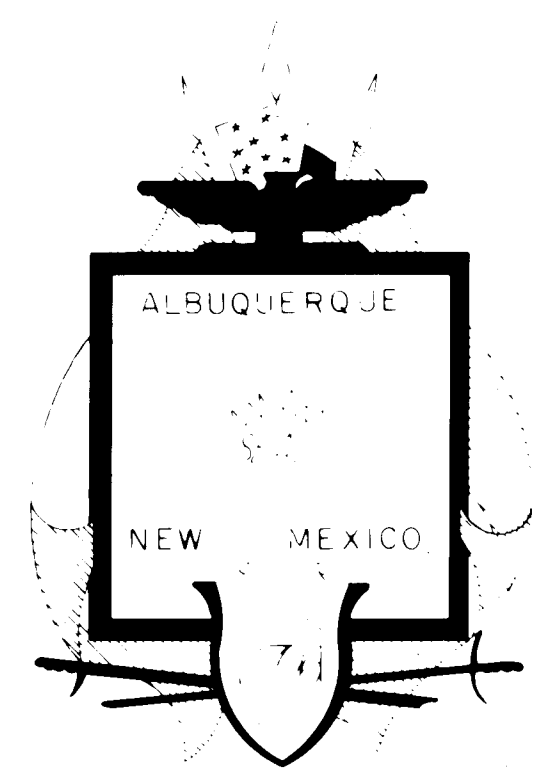




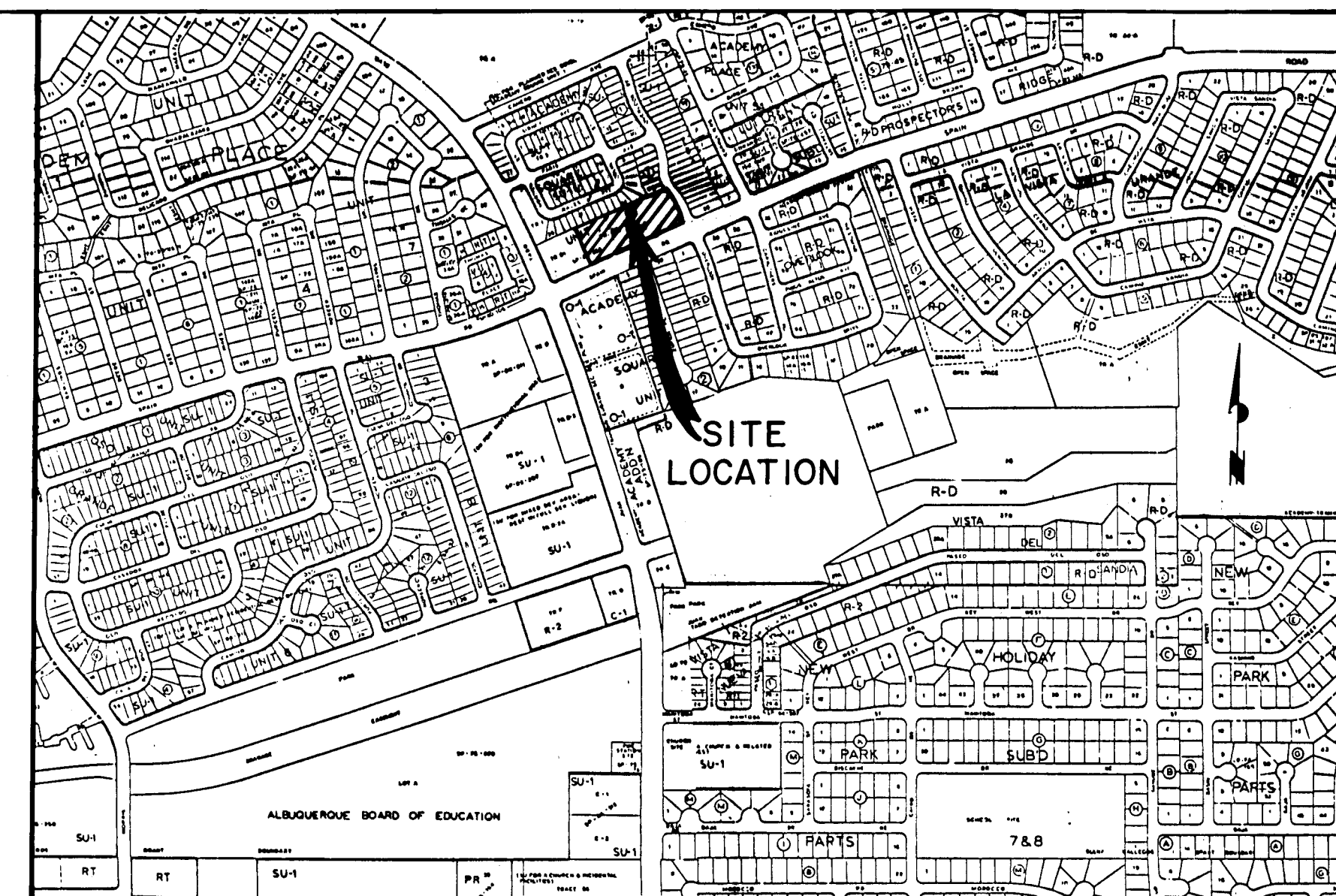
CITY OF ALBUQUERQUE, NEW MEXICO

VENTURA PARK SUBDIVISION

(PHASE I)

INDEX

SHEET NO.	DESCRIPTION
1.	TITLE SHEET
2.	PLAT
3.	DRAINAGE & GRADING PLAN
4.	PAVING , WATER & SEWER
5.	PLAN & PROFILE
6.	TURN BAY MODIFICATION



VICINITY
SCALE: 1" = 800'

MAP
ZONE = F-21-Z

GENERAL NOTES

- All work detailed on these plans to be performed under contract shall, except otherwise stated or provided for hereon, be constructed in accordance with the "City Of Albuquerque Interim Standard Specifications For Public Works Construction 85."

Two working days prior to any excavation, Contractor must contact Line Locating Service, 765-1234, for the location of existing utilities.

Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all existing utilities and potential obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.

The Contractor shall maintain access to adjacent properties at all times.

All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules and regulations concerning construction safety and health.

The Contractor must submit a construction signing and barricading plan to Traffic Engineering to receive a barricading permit prior to construction.

All dimensions and radii of curb and curb returns are shown to face of curb unless otherwise noted.
- Where removal of existing curb and gutter, sidewalk or pavement is required the Contractor shall sawcut and/or remove to the nearest joint. Curb and gutter shown as existing and not to be removed under this contract which is damaged or displaced by the Contractor shall be removed and replaced by the Contractor at the Contractor's expense.

Restriping of roadway shall be the responsibility of the City of Albuquerque and shall not be included in this contract.

Backfill compaction shall be according to specified street use.

Tack coat requirements shall be determined by the City Engineer.

Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.

If curb is depressed for a driveway or a handicap ramp, the driveway or ramp shall be constructed prior to acceptance of the curb and gutter.

All storm drainage facilities shall be completed prior to final acceptance.

dtm & associates, inc.

Denney-Tibljias-McLean & Associates, Inc.
Consulting Engineers ■ Planners ■ Surveyors
2400 COMANCHE ROAD, NE ■ ALBUQUERQUE, NM 87107
TELEPHONE (505) 884-0696

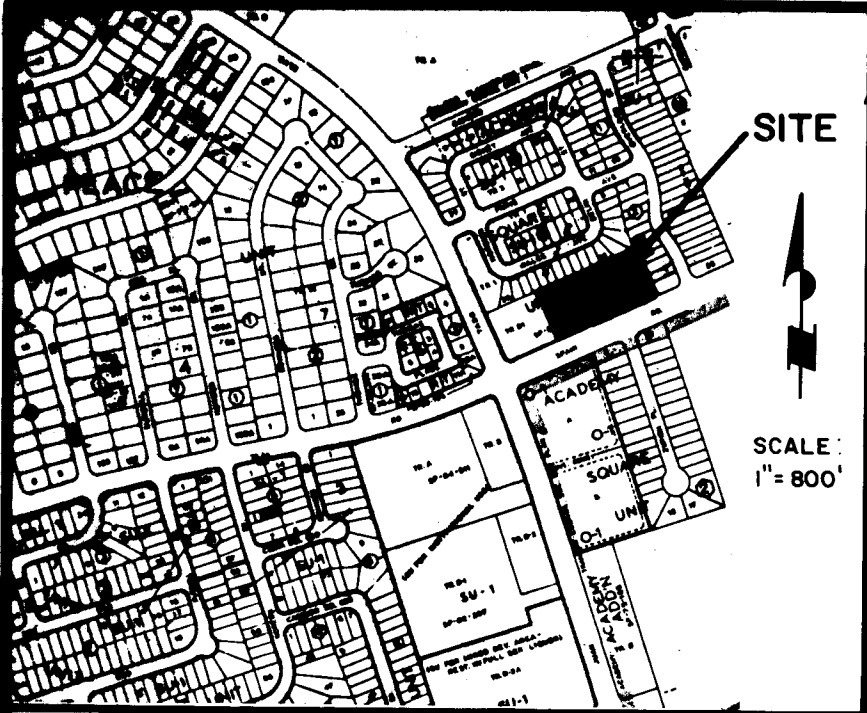
APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER

DATE

NOTE: THIS BLOCK IS FOR APPROVAL OF
PRIVATE INFRASTRUCTURE ONLY.

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Robert B. Smith
DATE 3-17-88

REV. SHEETS				CITY ENGR		DATE		USER DEPT.		DATE		USER DEPT.		DATE	
APPROVAL OF REVISIONS															
				DENNEY-TIBLJAS-McLEAN & ASSOC., INC. CONSULTING ENGINEERS ■ PLANNERS ■ SURVEYORS 2400 COMANCHE RD. N.E., ALBUJ. N.M. 87107 (505) 884-0696								APPROVED FOR CONSTRUCTION <i>Robert B. Smith</i> 7/15/87 C.E.			
				3188								SHEET 1 OF 6			



VICINITY MAP ZONE ATLAS No. F-21

SUBDIVISION DATA

1. DRB No. 87-45
2. Zone Atlas Index No. F-21
3. Gross Subdivision Acreage 1.9672
4. Total No. Of Lots Created 19
5. Total Mileage Of Public Roads Created 0
6. Total Mileage Of Private Roads Created 0.07
7. TALOS Log. No. 03-02-47

JOINT DEDICATION STATEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. Mountain Bell for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to aboveground pedestals and closures.
- C. Jones Interconnect for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable TV service.
- D. City of Albuquerque for the installation, maintenance, and service of underground water and sanitary sewer utilities.

Included is the right of ingress and egress for the construction and maintenance and the right to trim interfering trees and shrubs. Also included is the right to install and maintain service lines.

DISCLOSURE STATEMENT

The purpose of this plat is to subdivide Ventura Park Subdivision, Tract D-2A into Ventura Park Subdivision, Lots 6 thru 24, and Vacate The Existing 24 Access Easement.

NOTES

1. BASIS OF BEARINGS IS THE "REPLAT OF TRACT D, ACADEMY SQUARE - UNIT ONE", FILED SEPTEMBER 23, 1983, VOLUME C22, FOLIO 49. PERIMETER BEARINGS AND DISTANCES ARE THE SAME AS SHOWN ON THAT PLAT.
2. THIS PLAT INCLUDES ALL EASEMENTS OF PLAT OF RECORD AND ALL EASEMENTS SUPPLIED BY THE TITLE SEARCH PERFORMED BY TIGOR TITLE INSURANCE, FEBRUARY, 1987, (60721-B PRO FORM A)
3. NO LOTS ARE PERMITTED ACCESS TO SPAIN ROAD.

FREE CONSENT & DEDICATION

The Subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner and/or proprietor thereof. Said owner and/or proprietor does hereby Grant all easements shown hereon.

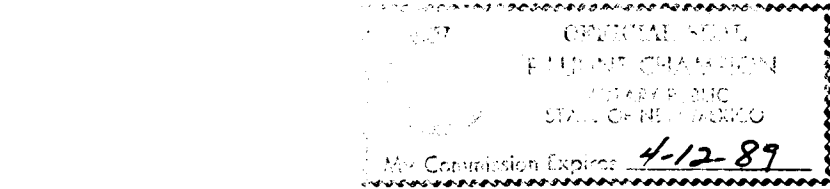
Peggy Boyar, General Partner
Owner: Ventura Park
(A New Mexico Partnership)

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

The foregoing instrument was acknowledged before me this 10th day of February, 1987, by Peggy Boyar, Notary Public

My Commission Expires: 4-12-89



SURVEYOR'S CERTIFICATION

I, Fred Denney, a registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and that it is true and correct to the best of my knowledge and belief.

FRED DENNEY
N.M.P.E.L.S. 1967

APPROVALS

Walter H. Herring
MOUNTAIN BELL TELEPHONE
DATE 2-6-87

Public Service Company of New Mexico
DATE 2-9-87

JONES INTERCONNECT
DATE 2-6-87

GAS COMPANY OF NEW MEXICO
DATE 1-7-87

TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT
DATE 4-7-87

PERKS AND RECREATION DEPARTMENT
DATE 040387

CHIEF CITY SURVEYOR, ENGINEERING DIVISION
DATE

WATER RESOURCES DEPARTMENT
DATE

PROPERTY MANAGEMENT
DATE 4-3-87

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY
DATE

CITY ENGINEER, ENGINEERING DIVISION
DATE

CITY PLANNER
DATE

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

The foregoing instrument was acknowledged before me this 12th day of February, 1987, by Fred Denney, Notary Public

My Commission Expires: 04/04/90

Notary Public

DESCRIPTION

That certain parcel of land situate within projected Sections 33 and 34, Township 11 North, Range 4 East, of the New Mexico Principal Meridian, lying within the Elena Gallegos Land Grant, City of Albuquerque, Bernalillo County, New Mexico; being comprised of all of Tract D-2A as the same is shown and so designated on the plat entitled "Ventura Park Subdivision" filed in the Office of the Bernalillo County Clerk on April 3, 1987, Volume C-33, Folio 76, and being bound on the north by a portion of Block 2 as the same is shown and so designated on two different replats of Tracts B and C, Academy Square Unit One (filed in Volume C22, Folio 981 and Volume C25, Folio 59); on the east by Lots 1 - 5, as the same are shown and so designated on said plat of Ventura Park Subdivision (filed in Volume , Folio); on the south by Spain Road and on the west by Tract D-1, Academy Square (filed September 23, 1983, Volume C22, Folio 49); and being more particularly described as follows; to wit:

BEGINNING at the Northeast Corner of the parcel herein described, whence, for a tie, the ACS monument 77-120-1 bears N 69° 21' 2" W, a distance of 962.42 feet; thence,

S 23° 59' 12" E, 83.74 feet; thence,
N 66° 00' 48" E, 5.09 feet; thence,
S 23° 59' 12" E, 72.00 feet; thence,
S 66° 00' 48" W, 2.33 feet; thence,
S 23° 59' 12" W, 45.00 feet to the Southeast Corner of the parcel herein described; thence,
S 66° 00' 48" W, 427.17 feet to the Southwest Corner of the parcel herein described; thence,
N 23° 59' 12" W, 200.74 feet to the Northwest Corner of the parcel herein described; thence,
N 66° 00' 48" E, 424.41 feet to the point of beginning and containing 1.9672 acres, more or less.

VENTURA PARK SUBDIVISION

UNIT II

BEING A REPLAT OF
VENTURA PARK SUBDIVISION, TRACT D-2A
NOW COMPRISING
LOTS 6 THRU 24

CITY OF
ALBUQUERQUE, NEW MEXICO

FEBRUARY, 1987

Sheet 1 of 2

dtm & associates, inc.

Denney-Tolles-McLean & Associates, Inc.
Consulting Engineers & Planners & Surveyors
2400 COMANDRE ROAD NE ALBUQUERQUE, NM 87107
TELEPHONE (505) 884-0388

DTM Job # 885.12
t.j.m.

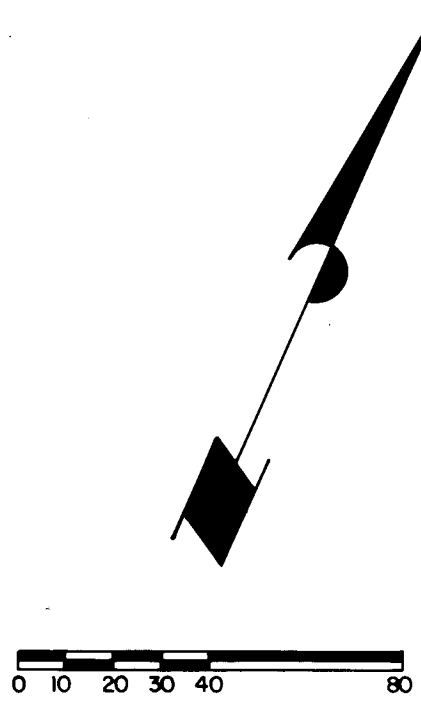
VENTURA PARK SUBDIVISION

UNIT II

BEING A REPLAT OF
VENTURA PARK SUBDIVISION, TRACT D-2A
NOW COMPRISING
LOTS 6 THRU 24

CITY OF
ALBUQUERQUE, NEW MEXICO

FEBRUARY, 1987

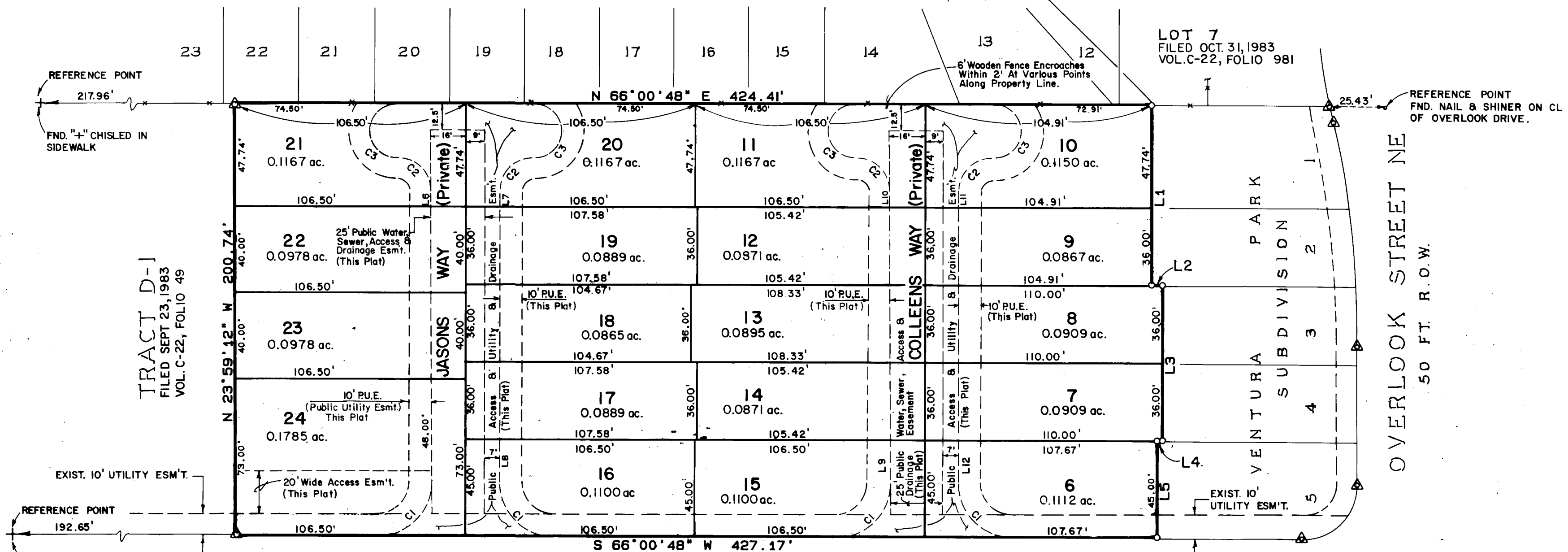


SCALE: 1" = 40'

ACADEMY SQUARE UNIT ONE
(FILED OCT. 10, 1984 VOL. C-25 FOLIO 59)

ACS BRASS CAP "77-120-1"
X = 419,858.62
Y = 1,507,815.04
(CENTRAL ZONE)
Δα = -0°09'16"
GROUND-TO-GRID = 0.99963296
ELEVATION = 5748.58 FT.

TE 1469221.12" W (PLAT) 962.42'
169°00'44" W (GRID)



NOTE:

The public access easements for Jasons Way and Colleen Way are for the beneficial use of the owners of Lot 6 thru Lot 24. The lot owners shall be responsible for maintaining the portion of access easement fronting their individual lots.

NOTE:

1. THERE IS AN EXISTING 24' WIDE ACCESS EASEMENT ON TRACT D-2A AS NOTED ON THE "REPLAT OF TRACT D ACADEMY SQUARE - UNIT ONE", FILED SEPTEMBER 23, 1983, VOLUME C22, FOLIO 49. THE EASEMENT SHALL PROVIDE ACCESS FROM TRACT D-1 TO THE EXISTING MEDIAN OPENINGS IN SPAIN ROAD APPROXIMATELY 260 FEET EASTERLY OF THE SOUTHWEST CORNER OF TRACT D-2. EXACT ALIGNMENT OF THE EASEMENT TO BE DETERMINED BY THE DEVELOPMENT PLAN FOR TRACT D-2.
- (V-87-19) THE EASTERN PORTION OF THE 24' ACCESS EASEMENT IS BEING VACATED IN CONJUNCTION WITH THIS PLAT. THE WESTERN PORTION OF THIS EASEMENT HAS BEEN DEFINED ABOVE AS A 20' WIDE EASEMENT TO TRACT D-1.
2. THE OWNERS OF TRACT D-1 ARE THE BENEFICIAL USERS AND SHALL MAINTAIN THE 20' ACCESS EASEMENT.

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 23°59'12" E	83.74
L2	N 66°00'48" E	5.09
L3	S 23°59'12" E	72.00
L4	S 66°00'48" W	2.33
L5	S 23°59'12" E	45.00
L6	N 23°59'12" W	6.74
L7	S 23°59'12" E	6.74
L8	S 23°59'12" E	20.00
L9	N 23°59'12" W	20.00
L10	N 23°59'12" W	6.74
L11	S 23°59'12" E	6.74
L12	S 23°59'12" E	20.00

CURVE TABLE

CURVE	ARC	DELTA	RADIUS	TAN LENGTH
C1	39.27	90°00'00"	25.00	25.00
C2	25.13	90°00'00"	16.00	16.00
C3	39.27	180°00'00"	12.50	

LEGEND

FOUND No. 5 REBAR W/
CAP MARKED "DTMA PELS
1967"

SHEET 2 OF 6

Sheet 2 of 2

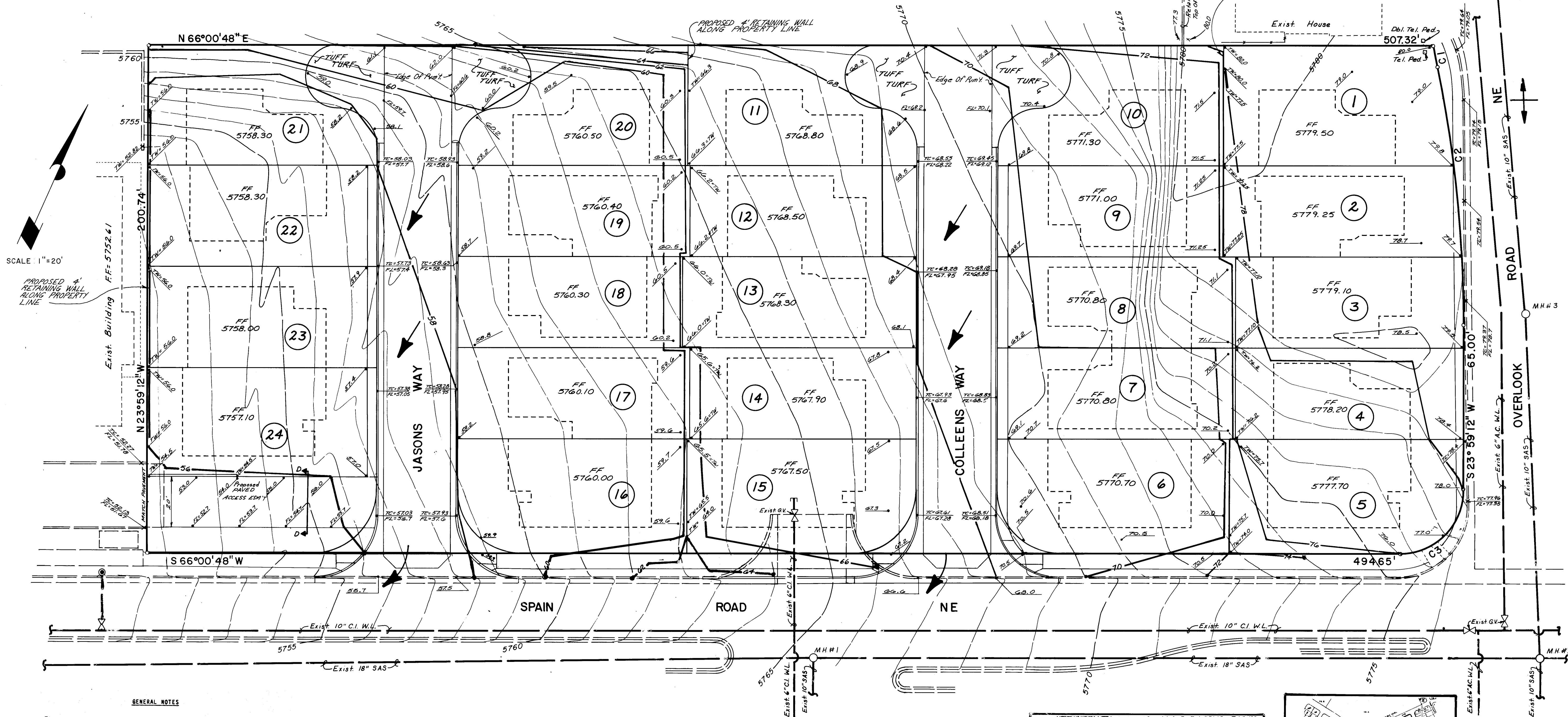
dtm & associates, inc.

DTM Job 885.12
t.j.m.

LEGAL: TRACT D-2, ACADEMY SQUARE

LEGEND

70.5
X 72.90
PROPOSED ELEV.
EXIST. ELEV.
FLOW ARROW
EXIST. CONTOUR
PROPOSED CONTOUR
LOT No.



GENERAL NOTES

The proposed development site consists of approximately 2.30 acres and is located at the southwest corner of Spain Road and Overlook Street N.E.

Presently runoff from the site sheet flows onto Spain Road west to catch basins at the intersection of Spain Road and Rawlins Road.

Proposed conditions are required to comply with the previously approved drainage analysis for the area (F21/D43). The previous drainage analysis allows for a developed discharge rate of 1.2 cfs/acre. This rate corresponds to a total discharge rate of 2.8 cfs for this site.

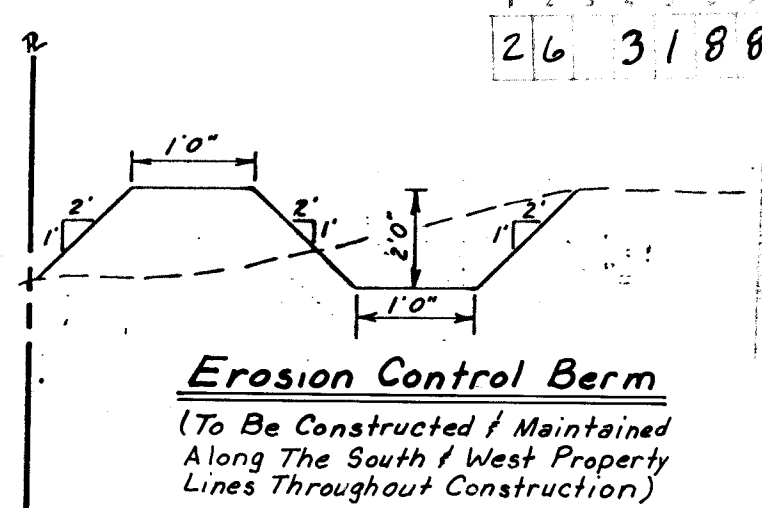
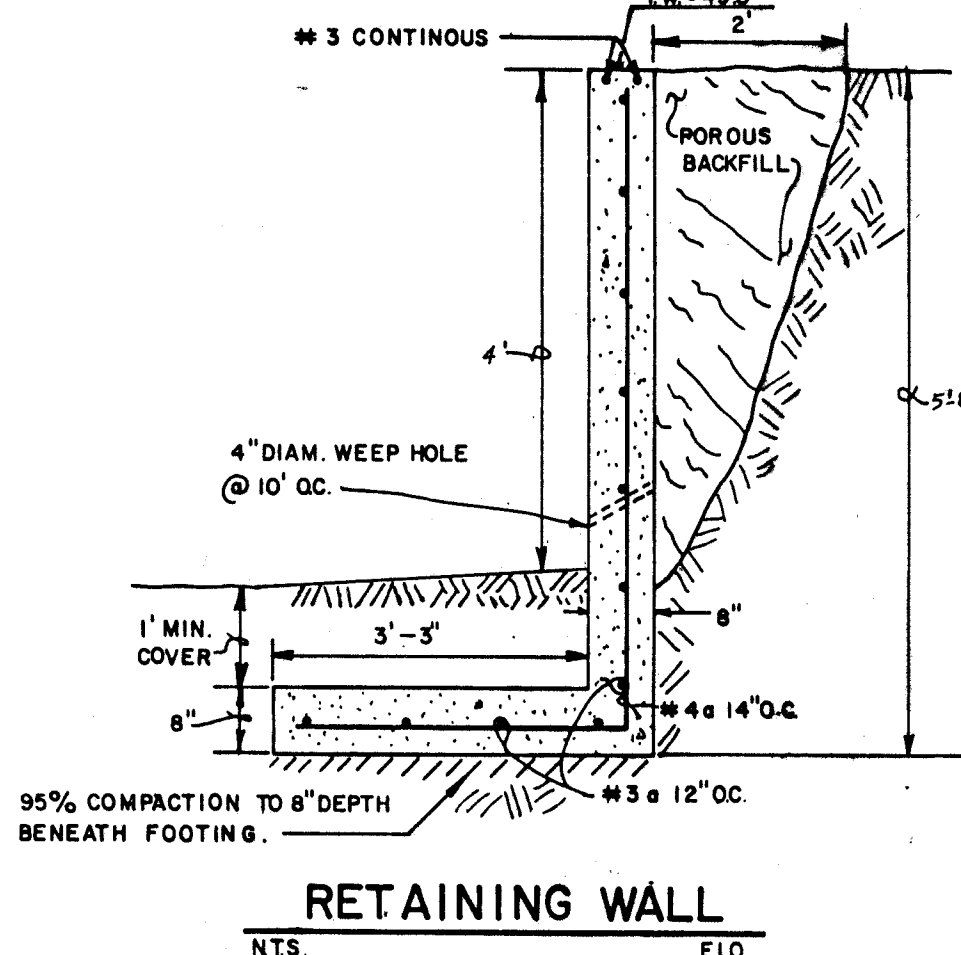
Due to the existing topographic conditions onsite, backyard ponding will be used. This will help minimize the size of the retaining walls that will be required.

Although no credit is normally allowed for backyard ponds, the ponding volume for this project will be credited for the following reasons:

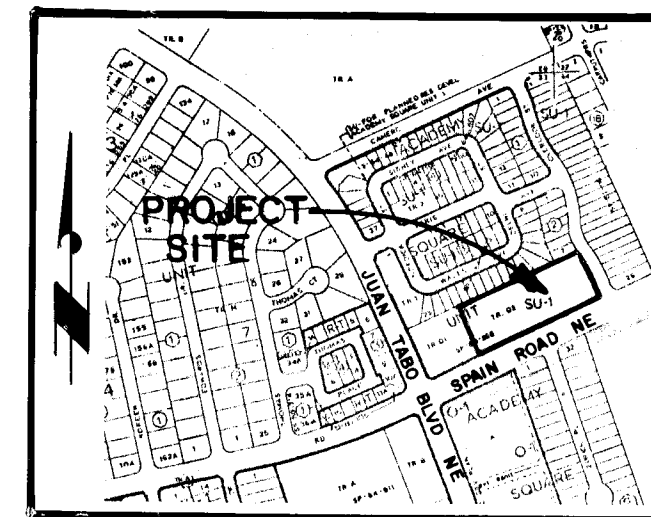
- There is a 2' drop from the finished floor elevation to the back property line.
- There will be a 4' retaining wall along the back property line for all lots. This wall would have to be raised approximately 3' to create positive flow to the fronting streets. It is highly unlikely that this would occur.

By allowing credit for the backyard ponds, the actual drainage area will be 1.34 acres (see detail sheet). This 1.34 acres corresponds to a discharge rate of 3.3 cfs.

The allowable discharge rate is 2.9 cfs for the site and the actual 3.3 cfs, resulting in a 0.4 cfs total difference. For this reason, free discharge is requested.



F.E.M.A. FLOOD PLAIN MAP 1" = 500'



VICINITY MAP 1" = 800'

APPROVED FOR ROUGH GRADING ±1'

C. M. L. -
HYDROLOGY
2-13-87
DATE

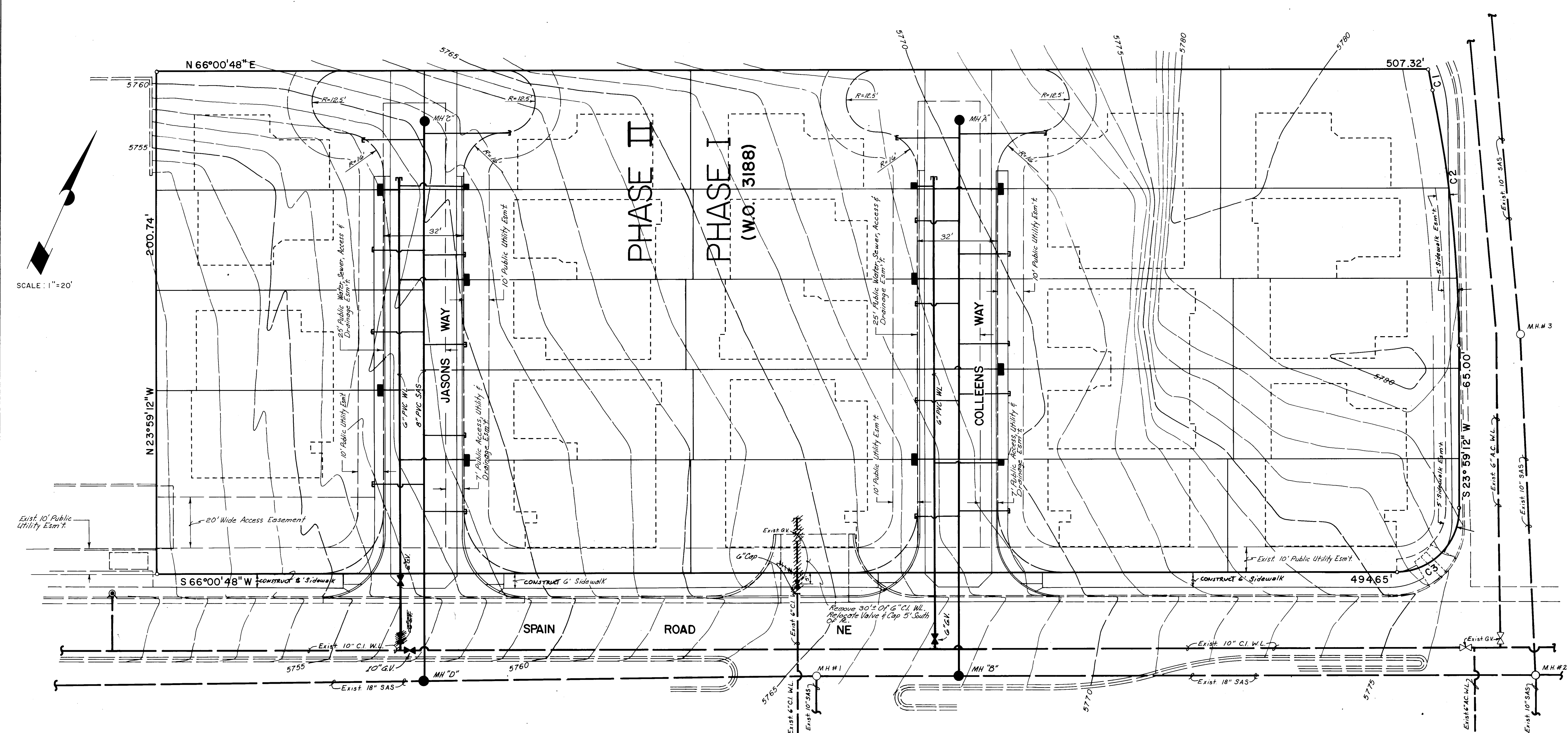
CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
TITLE: VENTURA PARK SUBDIVISION
GRADING AND DRAINAGE PLAN
FOR INFORMATION ONLY

DRAWING NO. 3188
MAP NO. F-21
SHEET 3 OF 6

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	WORK	DATE	BY	NO.	DATE	NO.	DATE
STANDARD	STANDARD	DATE	BY	NO.	DATE	NO.	DATE
FIELD	FIELD	DATE	BY	NO.	DATE	NO.	DATE
ADJUSTMENT	ADJUSTMENT	DATE	BY	NO.	DATE	NO.	DATE
CORRECTION	CORRECTION	DATE	BY	NO.	DATE	NO.	DATE
RECORDED	RECORDED	DATE	BY	NO.	DATE	NO.	DATE

REMARKS		DESIGN	
REVISIONS		DESIGN	
NO.	DATE	BY	DATE
1			
2			
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AF 22480A



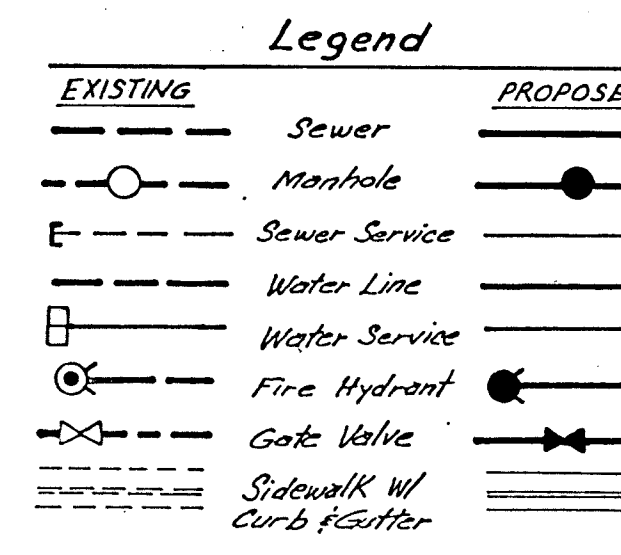
CURVE DATA		
C1 Δ = 2°10'31"	C2 Δ = 12°00'00"	C3 Δ = 90°00'00"
R = 210.00'	R = 495.00'	R = 25.00'
L = 7.97'	L = 103.67'	L = 39.27'
T = 3.99'	T = 52.03'	T = 25.00'
LC = S34°53'57"E, 7.97'		
SAS MANHOLE DATA		
M.H. #1 RIM = 65.63	M.H. #2 RIM = 77.62	
E. INV. = 53.08 (IN)	N. INV. = 65.46 (IN)	
S. INV. = 53.87 (IN)	E. INV. = 64.88 (IN)	
W. INV. = 52.49 (OUT)	S. INV. = 65.54 (IN)	
	W. INV. = 64.72 (OUT)	
M.H. #3 RIM = 79.01		
N. INV. = 66.51 (IN)		
S. INV. = 66.48 (OUT)		

Legend	
EXISTING	PROPOSED
—	Sewer
—○—	Manhole
—	Sewer Service
—	Water Line
—	Water Service
—	Fire Hydrant
—	Gate Valve
—	Sidewalk w/ curb & gutter
—	Phase Line

26 31 88 04 88

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION					
TITLE: VENTURA PARK SUBDIVISION PAVING, WATER & SEWER PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	5/1/87	Liquid Waste	<i>[Signature]</i>	4-17-87
A.C.E.-Design	<i>[Signature]</i>	5-4-87	Traffic	<i>[Signature]</i>	4-17-87
A.C.E.-Hydrology	<i>[Signature]</i>	5-4-87	Water	<i>[Signature]</i>	4-17-87
DRAWING NO.	3188	MAP NO.	F-21	SHEET	4 OF 6

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		The station is a City of Albuquerque Brass Cup set in concrete, 0.5' below ground, and is stamped "16-F2(16)".		CONTRACTOR	
		NO.	BY	DATE	DATE	WORK	NO.
REVISIONS		DESIGN		The station is located 32' north from the centerline of Spain Rd. NE and 133.5' east from the centerline of Noreen Dr. NE. Elevation = 5708.82 Ft.		MICRO-FILM INFORMATION	
		NO.	DATE	DESIGNED BY	DATE	RECORDED BY	NO.
REVISIONS		DESIGN		DRAWN BY		CHECKED BY	
		DESIGN		CHECKED BY		DATE	

A circular professional seal for Fred W. Bennett, a Professional Engineer in the State of New York. The seal contains the text "REGISTERED PROFESSIONAL ENGINEER", "STATE OF NEW YORK", "FRED W. BENNETT", and "NO. 1061". There is a handwritten signature across the seal.

