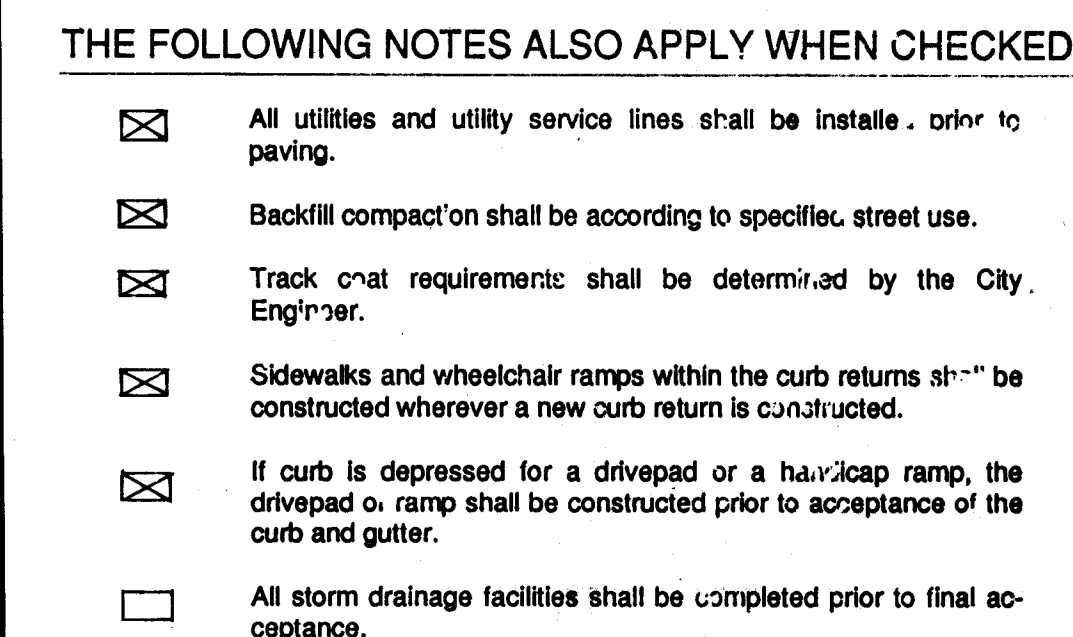


LAGRIMA DE ORO

VET CLINIC

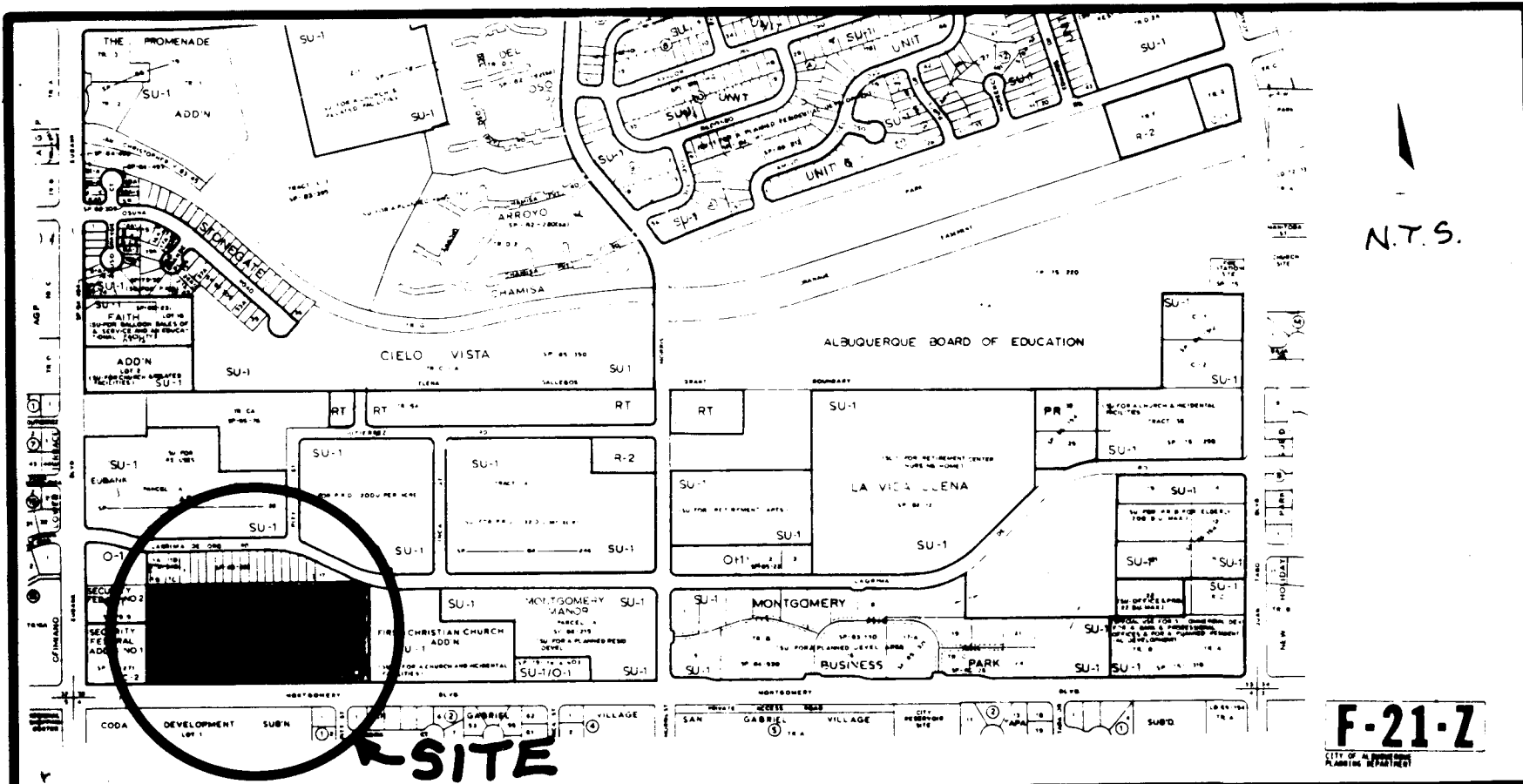
1. TITLE SHEET
2. PLAT
3. GRADING AND DRAINAGE
4. PITT STREET PLAN & PROFILE
5. UTILITY PLAN AND MONTGOMERY
BLVD. MEDIAN CUT



APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
[Signature]
DATE 12/14/97

[illegible]

ALUS LOG # 11-15-29



**PLAT OF
LOTS A, B, C, D, E, F, G, H, AND J
MONTGOMERY PARTNERS
WITHIN SECTION 33, T.11 N., R.4 E., N.M.P.M.
CITY OF ALBUQUERQUE, NEW MEXICO
NOVEMBER 1988**

GENERAL NOTES:

- 1) Bearings are true bearings based upon New Mexico State Plane Coordinate System.
- 2) All distances are ground.
- 3) Rotate bearings clockwise 00 deg. 18'55" to adjust to Grid Bearings based on New Mexico State Plane Coordinate System.
- 4) All corners set with rebar and cap stamped LS6446, unless otherwise noted.
- 5) All property line corners and right-of-way points will be set with rebar with cap, stamped LS6446 for Pitt Street N.E.
- 6) Plat shows all easements of record.
- 7) Lot J is designated as parking for Lot F.

BULK LAND VARIANCE:

Bulk land variance for a portion of the Infrastructure Improvements for DB-88-581, is approved with the following findings and conditions:

1. The variance will not be injurious to the public safety, health or welfare or to the adjacent property, neighborhood or community.
2. The variance will not conflict significantly with the goals and provisions of any city, county or AMAFCA adopted plan or policy, the applicable zoning ordinance or any other city code or ordinance.
3. The variance will not permit, encourage, or make possible undeveloped development in the 100-year flood plain.
4. The variance will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.
5. (As to Lots A, B, C, D, E, G, and H). The use of the land for building purposes is not expected by the Development Review Board prior to further subdivision or zoning site development plan approval.
6. The specific infrastructure improvements which are being waived are listed in the Infrastructure List being approved, and are to be constructed as a part of Phase II Development Plan on this particular site.

SUBDIVISION CONDITIONS

A variance or waiver from certain subdivision requirements has been granted by the City of Albuquerque and the Albuquerque Metropolitan Airport Flood Control Authority in connection with this plat.

Future subdivision of lands within this plat, zoning site development plan approval, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, storm drainage, grading and parks in accordance with current regulations, ordinances and policies in effect at the time for any specific proposed.

The City of Albuquerque (and AMAFCA with reference to drainage) may require similar permit easements to be added, modified or removed when future plat or site development plan are approved.

By its approval the City of Albuquerque makes no representation or warranty as to availability of utilities, or final approval of all requirements including that not included in the following items: water and sanitary sewer availability; future street dedications; and/or improvements, park and open space requirements; drainage requirements; and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

LEGAL DESCRIPTION, FREE CONSENT AND DEDICATION

The undersigned owner(s) of the land hereon shown do hereby consent to the Replat of the land hereon shown:

A certain tract of land situate within Section 33, T.11 N., R.4 E., N.M.P.M., Bernalillo County, New Mexico being and comprising Lots 82, 83, 84, 98, 99, 110, 114, 115, and 116 inclusive Plat of Survey of the West 80 of the 160 Association dated March 29, 1977, on file at the City Engineers Office, and being more particularly described as follows:

Beginning at the Southeast corner of said tract being the Southwest corner of the plat of FIRST CHRISTIAN CHURCH ADDITION, as filed in the office of the County Clerk of Bernalillo County, New Mexico on March 6, 1972, Vol. C 8; folio 100, also a point on the North right-of-way of Montgomery Blvd. N.E., running thence along said right-of-way S. 89 deg. 56'31" E., 990.06 feet to the Southwest corner; thence leaving said right-of-way N. 00 deg. 01'40" W., 442.00 feet to the Northwest corner; thence N. 89 deg. 56'31" E., 927.88 feet to a point of intersection with the South right-of-way of La Grima de Oro Road; thence along a curve along said right-of-way to left having a radius of 453.53 feet, delta 08 deg. 13'03" a distance of 65.05 feet, (chord bearing S. 73 deg. 12'36" E., chord length = 64.99 feet) thence leaving said right-of-way S. 00 deg. 01'17" E., 423.16 feet to the point of beginning and containing 10.0316 acres, more or less.

and is with the free consent and in accordance with the desires of the undersigned owner(s) and proprietor(s) thereof, and hereby grants the private access and public utility easement(s) and hereby dedicates street right-of-way as shown hereon.

Owner(s) KEN TERIN Date 11/19/88

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

The foregoing instrument was acknowledged before me this 17th day of NOVEMBER, 1988, by: KEN TERIN

My Commission Expires: 8-8-91 Notary Public Daniel M. Jancy

CITY/COUNTY APPROVALS:

Property Management	Date
City Engineer	Date <u>11-22-88</u>
City Water Resources	Date
City Engineer	Date
A.H.A.F.C.A.	Date
Traffic Engineer	Date
Parks and Recreation	Date
City Planning Director	Date

SURVEYOR'S CERTIFICATION

I, Franklin E. Wilson, a registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, meets the minimum requirements of monumentation and surveying with the Albuquerque Subdivision Ordinance, and that it is true and correct to the best of my knowledge and belief.

Franklin E. Wilson, N.M.L.S. No. 6446 Date 11/7/88
SOUTHWEST PLANNING CO., INC. 333 Lomas Blvd, N.E., Albuquerque, New Mexico 87102

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

The foregoing instrument was acknowledged before me this 17th day of NOVEMBER, 1988, by Franklin E. Wilson.

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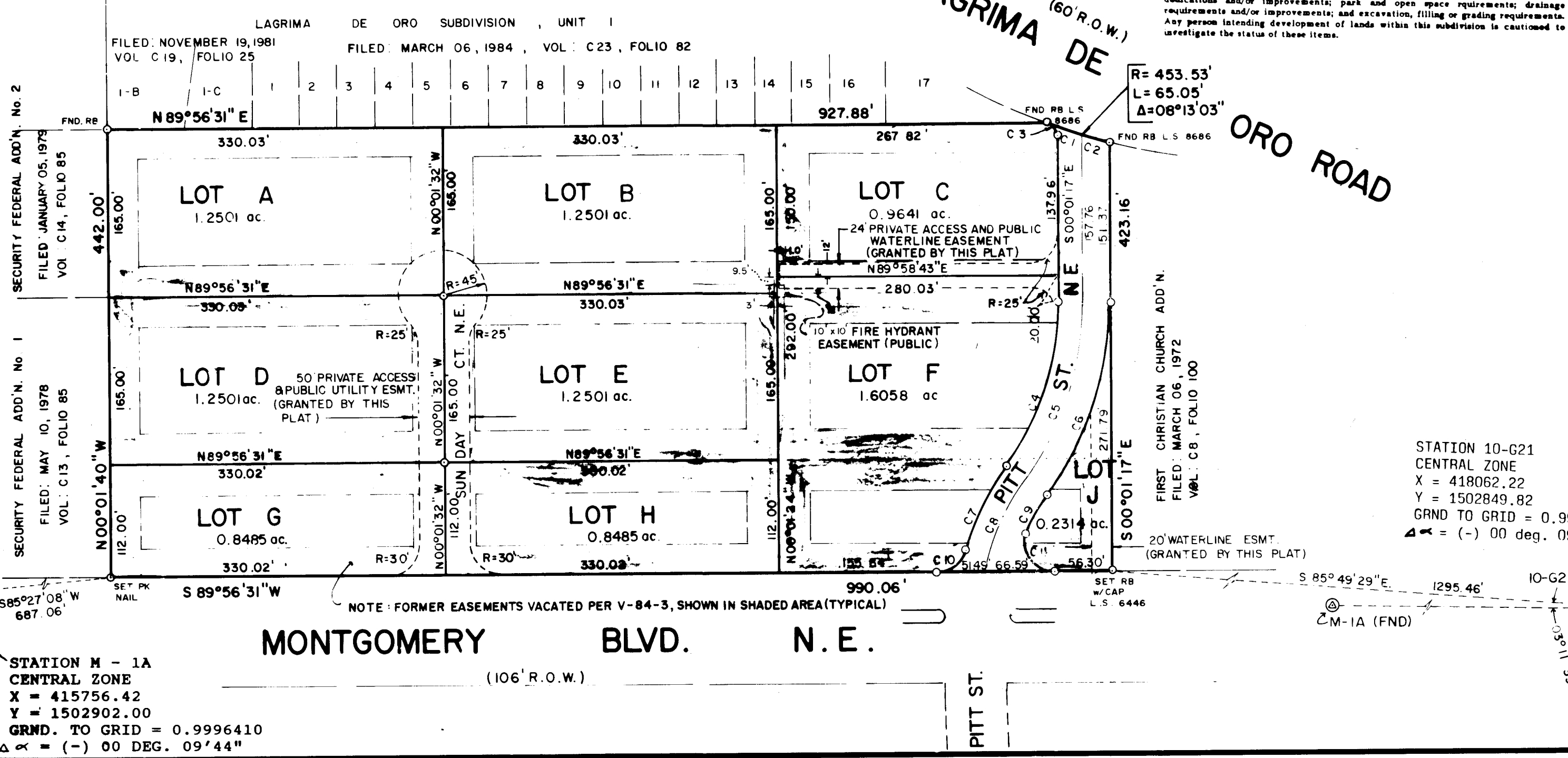
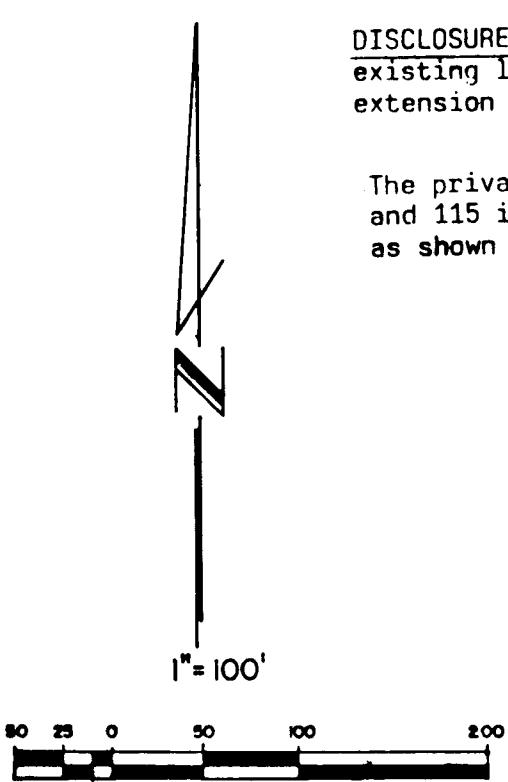
SEC. 33, T.11 N., R.4E. DRB 88-581

DISCLOSURE STATEMENT: The purpose of this Replat is to make 9 new lots from 9 existing lots; show vacated easements per V-84-3; and to dedicate Pitt Street NE, extension from Montgomery NE to Lagrima de Oro NE.

The private access and public utility easement within Lots 82, 83, 98, 99, 114, and 115 is for the exclusive benefit and use by and for the owners of the tracts as shown hereon and is to be maintained by the owners of said tracts.

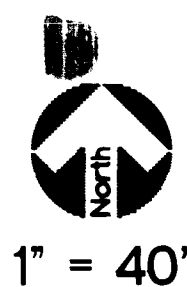
CURVE TABLE

Curve No	Radius	Arc Length	Delta	Chord Length	Chord Bearing
C1	453.53'	39.24'	04 deg. 57'26"	39.23'	S. 71 deg. 34'48" E.
C2	453.53'	25.81'	03 deg. 15'37"	25.80'	S. 75 deg. 41'19" E.
C3	12.21'	19.18'	90 deg. 02'12"	17.27'	S. 45 deg. 02'23" E.
C4	275.00'	173.35'	36 deg. 07'00"	170.49'	S. 18 deg. 02'13" W.
C5	300.00'	189.11'	36 deg. 07'00"	185.99'	S. 18 deg. 02'13" W.
C6	325.00'	204.87'	36 deg. 07'00"	201.49'	S. 18 deg. 02'13" W.
C7	275.16'	98.23'	20 deg. 27'18"	97.71'	S. 25 deg. 52'04" W.
C8	226.50'	104.12'	26 deg. 20'20"	103.21'	S. 22 deg. 55'33" W.
C9	181.57'	44.76'	14 deg. 07'22"	44.63'	S. 29 deg. 02'02" W.
C10	30.00'	38.90'	74 deg. 18'06"	36.23'	S. 52 deg. 47'28" W.
C11	30.00'	58.60'	111 deg. 54'56"	49.72'	S. 34 deg. 02'34" E.



STATION M - 1A
CENTRAL ZONE
X = 418062.22
Y = 1502849.82
GRID TO GRID = 0.9996381
GRD. TO GRID = 0.9996410
Δ = (-) 00 DEG. 09'44"

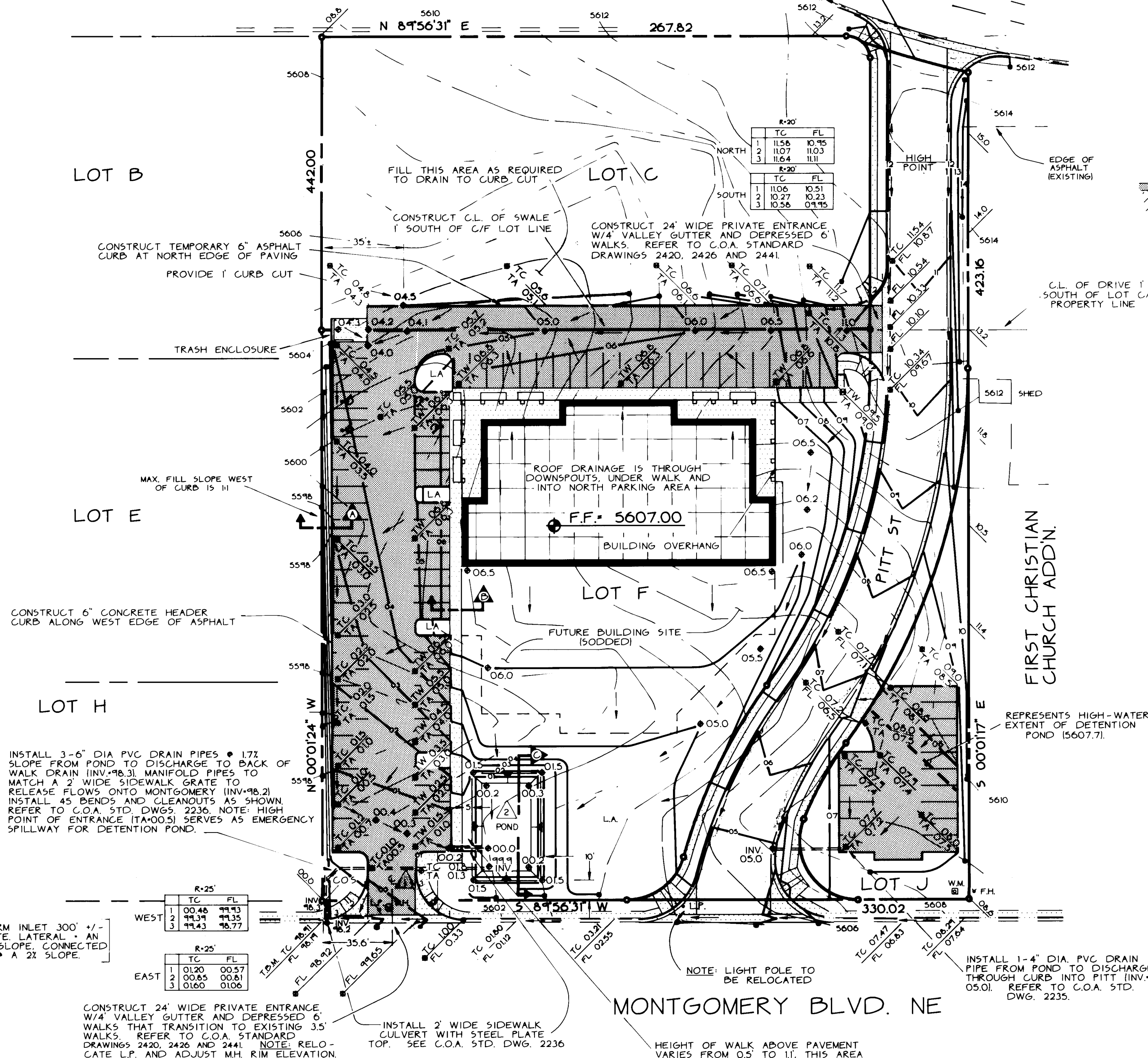
LAGRIMA DE ORO
PROJECT 3698



LAGRIMA DE ORO
SUBDN. UNIT 1

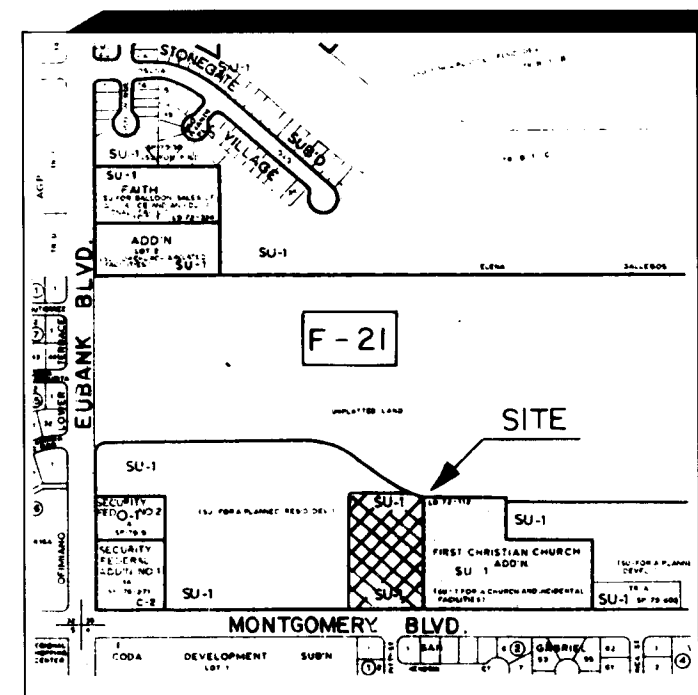
Δ = 08'13.03"
R = 453.53
L = 65.05

LAGRIMA DE ORO RD. NE



LEGEND

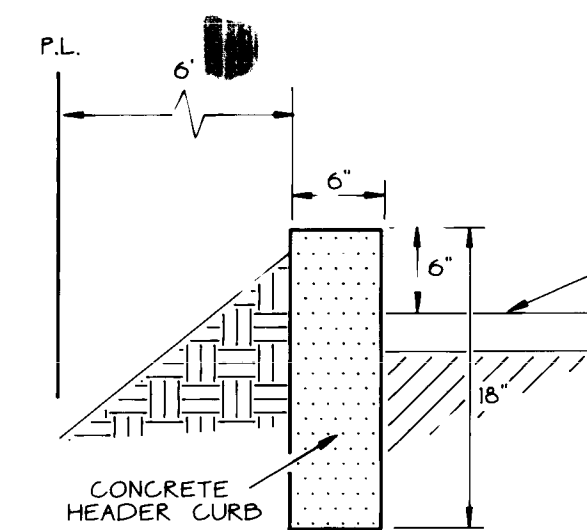
	Manhole, Curb & Gutter (Existing, Proposed)
	Proposed Right-of-Way
	Building (Existing, Proposed)
	Property Line
	Existing Road Centerline
	Existing Right-of-Way
	Proposed Right-of-Way
	Proposed Centerline
	Proposed Right-of-Way (Shaded)
	Lot Area
	Top of Road (1' x 12' High)
	Top of Building (1' x 12' High)
	Top of Asphalt
	Top of Curb
	Flow Line
	Flooded Area



VICINITY MAP

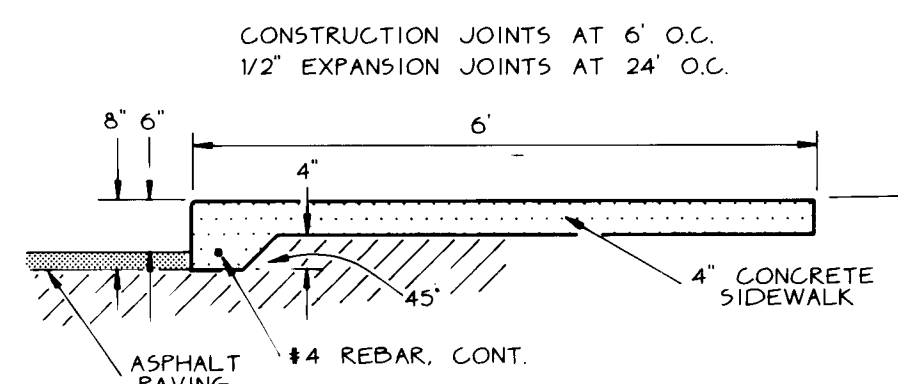


FLOOD HAZARD MAP



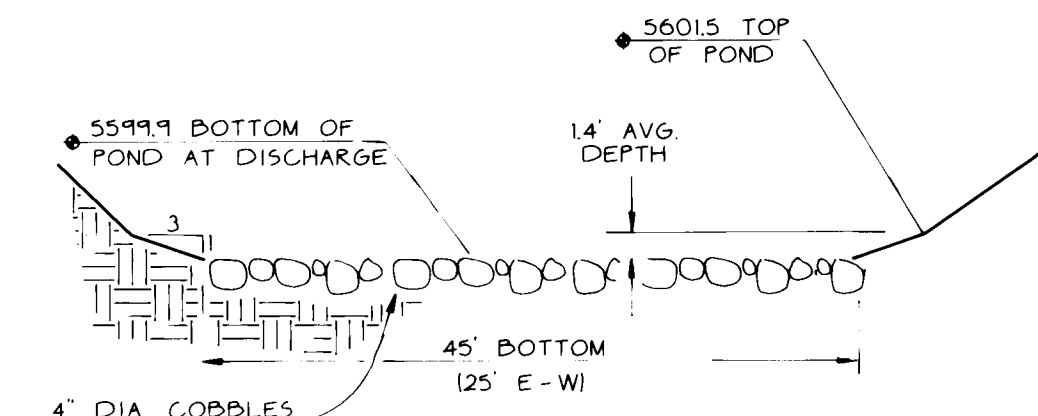
SECTION A

HEADER CURB



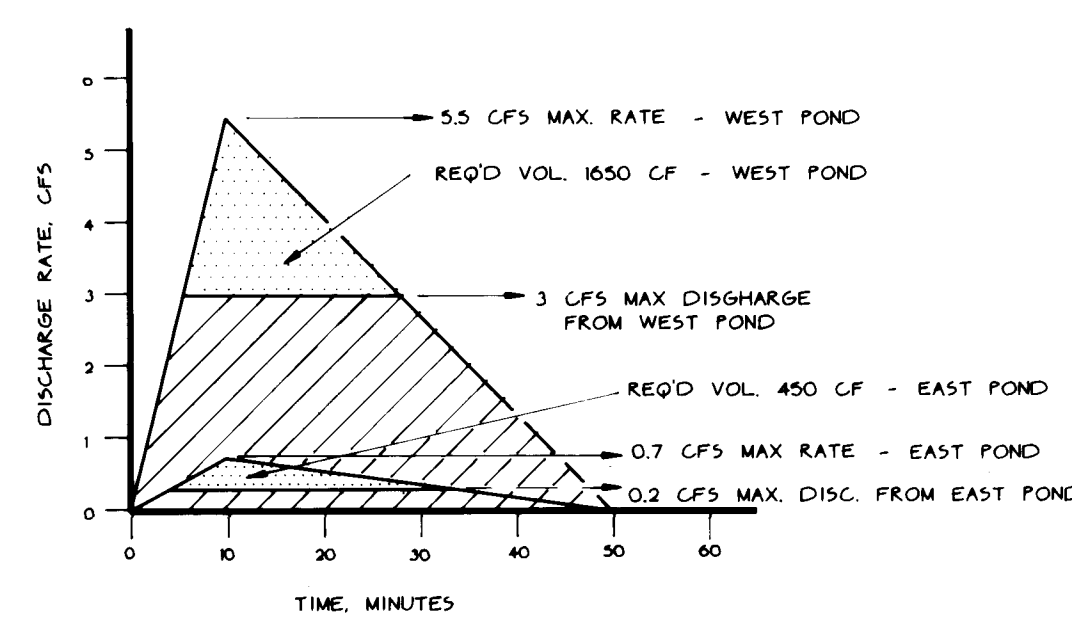
SECTION B

TURN-DOWN WALK



SECTION C

DETENTION POND



LOT F HYDROGRAPH

SEE CALCULATIONS

NOTICE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
- All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with Albuquerque Interim Standard Specifications for Public Works Construction.
- Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved within a minimum amount of delay.
- Backfill compaction shall be according to RESIDENTIAL street use.
- Maintenance of these facilities shall be the responsibility of the Owner of the property served.
- Contractor is responsible for obtaining excavation permit for sidewalk culvert/drain.
- Proof of acceptance will be required prior to sign off for Certificate of Occupancy (C.O.).

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

DESIGN APPROVAL: Hydrology Section Date

INSPECTION APPROVAL: Construction Section Date

ACCEPTANCE: Construction Section/Permits Date

SCOPE:

The proposed improvements consist of an 18,000 SF sub-grade, frame and stone retaining wall (with a proposed 10,000 SF addition to be constructed in the future), existing paved parking area (20,000 SF total), two stormwater detention ponds (2,100 CF each) and associated walkways (2,000 SF) and landscaped areas. In addition, a 30' wide public street (Pitt Street, 60' F.O.W.) will be constructed and dedicated as a part of the development.

The present site is undeveloped land sloping at approximately 4% from east to west. Montgomery Boulevard abuts the site to the south and the First Christian Church development is adjacent to the east. The lot north and west of the site is undeveloped.

The intent of this plan is to show:

- Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.
- The extent of proposed site improvements, including buildings, walks and pavement.
- The flow rates/volumes of rainfall runoff across or around these improvements and methods of handling these flows to meet City requirements for drainage management.
- The relationship of onsite improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

DRAINAGE PLAN CONCEPT:

This Drainage/Grading Plan accomplishes three purposes as established by City Hydrology at a Pre-Design Meeting January 26, 1989:

- Development of Lots F & J (Vegetative Class) for Building Permit;
- Conceptual Drainage/Grading Plan for Lots C, E, and I;
- Design of public roadway (Pitt Street) for dedication.

Calculations show developed runoff for the proposed improvements of Lots F & J and undeveloped runoff for Lot C.

Two ponds will be used to detain the developed flows, which will be released onto Montgomery Blvd. The west pond (450 CF) handles the portion of the site east of Pitt Street (Lot J) and the west pond (1,650 CF) the portion west of the street (Lot F). Both ponds control discharge into Montgomery Blvd. by means of pipes. The discharge rate from the west pond was established by the flow capacity of the 4" diameter drain outlet under low head conditions, or 0.2 cfs.

The discharge rate from the west pond is set to a percentage of the capacity of the storm drain immediately downstream from the site. This percentage is the ratio of the site area to the immediate basin area which can be drained to the West (Site Area = 1.8 Ac., Basin Area = 8.8 Ac., Percentage = 0.2045). Capacity of the storm sewer serving for an 18" diameter concrete pipe at a 1% grade is 10.2 cfs. Assuming that the site discharge will be picked up by the line, there will be 20% of its capacity available for interception, or 2.0 cfs. Therefore the west pond will be sized to detain the difference between its peak flow of 0.2 cfs and the outlet flow of 2.0 cfs. The west pond serves as a future settling basin for future developed flows from Lot C, which will require its own detention pond and controlled discharge.

Developed flows from the new Pitt Street between LAGRIMA DE ORO Road and Montgomery Blvd. will be discharged into Montgomery Blvd. as per City Hydrology guidelines. A water block at the north end of Pitt Street will prevent flows from LAGRIMA DE ORO Road from entering the street. No flows from Lot C or F will enter the new street.

GENERAL NOTES:

1. LAGRIMA DE ORO RD. NE, 60' F.O.W. (Vegetative Class) for Building Permit.

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98. LAGRIMA DE ORO RD. NE, 60' F.O.W. (Vegetative Class) for Building Permit.

99. LAGRIMA DE ORO RD. NE, 60' F.O.W. (Vegetative Class) for Building Permit.

100. LAGRIMA DE ORO RD. NE, 60' F.O.W. (Vegetative Class) for Building Permit.

RESUBMITTAL, 2-2-89
REDESIGN S.W. PRIVATE ENTRANCE
REDESIGN DETENTION POND
NEW NARRATIVE & CALCULATIONS
DATE 2/1/89
DATE

3698

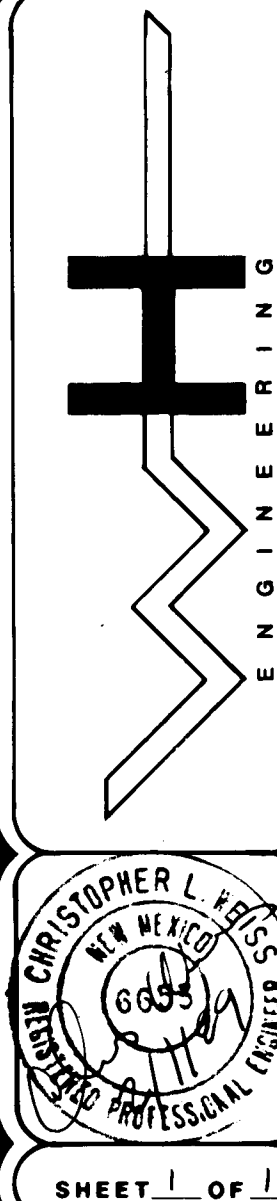
3 OF 5

FOR INFORMATION ONLY

WEISS-HINES ENGINEERING, INC.
1100 ALVARADO N.E. SUITE B
ALBUQUERQUE, NEW MEXICO 87110
(505) 266-3444

DATE	REVISIONS
2-2-89	DESIGNED SC/CW
2-2-89	DRAWN SC
2-2-89	CHECKED CW

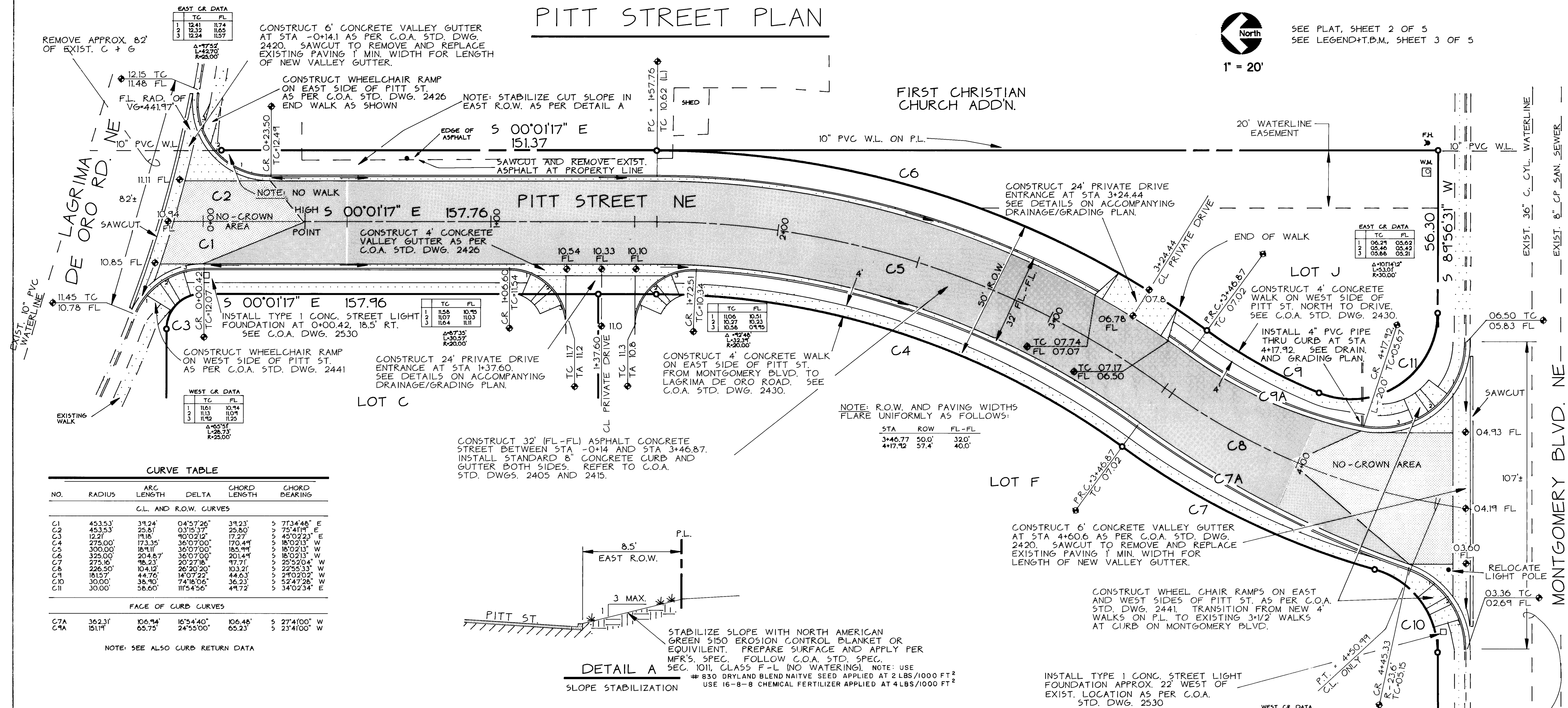
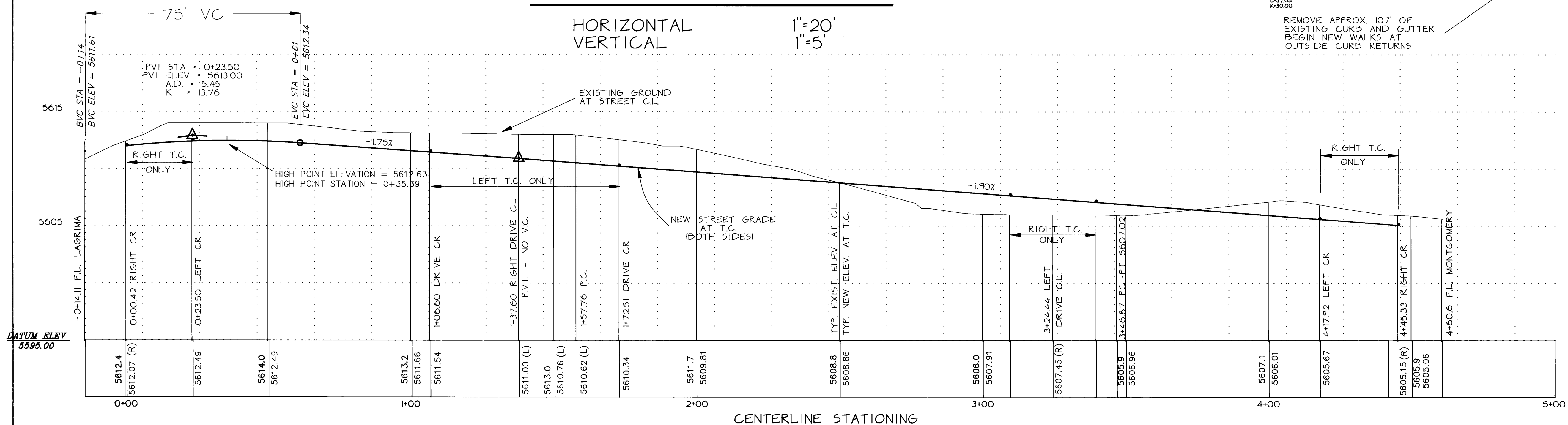
LAGRIMA DE ORO VET. CLINIC
DRAINAGE/GRADING PLAN



1" = 20'

SEE PLAT, SHEET 2 OF 5
SEE LEGEND+T.B.M., SHEET 3 OF 5

1" = 20'


$$\begin{aligned} 1'' &= 20' \\ 1'' &= 5' \end{aligned}$$


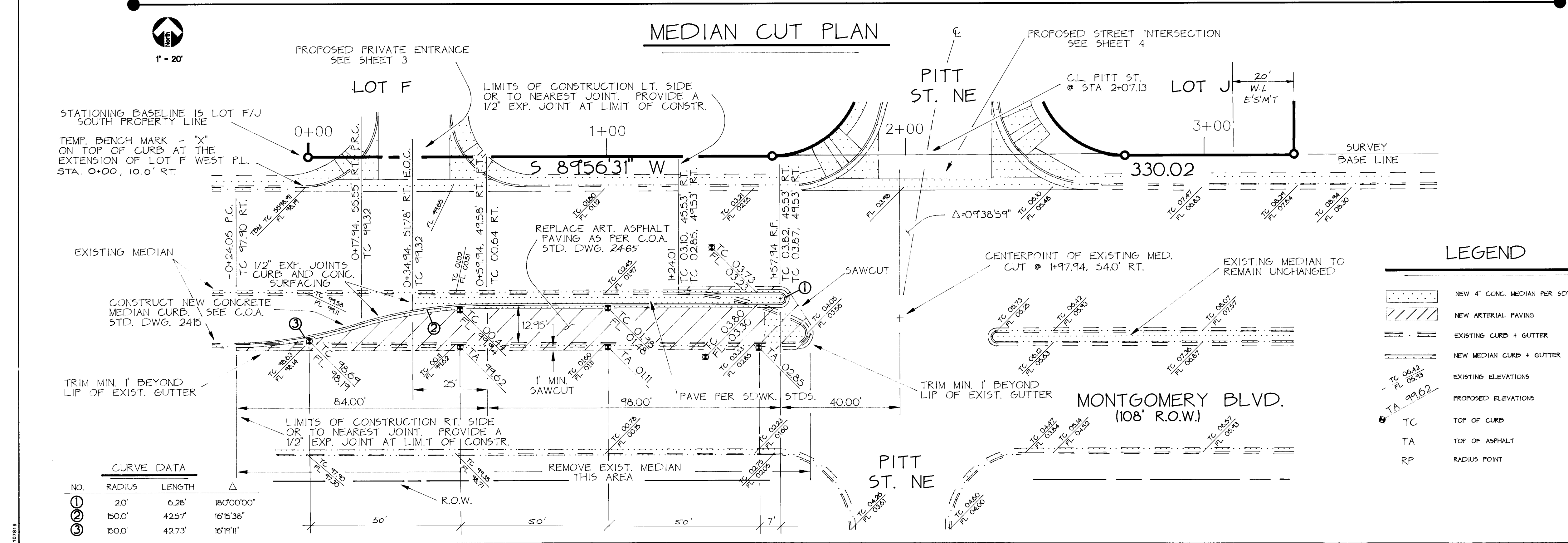
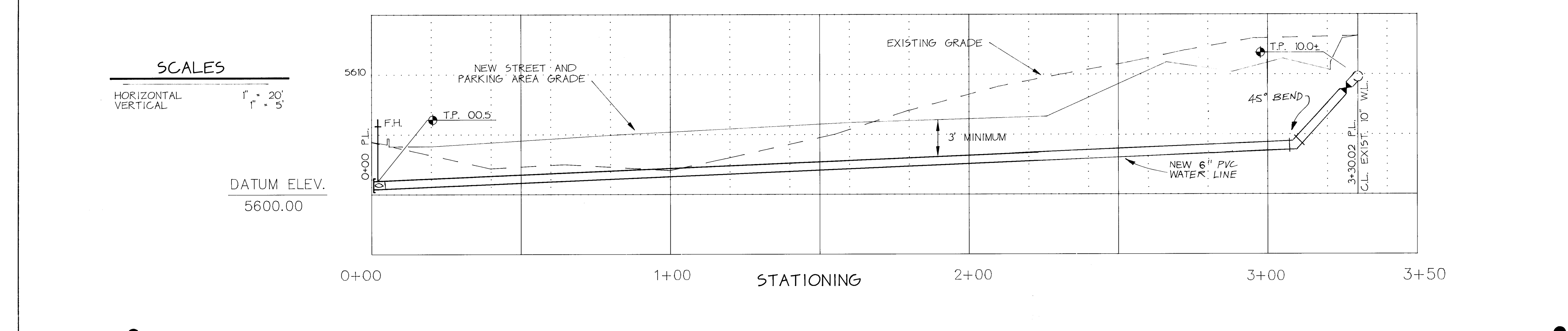
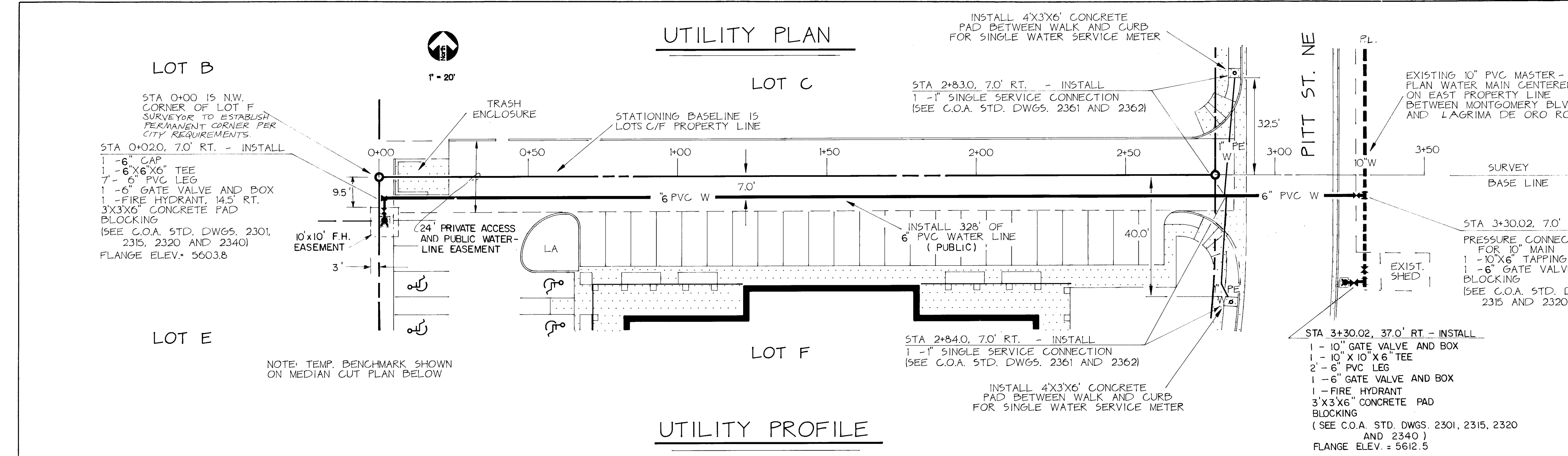
GENERAL NOTES

1. STATIONING FOR PITT STREET IS STREET CENTERLINE (SEE PLAT).
2. STATIONING FOR WATER LINE IS LOT C/O LOT LINE AND EXTENSION.
3. STATIONING FOR MEDIAN TURN BAY IS LOT F SOUTH PROPERTY LINE.
4. MATCH EXISTING ARTERIAL PAVING.
5. INSTALL E.M.D. AT ALL BENDS, CAPS AND ENDS.
6. ALL VALVES WILL BE RESILIENT SEAT AND BE INSTALLED WITH TYPE "A" VALVE BOX AND VALVE ANCHORING.
7. APPROVED WATER LINE MATERIAL - C900, PVC, DI, OR APPROVED EQUAL.
8. PLACE BLOCKING AT ALL BENDS, TEES, CAPS, VALVES, AND FIRE HYDRANTS.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE CITY WATER SYSTEM DIVISION THREE (3) DAYS PRIOR TO PERFORMING PRESSURE WATER CONNECTION.

TRAFFIC HANDLING NOTES

1. CONTRACTOR MUST SUBMIT A CONSTRUCTION SIGNING AND BARRICADING PLAN TO TRAFFIC ENGINEERING DIVISION AND RECEIVE A BARRICADING PERMIT PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION SIGNING AND BARRICADING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1978 EDITION.
3. CONTRACTORS OPERATION, BARRICADING AND SIGNING SHALL NOT AFFECT THROUGH LANES BETWEEN 7 AM AND 9 AM, OR 4 PM AND 6 PM ON MONTGOMERY BLVD. OR LAGRIMA DE ORO ROAD.

[illegible]



NOTES: SEE SHEET 4 OF 5.

VALVE SHUT-OFF PLAN

CONTRACTOR RESPONSIBLE FOR CONTACTING WATER SYSTEMS DIVISION, 823-4044, AT LEAST 3 DAYS PRIOR TO ANY WORK ON PUBLIC WATER LINES.

SHUT OFF VALVES 822, 823 AND 882. PRIOR TO CONSTRUCTION TO ISOLATE 10" MAIN. VALVES ARE INDICATED WITH ARROWS ON MAP ABOVE.

ENGINEER'S SEAL

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: LAGRIMA DE ORO - Pitt St. Ext.

APPROVALS

ENGINEER

DATE

APPROVALS

ENGINEER

DATE

DRAWING NO. 3698

MAP NO. F-21

SHEET 5 OF 5