CONSTRUCTION PLANS FOR

THE CHAMPIONS AT TANOAN

PHASE I

BEING A PORTION OF TRACT E OF THE AMENDED SUMMARY PLAT OF TANOAN PROPERTIES

ALBUQUERQUE, NEW MEXICO

FEBRUARY, 1987

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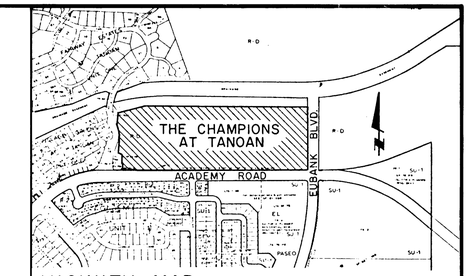
GREINER Job No. 0690600



VICINITY MAP ZONE ATLAS E·21·Z

GENERAL NOTES

1. All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with the City of Albuquerque Interim Standard Specifications Public Works Construction, 1985.
2. Two (2) working days prior to any excavation, Contractor must contact line locating service (765-1234), Tanoan Homeowner's Assoc. and Tanoan Country Club for location of existing utilities.
3. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer or Surveyor so that the conflict can be resolved with minimum amount of delay.
4. All utilities and utility service lines shall be installed and tested prior to paving.
5. Backfill compaction shall be according to specified street use.
6. Tack coat requirements shall be determined by the City Engineer.
7. Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
8. If curb is depressed for a drivepad or a handicap ramp, the drivepad or ramp shall be constructed prior to acceptance of the curb and gutter.
9. All storm drainage facilities shall be completed prior to final acceptance.
10. Manholes shall be 4' inside diameter Type "C" or "E" except as noted.
11. Electronic marker disks (EMD's) are to be installed per Section 170. In addition to those shown on the plans, the following EMD's are required:
    A) Sewer - At the property line for all service lines.
    B) Water - Single service. Over the main line at the service tap.
    C) Water - Double service. Over the main line halfway between the service taps.
12. Contractor should be aware of the soil reports available from F.M. Fox. The Contractor should be thoroughly aware of the findings and recommendations.

Prepared by: Daniel L. Morehead, Project Manager — 1-29-87 Date

Robert Molina, Project Engineer — 1-29-87 Date

Prepared Under the Supervision of: Carl A. Tebbens, Vice-President — 1/30/87 Date

Prepared For: INMAN ENTERPRISES, INC.
7801 Academy Blvd., N.E.
Albuquerque, New Mexico 87112

Contact: J. L. Brown (505) 821-5600

1	2	3	4	5	6	7	8	9	10	11	12
2	6		3	0	9	6	0	1	8	7	

APPROVAL OF AS BUILT DRAWINGS
ASST. CITY ENGINEER-PWD
BY: 7-30-87

REV	SHEETS	CITY ENGR	DATE	USER DEPT.	DATE	USER DEPT.	DATE

APPROVAL OF REVISIONS

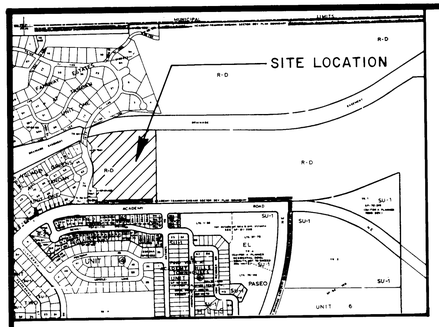
1-29-86

GREINER ENGINEERING
2601 WYOMING BLVD., NE
ALBUQUERQUE, NM 87112
(505) 292-1936

APPROVED FOR CONSTRUCTION
3/18/87

DRAWING NO. 3096

SHEET 1 OF 28



VICINITY MAP
N.T.S.

GENERAL NOTES:

1. Bearing basis is N.M. State plane Coordinate System (Central Zone).
2. (N/R) indicates non-radial.
3. All lots and parcels within this subdivision are subject to declaration of restrictive covenants filed separately from this plat.
4. Monumentation – After subdivision improvements are completed it is the developer's responsibility to monument centerline P.C.s, P.T.s and intersection points in lieu of block control per City of Albuquerque subdivision requirement.
5. The purpose of this replat is to create a 53 Lot Subdivision.
6. Any relocation of the Public Waterline and Public Water Easement shall be at the owners expense and with City of Albuquerque Water Resources Department approval.

APPROVED BY:

Traffic Engineer, Transportation Department	Date
Parks and Recreation Department	Date
Chief City Surveyor, Engineering Division	Date
Water Resources Department	Date
Property Management	Date
Albuquerque Metropolitan Arroyo Flood Control Authority	Date
City Engineer, Engineering Division	Date
City Planner, Albuquerque/Bernalillo County Planning Division	Date
Public Service Company of New Mexico	Date
Mountain Bell	Date
Mel Cordova	1-29-87
Gas Company of New Mexico	Date

BRUNING 44.142.62595

Replat Data

D.R.B. Case Number	
Zone Atlas Number	E-21
Gross Acreage	10.853
Total Number Tracts Created	59
Total Mileage of Streets Created (Private)	0.426 mi.
Date of Survey	8-86
Talos Log Number	01-20-1394

DESCRIPTIONS OF EASEMENTS

1. UTILITY EASEMENTS: Utility easements on the plat are granted for the common and joint use and benefit of:

(a) The City of Albuquerque for installation, service and maintenance of water and sewer lines, valves, pumps and/or other related equipment and facilities reasonably necessary to deliver potable water to the residents of the subdivision and provide a liquid waste disposal system in accordance with the plans and procedures of the City of Albuquerque;

(b) the Public Service Company of New Mexico for installation, maintenance and service of electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electric service to the residents of the subdivision, including the rights of ingress and egress and the right to trim interfering trees;

(c) The Gas Company of New mexico for installation of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas to the residents of the subdivisions;

(d) Mountain Bell for the installation, service and maintenance of all telephone lines, switching equipment and other related equipment and facilities reasonably necessary to provide telephone service to the residents of the subdivision;

(e) Albuquerque Cable Television, Inc., for the purpose of installation, service and maintenance of such line or cable as is reasonably required to provide cable TV service to the residents of the subdivision;

(f) Tanoan Community Associations, for the purpose of installing, maintenance and service to the residents of the subdivision;

2. DRAINAGE AND IRRIGATING EASEMENTS: Drainage and irrigating easements are private, for the benefit of all owners of the subdivision or indicated on the plat for the passage, containment or diversion of surface and irrigation waters, and between individual property owners as indicated on the plat by reference or notation.

3. ACCESS EASEMENTS: The City of Albuquerque is hereby granted an access easement over and across Tract "F" for the purpose of allowing its various operating departments to provide service to the residents of the subdivision in the same manner and to the same extent as though Tract "F" was a dedicated public street. "operating Departments" as referred to above shall include but shall not be limited to the department of the city providing the following services; (1) Police protection; (2) Fire protection; (3) Water Resources; (4) Solid refuse and liquid disposal; (5) Animal control; and (6) City planning functions. All owners of the subdivision are hereby granted the right to access their property over and across Tract "F".

4. In Tract "F" the City of Albuquerque shall have the exclusive right to place underground utility lines within six (6) feet of the centerline of a water or sewer line except for perpendicular crossings or where written approval has been obtained from the City of Albuquerque. Gas Company of New Mexico, Public Service Company of New Mexico and Mountain States Telephone and Telegraph are excepted from compliance with the requirements of the first sentence in this paragraph.

5. PEDESTRIAN EASEMENT: Pedestrian easements are exclusive ingress egress easements for the benefit of all owners of the subdivision.

6. Tracts "A, B, C & D" are for private Landscaping purposes.

7. Tract "E" is for landscaping purposes; for the use and enjoyment by all Homeowners. Tract "E" Maintenance will be done by the Homeowners Association.

8. Tract "F" as shown hereon is a Private Way hereby granted as a permanent access easement to be indivisible and collectively owned by the owners of the individual properties which the easements serve and said private ways are also private water and sewer easements.

9. PARKING: Parking area will be included in Tract "F" only, and not in Tracts "A thru E"

10. BACKYARD ACCESS: Lots 95 through 100 inclusive will have access from Bridgepointe only. Lots 101 through 106 will have access from Barrinson only.

CERTIFICATION

I, Daniel L. Morehead, New Mexico Registered Land Surveyor Number 8324 certify that this Plat was prepared by me or under my supervision and that an actual field survey was performed on the ground shown hereon, and that this Plat shows all easements of record and that this Plat meets the minimum requirements of the Albuquerque Subdivision Ordinance and is true and correct to the best of my knowledge and belief.

D. L. Morehead, NMRLS No. 8324 — Date
Greiner Engineering Sciences, Inc.

THE CHAMPIONS AT TANOAN

PHASE I

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

BEING A REPLAT OF

A PORTION OF

THE CHAMPIONS AT TANOAN

REVISION PLAT OF TANOAN PROPERTIES

JANUARY, 1987

DEDICATION & FREE CONSENT

The undersigned owners of the land hereon shown do hereby consent to the subdivision of the land shown hereon. THE CHAMPIONS AT TANOAN, PHASE I, being a tract of land situate within projected Section 28, T11N, R4E, N.M.P.M., within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico being a replat of a portion of THE CHAMPIONS AT TANOAN, REVISION PLAT of TANOAN PROPERTIES as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on May 7, 1985 in Volume C27, Folio 37 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

Beginning at the southwest corner of the tract herein described, said point of beginning being at the intersection of the northerly right-of-way line of Academy Blvd., N.E. and the extension of the easterly line of Tract 76 C-1 as shown on the REPLAT OF TRACT 76-B & 76-C OF VILLAGE GREENS AT TANOAN, UNIT ONE, recorded in Vol. C18, Folio 114, records Bernalillo County. From which the ACS aluminum cap 8-E21 bears S 89°30'38" E, a distance of 1519.59 feet:

Thence along the easterly line of Tracts 76 B-1, 76 C-1 and 76 C-3, as shown on said replat, the following eight (8) courses:

1. thence N 00°10'12" E a distance of 86.41 feet;
2. thence N 89°49'48" W a distance of 10.00 feet;
3. thence N 00°10'12" E a distance of 91.85 feet;
4. thence N 74°30'00" W a distance of 48.18 feet;
5. thence N 05°23'37" E a distance of 163.08 feet to a point of curvature;
6. thence along the arc of a curve to the left having a central angle of 25°27'58", a radius of 229.00 feet, a chord bearing of N 07°20'20" W, and an arc distance of 101.78 feet;
7. thence N 20°04'17" W a distance of 38.97 feet;
8. thence N 05°23'37" E a distance of 123.16 feet;

thence N 81°25'53" E a distance of 613.06 feet;
thence S 81°53'24" E a distance of 126.76 feet;
thence S 00°32'15" E a distance of 125.95 feet;
thence S 00°40'35" W a distance of 28.12 feet;
thence S 03°02'20" W a distance of 127.64 feet;
thence S 11°53'20" E a distance of 33.12 feet;
thence S 01°17'36" W a distance of 113.31 feet;
thence N 88°42'24" W a distance of 20.04 feet;
thence S 00°10'12" W a distance of 116.44 feet;
thence S 30°56'32" E a distance of 37.38 feet;
thence S 00°10'12" W a distance of 112.00 feet to a point on the northerly right-of-way line of Academy Blvd., N.E.;
thence N 89°49'48" W along said right-of-way line a distance of 677.20 feet more or less to the Point of Beginning. The above described parcel contains 472755.81 sq. ft. or 10.853 Acres more or less.

The subdivision of the land hereon described is with the free consent and in accordance with the desires of the undersigned owners and proprietors thereof, and said owners and proprietors do hereby dedicate all easements shown on this plat, the use of which easements shall be limited to those uses specified in the Description of Easements on this cover sheet.

HIGHLANDS/CHAMPIONS, JOINT VENTURE BY
INMAN ENTERPRISES, INC.

Christopher C. Inman, President

State of New Mexico)
ss.
County of Bernalillo)

The foregoing instrument was acknowledged before me this _____ day of _____, 19____, by Christopher C. Inman President of Highlands/Champions, Joint Venture by Inman Enterprises, Inc., a New Mexico Corporation, on behalf of said corporation.

Notary Public

My Commission expires _____.

Revisions

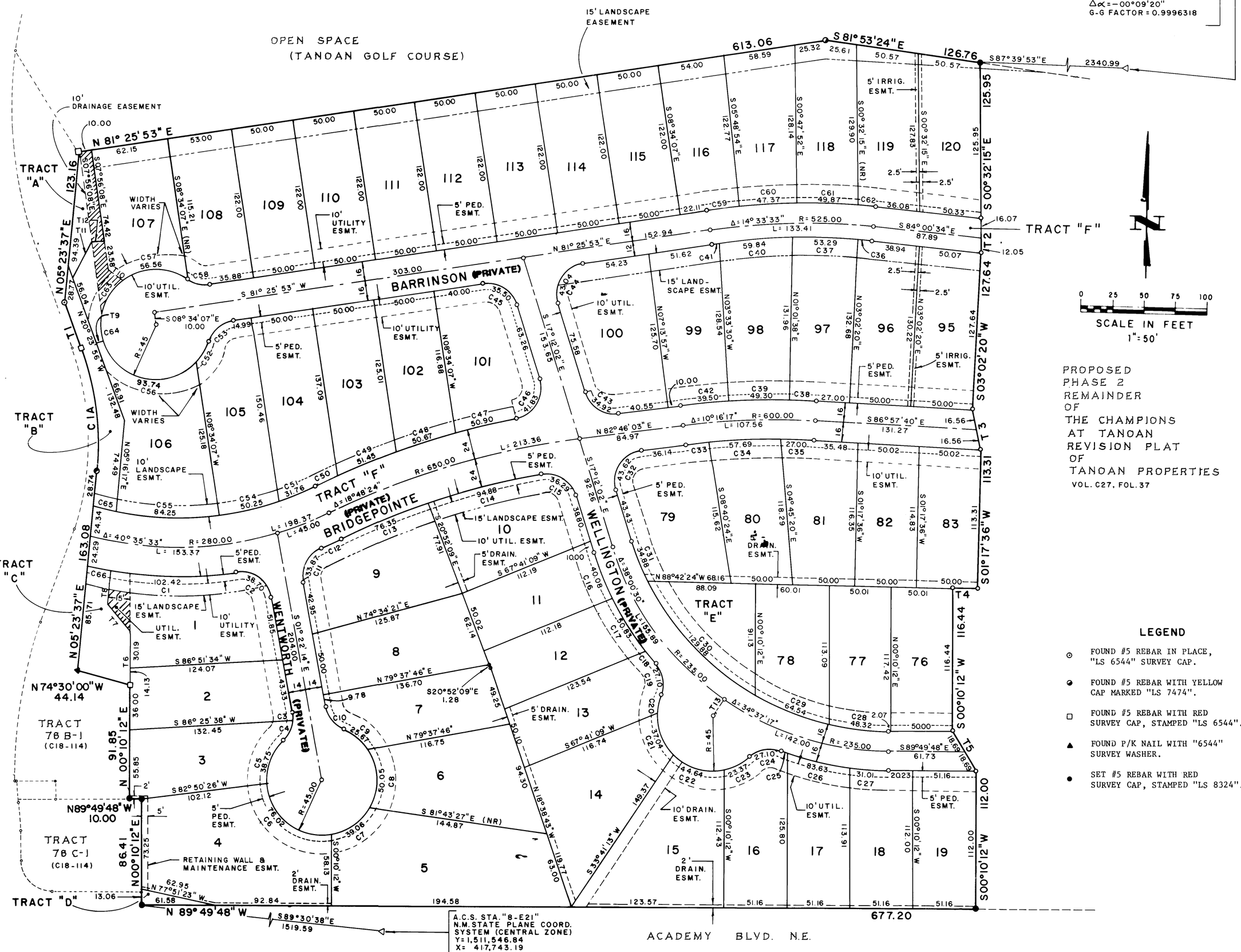
Greiner Engineering
Greiner Engineering Sciences, Inc.
Denver, Colorado Colorado Springs, Colorado
Albuquerque, N.M. Kemmerer, Wyoming

Design	
Drawn	
Check	
Scale	1" = 50'
Date	1-14-87
Job No.	0690601
Sheet	1 of 3

1 2 3 4 5 6 7 8 9 10 11 12
2G 3 0 9 6 0 2 8 7

DRAWING NO. 3096

SHEET 2 OF 28



PROPOSED
PHASE 2
REMAINDER
OF
THE CHAMPIONS
AT TANOAN
REVISION PLAT
OF
TANOAN PROPERTIES
VOL. C27, FOL. 37

LEGEND

- ⊙ FOUND #5 REBAR IN PLACE, "LS 6544" SURVEY CAP.
- ◐ FOUND #5 REBAR WITH YELLOW CAP MARKED "LS 7474".
- □ FOUND #5 REBAR WITH RED SURVEY CAP, STAMPED "LS 6544".
- ▲ FOUND P/K NAIL WITH "6544" SURVEY WASHER.
- ● SET #5 REBAR WITH RED SURVEY CAP, STAMPED "LS 8324".

Revisions

Greiner Engineering
Greiner Engineering Sciences, Inc.
Denver, Colorado Colorado Springs, Colorado
Albuquerque, N.M. Kemmerer, Wyoming

Design
Drawn JPW
Check JPW
Scale 1" = 50'

Date 1-14-87
Job No. 0690601
Sheet 2 of 3

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C1A	25 27' 54"	229.00	101.78	N 07 20' 20" W
C1	19 18' 09"	304.00	102.42	S 89 24' 50" E
C2	88 41' 41"	25.00	38.70	S 54 43' 04" E
C3	13 55' 51"	25.00	6.08	S 03 24' 18" E
C4	42 12' 39"	25.00	18.42	S 24 39' 57" W
C5	49 20' 38"	45.00	38.75	S 21 05' 57" W
C6	96 47' 52"	45.00	76.02	S 51 58' 18" E
C7	49 43' 53"	45.00	39.06	N 54 45' 50" E
C8	63 43' 35"	45.00	50.05	N 01 57' 54" W
C9	32 41' 02"	45.00	25.67	N 50 10' 12" W
C10	56 08' 30"	25.00	24.50	N 38 26' 29" W
C11	77 37' 32"	25.00	33.87	N 28 26' 32" E
C12	03 17' 39"	304.00	17.48	N 65 36' 29" E
C13	06 59' 18"	626.00	76.35	N 67 27' 18" E
C14	08 41' 04"	626.00	94.88	N 75 17' 29" E
C15	83 09' 58"	25.00	36.29	S 58 47' 01" E
C16	09 09' 00"	251.00	40.08	S 21 46' 32" E
C17	11 36' 13"	251.00	50.83	S 32 09' 08" E
C18	02 59' 05"	251.00	13.08	S 39 26' 47" E
C19	62 06' 35"	25.00	27.10	S 09 53' 02" E
C20	19 00' 06"	45.00	14.92	S 11 40' 13" W
C21	47 09' 45"	45.00	37.04	S 21 24' 43" E
C22	56 50' 29"	45.00	44.64	S 73 24' 50" E
C23	29 45' 14"	45.00	23.37	N 63 17' 19" E
C24	62 06' 35"	25.00	27.10	N 79 27' 59" E
C25	01 15' 43"	251.00	5.53	S 70 06' 35" E
C26	19 05' 22"	251.00	83.63	S 80 17' 07" E
C27	07 04' 42"	251.00	31.01	S 86 17' 27" E
C28	12 38' 28"	219.00	48.32	N 83 30' 34" W
C29	16 53' 05"	219.00	64.54	N 68 44' 47" W
C30	33 58' 45"	219.00	129.88	N 43 18' 52" W
C31	09 07' 28"	219.00	34.88	N 21 45' 46" W
C32	99 58' 05"	25.00	43.62	N 32 47' 01" E
C33	01 57' 44"	584.00	20.00	N 83 44'55" E
C34	05 39' 37"	584.00	57.69	N 87 33' 36" E
C35	02 38' 56"	584.00	27.00	S 88 17' 08" E
C36	01 14' 31"	513.00	11.12	S 84 37' 49" E
C37	05 57' 08"	513.00	53.29	S 88 13' 39" E
C38	02 00' 42"	616.00	21.63	N 87 58' 01" W
C39	04 35' 08"	616.00	49.30	S 88 44' 04" W
C40	06 41' 00"	513.00	59.84	N 85 27' 17" E
C41	00 40' 54"	513.00	6.10	N 81 46' 20" E
C42	03 40' 26"	616.00	39.50	S 84 36' 17" W
C43	80 01' 55"	25.00	34.92	N 57 12' 59" W
C44	98 37' 55"	25.00	43.04	N 32 06' 56" E
C45	81 22' 06"	25.00	35.50	S 57 53' 04" E
C46	95 52' 20"	25.00	41.83	S 30 44' 08" W
C47	04 19' 36"	674.00	50.90	S 76 30' 30" W
C48	04 18' 26"	674.00	50.67	S 72 11' 29" W
C49	04 22' 26"	674.00	51.45	S 67 51' 03" W
C50	01 42' 11"	674.00	20.03	S 64 48' 45" W
C51	07 06' 26"	256.00	31.76	S 67 30' 52" W
C52	25 38' 01"	45.00	20.13	N 30 32' 04" E
C53	63 42' 49"	25.00	27.80	N 49 34' 28" E
C54	11 14' 49"	256.00	50.25	S 76 41' 29" W
C55	18 51' 24"	256.00	84.25	N 88 15' 24" W
C56	102 43' 21"	45.00	80.68	S 85 17' 15" E
C57	72 00' 38"	45.00	56.56	S 88 39' 34" W
C58	43 14' 00"	25.00	18.86	N 76 57' 07" W
C59	02 45' 13"	541.00	26.00	S 82 48' 30" W
C60	05 01' 02"	541.00	47.37	S 86 41' 37" W
C61	05 16' 54"	541.00	49.87	N 88 09' 26" W
C62	01 30' 25"	541.00	14.23	N 84 45' 46" W
C63	43 17' 25"	45.00	34.00	S 31 00' 32" W
C64	26 39' 20"	45.00	20.94	S 03 57' 50" E
C65	04 14' 55"	256.00	18.98	N 76 42' 14" W
C66	03 35' 13"	304.00	19.03	S 77 58' 08" E

LOT AND TRACT AREA TABLE

LOT	SQ. FT.	ACRES			
1	9105.397	0.2090	109	6100.000	0.1400
2	6371.695	0.1463	110	6100.000	0.1400
3	6379.480	0.1465	111	6100.000	0.1400
4	12490.458	0.2867	112	6100.000	0.1400
5	12648.236	0.2904	113	6100.000	0.1400
6	8615.448	0.1978	114	6100.000	0.1400
7	6547.375	0.1503	115	6100.000	0.1400
8	7310.589	0.1678	116	6235.500	0.1431
9	8384.376	0.1925	117	6607.154	0.1517
10	8020.328	0.1841	118	6537.653	0.1501
11	5571.983	0.1279	119	6439.412	0.1478
12	5839.983	0.1341	120	6344.393	0.1456
13	6291.827	0.1444	A	1671.389	0.0384
14	9091.138	0.2087	B	3072.632	0.0705
15	9847.363	0.2261	C	2774.535	0.0637
16	6298.467	0.1446	D	402.109	0.0092
17	6083.428	0.1397	E	4832.238	0.1109
18	5749.389	0.1320	F	87702.346	2.0134
19	5729.696	0.1315			
76	5846.301	0.1342			
77	5810.931	0.1334			
78	6228.460	0.1430			
79	8353.656	0.1918			
80	6282.409	0.1442			
81	6588.712	0.1513			
82	5779.579	0.1327			
83	5703.393	0.1309			
95	6446.471	0.1480			
96	6574.930	0.1509			
97	6758.181	0.1551			
98	7110.953	0.1632			
99	6791.421	0.1559			
100	8764.915	0.2012			
101	7692.138	0.1766			
102	6031.308	0.1385			
103	6535.864	0.1500			
104	7213.126	0.1656			
105	7290.967	0.1674			
106	8635.106	0.1982			
107	8191.327	0.1880			
108	6429.648	0.1476			

TANGENT TABLE

NO.	BEARING	DIST.
T1	N 20 04' 17" W	38.97
T2	S 00 40' 35" W	28.12
T3	S 11 53' 20" E	33.12
T4	N 88 42' 24" W	20.04
T5	S 30 56' 32" E	37.38
T6	N 00 10' 12" E	44.32
T7	N 40 33' 59" W	28.46
T8	N 05 16' 17" E	27.34
T9	N 72 42' 31" E	6.26
T10	N 54 04' 16" W	15.07
T11	S 28 20' 55" W	33.30
T12	S 82 03' 52" W	10.00
T13	S 34 47' 29" W	16.00

Revisions

Greiner Engineering
Greiner Engineering Sciences, Inc.
Denver, Colorado Colorado Springs, Colorado
Albuquerque, N.M. Kemmerer, Wyoming

Design
Drawn
Check
Scale

Date 1-14-87
Job No. 0690601
Sheet 3 of 3

MICROFILMED
DRAWING NO. 3096
SHEET 3 OF 28
26 | 3096 | 03 | 87
BRUNING 44-142 62595

NOTE TO CONTRACTOR:

OVER LOT GRADE SHOULD BE STAKED AT 0.3' BELOW SHOWN FINISH PAD ELEVATIONS. EXCESS MATERIAL FROM PLUMBING AND HVAC ROUGH-IN TRENCHING WILL BE USED TO GRADE PAD TO ELEVATION SHOWN.

NOTE TO CONTRACTOR:

ALL GRADING TO BE COMPLETED UNDER PHASE I

1" = 50'

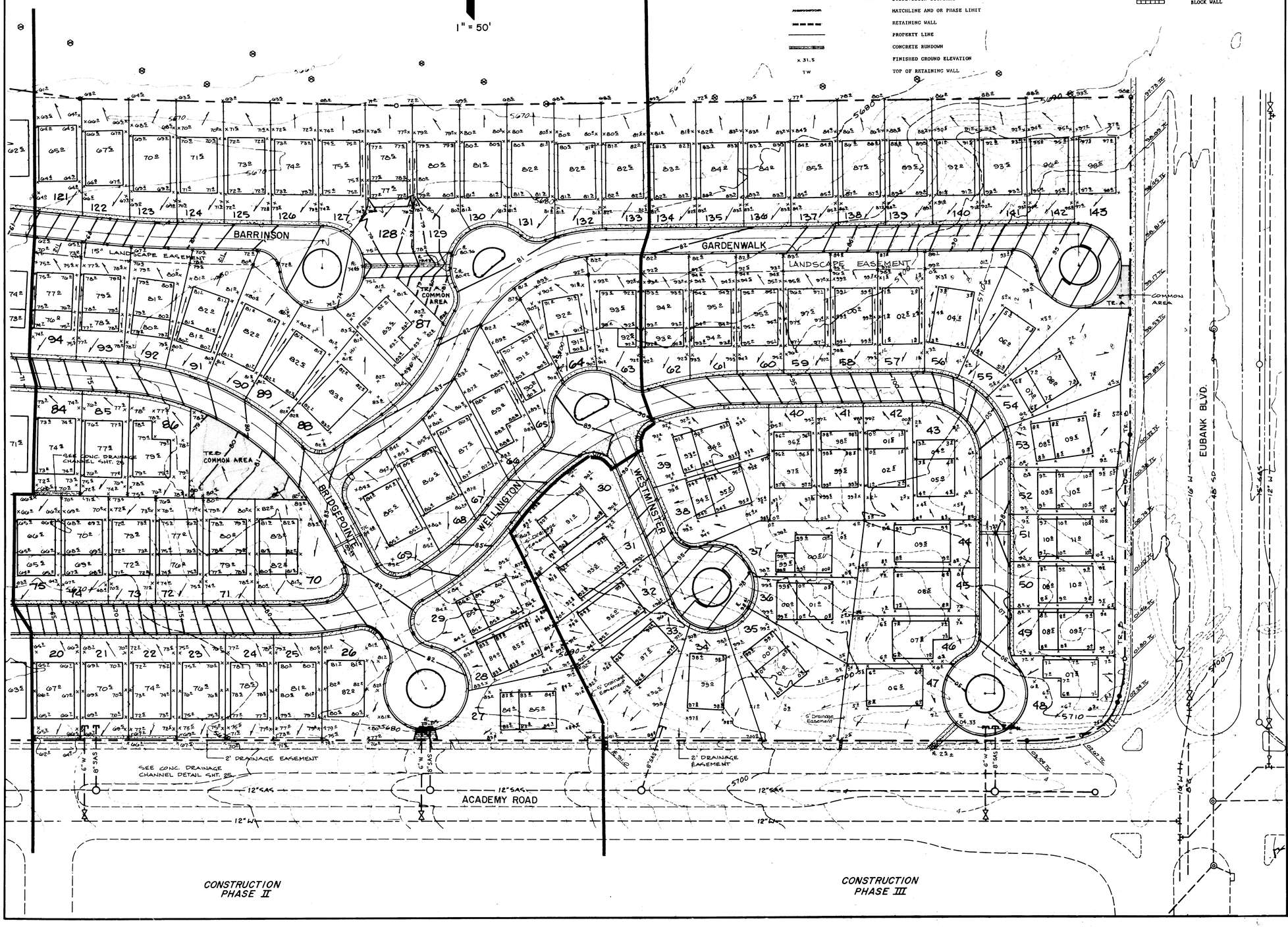
TANOAN GOLF COURSE

LEGEND

FUTURE	PROPOSED	EXISTING	DESCRIPTION
			CURB & GUTTER
			SPRINKLER (GOLF COURSE)
			SPRINKLER (TANOAN)
			SPRINKLER CONTROL BOX
			DROP INLET
			WATER BLOCK
			CONTOUR
			SIDEWALK
			SIDEWALK CULVERT
			SUBDIVISION BOUNDARY
			MATCHLINE AND OR PHASE LIMIT
			RETAINING WALL
			PROPERTY LINE
			CONCRETE RUNDOWN
	x 31.5		FINISHED GROUND ELEVATION
	TW		TOP OF RETAINING WALL

LEGEND

FUTURE	PROPOSED	EXISTING	DESCRIPTION
	BW		BOTTOM OF RETAINING WALL GROUND ELEVATION
	T/C		TOP OF CURB
	℄		FLOWLINE
	12		LOT NUMBER
	38±		PROPOSED PAD WITH PAD ELEVATION
			EMERGENCY ACCESS ENTRANCE
	(39±)		TOP OF REVETMENT WALL ELEVATION
			BLOCK WALL



NOTE:
SEE SHEET 4 FOR NOTES.

1	2	3	4	5	6	7	8	9	10	11	12
Z	6	3	0	9	6	0	5	8	7		

Approved Rough Grading
Carlos A Montoya

SCALE : 1" = 50'
EXISTING CONTOUR INTERVAL : 2'
DATE OF PHOTOGRAPHY : 8/7/86 BY T.R. MANN

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84

BENCH MARKS

A standard ACS brass tablet stamped "3-221-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point Elevation = 5765.23

Aerial Photography Tom Mann and Assoc. 8-7-86

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAKED BY	DATE
INSPECTORS ACCEPTANCE BY	DATE
VERIFICATION OF DRAWING BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
NO	

MICRO-FILM INFORMATION

ENGINEER'S SEAL

PROJECT NO 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN

DESIGNED BY	DATE	1-87
DRAWN BY	DATE	1-87
CHECKED BY	DATE	1-87

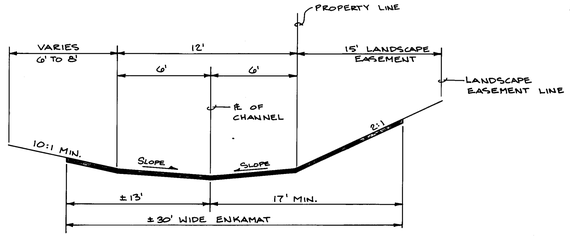
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN

GRADING PLAN EAST

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A.C.E. Design			Traffic		2/13/87
A.C.E.-Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO. 3096 | MAP NO. E-21 | SHEET 5 OF 28



NOTE: INSTALL 30' x 025' ENKAMAT. SEE GRADING PLAN FOR LIMITS OF ENKAMAT INSTALLATION. ANTICIPATED Q100 DRAINAGE RUN-OFF IN THIS AREA OF CHANNEL; 2.5' DEEP FLOWS, 10 F.P.S. @ ℄, 2.3' FREE BOARD REQUIRED.

PINO ARROYO CHANNEL DETAIL

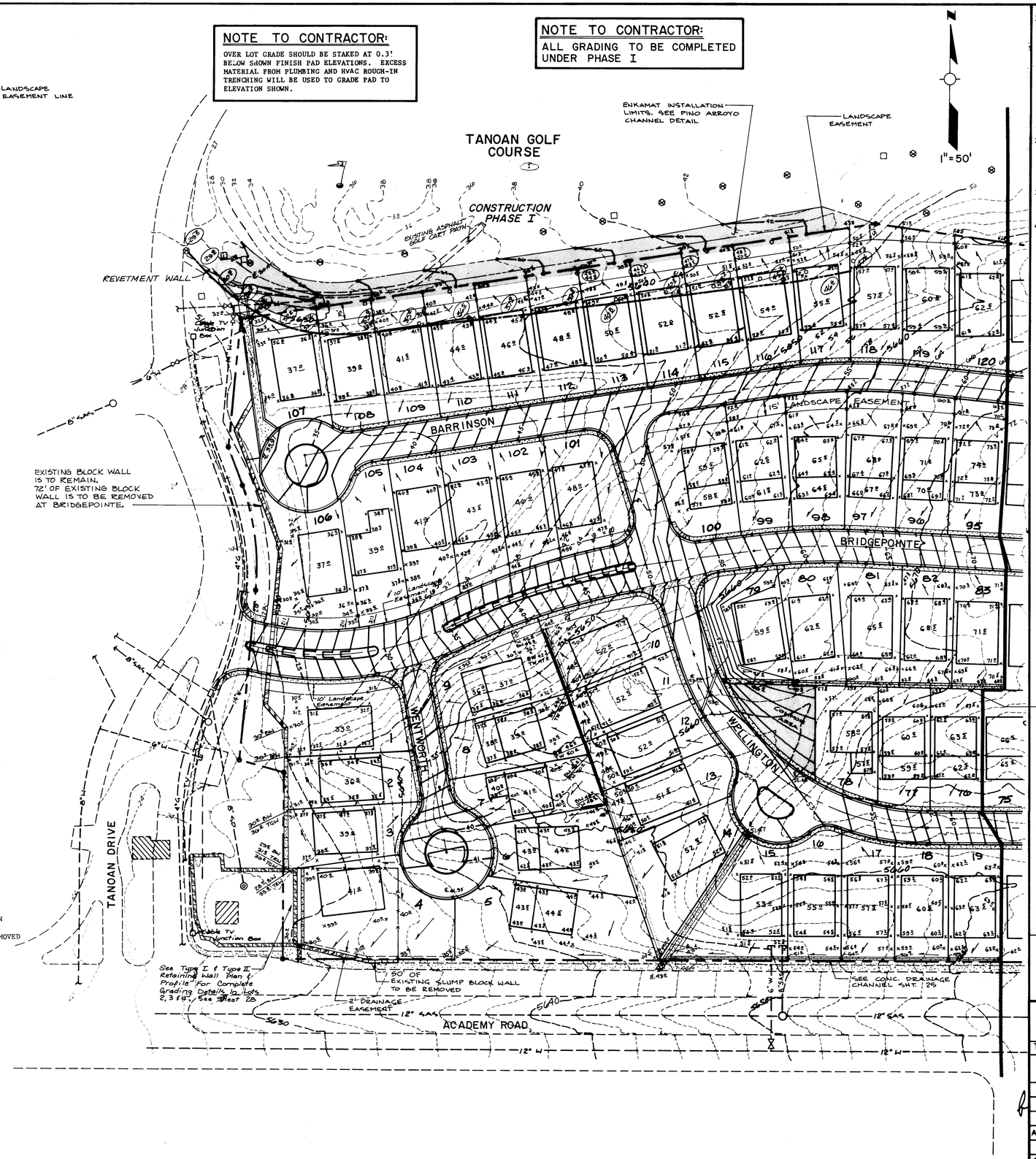
N.T.S.

NOTE TO CONTRACTOR:

OVER LOT GRADE SHOULD BE STAKED AT 0.3' BELOW SHOWN FINISH PAD ELEVATIONS. EXCESS MATERIAL FROM PLUMBING AND HVAC ROUGH-IN TRENCHING WILL BE USED TO GRADE PAD TO ELEVATION SHOWN.

NOTE TO CONTRACTOR:

ALL GRADING TO BE COMPLETED UNDER PHASE I



LEGEND

FUTURE	PROPOSED	EXISTING	DESCRIPTION
			CURB & GUTTER
			SPRINKLER (GOLF COURSE)
			SPRINKLER (TANOAN)
			SPRINKLER CONTROL BOX
			DROP INLET
			WATER BLOCK
	02		CONTOUR
			SIDEWALK
			SIDEWALK CULVERT
			SUBDIVISION BOUNDARY
			MATCHLINE AND/OR PHASE LIMIT
			RETAINING WALL
			PROPERTY LINE
			CONCRETE RUNDOWN
	x 31.5		FINISHED GROUND ELEVATION
	TW		TOP OF RETAINING WALL
	BW		BOTTOM OF RETAINING WALL GROUND ELEVATION
	T/C		TOP OF CURB
	℄		FLOWLINE
	12		LOT NUMBER
	38.2		PROPOSED PAD WITH PAD ELEVATION
			EMERGENCY ACCESS ENTRANCE
	39.2		TOP OF REVETMENT WALL ELEVATION
			BLOCK WALL
			EXISTING BLOCK WALL TO REMAIN
			EXISTING BLOCK WALL TO BE REMOVED

GENERAL NOTES

1. The Contractor and Mr. John Brown (Inman Homes) shall coordinate with the Tanoan Community Golf Course staff and Tanoan Home Owners Association on the removal and replacement of sod and asphalt golf cart path. The Contractor shall be responsible for any breakage of existing irrigation system, water meters and valves. The Contractor shall also be responsible for any other damages such as trees and any other utility breakage on site.
2. Enkamat installation shall be per Sec. 604, City of Albuquerque Interim Specification, manufactures recommendations. Call American Excelsior Co. for details, (505) 345-7806.
3. Where backyard swales (easements) cross property lines, garden wall blocks should be turned to allow for drainage.
4. See sheet 23 for additional notes.

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 0 4 8 7

Approved Rough Grading
Carl A Motty.

SCALE: 1" = 50'
EXISTING CONTOUR INTERVAL: 2'
DATE OF PHOTOGRAPHY: 8/7/86 BY T.R. MANN

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

AS BUILT INFORMATION

		DATE
CONTRACTOR		
WORK STAKED BY		
INSPECTOR'S FIELD CHANGE BY		
VERIFICATION OF DRAWING CORRECTED BY		
RECORDED BY		
NO		

ENGINEER'S SEAL

1-28-87

PROJECT NO. 0690600

MICRO-FILM INFORMATION

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN

		DATE
DESIGNED BY	JAC	1-87
DRAWN BY	JAC	1-87
CHECKED BY		1-87

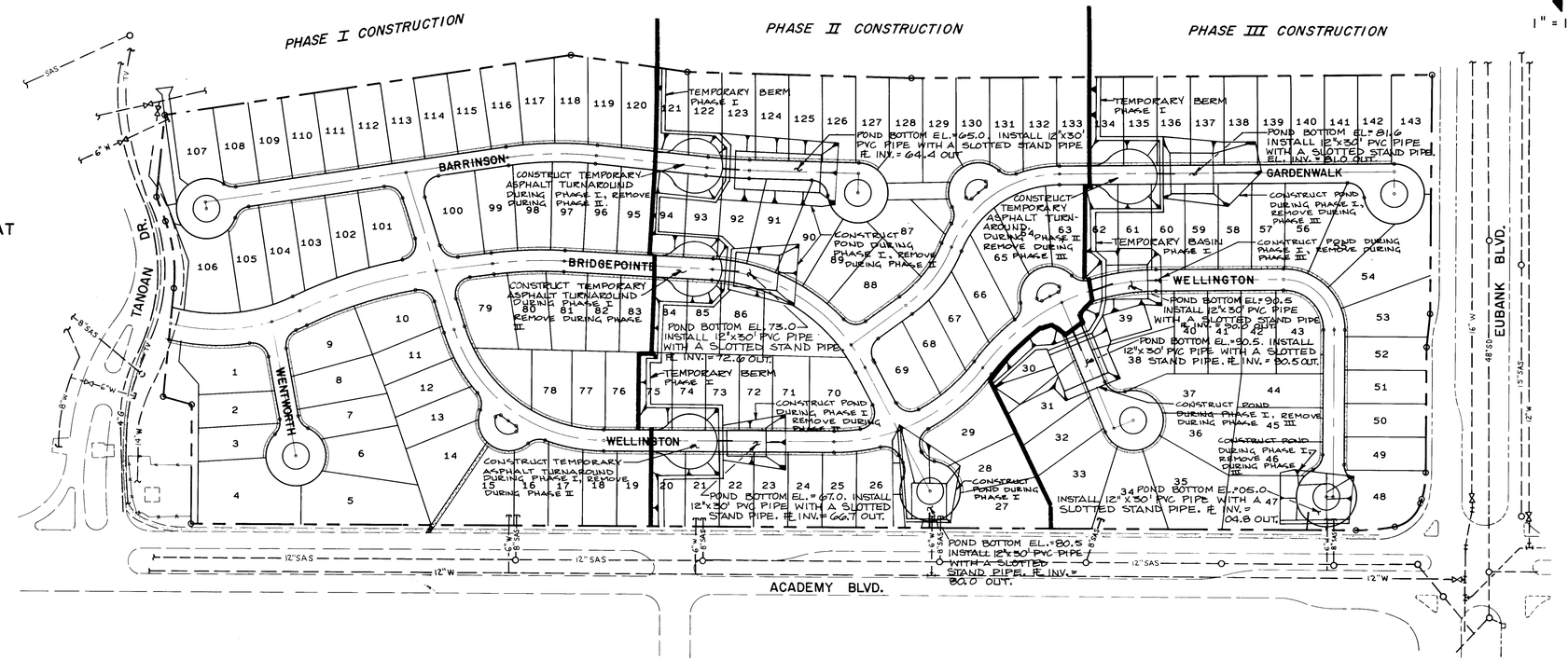
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

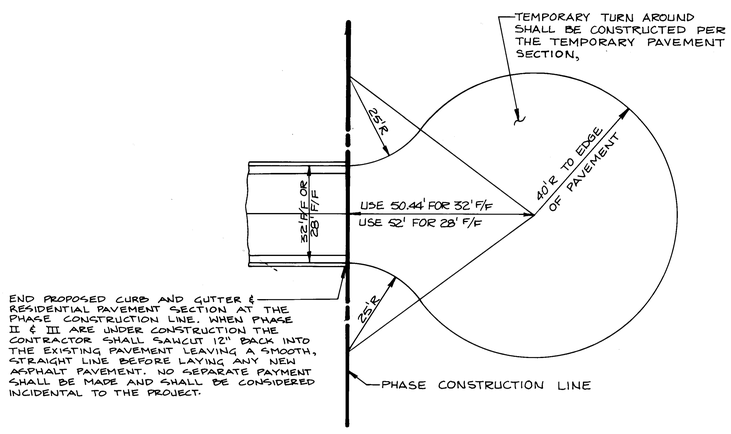
TITLE: THE CHAMPIONS AT TANOAN

GRADING PLAN WEST

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/12/87	Liquid Waste		2-13-87
A.C.E. Design	" "	"	Traffic		2/13/87
A.C. E.-Hydrology	CAM	2-20-87	Water		2-13-87

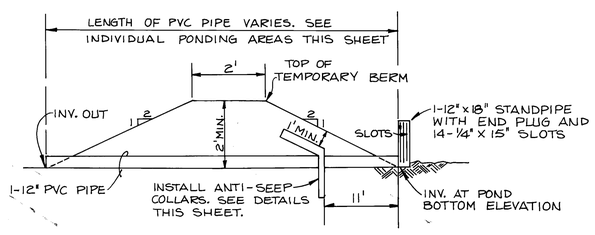
DRAWING NO. 3096 | MAP NO. E-21 | SHEET 4 OF 28





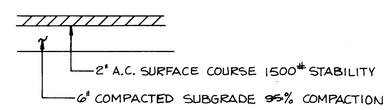
TEMPORARY ASPHALT TURN AROUND

SCALE: 1" = 20'



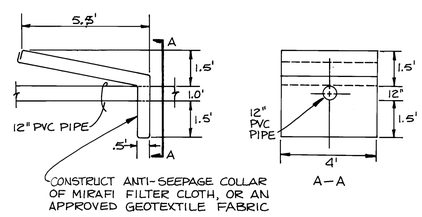
NOTE: CONSTRUCT TEMPORARY BERM OF CLEAN EARTHEN MATERIAL. FILL TO BE COMPACTED TO 90% MINIMUM MODIFIED PROCTOR.

BERM & OUTFLOW PIPE DETAIL



TEMPORARY PAVEMENT SECTION

N.T.S.



ANTI-SEEPAGE COLLAR DETAIL

SCALE: 1" = 3'

GENERAL NOTES

1. During the construction of the proposed perimeter wall, the wall contractor shall place one (1) block over on its side every 10' for uniform backyard drainage, except along south R/W on Academy Road.

2. The following lots 48 thru 54 will drain onto the Eubank Blvd. R/W via turned over blocks within the perimeter wall. The turned over blocks will be every ± 10'.

3. During the Phase I construction, should any silt or trash be washed onto Academy Road, Tanoan Drive, or the golf course as a result of a rain storm, the Contractor/developer shall be responsible for the maintenance and clean-up of deposits. Clean-up shall be done as quickly as possible after a storm.

4. Sidewalk culverts will be required during construction of the Champions. See Overall Private Street Paving Plan for sidewalk culvert locations.

5. [redacted] temporary detention pond shall be lined with impervious linings. Use 10 mil. polyethylene sheeting lapped ± 1 foot at the joint, for the full width of the detention pond. The lining should be covered with ± 0.5 foot of top soil.

AS BUILT INFORMATION

CONTRACTOR — DATE
MARKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

MICRO-FILM INFORMATION

RECORDED BY — DATE
NO.

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

SURVEY INFORMATION

NO.	FIELD NOTES BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGNED BY — DATE 1-87
DRAWN BY — DATE 1-87
CHECKED BY — DATE 1-87

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 0 6 8 7

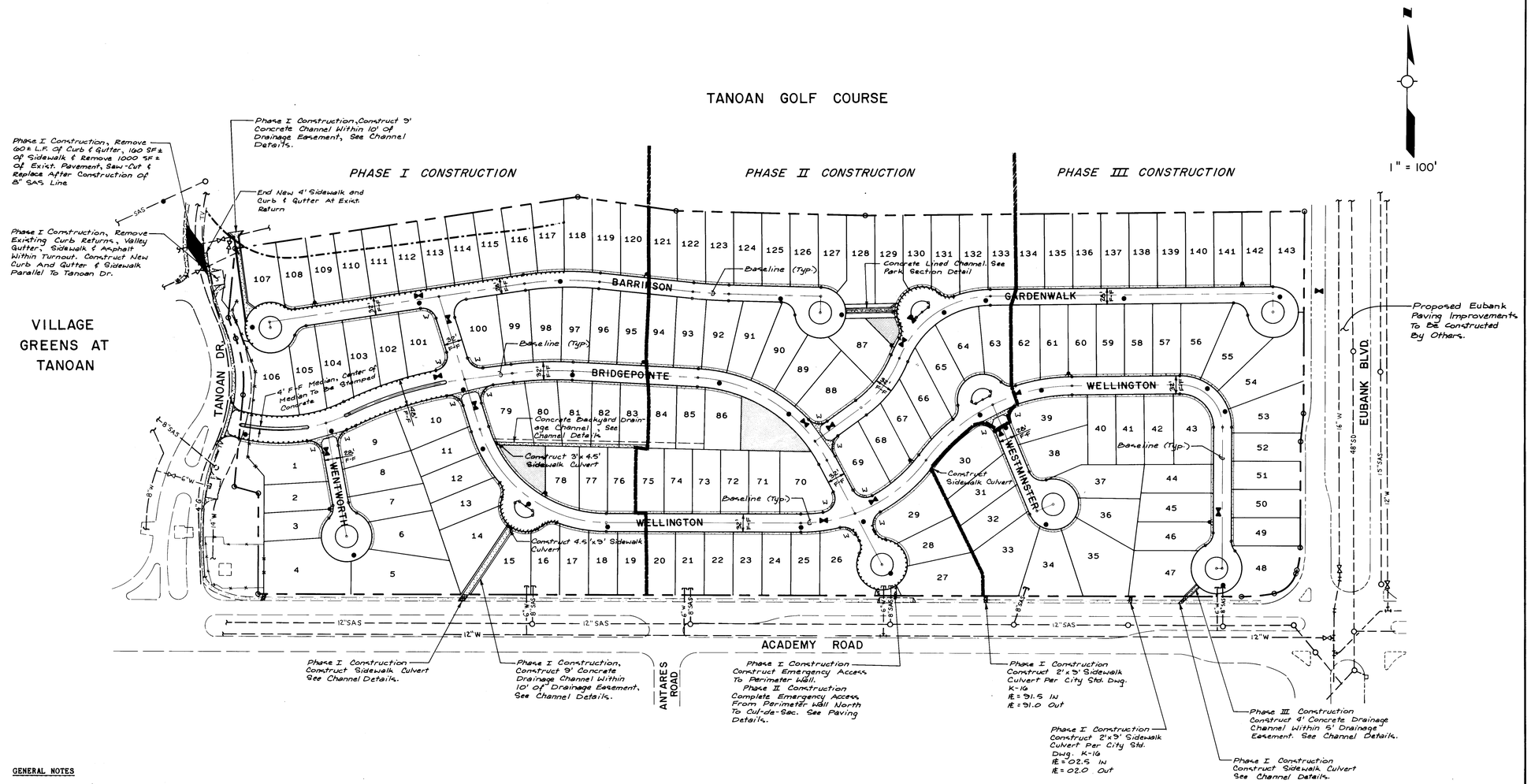
Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
TEMPORARY ASPHALT TURNAROUND AND EROSION CONTROL PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/12/87	Liquid Waste		2-13-87
A.C.E. Design	" "	"	Traffic		2/13/87
A.C.E.-Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO. 3096 | MAP NO. E-21 | SHEET 6 OF 28



GENERAL NOTES

1. All slopes as shown on profiles are based on baseline stationing, EXCEPT cul-de-sacs which start at the P.C. of the returns, show stations and corresponding slopes based on true distances along the face of curb.
2. Where removal of existing curb and gutter, sidewalk or pavement is required, the Contractor shall sawcut and/or remove to the nearest joint. Existing curb and gutter which is damaged or displaced during construction will be removed and replaced by the Contractor at his expense.
3. When abutting new pavement to existing, the Contractor shall sawcut 12" back into existing paving leaving a smooth, straight line, or as approved by the Project Engineer. No separate payment shall be made and shall be considered incidental to the project.
4. Pavement section for cul-de-sacs shall be the same as the 28' paving section.
5. Cul-de-sacs have no crown. Slope of pavement is determined by top of curb and flowline elevations.
6. See Detail Sheet 24 for Pavement, Curb Sections and Cul-de-sac details.
7. See Champions Overall Public Water and Sanitary Sewer Sheet for location of 15' utility easement.
8. All dimensions and radii of curb returns and street widths are to face of curb.
9. All property lines are to face of curb.
10. See Temporary Asphalt Turnaround And Erosion Control Plan Sheet for detailed information at Phase Construction Line.
11. A registered professional Engineer will be required to certify that the paving, sidewalks, and curb and gutter within the private streets comply to approved plans. Test results are submitted with certification.
12. Sidewalks shall be deferred to construction with lots.

LEGEND

PROPOSED	EXISTING	
		Water Valve
		Fire Hydrants
		Manholes
		4' Sidewalks
		Conc. Rundown
		Slump Block Wall
		Valley Gutters
		Common Area
		Baseline Private Street
		Curb Line
		Revetment Wall
72		Lot Number
		Phase Limit
		Wheelchair Ramp
		Standard Curb & Gutter
		Median Curb & Gutter
		Mountable Curb, Roll Type

AS BUILT INFORMATION

CONTRACTOR
WORK STAKED BY — DATE
INSPECTOR — DATE
ACCEPTANCE BY
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY — DATE 1-87
DRAWN BY U. Wood — DATE 1-87
CHECKED BY — DATE 1/87

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 0 7 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

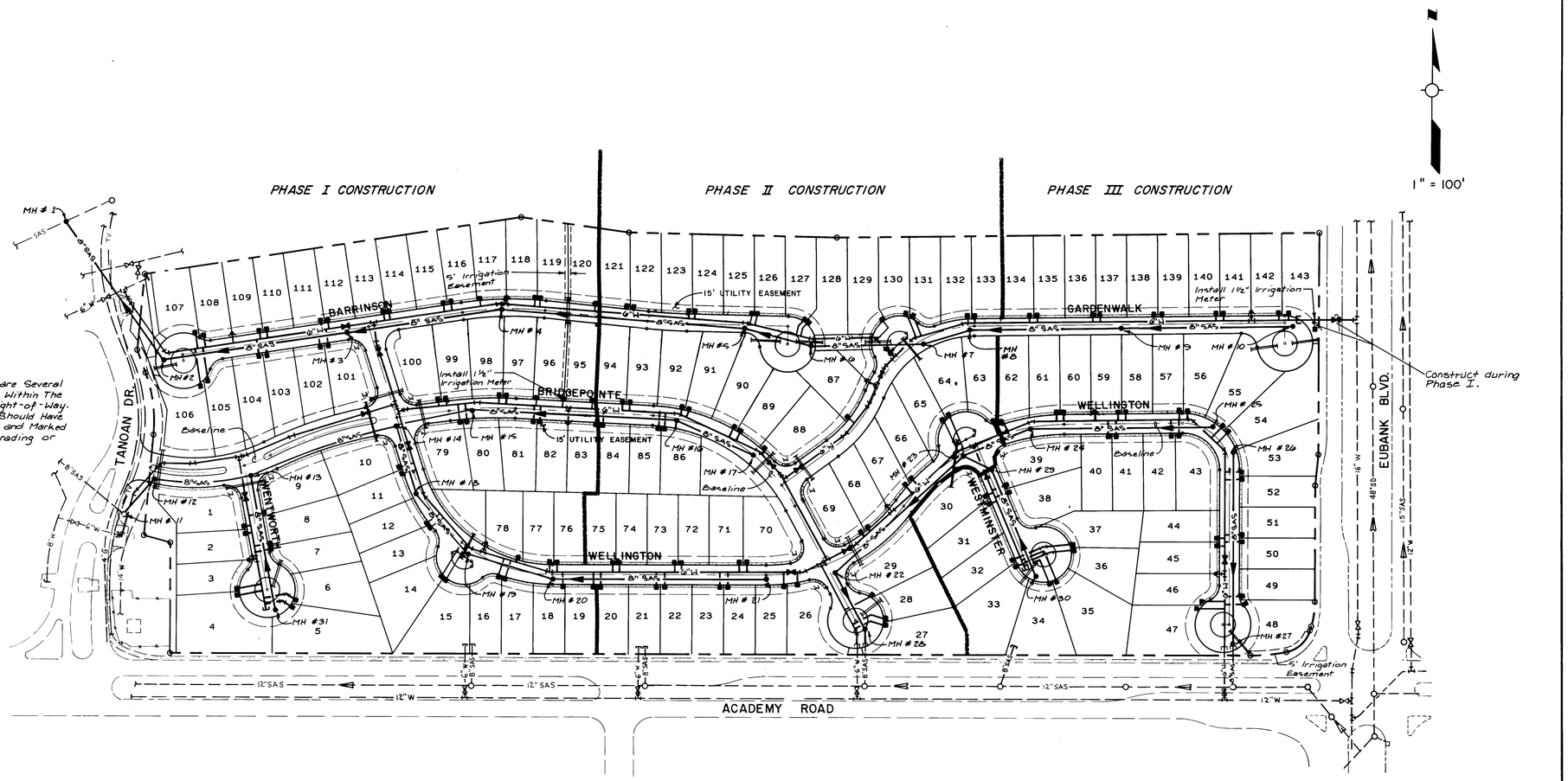
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN

OVERALL PRIVATE STREET PAVING PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A.C.E. Design	" "	"	Traffic		2/13/87
A.C.E.-Hydrology	CAM	2-12-87	Water		2-13-87

DRAWING NO. 3096 — MAP NO. E-21 — SHEET 7 OF 28



GENERAL NOTES

1. Contractor should field verify all existing utility locations at point of connection for new construction. If locations are greatly different than those shown, the Engineer must be contacted. Information shown is from the record drawings available from the City of Albuquerque and the Engineer does not certify their correctness.

2. The proposed 6" watermain and 8" sanitary sewer lines will be constructed in a 3 phased construction plan. See Watermain Note No. 8 and Sanitary Sewer Main Note No. 14.

3. Trenches and Excavation: These notes are credited to Fox and Associates of New Mexico, Geotechnical Investigation for the Champions at Tanoan, Job No. 0119590.

   A. All trenches and excavations greater than 5 feet deep must be sloped, shored, sheeted, braced, or otherwise supported according to OSHA construction safety and health standards. Where unstable soil conditions are encountered in trenches shallower than 5 feet these trenches must also be sloped, shored or supported.

   B. Trenches for utility lines shall be a minimum of 16 inches wide. Backfill for utility trenches may not be floated or jetted. Backfill shall be placed and compacted as specified for structural backfill. Particular care shall be taken to compact the backfill below the springline of pipes.

4. The Contractor shall notify the Tanoan Community ten days in advance of proposed traffic control and barricading on Tanoan Drive prior to any pavement cuts and utility work.

5. No seperate payment shall be made for final adjustment of manhole rim, valves etc.

SANITARY SEWER NOTES

1. Sanitary sewer and sewer service installation shall comply with all applicable City of Albuquerque standards.

2. All stationing is based on street baseline, and in some cases is different than the stationing for the street paving improvements.

3. Slopes shown on the profiles are based on true distances, not baseline stationing. Lengths shown on profiles are true distances from center of manhole to center of manhole.

4. All manholes shall be 4' diameter, Type "E", as per City of Albuquerque Standard Drawing S-2, unless otherwise noted.

5. Sewer service laterals shall be provided with electronic marker disks as per City of Albuquerque Standard Drawing S-12. EMD shall be provided in accordance with Section 170 of the City of Albuquerque Interim Standard Specifications Public Works Construction - 1985.

6. Note the proximity of water and sanitary sewer lines, Section 701.8.1 (Interim Standard Specifications Public Works 1985).

7. Where the sewer line is to be deflected, maximum allowable deflection shall be two-thirds (2/3) of the manufacturer's recommended allowable deflection.

8. All service connections shall be made such that the service is perpendicular or radial to the sewer main. (See Notes 10 & 11).

9. All service connections shall have a slope of 1/4" per foot toward the main and shall have a minimum depth of 4' below the top of curb elevation from the finished surface projected to the property line measured to the pipe invert.

10. All service connections must be made to the main line except at the end of cul-de-sacs where connection to a manhole is permitted in the manner shown in the City Standard Details.

11. Service connections to a manhole are to be made with the invert of the service at the elevation of the top of the main line.

12. PVC SAS line shall meet the requirements of ASTM F 679. See Section 121.3.2.2, City of Albuquerque Interim Standard Specifications Public Works Construction.

13. See Utility P & P sheets for sewer service locations and inverts.

14. Proposed 8" SAS mains shall terminate 10' east of the Construction Phase Line. SAS mains shall be plugged at the terminous of the line in a manner that is approved by the City of Albuquerque WRD in order that pressure loss testing can be done on the new SAS line installation. An EMD must be placed over the terminous of the SAS main.

15. Fire hydrants shall be placed 4' from back of curb, similar to City of Albuquerque Standard Dwg. W-20.

WATERLINE NOTES

1. Waterline and water service (3/4") installation shall comply with all applicable City of Albuquerque standards.

2. Waterline shall have a minimum cover of 4'-0" for water transmission lines 10" and over, and a minimum cover of 3'-6" for water distribution lines 8" and under, unless otherwise noted.

3. All stationing is based on street baseline, and in some cases is different than the stationing for the street paving improvements.

4. Where the waterline is to be deflected, maximum allowable deflection shall be two-thirds (2/3) of the manufacturer's recommended allowable deflection.

5. Water services shall have a minimum of 1'-0" clearance from plugs at connection to water mains.

6. PVC waterline shall meet the requirements of AWWA C 900. See Section 121.3.1, City of Albuquerque Interim Standard Specifications Public Works Construction.

7. Electronic Marker Disks (EMD) shall be installed in accordance with Section 170 City of Albuquerque Interim Standard Specifications for Public Works Construction.

8. Proposed 6" Watermains shall terminate 10' east of the Construction Phase Line. Watermains shall be capped, concrete blocked and an EMD placed over the terminous of the watermain.

9. Install Irrigation Sleeve 18" min. bury from top of finish grade, extend sleeve 1' past the curb or sidewalk, mark both ends of the curb with paint.

LEGEND

PROPOSED	EXISTING	
—W—	---W---	Water Line
		Water Service Boxes
		Water Valves
		Fire Hydrant
		Tees
		Crosses
		Bends
		Caps
—SAS—	—SAS—	Sanitary Sewer
		Manholes
		Sewer Service Connections
		Plugs
		Sidewalk
		Conc. Rundown
	----TV---	Cable Television
	---G---	Gas Line
	---SD---	Storm Sewer
		Phase Limit
		Wheelchair Ramp
		4" PVC Irrigation Sleeve

AS BUILT INFORMATION

CONTRACTOR		
WORK STAKED BY		DATE
INSPECTOR'S ACCEPTANCE BY		DATE
FIELD VERIFICATION BY		DATE
DRAWINGS CORRECTED BY		DATE

BENCH MARKS

A standard AGS brass tablet stamped "5-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.

Elevation = 5765.23

RECORDED BY | DATE

NO.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

MAX WELNER LAND SURVEYOR NEW MEXICO 5765

1-28-87

PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY — DATE 1-87

DRAWN BY J. Allred — DATE 1-87

CHECKED BY — DATE 1-87

1 2 3 4 5 6 7 8 9 10 11 12

2 6 3 0 9 6 0 8 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

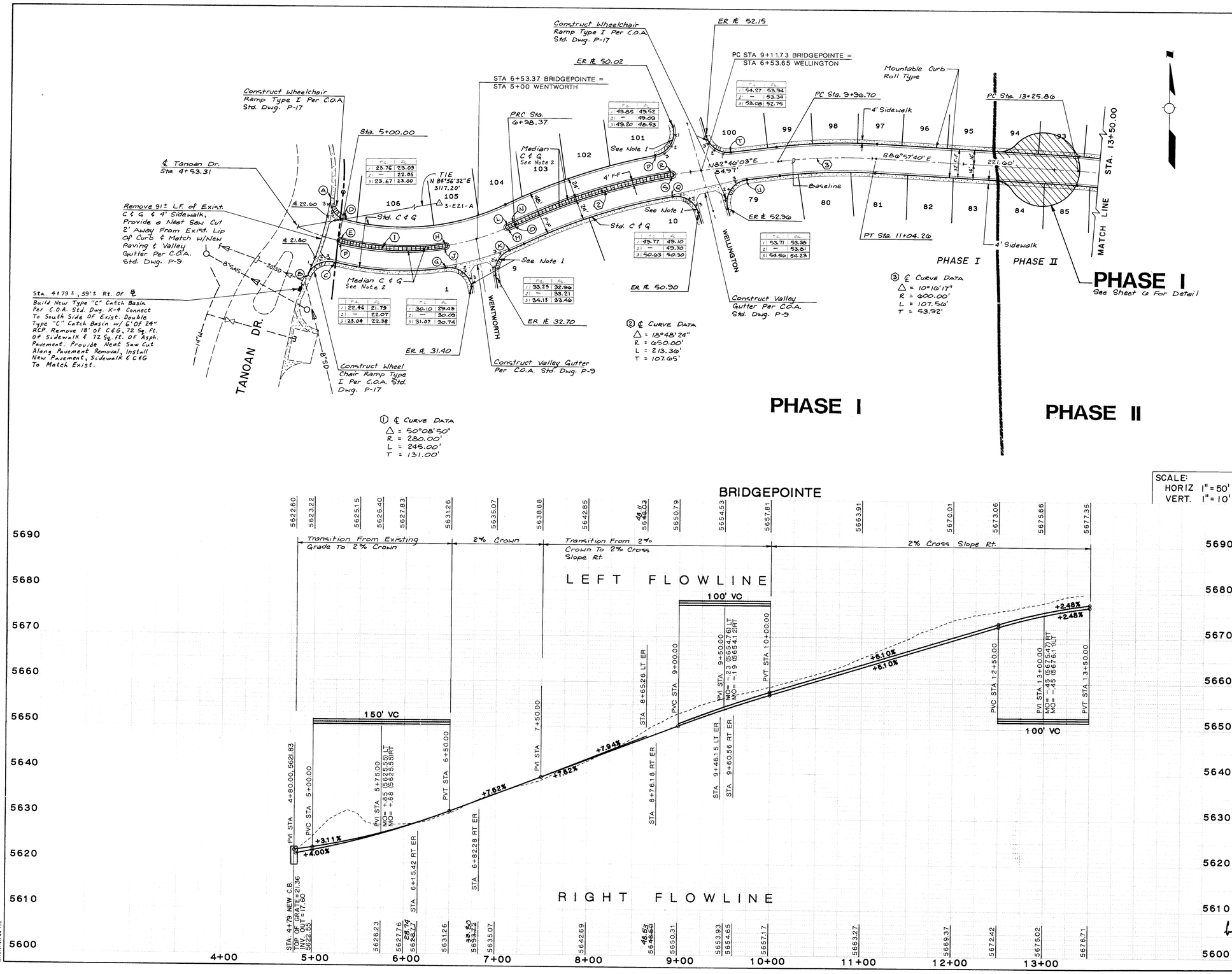
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN

OVERALL PUBLIC WATER & SANITARY SEWER LINES

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A.C.E. Design	" "	"	Traffic		2/13/87
A.C.E.-Hydrology	NA		Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	8	28



NOTES:

1. Build Type I Wheelchair Ramp Per C.O.A. Std. Dwg. P-17 & Transition From Std. C & G To Mountable C & G Roll Type Per C.O.A. Std. Dwg. P-18.
2. Construct Red Brick Pattern Stamped Concrete Between Median Curb. Stamped Concrete Shall Match Existing Stamped Concrete On Academy.
3. All Curb Returns Have A 25' Radius Measured From Face Unless Otherwise Noted
4. See Paving Detail Sheet For Road Section.

BRIDGEPOINTE 4+85 TO 13+50

	STATION	OFFSET	FLOWLINE
A	4+75 ±	44' ± LT.	23.2 ±
B	4+80 ±	47' ± RT.	21.5 ±
C	5+03 ±	24.00' RT.	~~22.67~~ 22.60
D	5+05	24.00' LT.	~~23.38~~ 23.46
E	4+96.00	2.00' LT.	~~22.77~~ 22.84
F	4+96.00	2.00' RT.	~~22.77~~ 22.88
G	6+15.42	24.00' RT.	~~28.77~~ 28.74
H	6+21.37	2.00' LT.	~~29.53~~ 29.74
J	6+21.37	2.00' RT.	29.65
K	6+82.28	24.00' RT.	~~33.72~~ 33.80
L	6+85.37	2.00' LT.	~~34.40~~ 34.36
M	6+85.37	2.00' RT.	34.40
N	6+98.37	2.00' LT.	35.39
O	6+98.37	2.00' RT.	35.39
P	8+65.26	24.00' LT.	~~48.03~~ 48.11
Q	8+76.18	24.00' RT.	~~48.50~~ 48.63
R	8+77.73	2.00' LT.	~~49.01~~ 49.10
S	8+77.73	2.00' RT.	~~49.05~~ 49.10
T	9+46.15	16.00' LT.	54.53
U	9+60.56	16.00' RT.	54.65

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 0 9 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

BENCH MARKS

A standard ACS brass tablet stamped "13-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

AS BUILT INFORMATION

CONTRACTOR J. E. HALL
WORK STAKED BY EHES DATE 8-
INSPECTORS ACCEPTANCE BY DATE
FIELD VERIFICATION BY EHEA DATE 8-
DRAWINGS CORRECTED BY EHEA DATE 8-

MICRO-FILM INFORMATION

RECORDED BY DATE
NO

ENGINEER'S SEAL

1-29-87

PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN

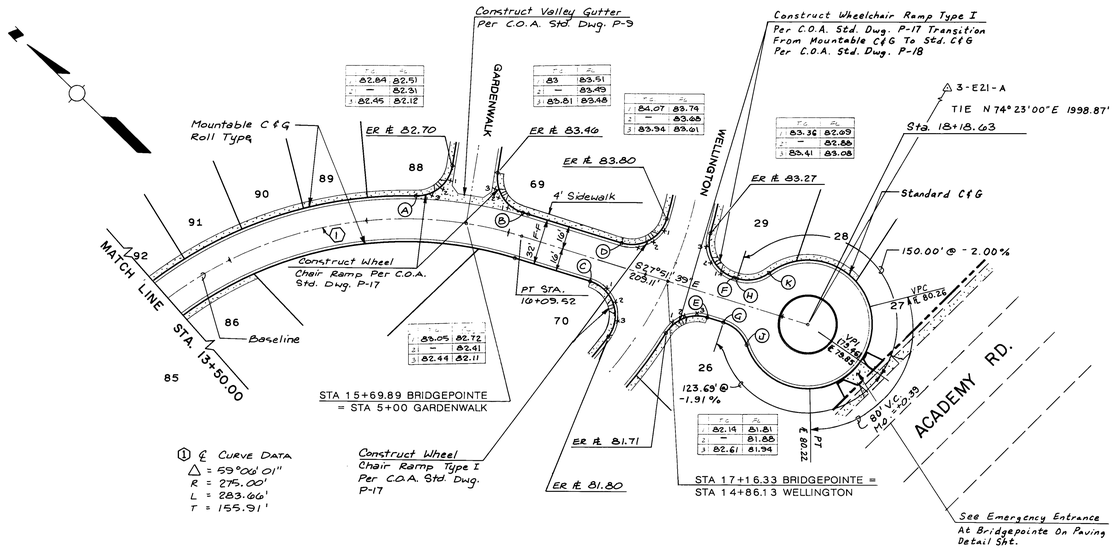
		DATE
DESIGNED BY		1-87
DRAWN BY	J. Wood	1-87
CHECKED BY		1-87

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

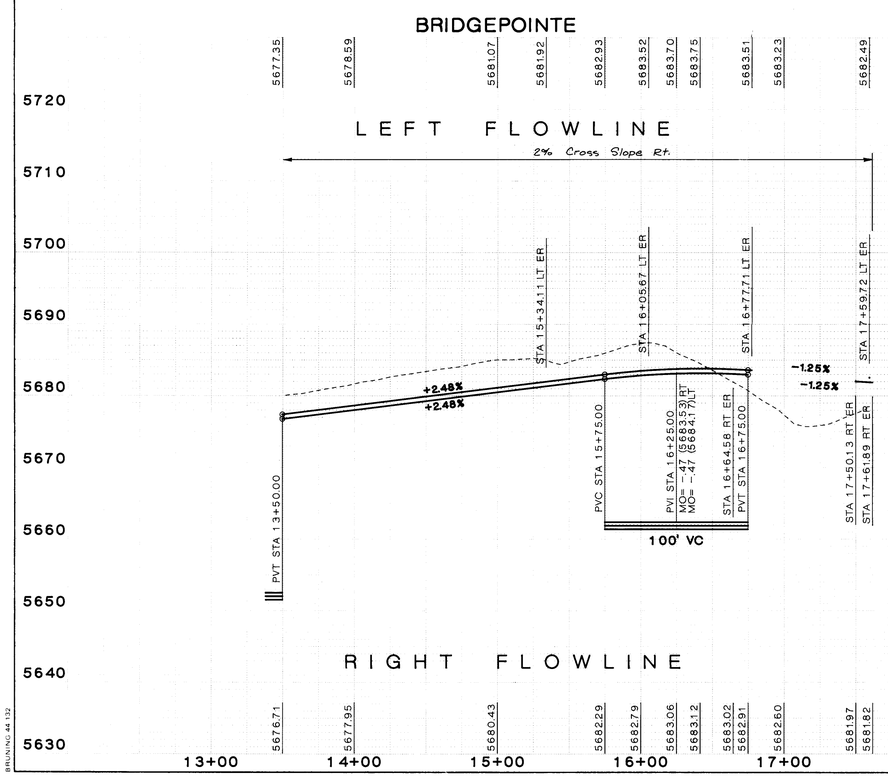
TITLE: THE CHAMPIONS AT TANOAN
BRIDGEPOINT STA. 4+53.31 TO STA. 13+50
PRIVATE STREET PAVING PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A.C.E. - Design	" "	"	Traffic		2/13/87
A.C.E. - Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	9	28



PHASE II



SCALE:
HORIZ. 1" = 50'
VERT. 1" = 10'

BRIDGEPOINTE 13+50 TO 18+18.63

	STATION	OFFSET	FLOWLINE
A	15+34.11	16.00' LT.	81.92
B	16+05.67	16.00' LT.	83.52
C	16+64.58	16.00' RT.	83.02
D	16+77.71	16.00' LT.	83.55
E	17+50.13	16.00' RT.	81.97
F	17+59.72	16.00' LT.	82.49
G	17+61.89	16.00' RT.	81.82
H	17+61.89	16.00' LT.	82.46
J	17+82.16	26.36' RT.	81.65
K	17+82.16	26.36' LT.	82.24

ENGINEER'S SEAL

1-29-87

PROJECT NO. 0690600

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAKED BY	
INSPECTOR ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO	

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY J. Wood DATE 1-87
DRAWN BY DATE 1-87
CHECKED BY DATE 1-87

26 30 96 1 087

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

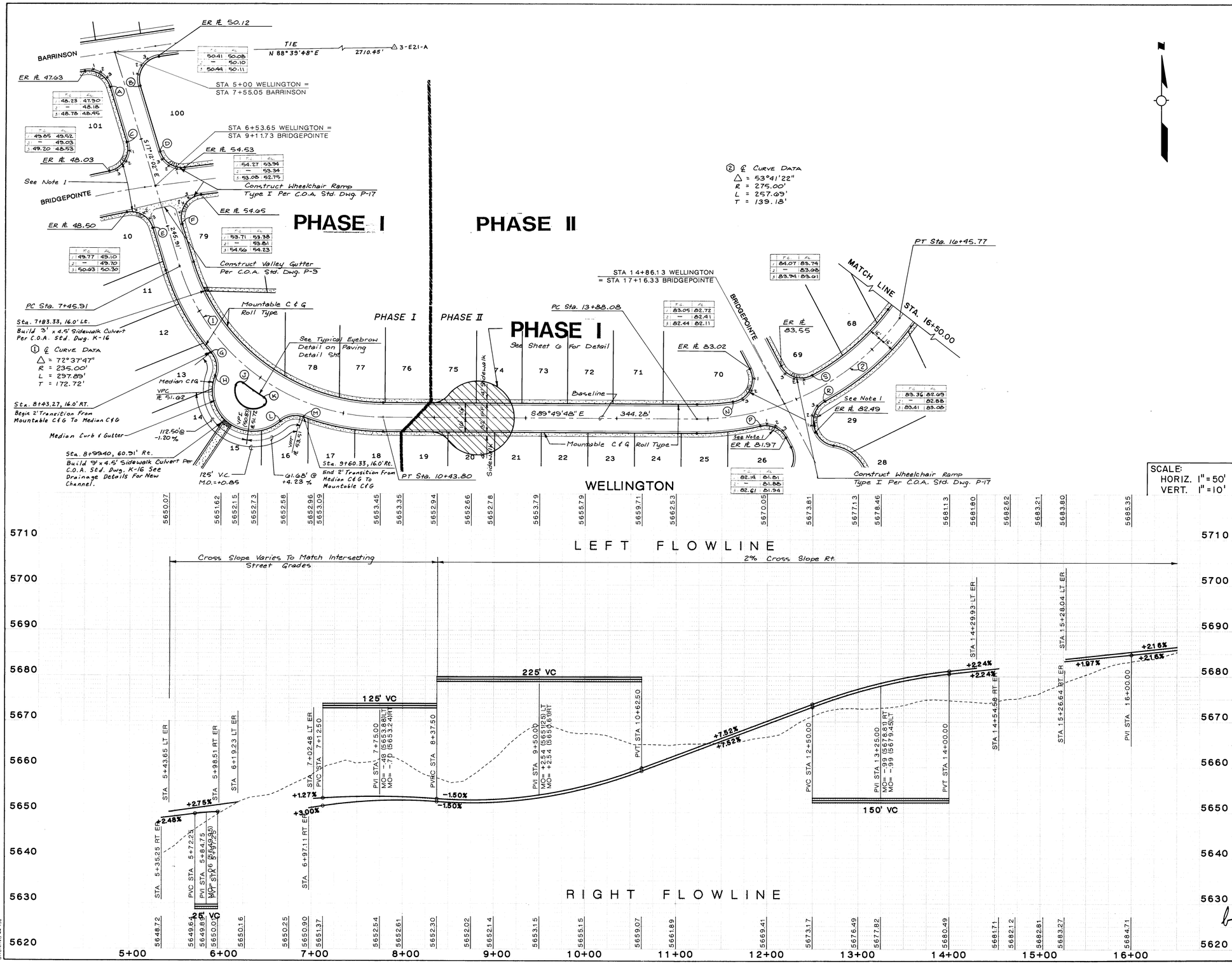
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
BRIDGEPOINTE STA. 13+50 TO STA. 18+18.63
PRIVATE STREET PAVING PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste	NTW	2-13-87
A C E - Design	" "	"	Traffic	NADWH	2/13/87
A C E - Hydrology	CAM	2-20-87	Water	NTW	2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	10	28

BRUNING 44 132



NOTES:

1. Build Type I Wheelchair Ramp Per C.O.A. Std. Dwg. P-17 & Transition From Std. C & G To Mountable C & G Roll Type Per C.O.A. Std. Dwg. P-18.

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 10'

WELLINGTON 5+00 TO 16+50

	STATION	OFFSET	FLOWLINE
A	5+35.25	16.00' RT.	48.72
B	5+43.65	16.00' LT.	50.07
C	5+98.51	16.00' RT.	50.02
D	6+19.23	16.00' LT.	52.15
E	6+97.11	16.00' RT.	50.90
F	7+02.48	16.00' LT.	52.96
G	8+43.27	16.00' RT.	52.28
H	8+62.87	30.23' RT.	51.88
J	8+88.69	16.00' RT.	52.06
K	9+14.91	16.00' RT.	52.34
L	9+40.73	30.23' RT.	52.52
M	9+60.33	16.00' RT.	53.48
N	14+29.93	16.00' LT.	81.80
P	14+54.58	16.00' RT.	81.71
R	15+26.64	16.00' LT.	83.27
S	15+28.04	16.00' LT.	83.80

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2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
WELLINGTON STA. 5+00 TO STA. 16+50
PRIVATE STREET PAVING PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/12/87	Liquid Waste		2-13-87
A C E - Design	" "	"	Traffic	NADOH	2/13/87
A C E - Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	11	28

AS BUILT INFORMATION
CONTRACTOR J.B. HAE
WORK STAKED BY EH&A DATE 8/
INSPECTIONS BY DATE
FIELD VERIFICATION BY EH&A DATE 8/
DRAWINGS CORRECTED BY EH&A DATE 8/
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.	Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1633	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

PROJECT NO 0690600

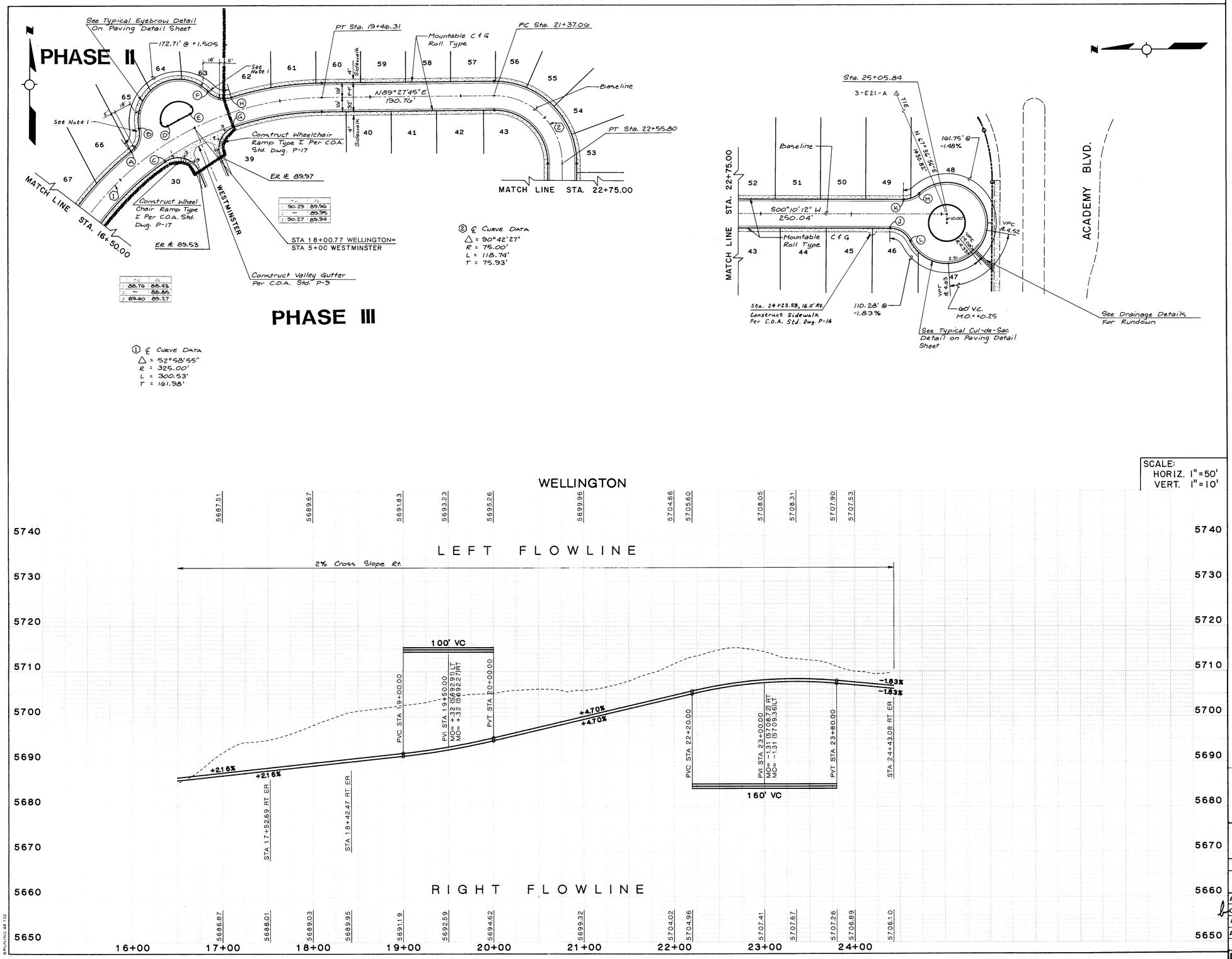
NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY
DRAWN BY L. Wood
CHECKED BY RT

DATE 1-87
DATE 1-87
DATE 1-87

BRUNING 44-132

NOTES:
1. Build 18' Wide Drivepad Per C.O.A. Std Dwg. P-11.



WELLINGTON 16+50 TO 25+05.84

	STATION	OFFSET	FLOWLINE
A	17+29.07	16.00' LT.	88.14
B	17+49.58	30.69' LT.	88.56
C	17+52.69	16.00' RT.	88.01
D	17+75.92	16.00' LT.	89.15
E	18+02.69	16.00' LT.	89.73
F	18+29.02	30.69' LT.	90.32
G	18+42.47	16.00' RT.	89.95
H	18+49.54	16.00' LT.	90.74
J	24+43.08	16.00' RT.	05.90
K	24+57.89	16.00' LT.	06.47
L	24+65.49	29.93' RT.	05.59
M	24+75.01	22.79' LT.	06.19

26 30961287

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY — DATE
INSPECTOR'S WORK ACCEPTANCE BY — DATE
FIELD LOCATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO

BENCH MARKS
A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL
PROJECT NO 0690600

REVISIONS

NO.	DATE	REMARKS	BY

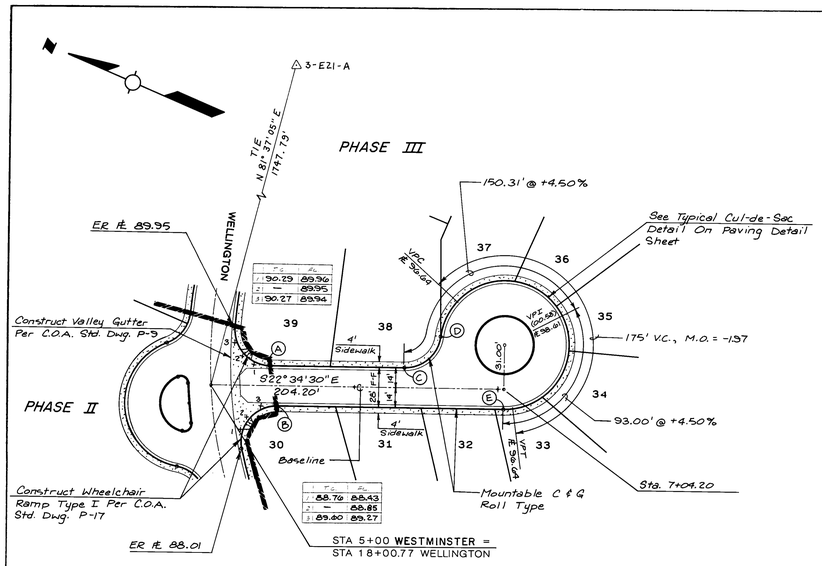
DESIGN
DESIGNED BY — DATE 1-87
DRAWN BY J. Wood — DATE 1-87
CHECKED BY — DATE 1-87

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

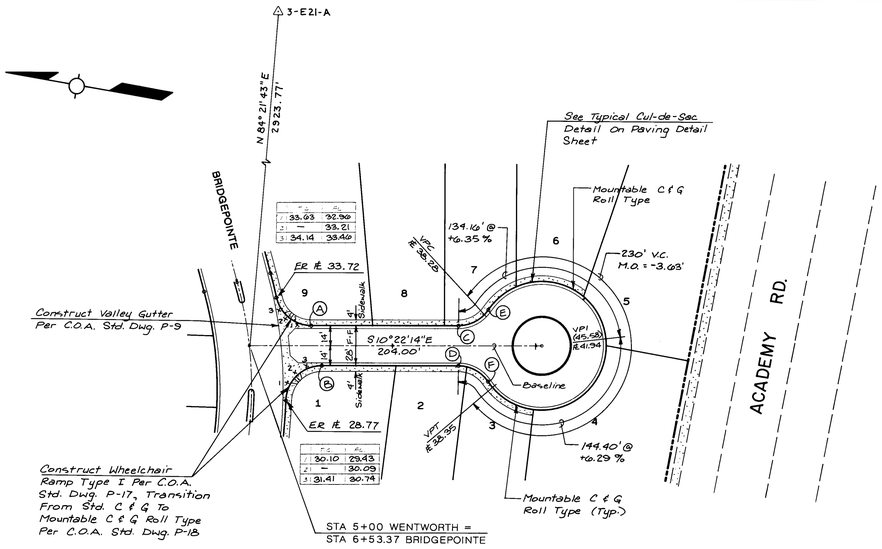
TITLE: THE CHAMPIONS AT TANOAN
WELLINGTON STA. 16+50 TO STA. 25+05.84
PRIVATE STREET PAVING PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A.C.E. - Design	"	"	Traffic	NA	2/13/87
A.C.E. - Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO. 3096 | MAP NO. E-21 | SHEET 12 OF 28



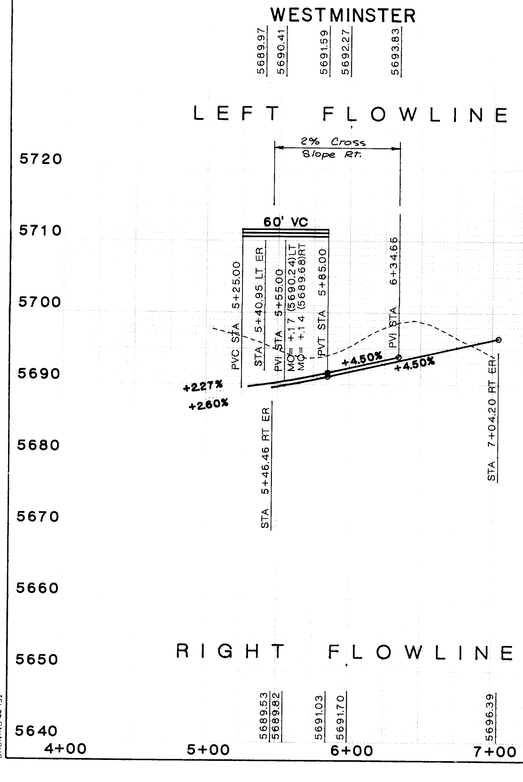
PHASE III

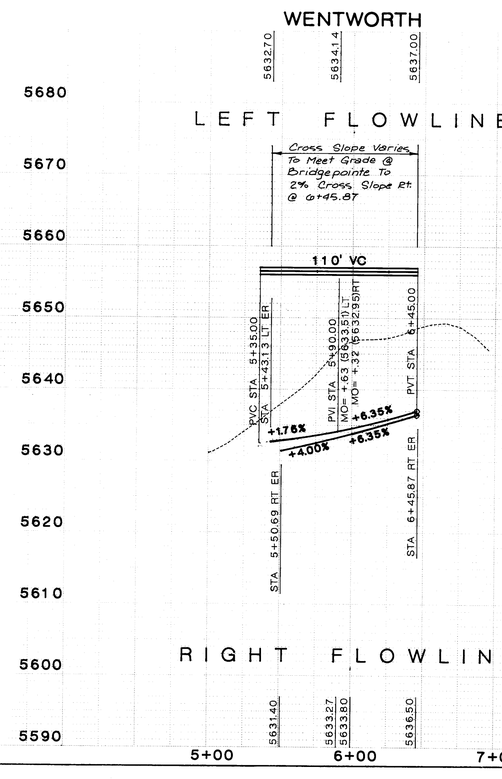


PHASE I

PHASE I

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 10'





WESTMINSTER

	STATION	OFFSET	FLOWLINE
A	5+40.95	14.00' LT.	89.97
B	5+46.66	14.00' RT.	89.53
C	6+34.66	14.00' LT.	93.82
D	6+59.49	36.14' LT.	95.46
E	7+04.20	14.00' RT.	96.39

WENTWORTH

	STATION	OFFSET	FLOWLINE
A	5+43.13	14.00' LT.	32.70
B	5+50.69	14.00' RT.	31.40
C	6+45.87	14.00' LT.	37.06
D	6+45.87	14.00' RT.	36.50
E	6+66.63	25.07' LT.	38.61
F	6+66.63	25.07' RT.	38.04

26 3096.13.87

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2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

NO.	DATE	REMARKS
		REVISIONS
		DESIGN

DESIGNED BY
DRAWN BY J. Wood
CHECKED BY
DATE 1-87
DATE 1-87
DATE 1-87

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
WESTMINSTER & WENTWORTH
PRIVATE STREET PAVING PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A.C.E.-Design	" "	"	Traffic		2/13/87
A.C.E.-Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	13	28

ENGINEER'S SEAL
1-26-87
PROJECT NO. 0690600

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

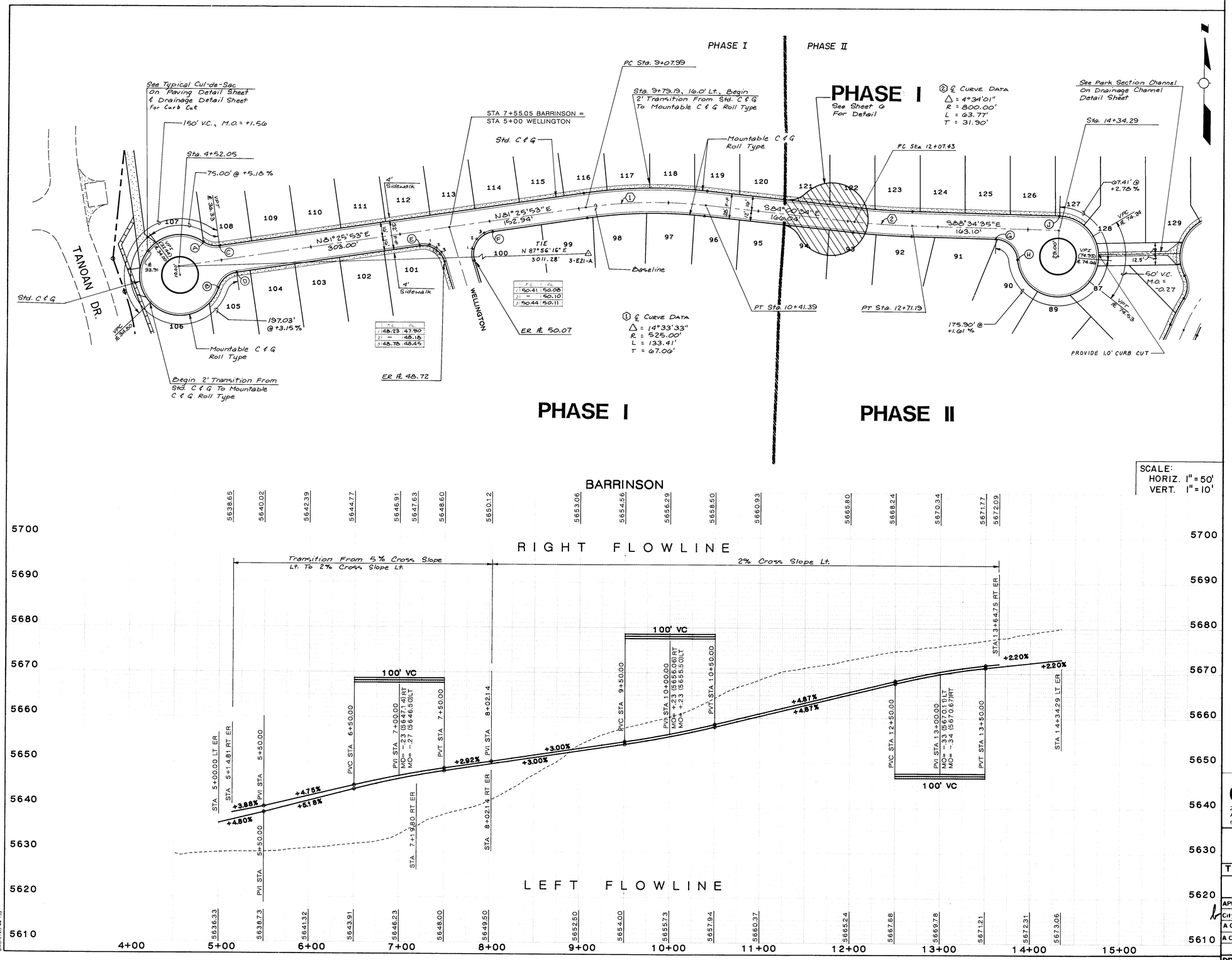
AS BUILT INFORMATION

CONTRACTOR: J.E. HALE
STAKED BY: THE A DATE 8-1
INSPECTORS ACCEPTANCE BY: DATE
FIELD VERIFICATION BY: THE A DATE 8-1
DRAWINGS CORRECTED BY: THE A DATE 8-1
MICRO-FILM INFORMATION
RECORDED BY: DATE
NO.

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

BRUNING 44 132



	STATION	OFFSET	FLOWLINE
A	4+82.87	22.79' LT.	35.45
B	4+92.40	29.93' RT.	37.77
C	5+00.00	16.00' LT.	36.33
D	5+14.81	16.00' RT.	38.65
E	7+19.80	16.00' RT.	47.63
F	8+02.14	12.00' RT.	50.12
G	13+64.75	12.00' RT.	72.09
H	13+89.58	34.14' RT.	72.68
J	14+34.29	16.00' LT.	73.06

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.

Elevation = 5765.23

AS BUILT INFORMATION

CONTRACTOR J.E. HALL

WORK STAKED BY EH EA DATE 8-7

INSPECTORS ACCEPTANCE BY DATE

FIELD VERIFICATION BY EHEA DATE 8-7

DRAWINGS CORRECTED BY EHEA DATE 8-7

MICRO-FILM INFORMATION

RECORDED BY DATE

NO.

ENGINEER'S SEAL

1-14-87

PROJECT NO 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN

DESIGNED BY

DRAWN BY J. Wood DATE 1-87

CHECKED BY DATE 1-87

26 3096 1487

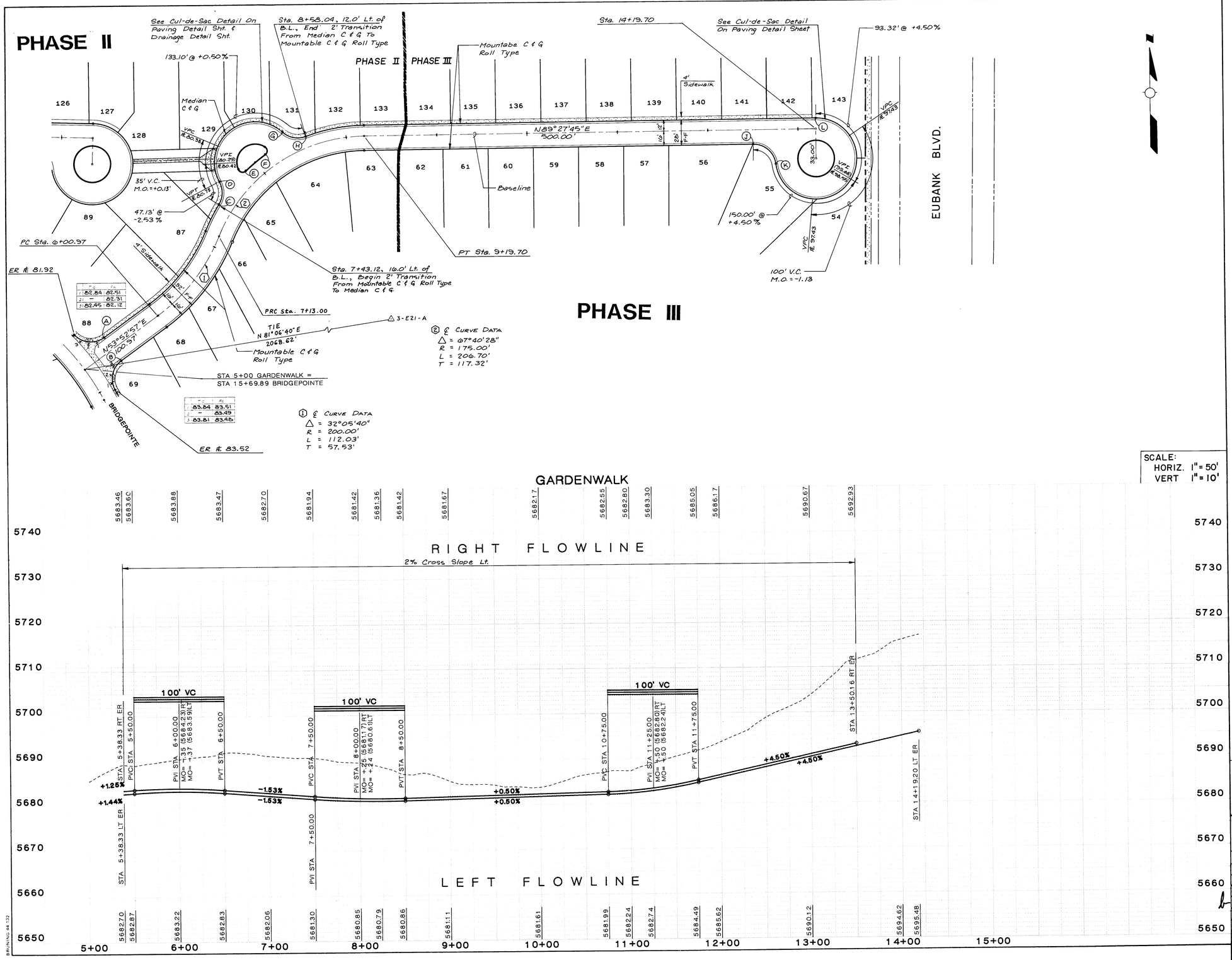
Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292 1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
BARRINSON STA 4+52.05 TO 14+34.29
PRIVATE STREET PAVING PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A C E - Design			Traffic		2/13/87
A C E - Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	14	28



SCALE:
HORIZ. 1" = 50'
VERT 1" = 10'

GARDENWALK

	STATION	OFFSET	FLOWLINE
A	5+38.33	16.00' LT.	82.70
B	5+38.33	16.00' RT.	83.46
C	7+43.12	16.00' LT.	81.48
D	7+61.68	29.69' LT.	80.82
E	7+86.90	16.00' LT.	80.94
F	8+12.49	12.00' LT.	80.81
G	8+38.66	26.98' LT.	80.81
H	8+58.04	12.00' LT.	80.90
J	13+50.16	16.00' RT.	92.93
K	13+74.99	38.14' RT.	94.57
L	14+19.70	12.00' LT.	95.48

AS BUILT INFORMATION

CONTRACTOR
WORK STAKED BY
INSPECTOR'S ACCEPTANCE BY — DATE
VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

MICRO-FILM INFORMATION
RECORDED BY — DATE
NO

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

1-29-87

PROJECT NO 0690600

NO.	DATE	REMARKS	BY

REVISIONS

DESIGNED BY — DATE 1-87
DRAWN BY J. Wood — DATE 1-87
CHECKED BY KM — DATE 1-87

26 30961587

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

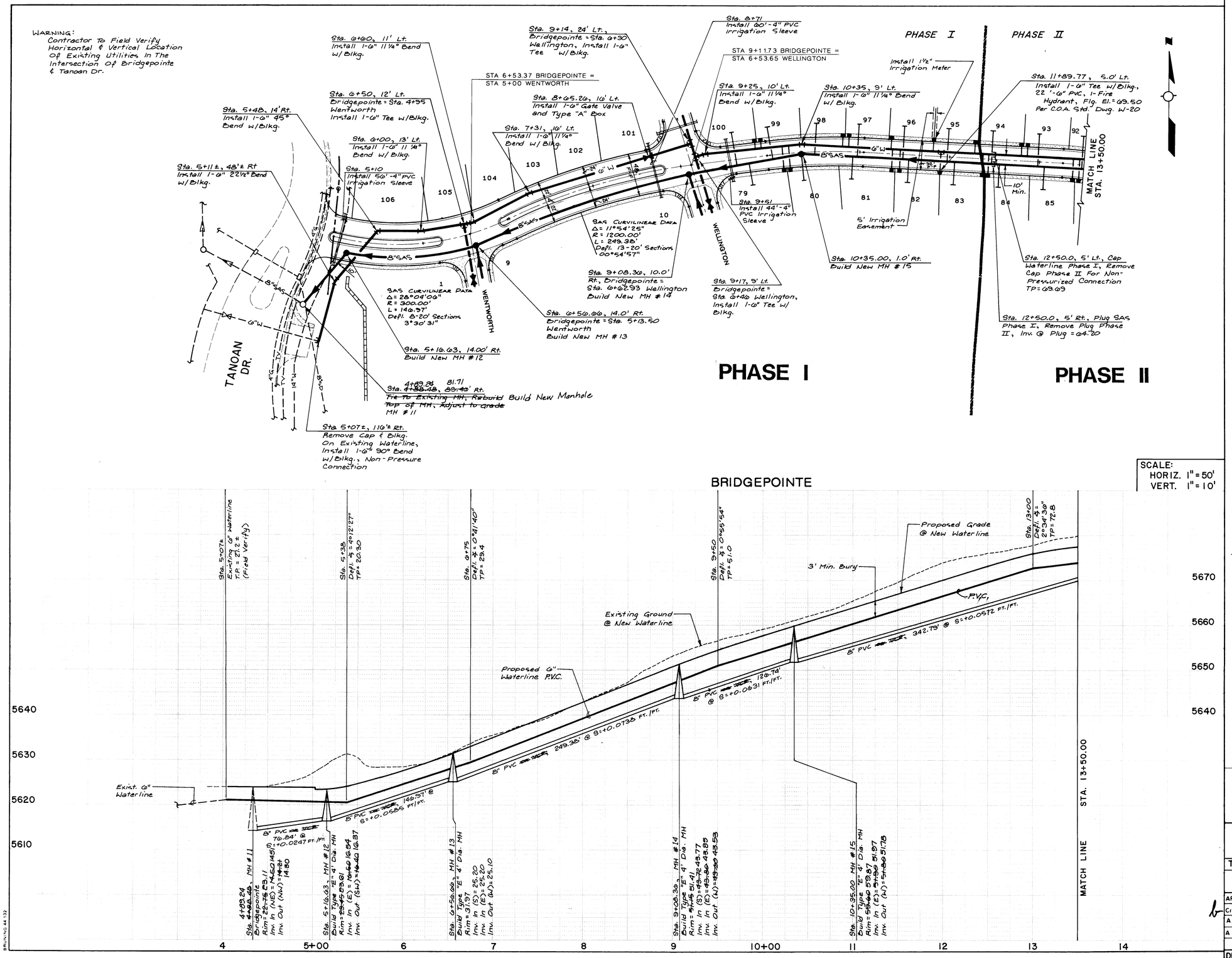
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
GARDENWALK STA 5+00 to 14+19.20
PRIVATE STREET PAVING PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A.C.E.-Design	" "	"	Traffic	NADWH	2/13/87
A.C.E.-Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO. 3096 — MAP NO. E-21 — SHEET 15 OF 28

BRUNING 44 132



RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EMSA's Inspectors and conform to Contractor and City Inspector. The modifications are based on the standards and requirements of the Development Process Manual, Volume 2, Design Criteria as required by Article 27-4 of the Albuquerque Water Utility Authority Ordinance and Rules and Regulations.

William F. Calaman P.E. 3845 9/16/87 Date

SEWER SERVICES

BRIDGEPOINT 4+85 TO 13+50

LOT NO.	STATION	INVERT @ PLUG	LENGTH
100	9+60.0	49.3	38'
79	9+75.5	50.0	25'
99	10+03.0	~~52.0~~ 52.1	36'
80	10+32.3	53.6	26'
98	10+50.2	~~55.0~~ 55.2	35'
81	10+91.5	~~56.2~~ 56.6	26'
97	10+98.2	~~57.7~~ 57.7	36'
96	11+46.3	~~60.3~~ 60.6	36'
82	11+48.0	~~60.4~~ 60.3	26'
95	11+96.3	63.3	36'
83	12+04.8	63.6	26'
94	12+46.3	~~66.2~~ 66.3	36'
84	12+54.8	66.5	26'
93	12+96.3	69.1	36'
85	13+04.8	69.4	26'
92	13+46.0	71.9	36'

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 1 6 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
BRIDGEPOINTE STA. 4+88.48 - 13+50
PUBLIC UTILITY PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A C E - Design	"	"	Traffic	NADWH	2/13/87
A C E - Hydrology	NA		Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	16	28

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

AS BUILT INFORMATION

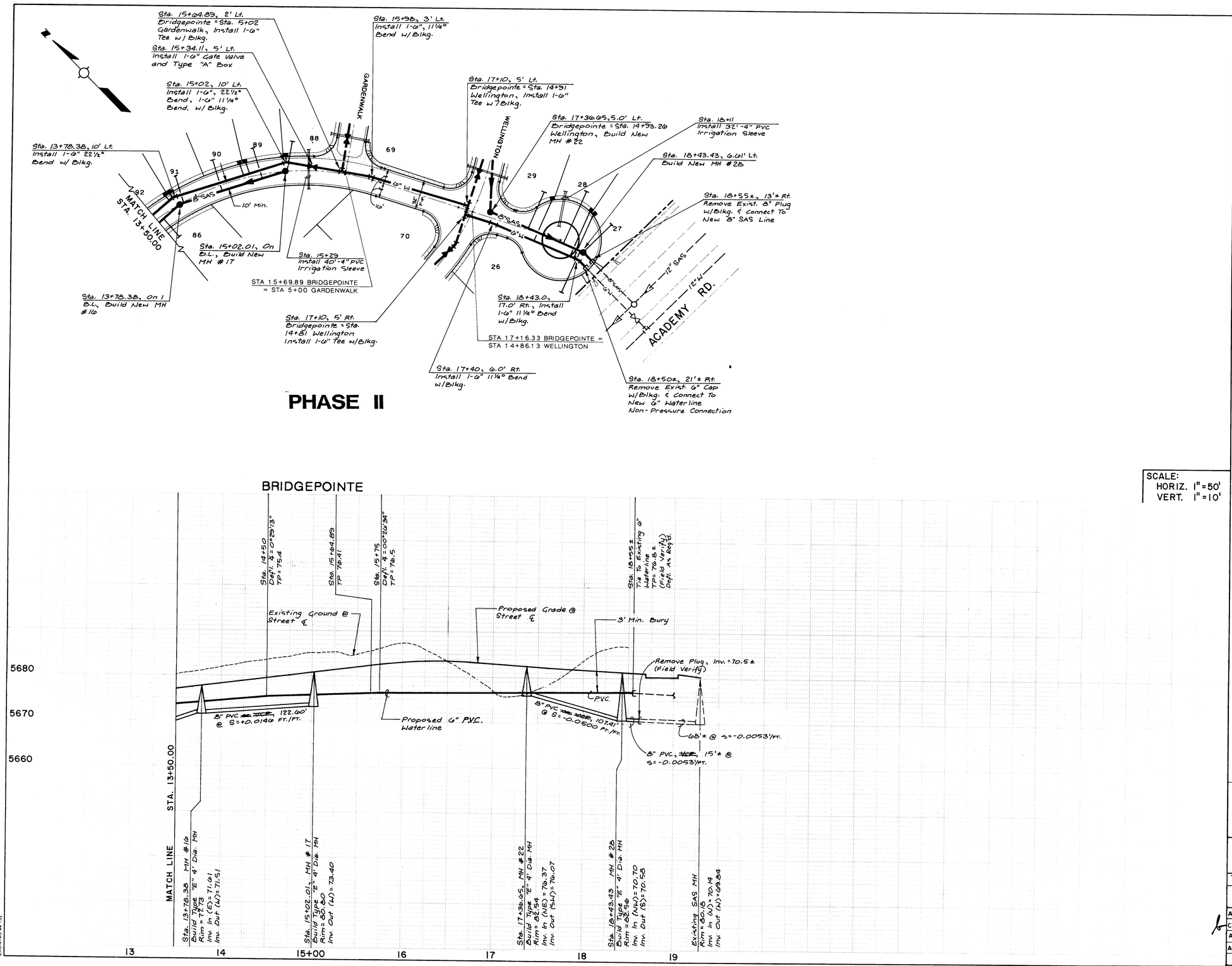
CONTRACTOR	J.E. HALE	
WORK STAKED BY	EMSA	DATE 8-87
INSPECTORS INITIALS BY	RBR	DATE 7-87
FIELD VERIFICATION BY	BWP	DATE 8-87
DRAWINGS CORRECTED BY	EMSA	DATE 8-87
MICRO-FILM INFORMATION		
RECORDED BY		DATE
NO		

ENGINEER'S SEAL

PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGNED BY — DATE 1-87
DRAWN BY U. Wood — DATE 1-87
CHECKED BY — DATE 1-87



PHASE II

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 10'

SEWER SERVICES

BRIDGEPOINT 13+50 TO 18+55

LOT NO.	STATION	INVERT @ PLUG	LENGTH
86	13+55.7	72.2	25'
91	13+83.7	73.9	35'
90	14+27.0	74.6	39'
89	14+74.3	75.3	38'
88	15+02.0	75.6	32'
29	17+82.0	76.2	44'
28	18+22.0	74.5	53'
27	18+43.4	73.0	42'
26	18+43.4	73.2	48'

AS BUILT INFORMATION

CONTRACTOR
WORK STAKED BY
FINAL WORK ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the Intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

1-20-87

PROJECT NO. 0690600

REVISIONS

NO	DATE	REMARKS	BY

DESIGNED BY — DATE 1-87
DRAWN BY: L. Wood — DATE 1-87
CHECKED BY — DATE 1/87

2 6 3 0 9 6 1 7 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292 1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

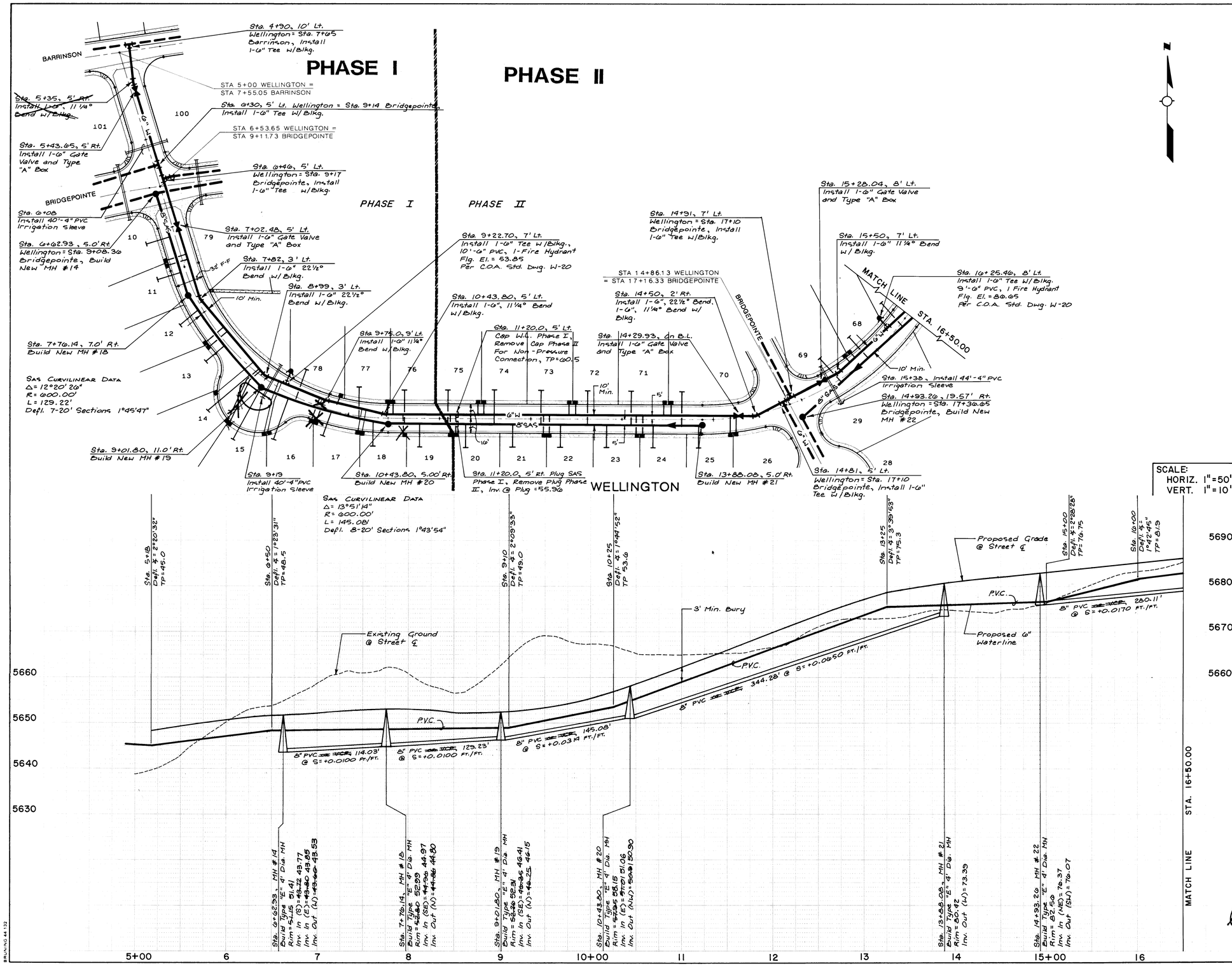
TITLE: THE CHAMPIONS AT TANOAN

BRIDGEPOINTE STA. 13+50 - 18+55
PUBLIC UTILITY PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A C E - Design	" "	"	Traffic		2/13/87
A C E - Hydrology			Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	17	28

BRUNING 44-132



RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been based upon information and measurements obtained by EMSA, field surveys control the Contractor and City inspector. The modifications criteria as required by the City Of Albuquerque Development Process Manual, Section 27.4 to the best of my knowledge and belief.

William F. Coleman R.E. 5945 7/14/86

Date

SEWER SERVICES

WELLINGTON 4+90 TO 16+50

LOT NO.	STATION	INVERT @ PLUG	LENGTH
10	7+13.0	46.2	26'
11	7+54.0	46.7	26'
12	7+95.0	47.2	26'
13	8+44.0	47.7	26'
14	8+81.0	48.7	60'
15	9+01.8	49.1	65'
16	9+31.0	49.7	48'
78	9+40.0	49.8	37'
17	9+82.0	50.9	27'
77	10+11.0	52.0	34'
18	10+27.0	52.3	27'
76	10+61.0	54.3	36'
19	10+78.0	55.2	24'
75	11+09.0	57.5	36'
20	11+29.0	58.5	24'
74	11+60.0	60.8	36'
21	11+80.0	61.8	24'
73	12+11.0	64.1	36'
22	12+32.0	65.2	24'
72	12+62.0	67.4	36'
23	12+83.0	63.5	24'
71	13+10.0	70.5	36'
24	13+34.0	71.9	24'
70	13+65.0	74.1	36'
25	13+84.0	75.1	24'
69	15+51.0	79.6	36'
68	15+91.0	80.2	31'
67	16+41.0	81.1	36'

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 1 8 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
WELLINGTON STA. 4+90 - 16+50
PUBLIC UTILITY PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A C E - Design	" "	" "	Traffic	NA	2/13/87
A C E - Hydrology	NA		Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	18	28

AS BUILT INFORMATION
CONTRACTOR J.B. HALE
WORK STAKED BY EHEA DATE 8-87
INSPECTORS NOTES BY RBR DATE 7-87
FIELD VERIFICATION BY EHEA DATE 8-87
DRAWINGS CORRECTED BY EHEA DATE 8-87
MICRO-FILM INFORMATION
RECORDED BY DATE
NO

BENCH MARKS
A standard AGS brass tablet stamped "13-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

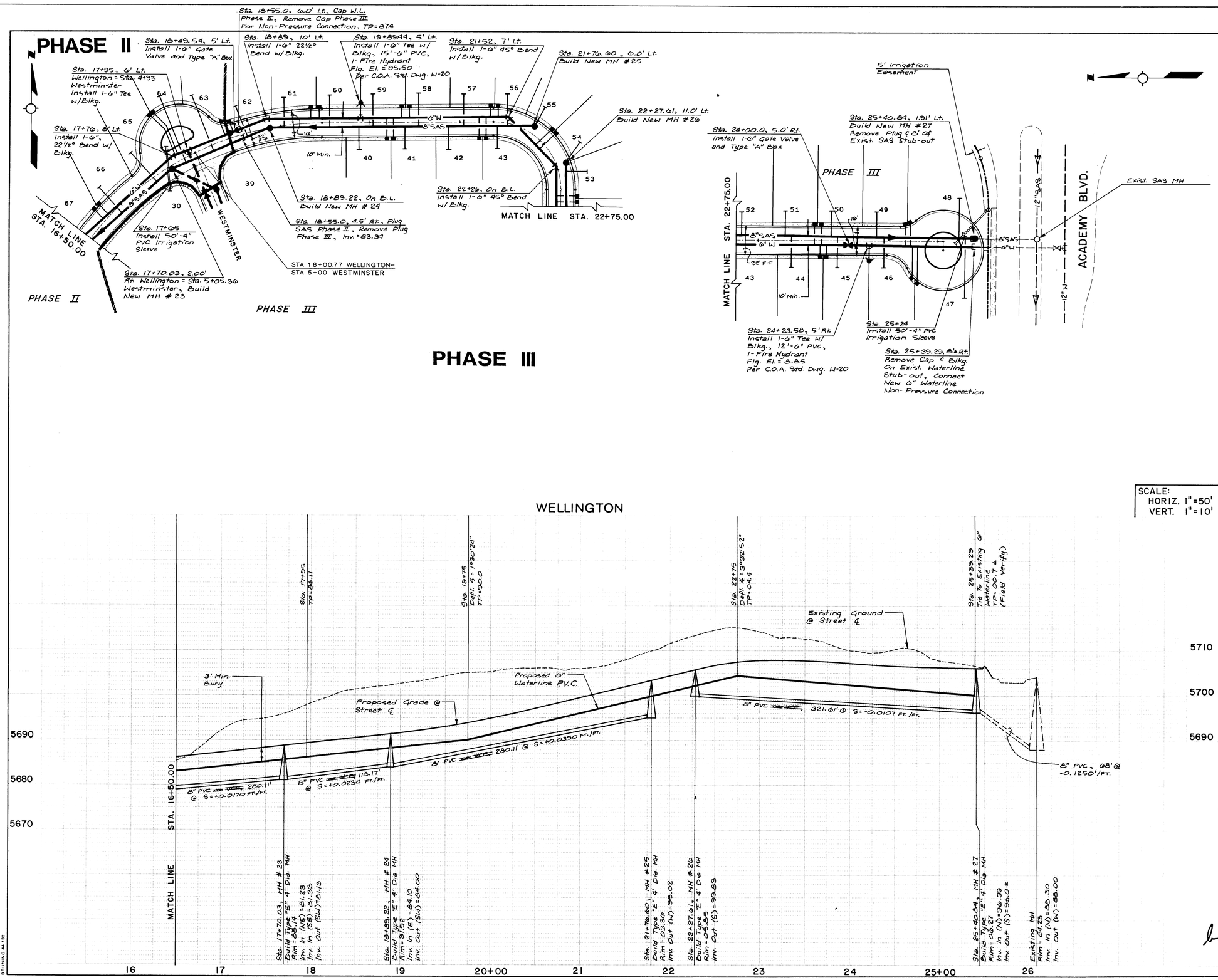
SURVEY INFORMATION
FIELD NOTES

NO	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL
PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN
DESIGNED BY J. Wood DATE 1-87
DRAWN BY DATE 1-87
CHECKED BY DATE 2-87



SEWER SERVICES

WELLINGTON 16+50 TO 25+05.84

LOT NO.	STATION	INVERT @ PLUG	LENGTH
66	16+95.0	82.1	38'
65	17+48.0	83.1	44'
64	17+87.0	84.7	80'
63	18+21.0	85.3	67'
62	18+62.0	85.6	37'
61	19+05.0	86.9	34'
60	19+56.0	88.9	36'
40	19+88.0	89.9	24'
59	20+04.0	90.8	36'
41	20+40.0	92.0	24'
58	20+55.0	92.8	36'
42	20+88.0	93.8	24'
57	21+05.0	94.7	36'
43	21+42.0	95.9	24'
56	21+54.0	96.6	36'
55	21+76.6	97.0	24'
54	22+27.6	101.9	27'
53	22+37.0	101.6	24'
52	22+81.0	101.2	26'
51	23+30.0	100.7	26'
44	23+37.0	100.8	36'
50	23+81.0	100.1	26'
45	23+88.0	100.2	36'
49	24+31.0	99.6	26'
46	24+40.0	99.6	34'
48	25+23.0	99.0	45'
47	25+30.0	99.3	66'

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 1 9 8 7

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2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292 1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
WELLINGTON STA. 16+50 - 25+05.84
PUBLIC UTILITY PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A C E - Design	" "	"	Traffic		2/13/87
A C E - Hydrology	N.A		Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	19	28

AS BUILT INFORMATION
CONTRACTOR — DATE
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

BENCH MARKS
A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE.
The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

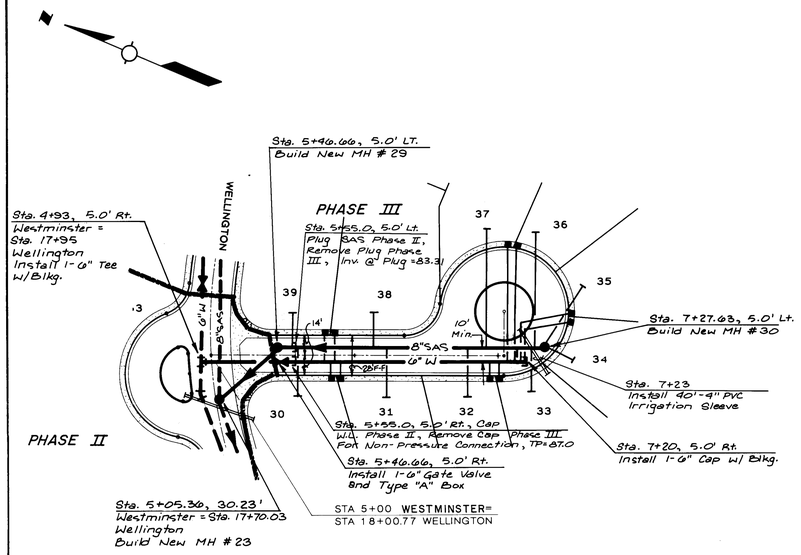
ENGINEER'S SEAL
1-30-87
PROJECT NO. 0690600

REVISIONS

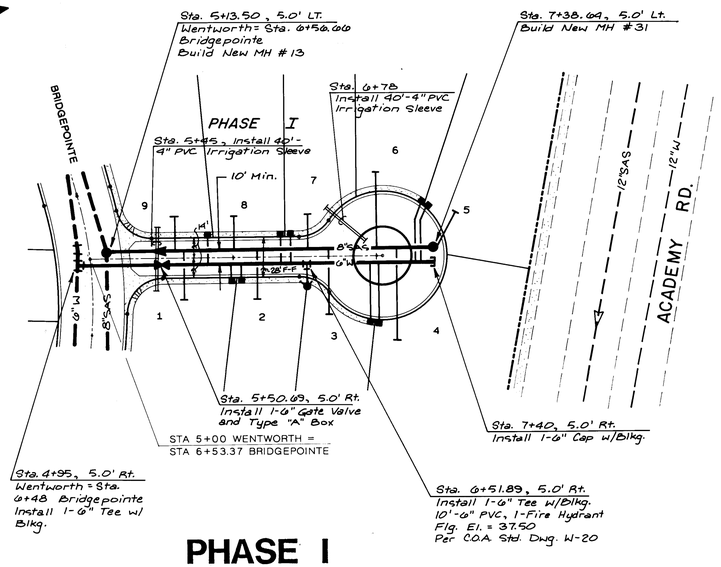
NO.	DATE	REMARKS	BY

DESIGN
DESIGNED BY — DATE 1-87
DRAWN BY J. Wood — DATE 1-87
CHECKED BY — DATE 1-87

BRUNING 44 132



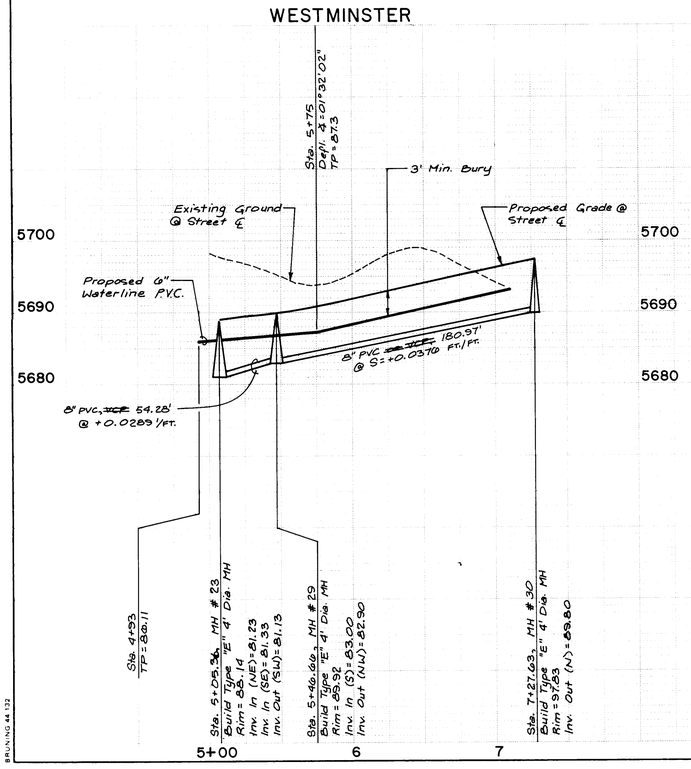
PHASE III



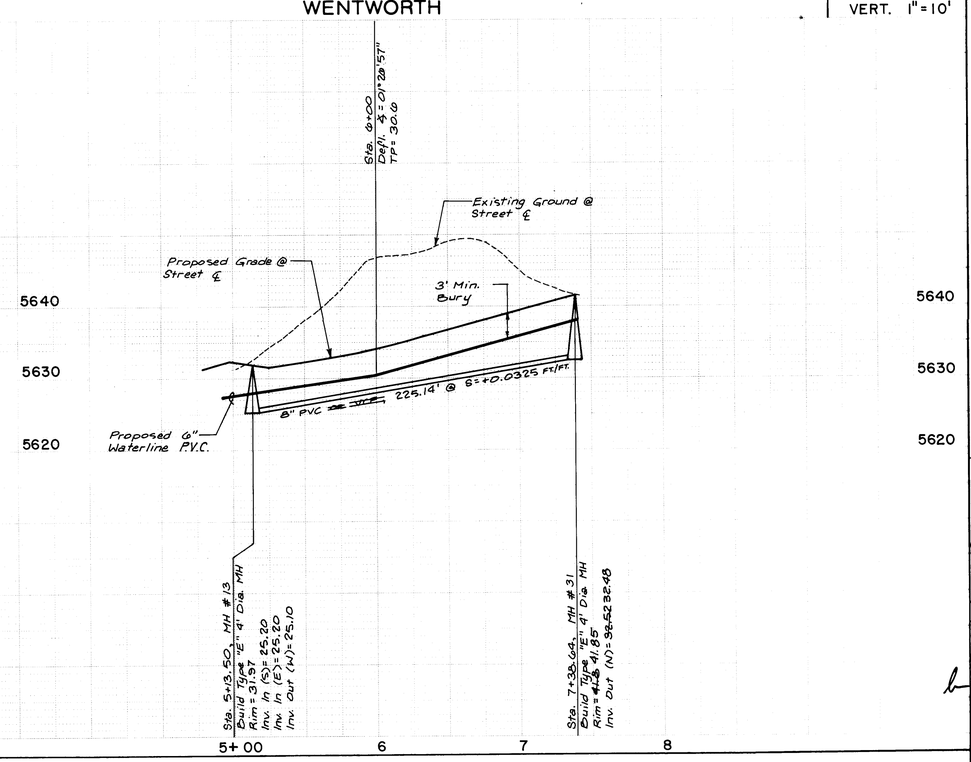
PHASE I

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 10'

WESTMINSTER



WENTWORTH



RECORD DRAWING

This drawing has modified shows public improvements as constructed. This drawing has been based using information and measurements obtained by other crews, the Contractor and City inspector. The modifications conform to the minimum requirements for record drawing purposes as stated in the Development Process Manual, Section 27.4 to the best of my knowledge and belief.

William F. Coleman P.E. 6945 Date

SEWER SERVICES

WESTMINSTER

LOT NO.	STATION	INVERT @ PLUG	LENGTH
39	5+56.0	85.3	24'
30	5+60.0	85.7	34'
38	6+12.0	87.4	24'
31	6+23.0	88.1	34'
32	6+78.0	90.1	34'
37	6+92.0	91.6	84'
33	7+20.0	91.7	34'
36	7+22.0	92.7	80'
35	7+27.6	92.3	50'
34	7+27.6	91.7	20'

WENTWORTH

LOT NO.	STATION	INVERT @ PLUG	LENGTH
9	5+58.0	~~28.6~~ 28.7	24'
1	5+65.0	~~29.1~~ 29.0	~~34'~~ 34.3'
8	6+01.0	30.0	24'
2	6+17.5	30.8	~~34'~~ 34.2'
7	6+51.1	31.7	24'
3	6+67.0	~~32.6~~ 32.7	~~49'~~ 53.6
6	7+00.0	33.8	52'
4	7+15.0	~~34.5~~ 34.6	~~64'~~ 64.5'
5	7+38.6	34.6	28'

1	2	3	4	5	6	7	8	9	10	11	12
2	6		3	0	9	6	2	0	8	7	

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
WESTMINSTER AND WENTWORTH
PUBLIC UTILITY PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A C E - Design	" "	"	Traffic	N A	2/13/87
A C E - Hydrology	N A		Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	20	28

AS BUILT INFORMATION
CONTRACTOR J. E. HALL
WORK STAKED BY ECA DATE 8/87
WORK PERFORMED ACCEPTANCE BY RBP DATE 7/87
FIELD VERIFICATION BY ECA DATE 8/87
DRAWINGS CORRECTED BY ECA DATE 8/87
MICRO-FILM INFORMATION
RECORDED BY DATE
NO

BENCH MARKS
A standard ACS brass tablet stamped "13-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

SURVEY INFORMATION

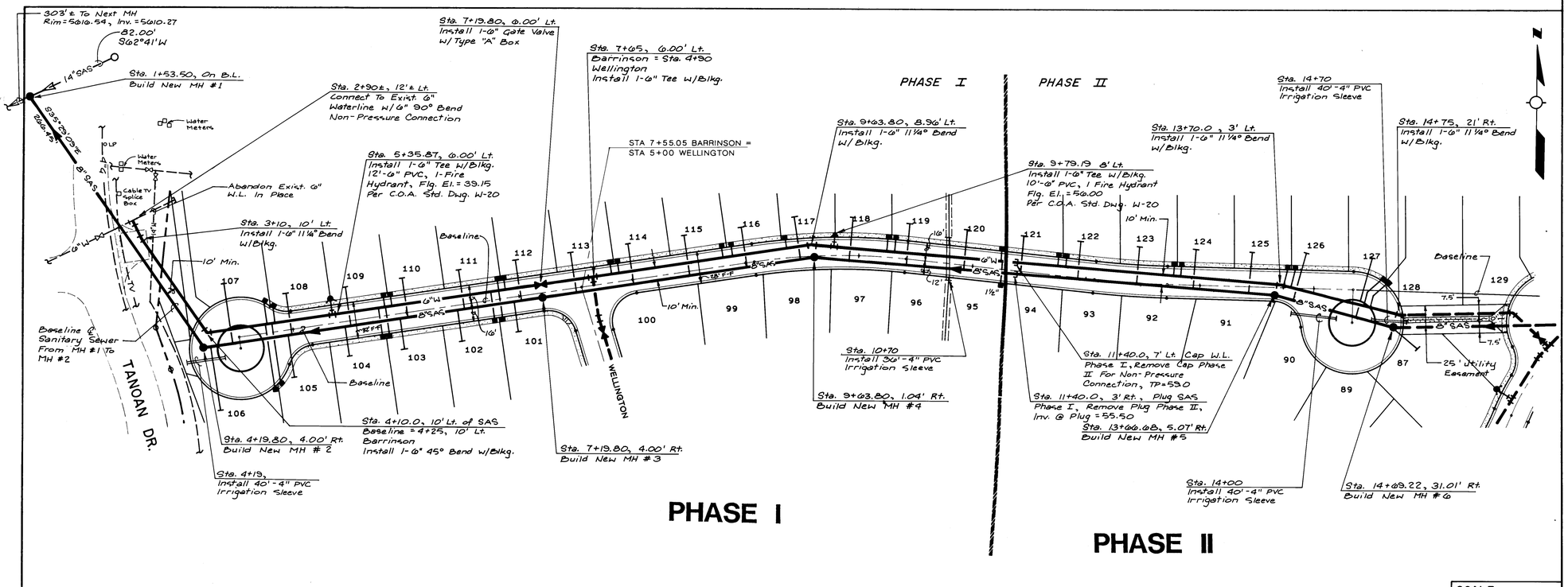
NO.	BY	DATE
FIELD NOTES		
1748	GREINER	1986
1653	GREINER	6-84
Aerial Photography		
Tom Mann and Assoc.		8-7-86

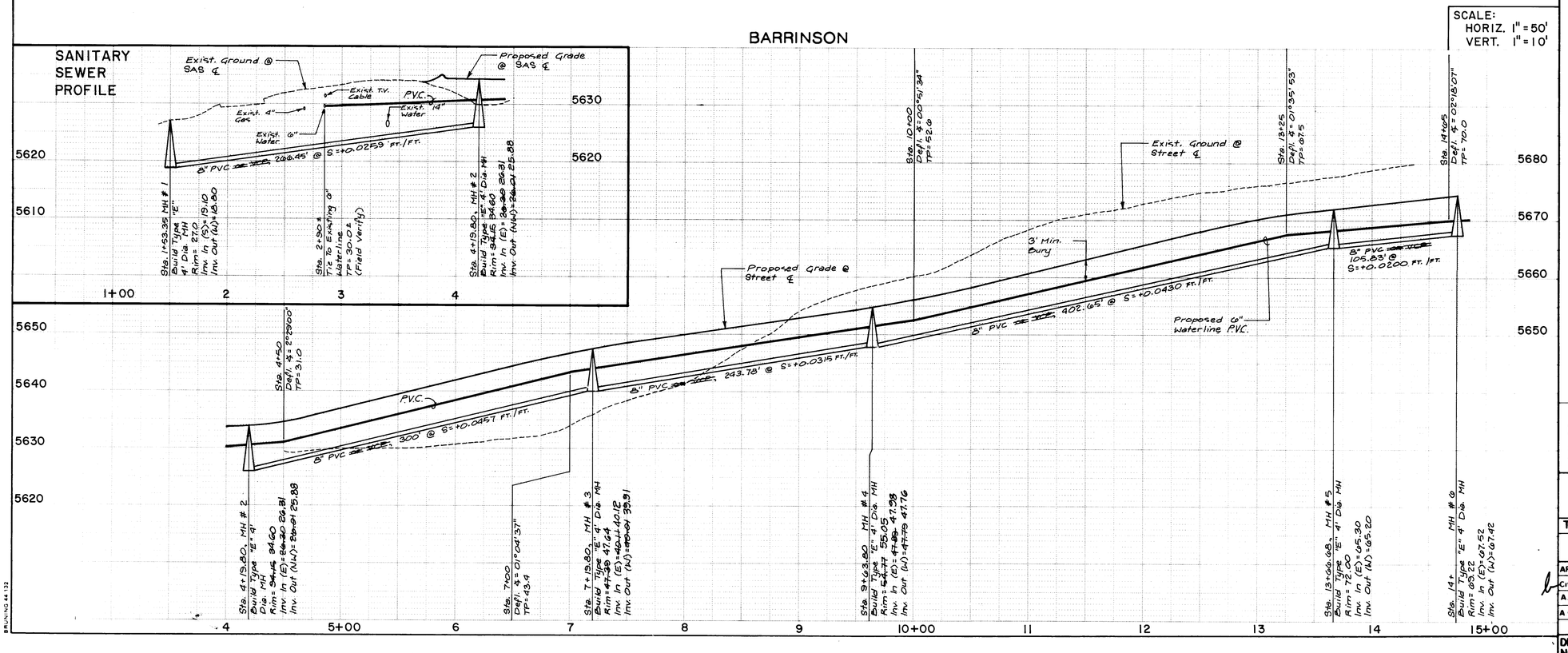
ENGINEER'S SEAL
1-29-87
PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
REVISIONS			

DESIGNED BY J. Wood DATE 1-87
DRAWN BY J. Wood DATE 1-87
CHECKED BY RM DATE /87

BRUNING 44 133





RECORD DRAWING

This drawing was modified shows public improvements as constructed. These modifications have been made using information and markings provided by Elena A. Gallegos and field survey crew, the Contractor and City inspector. To reach the contractor to the minimum requirements for record drawing contact the Contractor or the Development Process Manual Section 27.4 to the best of my knowledge and belief.

William F. Coleman P.E. 5945 7/16/87

Date

SEWER SERVICES

BARRINSON 1+50 TO 14+74

LOT NO.	STATION	INVERT @ PLUG	LENGTH
106	4+27.0	29.2	55'
107	4+45.0	30.1	55'
105	4+95.0	31.9	35'
108	4+98.0	32.1	36'
104	5+44.8	34.1	27'
109	5+50.9	~~34.5~~ 34.6	~~35'~~ 35.4'
103	5+94.8	36.3	27'
110	6+00.9	~~36.8~~ 36.0	~~35'~~ 35.1'
102	6+44.8	38.6	27'
111	6+50.9	~~38.7~~ 39.2	35'
101	6+94.8	~~40.9~~ 41.2	~~27'~~ 27.6'
112	7+00.9	~~41.3~~ 41.4	~~35'~~ 35.4'
113	7+50.9	~~43.3~~ 43.4	~~35'~~ 35.4'
114	8+00.9	44.9	35'
115	8+50.9	46.4	~~35'~~ 35.6'
116	9+00.9	48.0	~~35'~~ 35.9'
117	9+48.2	49.5	36'
118	9+94.2	~~51.5~~ 51.4'	38'
119	10+42.6	~~53.3~~ 53.6	38'
120	10+92.5	~~55.6~~ 55.0	~~36'~~ 38'
121	11+42.8	57.7	33'
122	11+95.0	60.0	32'
123	12+47.0	62.2	32'
124	12+97.0	64.4	34'
125	13+44.8	66.5	35'
126	13+82.0	68.0	43'
127	14+40.0	69.3	54'
87	14+74.2	69.5	25'

1	2	3	4	5	6	7	8	9	10	11	12
2	6		3	0	9	6	2	1	8	7	

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
BARRINSON
PUBLIC UTILITY PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A C E - Design			Traffic		2/13/87
A C E - Hydrology	N.A.	8-20-87	Water		2/13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	21	28

AS BUILT INFORMATION
CONTRACTOR J. B. HALE
WORK STAKED BY Elena A. DATE 8/1
INSPECTORS INITIALS ROR DATE 7-87
FIELD VERIFICATION BY Elena A. DATE 8/1
DRAWINGS CORRECTED BY Elena A. DATE 8/1
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

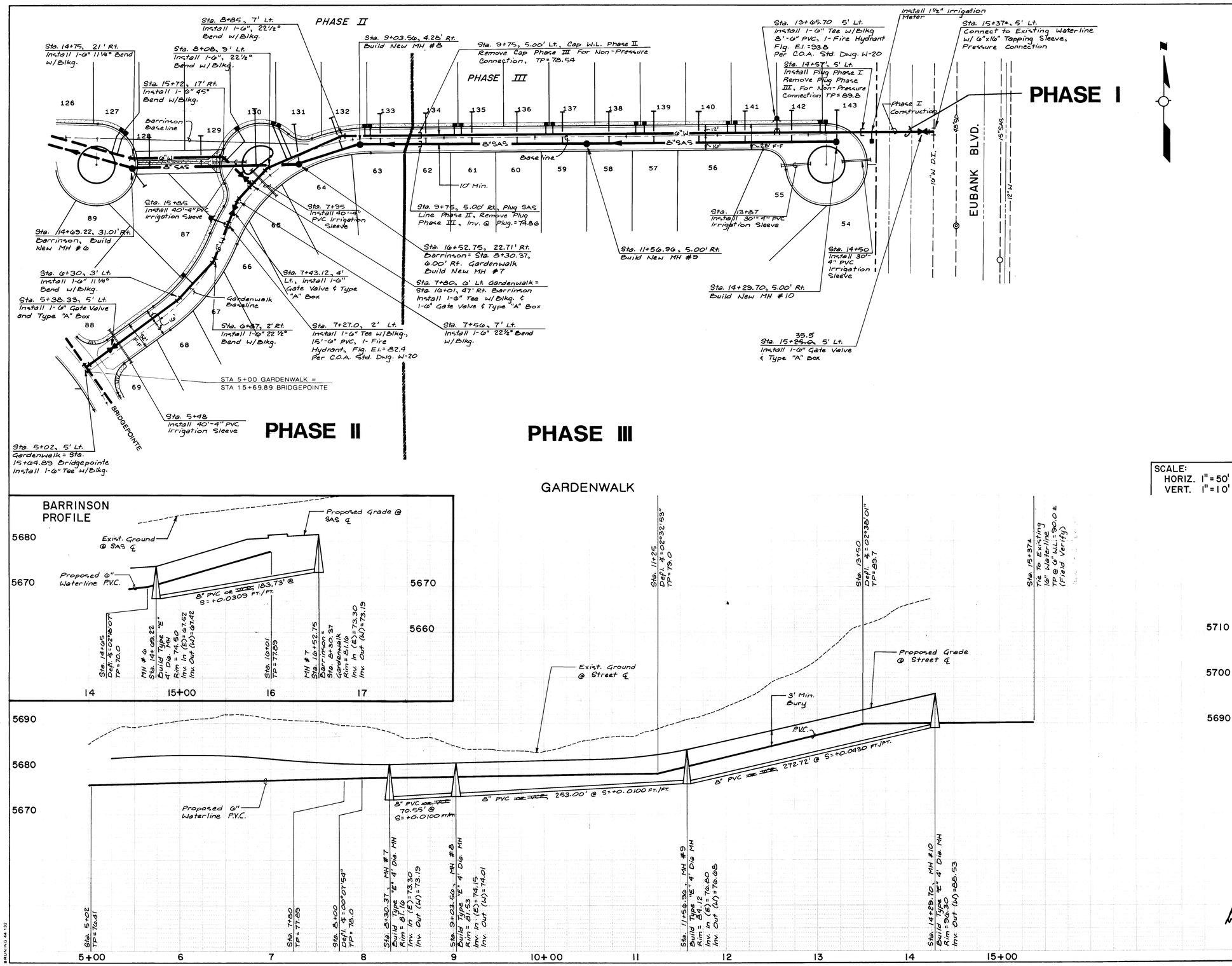
SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL
1-26-87
PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGNED BY DESIGN DATE 1-87
DRAWN BY J. Wood DATE 1-87
CHECKED BY RM DATE 1-87



SCALE:
HORIZ. 1"=50'
VERT. 1"=10'

SEWER SERVICES

GARDENWALK

LOT NO.	STATION	INVERT @ PLUG	LENGTH
128	*14+95.0	70.4	33'
129	*15+00.0	70.6	33'
130	*16+10.0	74.5	60'
131	8+30.4	75.6	43'
132	8+80.0	76.0	34'
133	9+26.0	76.6	34'
134	9+76.0	77.1	34'
135	10+26.0	77.6	34'
136	10+76.0	78.1	34'
137	11+26.0	78.6	34'
138	11+76.0	79.8	34'
139	12+26.0	81.9	34'
140	12+76.0	84.1	34'
141	13+26.0	86.2	34'
142	13+76.0	88.4	34'
143	14+29.7	90.7	34'

* STATIONED ALONG BARRINSON

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 2 2 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
GARDENWALK
PUBLIC UTILITY PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/10/87	Liquid Waste		2-13-87
A C E - Design		"	Traffic	NA	2/13/87
A C E - Hydrology	NA		Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	22	28

ENGINEER'S SEAL
1-29-87
PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN
DESIGNED BY J. Wood DATE 1-87
DRAWN BY DATE 1-87
CHECKED BY DATE 1-87

SURVEY INFORMATION

FIELD NOTES

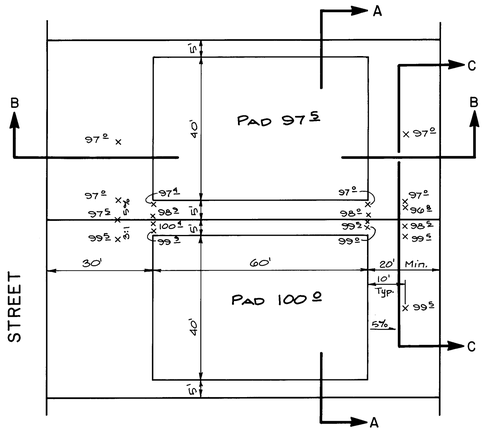
NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

BENCH MARKS

A standard ACS brass tablet stamped "13-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

AS BUILT INFORMATION

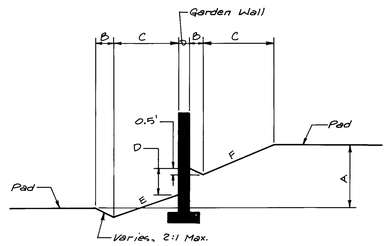
		DATE
CONTRACTOR		
WORK STAKED by		
INSPECTOR'S ACCEPTANCE BY		DATE
FIELD VERIFICATION BY		
DRAWINGS CORRECTED BY		DATE
MICRO-FILM INFORMATION		
RECORDED BY		DATE
NO		



TYPICAL LOT PLAN

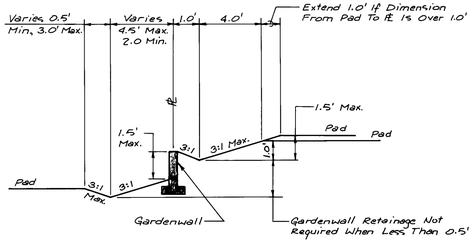
SCALE: 1" = 20'

A	B	C	D	E	F
3.5'	1.0'	3.67'	1.5'	2.5:1	2.5:1
3.0'	1.0'	3.67'	1.25'	3:1	2.5:1
2.5'	1.0'	3.67'	1.25'	3:1	VARIES FROM 6:1 to 3.7:1



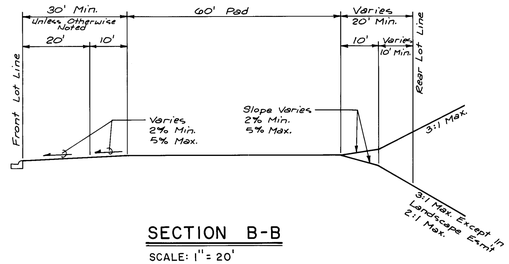
SECTION A-A TYPICAL BETWEEN PADS 2.5' TO 3.5' SPLITS

N.T.S.



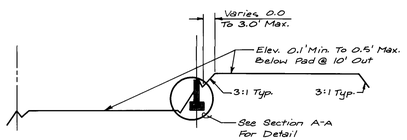
SECTION A-A TYPICAL BETWEEN PADS 0 TO 2.0' SPLITS

SCALE: 1" = 40'



SECTION B-B

SCALE: 1" = 20'



SECTION C-C

SCALE: 1" = 20'

EARTHWORK SPECIFICATIONS

NOTE: The Earthwork Specifications were prepared by: Fox and Associates of New Mexico, Inc., Reference Geotechnical Investigation Champions at Tanoan Subdivision, dated 12/19/86, Fox Job No. 0119590.

1. GENERAL

The Soils Engineer shall be the Owner's representative to control the earthwork placement, moisture content, and compaction. The Soils Engineer shall approve the materials, the method of placing and compaction, and shall give written approval of the completed fill.

The structurally controlled fill shall be placed and compacted as follows:

2. CLEARING AREA TO BE FILLED

All timber, logs, trees, brush, stumps, trash, sod, matted roots and roots larger than two (2) inches in diameter shall be removed, piled, or otherwise disposed of. All rocks, cobbles and boulders larger than six (6) inches in diameter shall be removed or otherwise disposed of at the direction of the Soils Engineer.

3. SCARIFYING AREA TO BE FILLED

a. The surface shall be plowed or scarified to a depth of at least eight (8) inches, and smoothed until the surface is free from ruts, hummocks, and other uneven features, which would tend to prevent uniform compaction from the equipment to be used.

b. Where fill is to be placed on hillsides or slopes, the slope of the original ground upon which the fill is to be placed shall be plowed, or scarified deeply. Where the slope ratio of the ground is steeper than 5 horizontal to 1 vertical, the bank shall be stepped or benched.

c. Strippings may be disposed of off site.

4. PREPARATION OF AREA TO BE FILLED AND TREATMENT OF CUT SECTIONS

After the foundation for the fill has been cleared, any frozen material removed, and it has been plowed or scarified, it shall be disced or bladed until it is uniform and free from large clods, brought to optimum moisture content (±2%), for a minimum of five (5) feet, and compacted with a minimum of twenty (20) passes using a minimum twenty (20) ton vibratory compactor to a minimum of 95% of maximum density as determined by ASTM D-1557.

5. TREATMENT OF CUT SECTIONS

Subsequent to the final grading in cut sections, the ground surface shall be plowed or scarified, and brought to optimum moisture content (±2%), for a minimum of five (5) feet. The ground surface shall then be compacted with a minimum of twenty (20) passes using a minimum twenty (20) ton vibratory compactor to a minimum of 95% of maximum density as determined by ASTM D-1557.

6. FILL MATERIAL

Materials for the fill shall consist of material selected or approved by the Soils Engineer. The materials used shall be free of vegetable matter, frozen material and other deleterious substance and shall not contain rocks or lumps which have a diameter of more than six (6) inches and shall have a liquid limit not greater then thirty-five (35) and a plasticity index not greater than twelve (12). It is anticipated that borrow from the site will be satisfactory.

7. DEPTH AND MIXING OF FILL LAYERS

The selected fill material shall be placed in layers which, when compacted shall not exceed six (6) inches. Each layer shall be spread evenly and shall be thoroughly mixed during the spreading to insure uniformity of material in each layer.

8. ROCK

When the fill material includes rock, no large rocks (six (6) inches maximum) shall be allowed to nest, and all voids must be carefully filled with small stones or earth, properly compacted. No large clods (maximum size six (6) inches) will be permitted closer than twelve (12) inches below the finished grade.

9. MOISTURE CONTENT

The fill material shall be compacted at the optimum moisture content (±2%) specified for soils. Sufficient laboratory moisture density relationship tests will be made to determine the optimum moisture content for the various soils encountered in the borrow area. The Contractor may be required to add the necessary moisture to the fill material in the borrow area if, in the opinion of the Soils Engineer, it is not possible to obtain uniform moisture content by adding water to the fill surface.

10. AMOUNT OF COMPACTION

After each layer has been placed, mixed and spread evenly, it shall be thoroughly compacted to not less than 95% of maximum density as determined by ASTM D-1557.

11. COMPACTION OF FILL LAYERS

Compaction shall be by sheepsfoot rollers, segmented - steel -wheeled rollers, multiple - wheel pneumatic tired rollers, or other types of suitable compaction equipment. Compaction equipment shall be of such design that it will be able to compact the fill to the specified density. compaction shall be accomplished while the fill material is at the specified moisture content. Compaction of each layer shall be continuous over its entire area and the compaction equipment shall make sufficient trips to insure that the required density has been obtained.

12. UTILITY PLACEMENT

Trenches for utility lines shall be a minimum of sixteen (16) inches wide. Backfill for utility trenches may not be flooded or jetted. Backfill shall be placed and compacted as specified for structural backfill. Particular care shall be taken to compact the backfill below the "springline" of pipes.

13. COMPACTION OF SLOPES

Fill slopes shall be compacted by means of sheepsfoot or vibratory rollers or other suitable equipment. Compacting operations shall be continued until the slopes are stable, but not too dense for planting and until there is not appreciable amount of loose soil on the slopes. Compacting of the slopes may be done progressively in increments of three (3) to five (5) feet in fill height, or after the fill is brought to its total height if approved by the Soils Engineer.

14. DENSITY TESTS

Field density tests shall be made by the Soils Engineer on each layer of fill. Sufficient tests will be made to determine the adequacy of the fill. The frequency of testing will be determined by the Soils Engineer in the field depending on the conditions encountered. Density tests shall be performed by ASTM Method D-1556 with four (4) or six (6) inch sand cone, ASTM Method D-2167 (water balloon) or approved Nuclear Density Devices and Methods.

15. FINISHED SLOPES AND BUILDING PADS

The fill operation shall be continued in six (6) inch compacted layers as specified above, until the fill has been brought to the finished slopes and elevations shown on the accepted plans. Slopes steeper than three (3) horizontal to one (1) vertical should be protected from erosion.

16. SUPERVISION

Supervision by the Soils Engineer shall be continuous during the fill and compacting operations so that he can certify that the fill was made in accordance with accepted specifications.

17. SEASONAL LIMITS

No fill material shall be placed upon frozen subgrade nor placed, spread, or rolled while it is frozen or thawing or during unfavorable weather conditions. When the work is interrupted by heavy rain, snow, or frost penetration, fill operations shall not be resumed until the previously placed fill is as specified.

18. NOTICE REGARDING START OF GRADING

Notification shall be submitted to the Owner, the Soils Engineer, and FHA advising them of the start of grading operations at least three (3) days in advance of the starting date, and of any resumption dates when grading operations have been stopped for any reason other than adverse weather conditions.

19. REPORT OF FIELD DENSITY TESTS

Density tests made by the Soils Engineer as specified in Density Tests above shall be submitted to the Owner and the Federal Housing Administration.

20. CERTIFICATION REGARDING COMPLETED FILL

The Soils Engineer shall certify that the site was filled with accepted material in accordance with the accepted specifications and give a professional opinion regarding shrinkage or settlement of the fill and the safe load bearing capacity of the fill.

21. CERTIFICATION REGARDING COMPLETED GRADE ELEVATIONS

A Registered Civil Engineer or Land Surveyor shall certify that the general grading has been completed and the resulting grade elevations are in substantial conformity (grade variations not exceeding 0.5 foot) with the previously accepted detailed development plan.

22. STREET FINE GRADING AND COMPACTION PRIOR TO PAVING

Prior to the paving operation of the indicated project, and after all underground utilities within the street right-of-way have been installed, the earthwork Contractor, or pavement Contractor, shall scarify, regrade, and recompact the street subgrade to its final fine-grading elevations and specified density.

AS BUILT INFORMATION

CONTRACTOR — DATE
WORK STAKED BY — DATE
INSPECTORS ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1633	GREINER	6-84

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.

Aerial Photography — 8-7-86
Tom Mann and Assoc. — Elevation = 5765.23

ENGINEER'S SEAL

1-26-87

PROJECT NO. 0690600

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY — DATE 1-87
DRAWN BY J. Wood — DATE 1-87
CHECKED BY — DATE 1-87

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 2 3 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

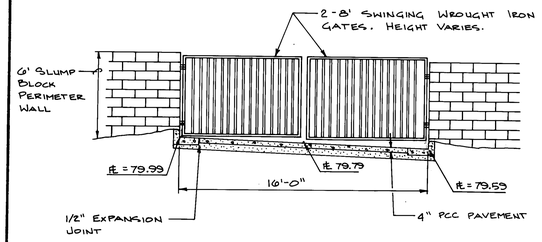
TITLE: THE CHAMPIONS AT TANOAN

GRADING PLAN DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	[illegible]	2/17/87	Liquid Waste	[illegible]	2-13-87
A.C.E. Design	" "	" "	Traffic	[illegible]	2/13/87
A.C.E.-Hydrology	C.A.M.	2-20-87	Water	[illegible]	2-13-87

DRAWING NO. 3096 — MAP NO. E-21 — SHEET 23 OF 28

BRUNING 44.132

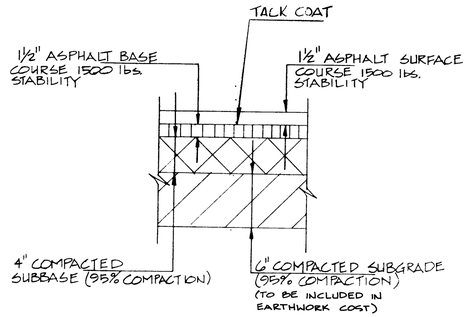


NOTE:

1. GATE AS SHOWN IS ONLY SCHEMATIC. THE ACTUAL GATE DETAIL TO BE PROVIDED BY OTHERS.
2. GATE IS TO BE LOCKED WITH A LIGHT DUTY LOCK OR CHAIN IN ORDER FOR THE FIREMAN TO BREAK DOWN.

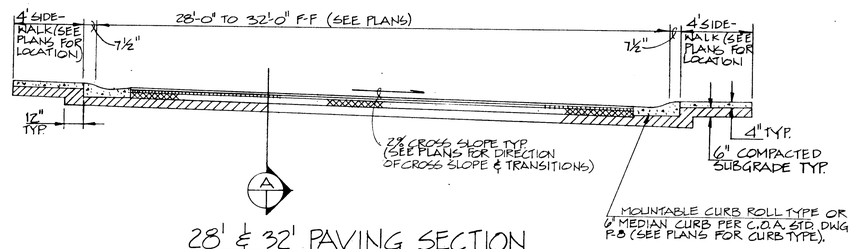
SECTION B-B

N.T.S.



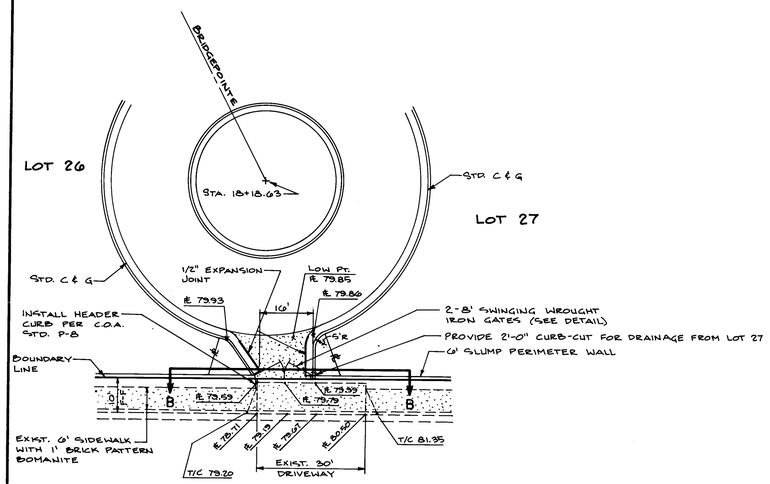
SECTION A

SCALE: 1½"=1'-0"



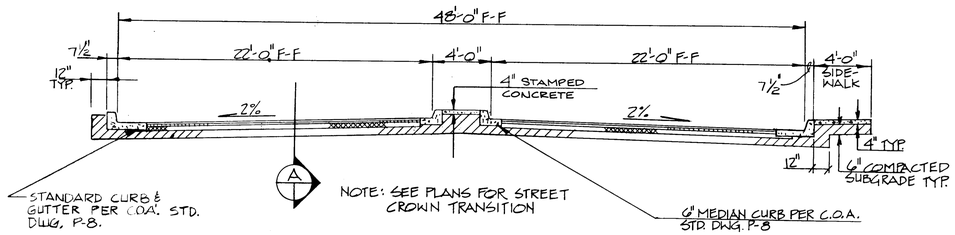
28' & 32' PAVING SECTION

SCALE: 1"=4'-0"



EMERGENCY ENTRANCE AT BRIDGEPOINTE

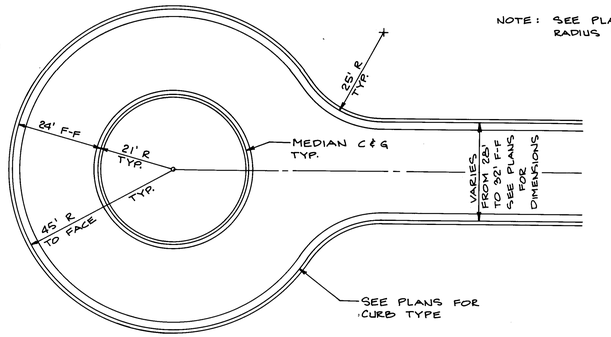
SCALE: 1"=20'



48' PAVING SECTION

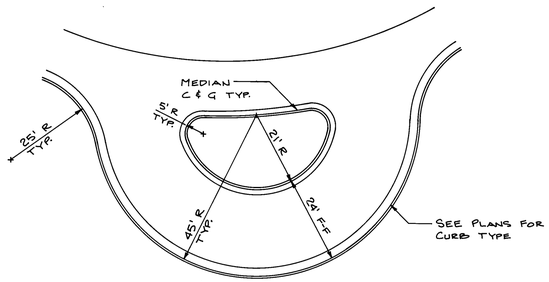
SCALE: 1"=5'-0"

NOTE: SEE PLANS FOR CENTER RADIUS LOCATION



TYPICAL CUL-DE-SAC DETAIL

SCALE: 1"=20'



TYPICAL EYEBROW DETAIL

SCALE: 1"=20'

BRUNING 44 132

AS BUILT INFORMATION

CONTRACTOR		DATE
WORK STAKED BY		DATE
INSPECTORS ACCEPTANCE BY		DATE
FIELD DRAWINGS CORRECTED BY		DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.
Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

1-28-87

PROJECT NO 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN

DESIGNED BY — DATE 1-87
DRAWN BY L. Wood — DATE 1-87
CHECKED BY RJT — DATE 1-87

1	2	3	4	5	6	7	8	9	10	11	12
2	6	3	0	9	6	2	4	8	7		

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

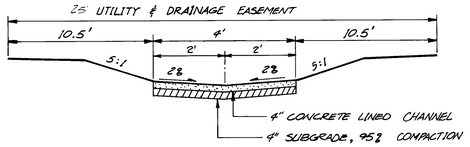
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN

PAVING DETAILS

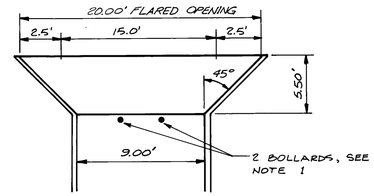
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	[illegible]	2/10/87	Liquid Waste	[illegible]	2-17-87
A.C.E. Design	" "	"	Traffic	NADWH	2/13/87
A.C.E.-Hydrology	CAM	2-20-87	Water	[illegible]	2-17-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	24	28



PARK SECTION DETAIL BETWEEN LOTS 87, 128 & 129

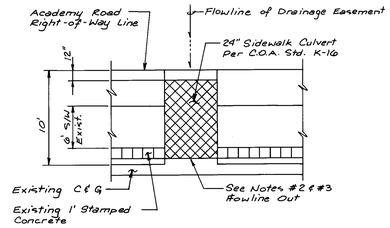
N.T.S.



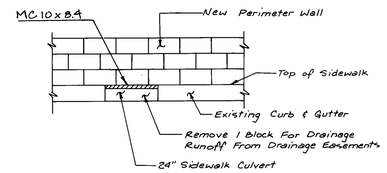
NOTES:
1. BOLLARDS SHALL BE PER CITY STANDARD DRAWING K-22. (USE STATIONARY TYPE BOLLARDS).
2. CHANNEL OUTLET DETAIL IS FOR CHANNEL LOCATED WEST OF LOT 107. SEE DRAINAGE CHANNEL PLAN & PROFILE SHEET FOR DESIGN.

CHANNEL OUTLET DETAIL

N.T.S.

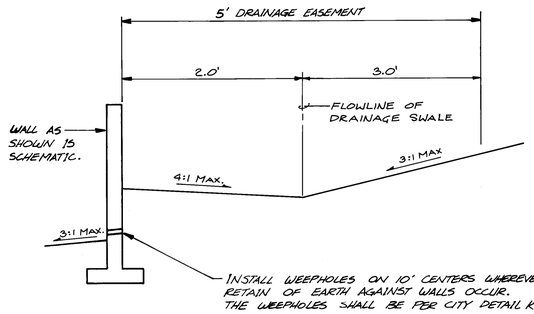


NOTES:
1. This Detail Shall Apply At Lot 47 And Lot 33.
2. The FE Out At Lot 47 = 02.50
3. The FE Out At Lot 33 = 91.00



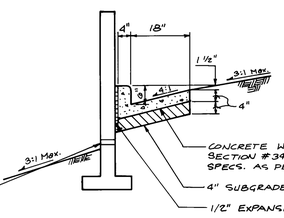
DRAINAGE OPENING AT PERIMETER WALL LOCATED ON ACADEMY RD. DETAIL

N.T.S.



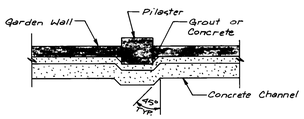
TYPICAL BACKYARD DRAINAGE EASEMENT

N.T.S.



BACKYARD CONCRETE DRAINAGE CHANNEL

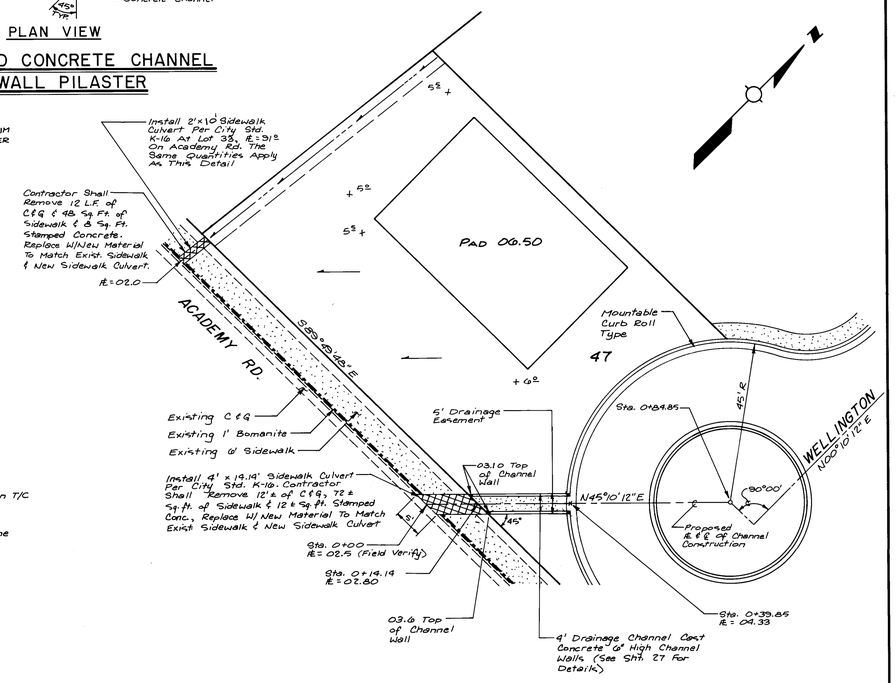
N.T.S.

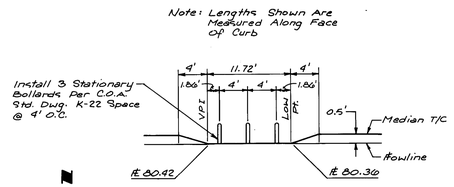


PLAN VIEW

BACKYARD CONCRETE CHANNEL AT WALL PILASTER

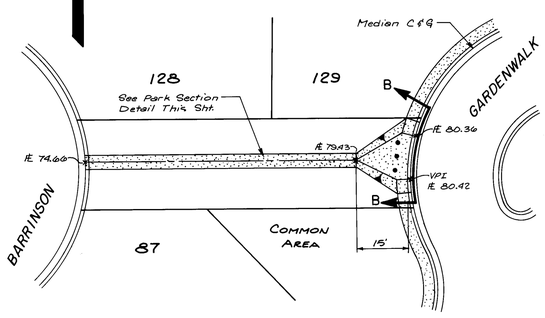
N.T.S.





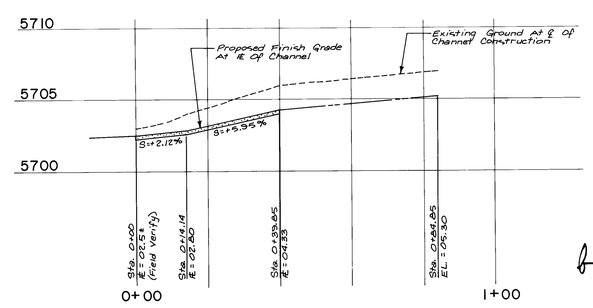
SECTION B-B

SCALE: 1" = 1'-0"



PARK SECTION CHANNEL

SCALE: 1" = 20'



4' DRAINAGE CHANNEL AT LOT 47

HORIZ. 1" = 20' VERT. 1" = 5'

AS BUILT INFORMATION

CONTRACTOR
WORK STAKED BY DATE
WORK CHECKED BY DATE
ACCEPTANCE BY DATE
FIELD VERIFICATION BY DATE
DRAWINGS CORRECTED BY DATE

MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS

A standard ACS brass tablet stamped "13-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point
Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-86
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

1-26-87

PROJECT NO. 0690600

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY RCT DATE 1-87
DRAWN BY J. Wood DATE 1-87
CHECKED BY RCT DATE 1-87

2 6 3 0 9 6 2 5 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

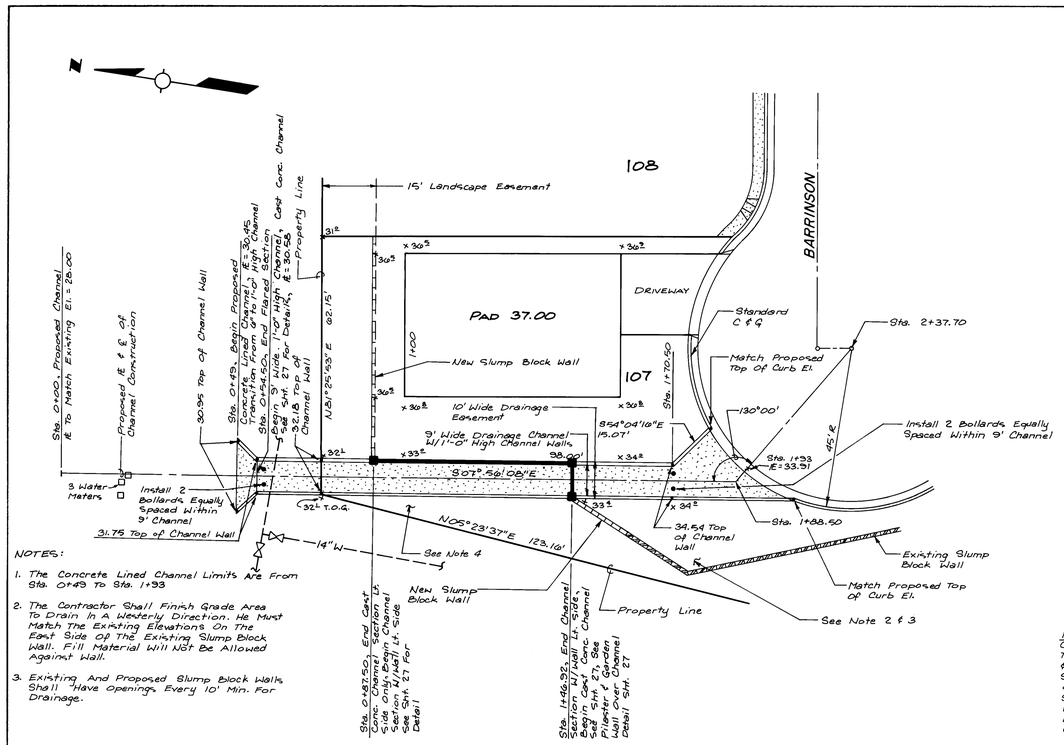
TITLE: THE CHAMPIONS AT TANOAN

DRAINAGE CHANNEL DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A.C.E. Design			Traffic	NADWH	2/13/87
A.C.E.-Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO. 3096 MAP NO. E-21 SHEET 25 OF 28

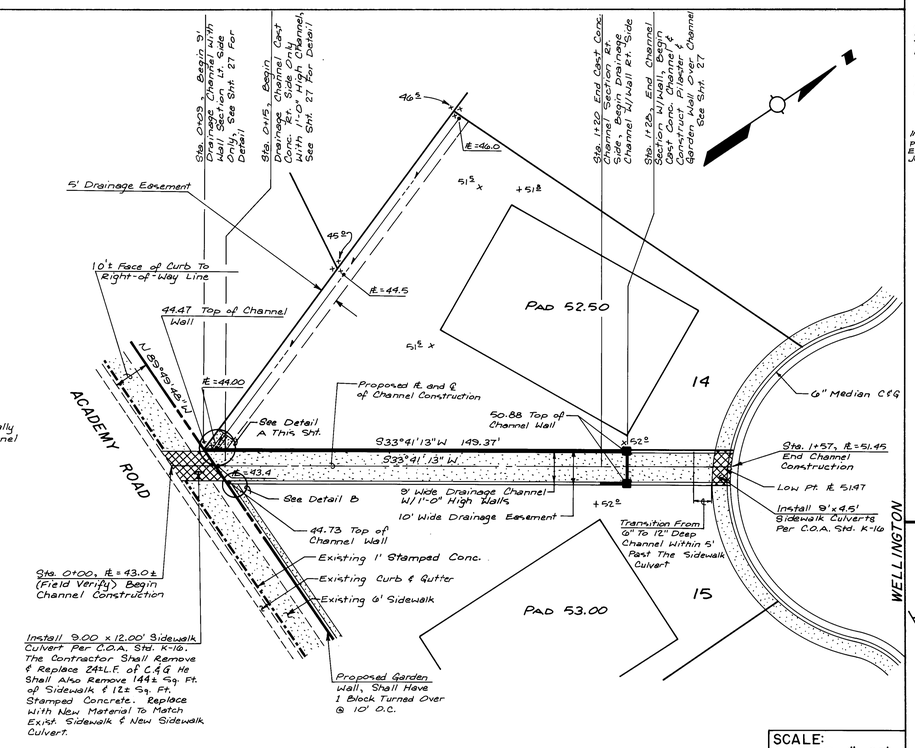
BRUNING 44 132



NOTES:

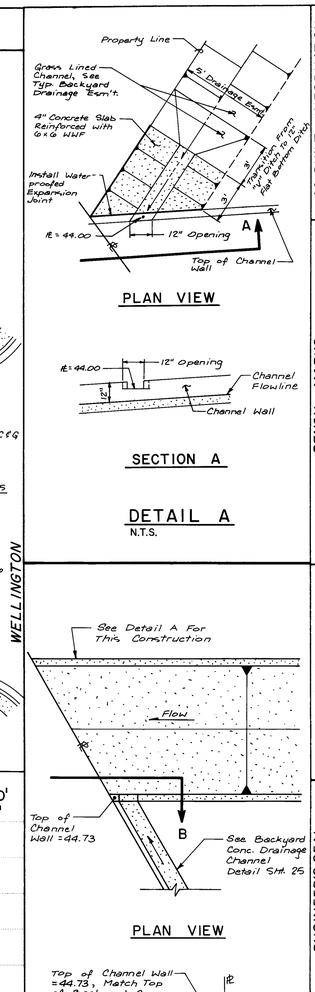
1. The Concrete Lined Channel Limits Are From Sta. 0+49 To Sta. 1+93
2. The Contractor Shall Finish Grade Area To Drain In A Westerly Direction. He Must Match The Existing Elevations On The East Side Of The Existing Slump Block Wall. Fill Material Will NOT Be Allowed Against Wall.
3. Existing And Proposed Slump Block Walls Shall "Have Openings Every 10' Min. For Drainage.

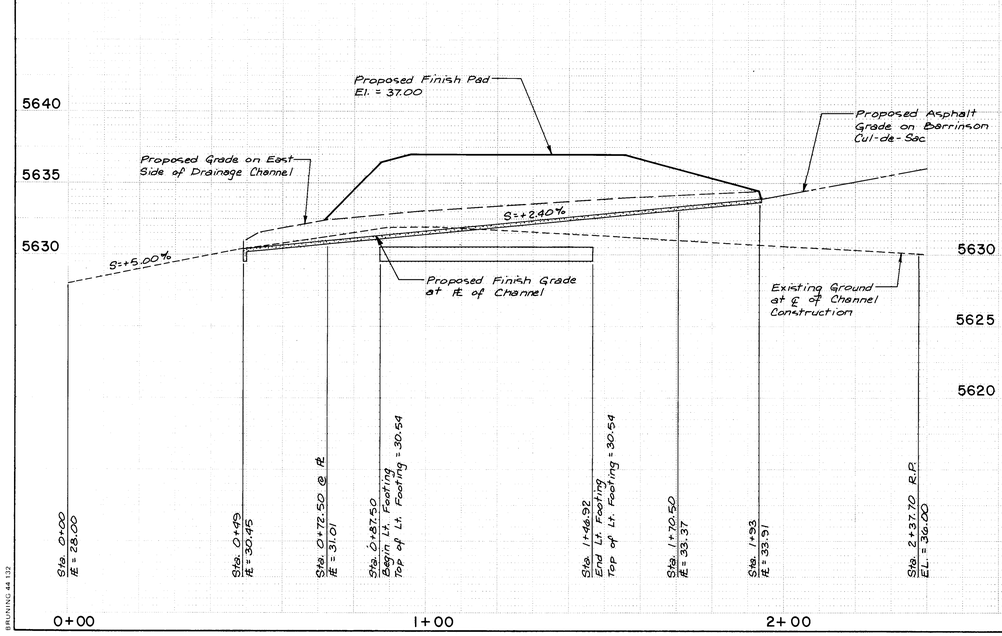
9' DRAINAGE CHANNEL AT LOT 107

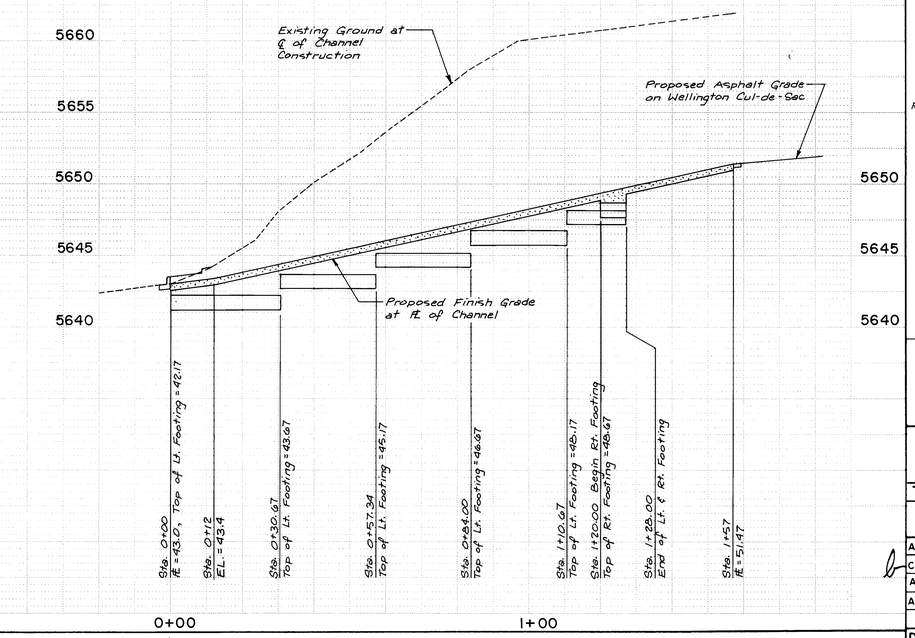


9' DRAINAGE CHANNEL BETWEEN LOTS 14 & 15

SCALE:
HORIZ. 1" = 20'
VERT. 1" = 5'







AS BUILT INFORMATION

CONTRACTOR J.C. HALE
WORK STAKED BY EHEA DATE 8-7
INSPECTOR
WORK STAKED BY RBR DATE 7-87
FIELD INSPECTOR
FIELD VERIFICATION BY EHEA DATE 8-7
DRAWINGS CORRECTED BY EHEA DATE 8-7
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

1-26-87

PROJECT NO 0690600

NO.	DATE	REMARKS	BY

REVISIONS

		DATE
DESIGN		1-87
DESIGNED BY	RT	
DRAWN BY	J. Wood	DATE 1-87
CHECKED BY	RT	DATE 1-87

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

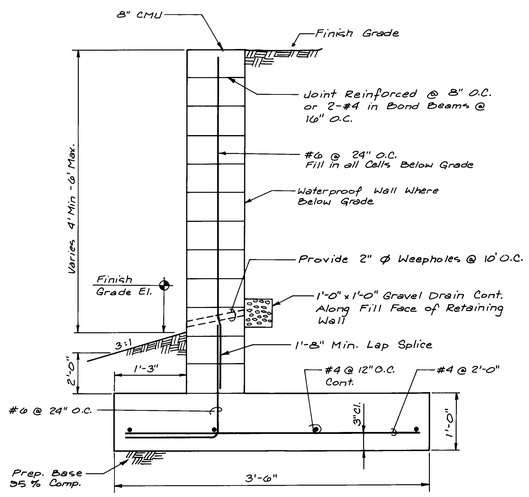
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN

DRAINAGE CHANNEL PLAN & PROFILE

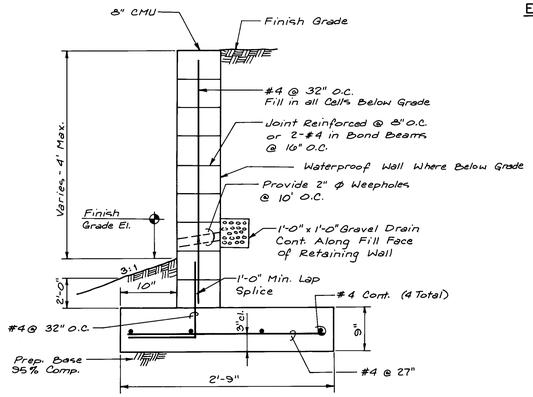
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/10/87	Liquid Waste		2-13-87
A.C.E.-Design	" "	"	Traffic		
A.C.E.-Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	26	28



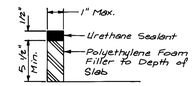
CMU RETAINING WALL (4'-6' MAX. HT.)

N.T.S.



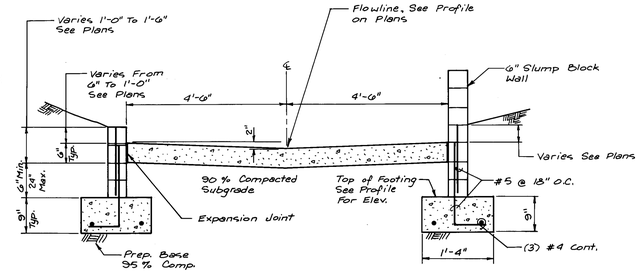
CMU RETAINING WALL (4' MAX. HT.)

N.T.S.



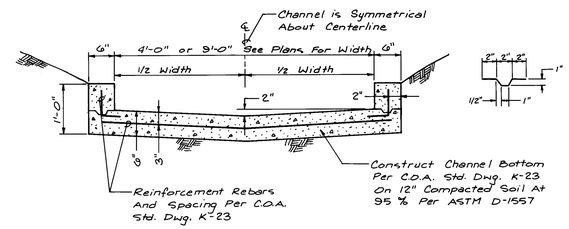
EXPANSION JOINT DETAIL

N.T.S.



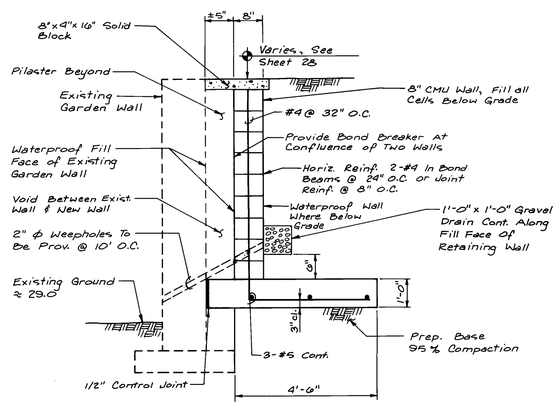
9' DRAINAGE CHANNEL WITH WALL

SCALE: 1/2" = 1'-0"



DRAINAGE CHANNEL CAST CONCRETE

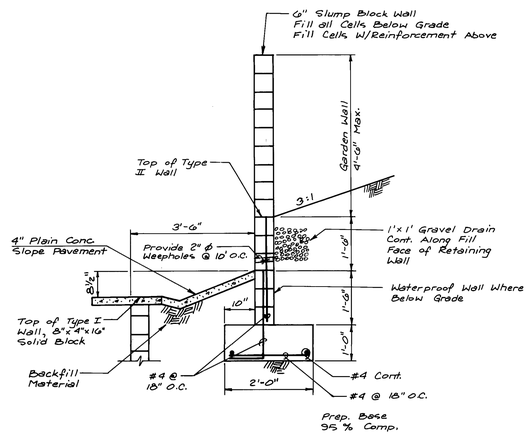
N.T.S.



Note: Retaining Wall Is Intended To Operate Independently Of The Existing Garden Wall After Backfill Is Completed. Contractor Is Responsible For Any Bracing Of Garden Wall Required During Construction. Backfill At Wall To Be Compacted Using Hand Operated Mechanical Tampers With Max. 12" Lifts.

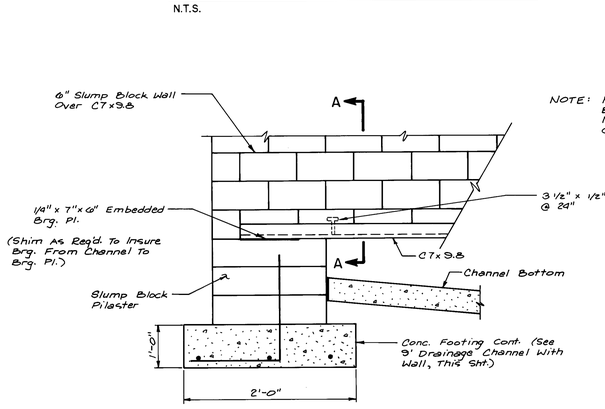
TYPE I RETAINING WALL AT EXISTING GARDEN WALL

N.T.S.



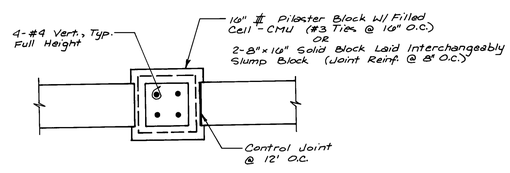
TYPE II RETAINING WALL

SCALE: 1/2" = 1'-0"



PILASTER & GARDEN WALL OVER CHANNEL

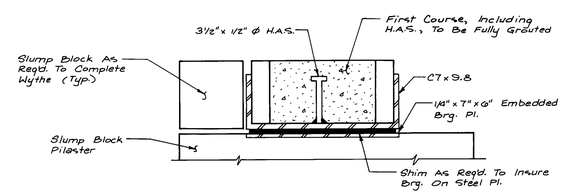
N.T.S.



All Walls Are To Have Pilasters Placed @ 12' O.C. Max. These Are Intended To Match Appearance Of Other Walls Within Tanoan Communities And To Provide Control Joints.

PILASTER DETAIL

N.T.S.



SECTION A-A

N.T.S.

GENERAL NOTES

1. MATERIAL SPECIFICATIONS

   Masonry Units: ASTM C-90
   Mortar: Type S, ASTM C-270
   Grout: f'g = 2000 psi @ 28 days
   Slump = 9" ± ASTM C-476
   Concrete: f'c = 3000 psi @ 28 days
   Minimum 5-1/2 sacks of cement per cubic yard
   Bar Reinforcing: ASTM A-615, Grade 60
   Joint Reinforcing: ASTM A-82

2. DESIGN CRITERIA

   Horizontal Earth Pressure: 30 pcf
   Soil Bearing Pressure: 1000 psf
   Wind Load: 15 psf

3. All concrete and grout shall be vibrated

4. Lap bar reinforcing minimum 1'-4" for #5 bar, 1'-8" for #6 bar

5. Lap joint reinforcing minimum 9"

6. All footers shall be placed on 6" min. 95% compacted base per specifications on sheet 23 of 28.

7. Requirements for construction masonry and placing concrete during cold weather shall be enforced

8. All reinforcing shall have the following concrete cover:
   Bottom and sides - 3"
   Top - 2"

RETAINING WALLS ARE NOT DESIGNED FOR SATURATED EARTH CONDITIONS - GRADE FOR POSITIVE DRAINAGE

NOTE TO CONTRACTOR: All exposed white slump block wall are intended to have the same appearance as all other exposed white slump block wall in Tanoan Communities.

1 2- 3 4 5 6 7 8 9 10 11 12
26 309 62787

Greiner Engineering
2601 Wyoming NE
Albuquerque, New Mexico 87112
(505) 292-1936

AS BUILT INFORMATION

CONTRACTOR
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

BENCH MARKS

A standard ACS brass tablet stamped "3-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point.

RECORDED BY
NO.

MICRO-FILM INFORMATION

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

ENGINEER'S SEAL

1-29-87

PROJECT NO. 0890600

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN
DESIGNED BY R.A. Carter — DATE 1-87
DRAWN BY J. Wood — DATE 1-87
CHECKED BY L.G.I — DATE 1-87

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

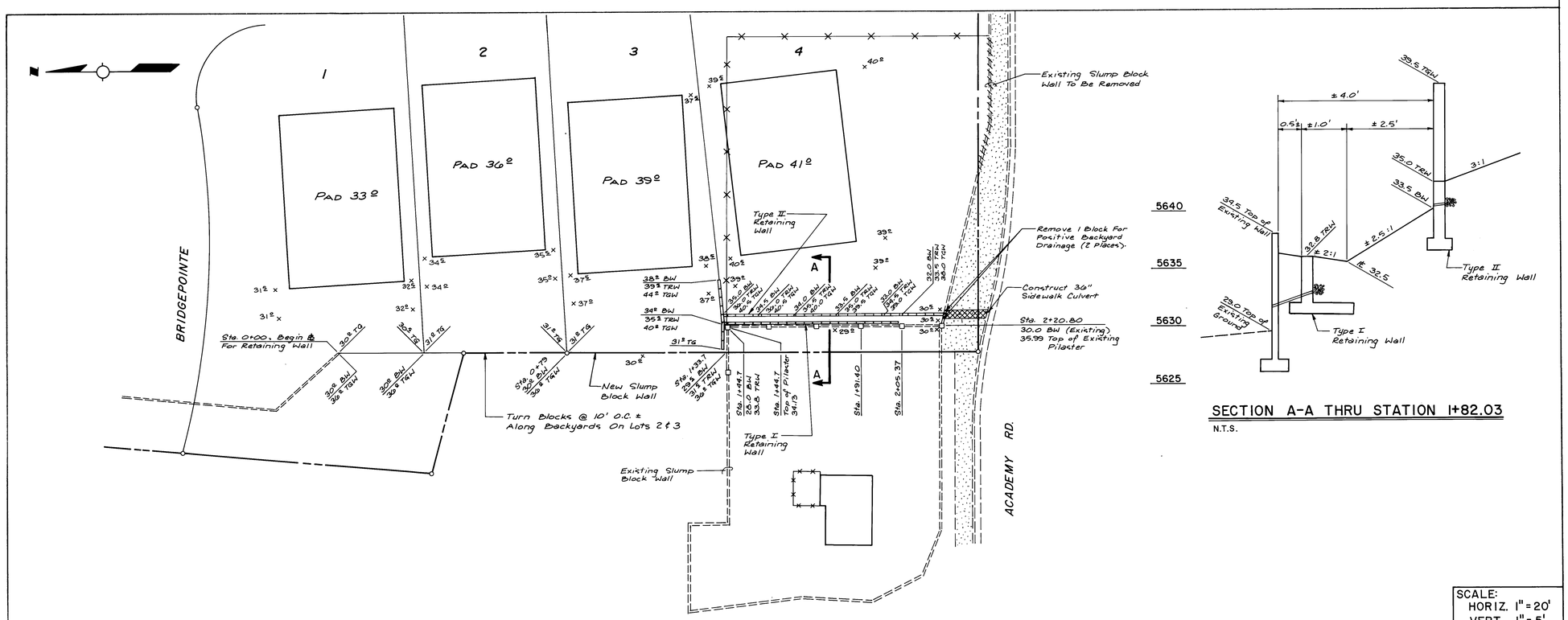
TITLE: THE CHAMPIONS AT TANOAN

RETAINING WALL DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	[signature]	2/12/87	Liquid Waste	[signature]	2-13-87
A.C.E. Design	" "	"	Traffic	NADWH	2/13/87
A.C.E.-Hydrology	CAM	2-20-87	Water	[signature]	2-13-87

DRAWING NO. 3096 — MAP NO. E-21 — SHEET 27 OF 28

BRUNING 44-132



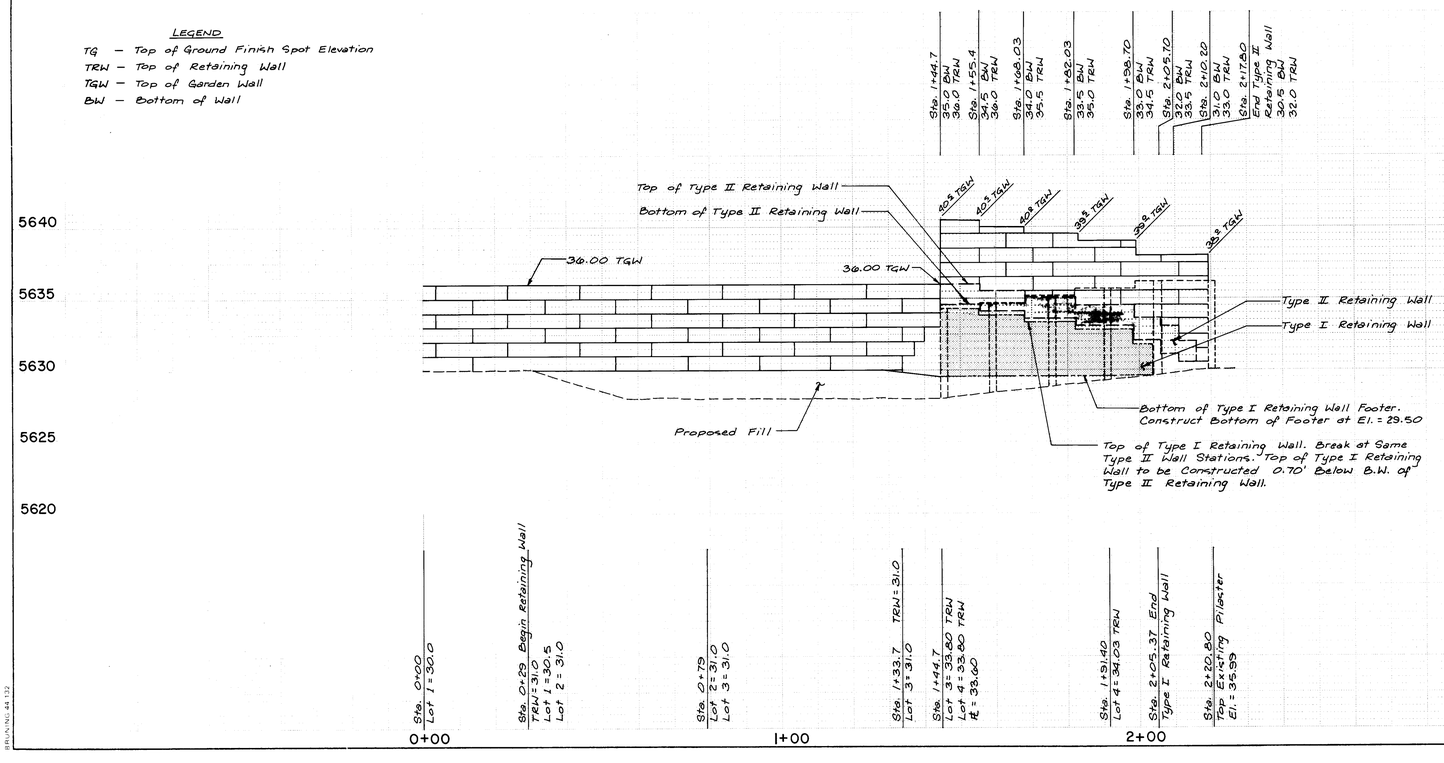
SECTION A-A THRU STATION 1+82.03

N.T.S.

SCALE:
HORIZ. 1" = 20'
VERT. 1" = 5'

LEGEND

TG – Top of Ground Finish Spot Elevation
TRW – Top of Retaining Wall
TGW – Top of Garden Wall
BW – Bottom of Wall



BENCH MARKS

A standard ACE brass tablet stamped "13-E21-A" set in a concrete post 0.3 ft. above the ground. To reach the station from the intersection of I-25 and San Mateo NE, go south on San Mateo 0.2 miles to Academy Rd. Turn left, go east and then northeast. Miles to Eubank NE. The station is about 0.4 miles northeast of this point. Elevation = 5765.23

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1748	GREINER	1986
1653	GREINER	6-84
	Aerial Photography	
	Tom Mann and Assoc.	8-7-86

AS BUILT INFORMATION

		DATE
CONTRACTOR		
WORK STAKED BY		
INSPECTED BY		
ACCEPTANCE BY		DATE
FIELD VERIFICATION BY		DATE
DRAWINGS CORRECTED BY		DATE

MICRO-FILM INFORMATION

RECORDED BY DATE

NO

ENGINEER'S SEAL

1-26-87

PROJECT NO. 0690600

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY RM DATE 1-87
DRAWN BY J. Wood DATE 1-87
CHECKED BY RM DATE 1-87

1 2 3 4 5 6 7 8 9 10 11 12
2 6 3 0 9 6 2 8 8 7

Greiner Engineering
2601 Wyoming NE
Albuquerque New Mexico 87112
(505) 292-1936

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: THE CHAMPIONS AT TANOAN
TYPE I & TYPE II RETAINING WALL
PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer		2/13/87	Liquid Waste		2-13-87
A C E - Design	" "	"	Traffic	NADWH	2/13/87
A C E - Hydrology	CAM	2-20-87	Water		2-13-87

DRAWING NO.	MAP NO.	SHEET	OF
3096	E-21	28	28