

CONSTRUCTION PLANS FOR

MARKET CENTRE EAST

PAVING , WATER AND STORM DRAINAGE IMPROVEMENTS

SHEET NO. DESCRIPTION

GENERAL

1. . COVER SHEET
2-8. . PLAT SHEETS
9. . GRADING PLAN
10. . OVERALL PAVING PLAN & STORM DRAINAGE PLAN
11. . OVERALL UTILITY PLAN

PAVING

12. . LOMAS BOULEVARD N.E. STA. 15+75.00 TO STA. 20+15.00 PLAN & PROFILE
13. . LOMAS BOULEVARD N.E. STA. 20+15.00 TO STA. 24+75.00 PLAN & PROFILE
14. . LOMAS BOULEVARD N.E. STA. 24+75.00 TO STA. 29+15.00 PLAN & PROFILE
15. . HOTEL CIRCLE N.E. STA. 10+00.00 TO STA. 31+00.00 REHABILITATION PLAN
16. . HOTEL CIRCLE N.E. STA. 31+00.00 TO STA. 43+07.64 REHABILITATION PLAN
17. . HOTEL AVENUE N.E. STA. 10+00.00 TO STA. 17+73.33 REHABILITATION PLAN
17. . HOTEL AVENUE N.E. STA. 17+33.33 TO STA. 25+36.55 PLAN & PROFILE

STORM DRAINAGE

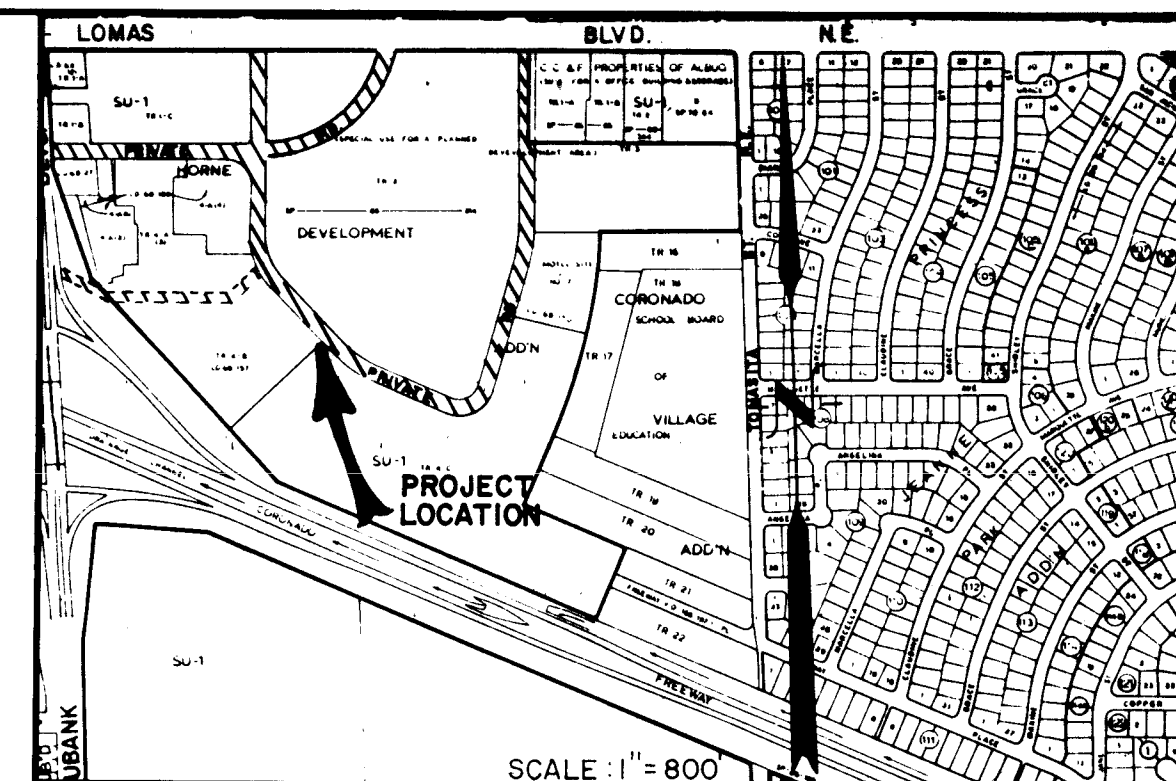
18. . HOTEL CIRCLE N.E. PLAN & PROFILE
19. . OFFSITE STORM DRAINAGE LINE "A" STA. 10+00.00 TO STA. 14+00.00 PLAN & PROFILE
20. . OFFSITE STORM DRAINAGE LINE "A" STA. 14+00.00 TO STA. 18+69.71 PLAN & PROFILE

UTILITIES

21. . ONSITE PUBLIC WATERLINE LINE "B" STA. 10+00.00 TO STA. 18+00.00 PLAN & PROFILE
22. . ONSITE PUBLIC WATERLINE LINE "B" STA. 18+00.00 TO STA. 25+33.80 PLAN & PROFILE

MISCELLANEOUS

23. . TRAFFIC CONTROL PLAN
24. . MISCELLANEOUS DETAILS

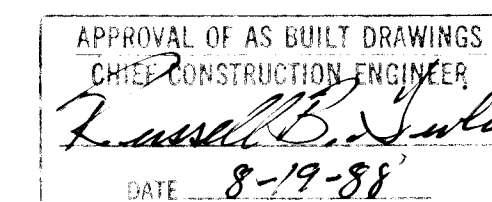


VICINITY MAP

K-21

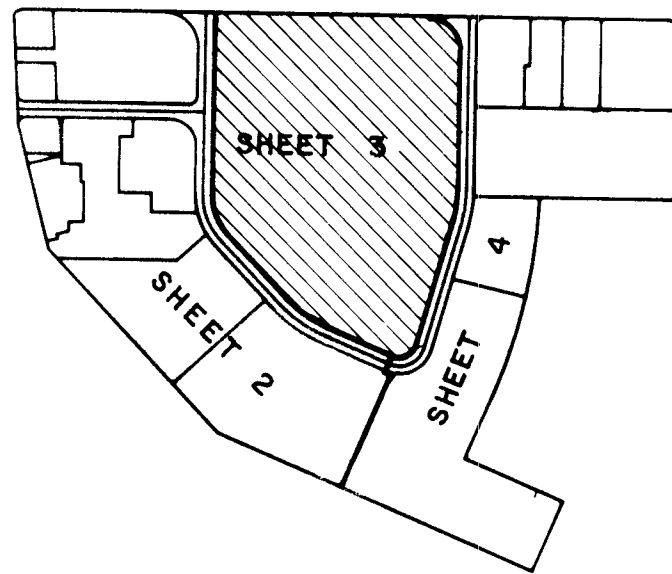
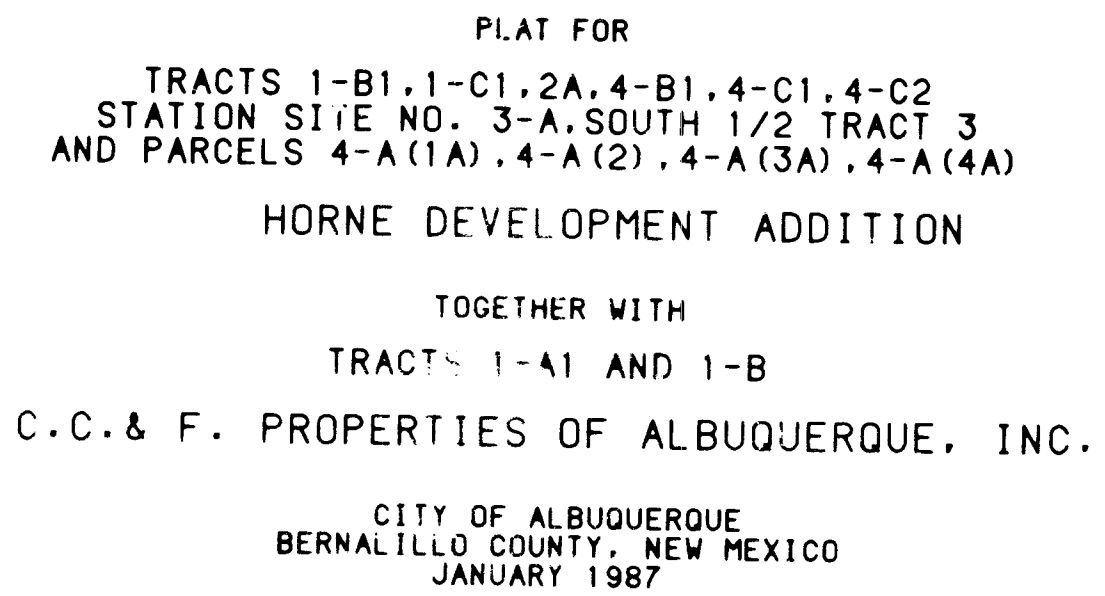
GENERAL NOTES

- All work detailed on these plans to be performed under contract, and unless stated otherwise or provided for hereon, shall be constructed in accordance with the City of Albuquerque Standard Specifications, Public Works Construction, 1986 (referred herein as "Standard Specification").
- Two (2) working days prior to any excavation, Contractor must contact line locating service, 765-1234, for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of existing utilities being connected to and all potential obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules, and regulations concerning construction safety and health.
- Contractor shall maintain access to adjacent properties during construction.
- All gas, electric, telephone lines, cables, and appurtenances encountered during construction that require relocation, shall be done by the responsible utility. Contractor shall be responsible for coordination of all necessary utility adjustments.
- It will be the Contractor's responsibility to protect and maintain in service all existing utilities.
- The Contractor will be required to confine his work within the construction limits and/or public right-of-way to preserve existing vegetation and private property. Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes.
- A disposal site for all excess excavation material, asphaltic paving, concrete curbs and sidewalks, etc., shall be obtained by the Contractor in compliance with applicable environmental regulations and approved by the Field Engineer. All costs incurred in obtaining a disposal site and haul thereto shall be considered incidental to the project and no separate measurement or payment shall be made.
- When abutting new pavement to existing, sawcut existing pavement to a straight edge and at a right angle, or as approved by the Project Engineer, to remove any broken or cracked pavement.
- The Contractor must submit a construction signing and barricading plan to Traffic Engineering a minimum of three (3) working days prior to construction to receive a barricading permit.
- All trench backfill shall be compacted to a minimum 90% maximum density as per ASTM D-1557.



26 34020188

REV.	SHEETS	CITY	ENGR.	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS										
ENGINEERS SEAL					ESPEY, HUSTON & ASSOC., INC. Engineers • Planners • Surveyors 317 Commercial Street N.E. Albuquerque, New Mexico 87102 (505) 242-1909			APPROVED FOR CONSTRUCTION 2-10-88 C.E.		
PROJECT NUMBER					3402			SHEET 1 OF 24		



KEY MAP
No Scale

SURVEYOR'S CERTIFICATION

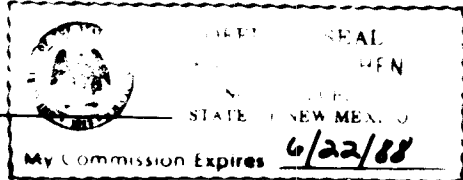
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements as shown on the plats of record, and noted in a title report prepared by TICOR TITLE INSURANCE COMPANY on December 19, 1985, Policy No. 55269-A and a commitment for title insurance prepared by SAFECO TITLE INSURANCE COMPANY, on September 19, 1986, Commitment No. 602668, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing as interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, N.M.P.L.S. No. 7719 01-23-87
Date

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

On this 23rd day of January, 1987, the SURVEYOR'S CERTIFICATION was acknowledged before me.

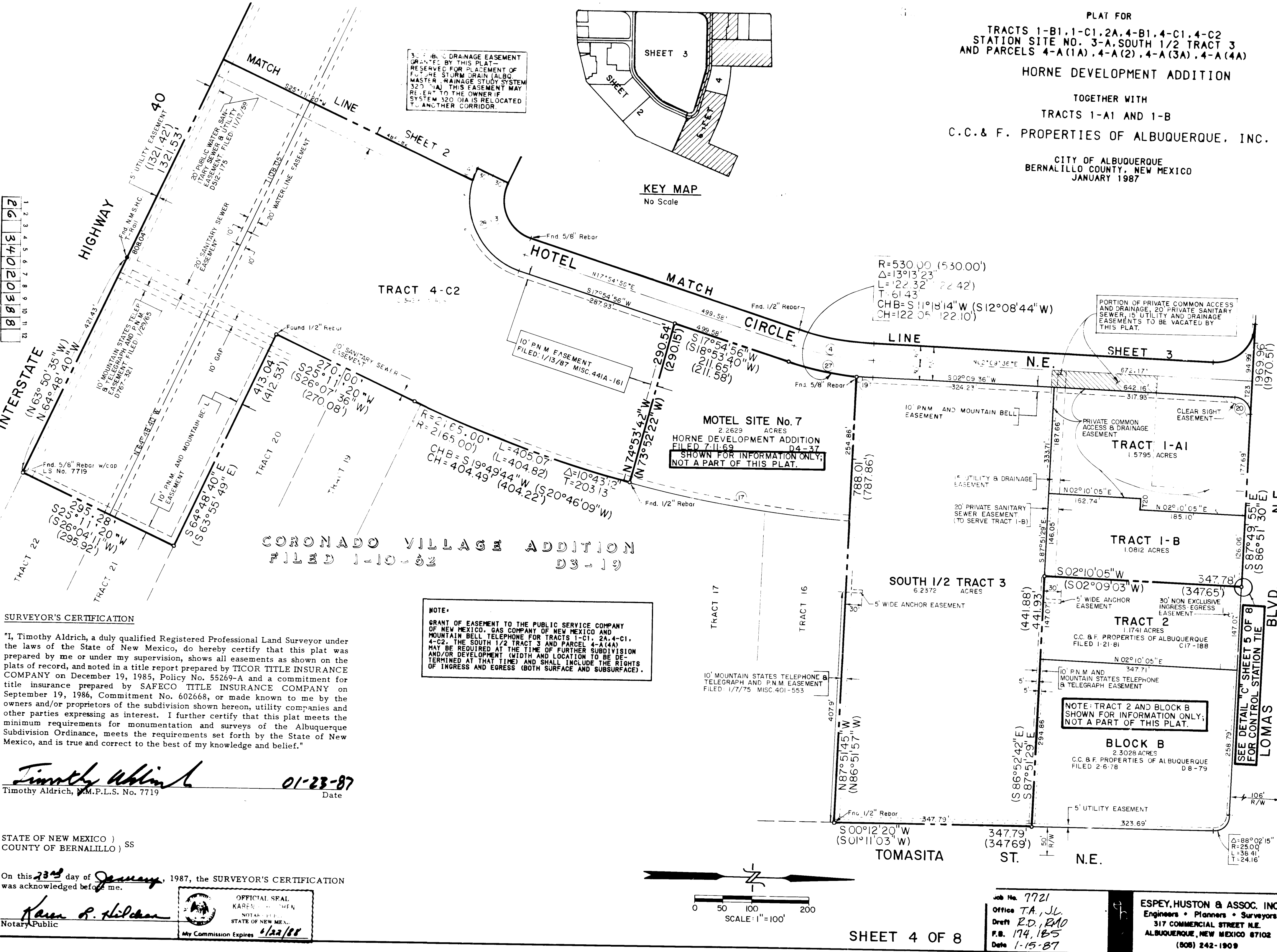
Karen L. Hilcher
Notary Public



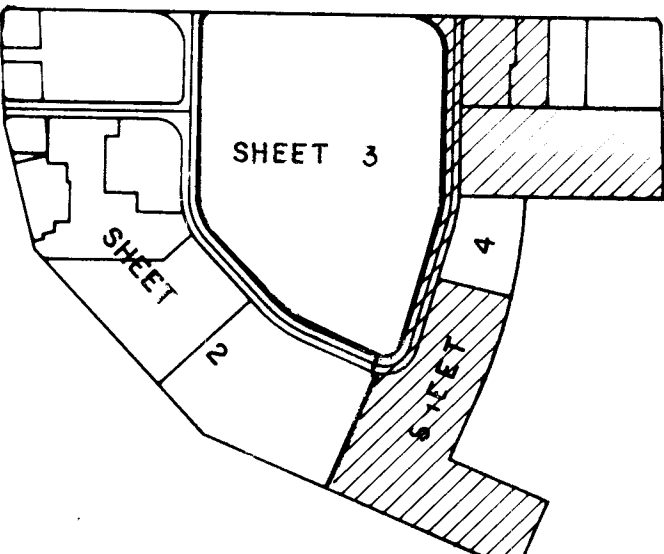
Job No. 7721
G- co T.A., J.L.
Draft R.D., RMC
F.S. 174, 185
Date 1-15-87

ESPEY, HUSTON & ASSOC. INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(505) 242-1909

SHEET 3 OF 8



PLAT FOR
TRACTS 1-B1, 1-C1, 2A, 4-B1, 4-C1, 4-C2
STATION SITE NO. 3-A, SOUTH 1/2 TRACT 3
AND PARCELS 4-A(1A), 4-A(2), 4-A(3A), 4-A(4A)
HORNE DEVELOPMENT ADDITION
TOGETHER WITH
TRACTS 1-A1 AND 1-B
C. C. & F. PROPERTIES OF ALBUQUERQUE, INC.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 1987



KEY MAP
No Scale

R=530.00 (530.00')
 $\Delta=13^{\circ}13'23''$
 L=22.32' (22.42')
 T=61.43
 CHB=S 11°18'14" W (S 12°08'44" W)
 CB=L 22.05' (22.10')

PORTION OF PRIVATE COMMON ACCESS
AND DRAINAGE, 20' PRIVATE SANITARY
SEWER, 15' UTILITY AND DRAINAGE
EASEMENTS TO BE VACATED BY
THIS PLAT.

MOTEL SITE No. 7
2.2629 ACRES
E DEVELOPMENT ADDITION
7-11-69 D4-37
WN FOR INFORMATION ONLY,
PART OF THIS PLAT.

TRACT 1-1
1.0812 ACRES

TRACT 2
1.174 ACRES

BLOCK B
2.3028 ACRES

ESPEY, HUSTON & ASSOC. INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(805) 242-1909

SHEET 4 OF 8

Job No. 7721
Office T.A., J.L.
Draft R.D., RMC
F.B. 174, 185
Date 1-15-87

PLAT FOR
TRACTS 1-B1, 1-C1, 2A, 4-B1, 4-C1, 4-C2
STATION SITE NO. 3-A, SOUTH 1/2 TRACT 3
AND PARCELS 4-A(1A), 4-A(2), 4-A(3A), 4-A(4A)
HORNE DEVELOPMENT ADDITION
TOGETHER WITH
TRACTS 1-A1 AND 1-B
C.C. & F. PROPERTIES OF ALBUQUERQUE, INC.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 1987

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owners and/or proprietors thereof. Said owners and/or proprietors do hereby consent to the following:

1. Dedicate all of the private streets known as HOTEL AVENUE N.E. and HOTEL CIRCLE N.E. as shown hereon to the City of Albuquerque in fee simple.
2. Grant public drainage easements along the south boundary line of TRACT 4-A(3A) and the north boundary line of TRACT 4-B1, the east boundary line of TRACT 4-C1 and the west boundary line of TRACT 4-C2 as shown hereon.
3. Vacation of a 20 foot public sanitary sewer, water and utility easement together with a portion of a 40 foot roadway easement, 20 foot public water-line easement (V-86-126) and a 15' public drainage easement (V-87-18) all being within TRACT 4-C1 as shown hereon.
4. Vacation of portions of a private common access and drainage easement, 20 foot private sanitary sewer easement and a 15' utility and drainage easement all pertaining to TRACT 1-A1 and 1-B, C.C. & F. PROPERTIES OF ALBUQUERQUE, INC., as shown hereon.

MOTOR LODGE OPERATORS, A New Mexico Partnership, by its partner TEMPE BUILDERS, INC., an Arizona Corporation, Owners PARCELS 4-A(1A), 4-A(2), 4-A(3A)

M. Seth Horne 2/11/87
M. Seth Horne, President, TEMPE BUILDERS, INC. Date

STATE OF Arizona) SS
COUNTY OF Maricopa

On the 11th day of February, 1987, the foregoing instrument was acknowledged before me. My commission expires October 13, 1990.

Ernie L. East
Notary Public



SURVEYOR'S CERTIFICATION

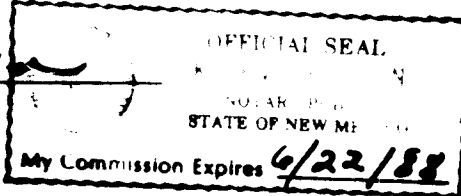
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements as shown on the plats of record, and noted in a title report prepared by TICOR TITLE INSURANCE COMPANY on December 19, 1985, Policy No. 55269-A and a commitment for title insurance prepared by SAFECO TITLE INSURANCE COMPANY on September 19, 1986, Commitment No. 602668, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing as interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 01-23-87
Timothy Aldrich, N.M.P.L.S. No. 7719 Date

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

On this 23rd day of January, 1987, the SURVEYOR'S CERTIFICATION was acknowledged before me.

Karen R. Hildner
Notary Public



Job No. 7721
Office T.A., J.L.
Draft R.D., R.M.O.
P.B. 174, 185
Date 1-15-87

ESPEY, HUSTON & ASSOC. INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(505) 242-1909

PLAT FOR
TRACTS 1-B1, 1-C1, 2A, 4-B1, 4-C1, 4-C2
STATION SITE NO. 3-A, SOUTH 1/2 TRACT 3
AND PARCELS 4-A(1A), 4-A(2), 4-A(3A), 4-A(4A)
HORNE DEVELOPMENT ADDITION
TOGETHER WITH
TRACTS 1-A1 AND 1-B
C.C. & F. PROPERTIES OF ALBUQUERQUE, INC.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 1987

FREE CONSENT AND DEDICATION

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1. Dedicate all of the private streets known as HOTEL AVENUE N.E. and HOTEL CIRCLE N.E. as shown hereon to the City of Albuquerque in fee simple.
2. Grant public drainage easements along the south boundary line of TRACT 4-A(3A) and the north boundary line of TRACT 4-B1, the east boundary line of TRACT 4-C1 and the west boundary line of TRACT 4-C2 as shown hereon.
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4. Vacation of portions of a private common access and drainage easement, 20 foot private sanitary sewer easement and a 15' utility and drainage easement all pertaining to TRACT 1-A1 and 1-B, C.C. & F. PROPERTIES OF ALBUQUERQUE, INC., as shown hereon.

ALBUQUERQUE INNKEEPERS, INC., A TEXAS CORPORATION
OWNER TRACT 4-B1

Shiraz Lalji March 23rd 1987
SHIRAZ LALJI, PRESIDENT DATE

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STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this 23rd day of March, 1987, the foregoing instrument was acknowledged before me. My commission expires November 16, 1990.

Randolph J. King
Notary Public



SURVEYOR'S CERTIFICATION

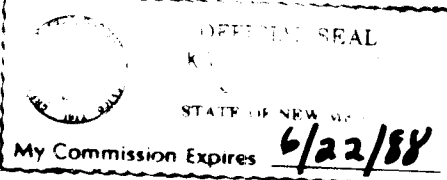
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements as shown on the plats of record, and noted in a title report prepared by TICOR TITLE INSURANCE COMPANY on December 19, 1985, Policy No. 55269-A and a commitment for title insurance prepared by SAFECO TITLE INSURANCE COMPANY on September 19, 1986, Commitment No. 602668, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing as interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 02-18-87
Timothy Aldrich, N.M.P.L.S. No. 7719 Date

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

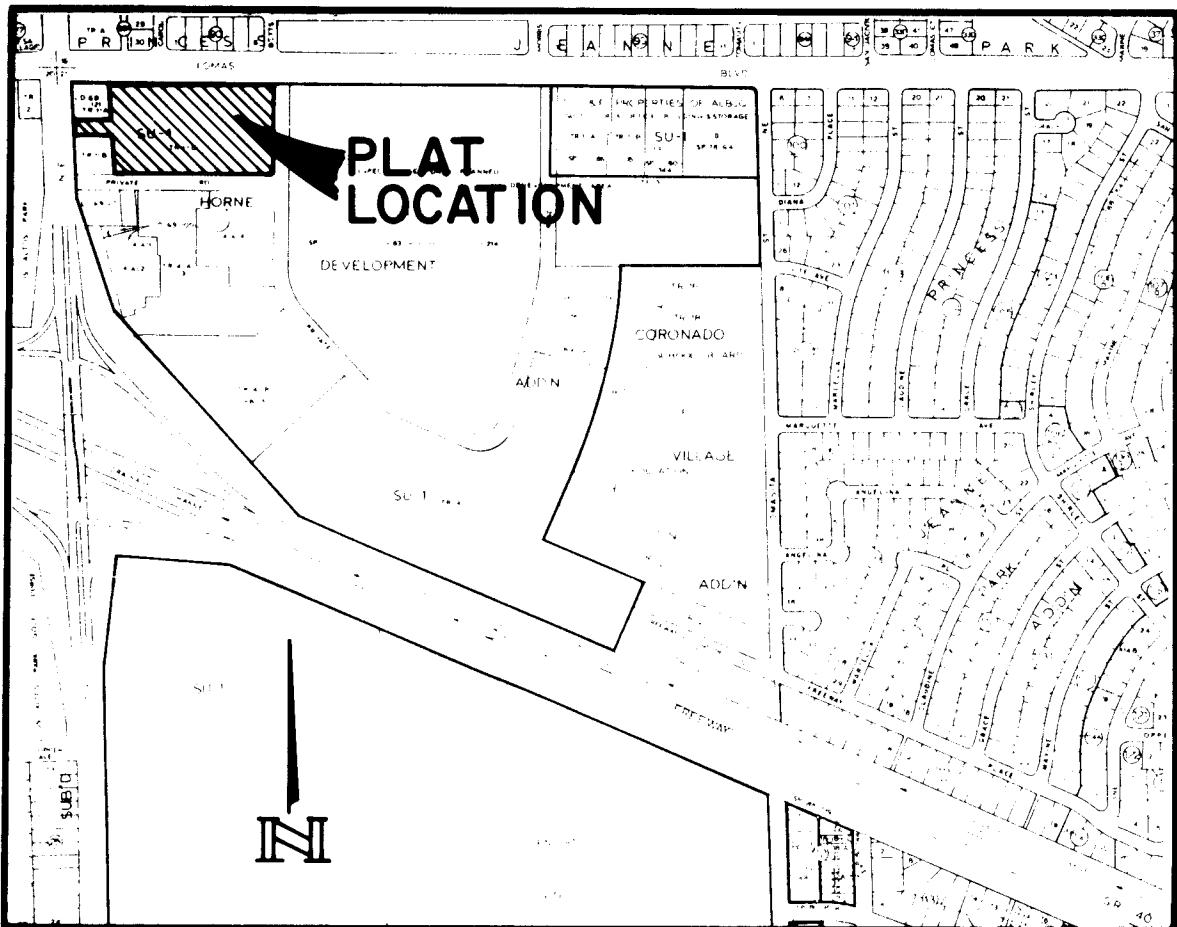
On this 18th day of February, 1987, the SURVEYOR'S CERTIFICATION was acknowledged before me.

Karen R. Hildner
Notary Public



Job No. 7721
Office T.A., J.L.
Draft R.D., R.M.O.
P.B. 174, 185
Date 1-15-87

ESPEY, HUSTON & ASSOC. INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(505) 242-1909



LOCATION MAP
SCALE: 1"=800'

K-21

UTILITY COUNCIL LOCATION SYSTEM LOG No. 10-22-2217

DESCRIPTION

A tract of land situate within Section 21, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being TRACT I-C1, HORNE DEVELOPMENT ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 17th, 1987 (Book C33, Page 187) and being more particularly described as follows:

BEGINNING at the northwesterly corner of the herein described tract from whence the Albuquerque Control Survey Monument "11-20A" bears N 75°42'32" W, 281.49 feet, said northwesterly corner being common with the northeast corner of TRACT I-A, HORNE DEVELOPMENT ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 29th, 1968 (Book D4, Page 4) and further being on the south right-of-way line of LOMAS BOULEVARD N.E.;

THENCE along said right-of-way line S 87°49'55"E, 496.80 feet to a point of curvature;

THENCE leaving said right-of-way line 102.14 feet along a curve to the right whose radius is 65.00 feet through a central angle of 90°02'10" and whose long chord bears S 47°11'01" W, 42.41 feet to a point of tangency, said point being on the most westerly right-of-way line of HOTEL CIRCLE N.E.;

THENCE along said right-of-way line S 02°12'16" W, 261.05 feet to a point of curvature;

THENCE leaving said right-of-way line 47.10 feet along a curve to the right whose radius is 30.00 feet through a central angle of 89°57'30" and whose long chord bears S 47°11'01" W, 42.41 feet to a point of tangency, said point being on the north right-of-way line of HOTEL AVENUE N.E.;

THENCE along said right-of-way line N 87°50'14" W, 511.65 feet to a point, said point being common with the southeast corner of TRACT I-B1, HORNE DEVELOPMENT ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 17th, 1987 (Book C33, Page 187);

THENCE leaving said right-of-way line N 00°58'15" W, 150.14 feet to a point, said point being common with the northeast corner of said TRACT I-B1, HORNE DEVELOPMENT ADDITION;

THENCE N 87°27'03" W, 150.34 feet to a point, said point being common with the northwest corner of said TRACT I-B1, HORNE DEVELOPMENT ADDITION and further being on the east right-of-way line of EUBANK BOULEVARD N.E.;

THENCE along said right-of-way line N 00°58'15" W, 54.91 feet to a point, said point being common with the southwest corner of said TRACT I-A, HORNE DEVELOPMENT ADDITION;

THENCE leaving said right-of-way line S 87°56'11"E, 150.16 feet to a point, said point being common with the southeast corner of said TRACT I-A, HORNE DEVELOPMENT ADDITION;

THENCE N 01°06'01" W, 150.34 feet to the point of beginning and containing 4.6754 acres more or less.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner and/or proprietor thereof. Said owner and/or proprietor do hereby dedicate street right-of-way as shown hereon to the City of Albuquerque in fee simple. Any portion of any additional street right-of-way dedicated herein shall revert to the owner, its successors and assigns as and to the extent said portion is declared unnecessary for street right-of-way by the City of Albuquerque. Any reversion shall be conveyed by quitclaim deed.

CENTRE EAST JOINT VENTURE, a New Mexico Partnership

Steve Johnson
Steve Johnson, Managing General Partner
11-9-87
Date

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

On this 9th day of November, 1987, the foregoing instrument was acknowledged before me.

Jeanie Baxter
Jeanie Baxter
Notary Public

8-30-89

87119385

PLAT FOR
HORNE DEVELOPMENT ADDITION
TRACT I-C1A
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 1987

PURPOSE OF THIS PLAT

1. Dedicate street right-of-way to the City of Albuquerque in fee simple as shown hereon.

APPROVED AND ACCEPTED BY:

Subdivision Case No. **SP-87-387**
Jack Cline
Planning Director, City of Albuquerque, New Mexico
11-17-87
Date
Frank J. Aguirre
City Engineering Division, City of Albuquerque, New Mexico
11-17-87
Date
Frank J. Aguirre
Albuquerque Metropolitan Arroyo Flood Control Authority
11-17-87
Date
W. H. H. H.
Traffic Division, City of Albuquerque, New Mexico
11-17-87
Date
W. H. H. H.
Water Utilities Department, City of Albuquerque, New Mexico
11-17-87
Date
James S. S.
Recreation Department, City of Albuquerque, New Mexico
11-17-87
Date
John L. L.
City Surveyor, City of Albuquerque, New Mexico
11-17-87
Date
John L. L.
Property Management, City of Albuquerque, New Mexico
11-17-87
Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows a true and correct description of the land shown hereon, and that the same is in accordance with the requirements of the laws of the State of New Mexico. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
Timothy Aldrich, N.M.P.L.S., No. 7719
10-26-87
Date

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

On this 26th day of October, 1987, the SURVEYOR'S CERTIFICATION was acknowledged before me.

Karen L. L.
Karen L. L.
Notary Public

Job No. 10616
Office J.L.
Draft J.L.
F.B. #240
Date 10-23-87

ESPEY, HUSTON & ASSOC., INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(505) 242-1909

SHEET 1 OF 2

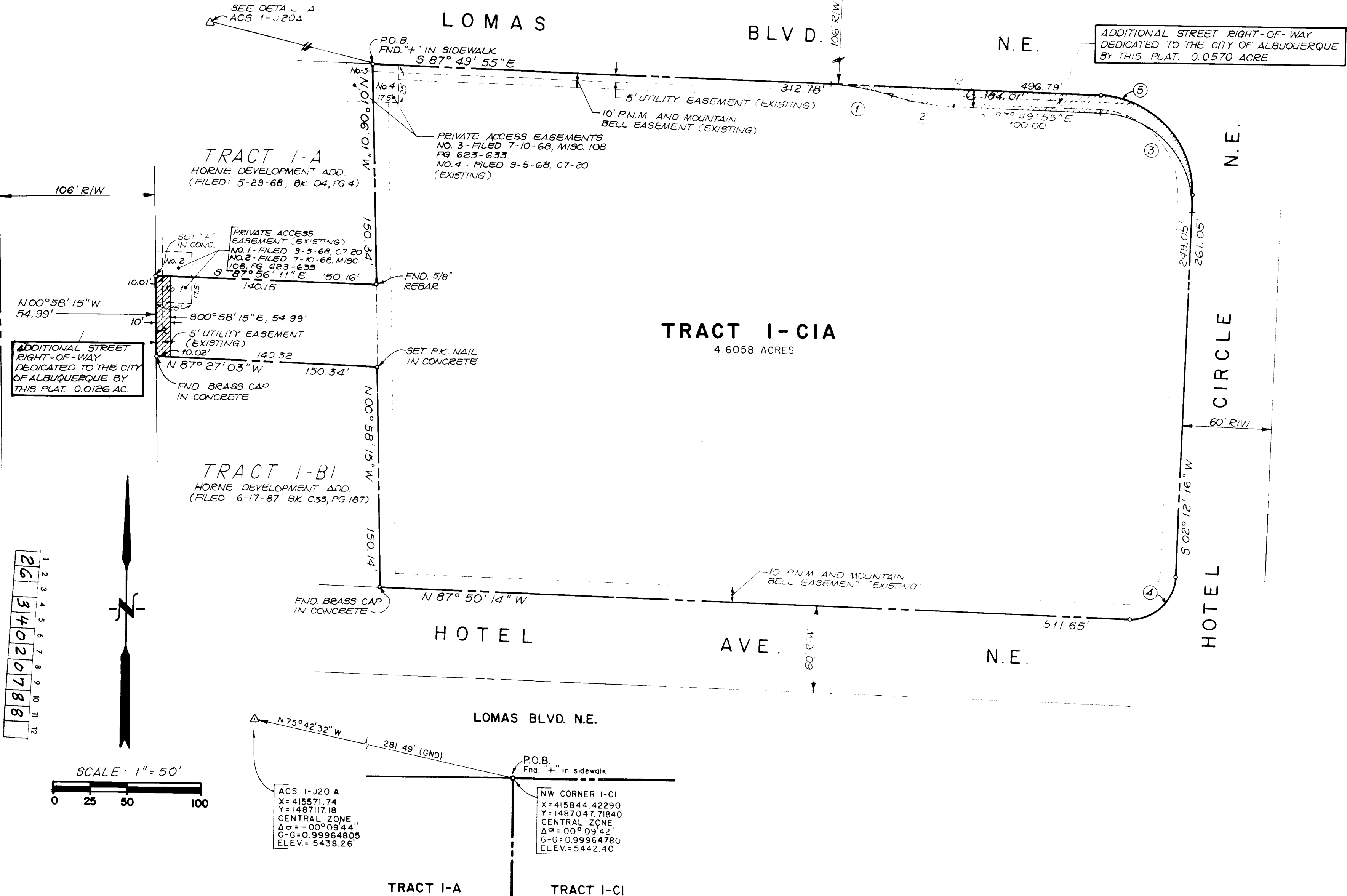
C35-43(1)

UTILITY COUNCIL LOCATION SYSTEM LOG No. 10-22-2217

87119385

PLAT FOR
HORNE DEVELOPMENT ADDITION
TRACT I-C1A
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 1987

- ① R=150.00'
Δ=16°15'37"
L=42.57'
T=21.43'
CH BRG. = S 79°42'06"E
CH L=42.43'
- ② R=150.00'
Δ=16°15'37"
L=42.57'
T=21.43'
CH BRG. = S 79°42'06"E
CH L=42.43'
- ③ R=65.00'
Δ=89°57'30"
L=47.10'
T=29.98'
CH BRG. = S 47°11'01"W
CH L=42.41'
- ④ R=30.00'
Δ=89°57'30"
L=47.10'
T=29.98'
CH BRG. = S 47°11'01"W
CH L=42.41'
- ⑤ R=65.00'
Δ=90°02'11"
L=102.14'
T=65.04'
CH BRG. = S 42°48'49"E
CH L=91.95'



NOTE
THE WESTERLY CORNER OF TRACT I-C1A, AS SHOWN ON THIS PLAT, IS SUBJECT TO A REVISION FROM THE 100' R/W LINE. THIS NOTE REQUESTS THAT THE CITY ENGINEER REVISION THE PLAT FILED 8-10-83.

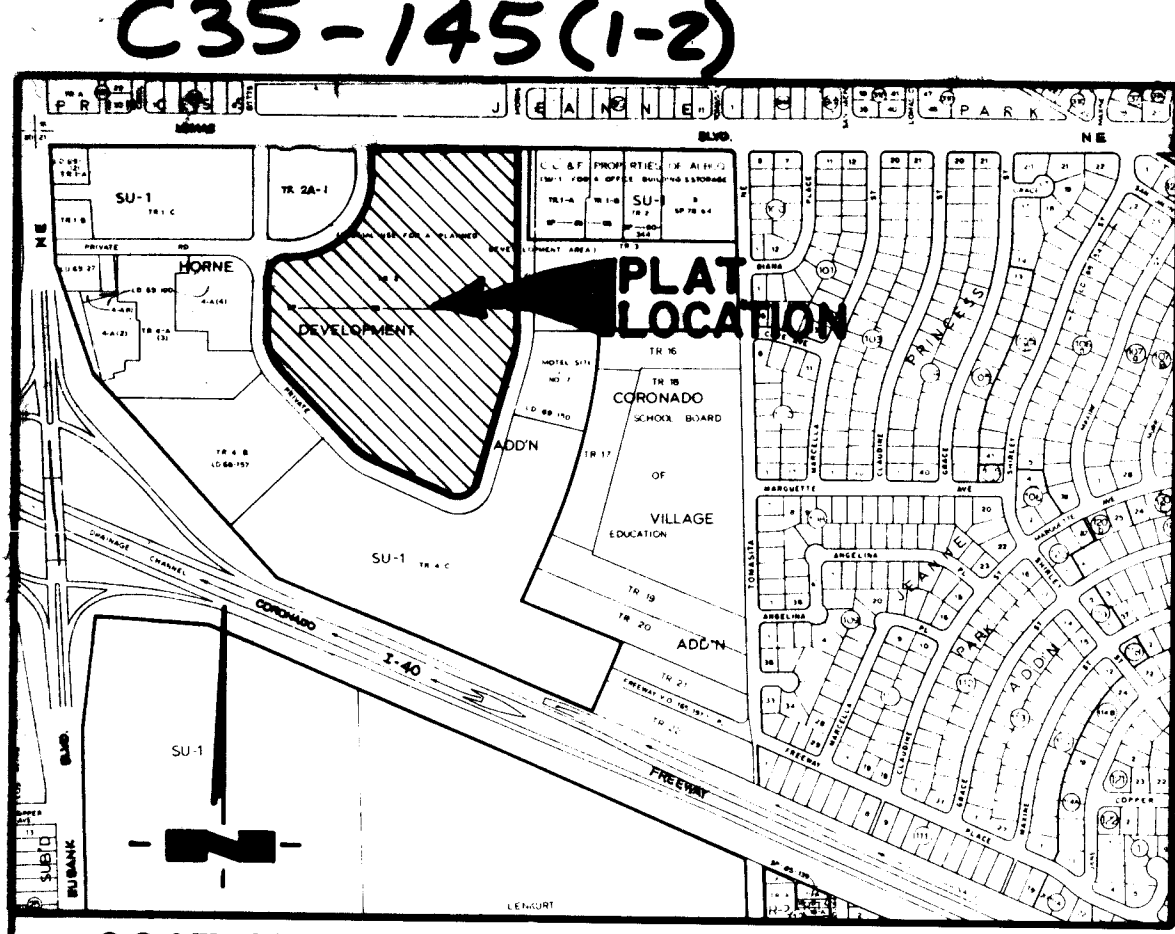
DETAIL "A" -- CONTROL STATION TIE

SHEET 2 OF 2

Job No. 10616
Office J.L.
Draft R.D.
F.B. #240
Date 10-23-87

ESPEY, HUSTON & ASSOC., INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(505) 242-1909

C35-43(2)



UTILITY COUNCIL LOCATION SYSTEM LOG No. 12-16-1346

DESCRIPTION

A tract of land situated within Section 21, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being TRACTS 2A-2, 2A-3, 2A-4 and 2A-5 HORNE DEVELOPMENT ADDITION, as the same as shown and designated on the corrected plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 23, 1987 (C35-42(1-2)) and being more particularly described as follows:

BEGINNING at a point on the south right-of-way line of LOMAS BOULEVARD NE, from whence the ACS Brass Cap "1-J20A" bears N 85° 23' 02" W, 1383.99 feet;

THENCE along said south right-of-way line S 87° 49' 55" E, 304.02 feet to a point of curvature;

THENCE continuing 48.74 feet along a curve to the right, whose radius is 140.00 feet, through a central angle of 19° 56' 55" to a point of tangency;

THENCE continuing 20.89 feet along a curve to the left, whose radius is 60.00 feet through a central angle of 19° 56' 55" to a point of tangency;

THENCE continuing 87° 49' 55" E, 60.00 feet to a point of curvature;

THENCE leaving said south right-of-way line, 19.88 feet along a curve to the right, whose radius is 25.00 feet through a central angle of 45° 34' 23" to a point of compound curvature;

THENCE continuing 50.39 feet along a curve to the right, whose radius is 65.00 feet through a central angle of 44° 25' 08" to a point of tangency, said point being on the west right-of-way line of HOTEL CIRCLE NE;

THENCE along said west right-of-way line, S 02° 09' 36" W, 607.18 feet to a point of curvature;

THENCE continuing 129.24 feet along a curve to the right, whose radius is 470.00 feet, through a central angle of 15° 45' 20" to a point of tangency;

THENCE continuing S 17° 54' 56" W, 499.58 feet to a point of curvature;

THENCE continuing 118.84 feet along a curve to the right, whose radius is 70.00 feet, through a central angle of 97° 16' 24" to a point of tangency, said point being on the north right-of-way line of HOTEL CIRCLE NE;

THENCE along said north right-of-way line N 64° 48' 40" W, 284.38 feet to a point of curvature;

THENCE continuing 184.80 feet along a curve to the right, whose radius is 446.81 feet, through a central angle of 23° 41' 52" to a point of tangency, said point being on the east right-of-way line of HOTEL CIRCLE NE;

THENCE along said east right-of-way line, N 41° 06' 48" W, 341.74 feet to a point of curvature;

THENCE continuing 167.81 feet along a curve to the right, whose radius is 221.96 feet, through a central angle of 43° 19' 04" to a point of tangency;

THENCE continuing N 02° 12' 16" E, 192.85 feet to a point of curvature;

THENCE leaving said east right-of-way line 157.01 feet along a curve to the right, whose radius is 100.00 feet, through a central angle of 89° 57' 30" to a point of tangency, said point being on the south right-of-way line of HOTEL AVENUE NE;

THENCE along said south right-of-way line S 87° 50' 14" E, 24.55 feet to a point of curvature;

THENCE continuing along the southeasterly right-of-way line of HOTEL AVENUE NE 520.69 feet along a curve to the right, whose radius is 331.50 feet, through a central angle of 89° 59' 41" to a point of tangency, said point being on the east right-of-way line of HOTEL AVENUE NE;

THENCE along said east right-of-way line N 02° 10' 05" E, 54.55 feet to a point of curvature;

THENCE leaving said east right-of-way line 47.12 feet along a curve to the right, whose radius is 30.00 feet, through a central angle of 90° 00' 00" to the point of beginning and containing 20.6098 acres more or less.

FREE CONSENT

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owners and/or proprietors thereof. Said owners and/or proprietors do hereby grant Public Waterline easements as shown hereon to the City of Albuquerque.

MARKET CENTER EAST ASSOCIATES, a California General Partnership
BY: DEAN A. BECK AND ASSOCIATES, INC., California Corporation
Russell G. Beckner, President
STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES)
On this 22nd day of December, 1987, the foregoing instrument was acknowledged before me.

Donna A. Gil
Notary Public
OFFICIAL SEAL
DONNA A. GIL
NOTARY PUBLIC
STATE OF CALIFORNIA
MY COMMISSION EXPIRES 12/31/91

886122

PLAT OF

HORNE DEVELOPMENT ADDITION
TRACTS 2A-2A THROUGH 2A-5A

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER 1987

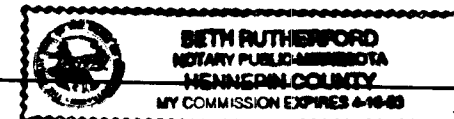
DAYTON HUDSON CORPORATION, a Minnesota Corporation

Jack J. Fontaine, Sr. Vice President of Target Stores

STATE OF MINNESOTA)
COUNTY OF Hennepin)

On this 4th day of January, 1988, the foregoing instrument was acknowledged before me.

Barry R. Rasmussen
Notary Public



APPROVED AND ACCEPTED BY:

Subdivision Case No. 1-22-88
Planning Director, City of Albuquerque, New Mexico 1-12-88
City Engineering Division, City of Albuquerque, New Mexico 1-12-88
Albuquerque Metropolitan Arroyo Flood Control Authority 1-12-88
Title Division, City of Albuquerque, New Mexico 1-12-88
Water Utilities Department, City of Albuquerque, New Mexico 1-12-88
Public Records Department, City of Albuquerque, New Mexico 1-12-88
City of Albuquerque, City of Albuquerque, New Mexico 01/22/88
City of Albuquerque, City of Albuquerque, New Mexico 1/8/88
Property Management, City of Albuquerque, New Mexico 1/8/88

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record, and noted in a title report prepared by TIGOR TITLE INSURANCE COMPANY on December 19, 1985, Policy No. 55269-A and a commitment for title insurance prepared by SAFECO TITLE INSURANCE COMPANY on September 19, 1986, Commitment No. 602668, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."



STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this 6th day of January, 1988, the foregoing instrument was acknowledged before me.

Karen L. Hicken
Notary Public

OFFICIAL SEAL
KAREN L. HICKEN
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 6/22/91

Job No. 10617
Office RD, J.L.
Sheet RD
P.B. #174 & #185
Date 12/87

ESPEY, HUSTON & ASSOC. INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(808) 242-1009

SHEET 1 OF 2

C35-145(2-2)
UTILITY COUNCIL LOCATION SYSTEM LOG No. 12-16-1346

886122

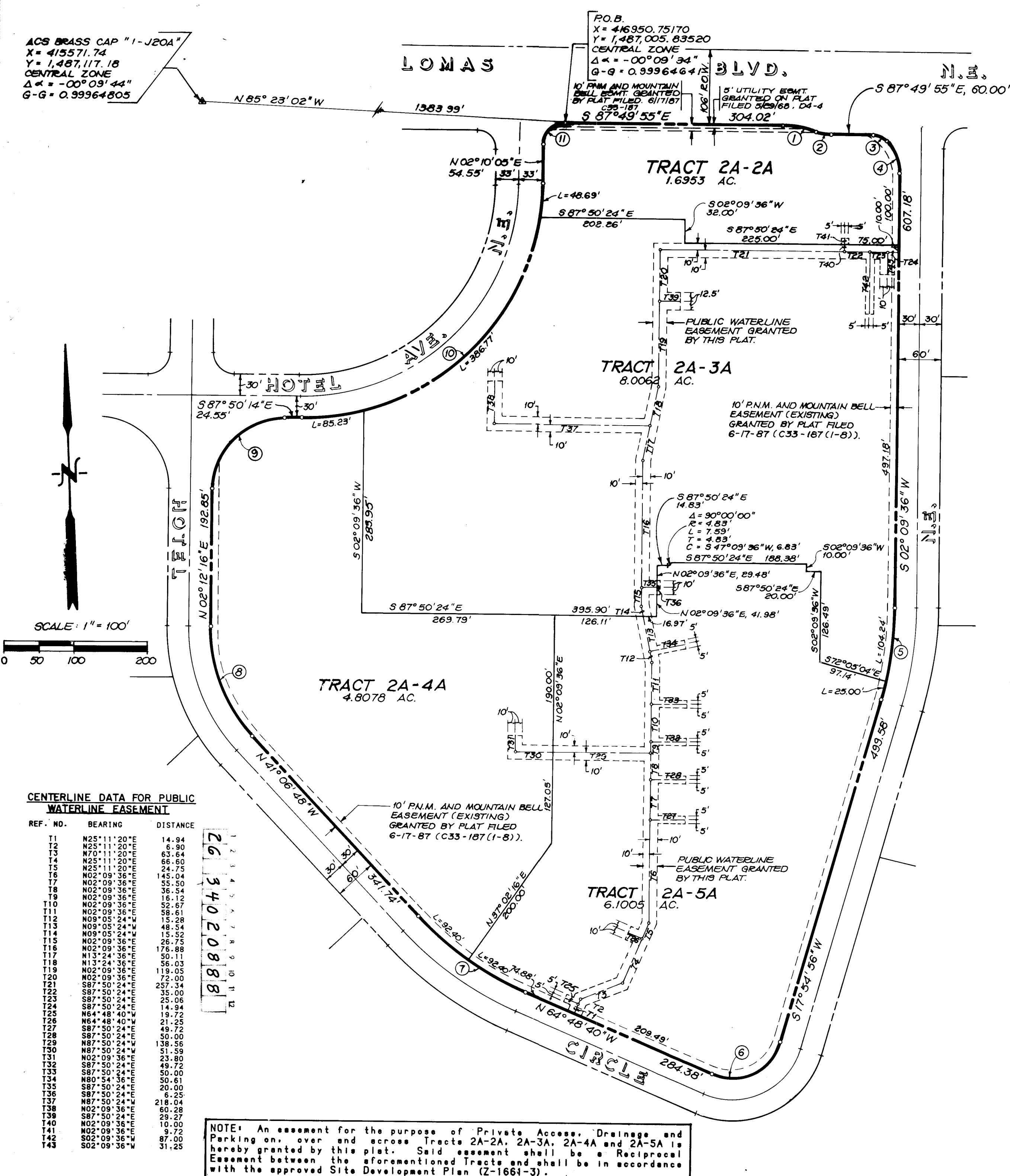
PLAT OF

HORNE DEVELOPMENT ADDITION
TRACTS 2A-2A THROUGH 2A-5A

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER 1987

State of New Mexico)
County of Bernalillo)
This instrument was filed for record on
JAN 22 1988
At 4:00 P.M. Recorded in Vol. C35
of records of said County, Folio 145
By: [Signature]



CURVE	DELTA	RADIUS	TABLE	
			ARC L	TANGENT
1	19° 56' 55"	140.00	48.74	24.62
2	19° 56' 55"	60.00	20.89	10.55
3	45° 34' 23"	25.00	19.88	10.50
4	44° 25' 08"	65.00	50.39	26.54
5	15° 45' 20"	470.00	129.24	65.03
6	97° 16' 24"	70.00	118.84	79.50
7	23° 41' 52"	446.81	184.80	93.74
8	43° 19' 04"	221.96	167.81	88.14
9	89° 57' 30"	100.00	157.01	99.93
10	89° 59' 41"	331.50	520.69	331.47
11	90° 00' 00"	30.00	47.12	30.00

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record, and noted in a title report prepared by TIGOR TITLE INSURANCE COMPANY on December 19, 1985, Policy No. 55269-A and a commitment for title insurance prepared by SAFECO TITLE INSURANCE COMPANY on September 19, 1986, Commitment No. 602668, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."



STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this 6th day of January, 1988, the foregoing instrument was acknowledged before me.

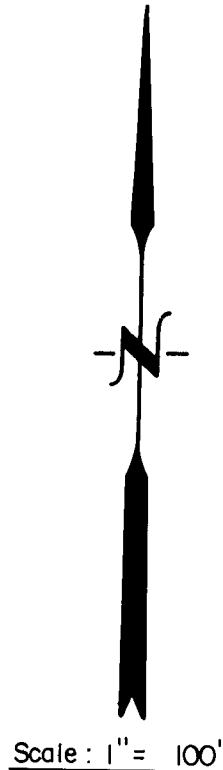
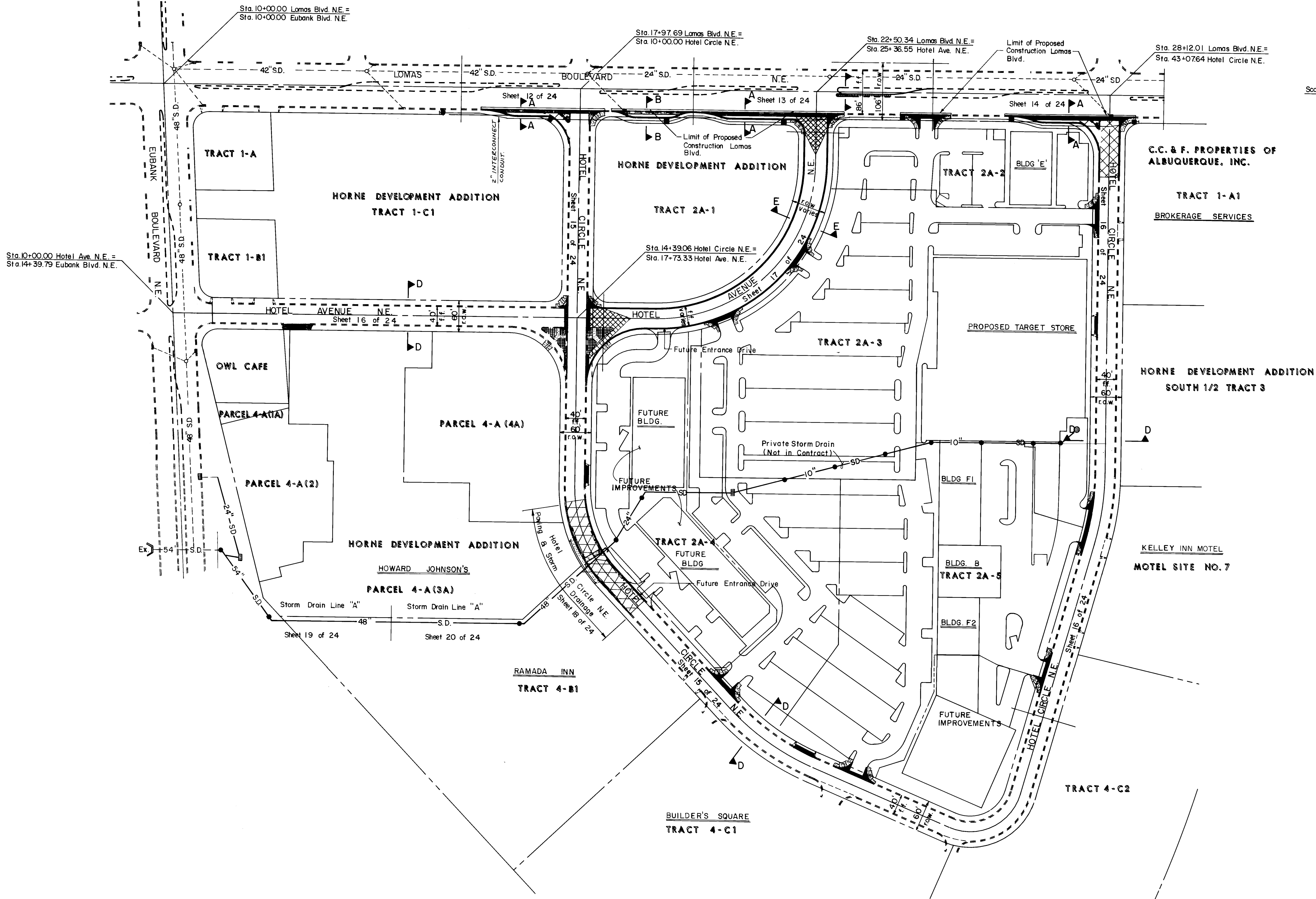
Karen L. Hicken
Notary Public

OFFICIAL SEAL
KAREN L. HICKEN
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 6/22/91

Job No. 10617
Office RD, J.L.
Sheet RD
P.B. #174 & #185
Date 12/87

ESPEY, HUSTON & ASSOC. INC.
Engineers • Planners • Surveyors
317 COMMERCIAL STREET N.E.
ALBUQUERQUE, NEW MEXICO 87102
(808) 242-1009

SHEET 2 OF 2



PAVING CONSTRUCTION NOTES

- All stationing and offset dimensions are based on centerline of Right-Of-Way.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2401	2421	2431
2405	2425	2440
2408	2426	2441
2415	2430	2460
2420		

LEGEND

	REMOVE & REPLACE EXISTING PAVEMENT, CURB & GUTTER AND SIDEWALK
	EXISTING CURB & GUTTER AND SIDEWALK
	EXISTING DRIVEPADS
	PROPOSED MILLING AND PROPOSED 1" ASPHALT CONCRETE & 5/8" PLANT MIX SEAL COAT
	PROPERTY OR BOUNDARY LINE
	CENTERLINE OF STREET
	PROPOSED CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED CONCRETE VALLEY GUTTER
	PROPOSED WHEELCHAIR RAMP
	FUTURE WHEELCHAIR RAMP
	FUTURE CONCRETE VALLEY GUTTER
	TRANSITION FROM CROWN TO NO CROWN
	EXISTING MANHOLE
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING TELEPHONE RISER
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	PATTERNED MEDIAN CONC.
	PULLBOX PER C.O.A. DWG 2520

ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN	
CONTRACTOR	DATE	A. Square Chiselled on Top of a Concrete Curb Located at ENE Curb Return of the Intersection of Lomas Blvd N.E. and Morris Street N.E. Elevation = 5579.817 (M.S.L.D.)	NO.	BY	NO.	BY		NO.	DATE	DESIGNED BY	DATE
INSPECTOR'S	DATE							DRAWN BY	DATE	CHECKED BY	DATE
FIELD	DATE										
VERIFICATION BY	DATE										
MICRO-FILM INFORMATION											
RECORDED BY	DATE										

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: MARKET CENTRE EAST
OVERALL PAVING & STORM DRAINAGE PLAN

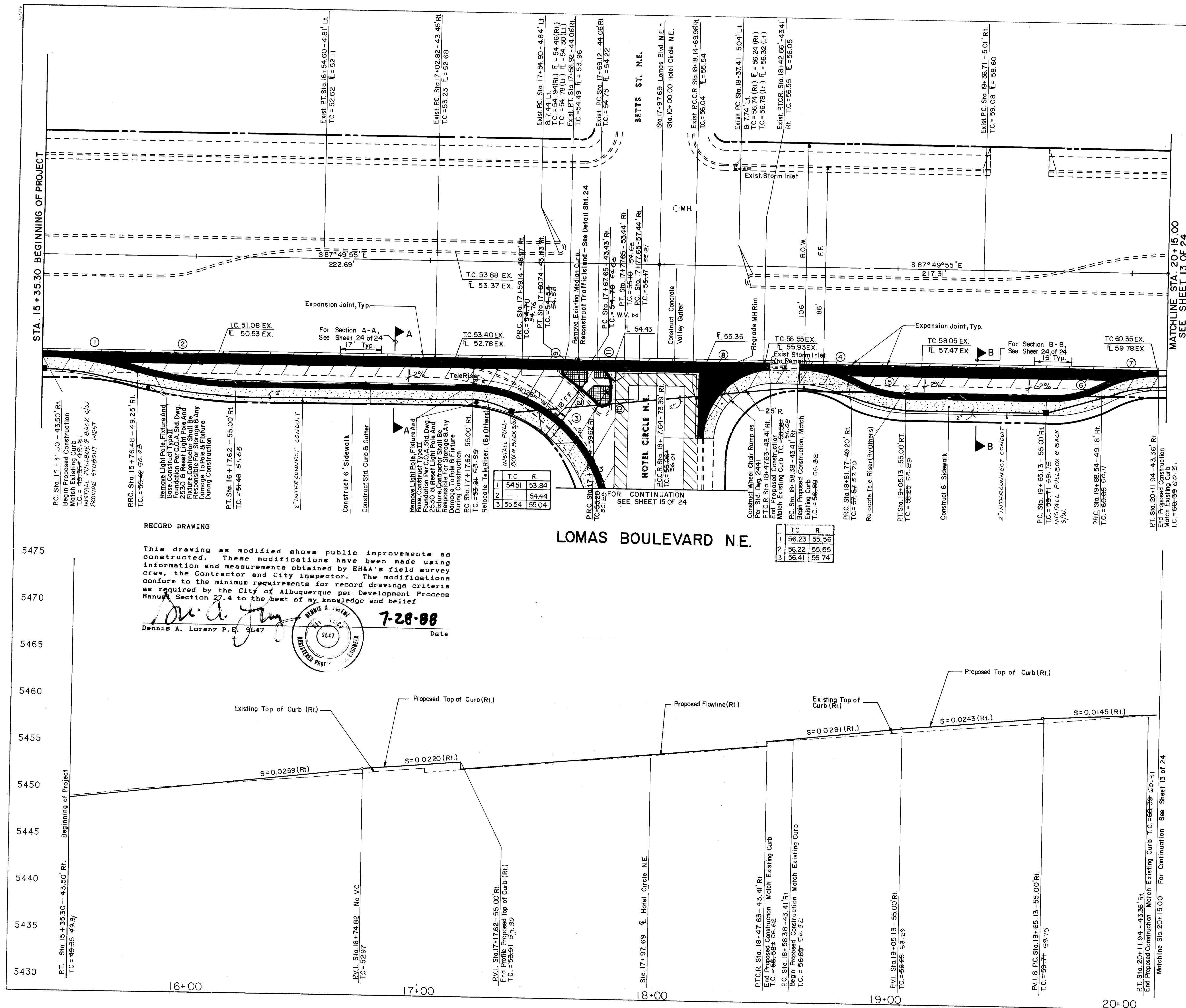
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair		2/9/99	Hydrology		1-20-99
Trans. Dev		1/20/99			
Utility Dev		1/19/99			

DRAWING NO.	3402	MAP NO.	K-21	SHEET	10	OF	24
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DRAWING NO.	3402	MAP NO.	K-21	SHEET	11	OF	24
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[illegible]



RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EHA's field survey crew, the Contractor and City inspector. The modifications conform to the minimum requirements for record drawings criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.

Dennis A. Lorenz P.E. 9647
Date 7-28-88

LOMAS BOULEVARD NE.

CURVE DATA

CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	15°56'01"	150.00	41.71	20.99
2	15°55'03"	150.00	41.67	20.97
3	90°02'11"	60.00	94.29	60.04
4	27°52'47"	50.00	24.33	12.41
5	27°51'49"	50.00	24.32	12.40
6	27°55'00"	50.00	24.36	12.43
7	27°54'02"	50.00	24.35	12.42
8	89°56'51"	30.00	47.10	29.97
9	147°49'00"	3.00'	7.74'	10.40'
10	134°43'30"	3.00'	7.05'	7.19'
11	90°03'09"	10.00'	15.72'	10.01'
12	12°35'39"	78.00'	17.15'	8.61'

PAVING CONSTRUCTION NOTES

- All stationing and offset dimensions are based on centerline of Right-Of-Way.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2401	2421	2431
2405	2425	2440
2408	2426	2441
2415	2430	2460
2420		

LEGEND

- REMOVE EXISTING PAVEMENT, CURB & GUTTER AND SIDEWALK
- EXISTING DRIVEPADS
- PROPOSED MILLING
- PROPOSED 1" ASPHALTIC CONCRETE & 5/8" PLANT MIX SEAL COAT
- PROPERTY OR BOUNDARY LINE
- CENTERLINE OF STREET
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED WHEELCHAIR RAMP
- FUTURE WHEELCHAIR RAMP
- FUTURE CONCRETE VALLEY GUTTER
- TRANSITION FROM CROWN TO NO CROWN
- EXISTING MANHOLE
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE RISER
- PULLBOX PER C.O.A. DWG 2520
- 2" PVC CONDUIT

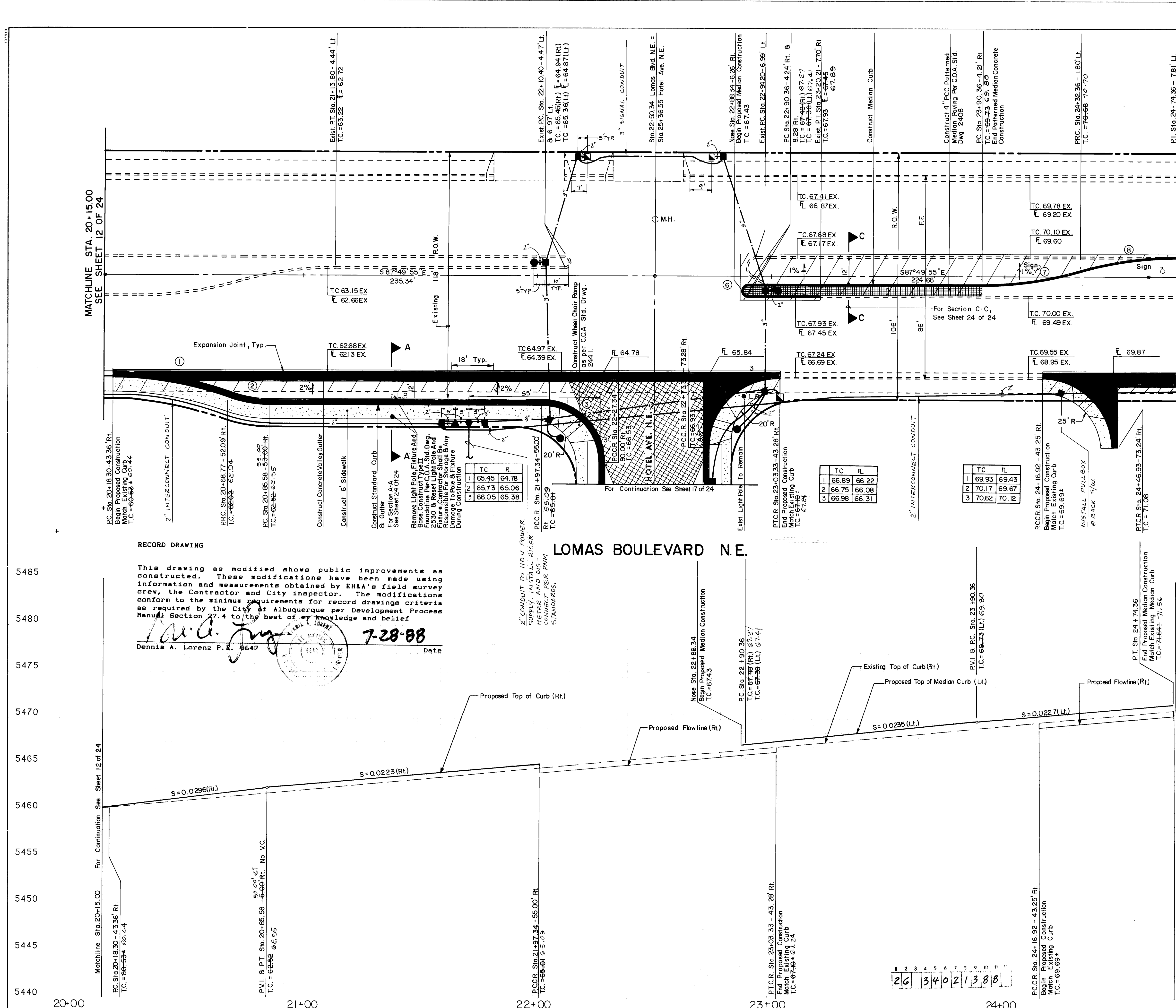
ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE
LOMAS BOULEVARD N.E. STA. 15+75.00 TO STA. 20+15.00
PAVING PLAN AND PROFILE

APPROVAL	DATE	REVISIONS	DESIGN	DATE
APPROVED	7/28/88	Hydrology	N/A	7/28/88
DESIGNED BY	DL JO			
DRAWN BY	SMK			
CHECKED BY	DL			

DRAWING NO. 3402
MAP NO. K-21
SHEET 12 OF 24



RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EHA's field survey crew, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawings criteria as required by the City of Albuquerque per Development Process Manual Section 27.4 to the best of my knowledge and belief.

Dennis A. Lorenz
Dennis A. Lorenz P.E. 5647
Date: 7-28-88

LOMAS BOULEVARD N.E.

CURVE DATA

CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	19°39'33"	150.00	51.47	25.99
2	19°38'35"	50.00	17.14	8.66
3	90°00'00"	30.00	47.12	30.00
4	89°59'02"	30.00	47.12	29.99
5	90°00'29"	30.00	47.13	30.00
6	180°00'00"	4.04	6.34	-----
7	16°15'37"	150.00	42.57	21.43
8	16°15'37"	150.00	42.57	21.43

PAVING CONSTRUCTION NOTES

- All stationing and offset dimensions are based on centerline of Right-Of-Way.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2401	2421	2431
2405	2425	2440
2408	2426	2441
2415	2430	2460
2420		

LEGEND

- PEDESTAL FOUNDATION (C.O.A. 2525)
- PULL BOX, LARGE (C.O.A. 2521)
- TYPE II CONTROLER FOUNDATION (C.O.A. 2527)
- SPLICE CABINET FOUNDATION (C.O.A. 2525)
- TYPE II WAST ARM FOUNDATION (C.O.A. 2526)
- 3" PVC CONDUIT
- 2" PVC CONDUIT
- REMOVE EXISTING PAVEMENT, CURB & GUTTER AND SIDEWALK
- EXISTING CURB & GUTTER AND SIDEWALK
- EXISTING DRIVEPADS
- PROPOSED MILLING
- PROPOSED 1" ASPHALTIC CONCRETE & 5/8" PLANT MIX SEAL COAT
- PROPERTY OR BOUNDARY LINE
- CENTERLINE OF STREET
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED WHEELCHAIR RAMP
- FUTURE WHEELCHAIR RAMP
- FUTURE CONCRETE VALLEY GUTTER
- TRANSITION FROM CROWN TO NO CROWN
- EXISTING MANHOLE
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE RISER
- PATTERNED MEDIAN CONCRETE

ENGINEER'S SEAL

Dennis A. Lorenz
Dennis A. Lorenz
Professional Engineer
12-10-87

REVISIONS

NO.	DATE	REMARKS
1	12-07-87	DESIGN
2	12-07-87	SMF
3	1-11-88	DL

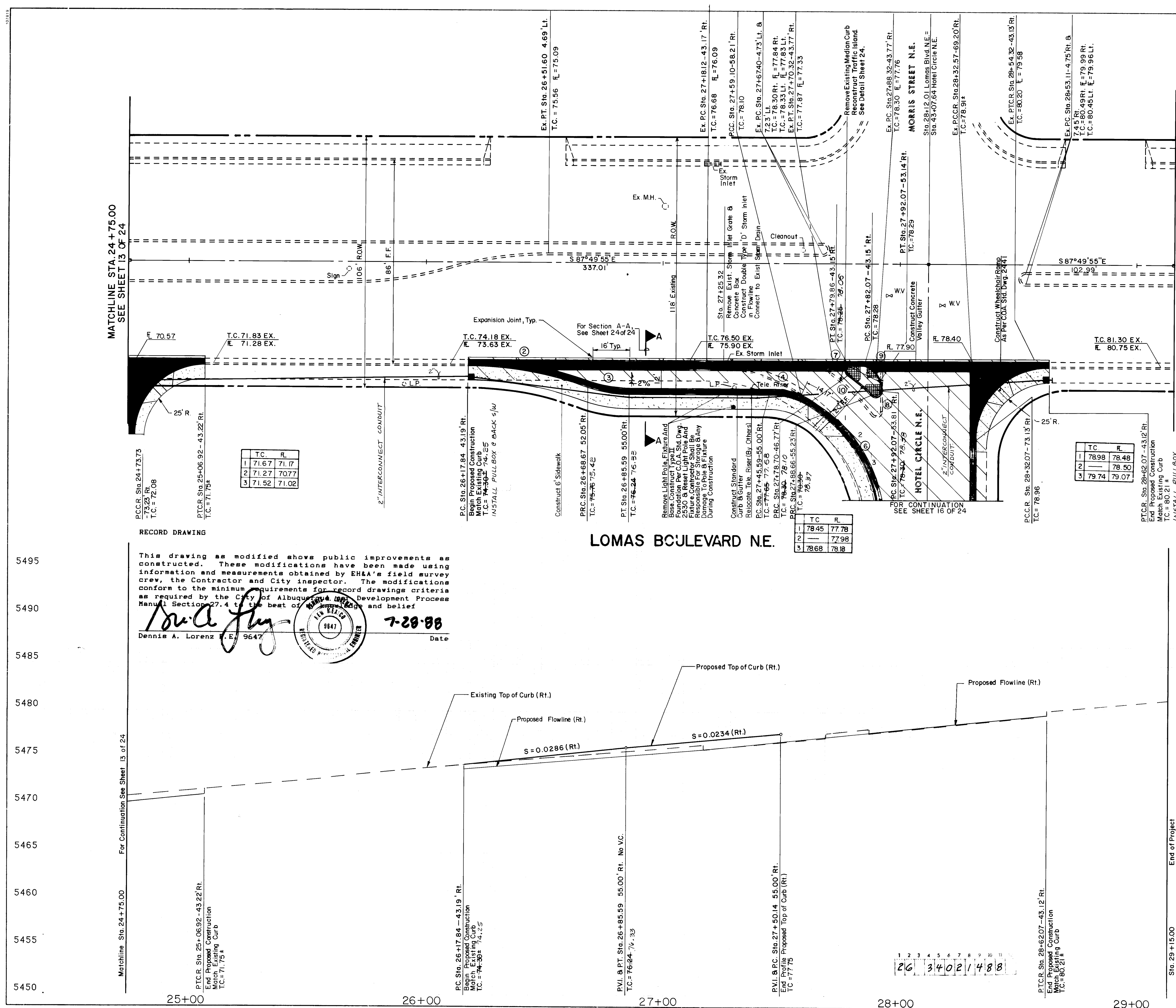
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE
MARKET CENTRE EAST
LOMAS BOULEVARD N.E. STA. 20+15.00 TO STA. 24+75.00
PAVING PLAN AND PROFILE

APPROVALS

APPROVALS	DATE	APPROVALS	DATE
DRG. Chief	12/9/87	Hydrology	1-20-88
Trans. Dev.	12/9/87	N/A RAS	
Utility Dev.	12/9/87		

DRAWING NO. 3402
MAP NO. K-21
SHEET 13 **OF** 24



This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EH&A's field survey crew, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawings criteria as required by the City of Albuquerque Development Process Manual Section 27.4 to the best of the Engineer's knowledge and belief.

Dennis A. Lorenz
Dennis A. Lorenz, E.E. 9647
7-20-88
Date

CURVE DATA

CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	89°59'31"	30.00	47.12	30.00
2	19°48'10"	150.00	51.84	26.18
3	19°47'12"	50.00	17.27	8.72
4	26°46'00"	30.00	14.02	7.14
5	89°59'31"	30.00	47.12	30.00
6	63°13'31"	60.00	66.21	36.93
7	144°20'30"	2.00	5.04	6.22
8	135°01'01"	2.00	4.71	4.83
9	90°00'29"	10.00	15.71	10.00
10	09°22'00"	80.00	13.08	6.55

PAVING CONSTRUCTION NOTES

- All stationing and offset dimensions are based on centerline of Right-Of-Way.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2401	2421	2431
2405	2425	2440
2408	2426	2441
2415	2430	2460
2420		

LEGEND

	REMOVE EXISTING PAVEMENT
	EXISTING CURB & GUTTER
	EXISTING DRIVEWAY
	PROPOSED MILLING
	PROPOSED 1" ASPHALTIC CONCRETE & 5/8" PLANT MIX SEAL COAT
	PROPERTY OR BOUNDARY LINE
	CENTERLINE OF STREET
	PROPOSED CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED CONCRETE VALLEY GUTTER
	PROPOSED WHEELCHAIR RAMP
	FUTURE WHEELCHAIR RAMP
	FUTURE CONCRETE VALLEY GUTTER
	TRANSITION FROM CROWN TO NO CROWN
	EXISTING MANHOLE
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING TELEPHONE RISER
	2" PVC CONDUIT
	PATTERNED MEDIAN CONCRETE
	PULL BOX PER C.O.A. DWG 2520

ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE
MARKET CENTRE EAST
LOMAS BOULEVARD N.E. STA. 24+75.00 TO STA. 29+15.00
PAVING PLAN AND PROFILE

APPROVALS	DATE
DRC: <i>[Signature]</i>	12-88
Trans. Div.	
Utility Div.	

NO.	DATE	REVISIONS	BY
1	12-87	DESIGN	J.O.
2	12-87	STAFF	D.L.
3	1-11-88	REVIEW	D.L.

DRAWING NO.	3402	MAP NO.	K-21	SHEET	14	OF	24
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RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EH&A's field survey crew, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawings criteria as required by the City of Albuquerque per Development Process Manual Section 27.4 to the best of my knowledge and belief.

Dennis A. Lorenz P.E. 9647

7-28-88

Date

HOTEL CIRCLE N.E.
STA. 19+52.31 TO STA. 31+00.00

1 2 3 4 5 6 7 8 9 10 11 12
26 34 02 15 88

PAVING CONSTRUCTION NOTES

- All stationing and offset dimensions are based on centerline of Right-Of-Way.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2401	2421	2431
2405	2425	2440
2408	2426	2441
2415	2430	2460
2420		
- All existing and proposed manholes and valve boxes located within proposed pavement rehabilitation areas shall be regraded in accordance with s'd. Specifications and Details. No adjusting rings are allowed. New Concrete Collars shall be constructed.
- All broken, cracked or damaged curb stones or sidewalks shall be removed and replaced by direction of the field engineer.

LEGEND

	EXISTING CURB & GUTTER AND SIDEWALK
	EXISTING DRIVEWAYS
	PROPOSED MILLING
	PROPOSED 1" ASPHALTIC CONCRETE & 5/8" PLANT MIX SEAL COAT
	PROPERTY OR BOUNDARY LINE
	CENTERLINE OF STREET
	PROPOSED CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED CONCRETE VALLEY GUTTER
	PROPOSED WHEELCHAIR RAMP
	FUTURE WHEELCHAIR RAMP
	FUTURE CONCRETE VALLEY GUTTER
	TRANSITION FROM CROWN TO NO CROWN
	EXISTING MANHOLE
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING TELEPHONE RISER
	PATTERNED MEDIAN CONCRETE
	REMOVE & REPLACE EXIST. PAVEMENT, CURB & GUTTER & SIDEWALK

ESPEY,
HUSTON &
ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: MARKET CENTRE EAST
HOTEL CIRCLE N.E. STA. 10+00.00 TO STA. 31+00.00
REHABILITATION PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair	<i>[Signature]</i>	2/2/89	Hydrology	<i>[Signature]</i>	1-20-88
Trans. Dev	<i>[Signature]</i>	12/1/88			
Utility Dev	<i>[Signature]</i>	11/1/88			

DRAWING NO. 3402 MAP NO. K-21 SHEET 15 OF 24

CURVE DATA

CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1.	43°19'04"	251.96	190.49	100.06
2.	23°04'152"	476.81	197.21	100.04
3.	97°16'24"	100.00	169.77	113.57
4.	90°02'11"	60.00	94.29	60.04
5.	89°57'30"	30.00	47.10	29.98
6.	90°02'30"	15.00	23.57	15.01
7.	145°20'38"	3.00'	7.61'	9.62'
8.	145°20'38"	3.00'	7.61'	9.62'
9.	22°00'54"	271.46	104.30	52.80
10.	89°56'51"	30.00	47.10	29.97
11.	90°02'30"	30.00	47.15	30.02
12.	89°57'30"	15.00	23.55	14.99
13.	146°02'35"	3.00'	7.65	9.83
14.	146°02'35"	3.00'	7.65	9.83
15.	43°01'08"	231.46	175.13	92.00
16.	21°01'53"	497.32	182.55	92.31
17.	73°18'46"	120.02	153.57	89.32
18.	89°57'56"	25.00	39.25	24.98
19.	90°06'35"	25.00	39.32	25.05
20.	23°35'27"	457.32	188.30	95.50
21.	89°50'50"	25.00	39.27	25.00
22.	90°00'10"	25.00	39.27	25.00
23.	97°16'14"	80.02	135.85	90.88
24.	01°56'01"	271.46	9.16	4.58
25.	90°02'30"	105.00	165.01	105.08
26.	89°57'30"	110.00	172.71	109.92
27.	20°43'46"	121.00'	43.78	22.13
28.	22°02'40"	126.00'	48.48'	24.54

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN	
CONTRACTOR	J.C. HALE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE
STATIONED BY	DATE	STATIONED BY	DATE	STATIONED BY	DATE	STATIONED BY	DATE	STATIONED BY	DATE	STATIONED BY	DATE
ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE
FIELD	DATE	FIELD	DATE	FIELD	DATE	FIELD	DATE	FIELD	DATE	FIELD	DATE
TRANSMITTED BY	DATE	TRANSMITTED BY	DATE	TRANSMITTED BY	DATE	TRANSMITTED BY	DATE	TRANSMITTED BY	DATE	TRANSMITTED BY	DATE
CORRECTED BY	DATE	CORRECTED BY	DATE	CORRECTED BY	DATE	CORRECTED BY	DATE	CORRECTED BY	DATE	CORRECTED BY	DATE
MICRO-FILM	DATE	MICRO-FILM	DATE	MICRO-FILM	DATE	MICRO-FILM	DATE	MICRO-FILM	DATE	MICRO-FILM	DATE
RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE
NO.		NO.		NO.		NO.		NO.		NO.	

DENNIS A. LORENZ
P.E. 9647
12-10-87

12-87

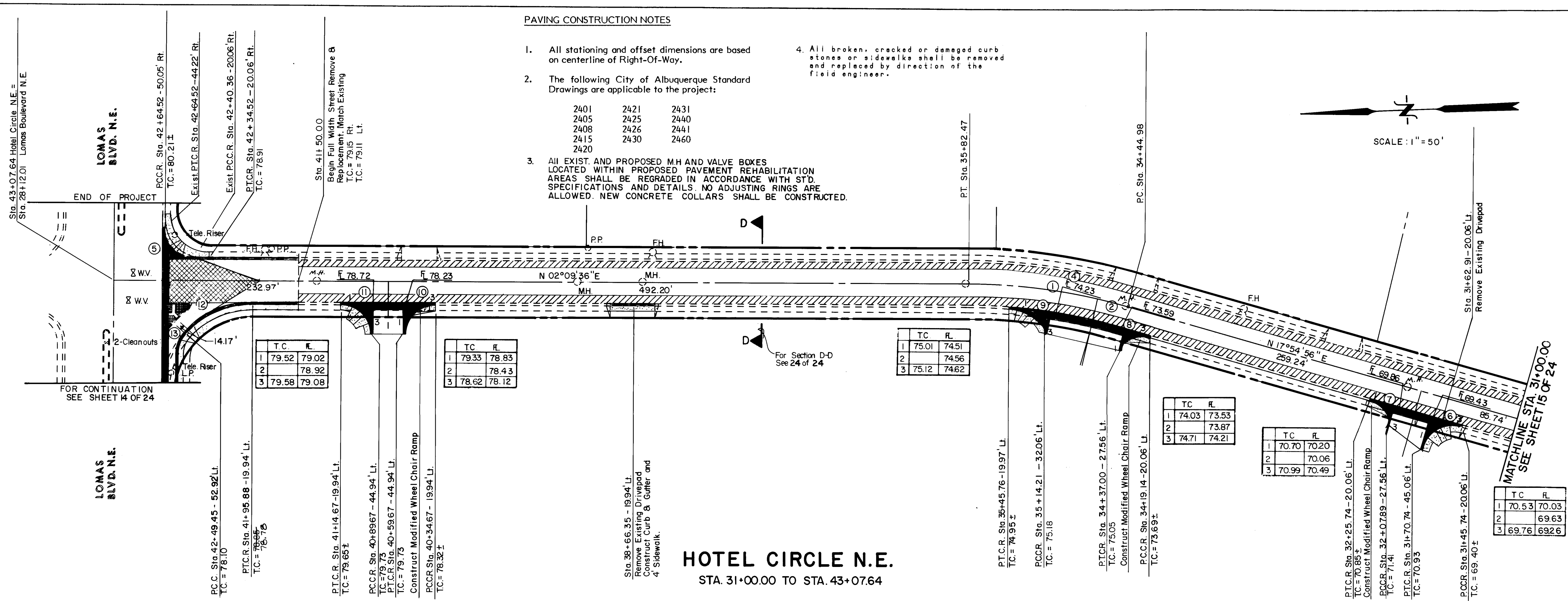
12-87

1-4-88

DESIGNED BY DL JO.

DRAWN BY STAFF

CHECKED BY DL.



PAVING CONSTRUCTION NOTES

- All stationing and offset dimensions are based on centerline of Right-Of-Way.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2401	2421	2431
2405	2425	2440
2408	2426	2441
2415	2430	2460
2420		
- All EXIST. AND PROPOSED M.H. AND VALVE BOXES LOCATED WITHIN PROPOSED PAVEMENT REHABILITATION AREAS SHALL BE REGRADED IN ACCORDANCE WITH STD. SPECIFICATIONS AND DETAILS. NO ADJUSTING RINGS ARE ALLOWED. NEW CONCRETE COLLARS SHALL BE CONSTRUCTED.
- All broken, cracked or damaged curb stones or sidewalks shall be removed and replaced by direction of the field engineer.

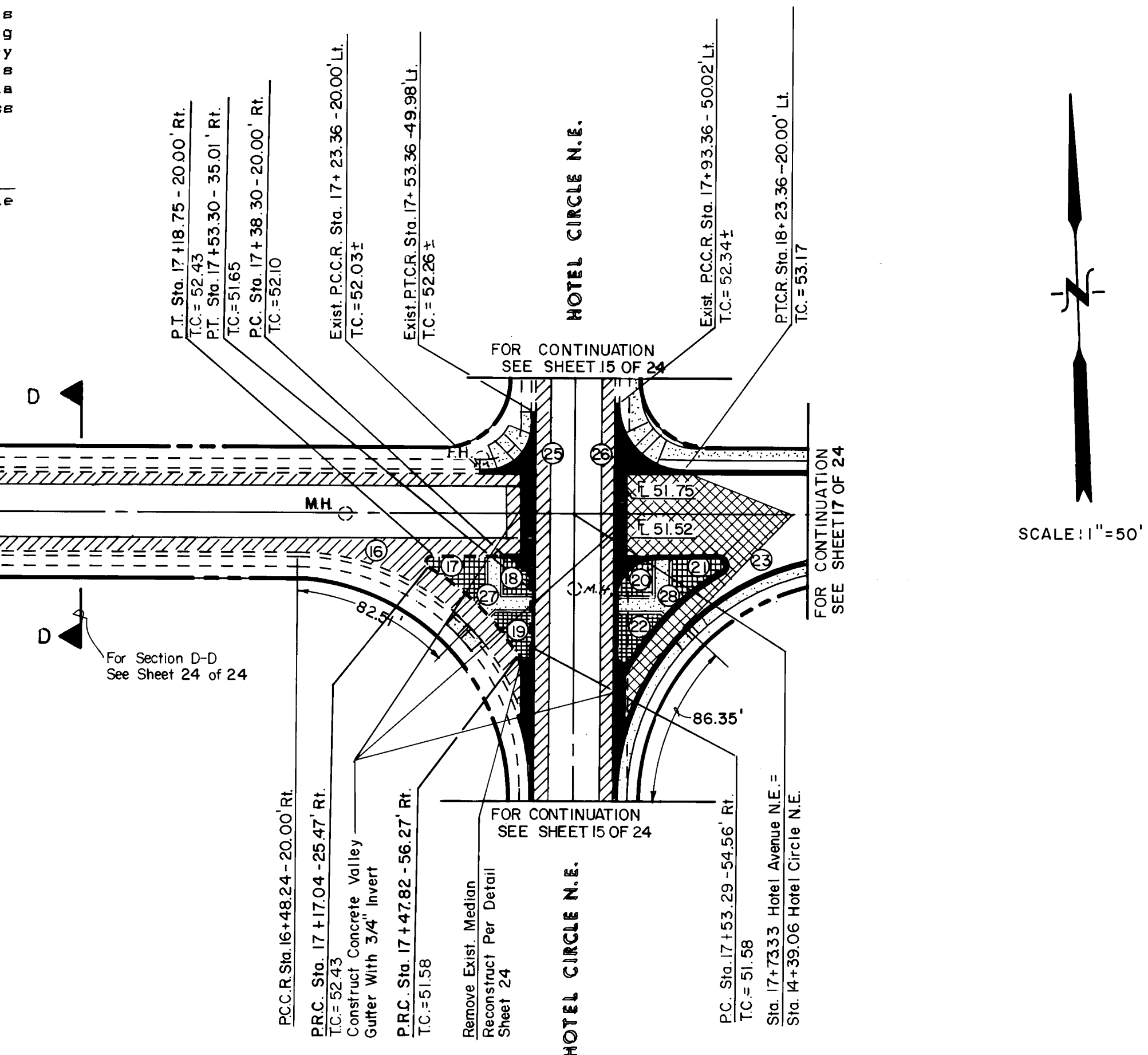
HOTEL CIRCLE N.E.
STA. 31+00.00 TO STA. 43+07.64

RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EH&A's field survey crew, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawings criteria as required by the City of Albuquerque for Development Process Manual Section 27.4 to the best of our knowledge and belief.

Dennis A. Lorenz 9647
Date 7-28-88

HOTEL AVENUE N.E.
STA. 10+00.00 TO STA. 17+73.33



CURVE DATA

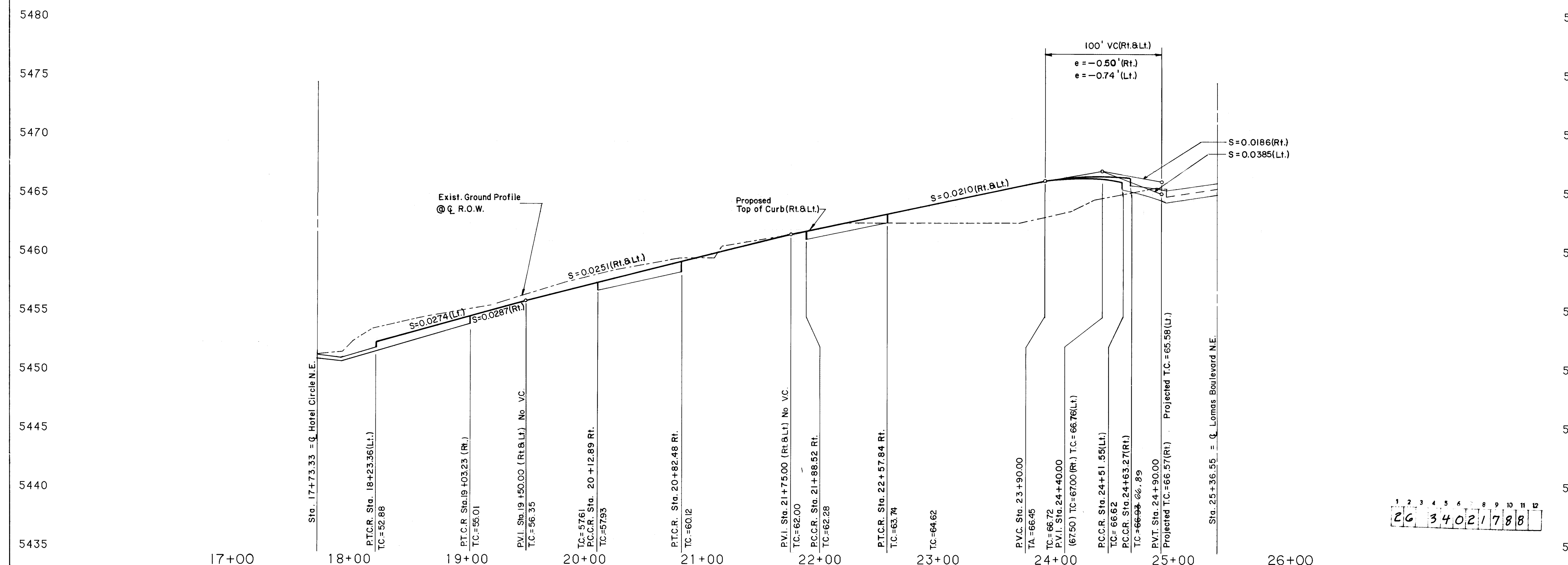
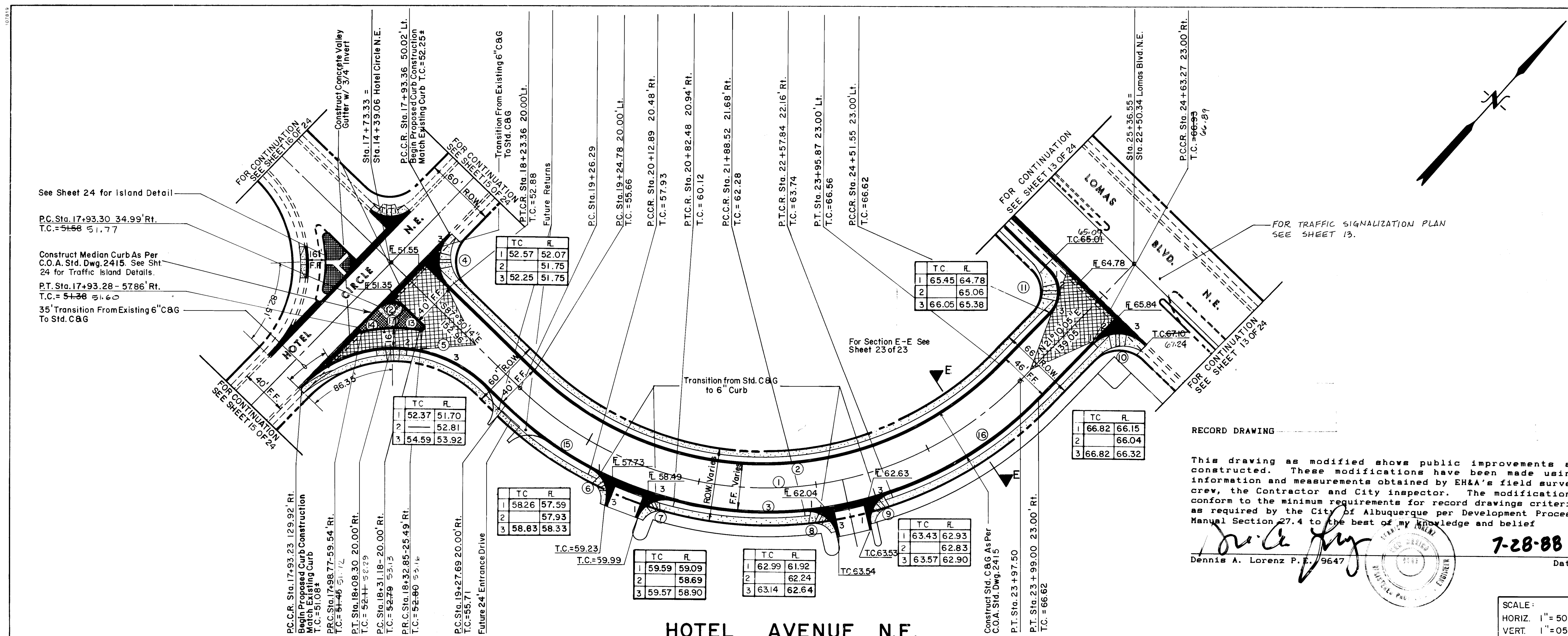
CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1.	15°45'20"	500.00	137.49	69.18
2.	3°02'51"	500.00	26.60	13.30
3.	12°42'29"	500.00	110.90	55.68
4.	13°45'34"	519.21	124.69	62.65
5.	89°59'31"	24.16	37.95	24.16
6.	90°00'00"	25.00	39.27	25.00
7.	90°00'00"	25.00	39.27	25.00
8.	90°00'00"	25.00	39.27	25.00
9.	63°24'01"	40.00	44.26	24.70
10.	90°00'00"	25.00	39.27	25.00
11.	90°00'00"	25.00	39.27	25.00
12.	63°13'31"	60.00	66.21	36.93
13.	26°46'00"	30.00	14.02	7.14
14.	4°15'06"	479.21	35.56	17.79
15.	93°12'20"	26.01	42.31	27.51
16.	90°02'30"	105.00	165.01	105.08
17.	145°20'38"	3.00	7.61	9.62
18.	90°02'30"	15.00	23.57	15.01
19.	145°20'38"	3.00	7.61	9.62
20.	89°57'30"	15.00	23.55	14.99
21.	146°02'35"	3.00	7.65	9.83
22.	146°02'35"	3.00	7.65	9.83
23.	89°57'30"	110.00	172.71	109.92
24.	86°50'44"	31.82	48.23	30.12
25.	89°57'30"	30.00	47.10	29.98
26.	90°02'30"	30.00	47.15	30.02
27.	20°43'46"	121.00	43.78	22.13
28.	22°02'40"	126.00	48.48	24.54

LEGEND

- REMOVE & REPLACE EXIST. PAVEMENT CURB & GUTTER AND SIDEWALK
- EXISTING CURB & GUTTER AND SIDEWALK
- EXISTING DRIVEPADS
- PROPOSED MILLING
- PROPOSED 1" ASPHALTIC CONCRETE & 5/8" PLANT MIX SEAL COAT
- PROPERTY OR BOUNDARY LINE
- CENTERLINE OF STREET
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED WHEELCHAIR RAMP
- FUTURE WHEELCHAIR RAMP
- FUTURE CONCRETE VALLEY GUTTER
- TRANSITION FROM CROWN TO NO CROWN
- EXISTING MANHOLE
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE RISER

ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: MARKET CENTRE EAST HOTEL CIRCLE N.E. & HOTEL AVENUE N.E. REHABILITATION PLAN			
APPROVALS	ENGINEER	DATE	APPROVALS
D.R.C. Chair	1/1/88	2/9/88	HYDROLOGY
Trans. Dev.	1/1/88	2/9/88	NA RWS
Utility Dev.	1/1/88	2/9/88	
DRAWING NO.	3402	MAP NO.	K-21
SHEET 16		OF 24	



NO.	DELTA	RADIUS	LENGTH	TAN
1	89°59'41"	300.00	471.21	299.97
2	89°59'41"	278.50	437.44	278.48
3	20°14'25"	321.50	113.57	57.39
4	90°02'30"	30.00	47.15	30.02
5	89°57'30"	110.00	172.71	109.92
6	83°02'35"	25.00	36.23	22.14
7	83°04'15"	25.00	36.52	22.39
8	83°01'30"	25.00	36.23	22.13
9	83°04'00"	25.00	36.53	22.40
10	89°59'02"	30.00	47.12	29.99
11	90°00'00"	30.00	47.12	30.00
12	89°57'30"	15.00	23.55	14.99
13	146°02'35"	3.00	7.65	9.83
14	146°02'35"	3.00	7.65	9.83
15	16°12'28"	321.50	90.95	45.78
16	27°01'48"	321.50	151.67	77.28
17	22°02'40"	126.00	48.48	24.54

PAVING CONSTRUCTION NOTES

- All stationing and offset dimensions are based on centerline of Right-Of-Way.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2401	2421	2431
2405	2425	2440
2408	2426	2441
2415	2430	2460
2420		

RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EH&A's field survey crew, the Contractor and City inspector. The modifications conform to the minimum requirements for record drawings criteria as required by the City of Albuquerque per Development Process Manual Section 27.4 to the best of my knowledge and belief.

Dennis A. Lorenz P.E. 7-28-88
Dennis A. Lorenz P.E. 9647 Date

SCALE:

HORIZ. 1" = 50'

VERT. 1" = 05'

EXISTING CURB & GUTTER AND SIDEWALK

EXISTING DRIVEPADS

PROPOSED MILLING

PROPOSED 1" ASPHALTIC CONCRETE & 5/8" PLANT MIX SEAL COAT

PROPERTY OR BOUNDARY LINE

CENTERLINE OF STREET

PROPOSED CURB & GUTTER

PROPOSED SIDEWALK

PROPOSED CONCRETE VALLEY GUTTER

PROPOSED WHEELCHAIR RAMP

FUTURE WHEELCHAIR RAMP

FUTURE CONCRETE VALLEY GUTTER

TRANSITION FROM CROWN TO NO CROWN

M.H.

W.V.

W.M.

L.P.

P.P.

F.H.

TeleRiser

EXISTING MANHOLE

EXISTING WATER VALVE

EXISTING WATER METER

EXISTING LIGHT POLE

EXISTING POWER POLE

EXISTING FIRE HYDRANT

EXISTING TELEPHONE RISER

PATTERNED MEDIAN CONCRETE

ENGINEER'S SEAL

12-10-87

REMARKS

DESIGN

NO.

DATE

BY

DATE

12-87

12-87

1-27-88

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

ENGINEERING GROUP

TITLE

MARKET CENTRE EAST

HOTEL AVENUE N.E. STA. 17+73.33 TO STA. 25+36.55

PAVING PLAN AND PROFILE

APPROVALS

ENGINEER

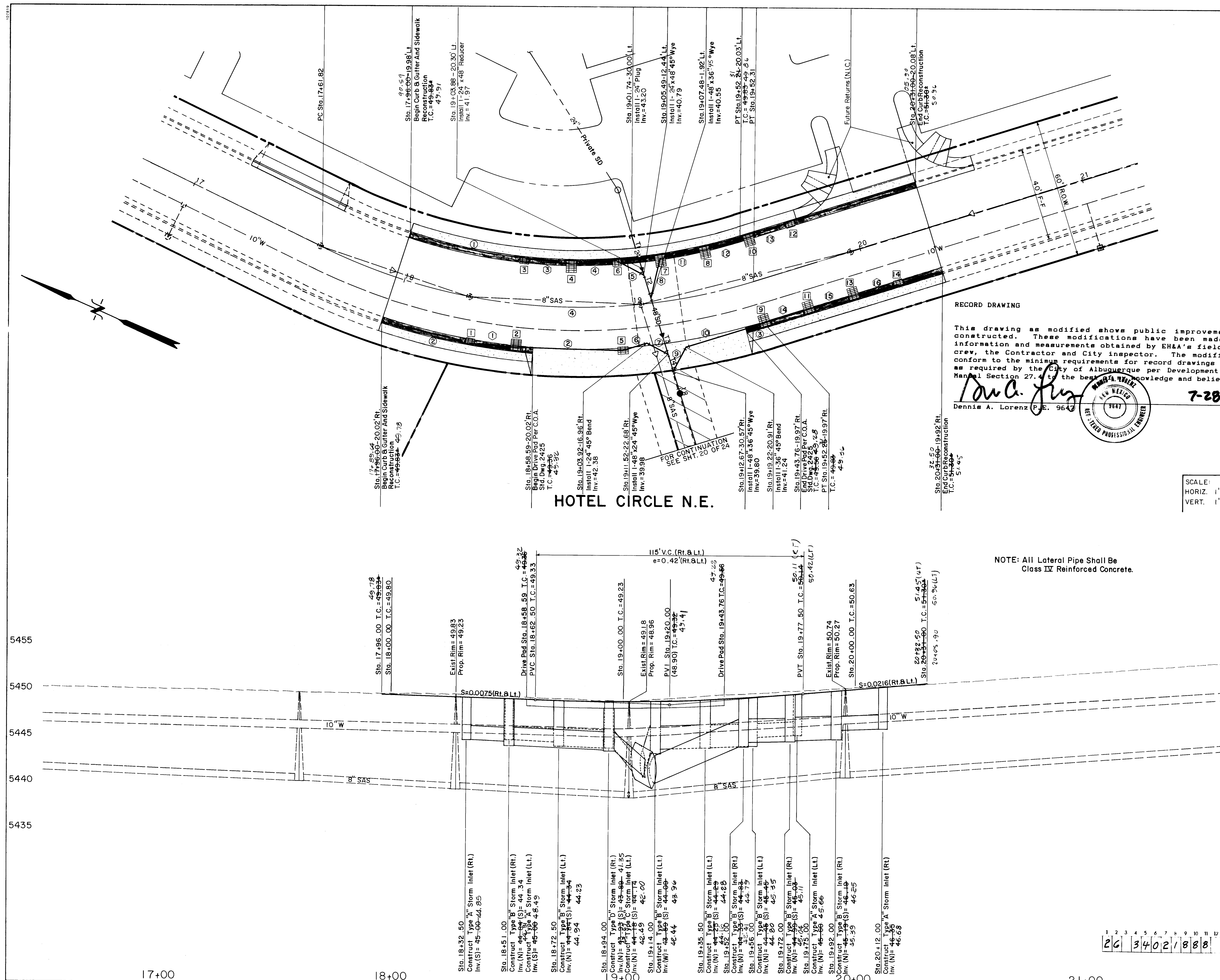
DATE

1-20-88

DRAWING NO. 3402

MAP NO. K-21

SHEET 17 OF 24



RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EH&A's field survey crew, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawings criteria as required by the City of Albuquerque per Development Process Manual Section 27.4 to the best of our knowledge and belief.

Dennis A. Lorenz
Dennis A. Lorenz P.E. 9642
7-28-88
Date

SCALE:
HORIZ. 1"=20'
VERT. 1"=5'

LATERALS			
NO.	SIZE	LF	SLOPE FT/FT
1	18"	15.84	0.0101
2	24"	41.77	0.0098
3	18"	15.78	0.0101
4	24"	15.78	0.0101
5	24"	8.87	0.2649
6	24"	8.60	0.1753
7	24"	8.00	0.1753
8	36"	10.06	0.0930
9	36"	33.27	0.0930
10	36"	15.16	0.0106
11	36"	15.43	0.0104
12	18"	14.93	0.0100
13	30"	15.74	0.0102
14	30"	15.72	0.0102
15	18"	15.93	0.0100

INLETS		
NO.	TYPE	STATION
1	A	18+32.50
2	A	18+51.00
3	A	18+51.00
4	B	18+72.50
5	D	18+94.00
6	B	19+14.00
7	B	19+14.00
8	B	19+35.00
9	B	19+52.00
10	B	19+52.00
11	B	19+72.00
12	A	19+75.00
13	A	19+92.00
14	A	20+12.00

UTILITY CONSTRUCTION NOTES

1. All stationing and offset dimensions are based on centerline of Right-Of-Way or centerline of utility.

2. The following City of Albuquerque Standard Drawings are applicable to the project:

2107	2207	2332
2125	2216	2333
2145	2220	2340
2201	2301	2361
2202	2315	2362
2203	2320	2367
2205	2325	2368
2206	2328	

CURVE DATA			
CURVE NO.	DELTA	RADIUS	LENGTH
1	35°36'01"	231.46	143.81
2	14°15'41"	271.46	67.57
3	1°56'01"	271.46	9.16
4	43°19'04"	251.96	190.49

ADDITIONAL COURSES		
REF. NO.	BEARING	DISTANCE
T1	N48°54'25"E	17.89
T2	N48°54'25"E	10.70
T3	N48°54'25"E	24.95
T4	N48°54'25"E	8.00

- LEGEND**
- PROPOSED FITTING
 - PROPOSED MANHOLE
 - PROPOSED PLUG
 - PROPOSED INLET
 - PROPOSED CURB & GUTTER
 - PROPOSED SIDEWALK
 - EXISTING FIRE HYDRANT
 - EXISTING WATER METER
 - EXISTING CURB & GUTTER
 - EXISTING SIDEWALK
 - EXISTING WATERLINE
 - EXISTING SEWER LINE
 - EXISTING MANHOLE
 - ASPHALT PAVEMENT REMOVAL & REPLACEMENT

ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: MARKET CENTRE EAST
HOTEL CIRCLE N.E. STA. 17+96.00 TO STA. 20+31.00
PAVING AND STORM DRAIN PLAN AND PROFILE

DATE: 2/9/89
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

DRAWING NO: 3402
MAP NO: K-21
SHEET: 18 OF 24

ENGINEER'S SEAL: [Signature]
DATE: 12-10-87

REVISIONS:
BY: [Signature]
DATE: 12-87
BY: [Signature]
DATE: 1-11-88

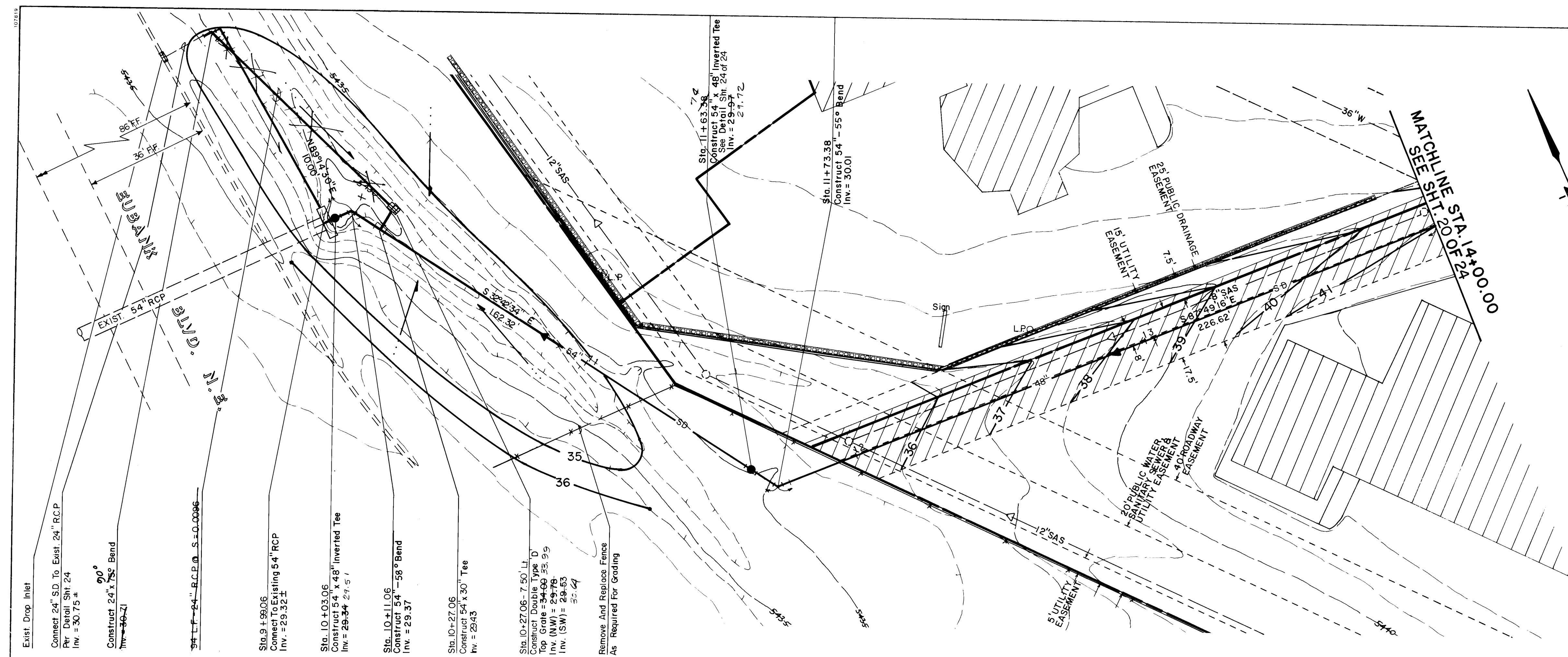
AS BUILT INFORMATION:
A Square Chiselled on Top of a Concrete Curb Located at ENE Curb Return at the Intersection of Lomas Blvd. N.E. and Morris Street N.E. Elevation = 5579.817 (M.S.L.D.)

BENCH MARKS:
DATE: [Blank]
BY: [Blank]

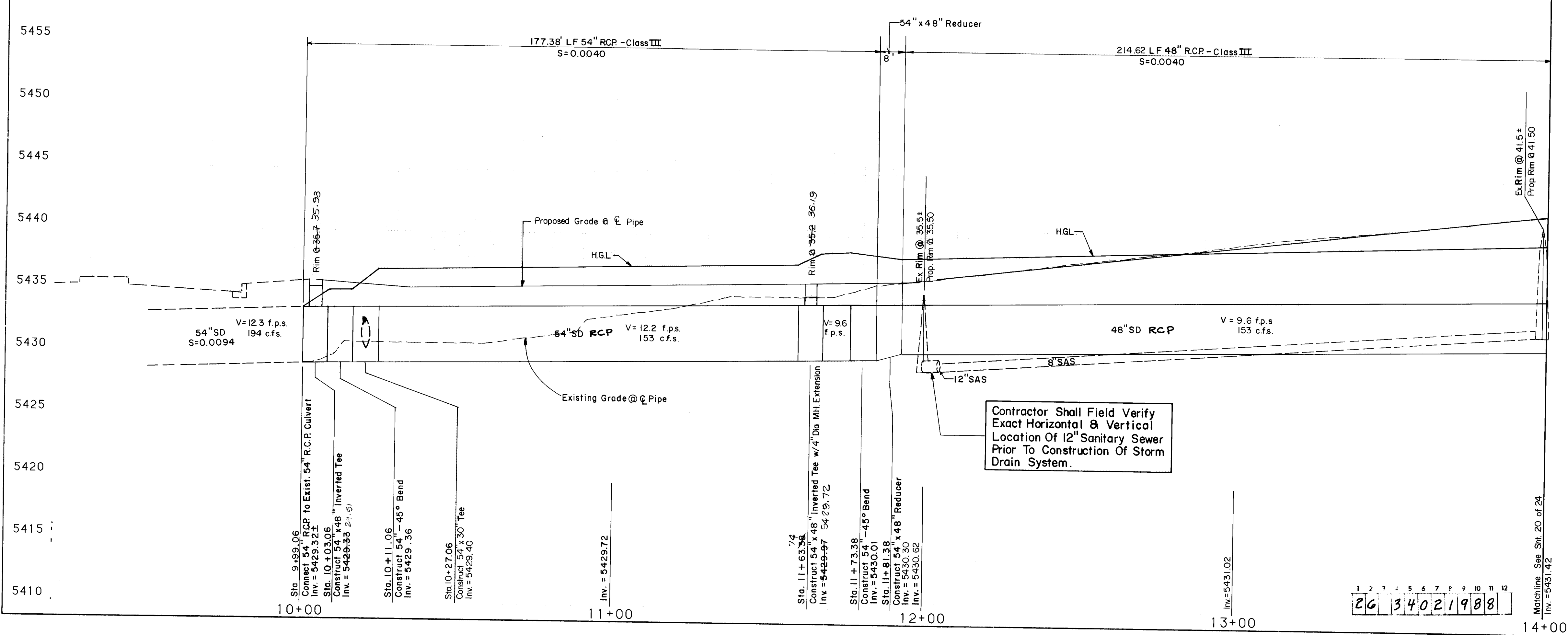
SURVEY INFORMATION:
DATE: [Blank]
BY: [Blank]

FIELD NOTES:
DATE: [Blank]
BY: [Blank]

NO. DATE: [Blank]
BY: [Blank]



STORM SEWER LINE "A"



SCALE:
HORIZ. 1"=20'
VERT. 1"=5'

- UTILITY CONSTRUCTION NOTES
- All stationing and offset dimensions are based on centerline of Right-Of-Way or centerline of utility.
 - The following City of Albuquerque Standard Drawings are applicable to the project:

2107	2207	2332
2125	2216	2333
2145	2220	2340
2201	2301	2361
2202	2315	2362
2203	2320	2367
2205	2325	2368
2206	2328	

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EHA's field crew, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawings criteria as required by the City of Albuquerque Engineering Department Manual, Section 1.4.4 to the best of EHA's knowledge and belief.

Dennis A. Lorena
Dennis A. Lorena P.E. 5647
Date 7-28-88

LEGEND

- PROPOSED FITTING
- PROPOSED MANHOLE
- PROPOSED PLUG
- PROPOSED INLET
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING WATERLINE
- EXISTING SEWER LINE
- EXISTING MANHOLE
- ASPHALT PAVEMENT REMOVAL & REPLACEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING RETAINING WALL

ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

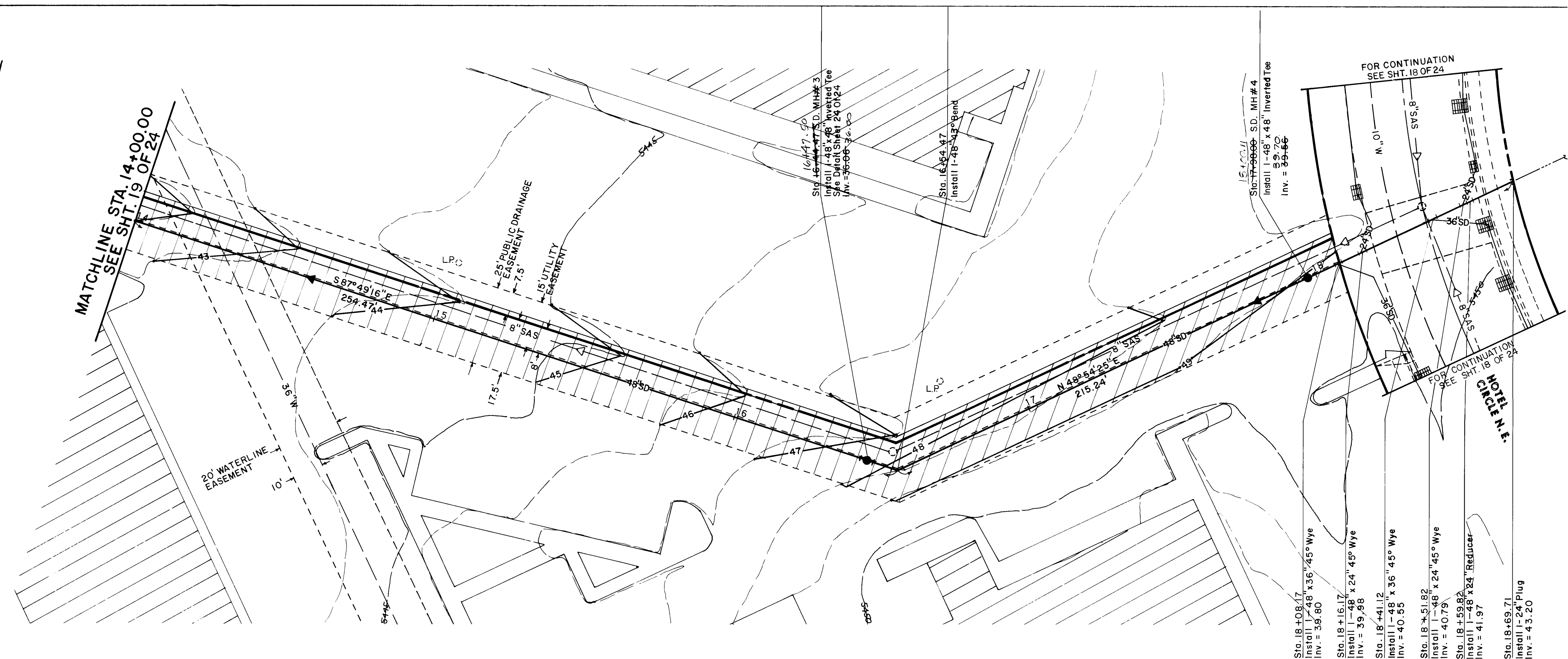
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE MARKET CENTRE EAST
STORM SEWER LINE "A" STA. 10+00.00 TO STA. 14+00.00
PLAN AND PROFILE

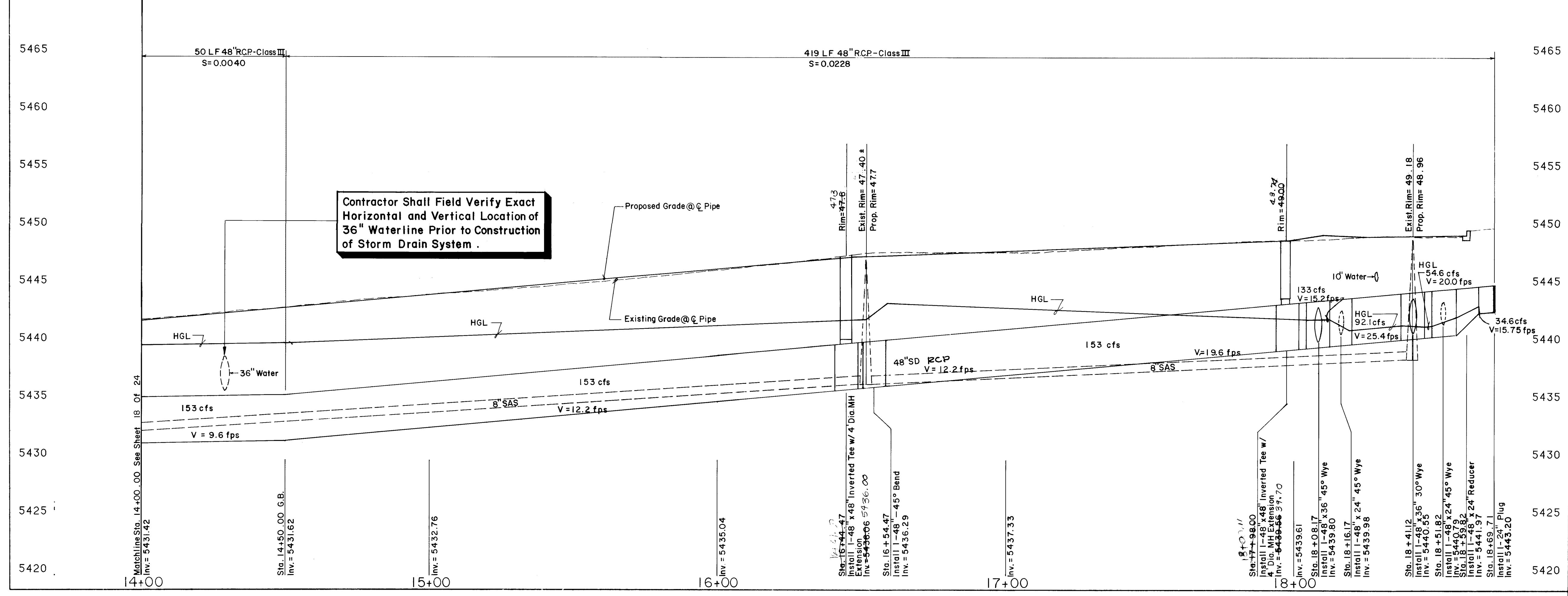
APPROVAL	2/9/89	Hydrology	Reginald Huen	1-20-88
DESIGN	2/20/88			
UTILITY DEV.	1/19/88			

03/20

Scale: 1" = 20'



STORM SEWER LINE "A"



Contractor Shall Field Verify Exact Horizontal and Vertical Location of 36" Waterline Prior to Construction of Storm Drain System.

UTILITY CONSTRUCTION NOTES

- All stationing and offset dimensions are based on centerline of Right-Of-Way or centerline of utility.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2107	2207	2332
2125	2216	2333
2145	2220	2340
2201	2301	2361
2202	2315	2362
2203	2320	2367
2205	2325	2368
2206	2328	

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EHA's field survey crew, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawings as required by the City of Albuquerque Engineering Department. Manual Section 27.4 shall be followed for all other details.

7-28-08
Dennis A. Lorenz P.E. 9641

LEGEND

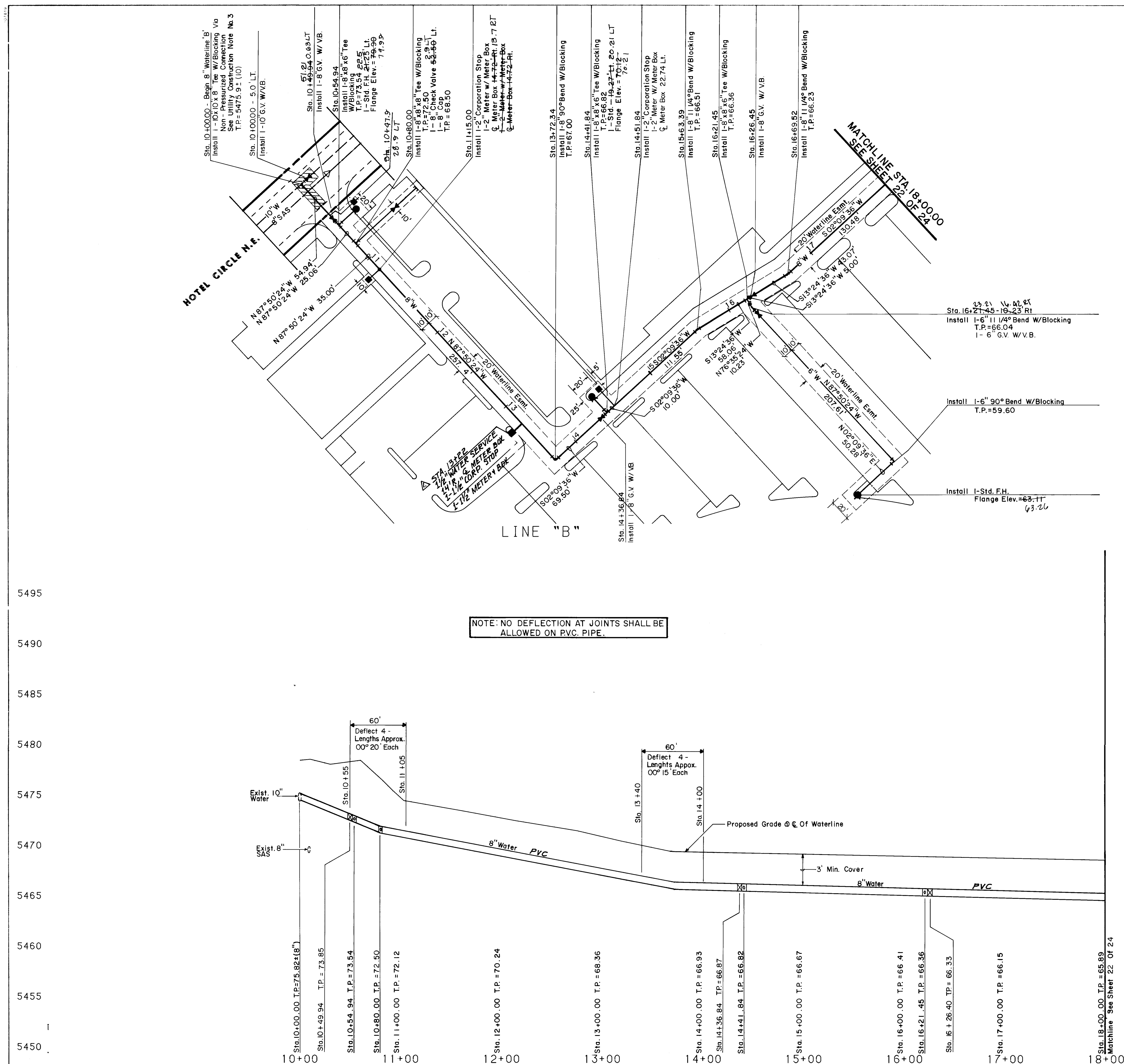
- PROPOSED FITTING
- PROPOSED MANHOLE
- PROPOSED PLUG
- PROPOSED INLET
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING WATERLINE
- EXISTING SEWER LINE
- EXISTING MANHOLE
- ASPHALT PAVEMENT REMOVAL & REPLACEMENT
- 43 PROPOSED CONTOUR
- 5450 EXISTING CONTOUR

1	2	3	4	5	6	7	8	9	10	11	12
2	6	3	4	0	2	2	0	8	8		

ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

TITLE MARKET CENTRE EAST
STORM SEWER LINE "A" STA. 14+00.00 TO STA. 18+69.71
PLAN AND PROFILE

2/5/08 Hydrology Roger A. Nunez 1-20-08
J.E. 12-07
D.L. 1-07-08



RECORD DRAWING

This drawing as modified shows public improvements as indicated. These modifications have been made using information and data furnished by the City of Albuquerque, the Contractor and City Engineer. The City Engineer's approval is required for any modifications to the minimum requirements for record drawings as required by the City of Albuquerque. The City Engineer's Manual, Section 27.4, is the best and final authority and belief.

Dennis A. Lorenz
Dennis A. Lorenz, E. 96
7-20-88
Professional Engineer Seal

SCALE:
HORIZ: 1"=50'
VERT: 1"=5'

- ### LEGEND
- PROPOSED WATERLINE
 - PROPOSED GATE VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED CAP OR PLUG
 - PROPOSED SINGLE METER, WATER SERVICE LINE
 - PROPOSED DOUBLE METER, WATER SERVICE LINES
 - PROPOSED CROSS, TEE, OR ELBOW
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED MANHOLE
 - EXISTING MANHOLE
 - PROPOSED SANITARY SEWER SERVICE LINE
 - PROPERTY OR BOUNDARY LINE
 - CENTERLINE OF STREET
 - EXISTING WATERLINE
 - EXISTING SANITARY SEWER
 - ASPHALT PAVEMENT REMOVAL & REPLACEMENT

ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: MARKET CENTRE EAST
WATERLINE "B" STA. 10+00.00 TO STA. 18+00.00
PLAN AND PROFILE

DATE: 12-07
DATE: 12-07
DATE: 1-10-88

DESIGNED BY: *DL JO*
CHECKED BY: *DL*

DRAWING NO. 3402
MAP NO. K-21
SHEET 21 OF 24

UTILITY CONSTRUCTION NOTES

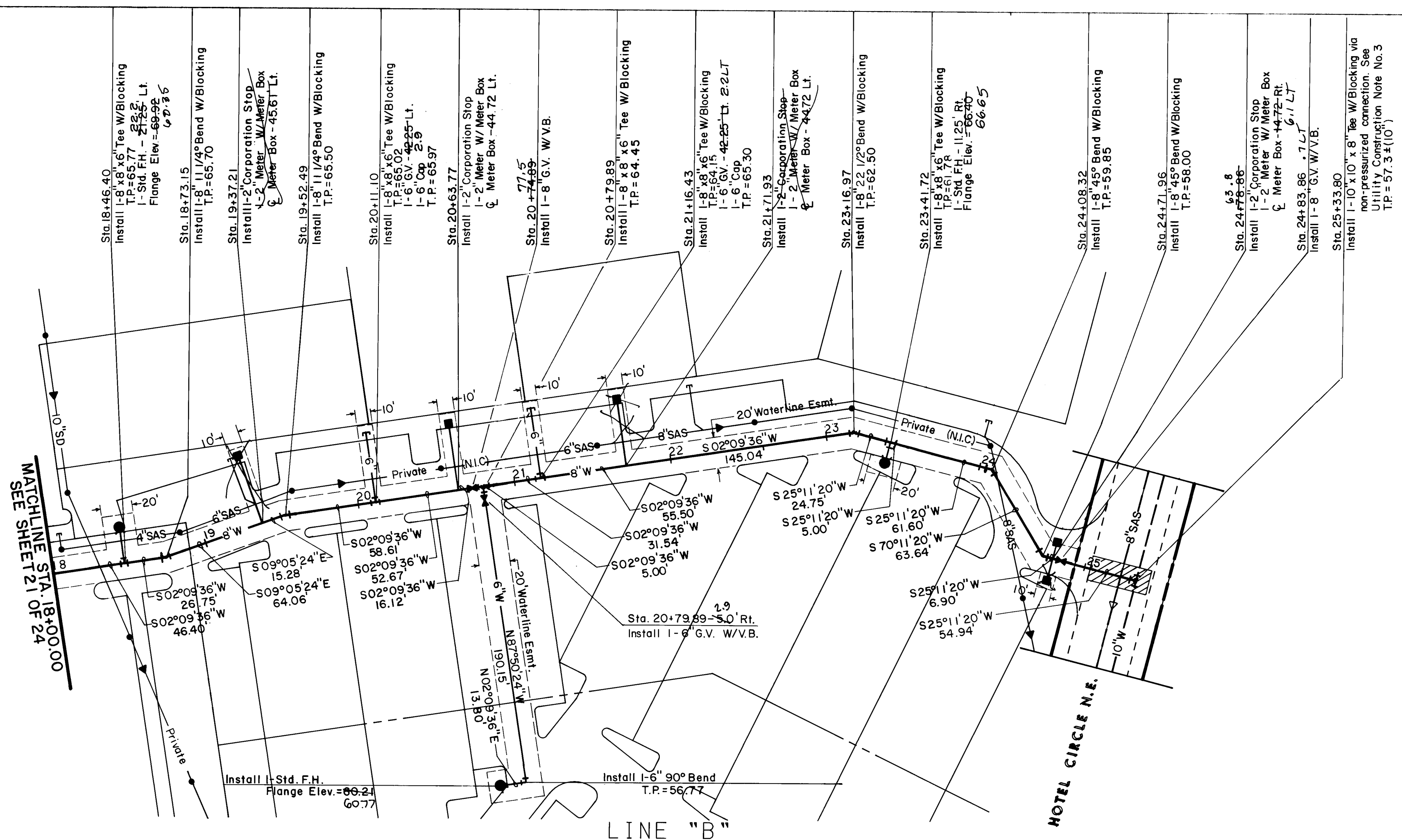
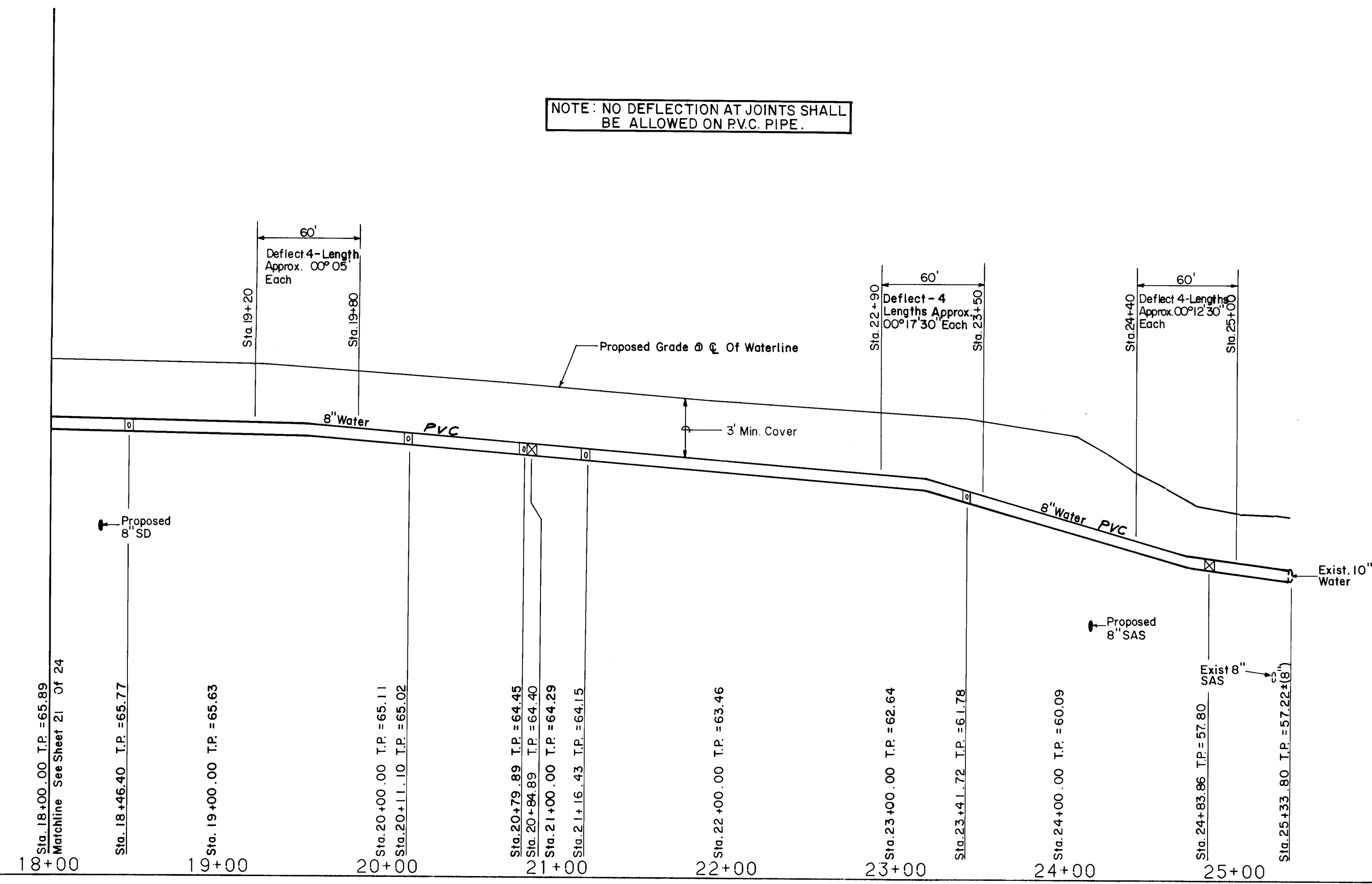
- All stationing and offset dimensions are based on centerline of Right-Of-Way or centerline of utility.
- The following City of Albuquerque Standard Drawings are applicable to the project:

2107	2207	2332
2125	2216	2333
2145	2220	2340
2201	2301	2361
2202	2315	2362
2203	2320	2367
2205	2325	2368
2206	2328	
- Contractor Shall Contact Water Systems Division for Execution of Approved Water Valve Shut-Off Plan at Least 48 Hours Prior to Construction. Existing Water System Valves and Appurtenances Shall be Operated by Water Systems Division Only.

AS BUILT INFORMATION
BENCH MARKS
A Square Chiselled on Top of a Concrete Curb Located at ENE Curb Return at the Intersection of Lomas Blvd. N.E. and Morris Street N.E. Elevation = 5579.817 (MSLD)

DATE: 12-07
DATE: 12-07
DATE: 1-10-88

5485
5480
5475
5470
5465
5460
5455
5450
5445
5440



RECORD DRAWING

This drawing as modified shows public improvements as constructed. These modifications have been made using information and measurements obtained by EHA's field survey and City Inspector. The modifications conform to the minimum standards for record drawings as required by the City of Albuquerque and the Manual Section 27.4 to the best of my knowledge and belief.

Dennis A. Lorenz
Dennis A. Lorenz P.E. 9647
Date 7-28-88

26 340222288

SCALE:
HORIZ: 1"=50'
VERT: 1"=5'

LEGEND

- PROPOSED WATERLINE
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED CAP OR PLUG
- PROPOSED SINGLE METER, WATER SERVICE LINE
- PROPOSED DOUBLE METER, WATER SERVICE LINES
- PROPOSED CROSS, TEE, OR ELBOW
- PROPOSED SANITARY SEWER LINE
- PROPOSED MANHOLE
- EXISTING MANHOLE
- PROPOSED SANITARY SEWER SERVICE LINE
- PROPERTY OR BOUNDARY LINE
- CENTERLINE OF STREET
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- ASPHALT PAVEMENT REMOVAL & REPLACEMENT

ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
317 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 242-1909

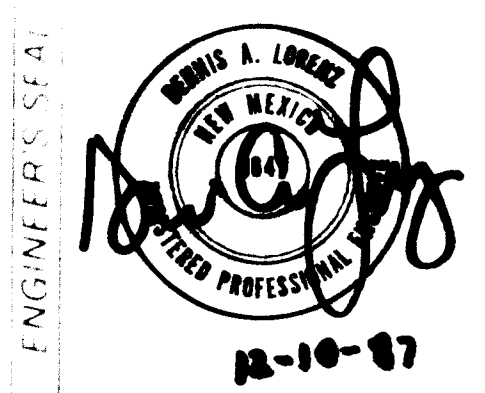
MARKET CENTRE EAST
WATERLINE "B" STA. 18+00.00 TO STA. 25+33.80
PLAN AND PROFILE

UTILITY CONSTRUCTION NOTES

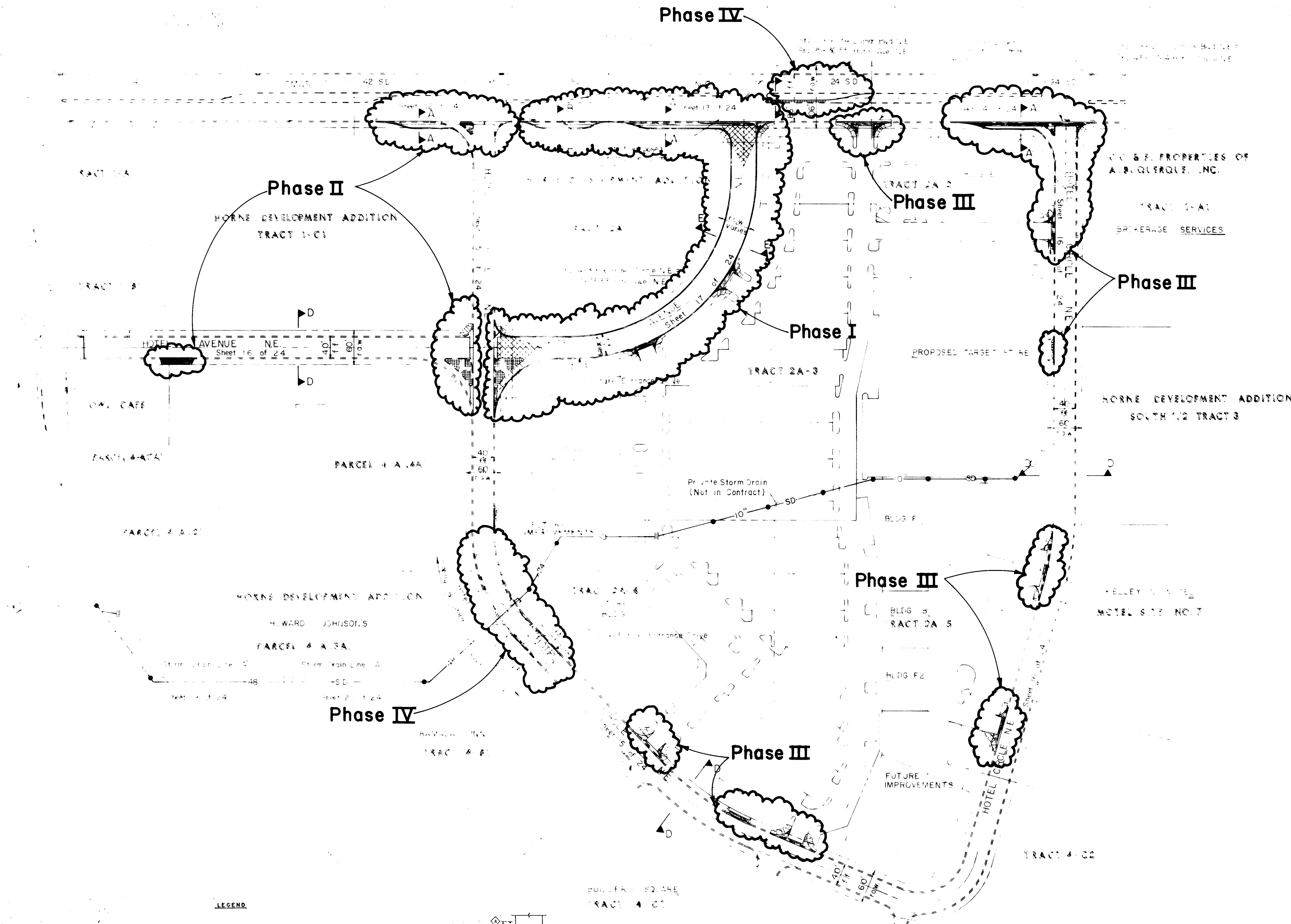
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AS BUILT INFORMATION	BENCH MARKS	DATE
AS BUILT INFORMATION	A Square Chiseled on Top of a Concrete Curb Located at ENE Curb Return at the Intersection of Lomas Blvd. N.E. and Morris Street N.E. Elevation = 5579.617 (M.S.L.D.)	DATE



REVISIONS	DATE	BY
DESIGN	12-07	DL
REVISIONS	12-07	DL
REVISIONS	12-07	DL



GENERAL NOTES

- Contractor shall adhere to Section 19 of the City of Albuquerque Standard Specifications for Construction, 1986.
- Contractor shall maintain access to all facilities, businesses, and private residents at all times.
- Contractor shall provide access signs as directed by Traffic Engineer. Access signs shall be blue reflectorized background, with 5" white lettering. Access signs shall be considered incidental to bid.
- Contractor shall phase construction to the following manner:

Phase I

- Contractor shall construct the entire length of Hotel Avenue between Lomas Boulevard and Hotel Circle, construction shall be limited to the east half of Hotel Circle and Hotel Avenue.
- Contractor shall construct bus bay and deceleration lane on Lomas Boulevard. The limits of construction on Lomas shall be from station 18+57.69 Lomas Boulevard to Station 23+97.69.
- Contractor may occupy the extreme right lane east bound on Lomas for no more than two (2) calendar weeks. Contractor may occupy and block the entire length of Hotel Avenue, with 3 type III's at Lomas and Hotel Circle.

Phase II

- Contractor shall construct the deceleration lane on Lomas at Hotel Circle and the remaining street intersection. The limits of construction shall be from 15+97.69 Lomas Boulevard NE to 18+47.69 Lomas Boulevard NE approximately.
- Contractor shall construct the remaining intersection of Hotel Avenue and Hotel Circle. The construction shall proceed as to allow traffic access through the intersection to Lomas Boulevard at all times.
- Phase II shall be limited his operation for no more than two (2) calendar weeks.

Phase III

- Contractor shall complete the remaining deceleration lanes, approach, and driveway, on Lomas Boulevard from Station 23+97.67 to Station 25+97.67 approximately. Contractor shall employ a simple right lane closure.
- Contractor shall complete the remaining concrete work (driveway, approaches) on Hotel Circle from Lomas to Hotel Avenue.
- Phase III shall be limited to two (2) calendar weeks.

Phase IV

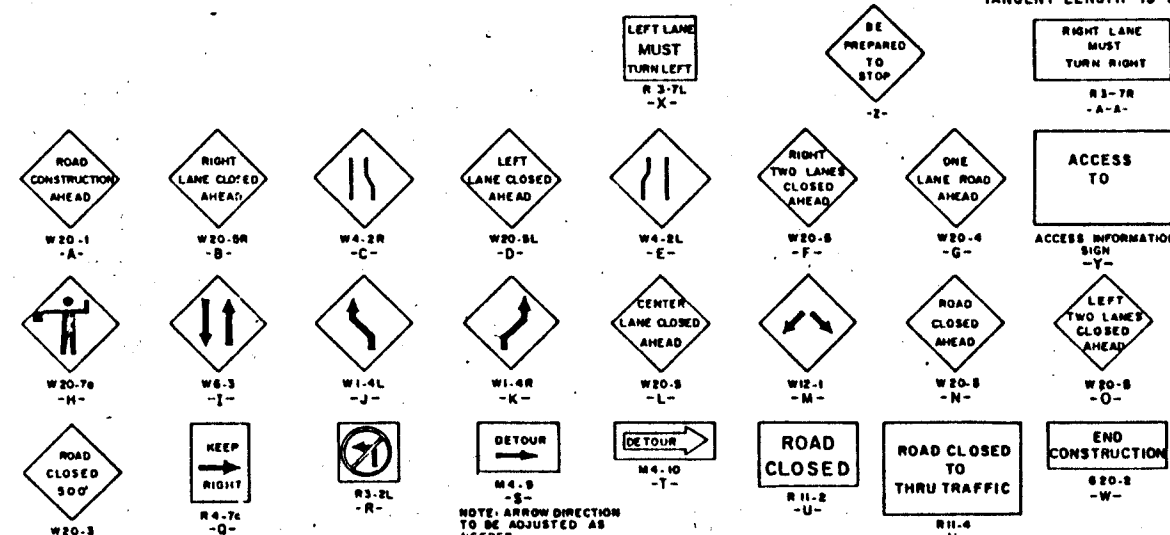
- Contractor shall construct and install Hotel Circle Paving of Storm Drainage, and revise median on Lomas Boulevard.
 - Contractor may close off Hotel Circle for no more than one (1) calendar week.
 - Contractor shall be limited to one lane of traffic in each direction for the Lomas Median revision. Contractor shall limit Lomas Median revision to one (1) calendar week.
- Contractor shall not proceed to following phase until previous phase is complete.

TAPER REQUIREMENTS

SPEED LIMIT (MPH)	TAPER LENGTH (FEET)		MAXIMUM NUMBER OF DEVICES REQUIRED
	10' LANE	12' LANE	
25	100	125	8
30	150	185	7
35	200	245	6
40	250	300	5
45	300	360	4
50	350	420	3
55	400	480	2

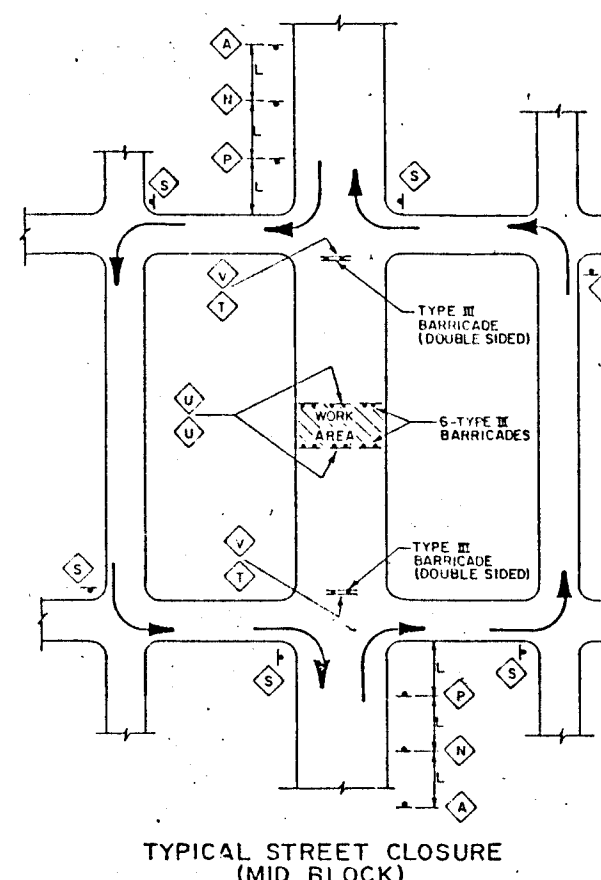
WORK AREA
TRAFFIC SIGN & QUANTITY (SEE THIS SHEET FOR DESIGNATION)
BARRICADE - TYPE I, TYPE X, OR BARREL
BARRICADE - TYPE II
VERTICAL PANEL
WARNING SIGN
DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
FLAGMAN POSITION
SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET

TAPER LENGTH - SEE CHART AT LEFT
TANGENT LENGTH - IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET

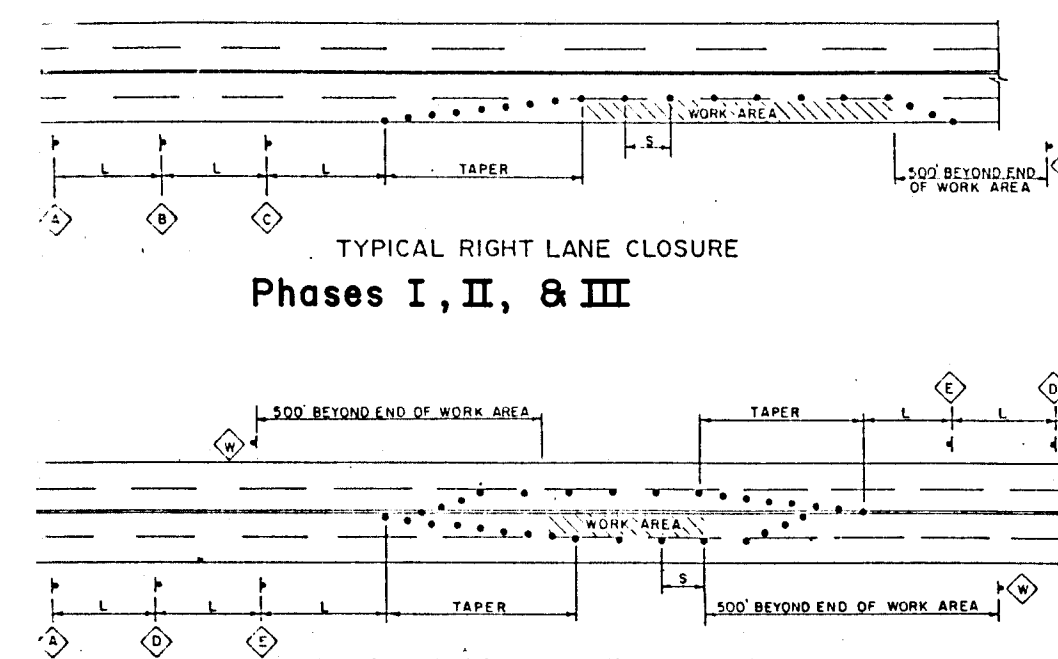


NOTES

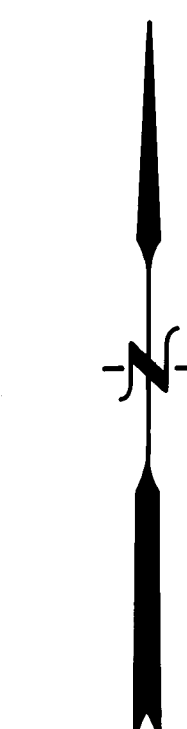
ALL ADVANCE WARNING SIGNS ARE TO BE DOUBLE INDICATED WHENEVER MEDIANS ARE PRESENT.



Phases II & IV



Phase IV



Scale: 1" = 100'

1 2 3 4 5 6 7 8 9 10 11 12
26 340222388

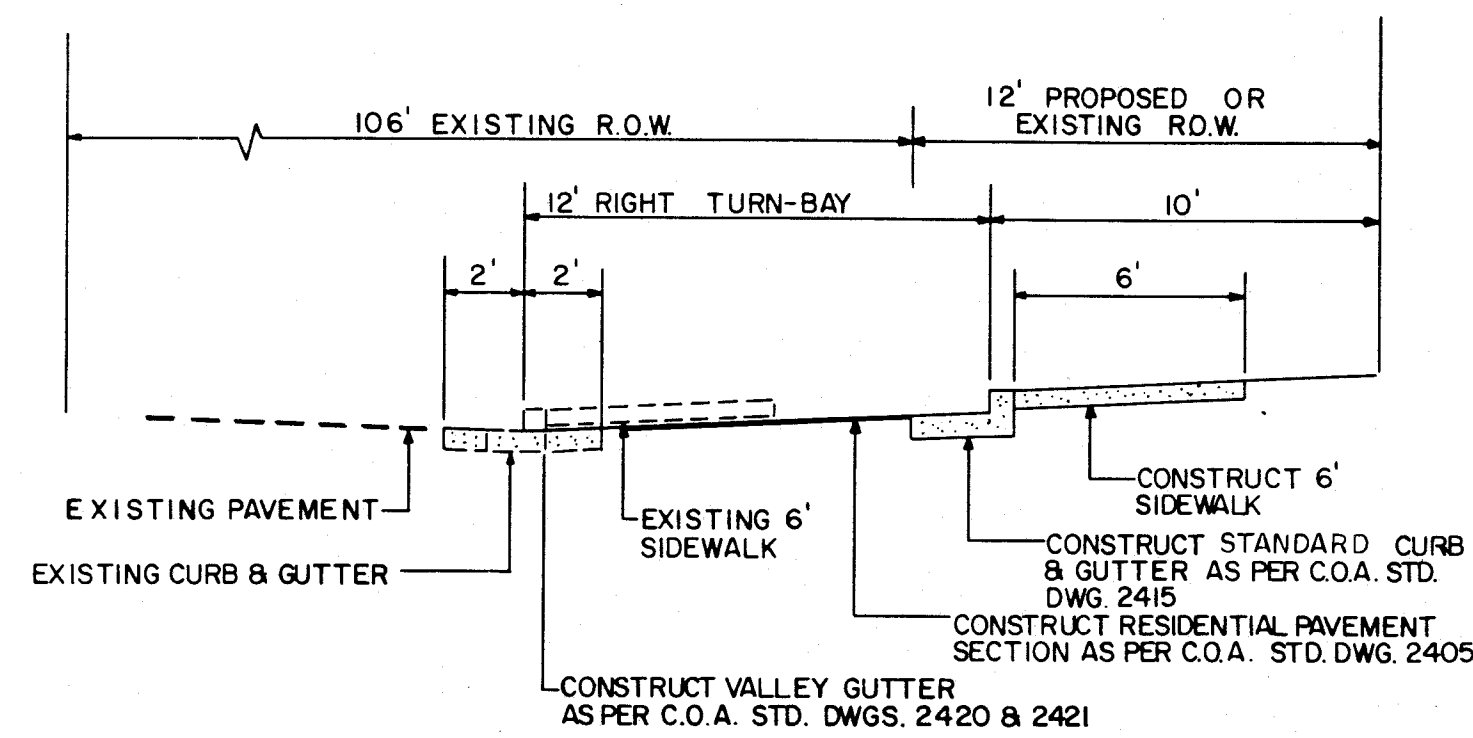
ESPEY,
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MARKET CENTRE EAST TRAFFIC CONTROL PLAN

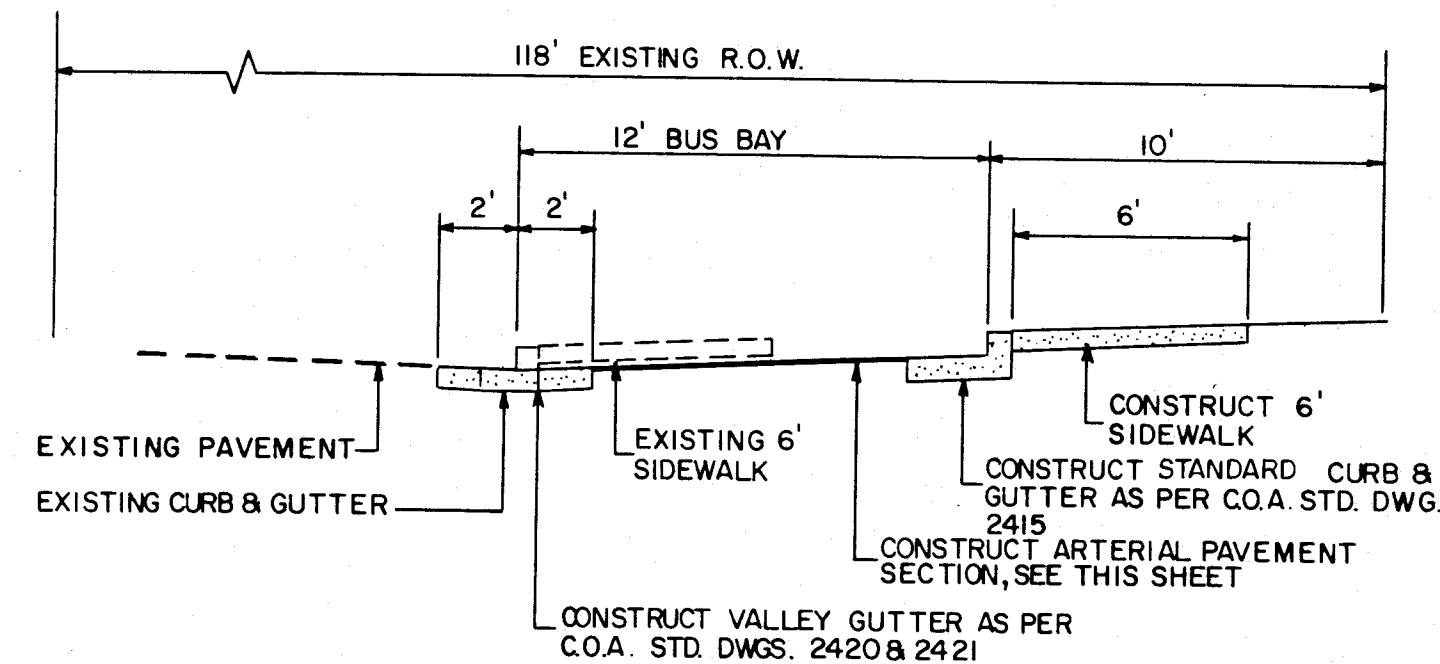
DRAWING NO. 3402 K-21 23 OF 24



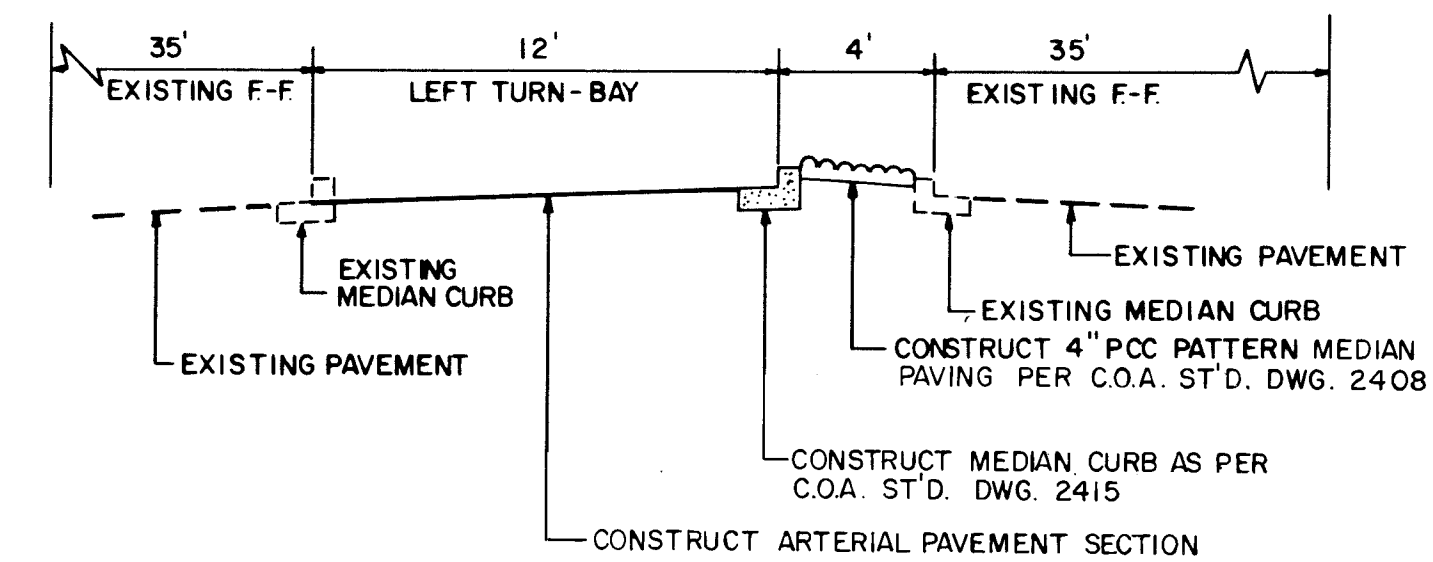
1-88
1-88
1-11-88
C.A.A.
D.L.
S.T.
D.L.



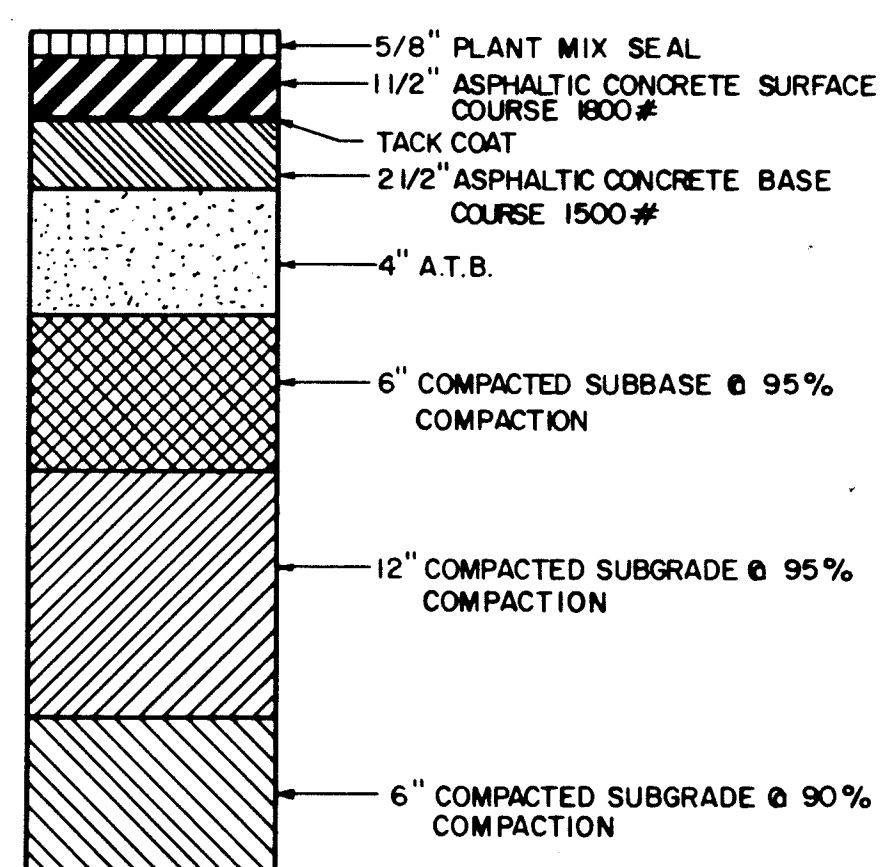
SECTION A-A
SCALE: 1" = 5'



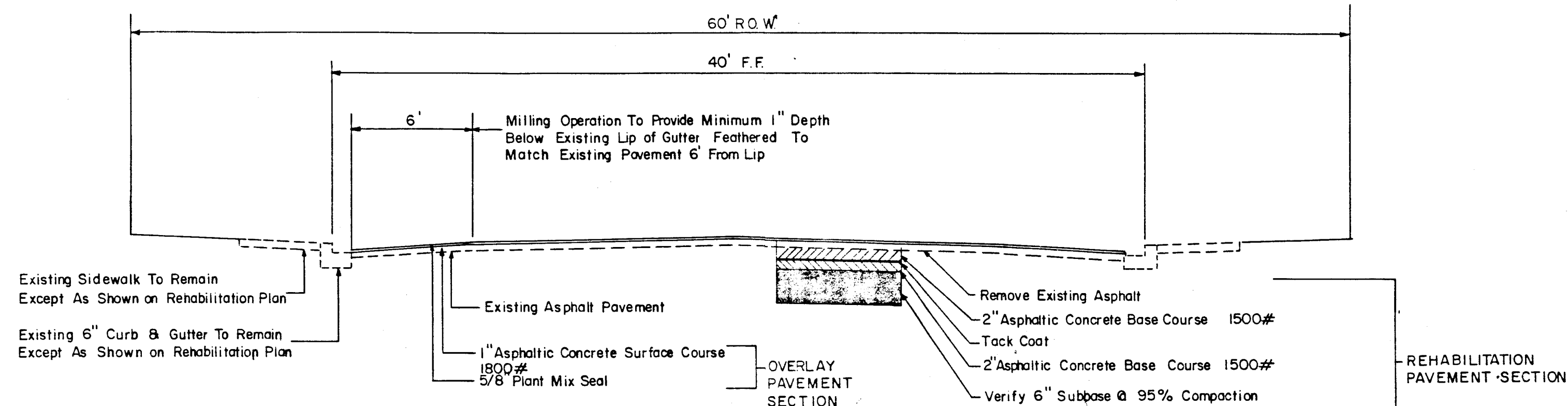
SECTION B-B
SCALE: 1" = 5'



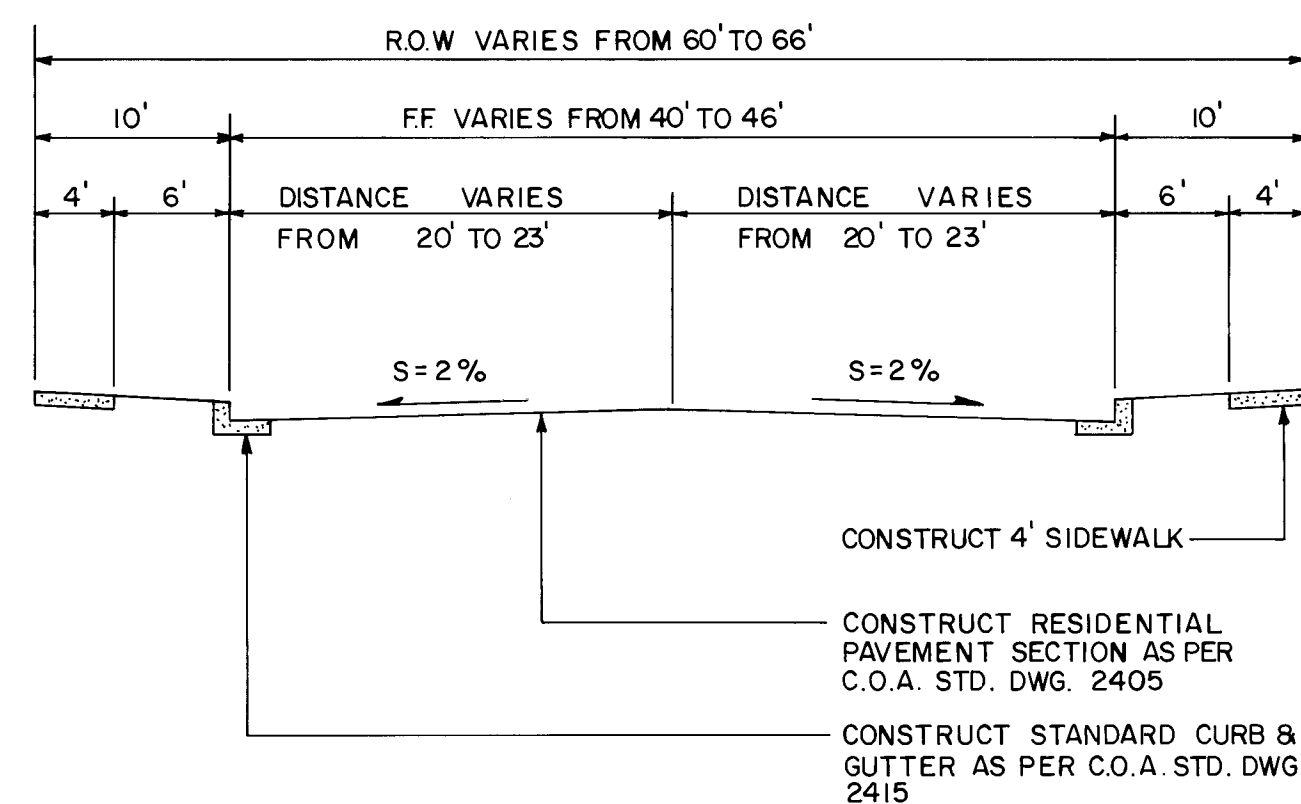
SECTION C-C
SCALE: 1" = 5'



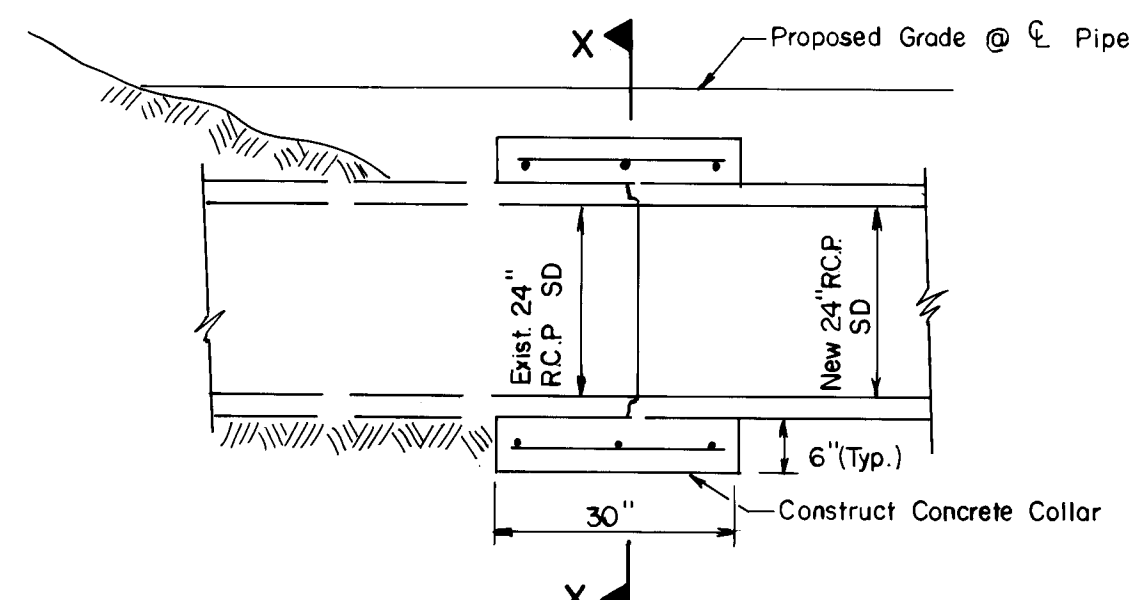
ARTERIAL PAVEMENT SECTION



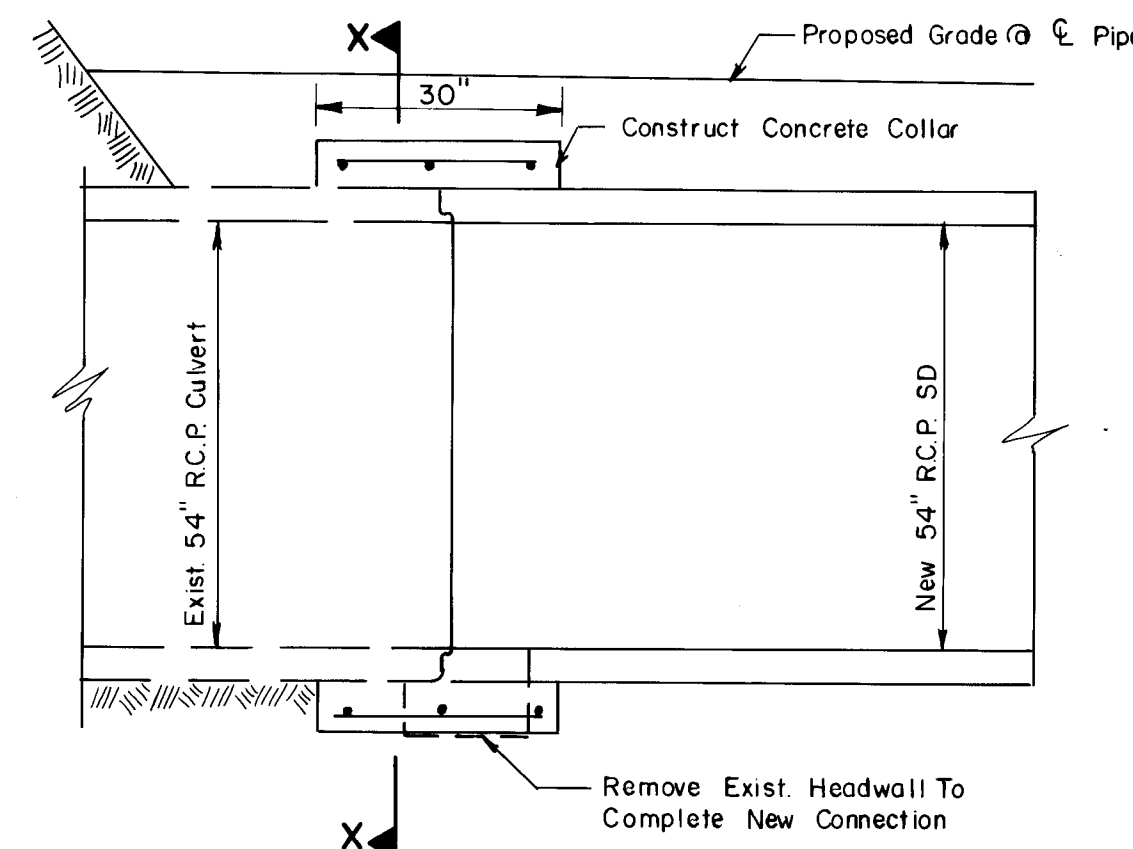
SECTION D-D
SCALE: 1" = 5'



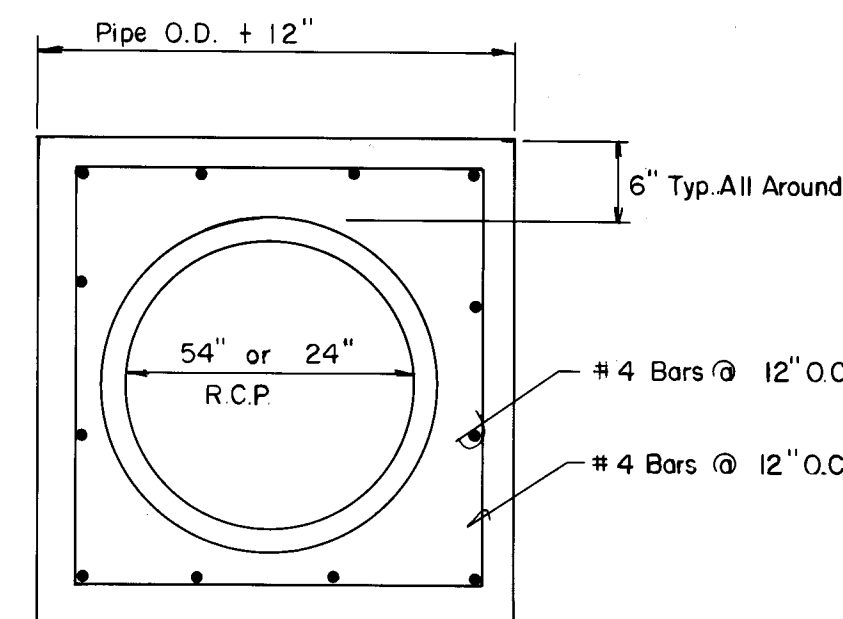
SECTION E-E
SCALE: 1" = 10'



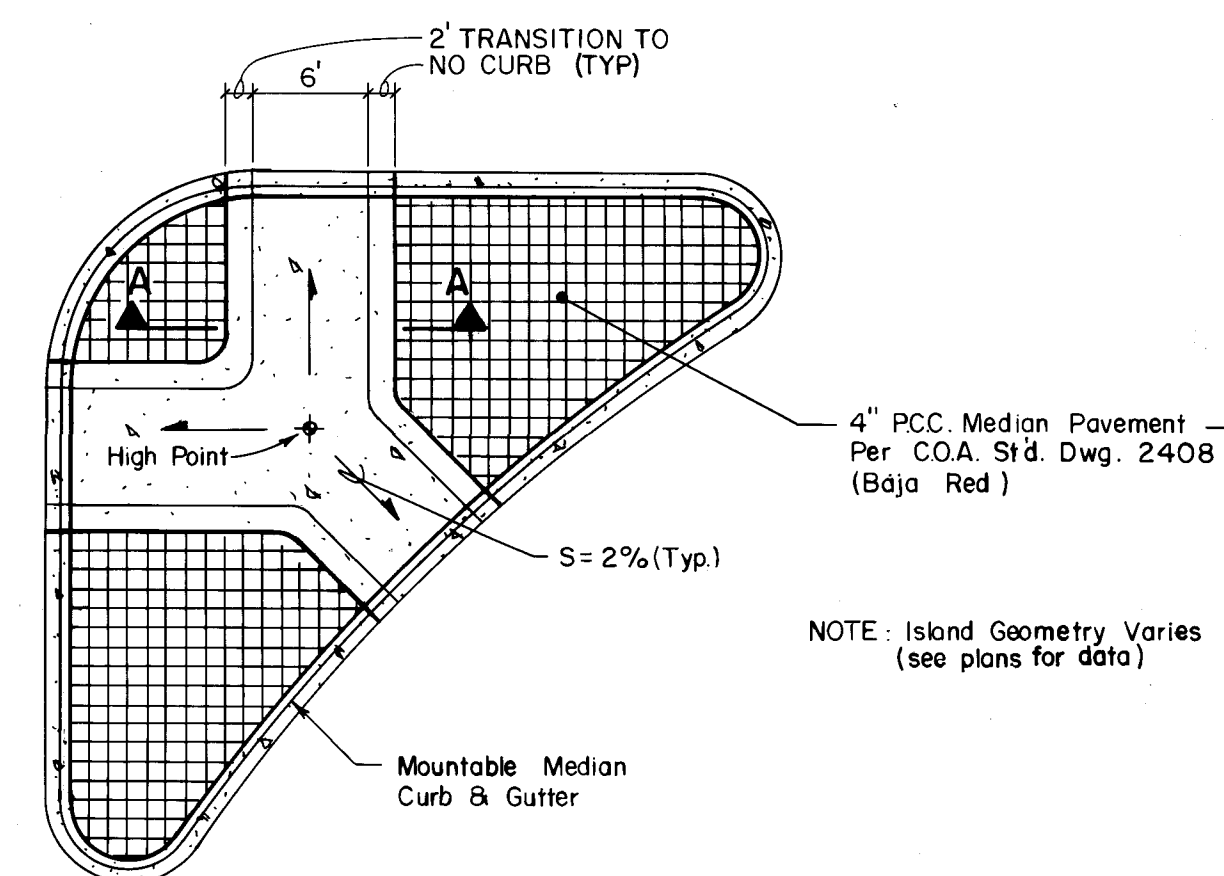
24" STORM DRAIN CONNECTION
SCALE: 1" = 02'



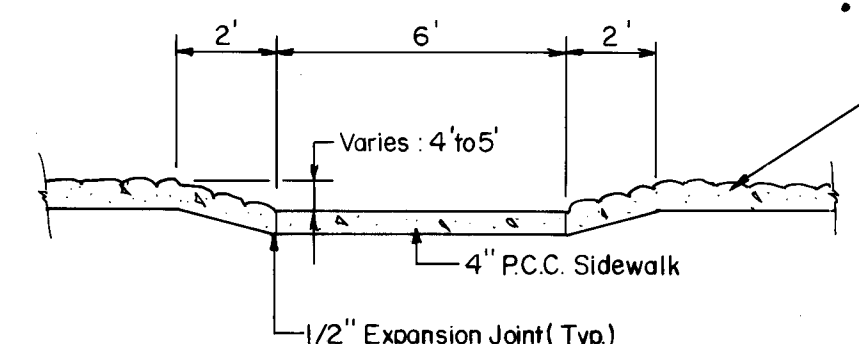
54" STORM DRAIN CONNECTION
SCALE: 1" = 02'



SECTION X-X
N.T.S.

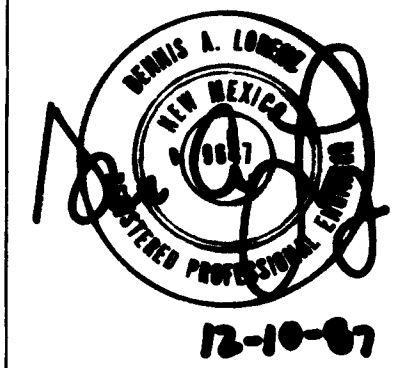


TRAFFIC ISLAND TYPICAL DETAIL
SCALE: 1" = 10'



SECTION A-A
SCALE: 1" = 04'

AS BUILT INFORMATION			BENCH MARKS			SURVEY INFORMATION			ENGINEER'S SEAL		
CONTRACTOR	DATE	NO.	CONTRACTOR	DATE	NO.	NO.	BY	DATE	ENGINEER'S SEAL	DATE	NO.
WORK	DATE	NO.	WORK	DATE	NO.	NO.	BY	DATE	ENGINEER'S SEAL	DATE	NO.
STATIONED BY	DATE	NO.	STATIONED BY	DATE	NO.	NO.	BY	DATE	ENGINEER'S SEAL	DATE	NO.
ACCEPTANCE BY	DATE	NO.	ACCEPTANCE BY	DATE	NO.	NO.	BY	DATE	ENGINEER'S SEAL	DATE	NO.
FIELD	DATE	NO.	FIELD	DATE	NO.	NO.	BY	DATE	ENGINEER'S SEAL	DATE	NO.
REVISIONS	DATE	NO.	REVISIONS	DATE	NO.	NO.	BY	DATE	ENGINEER'S SEAL	DATE	NO.
CORRECTED BY	DATE	NO.	CORRECTED BY	DATE	NO.	NO.	BY	DATE	ENGINEER'S SEAL	DATE	NO.
RECORDED BY	DATE	NO.	RECORDED BY	DATE	NO.	NO.	BY	DATE	ENGINEER'S SEAL	DATE	NO.



1	2	3	4	5	6	7	8	9	10	11	12
2	6	3	4	0	2	2	4	8	8		

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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: MARKET CENTRE EAST MISCELLANEOUS DETAILS					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair	<i>[Signature]</i>	2/9/88	Hyperbolic	<i>[Signature]</i>	1-20-88
Trans. Dev	<i>[Signature]</i>	1/20/88			
Utility Dev	<i>[Signature]</i>	1/19/88			
DRAWING NO.	MAP NO.	SHEET	OF		
3402	K-21	24	24		