

SUBDIVISION IMPROVEMENT PLANS

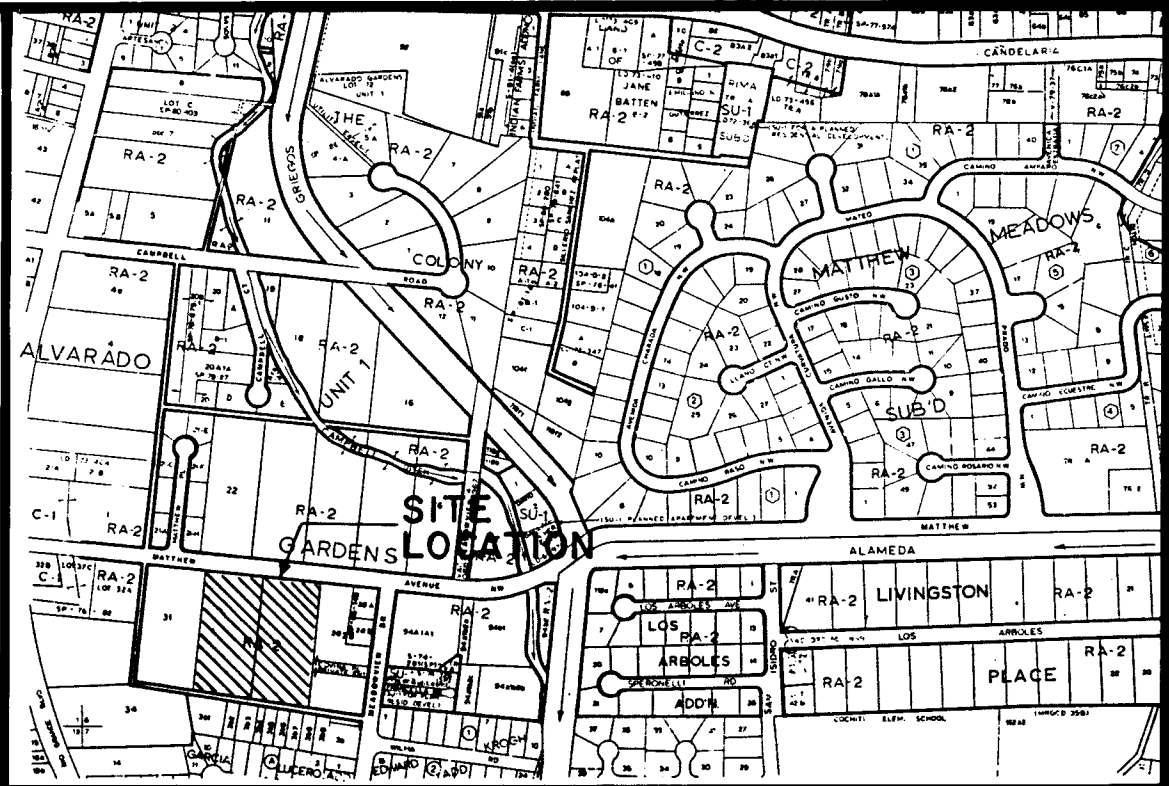
FOR

ALVARADO GARDENS – UNIT I

ALBUQUERQUE, NEW MEXICO

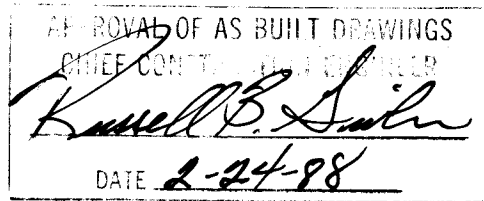
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VICINITY MAP
G-13-Z

- GENERAL NOTES:
- All work detailed on these plans to be performed under this contract shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction - 1986 Edition (referred herein as the Standard Specification).
 - Two (2) working days prior to any excavation, Contractor must contact line locating service, 765-1234, for locating of existing utilities.
 - Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions.
 - All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules and regulations concerning construction safety and health.
 - All gas, electric, telephone lines, cables and appurtenances encountered during construction that require relocation, shall be done by the responsible utility. Contractor shall be responsible for coordination of all necessary utility adjustments.
 - It will be the Contractor's responsibility to protect and maintain in service all existing utilities.
 - The Contractor will be required to confine his work within the construction limits and/or public right-of-way to preserve existing vegetation and private property. Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes.
 - A disposal site for all excess excavation material, asphaltic paving, concrete curbs and sidewalks, etc., shall be obtained by the Contractor in compliance with applicable environmental regulations.
 - Where removal of existing curbs and gutters, sidewalk or pavement is required, Contractor shall sawcut and/or remove to the nearest joint.
 - When abutting new pavement to existing, sawcut existing pavement to a straight edge and at right angle, or as approved by the city, to remove any broken or cracked pavement.
 - Backfill compaction shall be according to specified street use.
 - Only Water Systems Division personnel are authorized to operate existing valves, fire hydrants, etc. Ph. #823-4200.
 - References made to Standard Drawings refer to the City of Albuquerque Standard Detail Drawings.
 - All permanent pavement marking and traffic signing will be performed by the City of Albuquerque, Traffic Engineering Department.
 - Where concrete blocking is called for, wrap all bends, tees, and other fittings with polyethelene.
 - Water meter covers and lids shall be as per STD. DWG. 2369.
 - Stations shown are centerline stations.
 - City of Albuquerque will inspect the construction of the private road.

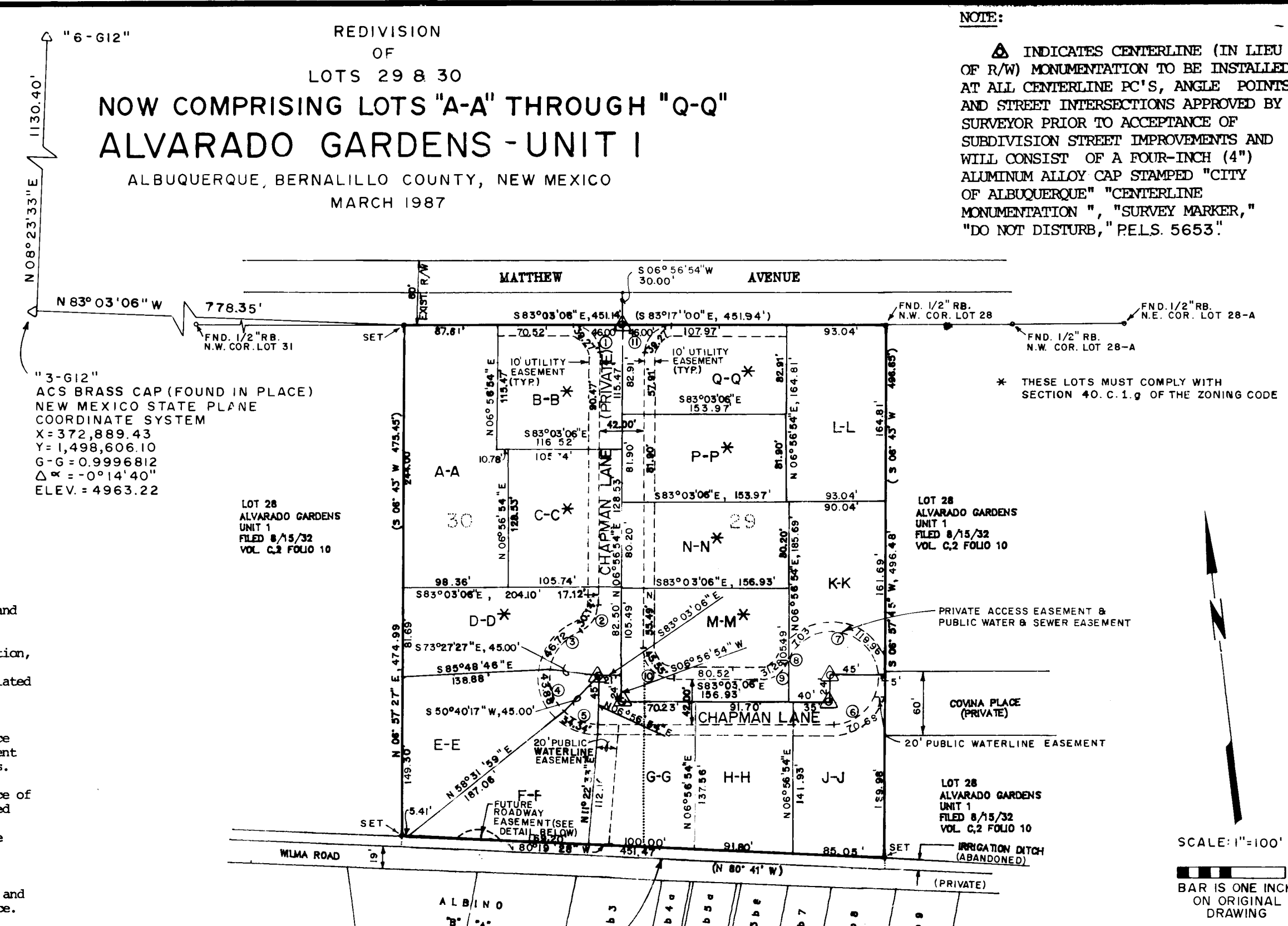
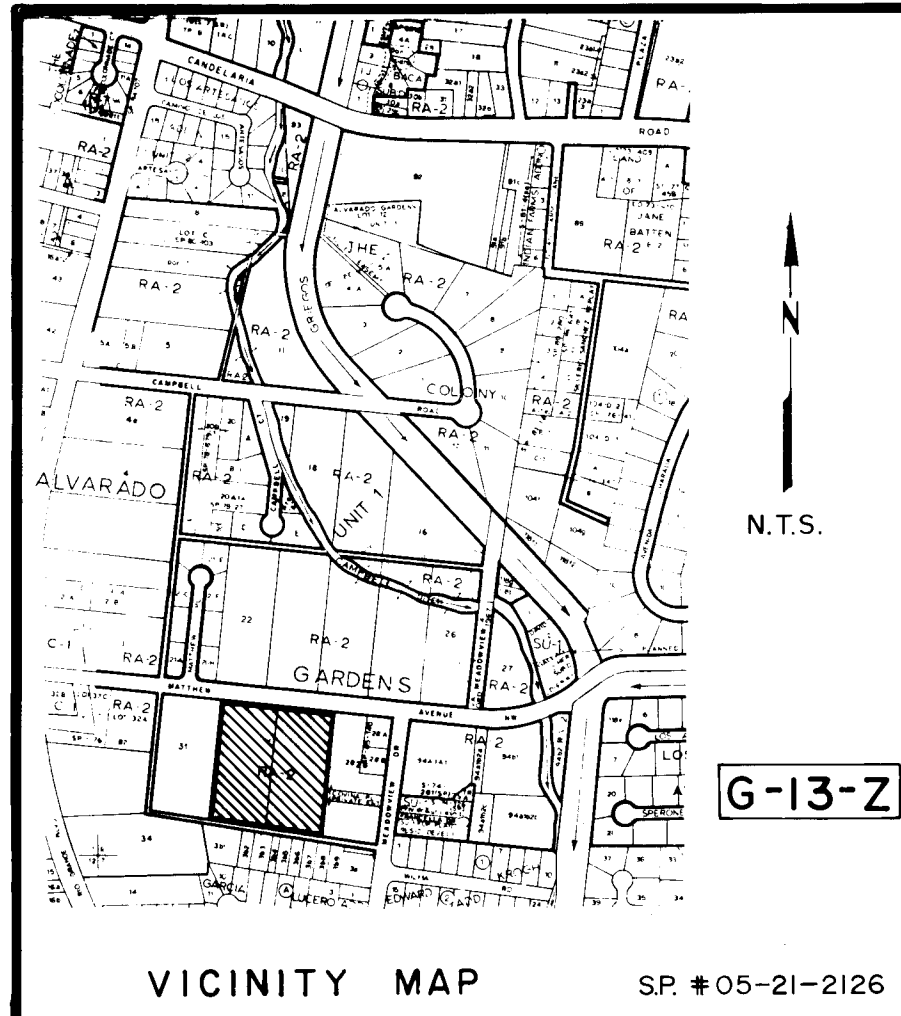


1 2 3 4 5 6 7 8 9 10 11 12
26 32950188

SET NO.
DATE

REV.	SHEETS	CITY ENGR.	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS									

	GARDNER, MASON & ASSOC., INC. ALBUQUERQUE, NEW MEXICO	APPROVED FOR CONSTRUCTION CITY ENGINEER DATE
	3295	SHEET 1 OF 4



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

- The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- The Gas Company of New Mexico for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Mountain Bell for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Jones Interchange for the installation, maintenance, and service of such lines, cables and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right of ingress and egress for the construction and maintenance and the right to trim interfering trees and shrubs. Also included is the right to install and maintain service lines.

NOTES:

- Unless otherwise indicated, all perimeter corners are marked with an iron rebar encased with a cap marked "P.E., L.S. 5653".
- Basis of Bearing: New Mexico State Plane Coordinate System, Central Zone. Grid Bearing from ACS 3-G12.
- Bearings and distances shown are field measurements. Bearings and distances shown in parenthesis are record data.
- Distances are ground distances.
- Total gross area = 219,099 square feet (5.030 Acres).
- The purpose of this plat is the redivision of lots 29 and 30, of Alvarado Gardens, Unit 1, into lots A-A thru Q-Q.
- The beneficiaries of the 42' wide private access easement Chapman Lane, N.W., shall be the owners of Lots B-B through Q-Q, exclusive of Lot L-L.
- Maintenance of the 42' wide private access easement, Chapman Lane, N.W., shall be the responsibility of the owners of Lots B-B through Q-Q, exclusive of Lot L-L.

DEDICATION AND CONSENT STATEMENT

The undersigned owners of the parcels of land herein shown: Lots 29 and 30, Alvarado Gardens, Unit 1, as said lots 29 and 30 are shown and designated on "Plat of Alvarado Gardens, Unit 1, within Section 6, T 10 N, R 3 E, N.M.P.M. and Section 1, T 10 N, R 2 E, N.M.P.M., Albuquerque, New Mexico, August, 1932", Plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on August 15, 1932, in Volume C 2, Folio 10, (now comprising lots AA through QQ); do hereby consent to the redvisions shown; in the manner hereon shown; grant any easement shown (for the purpose shown and noted), and including rights of ingress and egress for construction, installation and maintenance of service lines and the right to trim interfering trees and shrubs; and hereby certify that this redivision is their free act and deed.

Matthew Partnership
Managing Partner
Matthew Partnership
Lavern O. Todd
Geraldine Todd
Fred L. Chapman

NOTARY

STATE OF New Mexico)
COUNTY OF Bernalillo) SS

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the 22nd day of May, 1987.

My Commission Expires September 15, 1997 Supriya A. Kulkarni
Notary Public

NOTARY

STATE OF _____)
COUNTY OF _____) SS

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the _____ day of _____, 19____.

My Commission Expires _____
Notary Public

NOTARY

STATE OF _____)
COUNTY OF _____) SS

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the _____ day of _____, 19____.

My Commission Expires _____
Notary Public

Curve No.	Central Angle	Length	Radius	Chord Bearing	Chord
1.	90 00 00	39.27	25	S38 03 06E	35.35
2.	69 04 30	30.14	25	S41 29 09W	28.35
3.	59 28 52	46.72	45	N46 16 59E	44.65
4.	55 52 16	43.88	45	S11 23 35E	42.16
5.	43 43 23	34.34	45	S61 11 25E	33.51
6.	90 00 00	70.69	45	N51 56 54E	63.64
7.	152 44 02	119.96	45	N69 25 07W	87.46
8.	08 56 54	7.03	45	S29 44 25W	7.02
9.	71 40 56	31.28	25	S61 06 26W	29.28
10.	90 00 00	45.55	29	N38 03 06W	41.01
11.	90 00 00	39.27	25	N51 56 54E	35.35
12.	105 20 00	43.21	23.5	S80 19 28E	37.37

Subdivision Plat No. _____ DRB Case No. _____ Zone Atlas Map No. _____ City _____ County _____

City Planning Director _____ Date _____ A.M.A.F.C.A. _____ Date _____

Traffic Engineer _____ Date _____ City Engineer _____ Date _____

Water Resources _____ Date _____ Parks & Recreation _____ Date _____

City Surveyor _____ Date 5/22/87 Property Management _____ Date _____

Public Service Co. of N.M. _____ Date _____ Mountain States Telephone & Telegraph Co. _____ Date _____

Gas Company of N.M. _____ Date _____

LOT AREAS

LOT	AREA (S.F.)	AREA (A.C.)
A-A	22,759	0.5225
B-B	13,455	0.3089
C-C	13,590	0.3120
D-D	16,095	0.3695
E-E	15,337	0.3521
F-F	12,905	0.2962
G-G	13,341	0.3063
H-H	12,815	0.2942
J-J	13,432	0.3084
K-K	15,315	0.3562
L-L	15,331	0.3519
M-M	16,559	0.3801
N-N	12,589	0.2890
P-P	12,610	0.2895
Q-Q	12,766	0.2931

SURVEYOR'S CERTIFICATE

I, Gilbert D. Gardner, a registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and that it is true and correct to the best of my knowledge and belief.

Gilbert D. Gardner 5-22-87
Gilbert D. Gardner, N.M.L.S. NO. 5653 Date

NOTARY

STATE OF New Mexico)
COUNTY OF Bernalillo) SS

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the 22nd day of May, 1987.

My Commission Expires 9/10/90 Supriya A. Kulkarni
Notary Public

AS-BUILT CERTIFICATION
(Chapman Lane - Private Road)

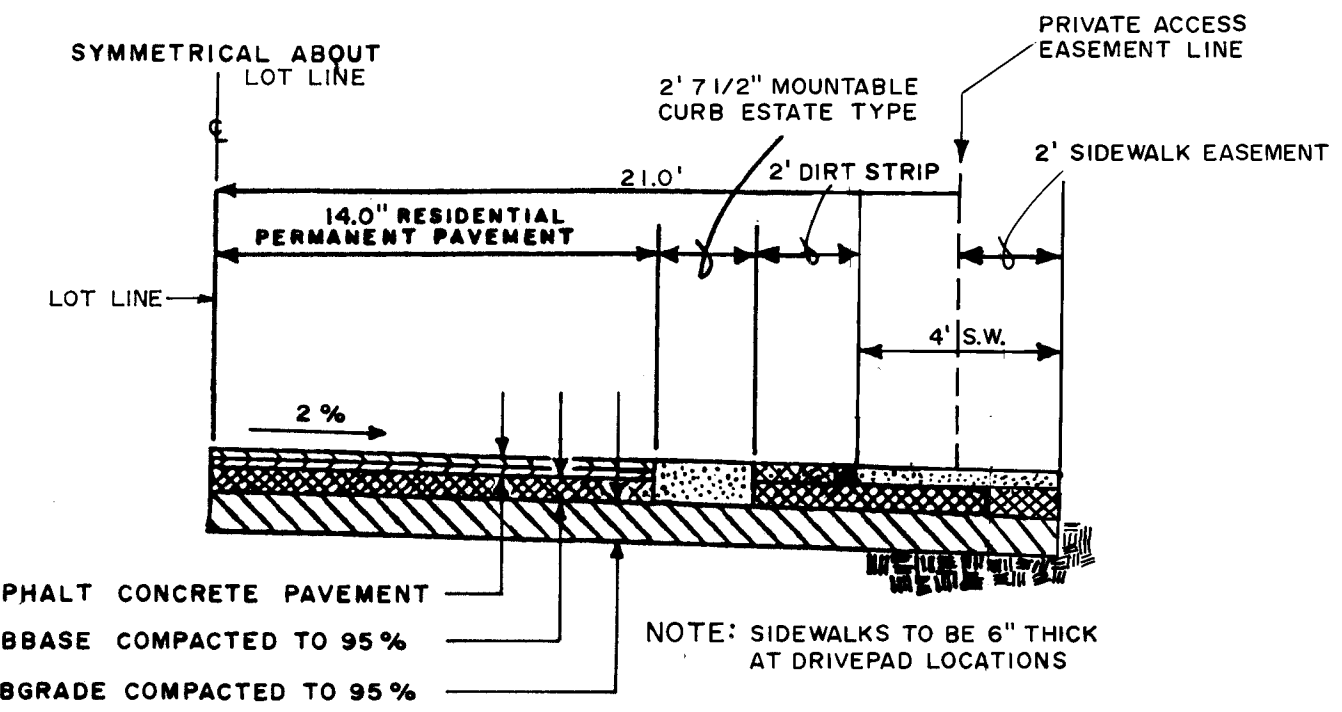
I, Ronald E. Tyree, Registered Professional
Land Surveyor in the State of New Mexico, do
hereby certify that these drawings represent the
"as-built" conditions of the curb and gutter of
Chapman Lane, N.W., to the best of my knowledge
and belief.
All vertical and horizontal dimensions
should be field verified prior to use on future
projects.

Ronald E. Tyree
P.L.S. No. 3516



date

SCALE 1"=50'



TYPICAL STREET SECTION

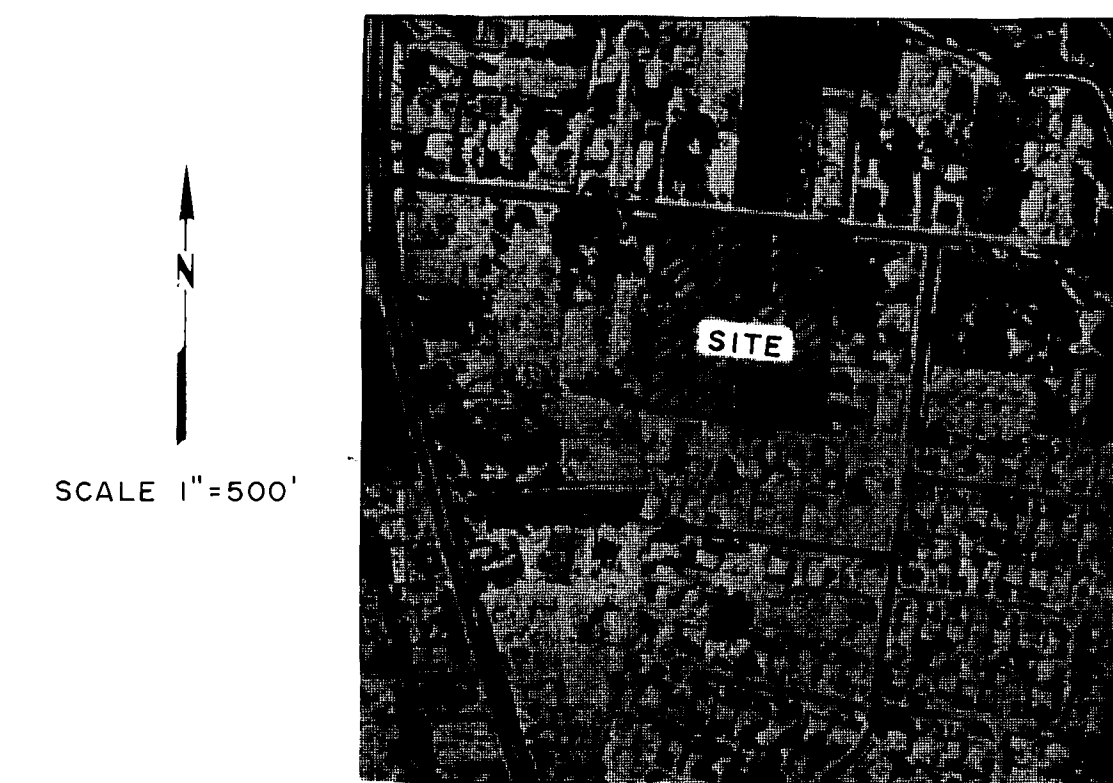
N.T.S.

BENCH MARK: "3-C12" is a standard ACS brass tablet, set on
top of a concrete post, projecting 0.20 ft.
above ground and located at the intersection
of Rio Grande Blvd., N.W. and Matthew Ave., N.W.,
on the west side of Rio Grande Blvd., N.W.

T.B.M.: A chiseled square on top of the curb approximately 20
feet west of the N.W. corner of lot 30 on the northside
of Matthew Ave., N.W.

LEGEND

- 63.77 PROPOSED GRADE
- F.F. FINISHED FLOOR
- P.E. PAD ELEVATION
- PONDING AREA
- (62.80) EXISTING SPOT ELEVATION
- T.C. TOP OF CURB
- T.A. TOP OF ASPHALT
- F.L. FLOW LINE



FLOOD HAZARD BOUNDARY MAP



SOILS MAP FROM SOIL SURVEY
BERN. CO. U.S.D.A., S.C.S.

FOR INFORMATION ONLY

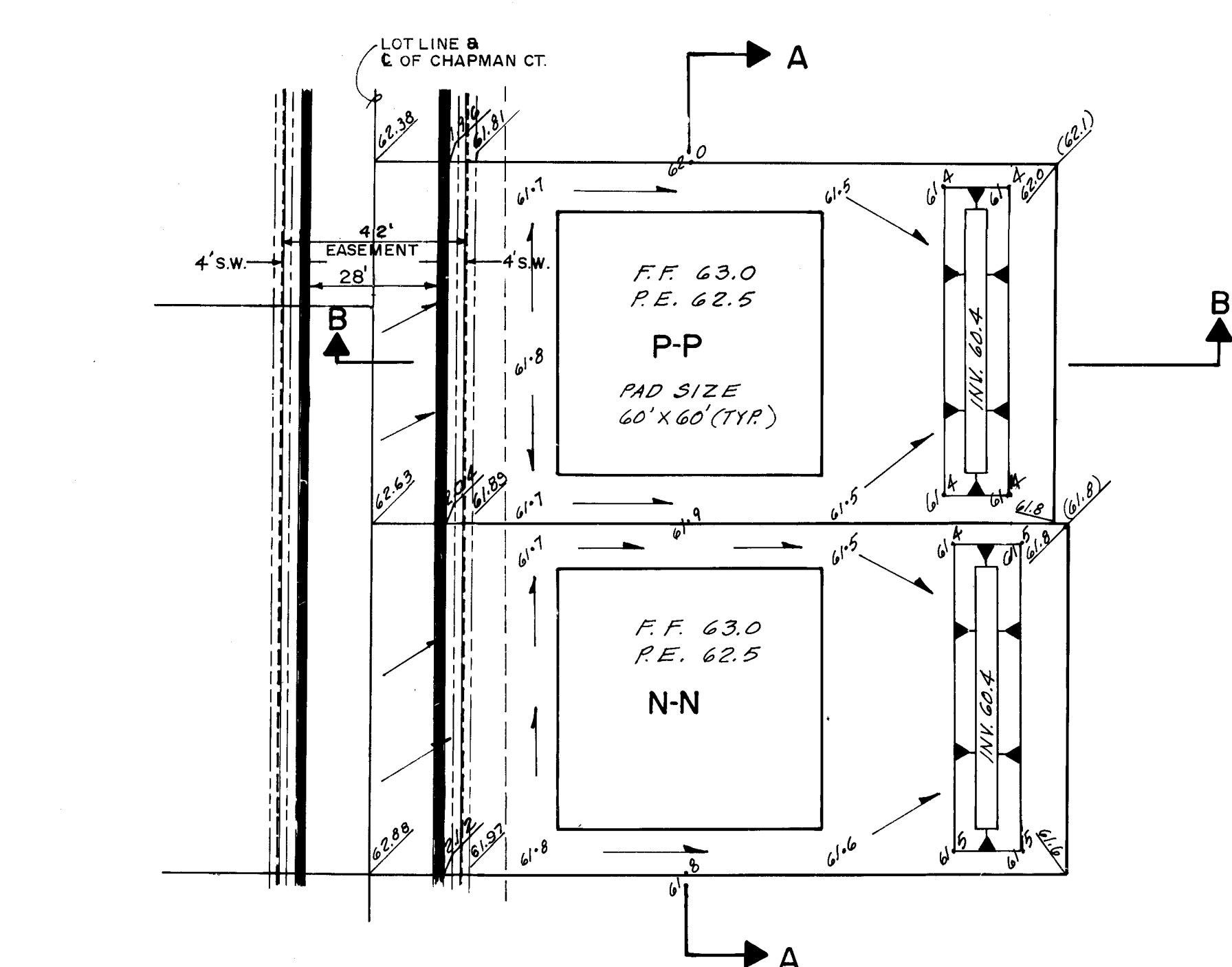
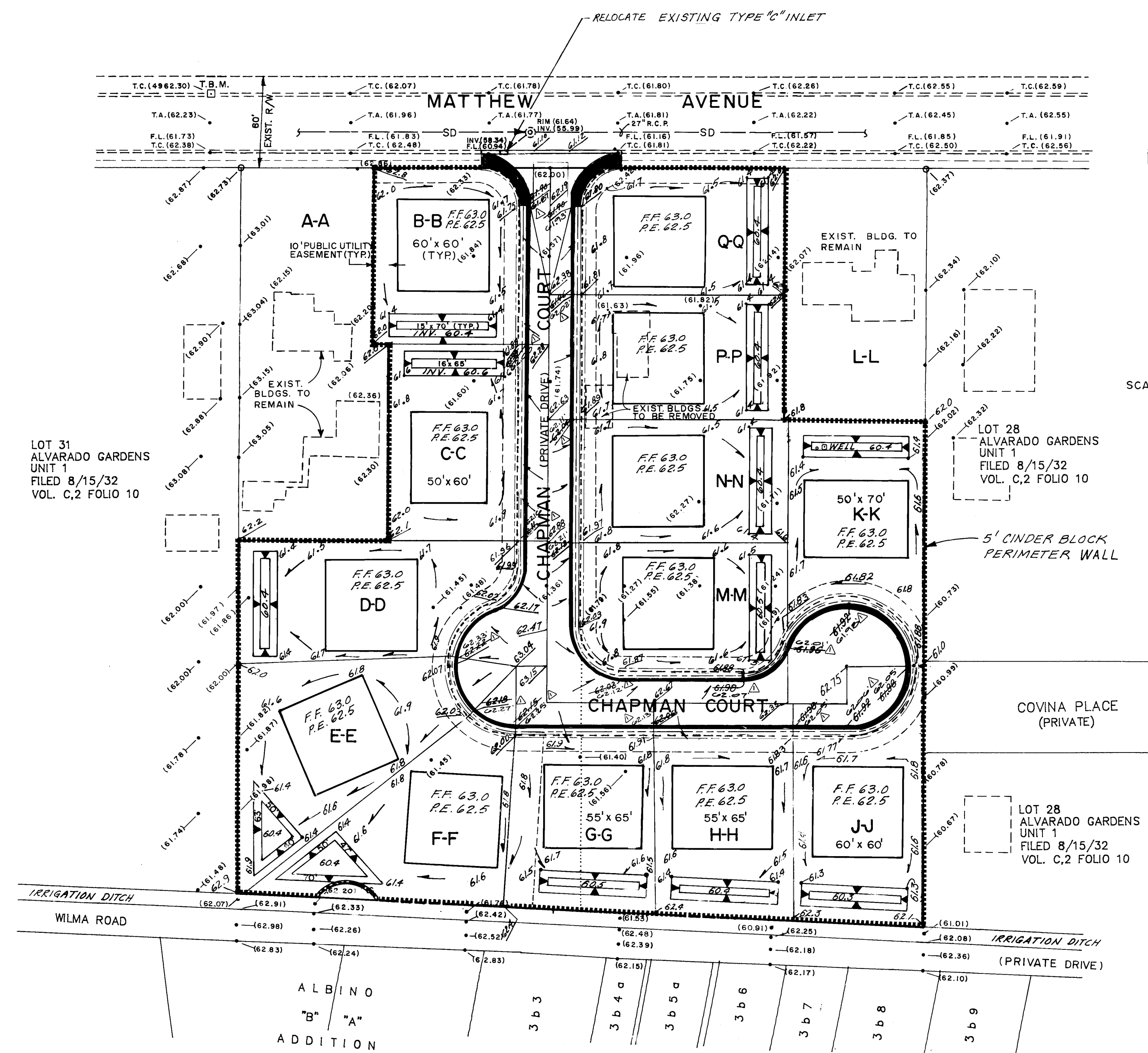
26 32950388



GILBERT D. GARDNER
DATE 5-7-87
REVISOR
DATE 6-24-87

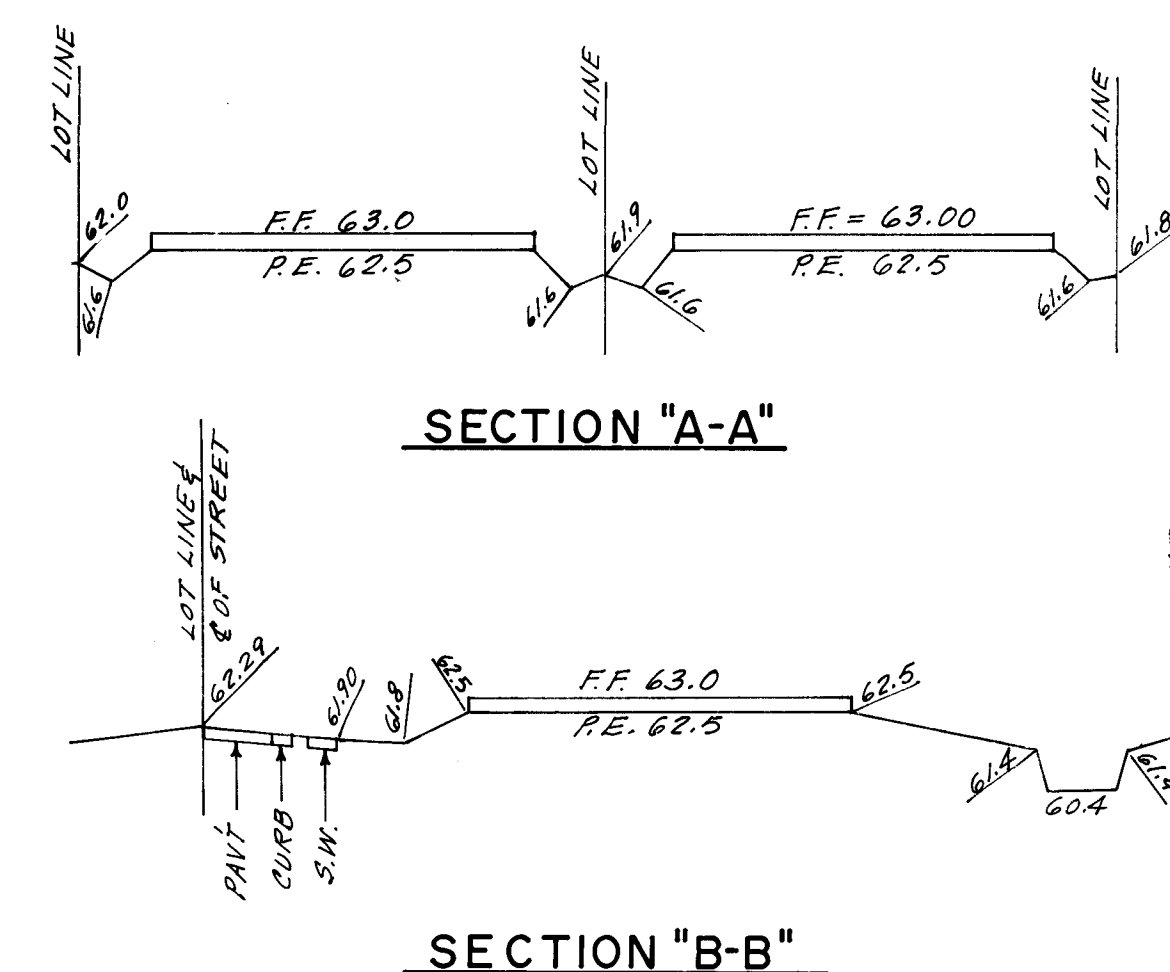
REDIVISION
OF
LOTS 29830
NOW COMPRISING LOTS A-A THROUGH Q-Q
ALVARADO GARDENS-UNIT I
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

GRADING AND DRAINAGE PLAN



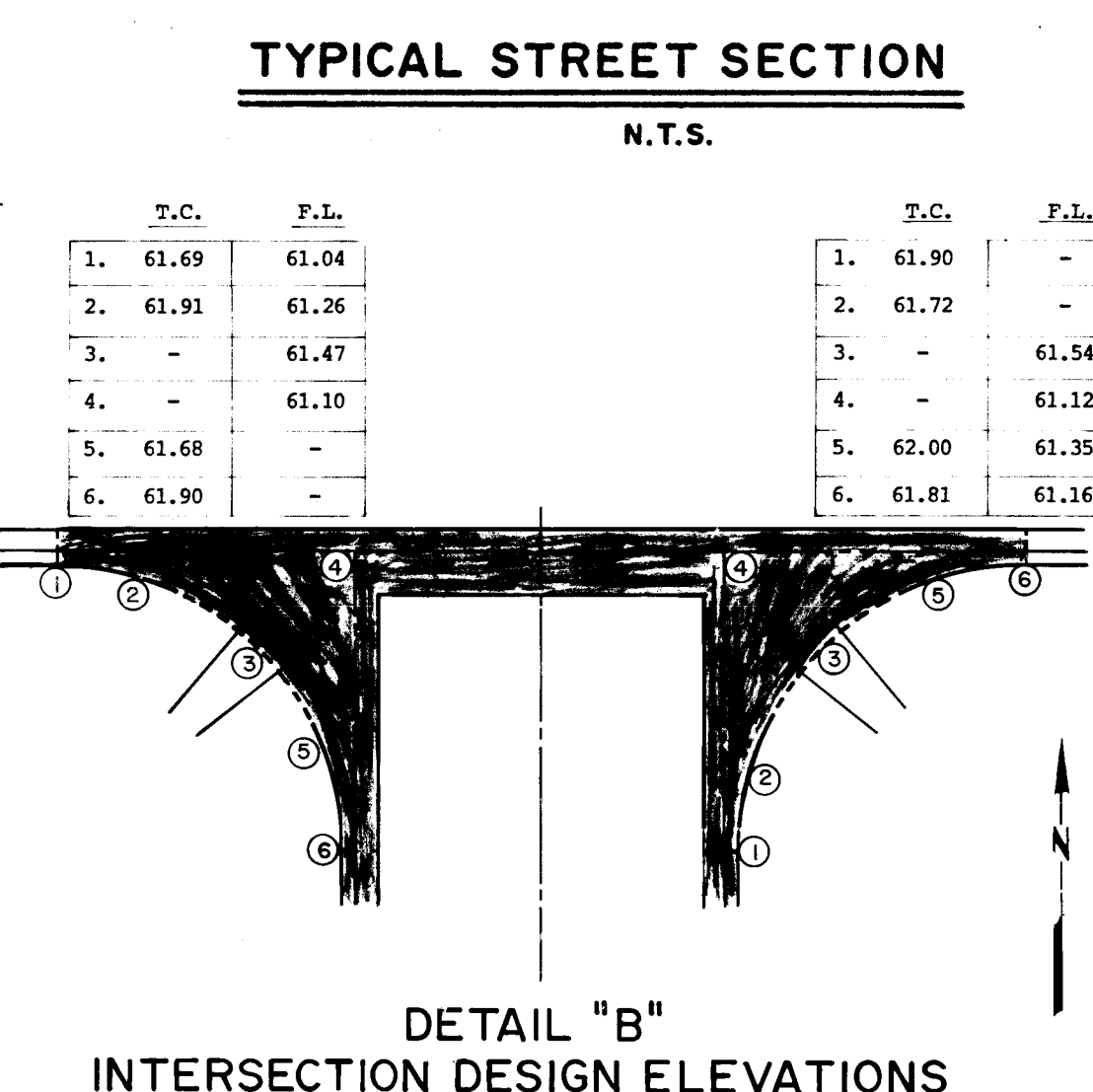
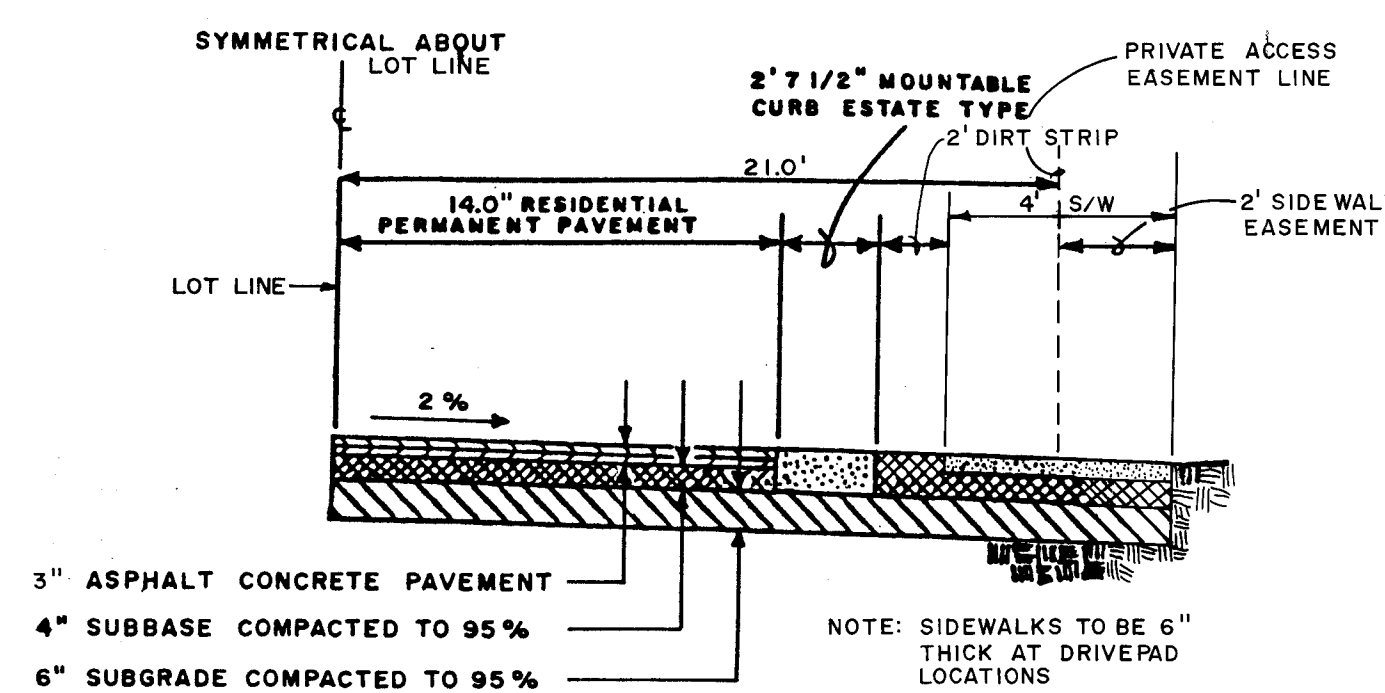
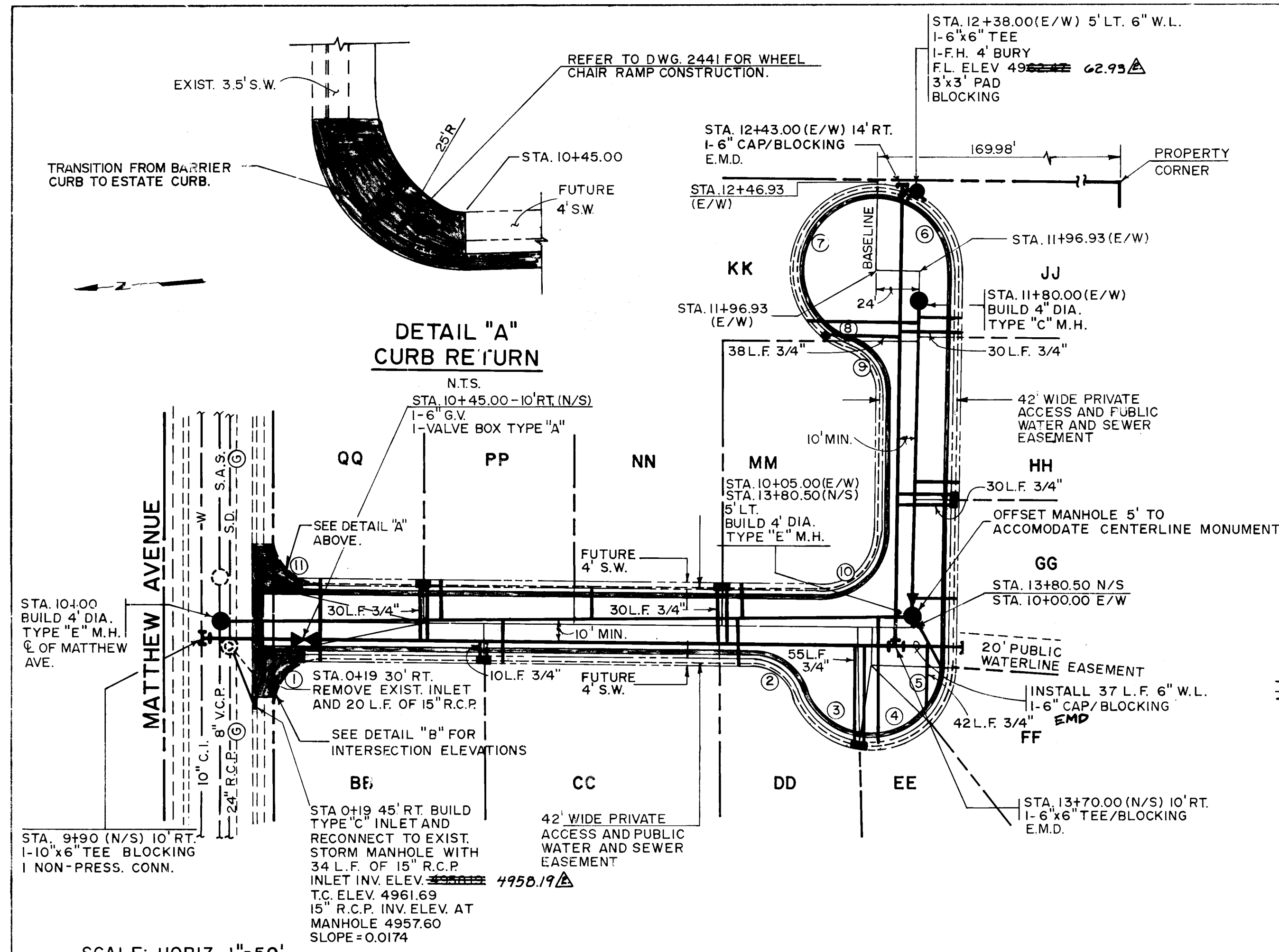
TYPICAL LOT GRADING PLAN DETAILS

SCALE: 1"=30'



SECTION "A-A"

SECTION "B-B"



- LEGEND**
- SAS --- EXISTING SANITARY SEWER MANHOLE AND LINE
 - SD --- EXISTING STORM DRAIN MANHOLE AND LINE
 - SD --- PROPOSED STORM DRAIN MANHOLE AND LINE
 - SD --- EXISTING STORM DRAIN INLET
 - W --- EXISTING WATER LINE AND VALVE
 - W --- PROPOSED WATER LINE AND VALVE
 - G --- EXISTING GAS LINE
 - W --- PROPOSED WATER LINE TEE
 - W --- PROPOSED WATER LINE BEND
 - W --- PROPOSED WATER LINE CAP
 - W --- PROPOSED FIRE HYDRANT
 - SAS --- PROPOSED SANITARY SEWER MANHOLE AND LINE
 - W --- WATER METER - SINGLE
 - W --- WATER METER - DOUBLE
 - SD --- PROPOSED STORM DRAIN INLET
 - T.O.P --- TOP OF PIPE

CURVE DATA

CURVE NO.	1	2	3	4	5
RADIUS	25.00'	29.38'	40.63'	40.63'	40.63'
DELTA	90°00'00"	69°04'30"	59°28'52"	55°52'16"	43°43'23"
TANGENT	25.00'	20.22'	23.21'	21.54'	16.30'
LENGTH	39.27'	35.42'	42.18'	39.62'	31.01'

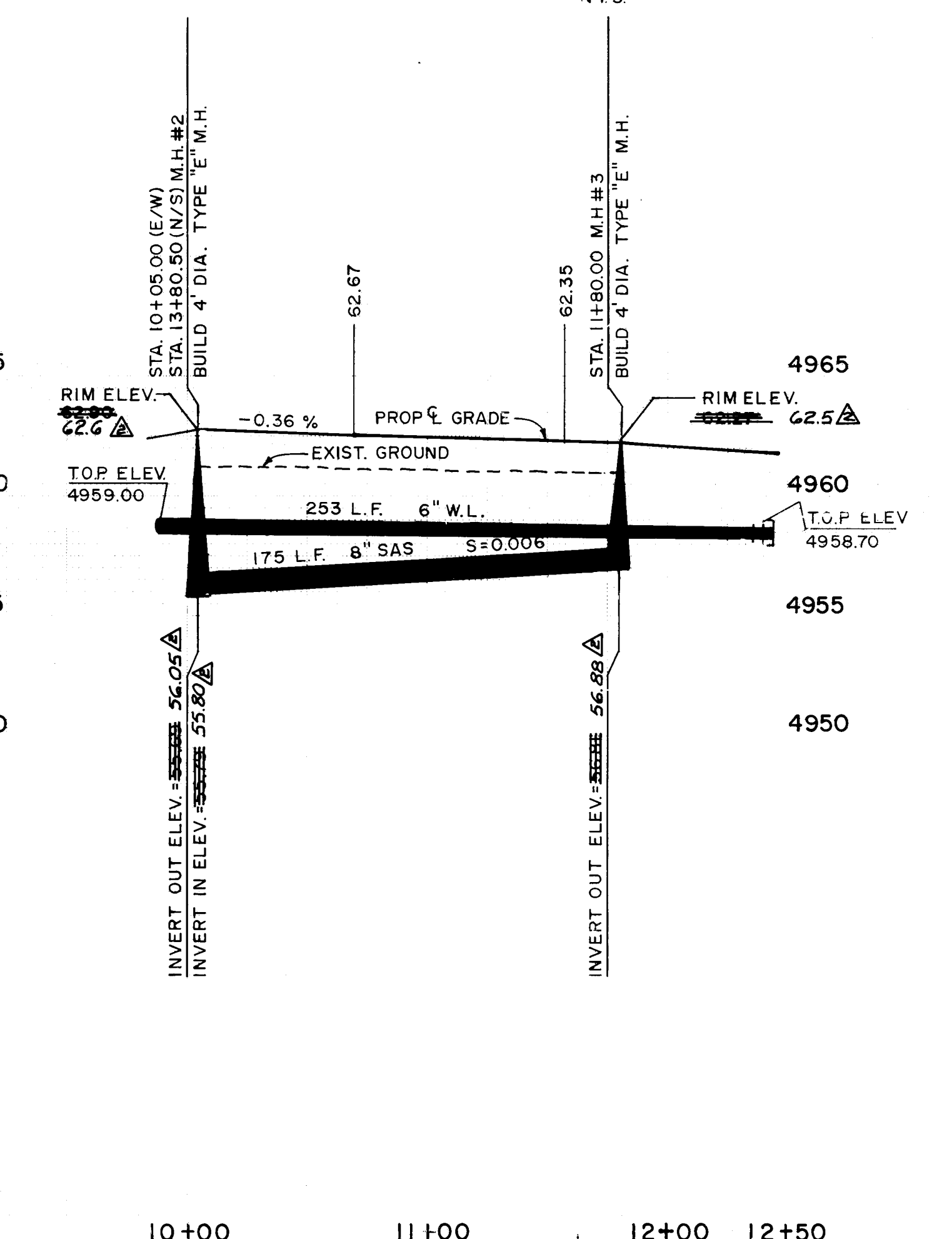
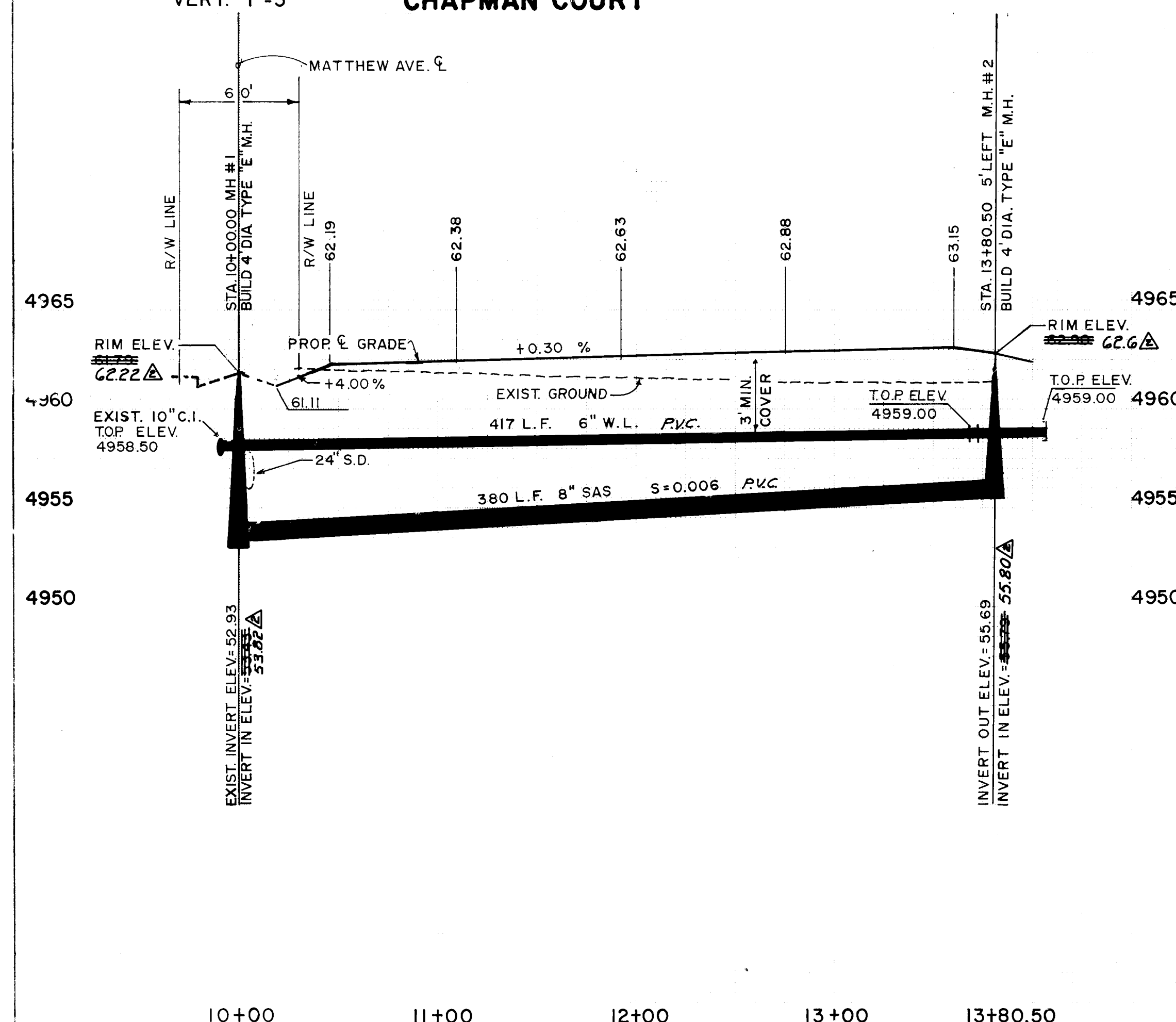
6	7	8	9	10	11
40.63'	40.63'	40.63'	29.38'	24.63'	25.00'
90°00'00"	90°00'00"	71°40'56"	71°40'56"	90°00'00"	90°00'00"
40.63'	40.63'	29.35'	21.22'	24.63'	25.00'
63.82'	63.82'	50.83'	36.76'	38.69'	39.27'

SEWER SERVICE CONNECTIONS

STATION	STATION ORIENTATION	SERVICE SIZE	SERVICE LENGTH	INVERT AT PROPERTY LINE
10+55.00 (LT.)	N/S	4"	21'	57.80
10+55.00 (RT.)	N/S	4"	21'	57.80
11+21.00 (LT.)	N/S	4"	20'	57.87
11+55.00 (RT.)	N/S	4"	23'	57.90
12+04.00 (LT.)	N/S	4"	18'	57.95
12+85.00 (RT.)	N/S	4"	25'	58.03
12+87.00 (LT.)	N/S	4"	16'	58.03
13+61.00 (RT.)	N/S	4"	70'	58.12
10+16.00 (RT.)	E/W	4"	21'	58.01
10+80.00 (RT.)	E/W	4"	21'	57.95
11+67.00 (LT.)	E/W	4"	60'	57.85
11+70.00 (RT.)	E/W	4"	21'	57.85

WATER SERVICE CONNECTIONS

LOT(S)	WATER METER PAD ELEVATIONS
QQ/PP	61.86
BB/CC	61.89
BB/MM	62.02
DD/EE	62.12
FF	62.08
GG/HH	61.96
JJ	61.88
KK	61.86



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		CITY OF ALBUQUERQUE	
DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
BY	BY	BY	BY	BY	BY	BY	BY	BY	BY	BY	BY
NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.
REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS
DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY	DESIGNED BY
DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY	DRAWN BY
CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY	CHECKED BY
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION TITLE: ALVARADO GARDENS UNIT I LOTS A-A THROUGH Q-Q UTILITY PLAN AND PROFILE											
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE						
City Engineer	Jan E. Enggaard	7/11/87	Liquid Waste	Jan E. Enggaard	7/11/87						
A C E - Design	Raymond	7/11/87	Traffic	Jan E. Enggaard	7/11/87						
A C E - Hydrology	Raymond	7/11/87	Water	Jan E. Enggaard	7/11/87						
DRAWING NO.	3295	MAP NO.	G13	SHEET	4	OF 4					