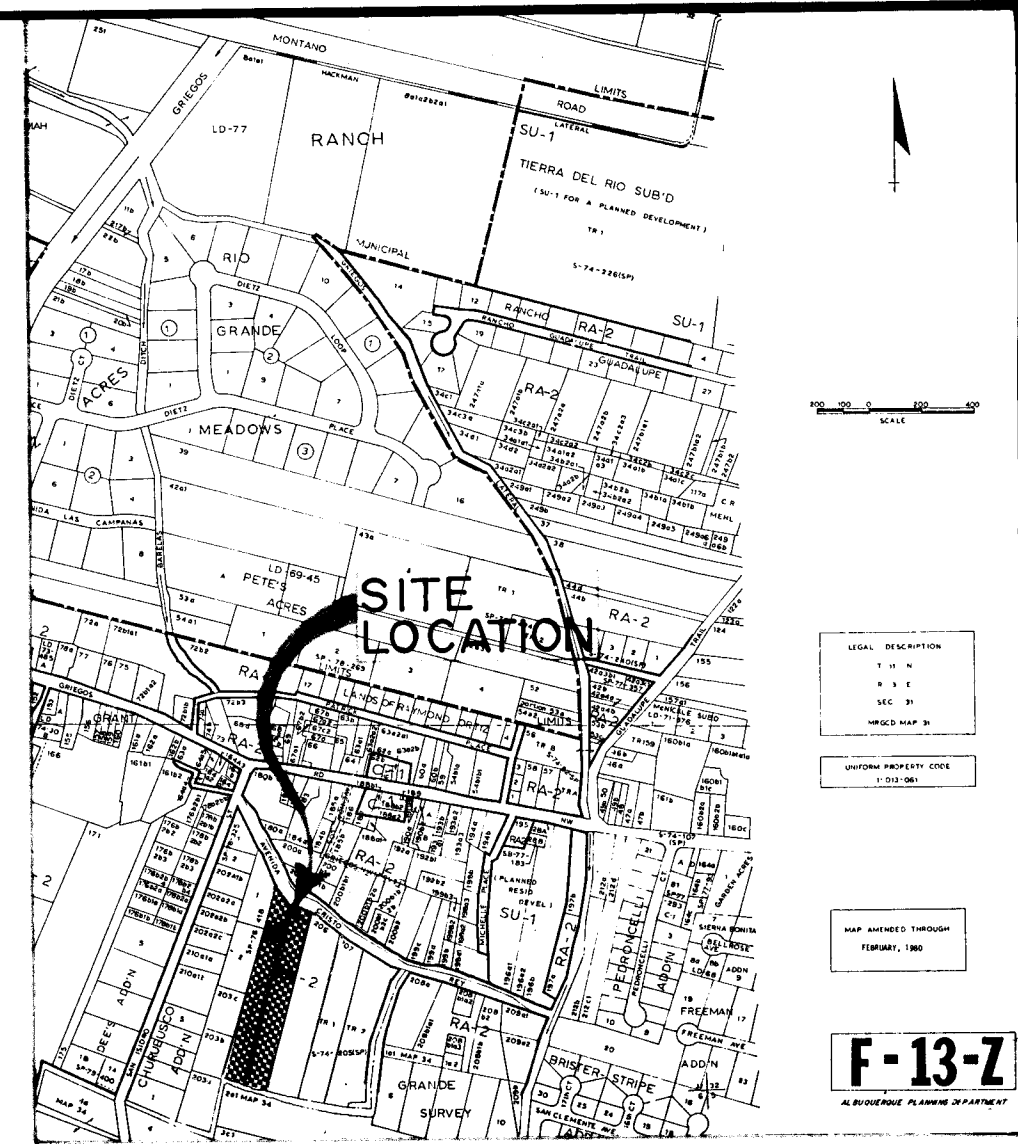
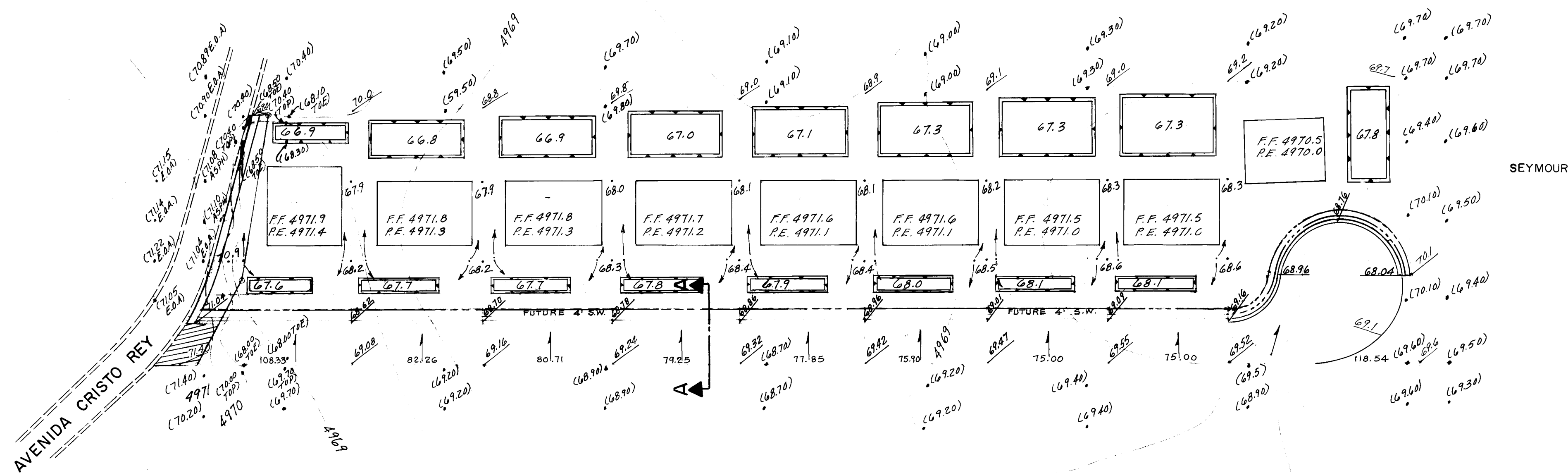
STATE OF New Mexico )  
COUNTY OF Bernalillo ) SS

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1 2 3 4 5 6 7 8 9 10 11 12  
26 30 54 62 67 71



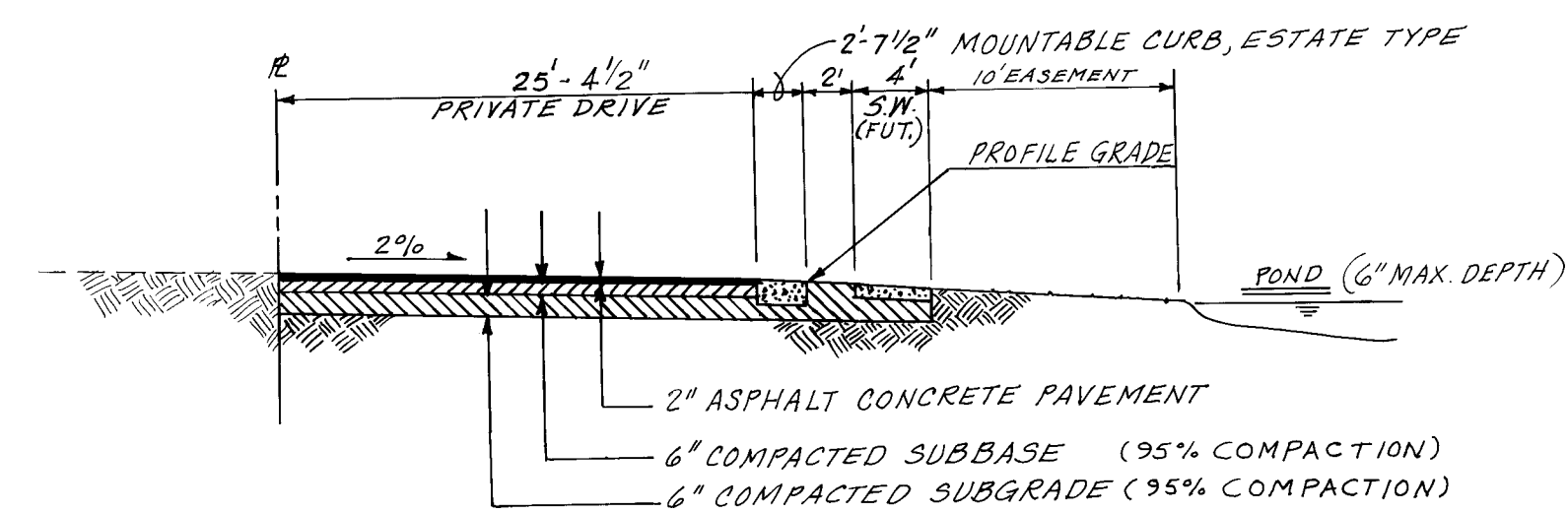
VICINITY MAP

BENCH MARK: "5-F13" is a chiseled square on top of the curb located at the intersection of Griegos Road, N.W. and Guadalupe Trail, N.W. in the Northeast quadrant of the intersection.

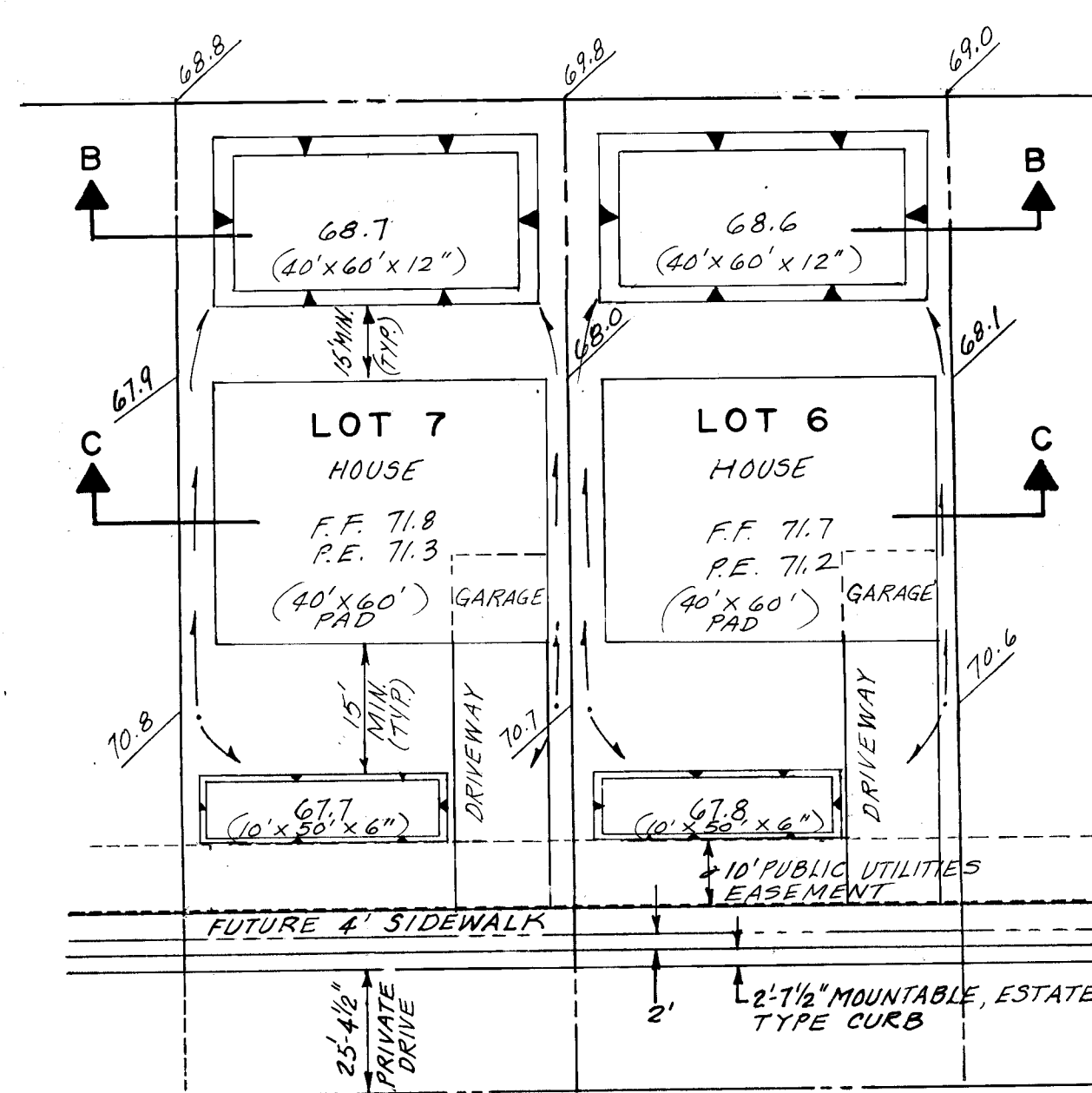
TBM: A chiseled square on top of the curb approximately 12 feet west from the end of the curb on the South side of Avenida Cristo Rey, N.W.

LEGEND

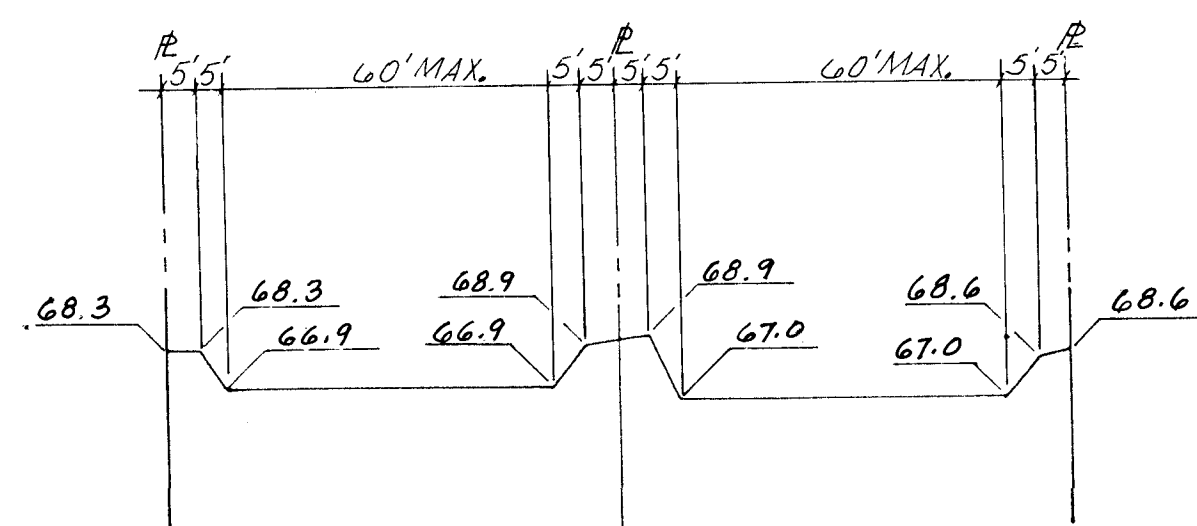
- 44.77 PROPOSED GRADE
- F.F. FINISHED FLOOR
- P.E. PAD ELEVATION
- PONDING AREA
- (69.80) EXIST. SPOT ELEVATION
- ===== EXISTING CURB
- ===== PROPOSED CURB
- FUTURE SIDEWALK



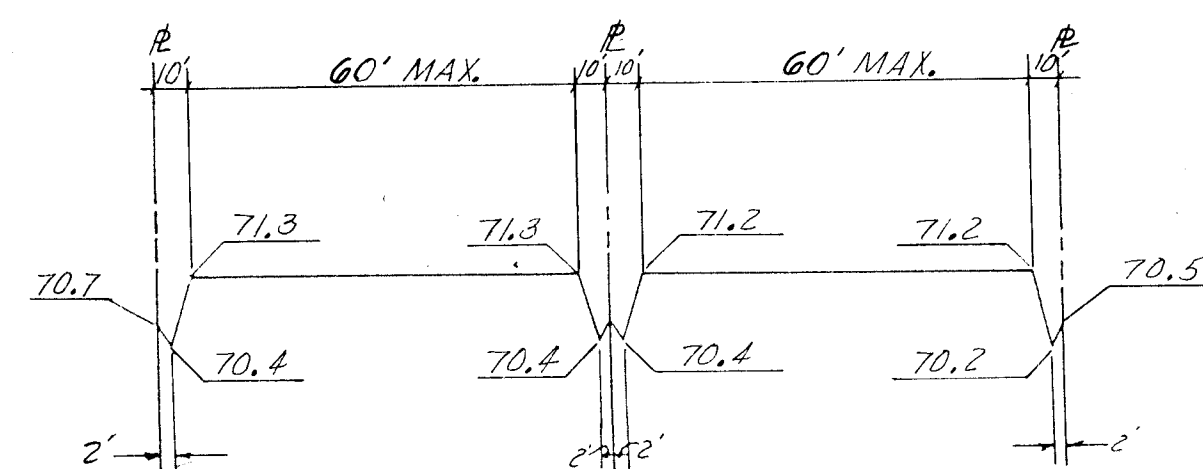
TYPICAL STREET SECTION "A-A"  
N.T.S.



TYPICAL LOT GRADING PLAN DETAILS  
N.T.S.



SECTION "B-B"  
N.T.S.



SECTION "C-C"  
N.T.S.

GRADING & DRAINAGE PLAN  
NOT A PART OF PROJECT #3054

1 2 3 4 5 6 7 8 9 10 11 12  
26 30540387

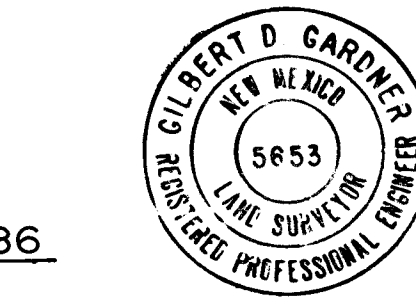
REDIVISION  
OF  
TRACT I-A  
NOW COMPRISING LOTS 1 THROUGH 9  
**LANDS OF SEYMOUR**  
BERNALILLO COUNTY, NEW MEXICO

GRADING AND DRAINAGE PLAN

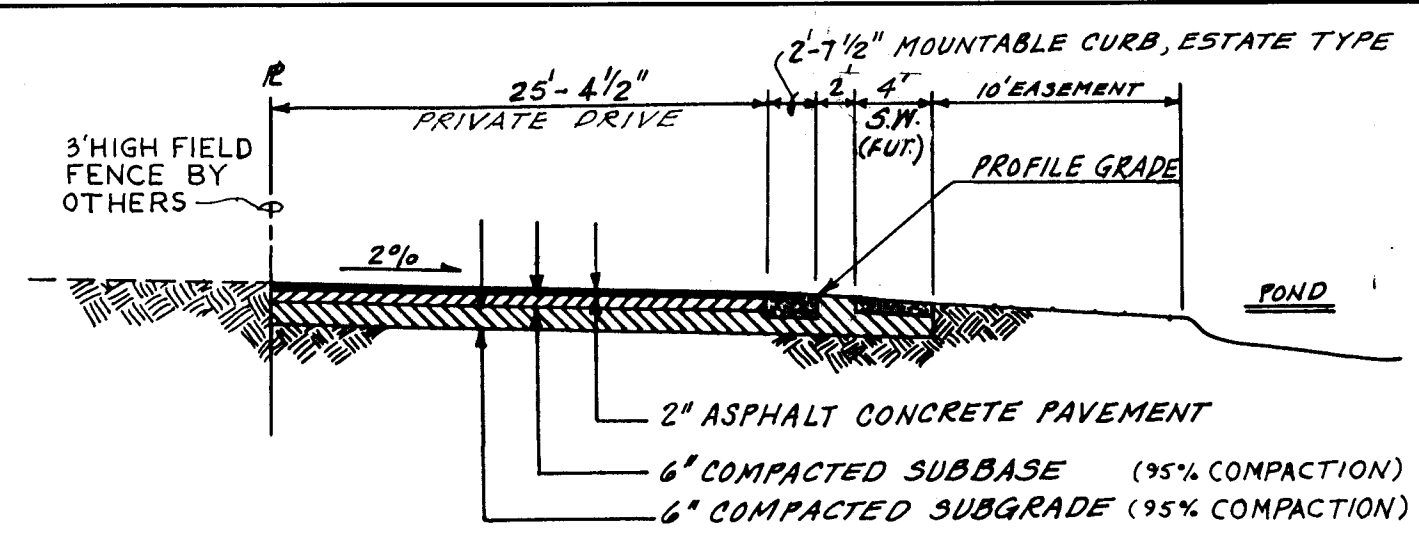
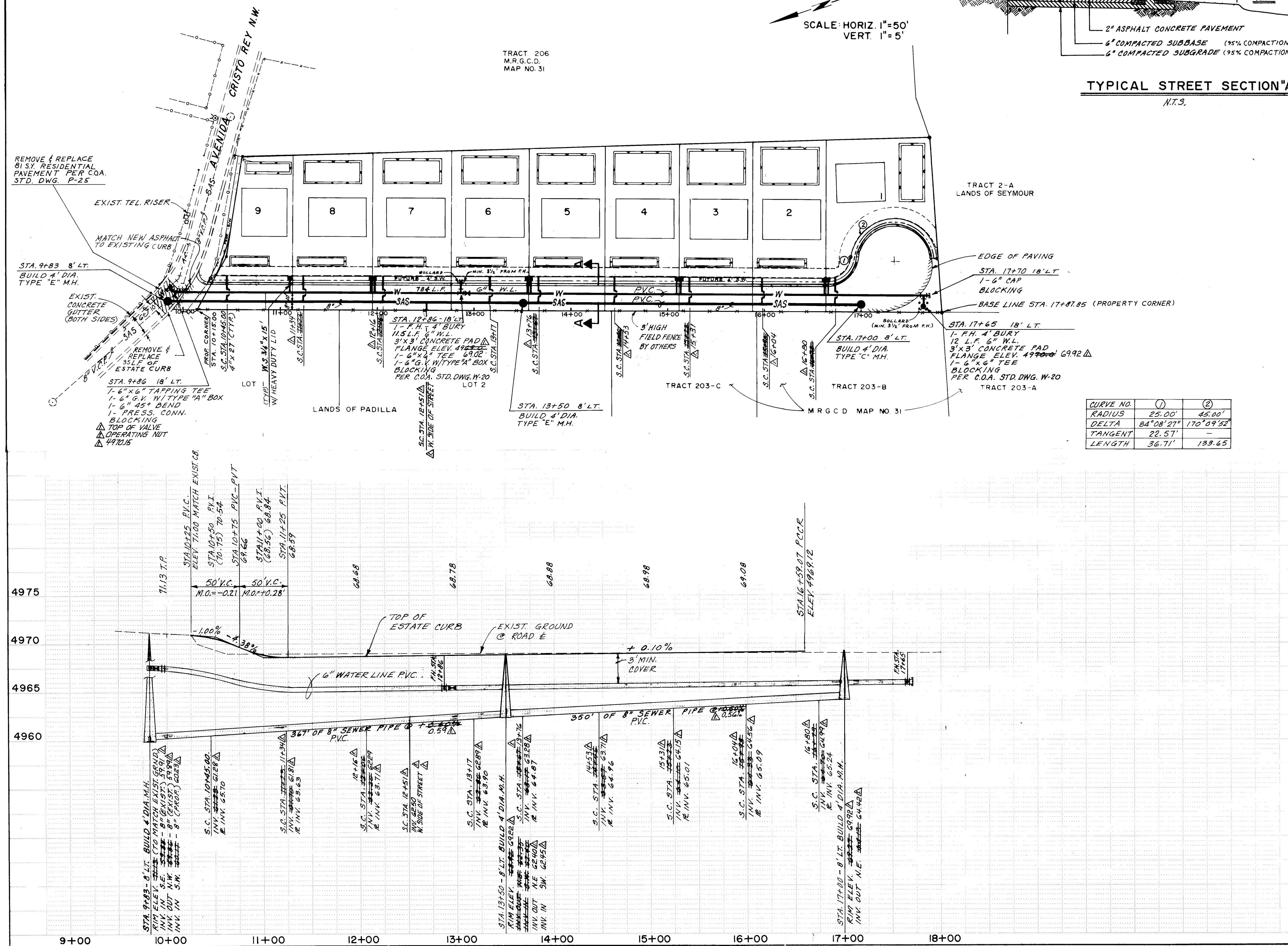
REVISED: *Gilbert Gardner* DATE: 9-16-86

PREPARED BY: **GARDNER  
JASON &  
SSOCIATES**

2127 MARSH BLDG NE  
ALBUQUERQUE, N.M. 87107  
(505) 881-2846



*Gilbert Gardner* 8-18-86  
GILBERT GARDNER DATE



- LEGEND**
- SAS ● SANITARY SEWER & MANHOLE
  - W — WATER LINE
  - GATE VALVE
  - FIRE HYDRANT
  - WATER METER SINGLE
  - WATER METER DOUBLE
  - S.C. SERVICE CONNECTION
  - ===== EXISTING CURB
  - ===== PROPOSED CURB
  - FUTURE SIDEWALK

CURVE NO.	(1)	(2)
RADIUS	25.00'	45.00'
DELTA	84°08'27"	170°09'52"
TANGENT	22.57'	—
LENGTH	36.71'	133.65'

26 30 54 04 87

ENGINEER'S SEAL

DESIGNED BY: M.Y. DATE: 8-22-86  
DRAWN BY: J.R. DATE: 10-22-86  
CHECKED BY:

CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION

TITLE: LANDS OF SEYMOUR  
PLAN AND PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	11/3/86	Liquid Waste	<i>[Signature]</i>	11/7/86
A.C.E. - Design	<i>[Signature]</i>	8/12/86	Traffic	<i>[Signature]</i>	11/6/86
A.C.E. - Hydrology	<i>[Signature]</i>	11/12/86	Water	<i>[Signature]</i>	11/7/86

DRAWING NO. 3054 MAP NO. F-13-2 SHEET 4 OF 4