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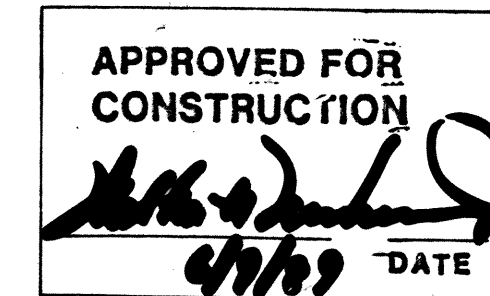
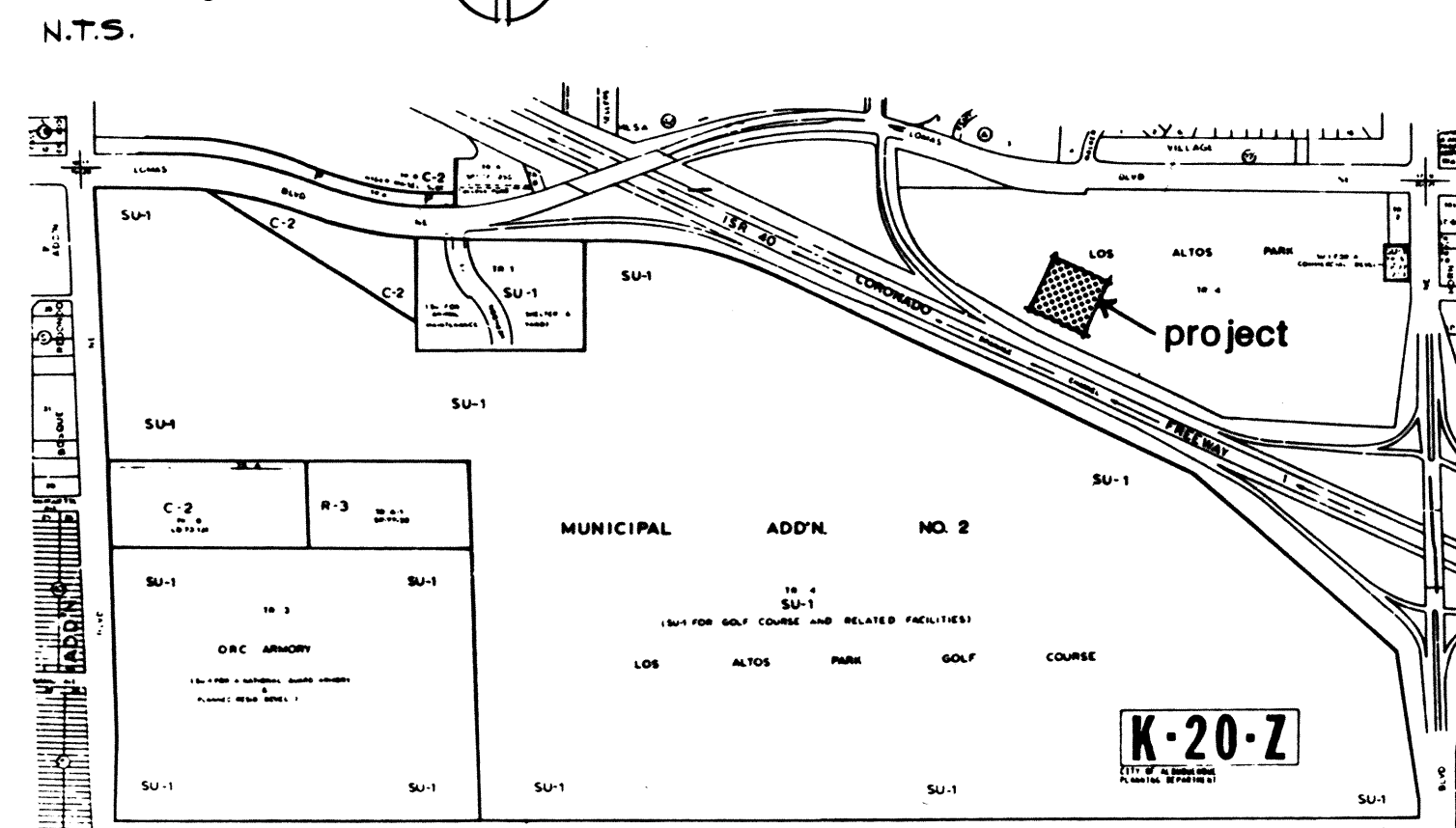
No.	Sheet	Description
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Project Data

Building Code:	1988 UBC w/ City of Albuquerque Amendments
Occupancy:	A-3
Type of Const:	V-N
Total S.F.	BATHHOUSE: 4230 S.F. 2 HR AREA DEP. POOL & VEST: 5755 S.F. WALL PROVIDED 6000 S.F.
Basic Allowable Building Area Per UBC Table 5-C	
Increases Allowed:	Separation on 3 sides: 100%
Total Allowable Building Area:	12,000 S.F.
Occupant Load Calculations (per Table 33-A)	
Pool:	50 S.F. per occupant in pool; 5,229/50 = 105 15 S.F. per occupant on deck; 3,725/15 = 248 Total in Pool Area = 353
Exit Width Required	= 353/50 = 7 ft.
Exit Width Provided	= 9 ft.
Bath House:	Lockers: 50 S.F. per occ.; 1,726/50 = 34
Exit Width Required	= 34/50 = .68 ft = 3 ft.
Exit Width Provided	= 12 ft.
Offices: 100 S.F. per occ.; 756/100 = 7	
Exit Width Required	= 7/50 = .14 ft = 3 ft.
Exit Width Provided	= 6 ft.

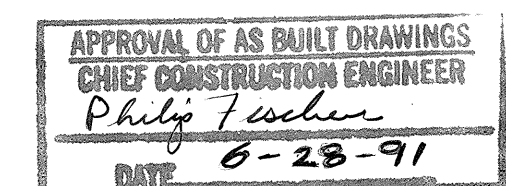
Los Altos Pool Renovation

Vicinity Map



Keyed Notes

- Project is an existing facility located within the boundaries of Los Altos Park. The nearest property line is to the south, approximately 45 ft. from the fence corner and parallels the pool building.
- Existing chain link gate to be utilized by the Contractor for his access to the site. Contractor shall coordinate with the Owner should other access points be required.
- Contractor's heavy equipment shall be restricted to this area. Contractor shall take all precautions necessary to protect deck drains and underground utility lines in the area. Existing concrete deck slab is 4" thick. Contractor will be responsible for replacing any damaged concrete, utility lines, and deck drains in this area. See 2/SP-1, Sheet SP-2, and Sheet E-1 for approximate locations of existing utilities.
- Existing 6'-0" high chain link fencing with 3 strand barbed wire on top. Contractor shall be responsible for security and insurance for all items within fencing for the duration of the Project. Refer to Project Manual for specific insurance requirements for existing facility.
- Existing Wading Pool to be renovated by Owner (Class II Construction). Contractor shall coordinate and cooperate with Owner with regard to this work.
- New pool equipment building for wading pool to be constructed by Owner (Class II Construction).
- Office area in Bath House. Owner will continue to perform administrative duties only in these offices during this Project. Contractor shall coordinate with and maintain Owner access to this area at all times.
- Contractor's field office to be located at south end of adjacent parking lot. Contractor shall repair any damage to asphalt at close of construction.



General Notes

- All work noted as "CLASS I CONSTRUCTION" shall be performed by the contractor.
- All work noted as "CLASS II CONSTRUCTION" shall be performed by the owner.
- Contractor shall coordinate his work with Class II work where noted.
- Contractor shall field verify all dimensions.
- Contractor shall field verify conditions prior to submitting his bid.

CLASS I CONSTRUCTION

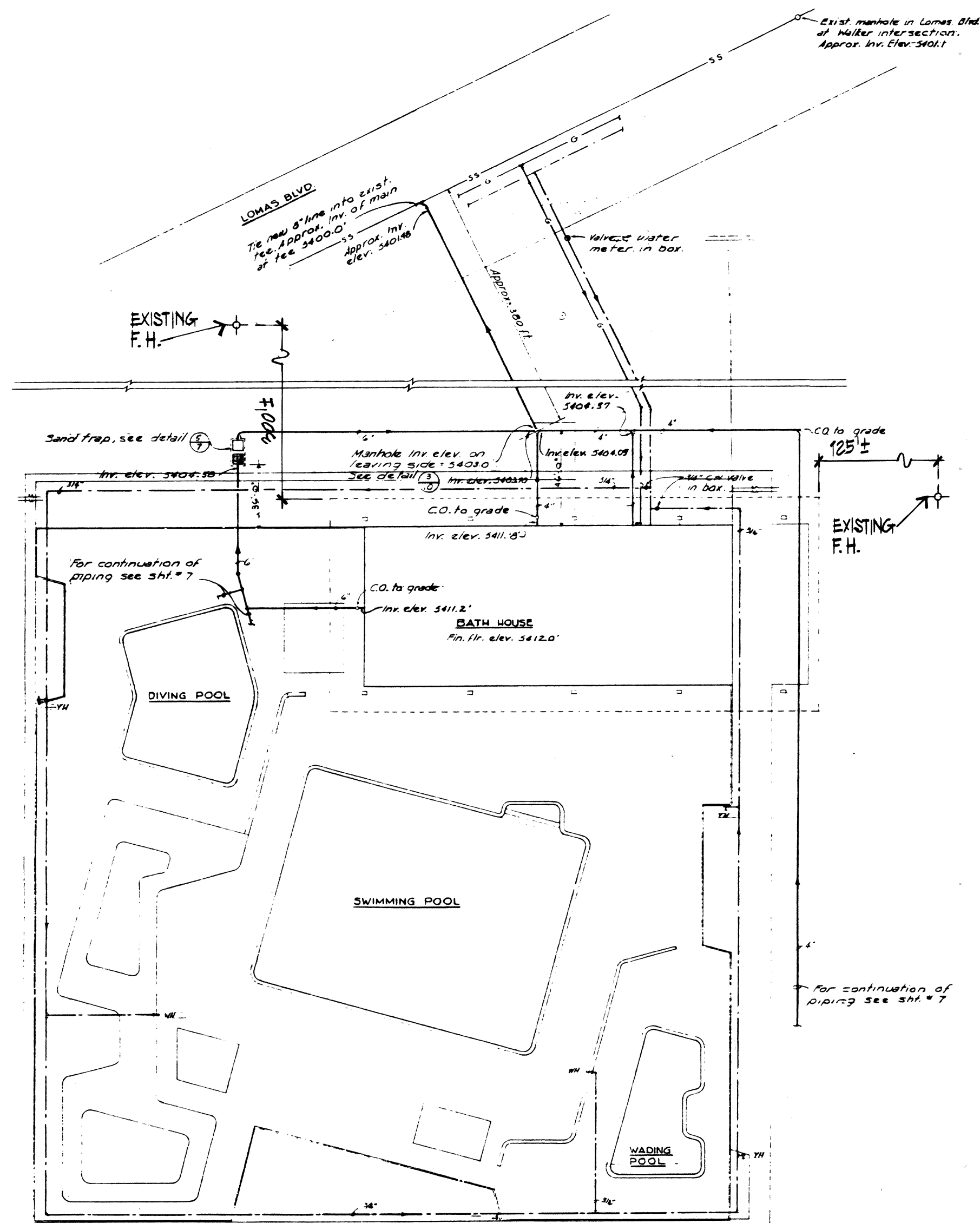
no.	date	revision

de ker & associates
engineers & architects

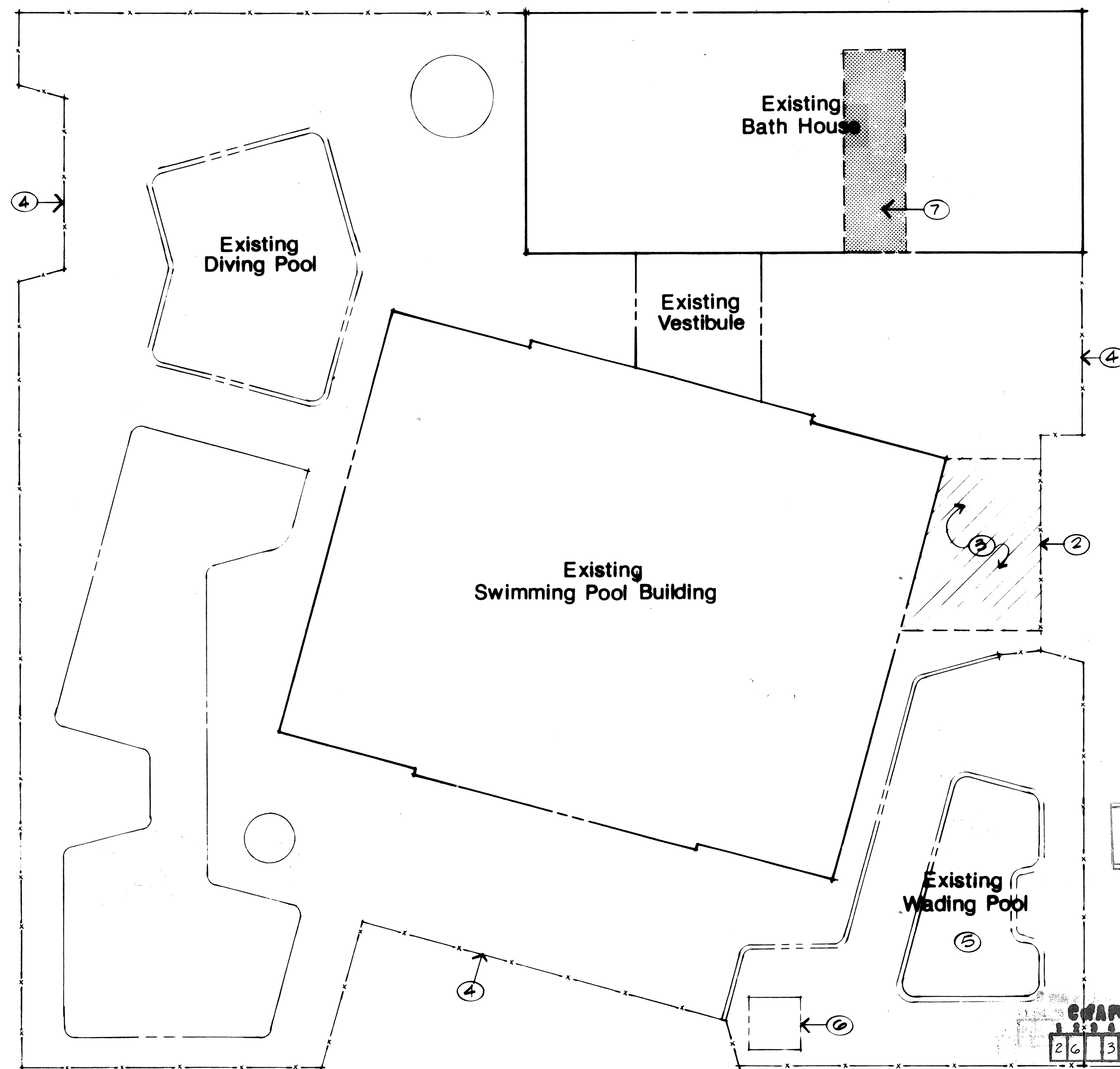
Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)
Cover Sheet & Site Plan

Job no. 8808-02
des. by RW/SJP
ckd. by SJP
issued 5/1/91
sheet **SP-1**
1 of 18

STATE OF NEW MEXICO
REGISTERED ARCHITECT
DATE 10/24/89
5/1/91



UTILITY PLOT PLAN (TAKEN FROM FLATON-MOORE-BRYAN & FAIRBURN DRAWINGS OF 1/9/59)
(FOR INFORMATION ONLY)

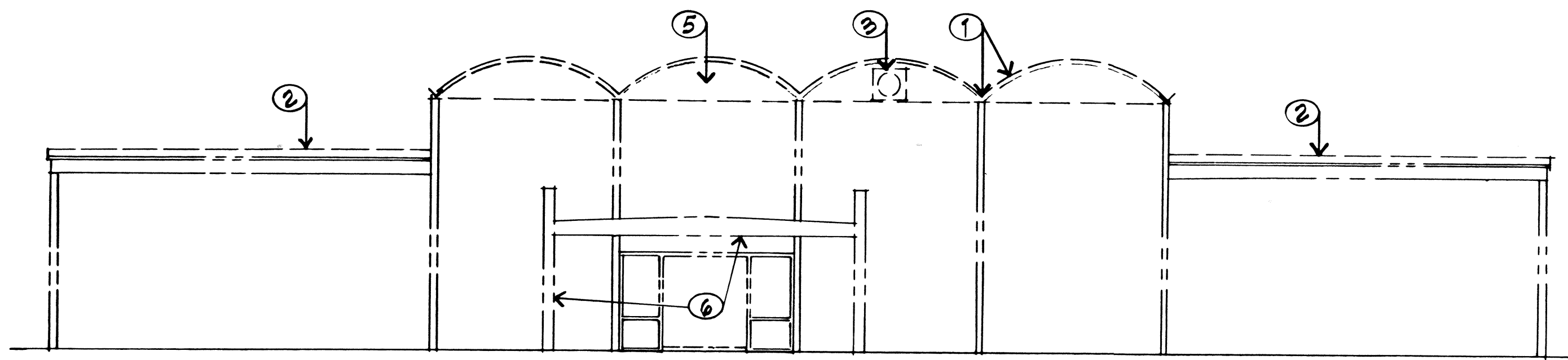


1 Site Plan

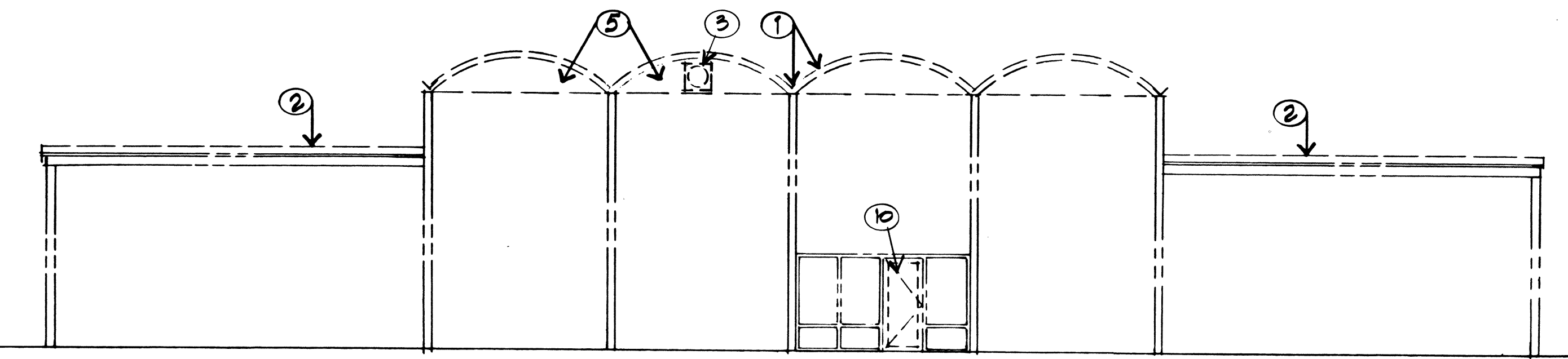
1/16" = 1'-0"



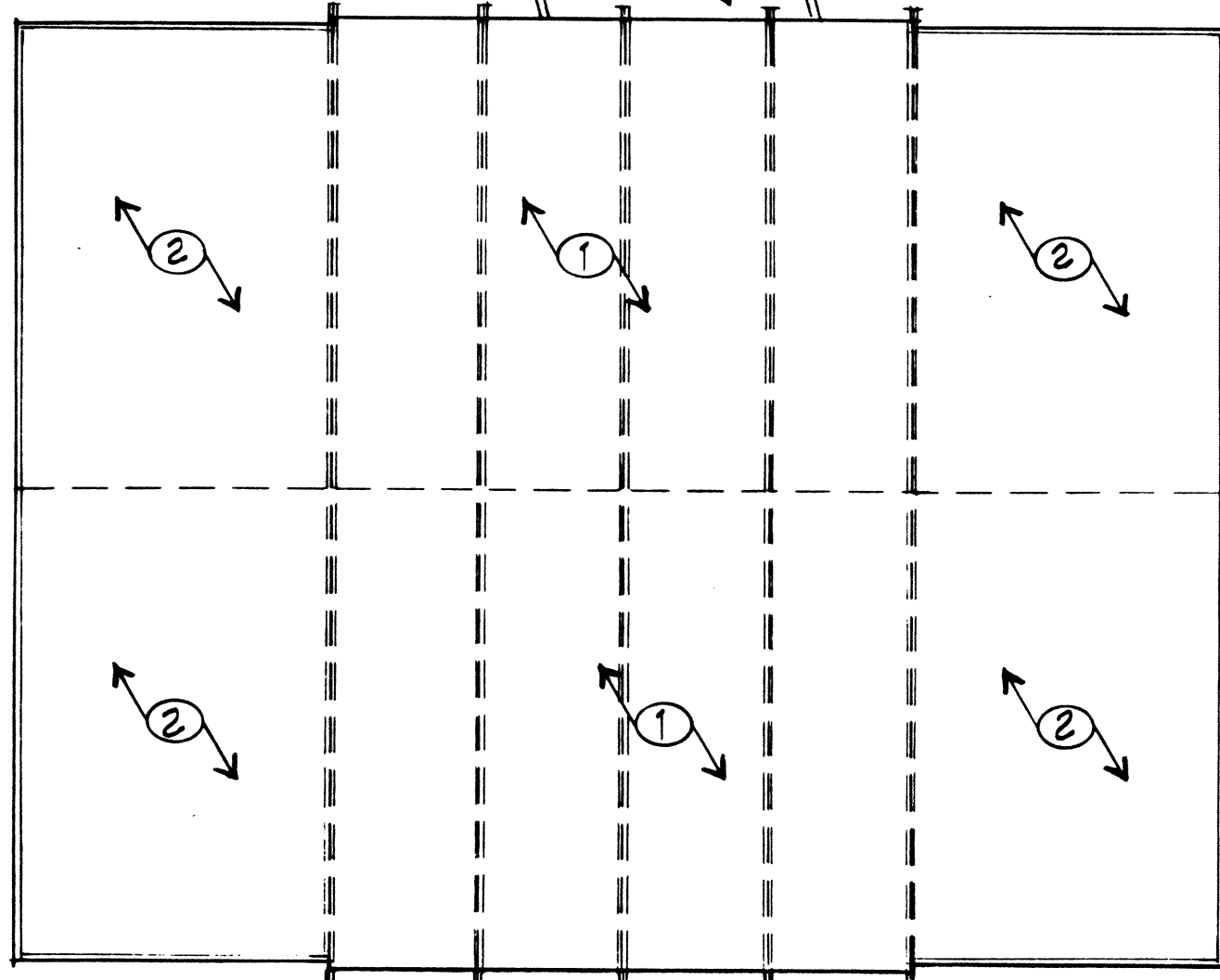
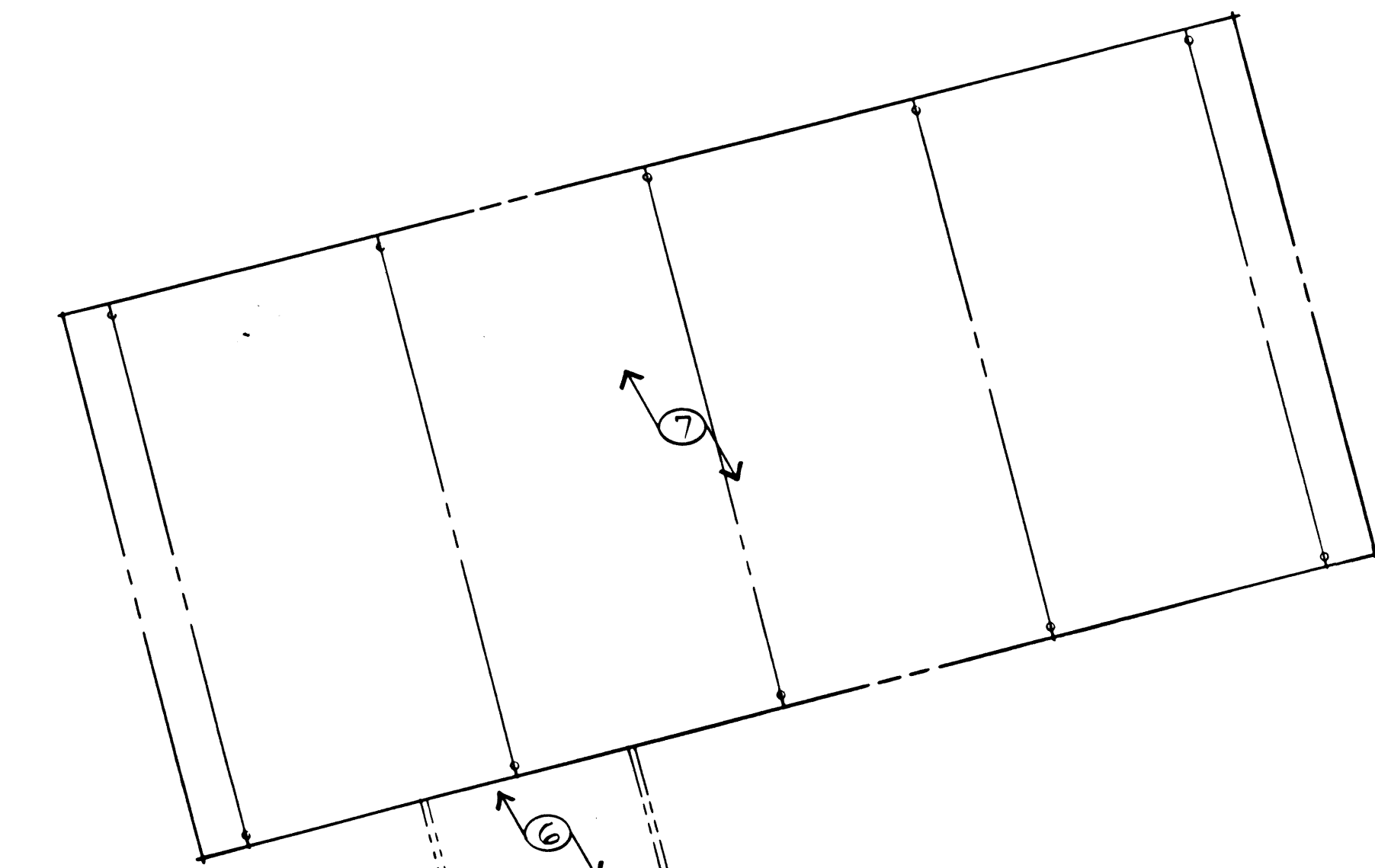
PROPERTY LINE
REF. KEYED NOTE 1



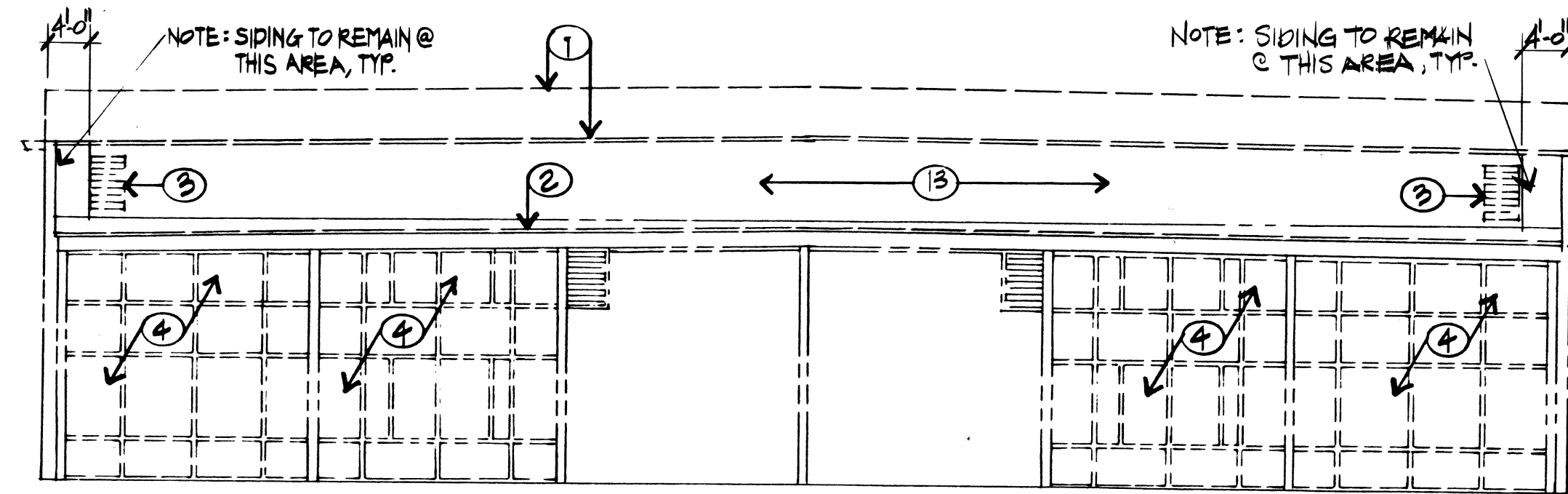
6 North Elevation - Demolition
1/8" = 1'-0"



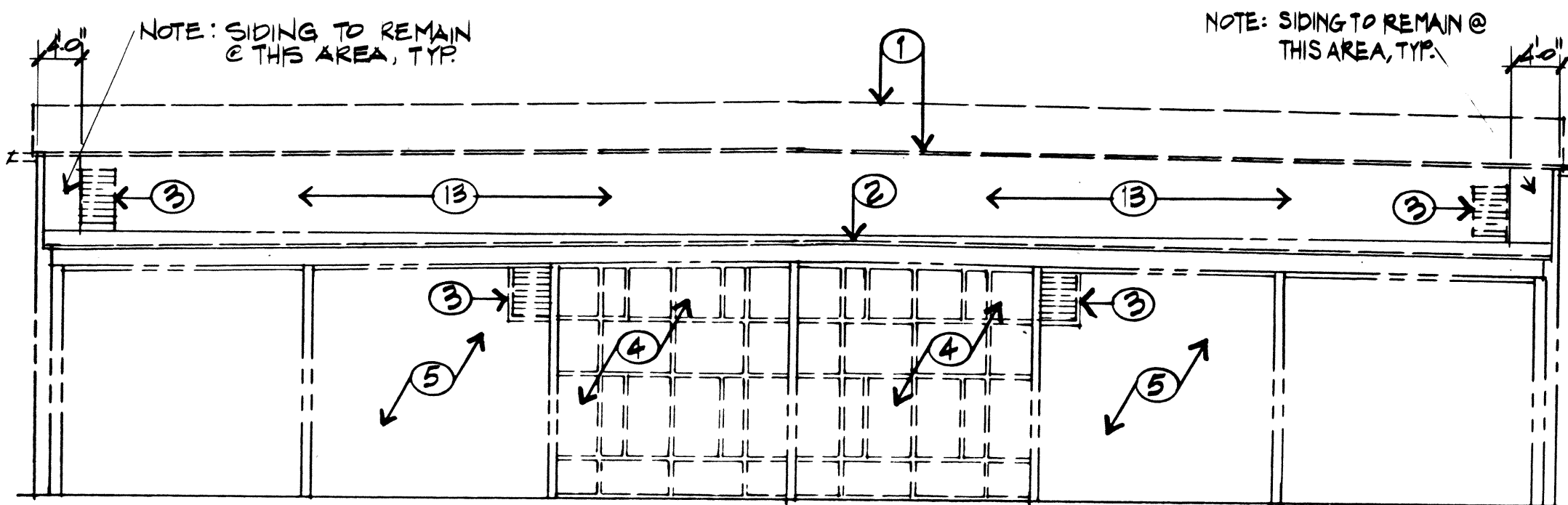
4 South Elevation - Demolition
1/8" = 1'-0"



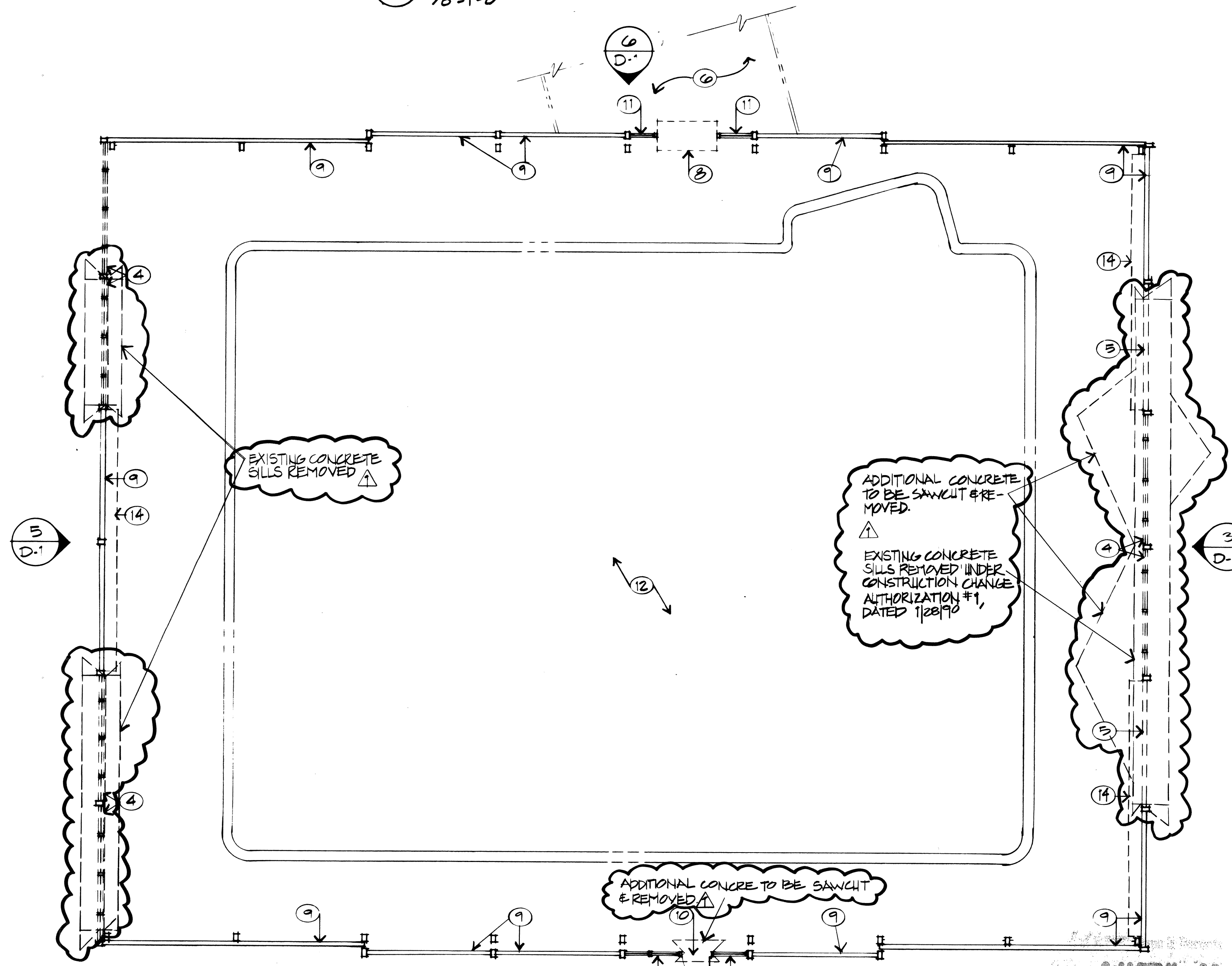
2 Demolition Roof Plan
1/16" = 1'-0"



5 West Elevation - Demolition
1/8" = 1'-0"



3 East Elevation - Demolition
1/8" = 1'-0"



1 Demolition Plan - Pool Building
1/8" = 1'-0"

Keyed Notes

- Remove and dispose of existing steel ribbed arches and corrugated plastic translucent roofing, 1/8" steel plate canale and 4" X 4" X 1/4" steel angle cont. welded to top chord of existing trusses. Leave existing trusses, cross bracing and sway bracing intact.
- Remove and dispose of existing steel roof deck and purlins. Leave existing trusses, cross bracing, sway bracing, and 10" fascia channel intact. CLEAN THOROUGHLY TO REMOVE ALL INSULATION, RUST, & NON-ADHERING PAINT; REPAINT ALL STEEL.
- Remove and dispose of louver and fan.
- Remove and dispose of existing 2" X 4" steel tube window wall, glazing and aluminum window frames between 6" X 8" columns to sloping 3" X 8" steel tube above. Grind connections to existing construction smooth and prime paint prior to installation of new construction.
- Remove existing girts and steel siding as required to accept new o.h. door, salvage steel siding for reuse.
- Existing vestibule to remain.
- Existing bath house to remain.
- Concrete ramp to be removed by owner.
- Remove and dispose of existing 8'-0" high approx. metal liner panels. Typ. @ interior of pool building.
- Remove existing door and hardware, grind connections to existing construction smooth and prime paint prior to installation of new construction.
- Remove all rust and non-adhering paint from existing 2" X 4" steel tube window wall and prime paint prior to finish painting.
- Cover entire pool and deck area to prevent any loose debris from entering pool or damaging deck. Clean covering periodically as required. Protect thru-out construction. (Note: Pool will be drained by Owner prior to start of construction and refilled by Owner at completion of construction. Contractor to coordinate this plastering of pool with refilling by Owner.)
- Remove existing siding and salvage for reuse.
- Remove existing wood benches and steel support brackets. Salvage for reuse. Clean and repaint brackets. Refer to floor plan for location of re-installed benches.

General Notes

- Refer to mechanical and electrical sheets for utility lines and equipment to be removed, typical throughout.

Legend

- Existing Construction to Remain
- Existing Construction to be Removed
- New Construction

CLASS I CONSTRUCTION

no.	date	revision
1	11/13/99	RECORD DRAWING REVISIONS
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architects/engineers/planners

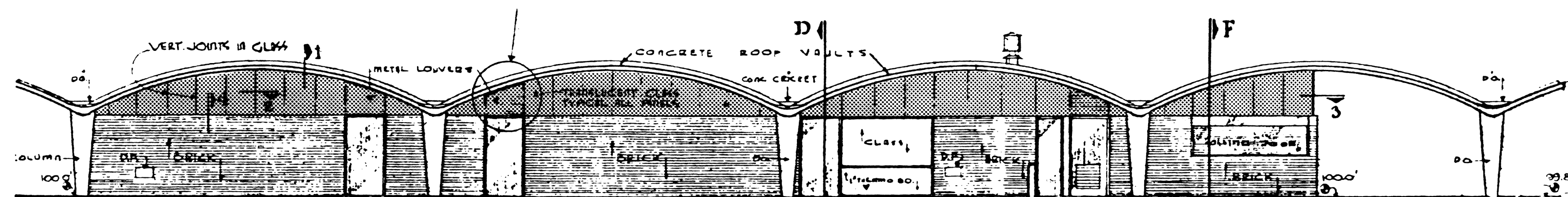
Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)

Demolition - Pool

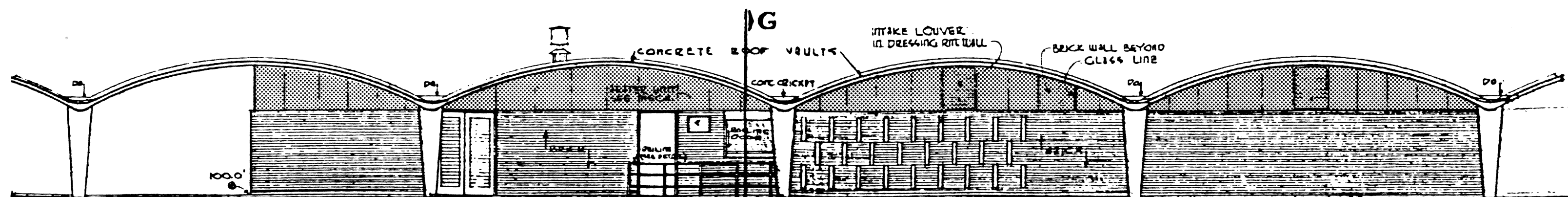
job no. 98008.02
dm. by RAN
ckd. by SJP
issued 5/1/99
sheet D-1
of 18

STATE OF NEW MEXICO
REGISTERED ARCHITECT
105495
6/10/95

SCANNED BY

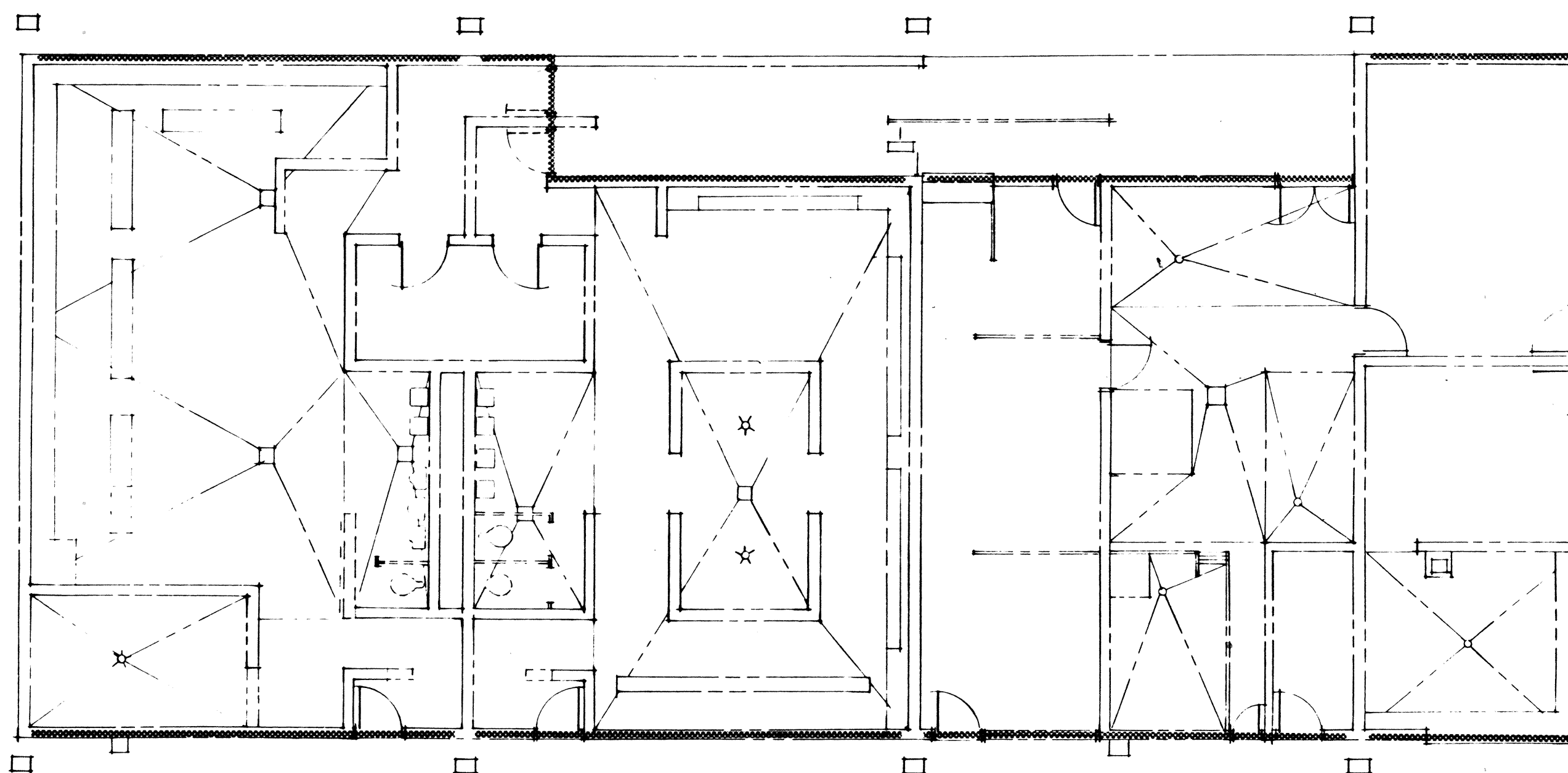


② South Elevation - Demolition



① North Elevation - Demolition

PANELS & LOUVERS TO BE REMOVED



Demolition Plan - Bath House

LIMIT OF PANEL REMOVAL - REMOVE & DISPOSE OF TRANSLUCENT GLASS PANELS & PLYWOOD PANELS & CLEAN ADJACENT SURFACES COMPLETELY AS REQ'D. TO ACCEPT NEW CONSTRUCTION

Legend

- Existing Construction to Remain
- Existing Construction to be Removed
- New Construction

CLASS I CONSTRUCTION

no.	date	revision

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600 First St. NW, East Wing, Albuquerque, N.M. 87102 505 247 2888

Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)

Demolition - Bath House

	job no. 88008.02
	drn. by RAN
	ckd. by SJP
	issued 5/1/01
sheet	D-2
	4 of 18

6 of 14 P&R Maps & Records
26 38 160491

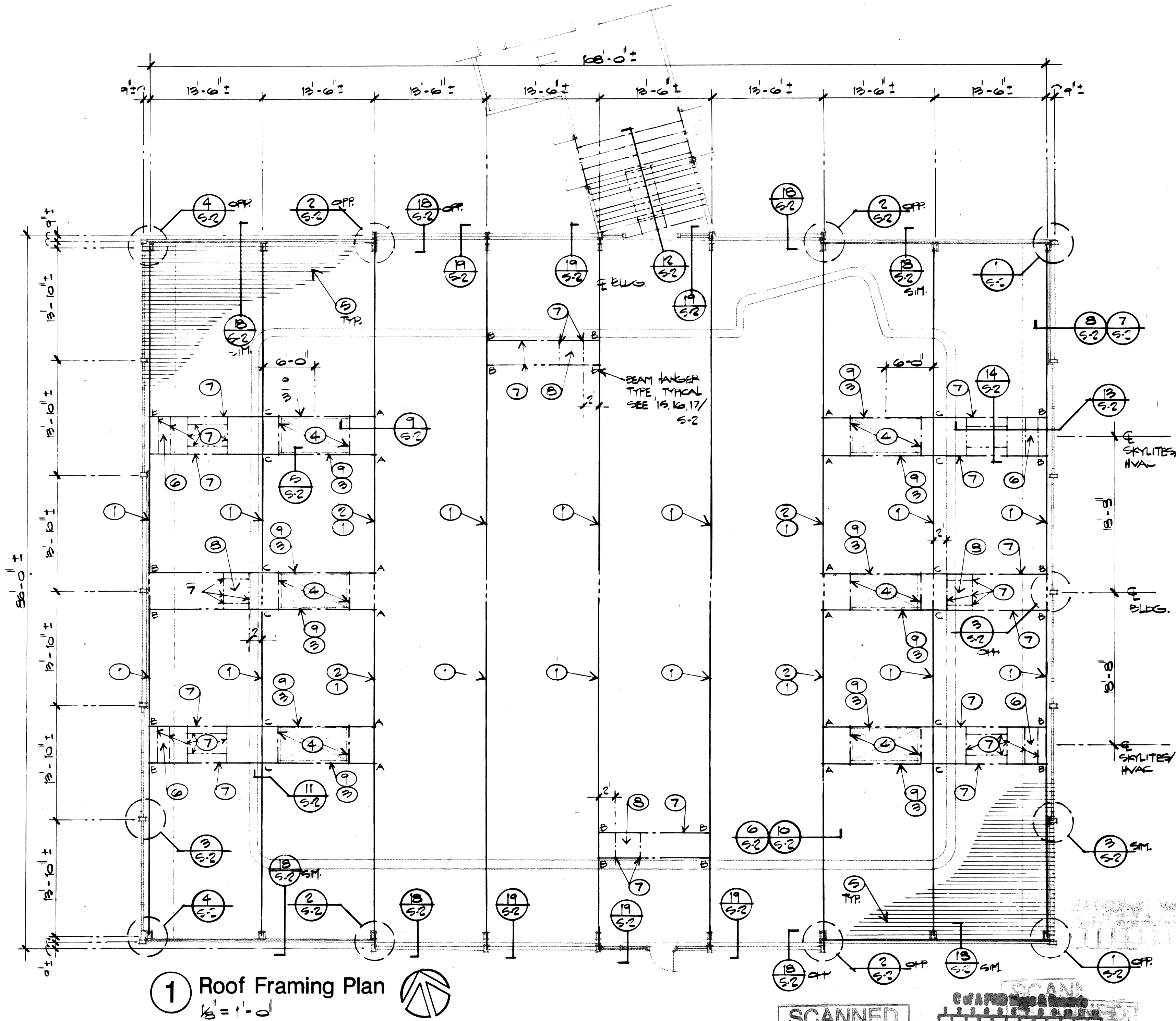
SCANNED BY

○ Keyed Notes

1. 4" nominal tapered (9" to 1-1/2") glu-lam on existing truss.
2. 4" x 7-1/2" nominal glu-lam on roof decking.
3. 4" x 7-1/2" nominal glu-lam skylight support on tapered glu-lam.
4. 4" x 19-1/2" nominal glu-lam between glu-lam skylight support.
5. 4" x 8" (NOT) tongue and groove wood roof decking fastened to tapered glu-lam.
6. 19-1/2" x 28-1/2" opening for ductwork.
7. 4" x 7-1/2" nominal Glu-lam HVAC support.
8. 34" x 34" opening for exhaust fan.
9. 4" x 12" nominal glu-lam on top of glu-lam below (@ skylite only).

General Notes

1. All Fasteners shall be galvanized.
2. All existing building dimensions are approximate and shall be field verified by Contractor.



1 Roof Framing Plan
1/8" = 1'-0"

CLASS 1 CONSTRUCTION

no.	date	revision

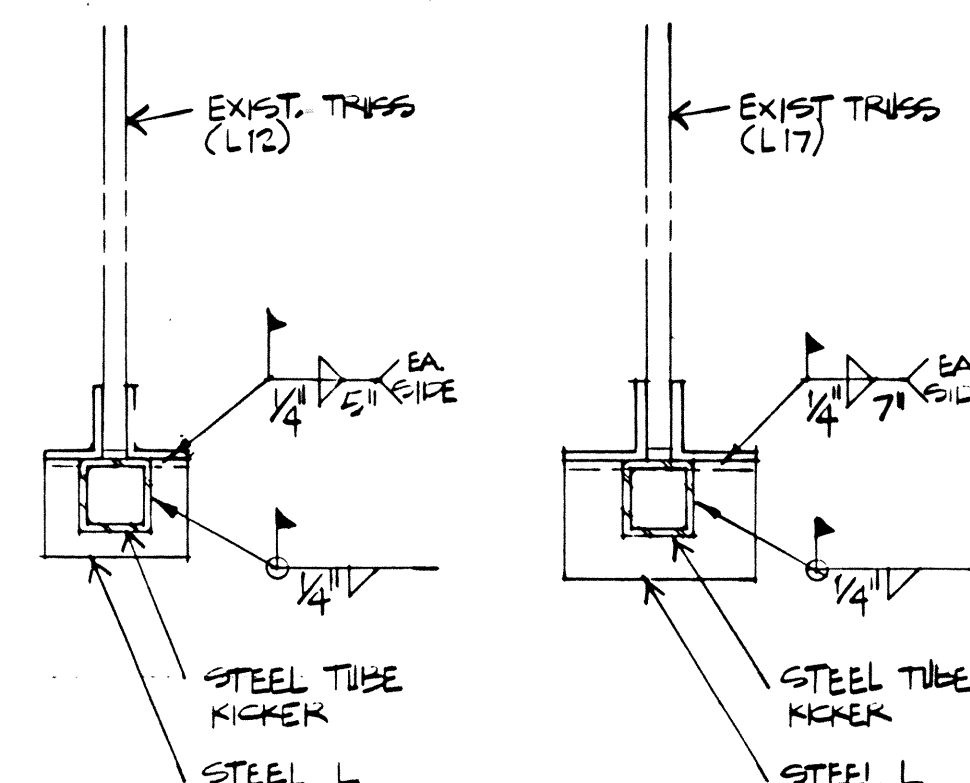
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architects engineers planners

Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)
Roof Framing Plan

		job no. 88-008-07
		des. by RAW
		ckd. by AWD
		issued 5/1/89
sheet S-1		
5 of 18		

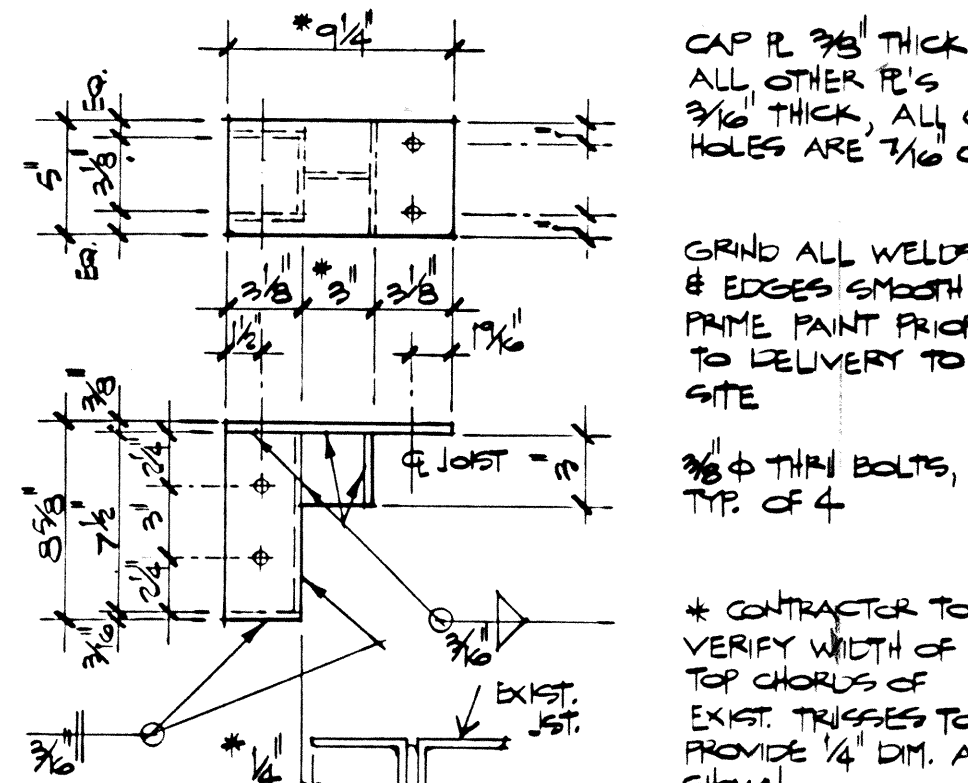
SCANNED BY

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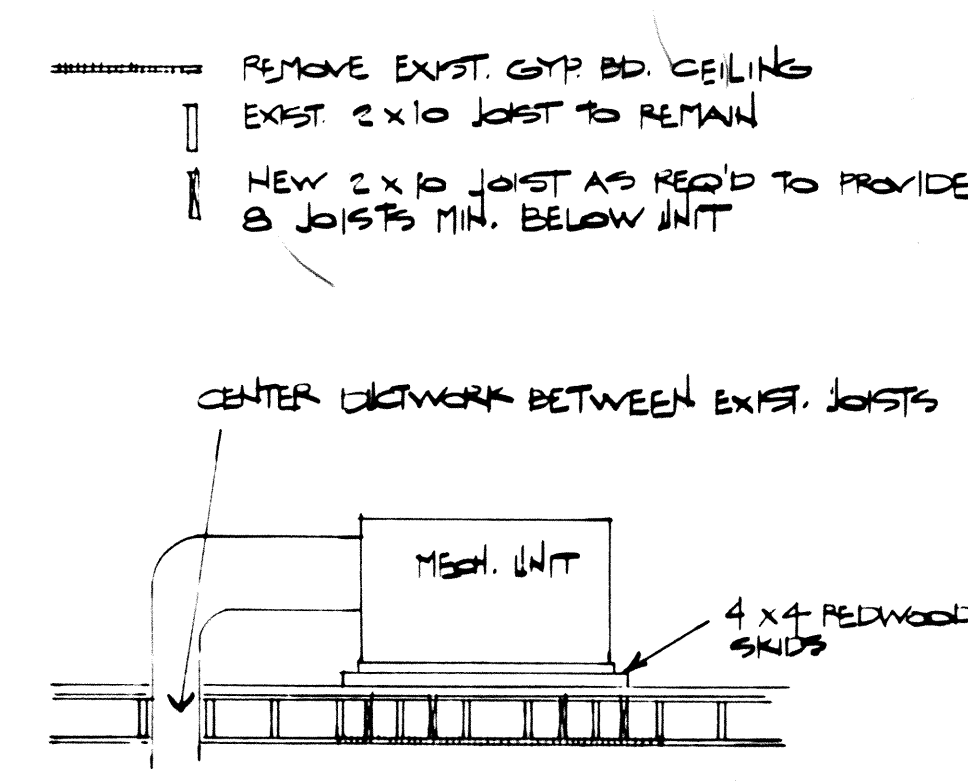


20 Detail
1/2" = 1'-0"

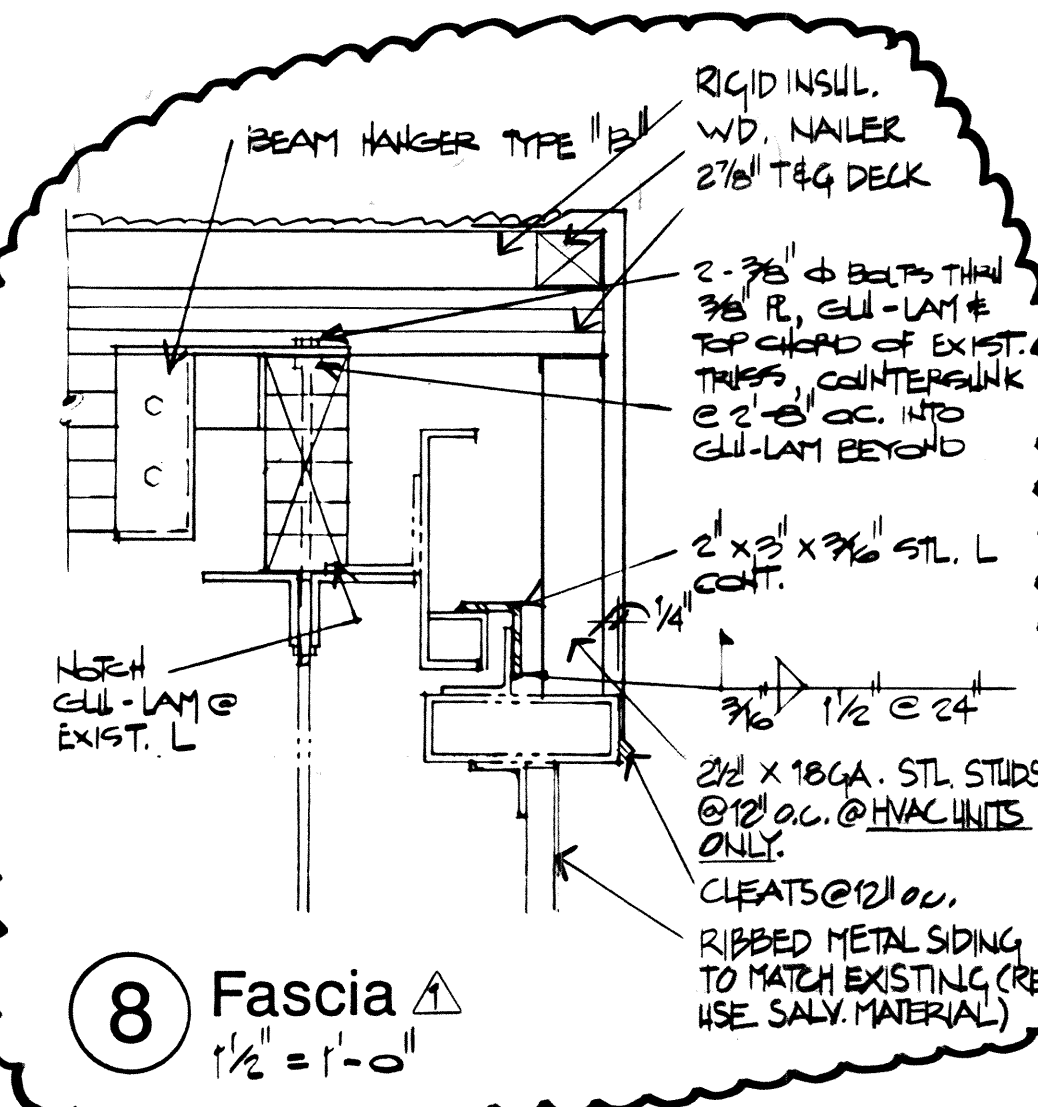
21 Detail
1/2" = 1'-0"



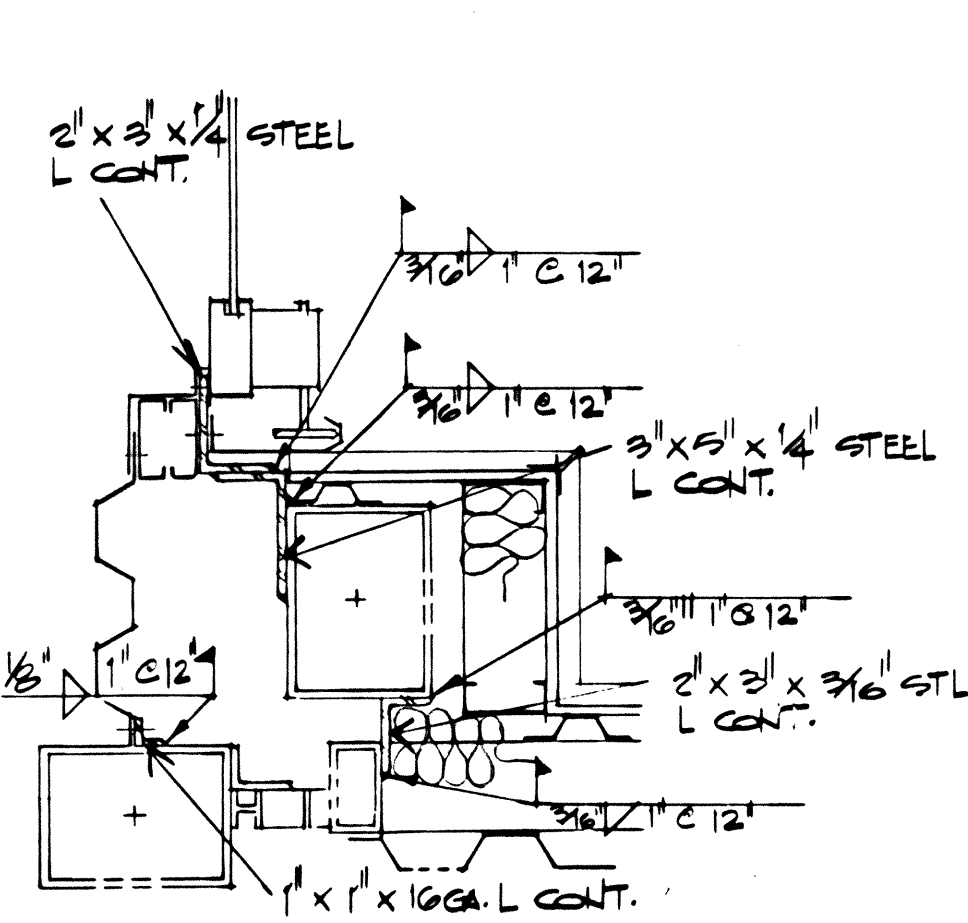
16 Beam Hanger "B"
1/2" = 1'-0"



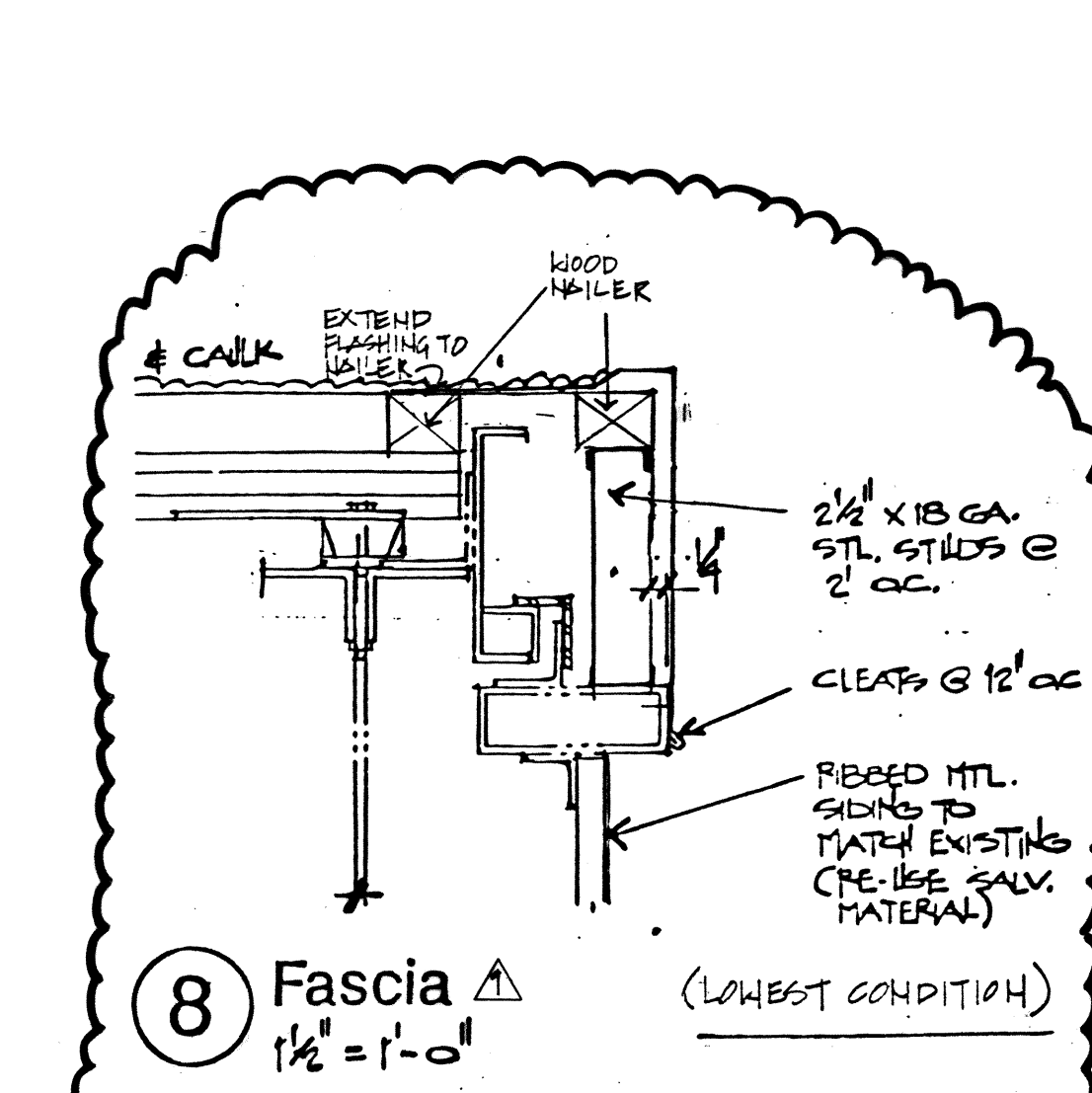
12 Mech. Unit Support
1/4" = 1'-0"



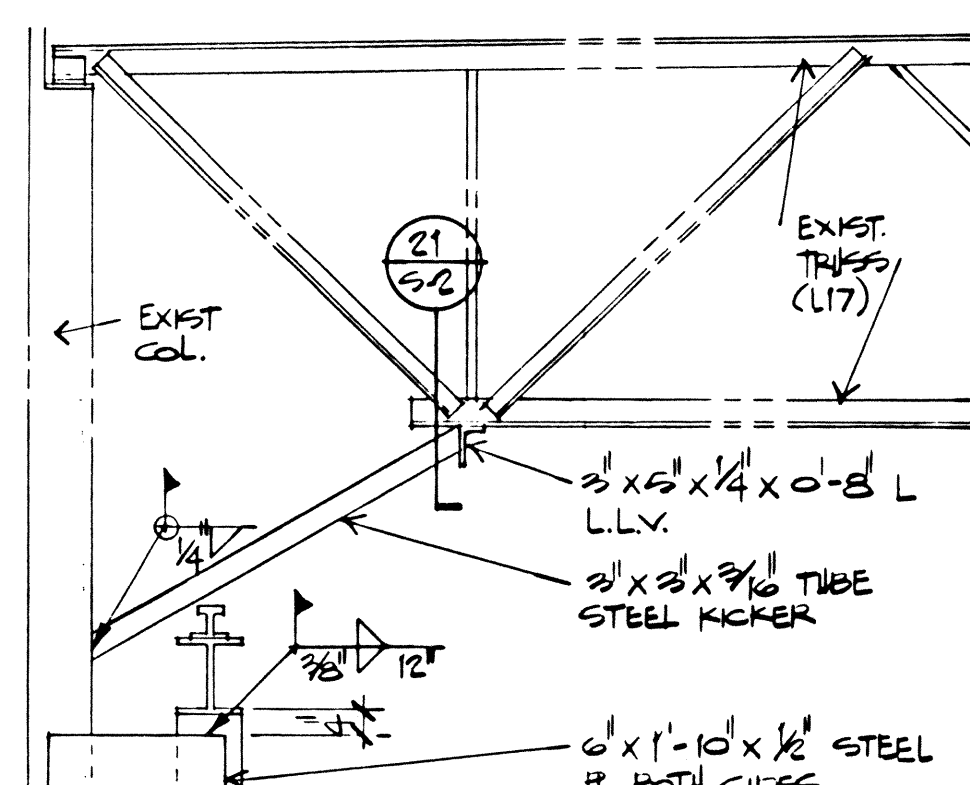
8 Fascia
1/2" = 1'-0"



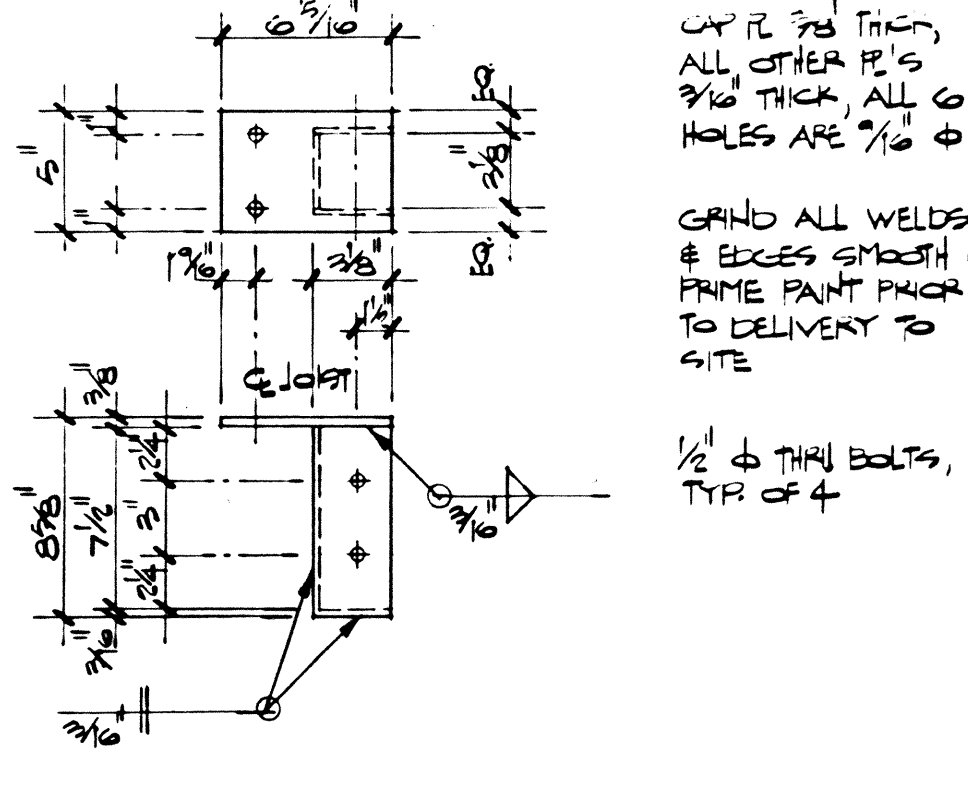
4 O.H. Door Jamb & Closure
1/2" = 1'-0"



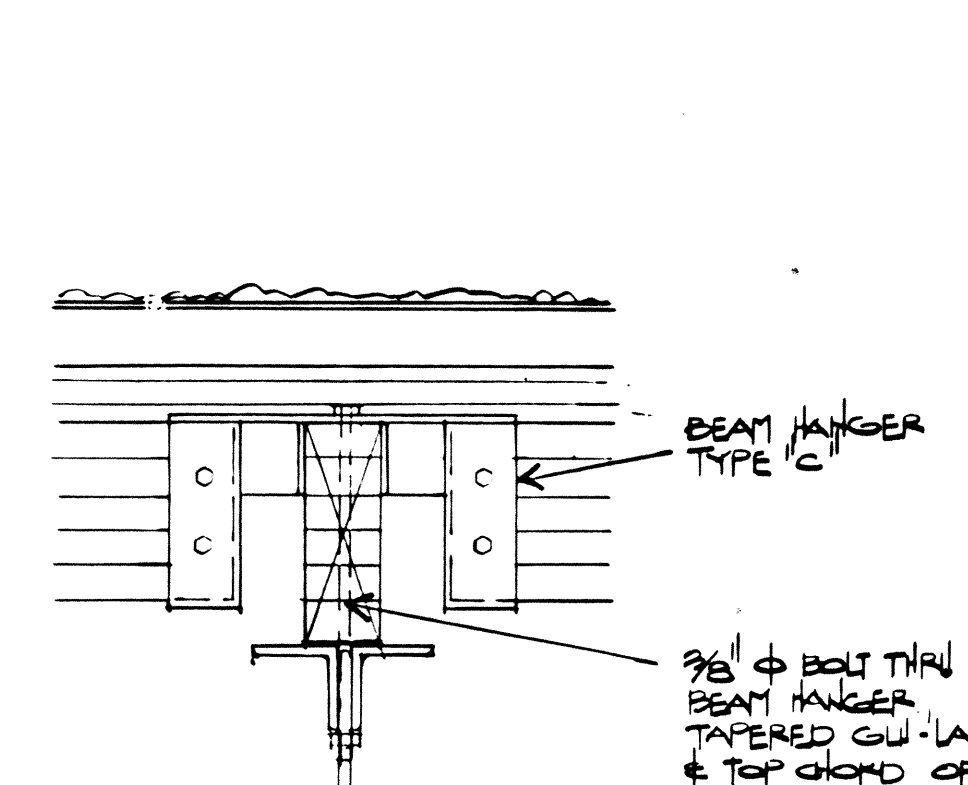
8 Fascia
1/2" = 1'-0"



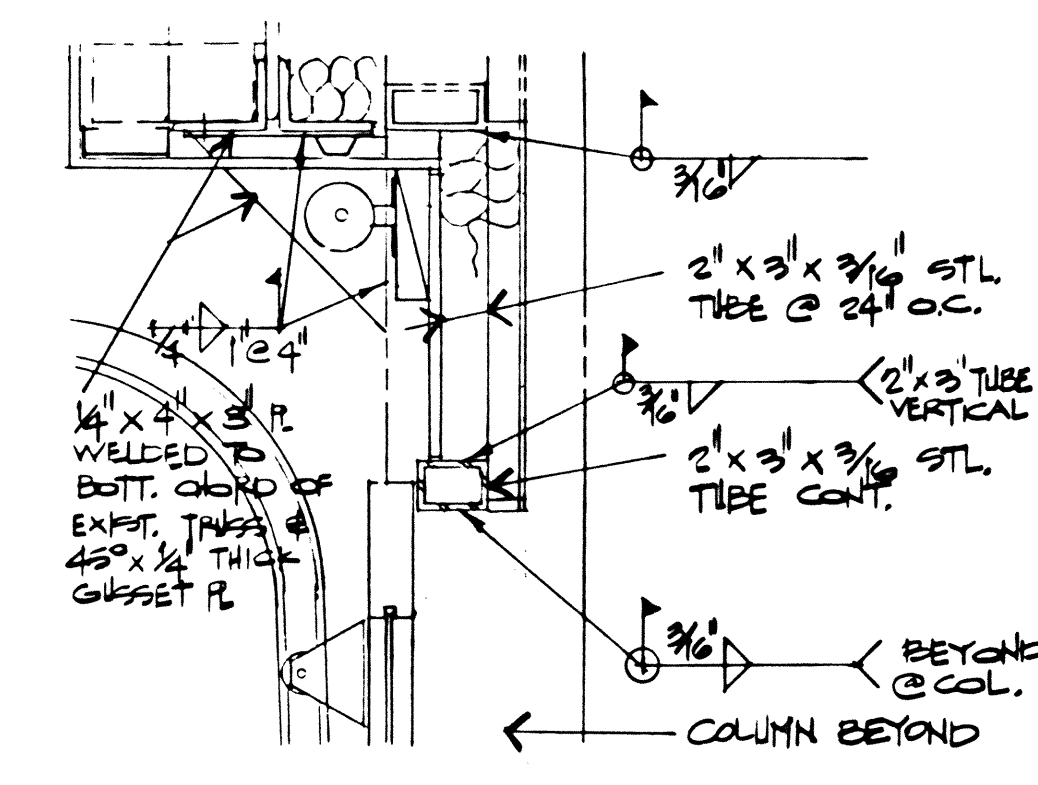
19 Truss Support
1/2" = 1'-0"



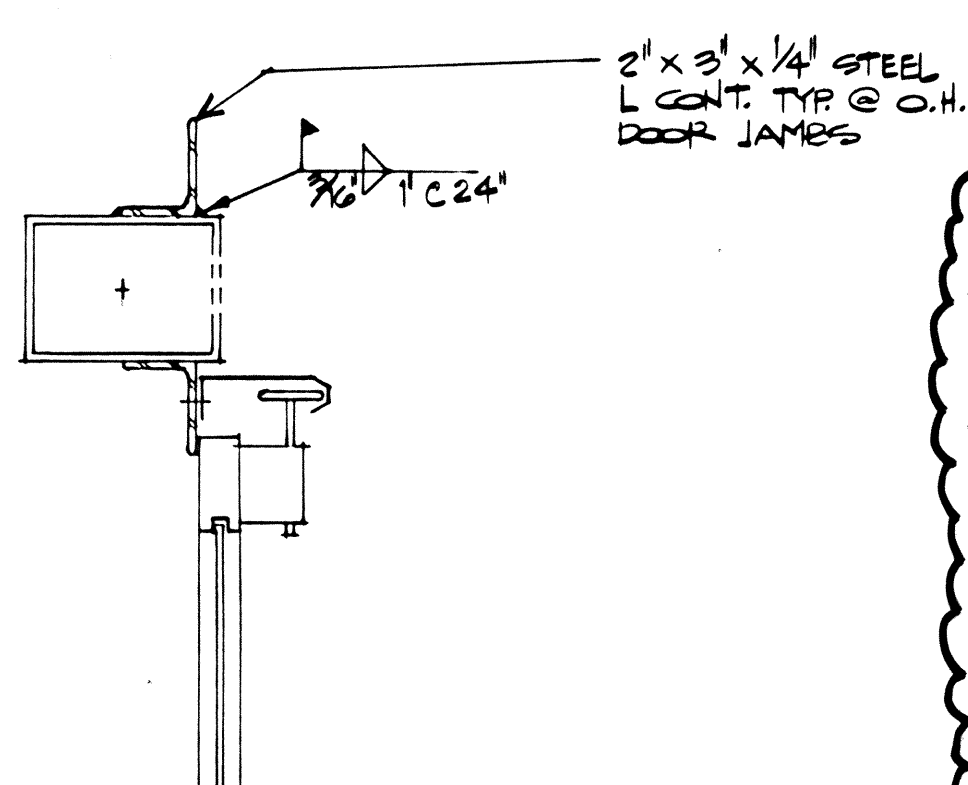
15 Beam Hanger "A"
1/2" = 1'-0"



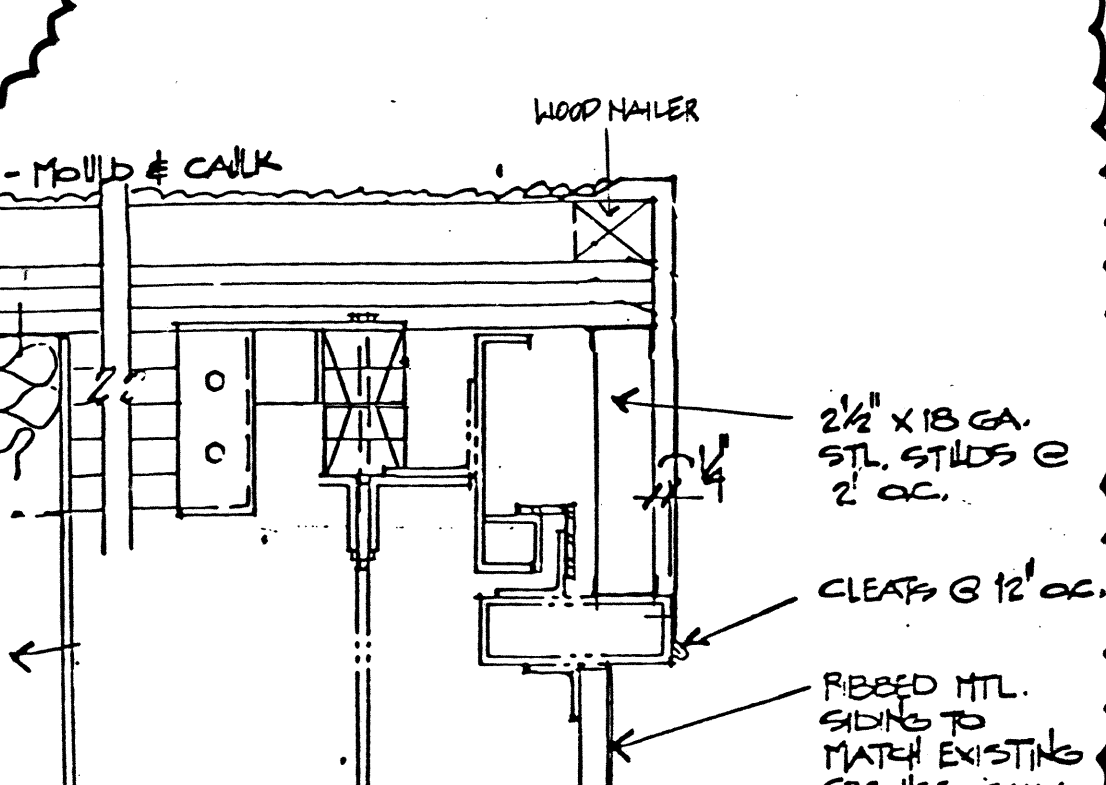
11 Tapered Glu-Lam
1/2" = 1'-0"



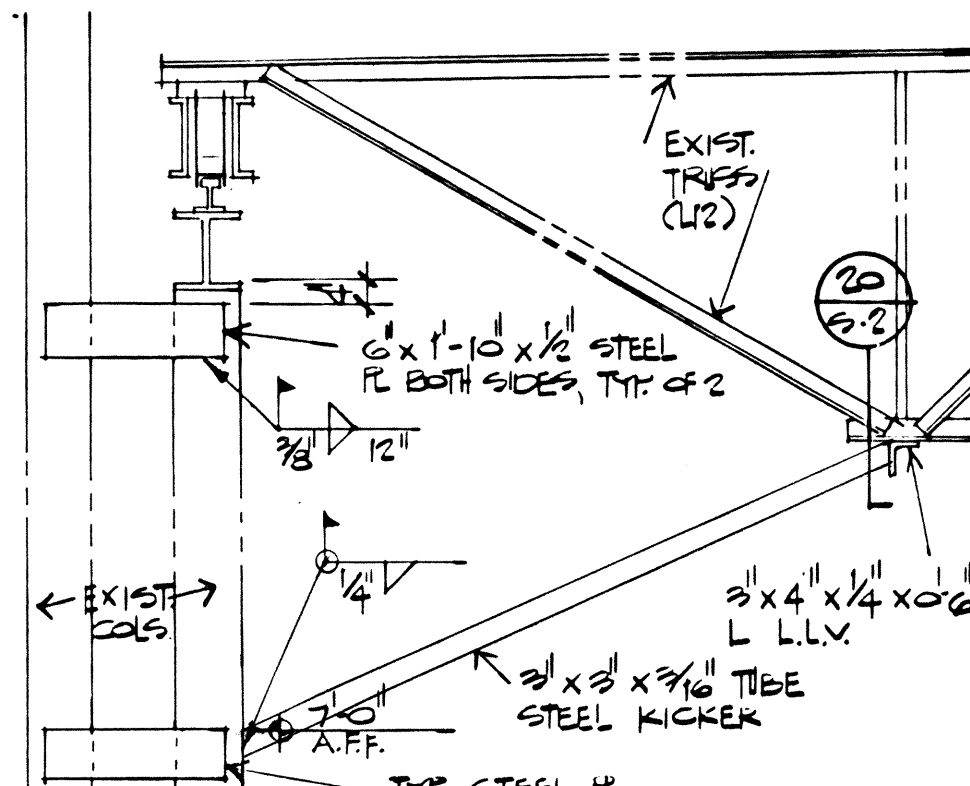
7 O.H. Door Support @ Head
1/2" = 1'-0"



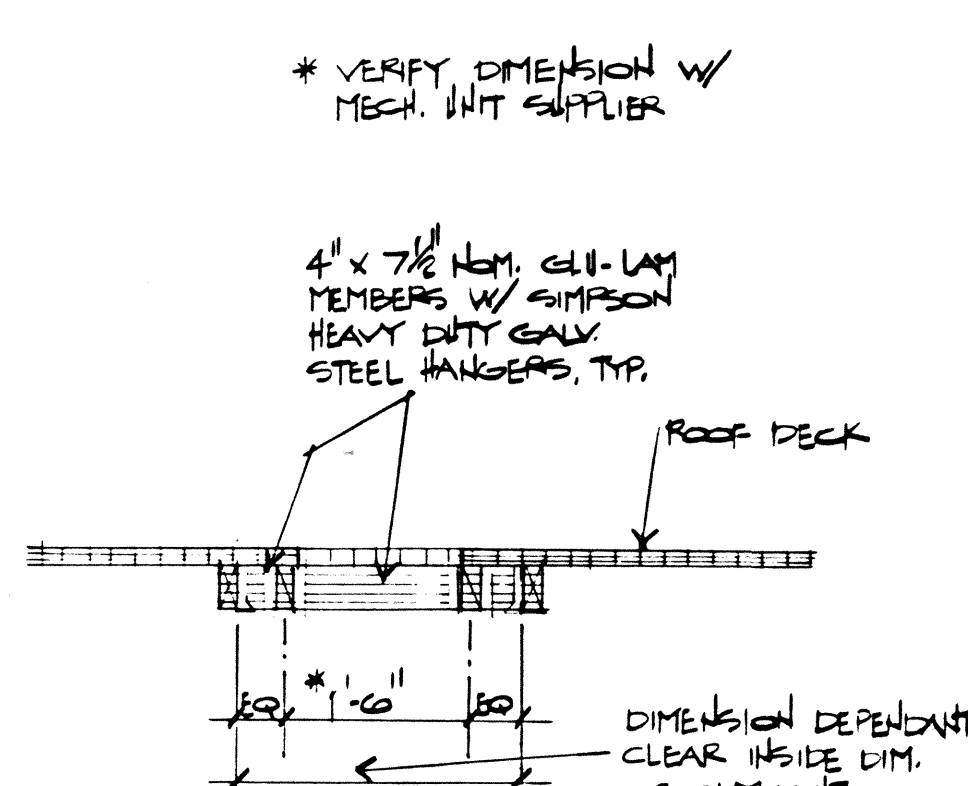
3 O.H. Door Jamb @ Column
1/2" = 1'-0"



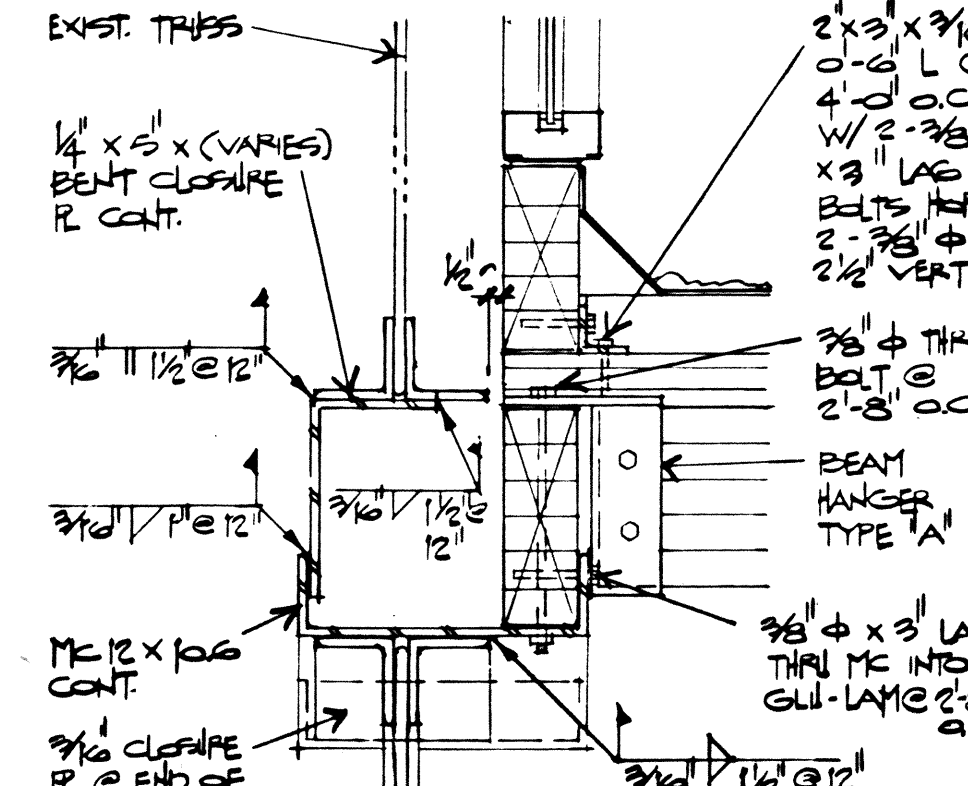
8 Fascia
1/2" = 1'-0"



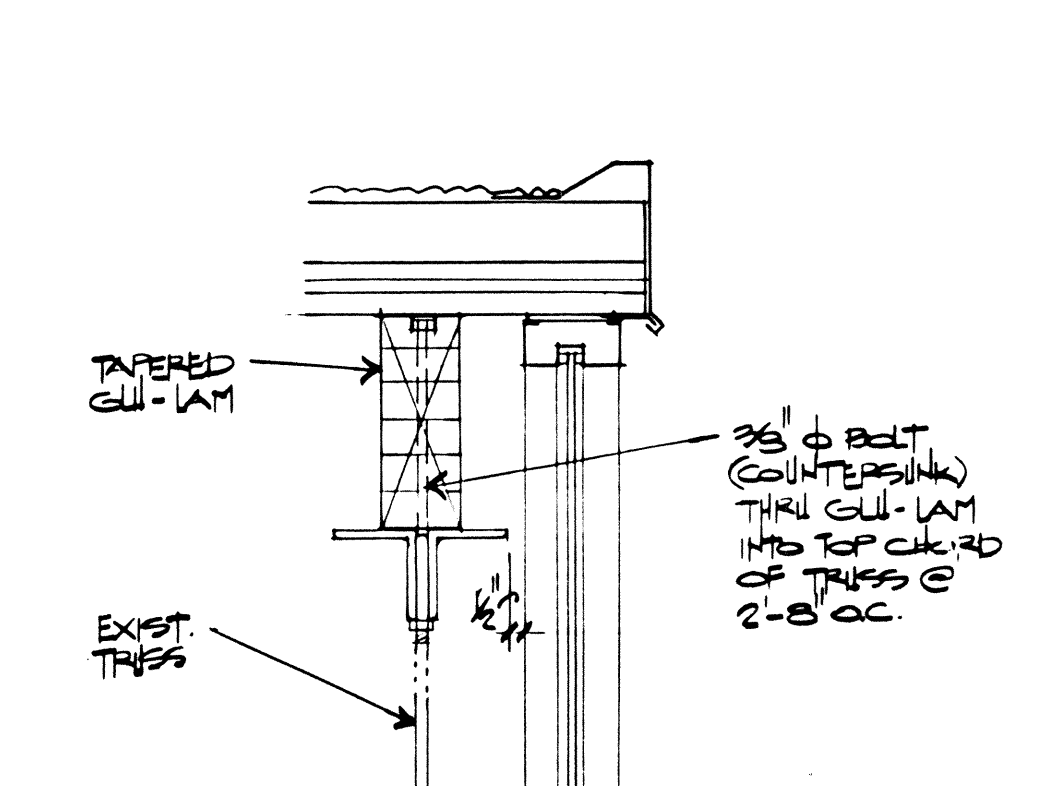
18 Truss Support
1/2" = 1'-0"



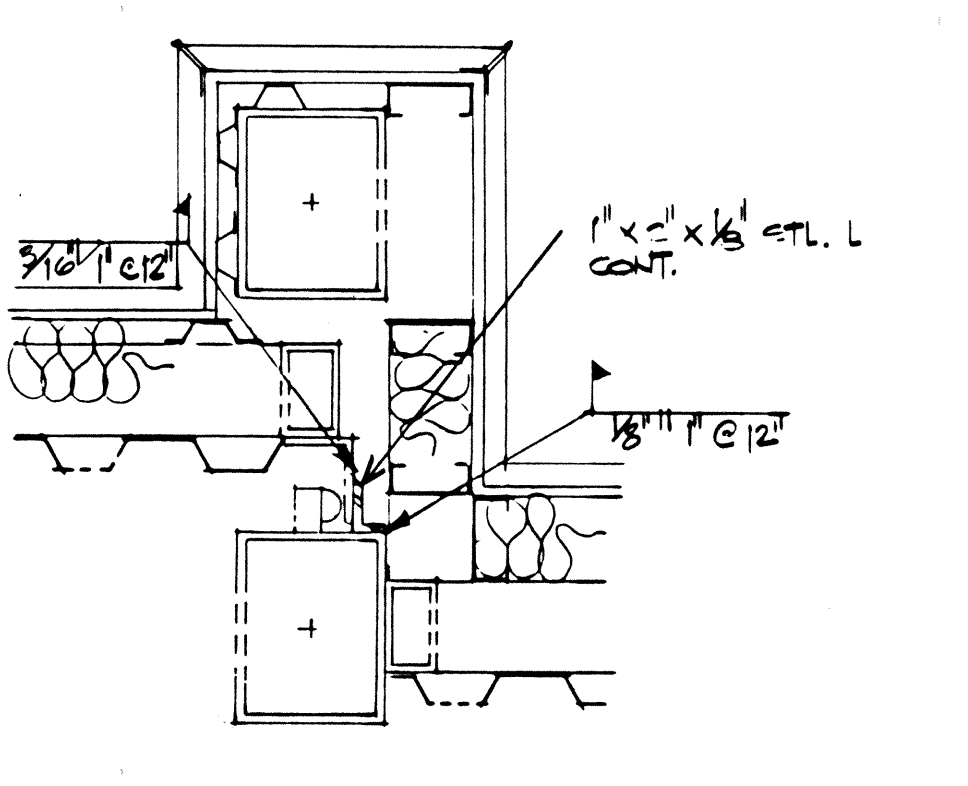
14 Mech. Unit Support
3/8" = 1'-0"



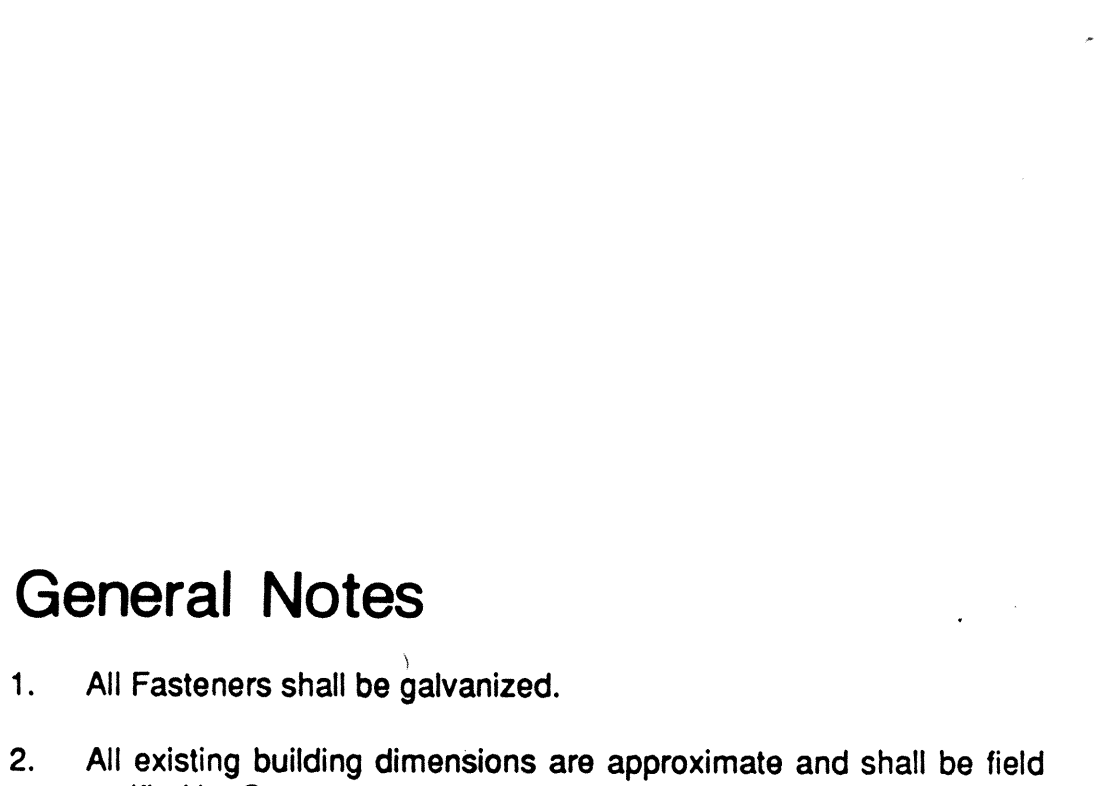
10 Clearstory Sill
1/2" = 1'-0"



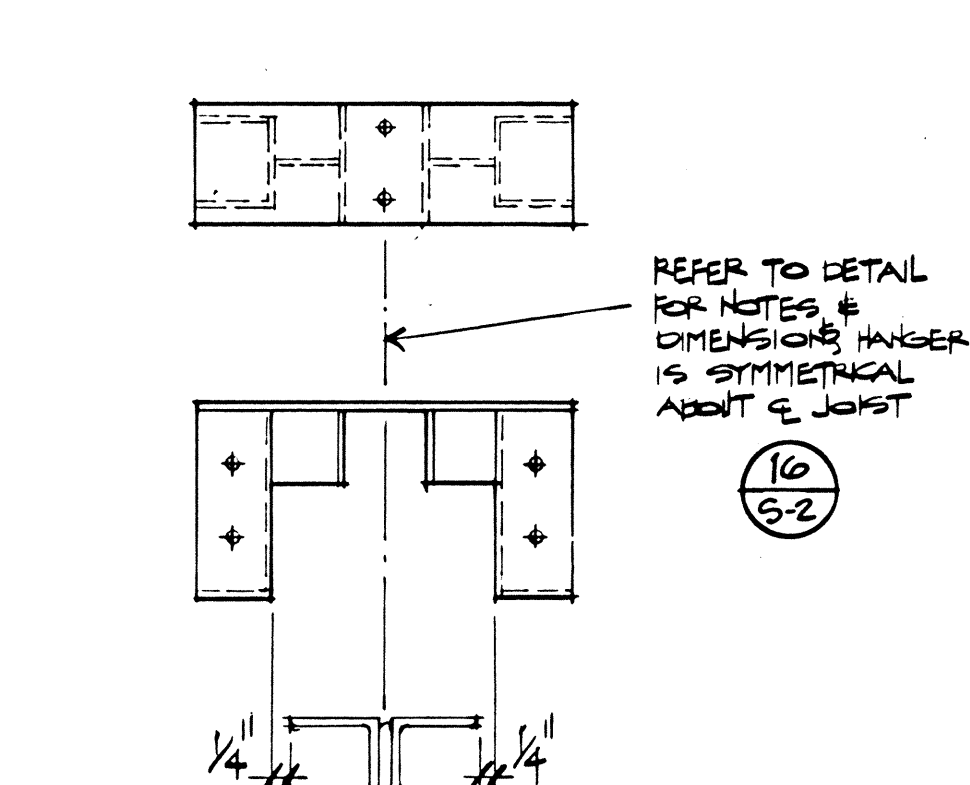
6 Clearstory Head
1/2" = 1'-0"



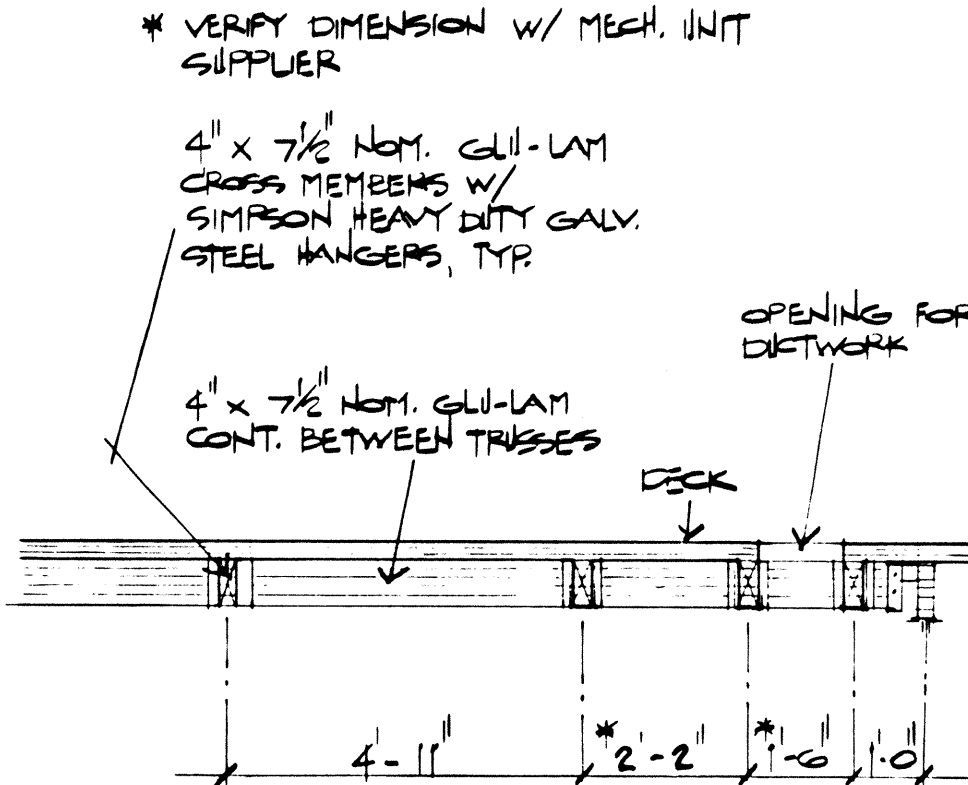
2 Closure Angle
1/2" = 1'-0"



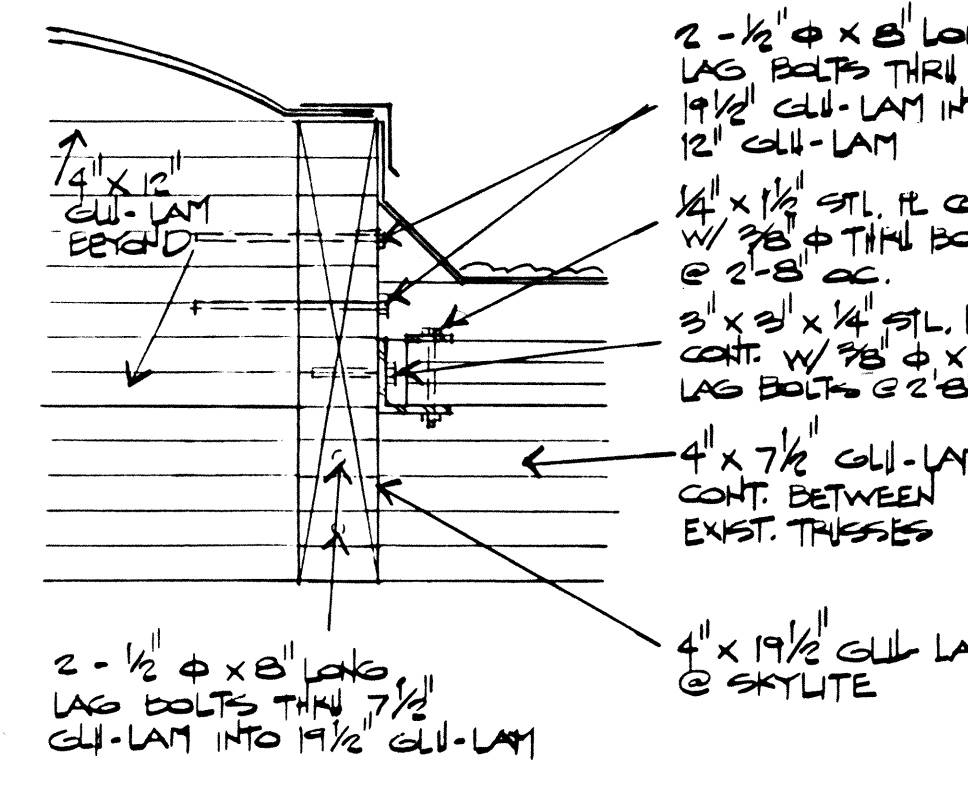
8 Fascia
1/2" = 1'-0"



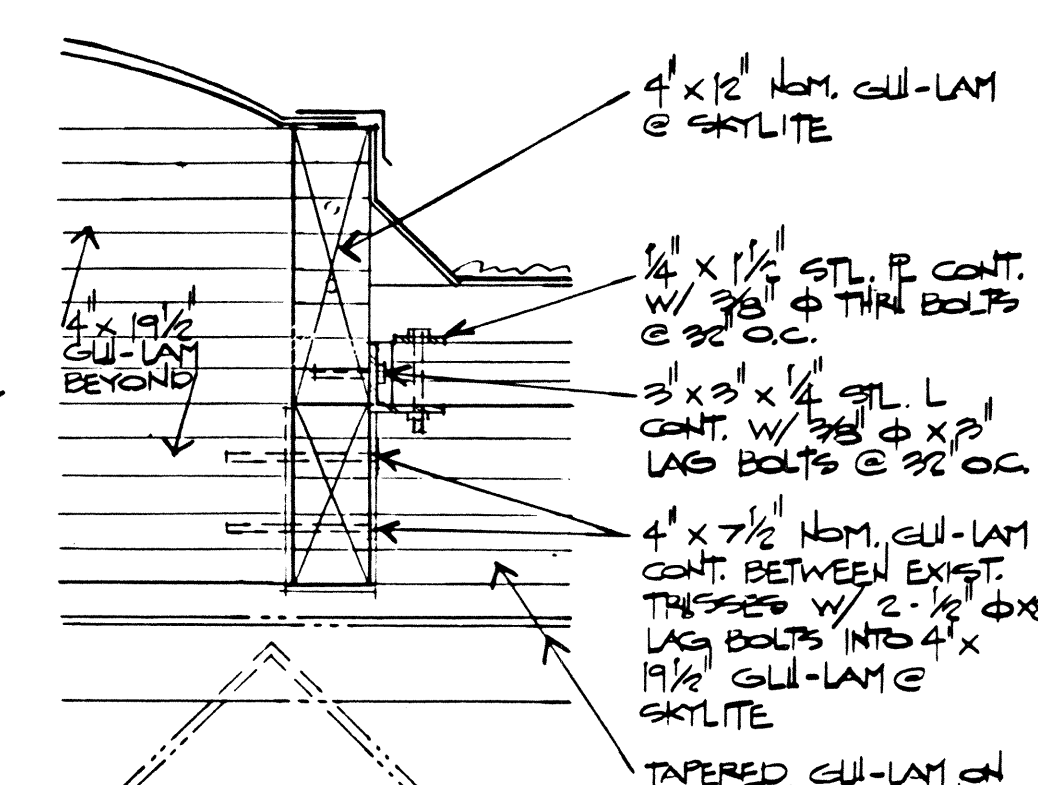
17 Beam Hanger "C"
1/2" = 1'-0"



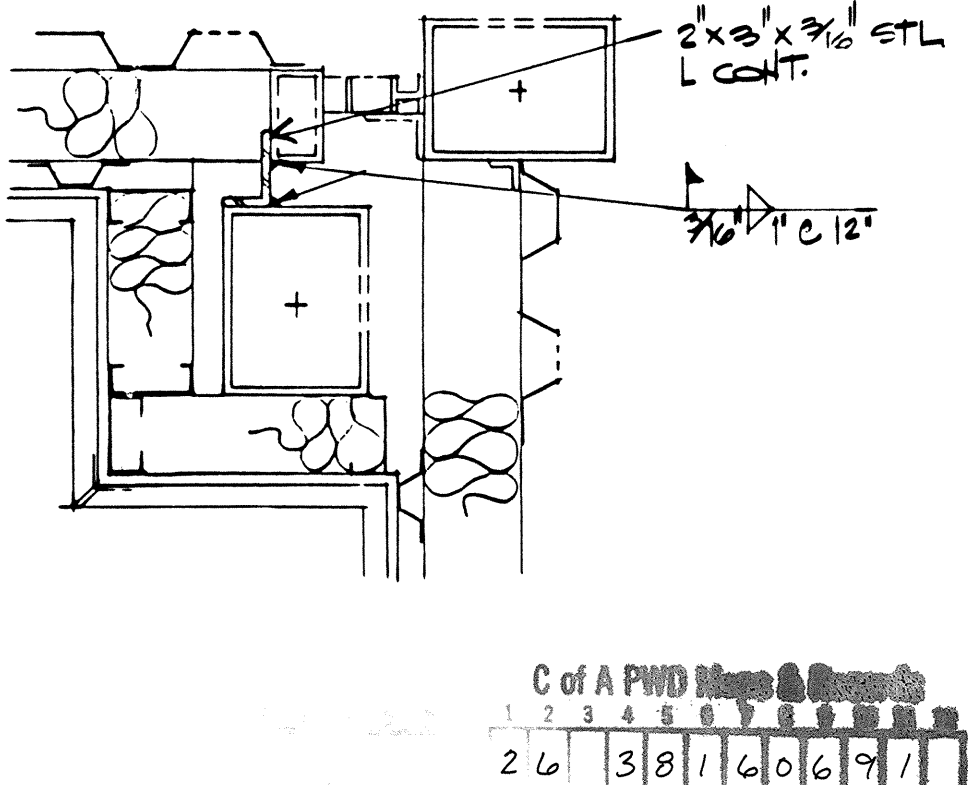
13 Mech. Unit Support
3/8" = 1'-0"



9 Skylight
1/2" = 1'-0"



5 Skylight
1/2" = 1'-0"



1 Closure Angle
1/2" = 1'-0"

General Notes

- All Fasteners shall be galvanized.
- All existing building dimensions are approximate and shall be field verified by Contractor.

CLASS I CONSTRUCTION

no. date revision

111379 RECORD DRAWINGS REVISION

de ker & associates
architects/engineers/planners
600 First St. N.W. East Wing, Albuquerque, N.M. 87102

Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)

Structural Details

STATE OF NEW MEXICO
DALE R. DEKKER
1054
REGISTERED PROFESSIONAL ARCHITECT

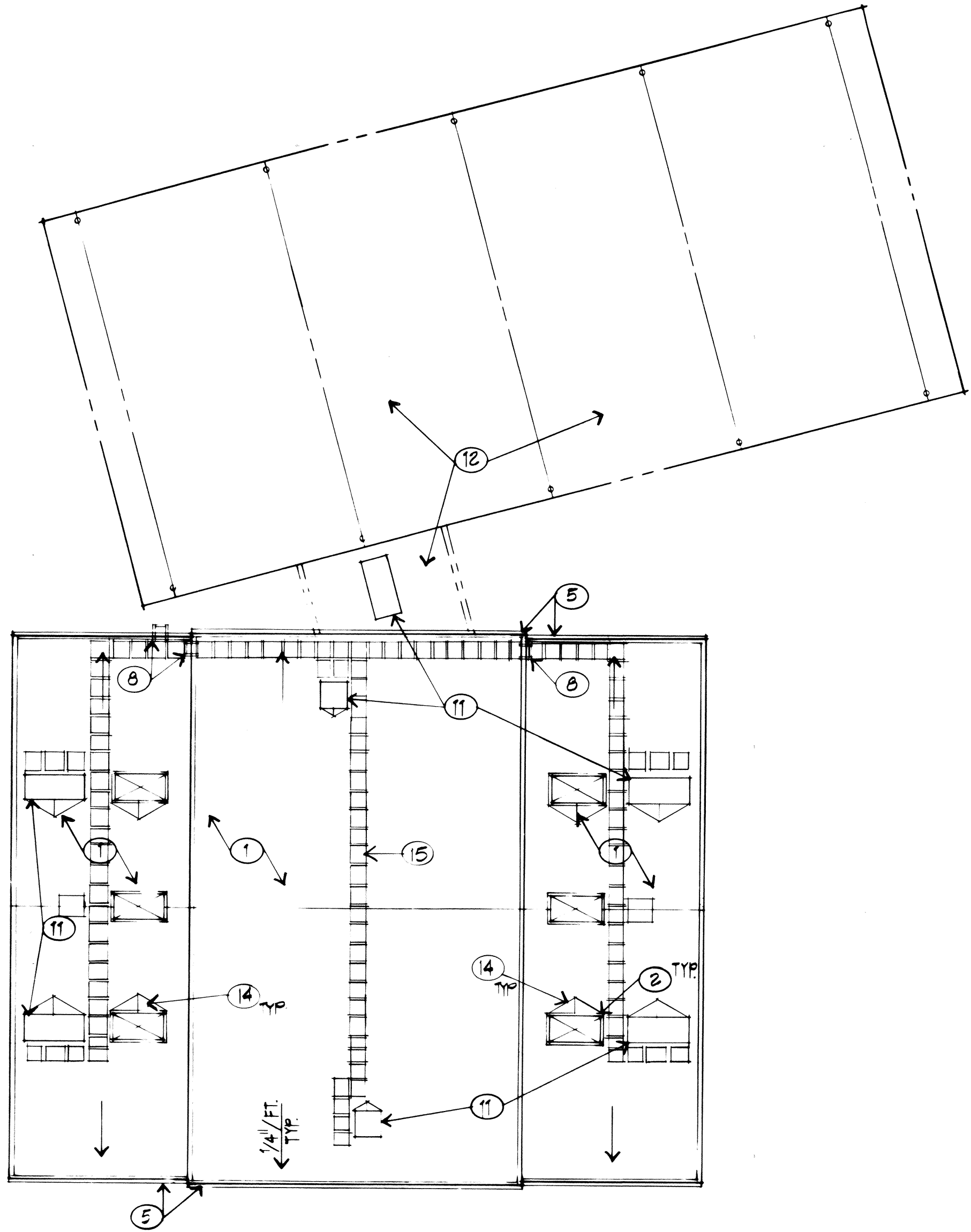
STATE OF NEW MEXICO
NO. 1649
REGISTERED PROFESSIONAL ENGINEER

job no. 88008-00
dm. by RVD
ckd. by AND
issued 5/1/84
sheet S-2
of 18

SCANNED BY 2

○ Keyed Notes

1. Built-up roofing on rigid insulation on laminated wood deck.
2. 4'-0" X 8'-0" barrel vault skylight.
3. Aluminum storefront frame with 1/4" 'Lexan' glazing.
4. Relocated steel siding on new steel girt system to match existing. Paint all siding (Paint Color No. 1).
5. Metal gutter, flashing and downspouts (Paint Color No. 2).
6. Painted graphic (Paint Color No. 2).
7. Existing Vestibule.
8. Steel roof ladder, ref. 3/A-1.
9. Paint hollow metal door and frame (Paint Color No. 2).
10. Paint all existing steel columns and fascia (Paint Color No. 2).
11. HVAC rooftop units. Provide walk boards from ladders to units, and around units.
12. Existing Bath House & Vestibule roofs to remain.
13. Paint all existing siding (Paint Color No. 1).
14. Crickets.
15. Walk boards, do not impede roof drainage.

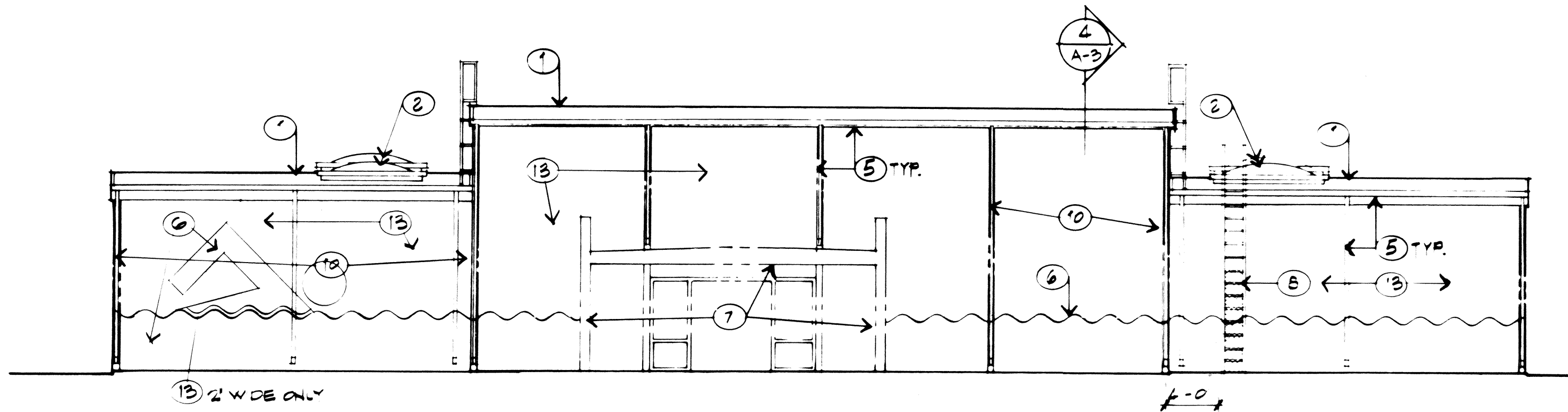


5 Roof Plan
1/16" = 1'-0"

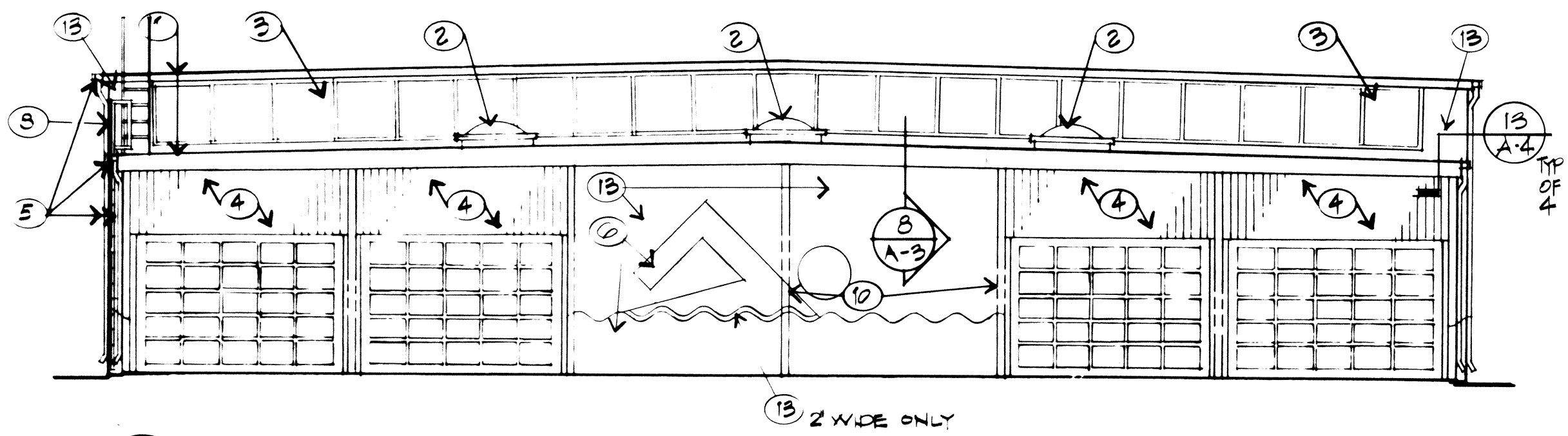


General Notes

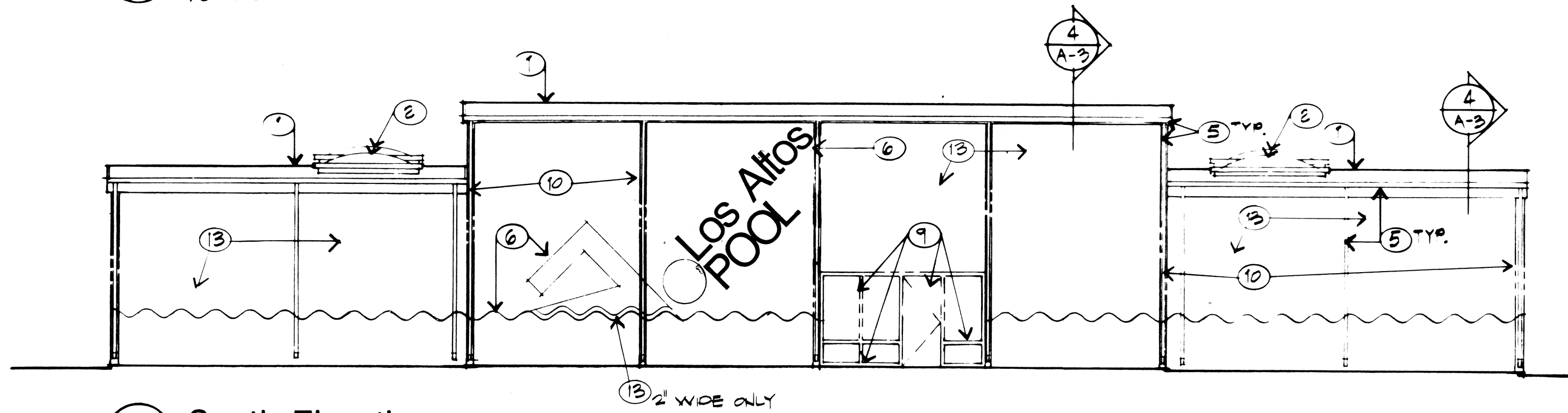
1. Caulk all column to metal siding joints, new and existing.
2. Roofer shall not stockpile materials on roof creating a large temporary spot load.



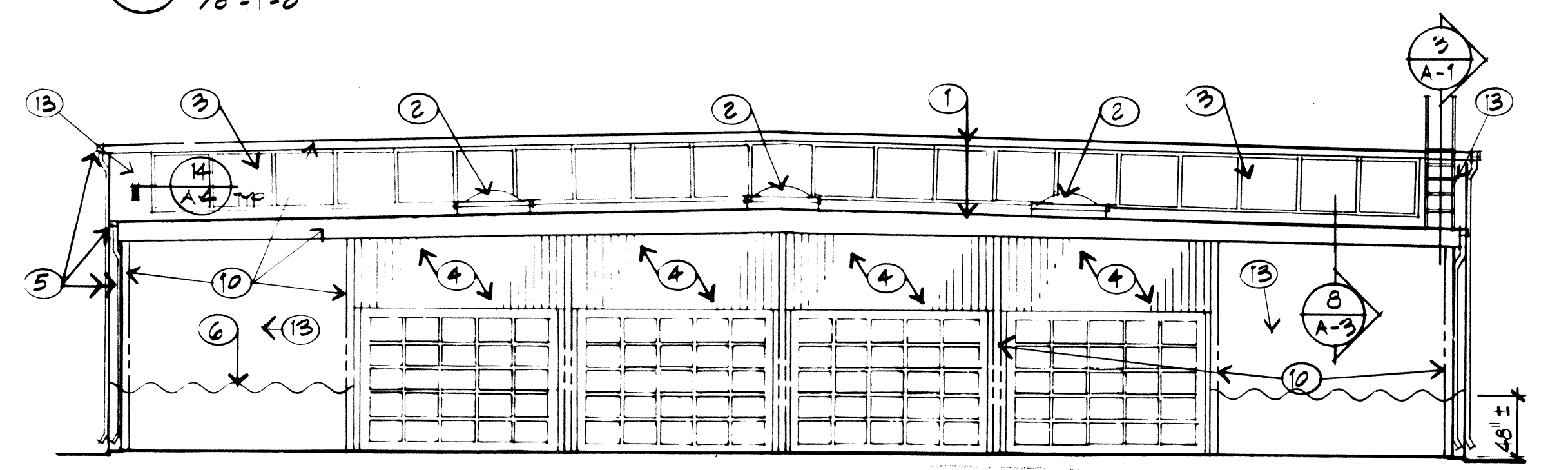
4 North Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"



3 South Elevation
1/8" = 1'-0"



1 East Elevation
1/8" = 1'-0"

CLASS I CONSTRUCTION

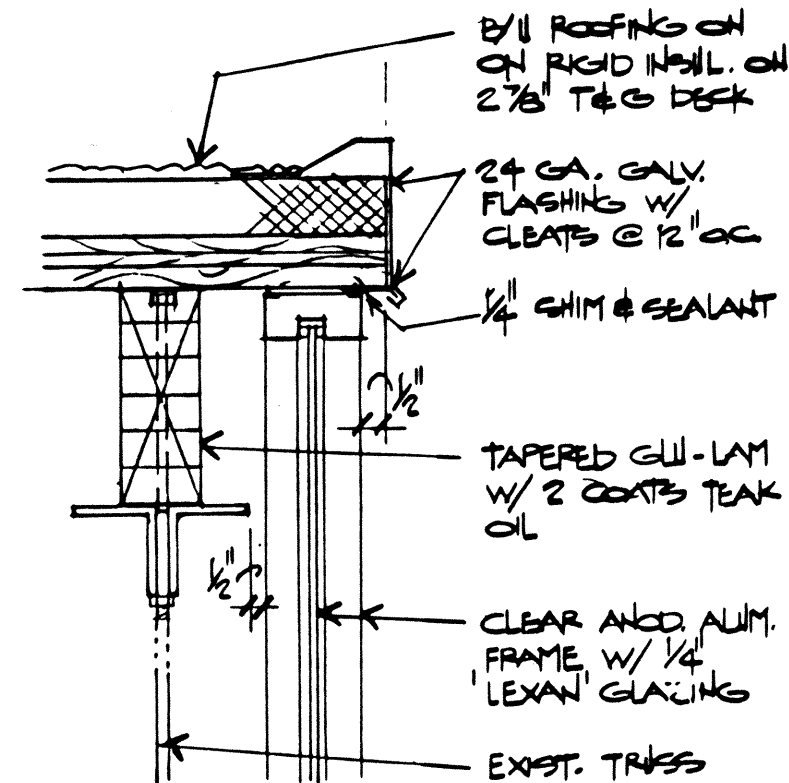
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dekker & associates
architects/engineers/planners
600 First St. N.W., East Wing Albuquerque, N.M. 87102 505.247.2888

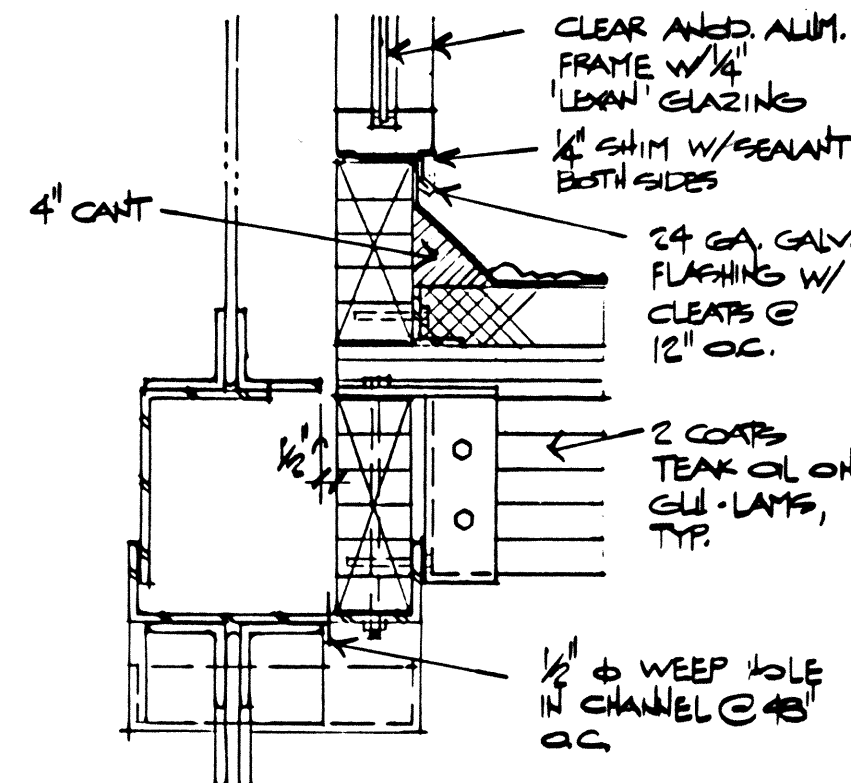
Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)

Elevations & Roof Plan

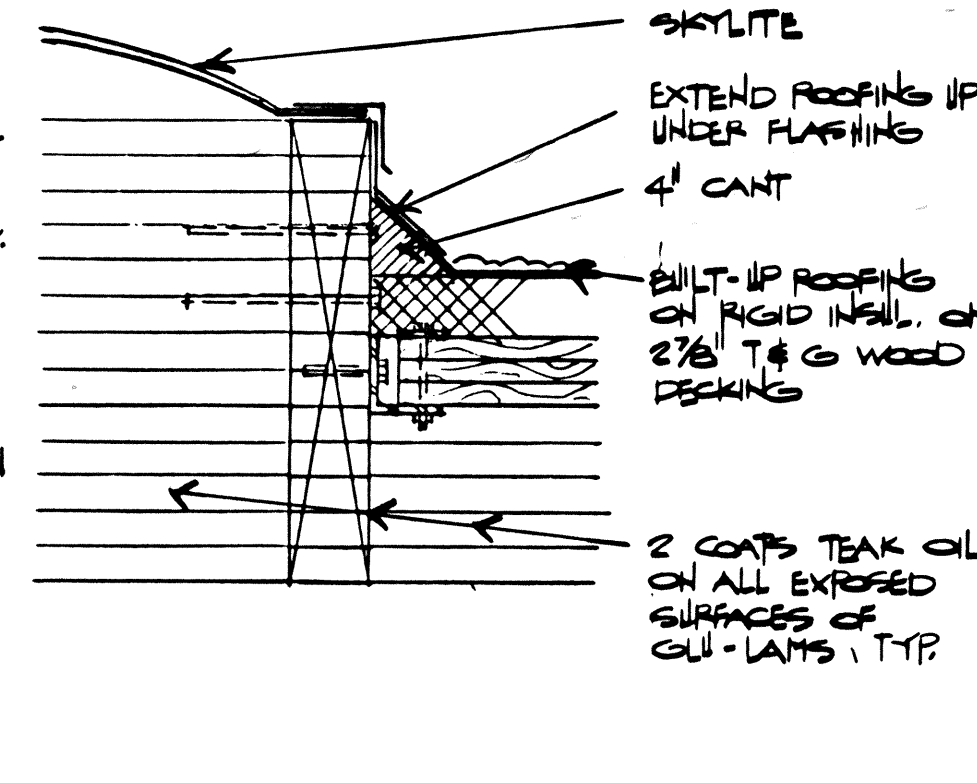
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	drn. by RAJ, KLG
	ckd. by SJP
	issued 5/1/89
sheet	A-2
8 of 18	



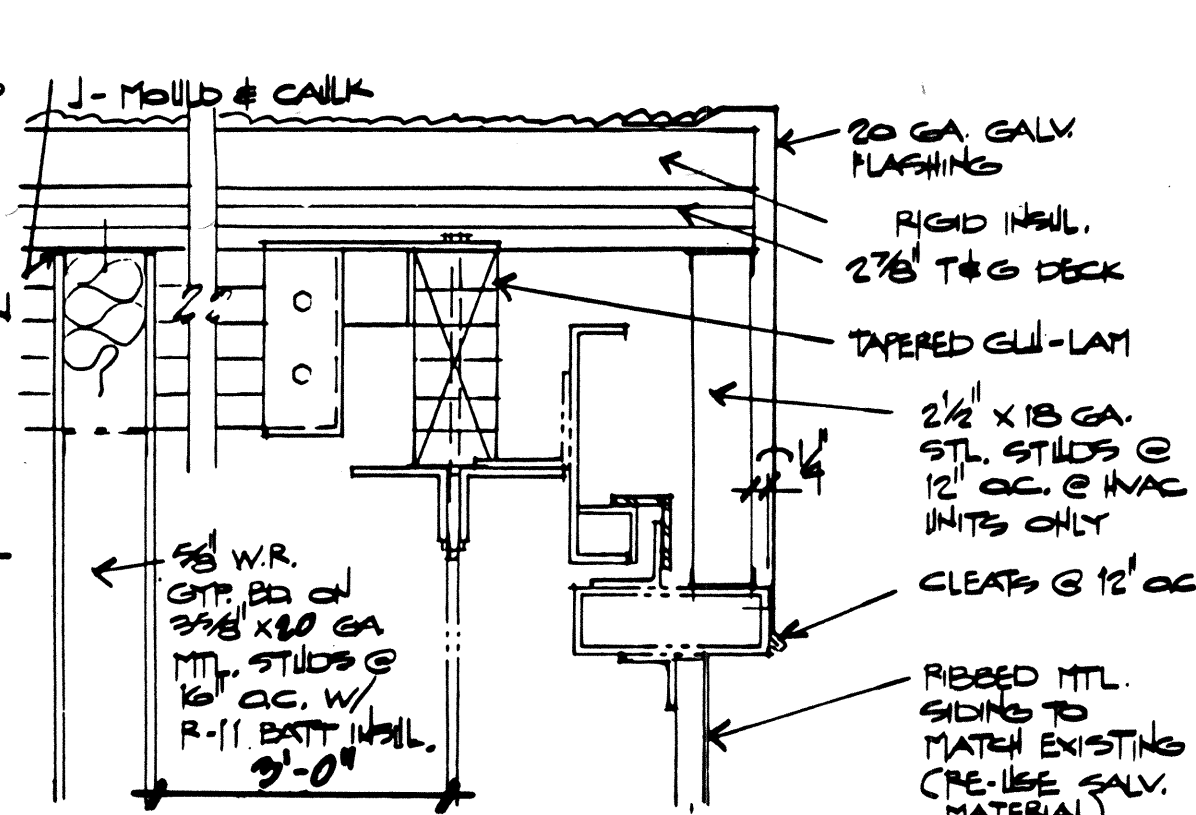
11 Clearstory Head
1 1/2" = 1'-0"



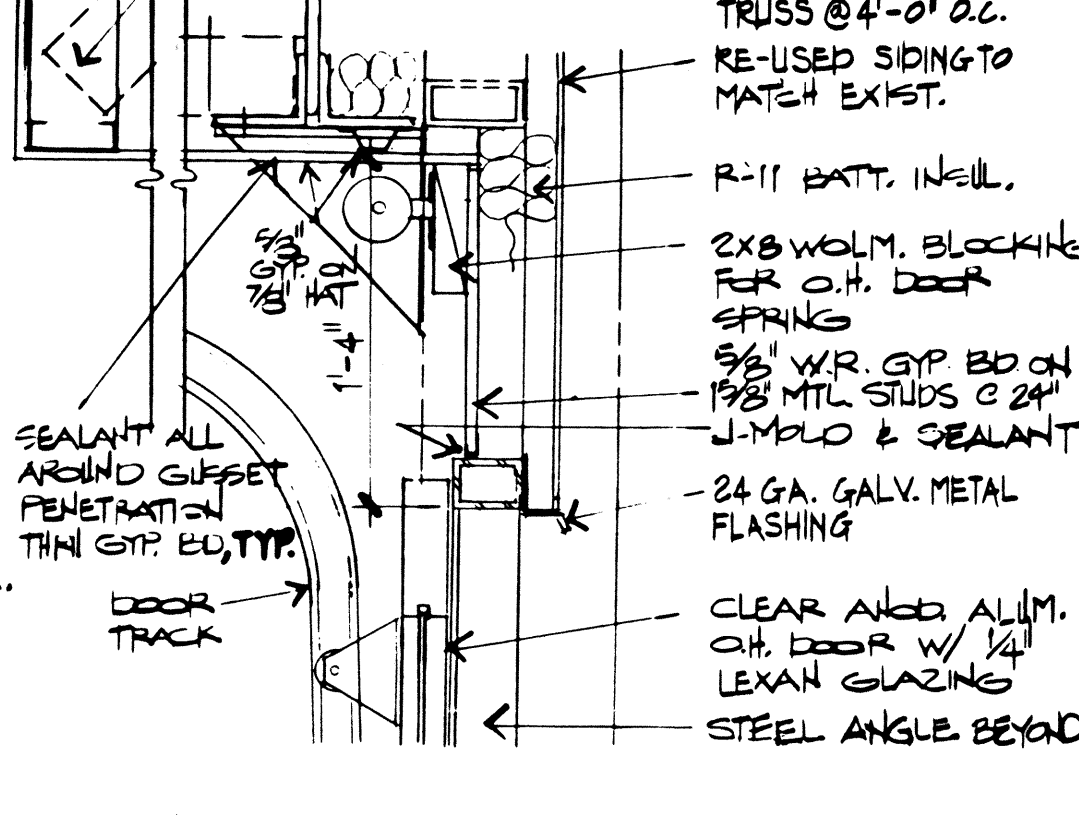
10 Clearstory Sill
1 1/2" = 1'-0"



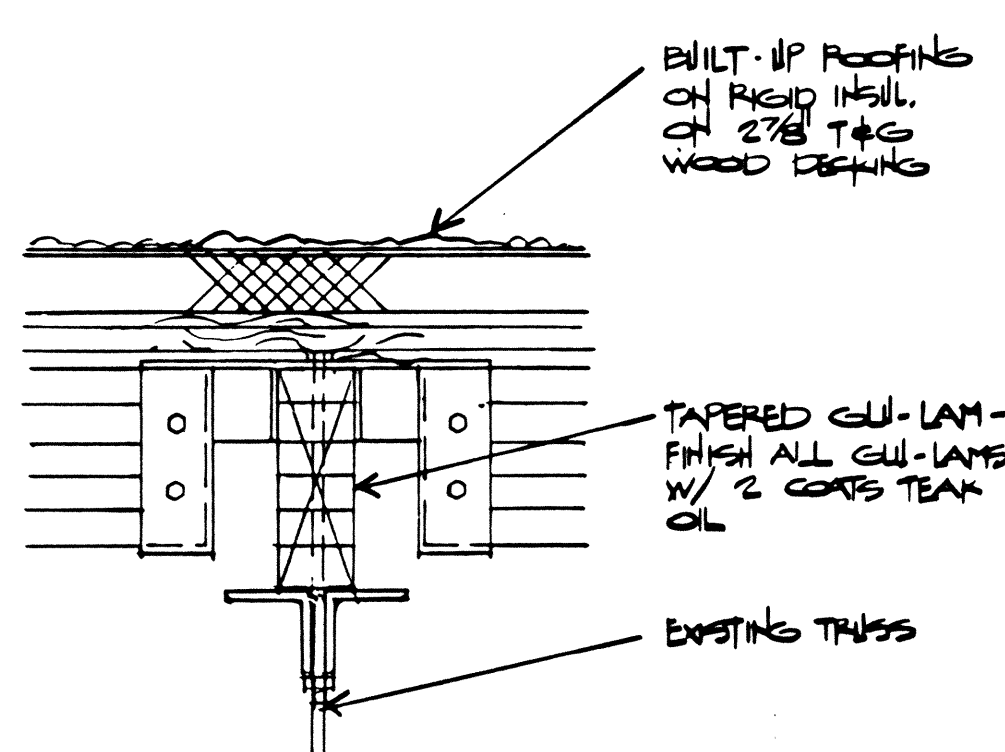
9 Skylight
1 1/2" = 1'-0"



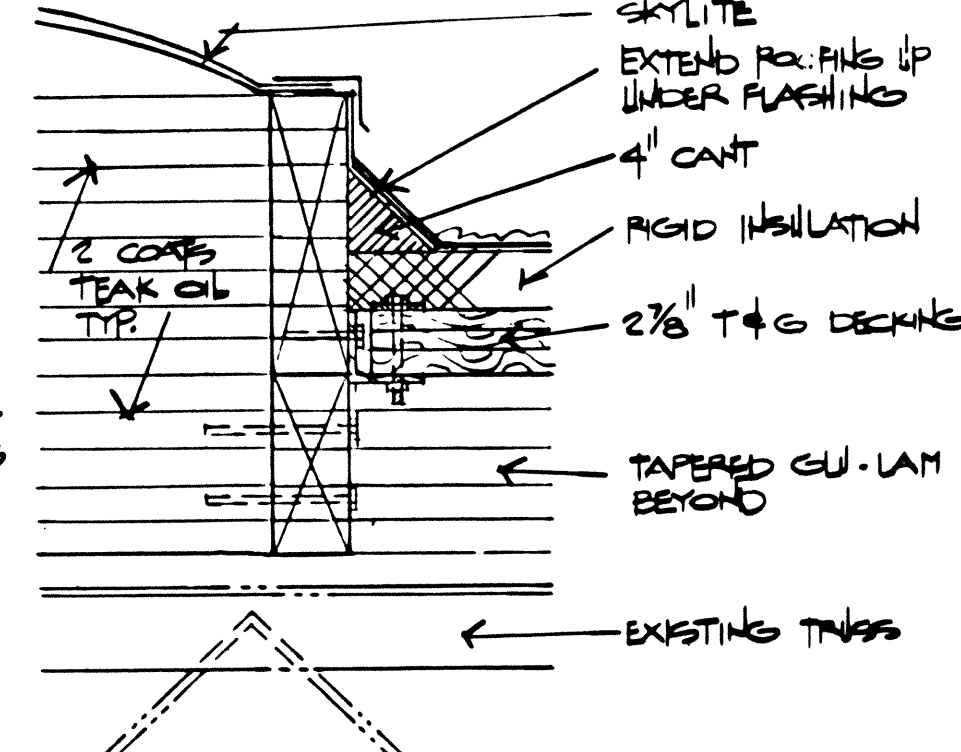
8 Fascia
1 1/2" = 1'-0"



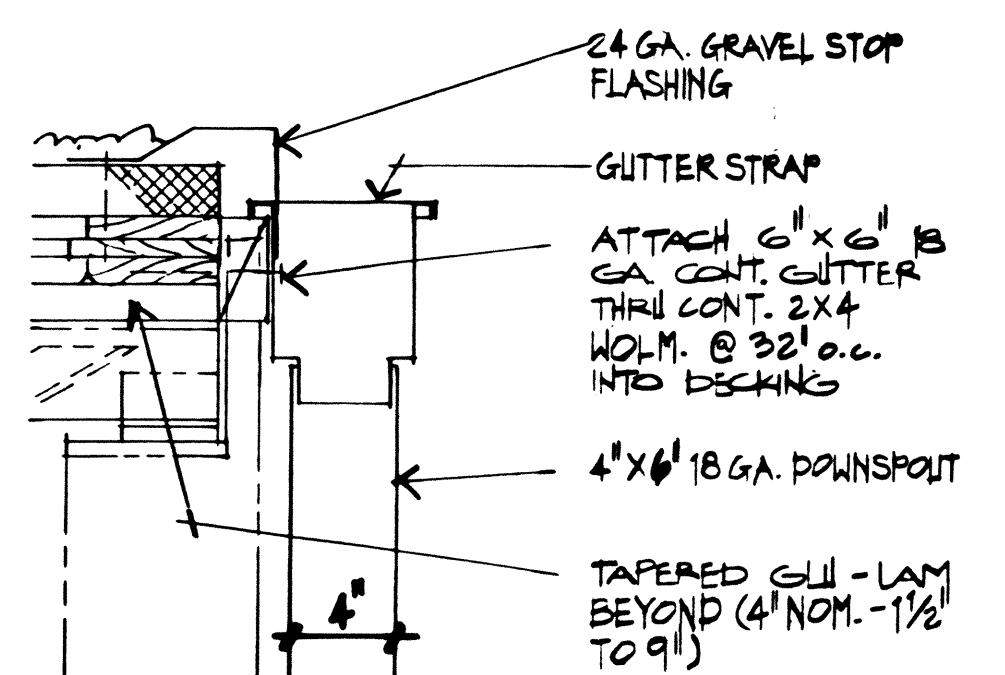
7 O.H. Door Head
1 1/2" = 1'-0"



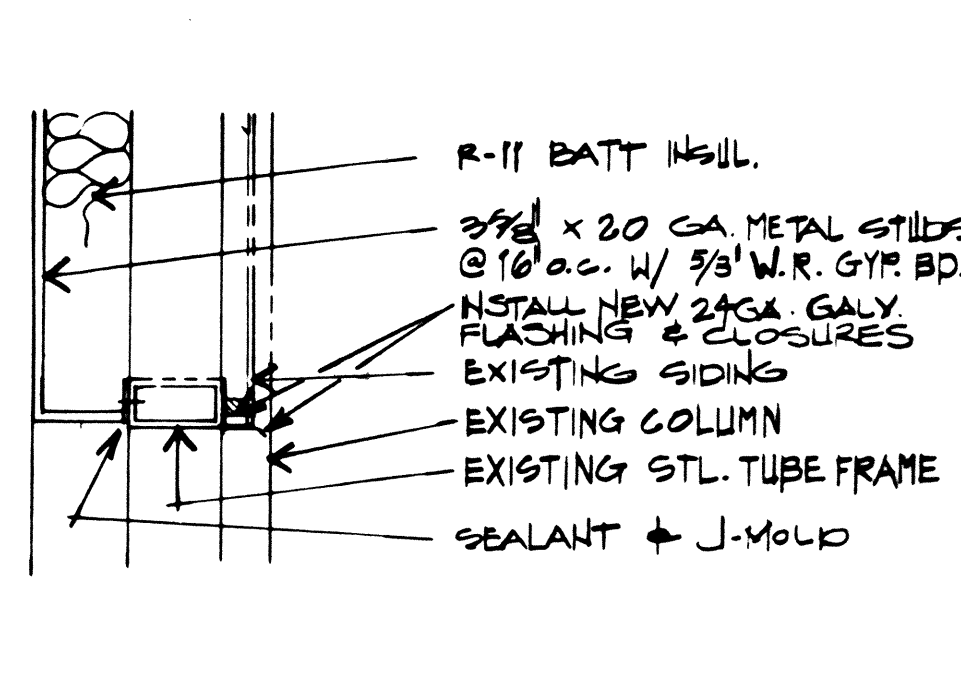
6 Tapered Glu-Lam
1 1/2" = 1'-0"



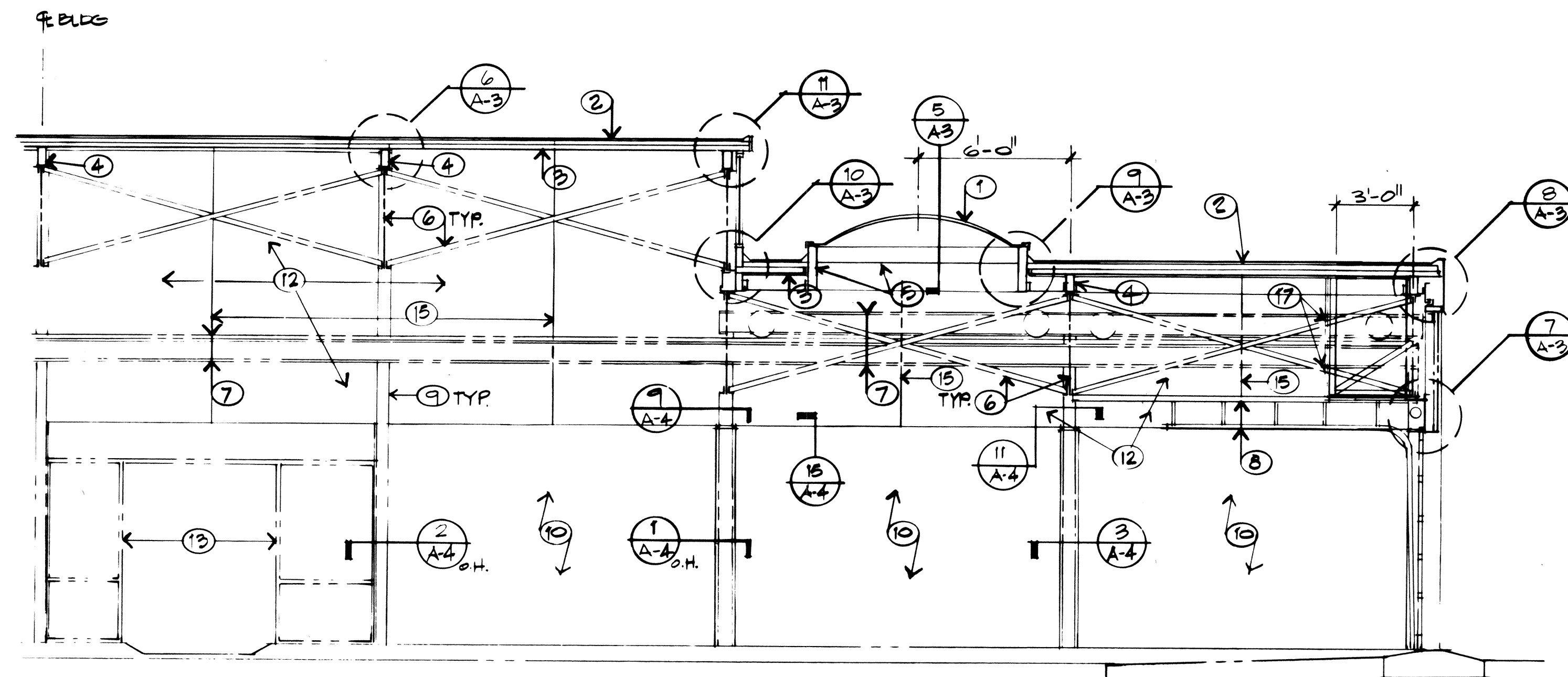
5 Skylight
1 1/2" = 1'-0"



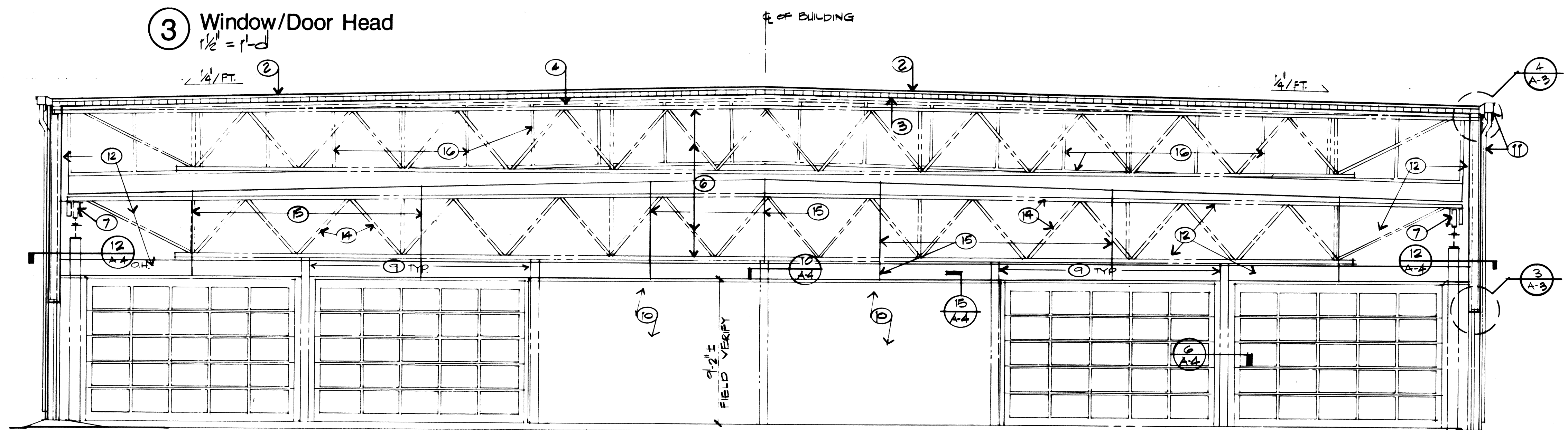
4 Guttering
1 1/2" = 1'-0"



3 Window/Door Head
1 1/2" = 1'-0"



2 Section
1/4" = 1'-0"



1 Section
1/4" = 1'-0"

Keyed Notes

- 4'-0" X 8'-0" barrel vault skylight.
- Built-up roofing on rigid insulation on wood decking.
- Exposed T & G wood decking.
- Coat tapered glu-lam with 2 coats of teak oil.
- 4" nominal wood glu-lam skylight support, finish with 2 coats teak oil.
- Remove all rust and non-adhering paint from existing trusses and crossbracing. Repaint (Paint Color No. 3).
- Remove all rust and non-adhering paint from existing steel beams and rails which are left exposed. Repaint (Paint Color No. 3).
- Overhead door track and support. Mount to bottom of existing trusses.
- Remove all rust and non-adhering paint from existing steel columns. Repaint (Paint Color No. 3).
- Stucco w/ smooth finish.
- Metal guttering and downspouts.
- 5/8" W.R. gypsum board, painted (Paint Color No. 4).
- Remove all rust and non-adhering paint. Frame to be repainted by Owner.
- Truss within gypsum board furring beyond.
- Gypsum board control joint.
- Aluminum frames with 1/4" Lexan glazing.
- SEALANT ALL AROUND ANY PENETRATION THRU GYP. BR, TYP.

CLASS I CONSTRUCTION

no.	date	revision

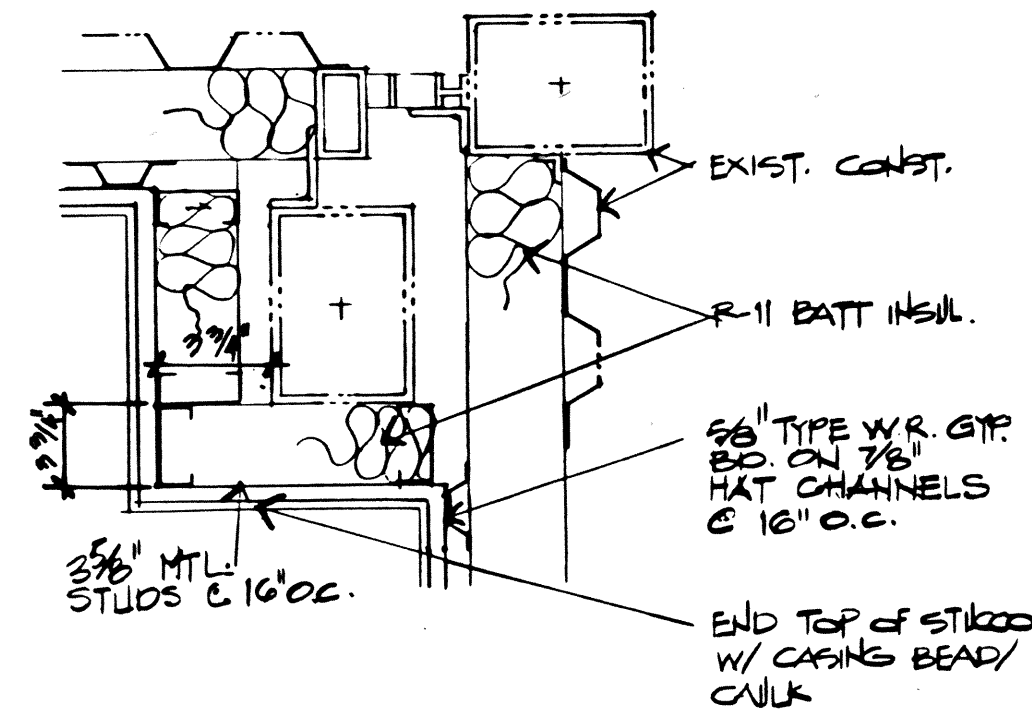
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Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)

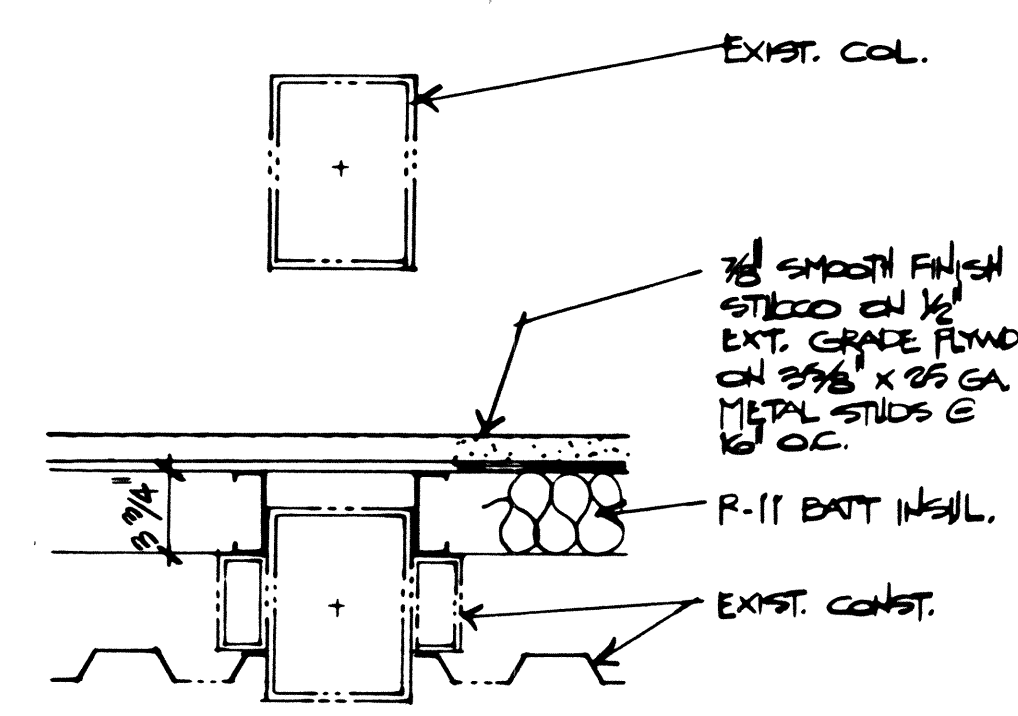
Section/Details

	job no. 880800
	des. by RAW, KLG
	chkd. by SJW
	issued 5/1/89
sheet	A-3
9 of 13	

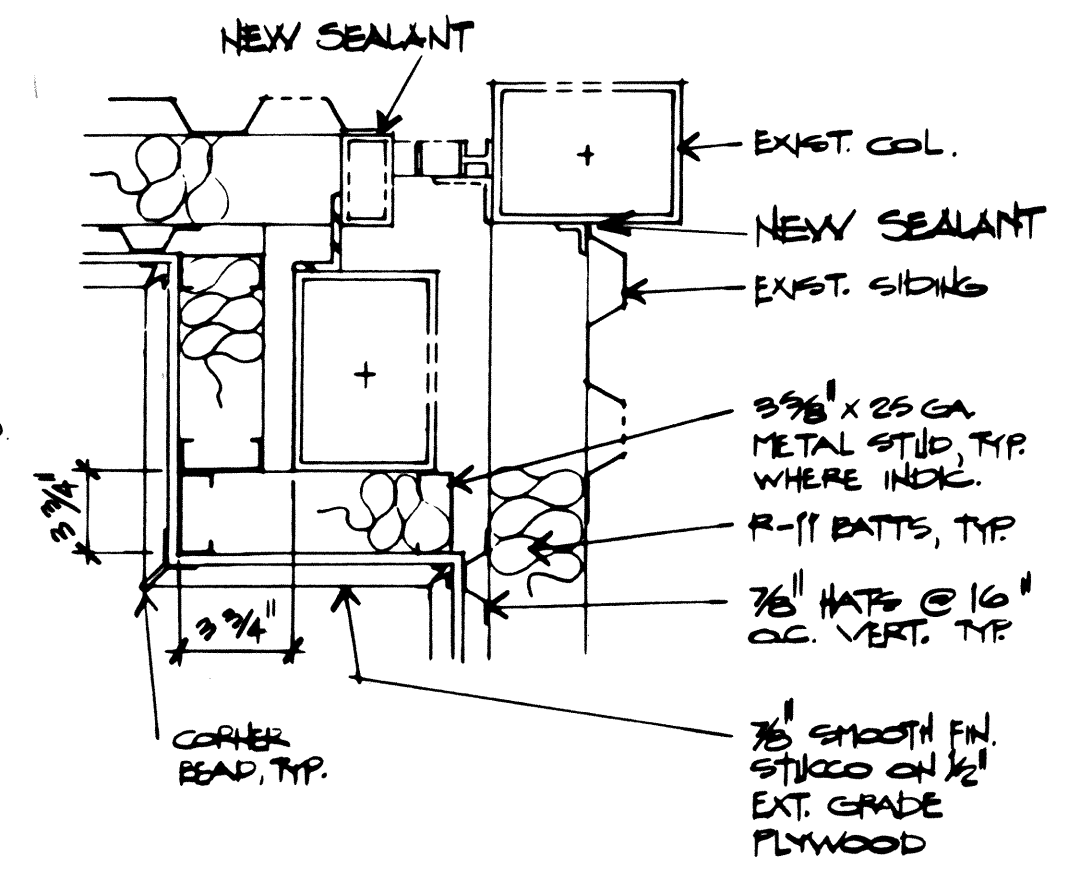
SCANNED
2638160991



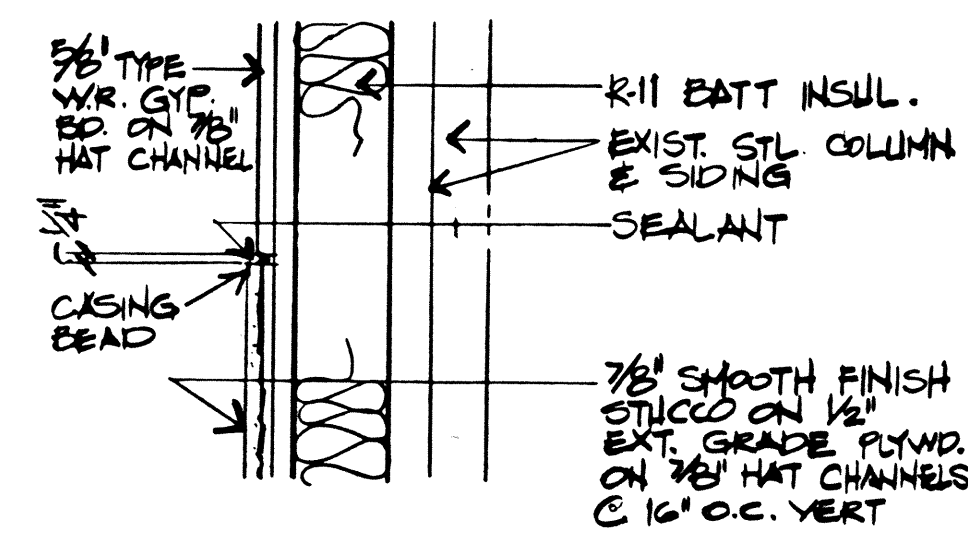
12 Column Detail
1/2" = 1'-0"



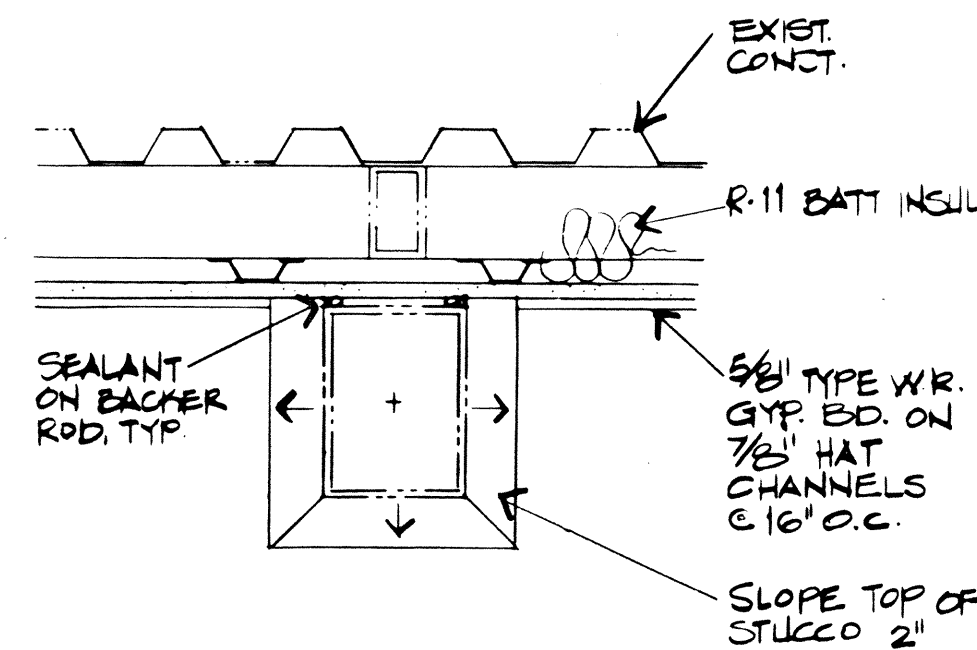
8 Column Detail
1/2" = 1'-0"



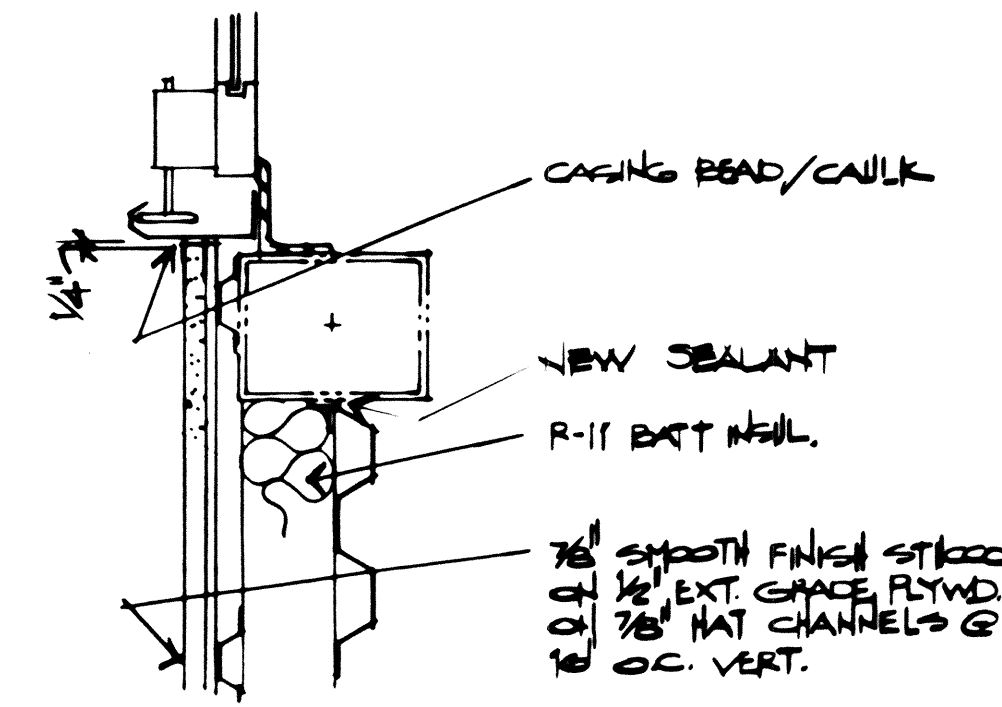
4 Corner Framing
1/2" = 1'-0"



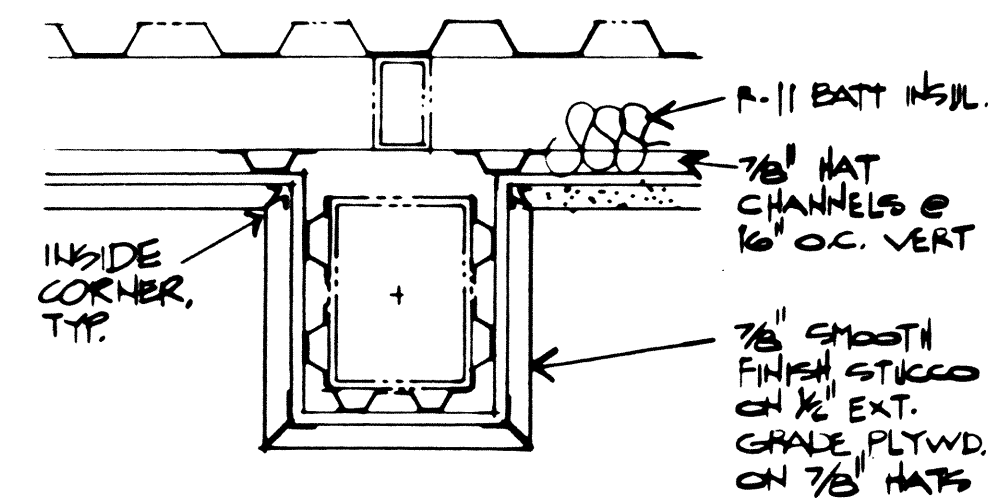
15 Stucco/Gypsum Bd. Joint
1/2" = 1'-0"



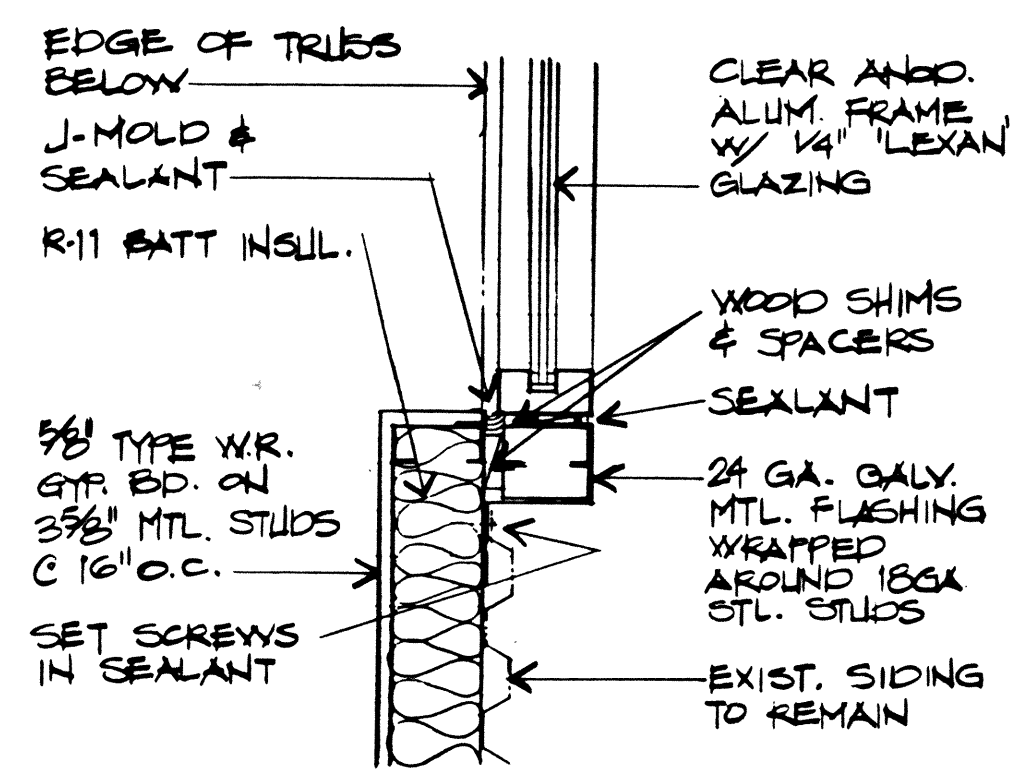
11 Column Detail
1/2" = 1'-0"



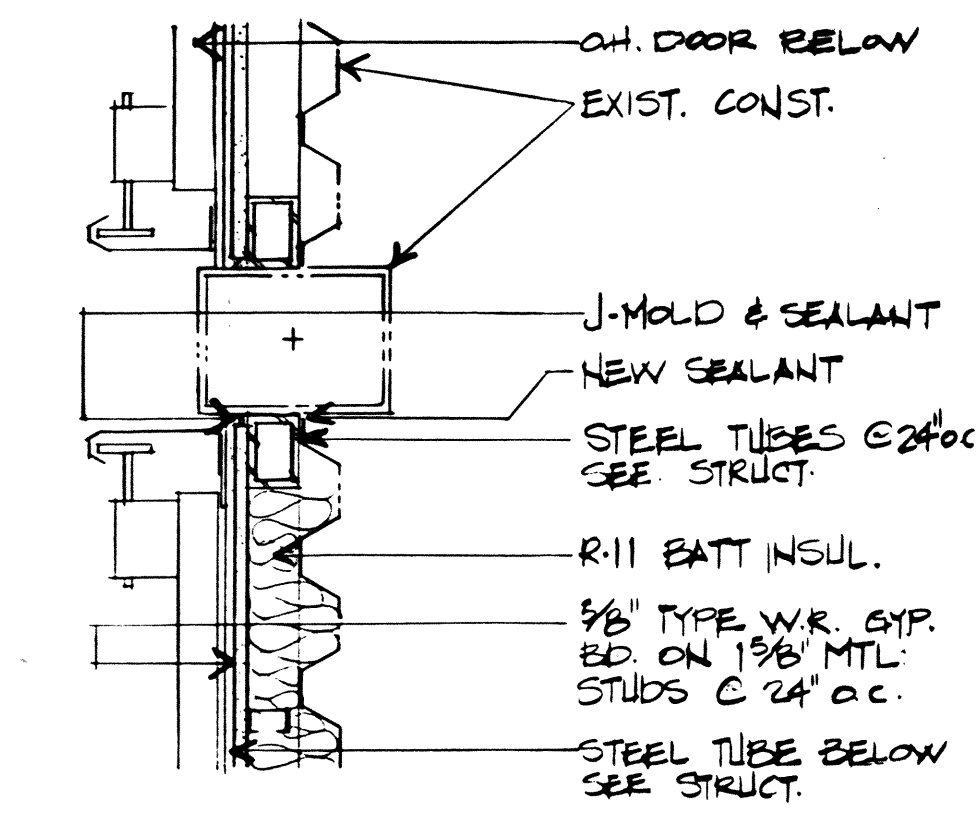
7 Column Detail
1/2" = 1'-0"



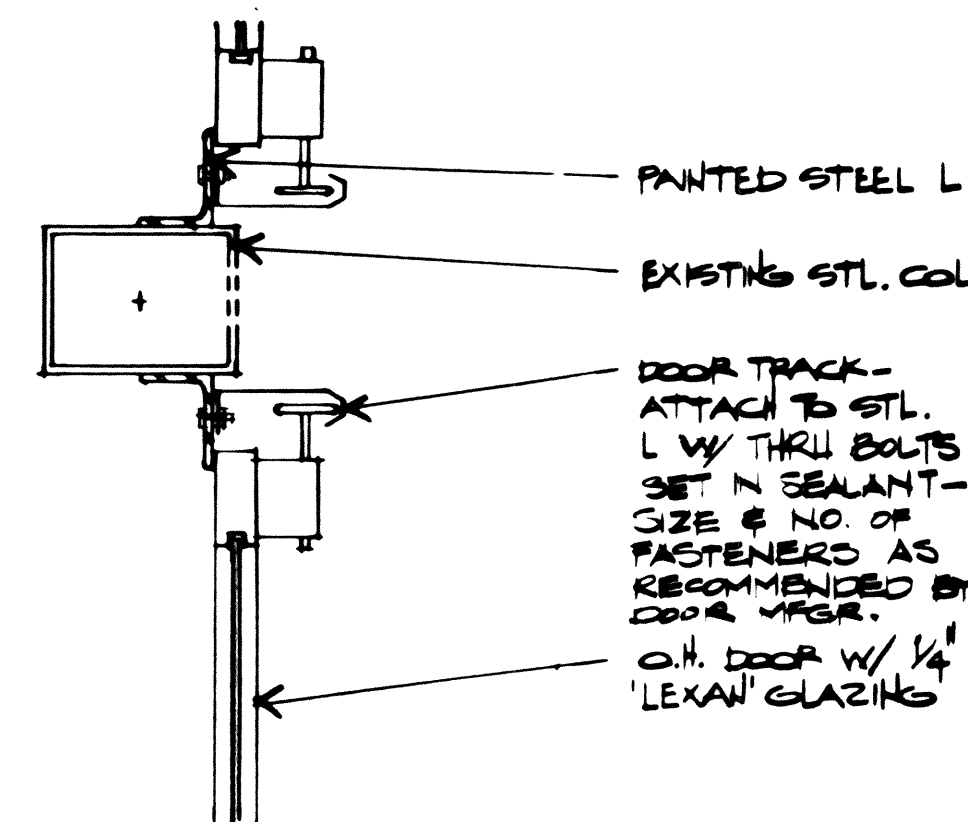
3 Column Detail
1/2" = 1'-0"



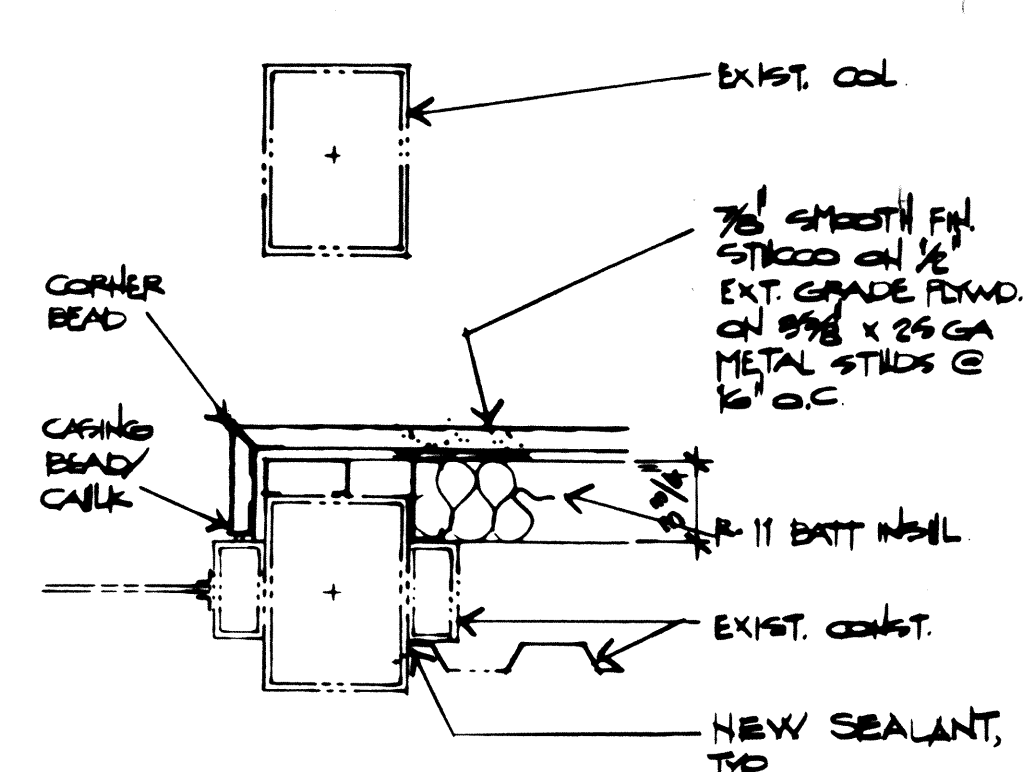
14 Storefront Jamb
1/2" = 1'-0"



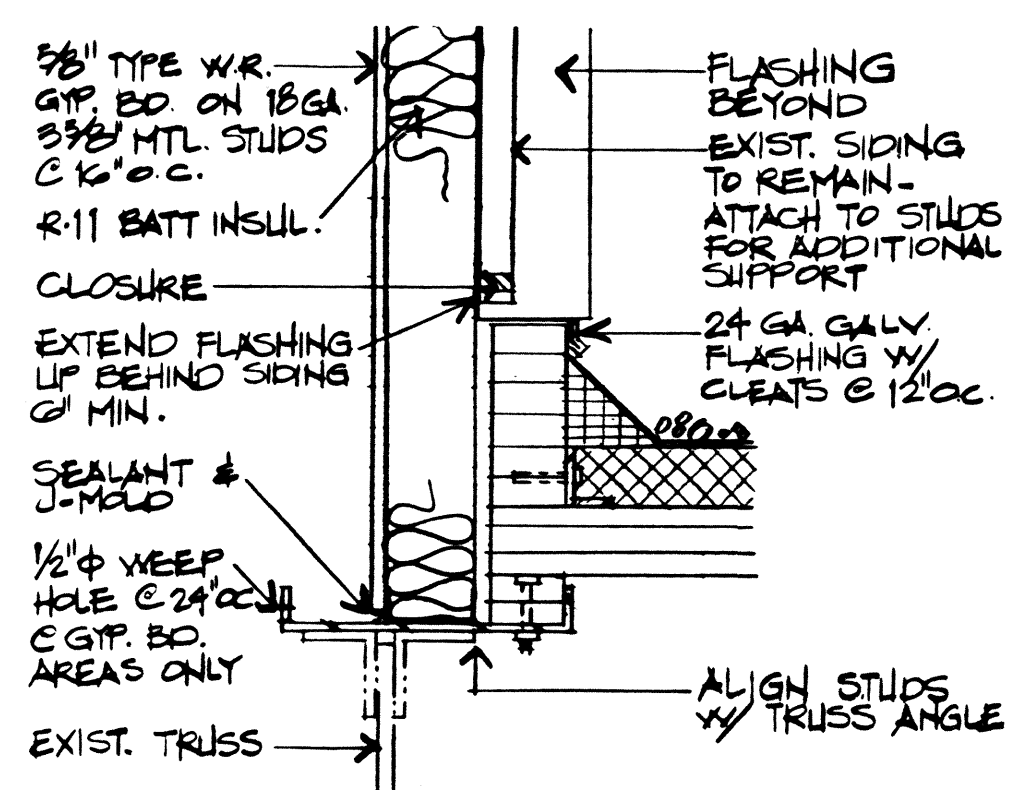
10 Column Detail
1/2" = 1'-0"



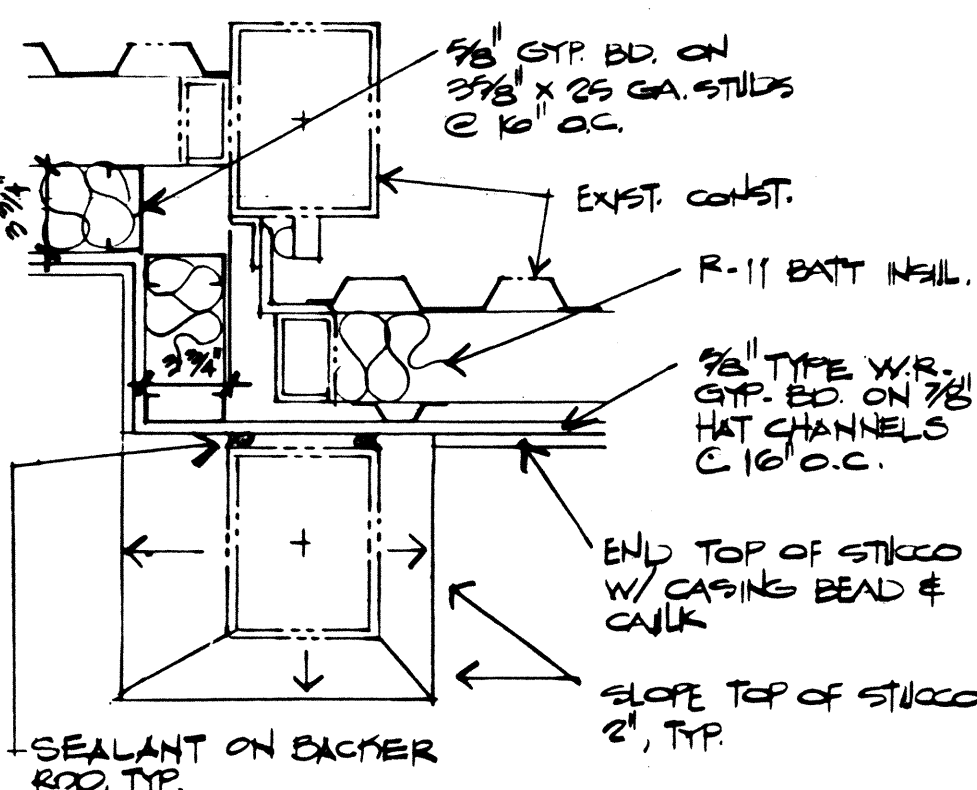
6 O.H. Door Jamb
1/2" = 1'-0"



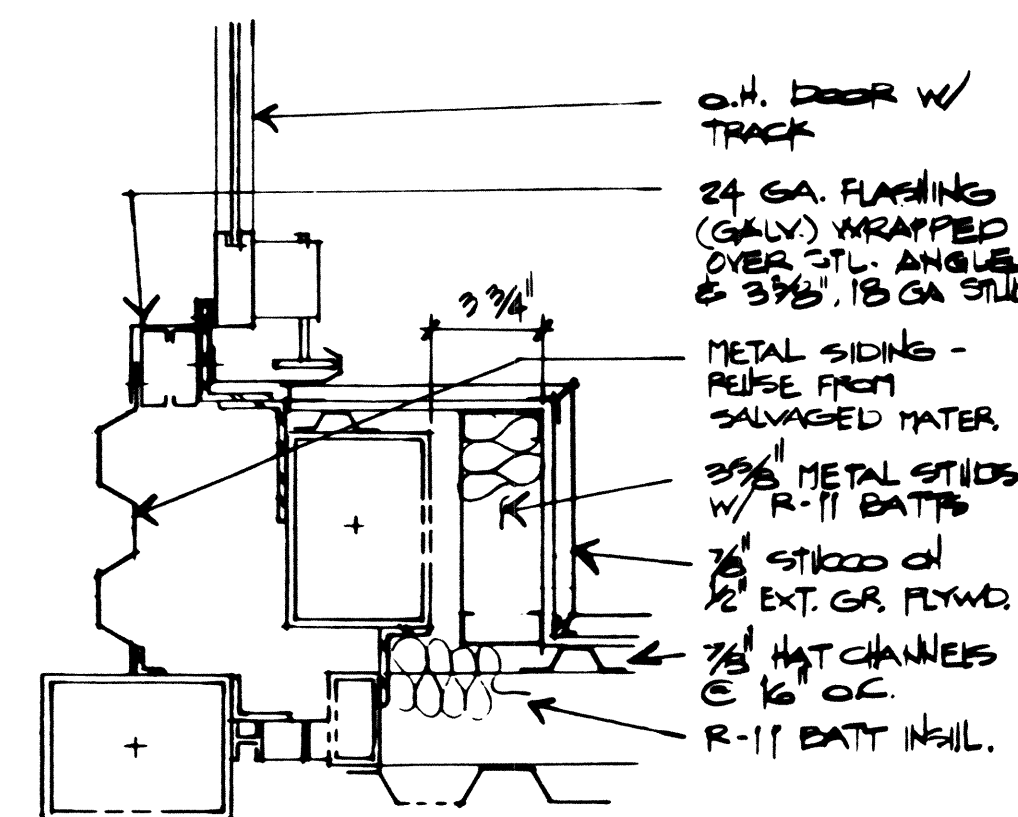
2 Column Detail
1/2" = 1'-0"



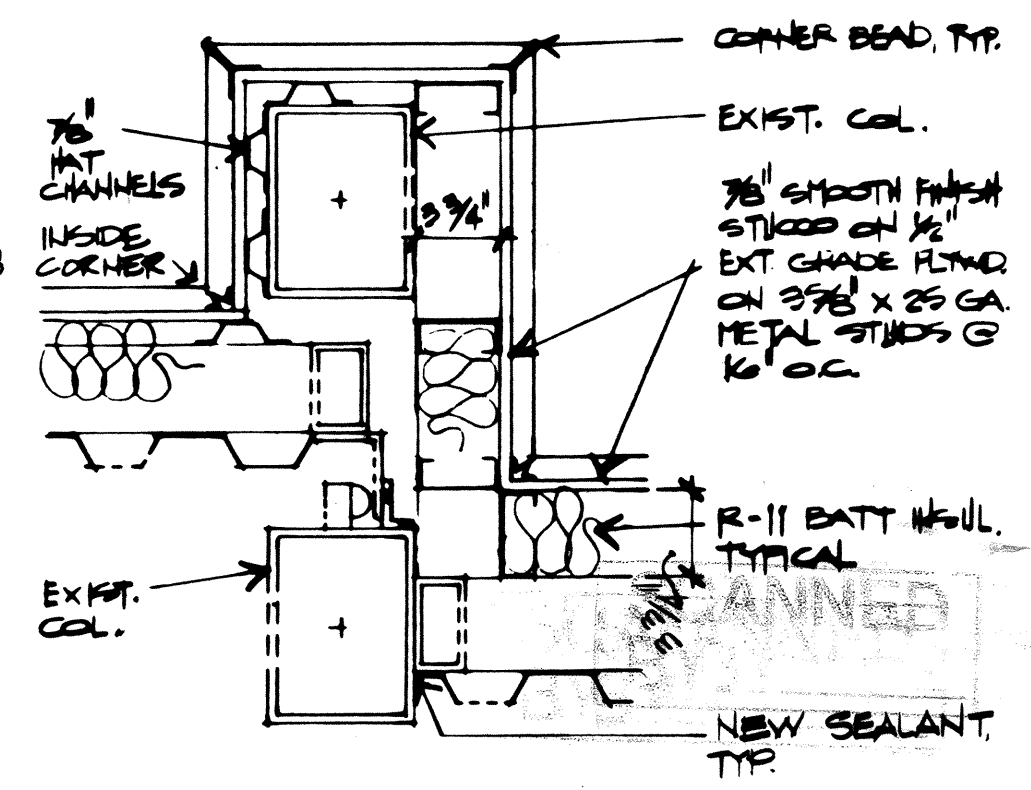
13 Closure Detail
1/2" = 1'-0"



9 Column Detail
1/2" = 1'-0"



5 O.H. Door Jamb/Framing
1/2" = 1'-0"



1 Framing @ Jog
1/2" = 1'-0"

CLASS I CONSTRUCTION

no.	date	revision

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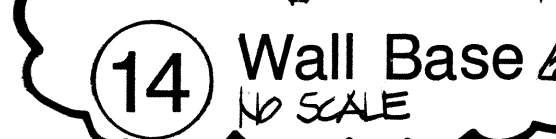
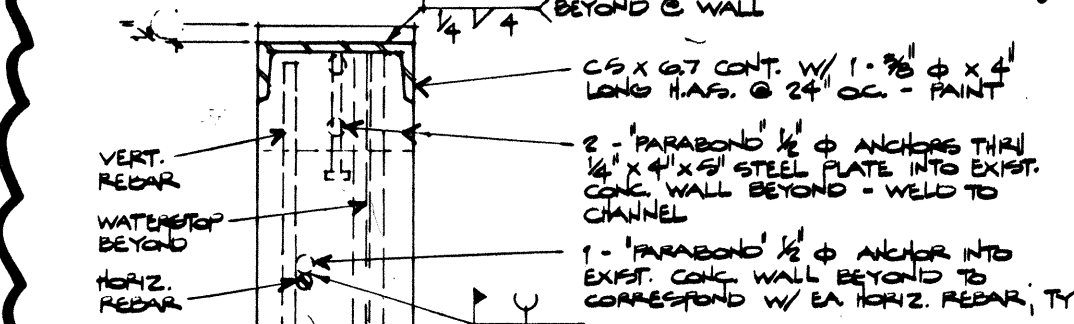
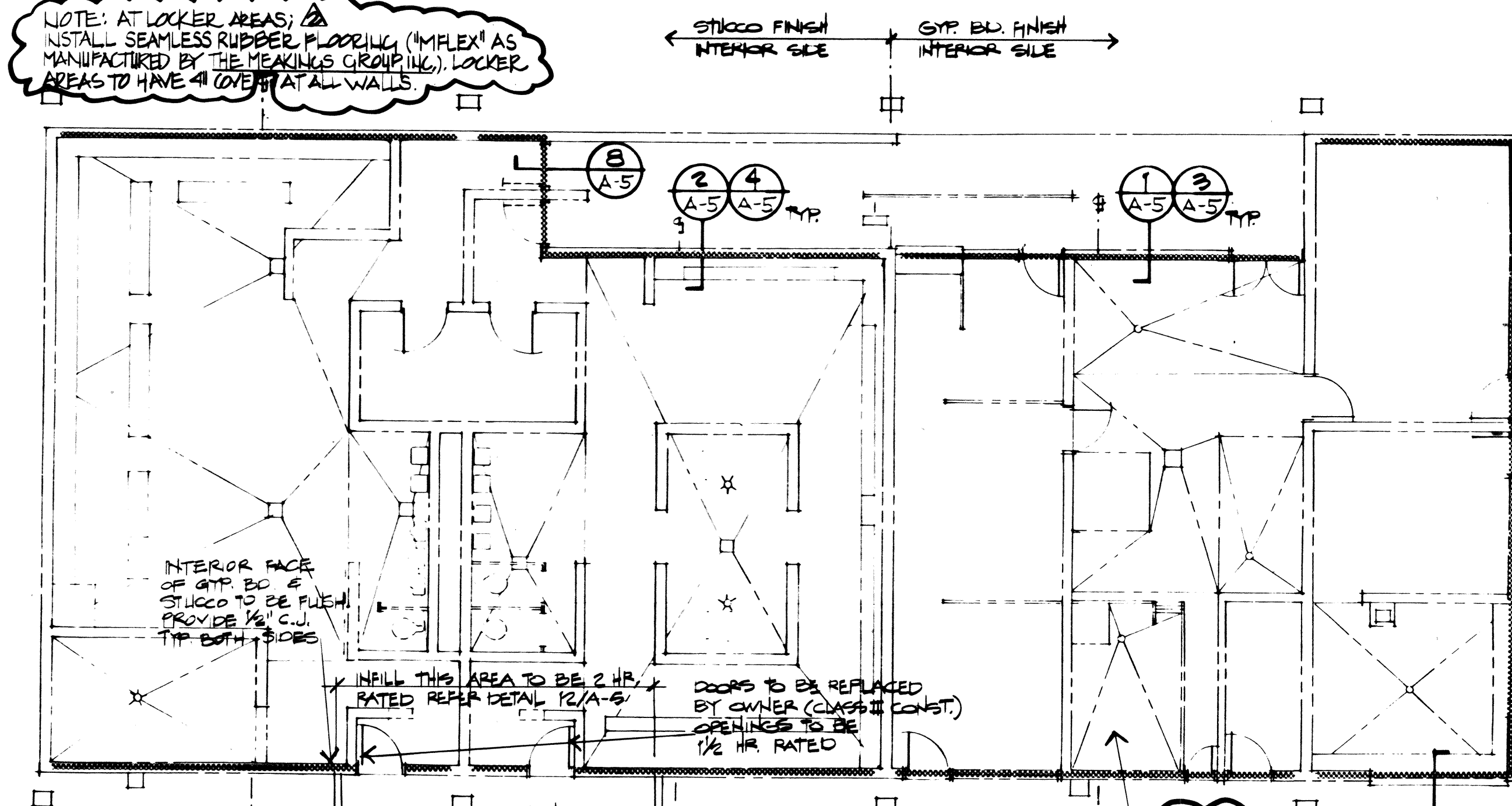
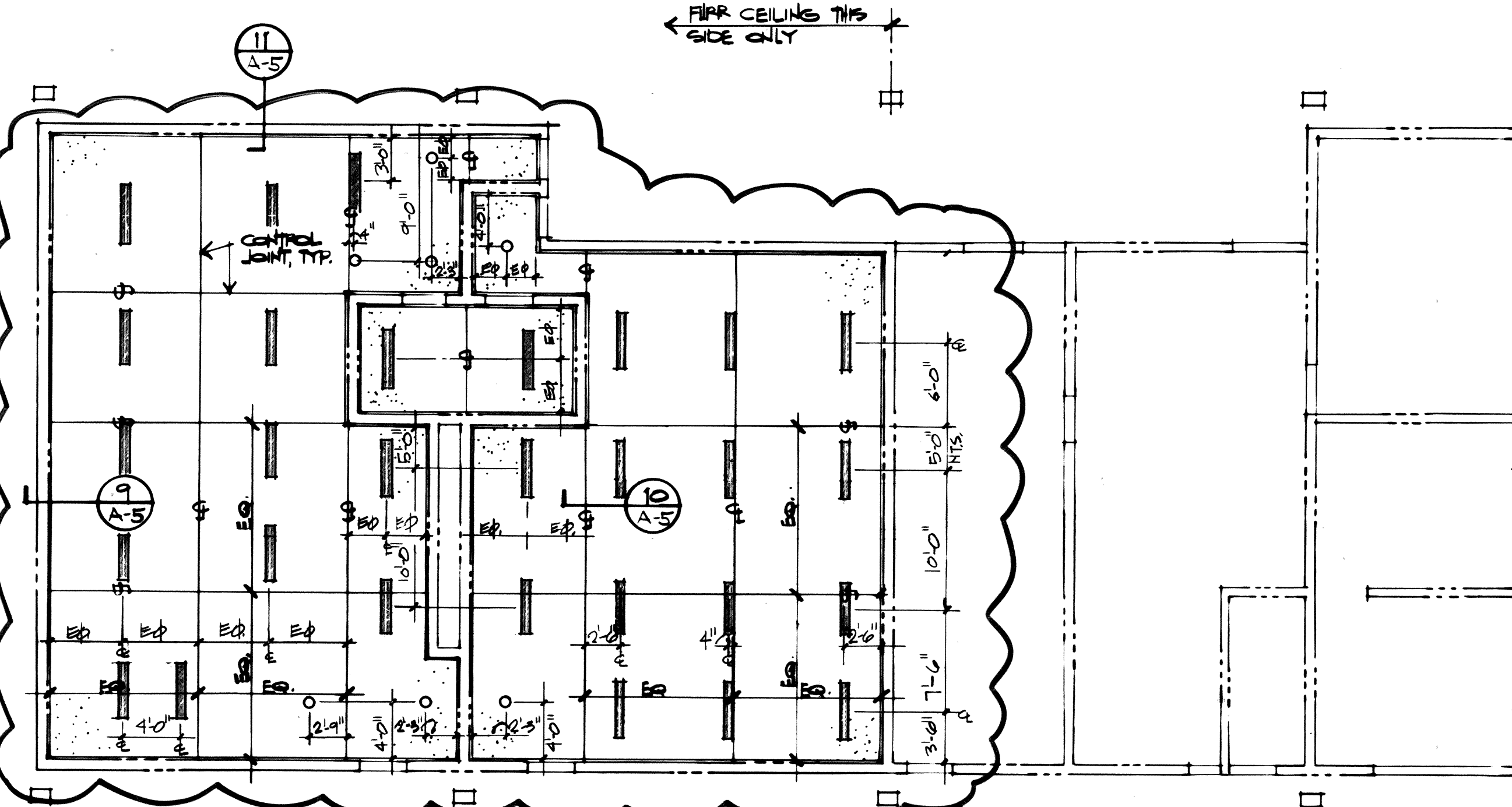
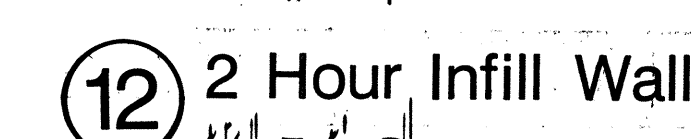
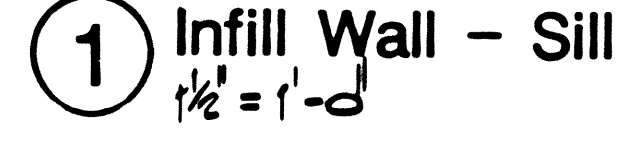
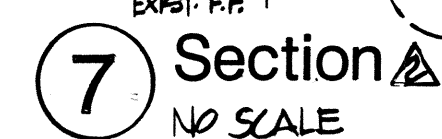
Los Altos Pool Renovation
City of Albuquerque
Parks & Recreation (City Project #3816)

Details - Pool Building

job no. 85005 J.C.
dm. by RAH
ckd. by JLF
issued 5/1/89
sheet **A-4**
10 of 18

STATE OF NEW MEXICO
REGISTERED ARCHITECT
5/1/89

SCANNED BY
C of A PWD Maps & Records
26 38161091



40 to 44	WP 171	Construction Type: Gypsum Wallboard, Metal Studs Base layer 5/8" type X gypsum wallboard or veneer base applied parallel to each side of 3/4" metal studs spaced 24" o.c. with 1" type S drywall screws 8" o.c. to edges and 12" o.c. to intermediate studs. Face layer 5/8" plain or predecorated type X gypsum wallboard or veneer base applied parallel to studs over base layers with laminating compound combed over entire surface. Metal base and top retainer channels. Stagger joints 24" o.c. each layer and side. (NLB)		Thickness: 6 1/4" Limiting Weight: 195# Approx. Weight: 10 psf Fire Test: UL R1319-31, 32, Design U41 6-2-60 Sound Test: RAL TL 61-213, 7-6-61

Legend

— — — — Existing Construction to Remain
 - - - - Existing Construction to be Removed
 ————— New Construction

CLASS I CONSTRUCTION

no.	date	revision

12	11	1390	RECORD DRAWING REVISIONS	

1	10/9/89	REVISE LIGHTING PLAN @ BATH HOUSE
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dekker & associates
architects/engineers/planners

600 First St. N.W., East Wing Albuquerque, N.M. 87102 505/247-2888

Los Altos Pool Renovation

Parks & Recreation
City of Albuquerque (City Project #2210)

Floor Plan Bath House

Floor Plan - Bath House



job no. 88008.02

drn. by RAWckd. by SJP

Issued 5/1/89

1054 89 A 5

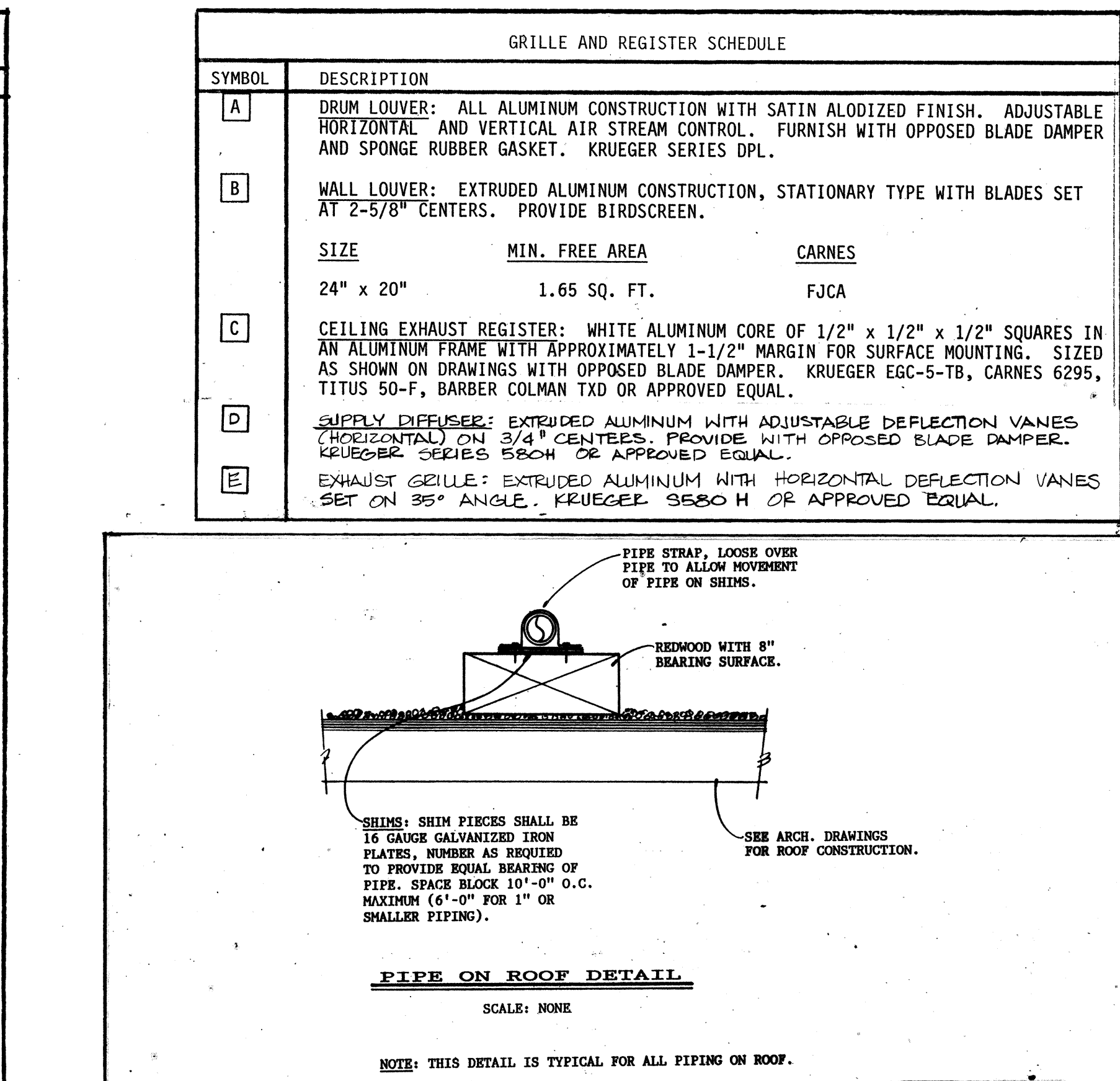
sheet **A-5**

REGISTERED ARCHITECT 11 of 18

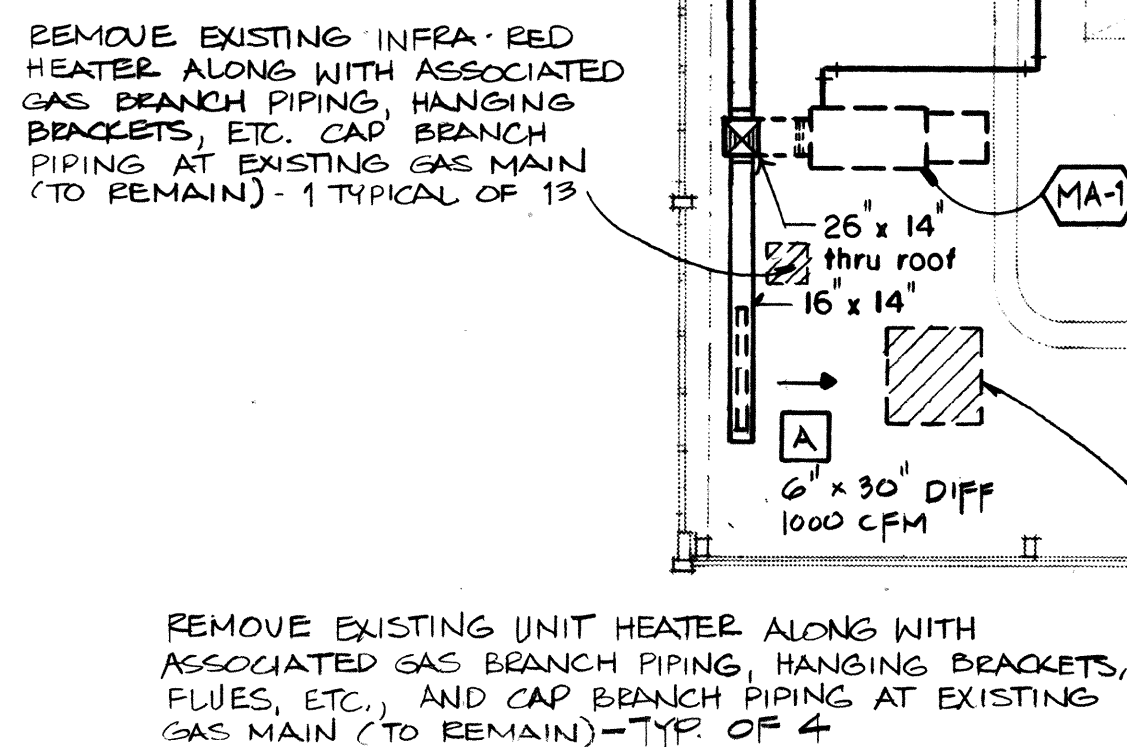
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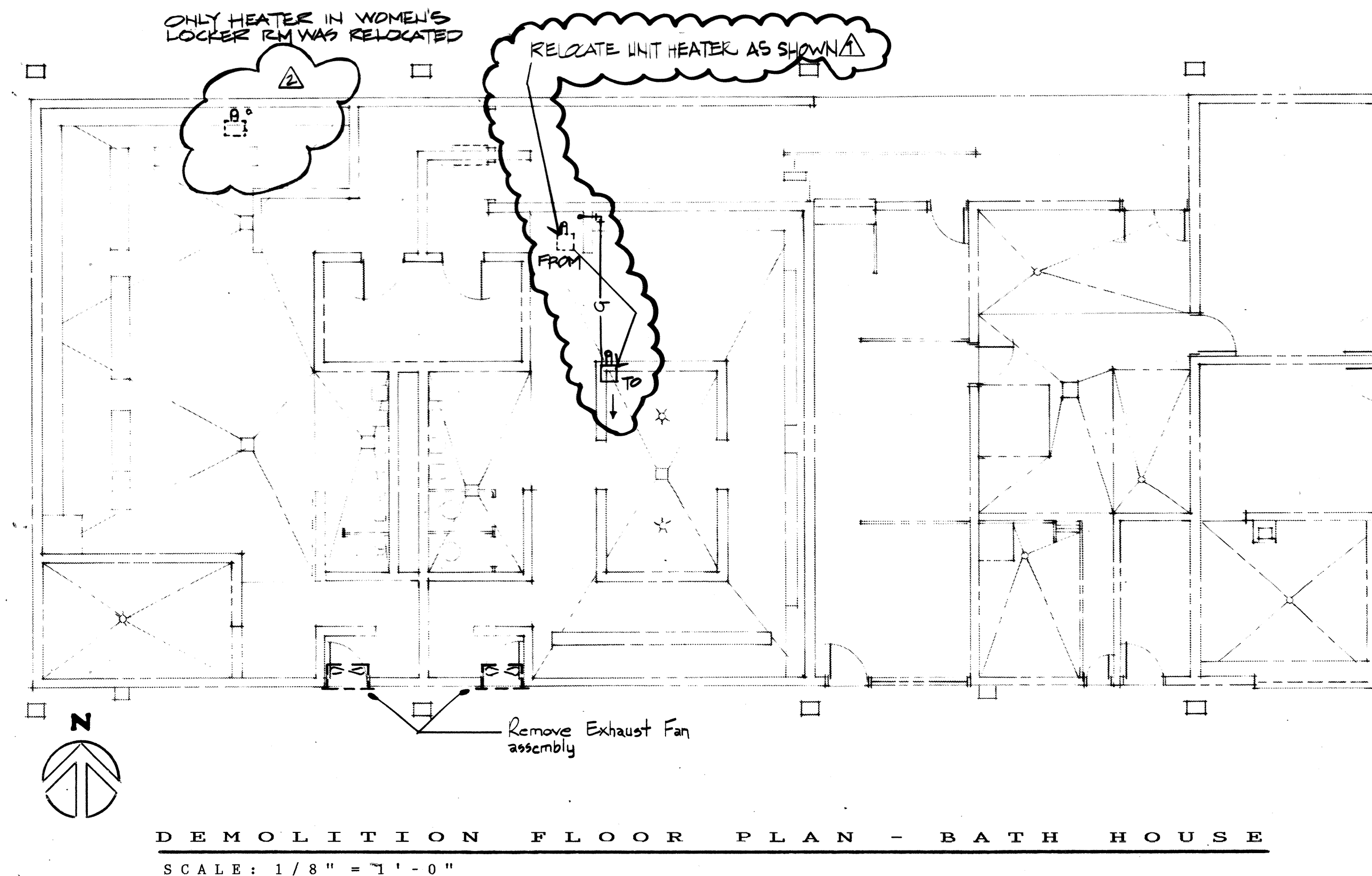
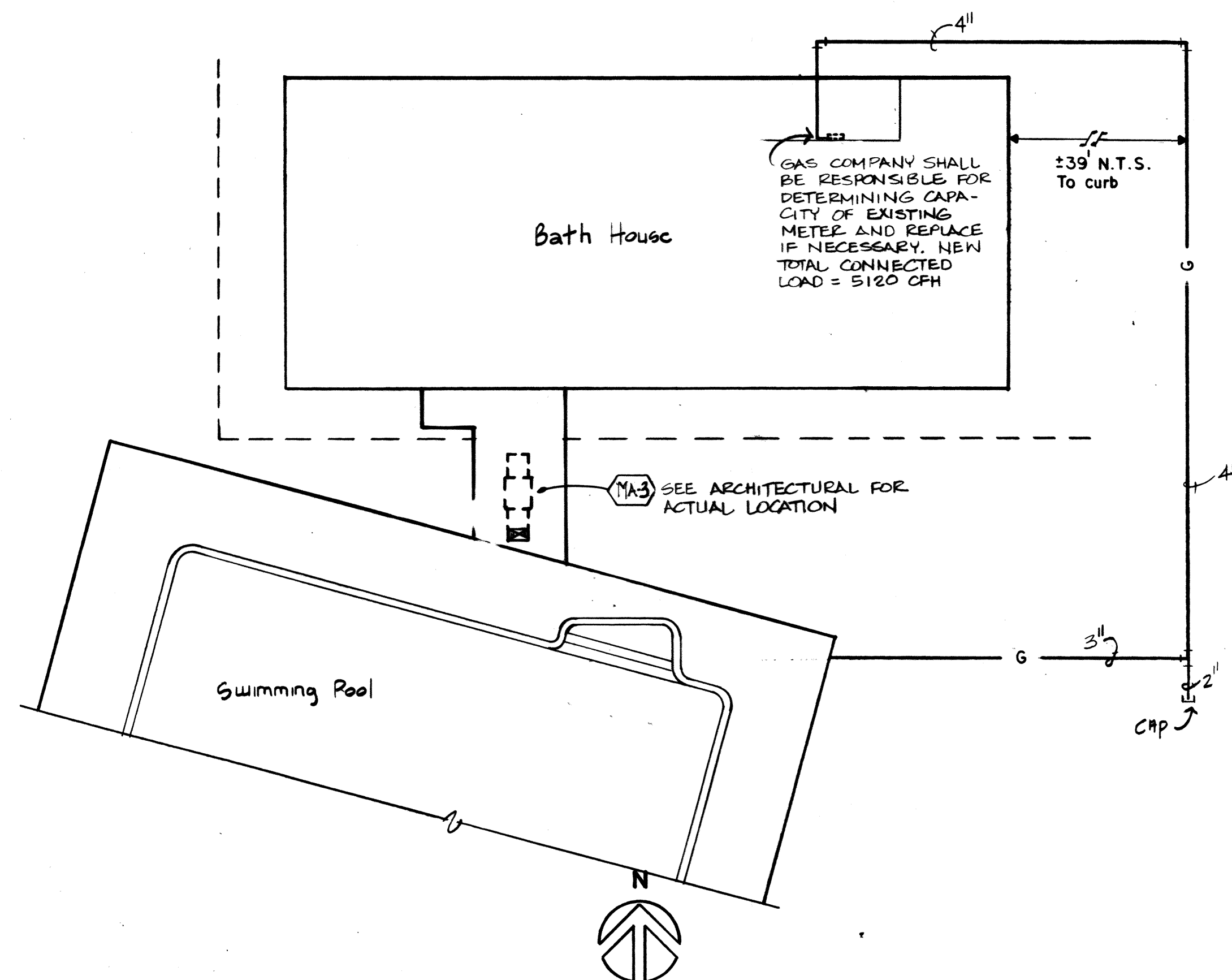
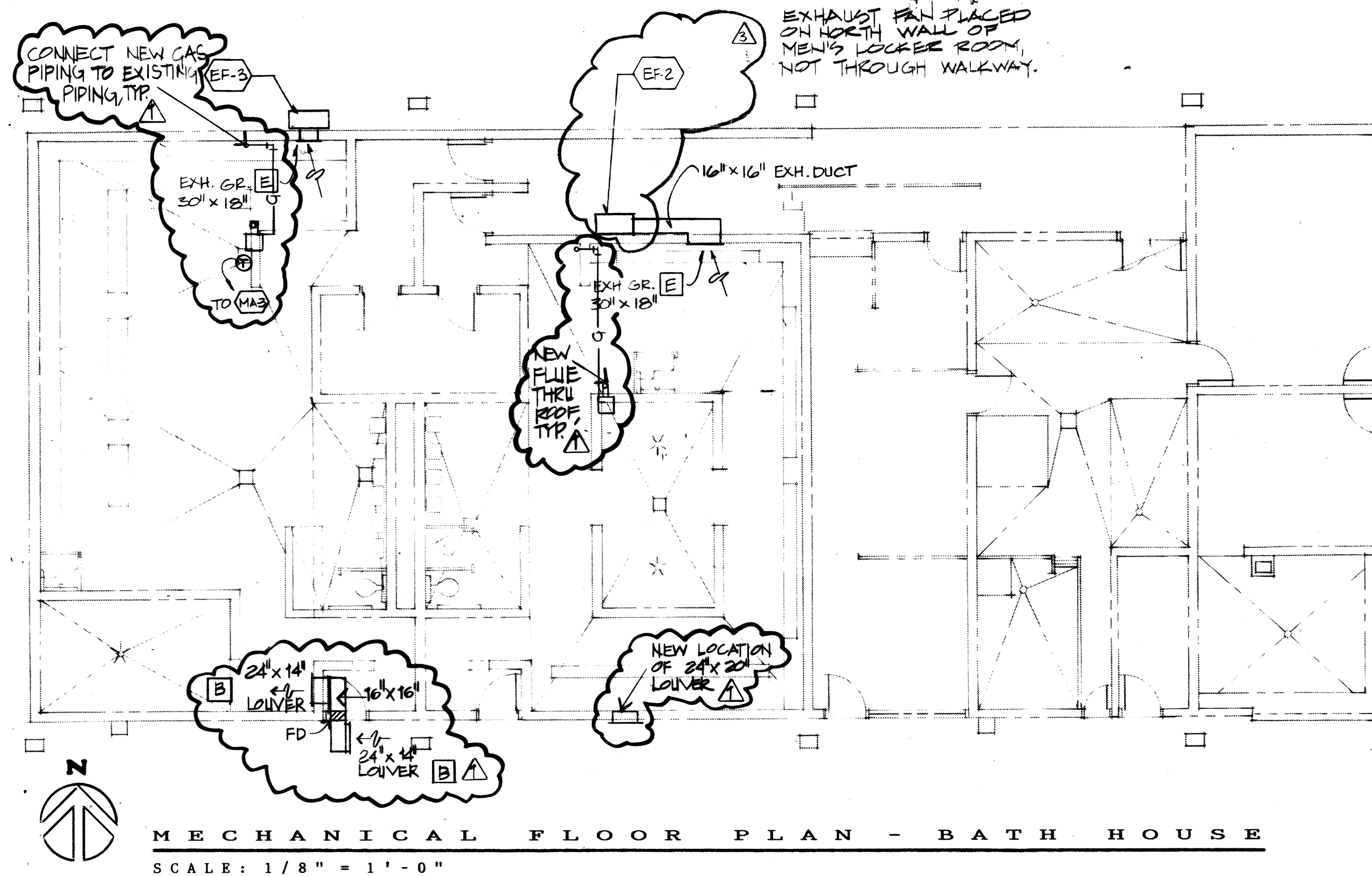
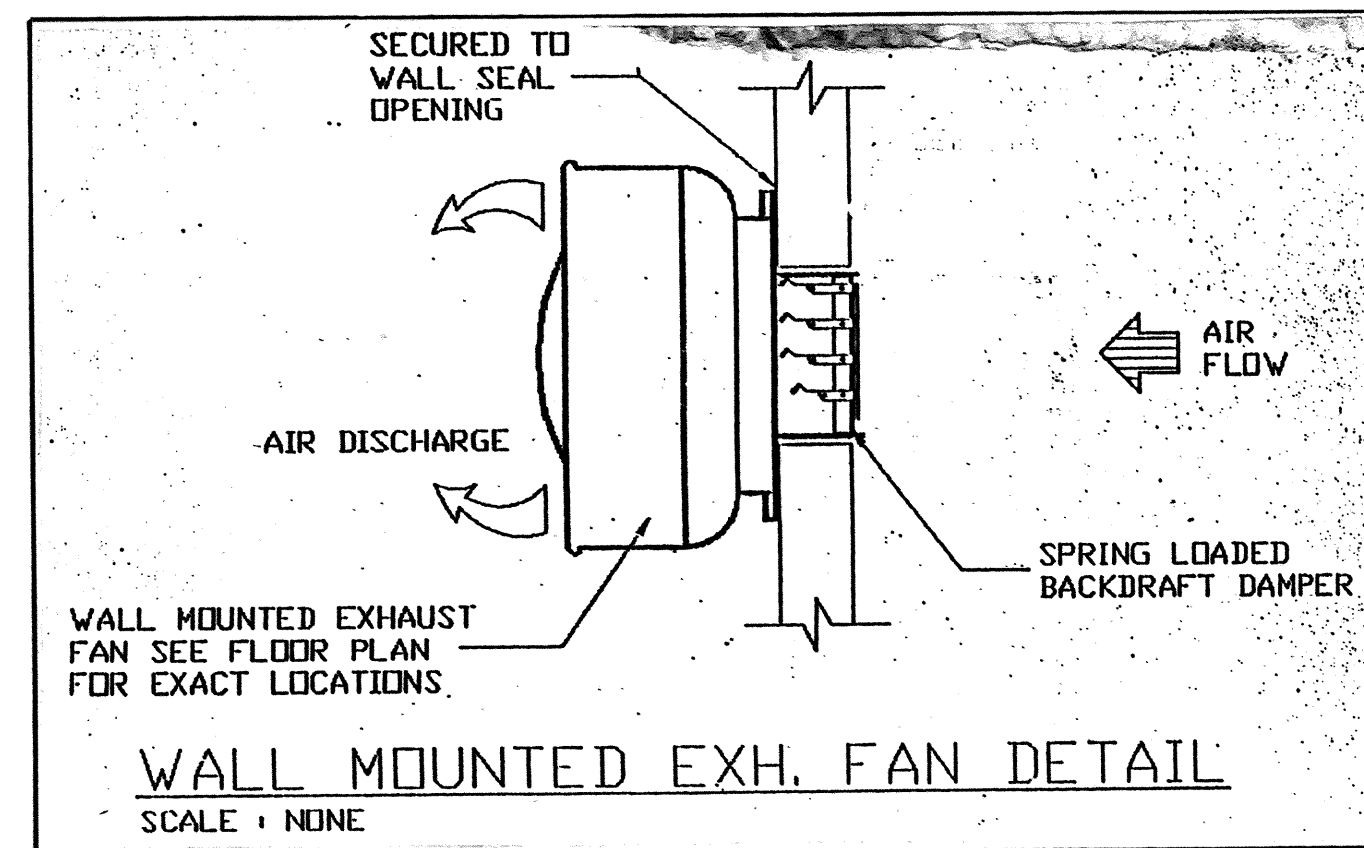
E Q U I P M E N T S C H E D U L E

SYMBOL	DESCRIPTION						
MA-1 THRU MA-3	MAKE-UP AIR UNIT: PACKAGED ROOFTOP FURNACE COMPLETE WITH CABINET, BLOWER, HEATING SECTION, AND CONTROLS, 100% OUTSIDE AIR INTAKE, HOOD WITH BIRDSCREEN. CABINET SHALL BE ZINC GRIP STEEL WITH A FACTORY APPLIED BAKED ENAMEL FINISH. ALL WEATHERIGHT CONSTRUCTION WITH ACCESS PANELS TO ALL SECTIONS. THE AIR HANDLING BLOWER SHALL BE A FORWARD CURVED CENTRIFUGAL FAN, STATICALLY BALANCED. THE HEATING SECTION SHALL HAVE A 409 STAINLESS STEEL HEAT EXCHANGER AND BE COMPLETE WITH THROWAWAY FILTERS (FART TYPE 30/30 OR EQUAL), 24 VOLT CONTROL TRANSFORMER WITH 100% GAS SHUT-OFF, AND WITH THE INTERNAL CABINET INSULATED. FURNISH WITH ELECTRONIC MODULATION INCLUDING DUCTSTAT SET FOR 70 DEGREES DISCHARGE TEMPERATURE (ADJUSTABLE), AND MAKE-UP AIR OPTION "B" FOR MAKE-UP AIR APPLICATIONS. RENZOR MODEL NUMBERS OR APPROVED EQUAL. HEATING OUTPUT BASED ON 5500 FT. ELEVATION. FURNISH W/ ACCESSORY AUXILIARY CONTACT, AND REMOTE TSTAT W/ FAN SUBBASE AND NIGHT SETBACK AND LOCKING COVER.						
SYMBOL	MODEL	BTUH INPUT	BTUH OUTPUT	CFM @ "E.S.P."	H.P.	VOLTAGE	FLA
MA-1	RPBE-225	225,000	135,135	2000 @ 0.3"	3/4	120/1	13.8
MA-2	RPBE-225	225,000	135,135	2000 @ 0.3"	3/4	120/1	13.8
MA-3	RPBE-350	350,000	210,210	3135 @ 0.3"	1	230/1	8.0
EF-1	RELIEF FAN: ROOFTOP, LOW SILHOUETTE, POWER RELIEF AIR EXHAUSTER, WITH HEAVY GAUGE ALUMINUM HOOD, HOUSING, AND PROPELLER, HEAVY DUTY STEEL MOTOR SUPPORT AND REINFORCED HOOD. MOTOR SHALL BE HEAVY DUTY TYPE WITH SEALED BALL BEARINGS, AND BELT DRIVE WITH ADJUSTABLE CAST IRON SHEAVES. HOOD SHALL BE HINGED FOR ACCESS. FURNISH WITH BIRDSCREEN, DISCONNECT SWITCH, BACKDRIFT DAMPER, MOUNTING CURB, AND BAKED ON ENAMEL FINISH. MODEL NUMBERS ARE GREENHECK OR EQUAL:						
SYMBOL	MODEL NO.	CFM @ "E.S.P."	H.P.	VOLTAGE			
EF-1	LB18-4	2040 @ 0.25"	1/4	120/1			
EF-2	EXHAUST FAN: CENTRIFUGAL WALL EXHAUSTER COMPLETE WITH BLOWER, HOUSING, BACKDRIFT DAMPER, BIRDSCREEN AND FACTORY WALL GRILLE. UNIT SHALL HAVE A SPUN ALUMINUM HOUSING, ALUMINUM CURB CAP WITH STAINLESS STEEL FASTENINGS, VIBRATION ISOLATORS, NON-OVERLOADING ALL ALUMINUM BLOWER WHEEL WITH HUB DYNAMICALLY AND STATICALLY BALANCED, EXTERNAL WIRING POST, COMPLETELY FACTORY ASSEMBLED AND WIRED TO JUNCTION BOX. BELT DRIVE UNITS SHALL HAVE VARIABLE PITCH MOTOR PULLEYS. GREENHECK MODEL OR APPROVED EQUAL.						
SYMBOL	MODEL NUMBER	CFM	"E.S.P."	H.P.	VOLTAGE	DRIVE	
EF-2	GWB 8-4	1380	0.25"	1/4	120/1	BELT	
EF-3	GWB 8-4	1580	0.25"	1/4	120/1	BELT	



-

[illegible]



CLASS I CONSTRUCTION

no.	date	revision
1	11/14/92	RECORD DRAWINGS REVISION
2	6/13/97	RECORD DRAWINGS REVISION

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Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)

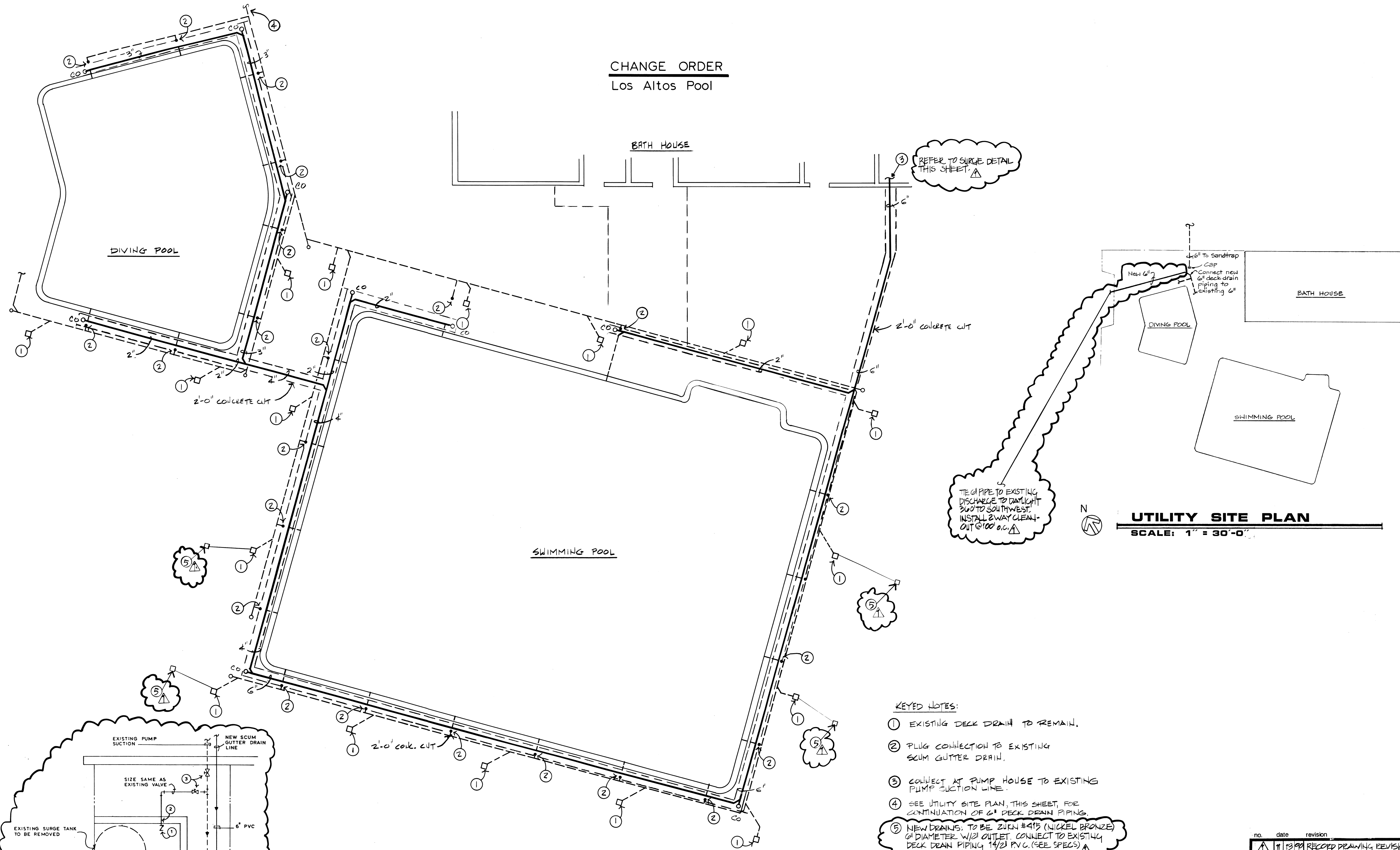
Mechanical Plan - Bath House

job no.	28008-02
dm. by	PARA-SOL
ckd. by	5/1/89
issued	5/1/89
sheet	M-2
	13 of 18

C of A PWD Maps & Records
1 2 3 4 5 6 7 8 9 10 11 12
26 38 16 13 9 1

SCANNED BY

CHANGE ORDER
Los Altos Pool



UTILITY SITE PLAN
SCALE: 1" = 30'-0"

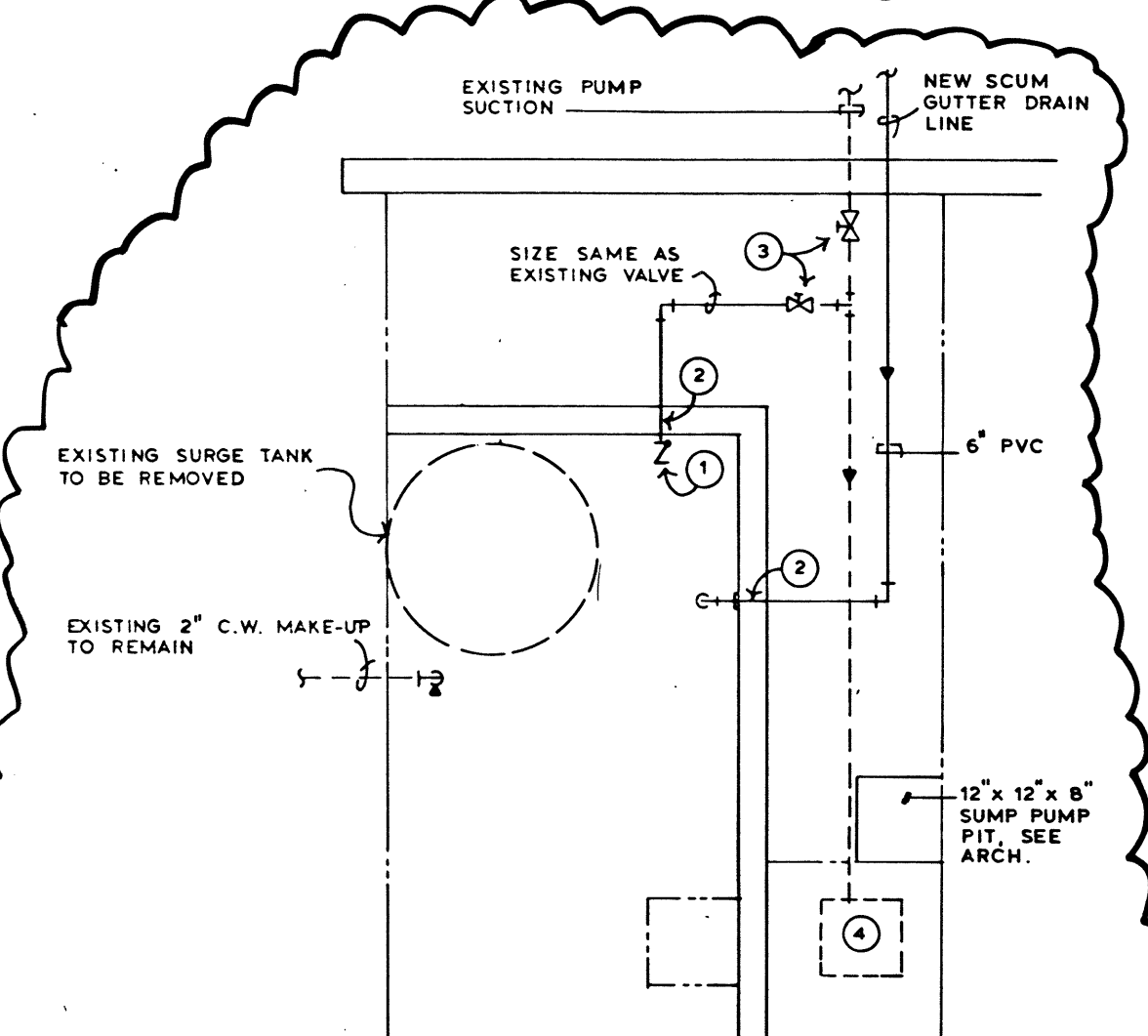
KEYED NOTES:

- ① EXISTING DECK DRAIN TO REMAIN.
- ② PLUG CONNECTION TO EXISTING SCUM GUTTER DRAIN.
- ③ COLLECT AT PUMP HOUSE TO EXISTING PUMP SUCTION LINE.
- ④ SEE UTILITY SITE PLAN, THIS SHEET, FOR CONTINUATION OF 6" DECK DRAIN PIPING.
- ⑤ NEW DRAINS, TO BE ZURN #415 (NICKEL BRONZE) 6" DIAMETER W/2" OUTLET. CONNECT TO EXISTING DECK DRAIN PIPING 1 1/2" RVC. (SEE SPECS) ⚠

SCUM GUTTER DRAIN MODIFICATIONS

SCALE: 1/8" = 1' - 0"

DATE: 9/18/89



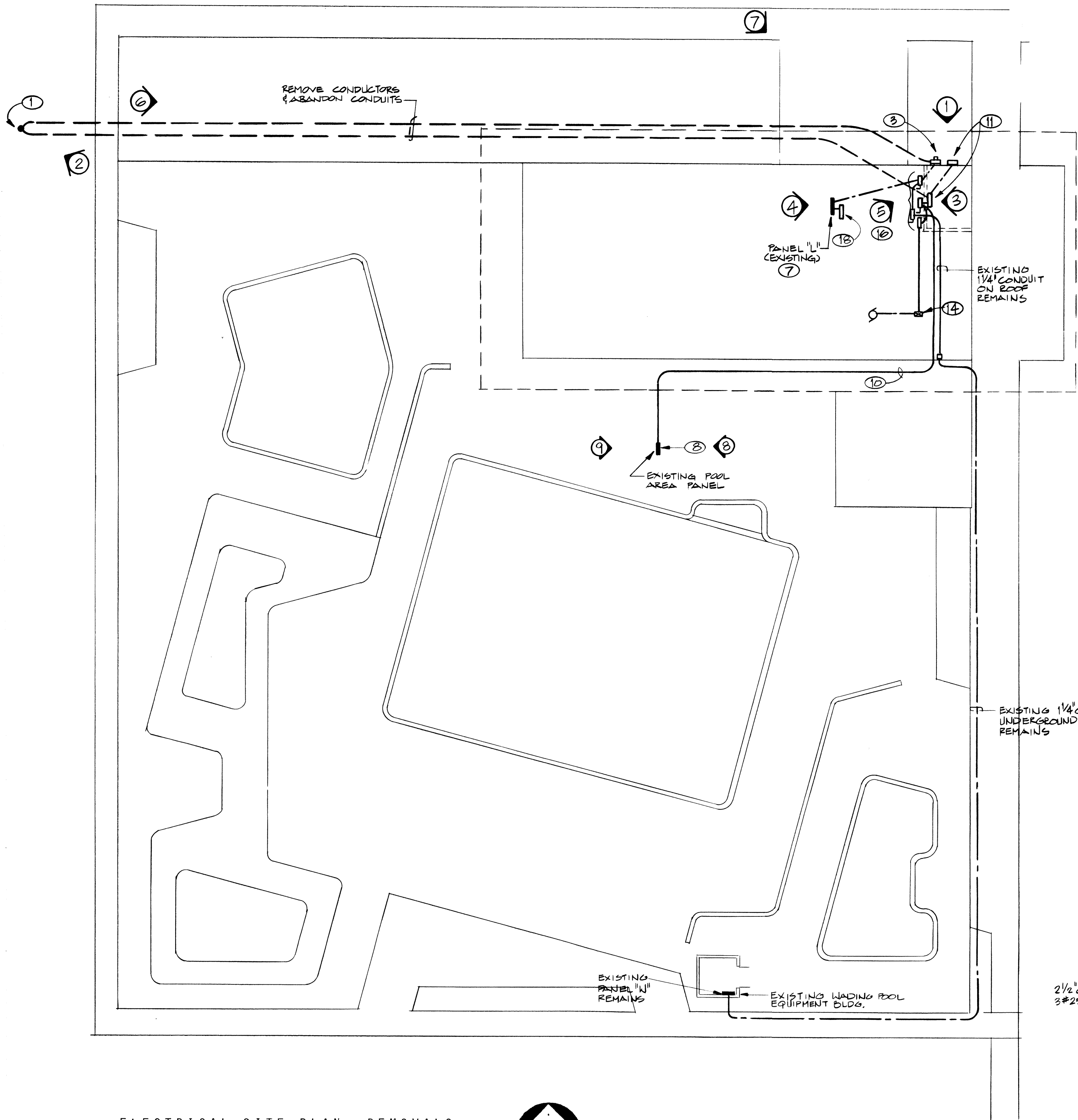
- NOTES:
- ① INSTALL NEW CHECK VALVE.
 - ② SEAL WATER TIGHT AROUND PIPE PENETRATION. PROVIDE FLANGED CONNECTION AROUND INTERIOR OF WALL TO FACILITATE SEALING.
 - ③ EXISTING VALVE TO REMAIN.
 - ④ EXISTING PUMP TO REMAIN.

Surge Tank Detail ⚠
NOT TO SCALE

C of A PWD Maps & Records
1 2 3 4 5 6 7 8 9 10 11 12
26 38 16 13 9 1 A



no.	date	revision
11	12/99	RECORD DRAWING REVISIONS
dekker & associates architects/engineers/planners 600 First St. N.W. East Wing Albuquerque, N.M. 87102 505 247 2863		
Los Altos Pool		
job no.	dm. by	cc. by
	RRT	COC
issued	9/18/89	
sheet	SK-5	
13A of		



ELECTRICAL SITE PLAN - REMOVALS

SCALE: 1/16" = 1'-0"

KEYED NOTES

- EXISTING RISERS ON POLE AND ASSOCIATED CONDUCTORS TO BE REMOVED.
- EXISTING 2 1/2" C WITH 3-250 MCM. REMOVE CONDUCTORS AND CUT CONDUIT FLUSH WITH CONCRETE, CAP, AND ABANDON BELOW GRADE.
- EXISTING 200A METER SOCKET TO BE REMOVED.
- EXISTING 200A DISCONNECT SWITCH TO BE REMOVED. PATCH WALL.
- EXISTING 2 1/2" C TO REMAIN. REMOVE CONDUCTORS. REFER TO NEW POWER RISER DIAGRAM SHEET E-2 FOR NEW WORK.
- EXISTING 60A DISCONNECT SWITCH TO BE REMOVED. PATCH WALL.
- EXISTING PANEL "L". REMOVE AND REPLACE WITH NEW PANEL. REFER TO PANEL SCHEDULE ON SHEET E-2.
- EXISTING PANEL "PA". REMOVE AND REPLACE WITH NEW PANEL. REFER TO PANEL SCHEDULE.
- EXISTING 3#6 IN 1" C TO BE REMOVED.
- REMOVE EXISTING 3 #6 IN 1" C. TO PANEL. EXTEND NEW FEEDER AND CONDUCTORS TO NEW PANELS PER NEW POWER RISER DIAGRAM ON SHEET E-2.
- EXISTING RISER, METER ENCLOSURES AND ASSOCIATED CONDUIT AND WIRE TO BE REMOVED.
- EXISTING 3#2 IN 2" C TO BE REMOVED.
- EXISTING 100A/3P CIRCUIT BREAKER AND ENCLOSURE TO BE REMOVED.
- EXISTING STARTER TO BE REMOVED.
- EXISTING 2" C TO REMAIN. REMOVE CONDUCTORS. REFER TO NEW POWER RISER DIAGRAM ON SHEET E-2.
- REMOVE EXISTING ELECTRICAL EQUIPMENT. SEE POWER RISER DIAGRAM THIS SHEET.
- REMOVE EXISTING 1 1/4" C., WITH 3 #4, 1 #8.
- EXISTING TIME CLOCK AND CONTACTOR. REMOVE CONTACTOR AND REWIRE TIME CLOCK INTO NEW CONTACTOR PER NOTE #14 ON SHEET E-2.

GENERAL NOTES

- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF AT THE SITE WITH THE EXISTING CONDITIONS TO ALLOW HIM TO SUBMIT A COMPLETE BID WITHIN THE SCOPE OF THE WORK AS INDICATED ON THE PLANS.
- LOCATION OF EQUIPMENT, DEVICES, AND FEEDERS AS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
- THE CONDUIT RUNS AS SHOWN ON THE DRAWINGS INDICATE APPROXIMATE ROUTING. EXACT LOCATION OF CONDUIT RUNS SHALL BE PER FIELD CONDITIONS.
- INSTALL PULL BOXES AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY NEC.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO WALLS, CEILING, ETC., SHOULD ANY OCCUR DURING THE CONSTRUCTION PERIOD. PATCH TO MATCH EXISTING AT NO COST TO THE OWNER.
- ALL SALVAGABLE EQUIPMENT REMOVED UNDER THIS CONTRACT SHALL BE RETURNED UNDAMAGED TO THE OWNER.
- THE CONTRACTOR SHALL COORDINATE ALL NEW UNDERGROUND UTILITY WORK WITH PNM PRIOR TO ROUGH-IN.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING TRENCHING AND EXCAVATION WORK FOR NEW UTILITY INSTALLATIONS. IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO CONTACT THE PROPER DEPARTMENTS FOR INFORMATION REGARDING EXISTING UNDERGROUND UTILITY LOCATIONS PRIOR TO TRENCHING.

REMOVAL NOTES

- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS IN ORDER TO ALLOW HIM TO SUBMIT A COMPLETE BID FOR REMOVALS WITHIN THE SCOPE OF THE DRAWINGS. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARD TO THE INTENT OF THE DRAWINGS SHALL BE BROUGHT UP FOR CLARIFICATION WITH THE ENGINEER.
- THE CONTRACTOR SHALL REMOVE ALL CONDUIT, DEVICES, DISCONNECT SWITCHES, STARTERS, SPECIAL PURPOSE OUTLETS, PANELS, BRANCH CIRCUIT CONDUITS, AND ALL ASSOCIATED WIRING, ETC., SPECIFIED IN REMOVAL PLAN.
- IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXTENT OF REMOVALS, PRIOR TO BID, WHICH MAY AFFECT HIS BID.
- WHERE NECESSARY, THE CONTRACTOR SHALL REROUTE AND/OR RECONNECT CIRCUIT RUNS TO MAINTAIN CONTINUITY OF CIRCUIT.

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26 38 16 1497

SP 500617

CLASS I CONSTRUCTION

EXISTING 30 POWER RISER DIAGRAM

EXISTING SINGLE PHASE POWER RISER DIAGRAM

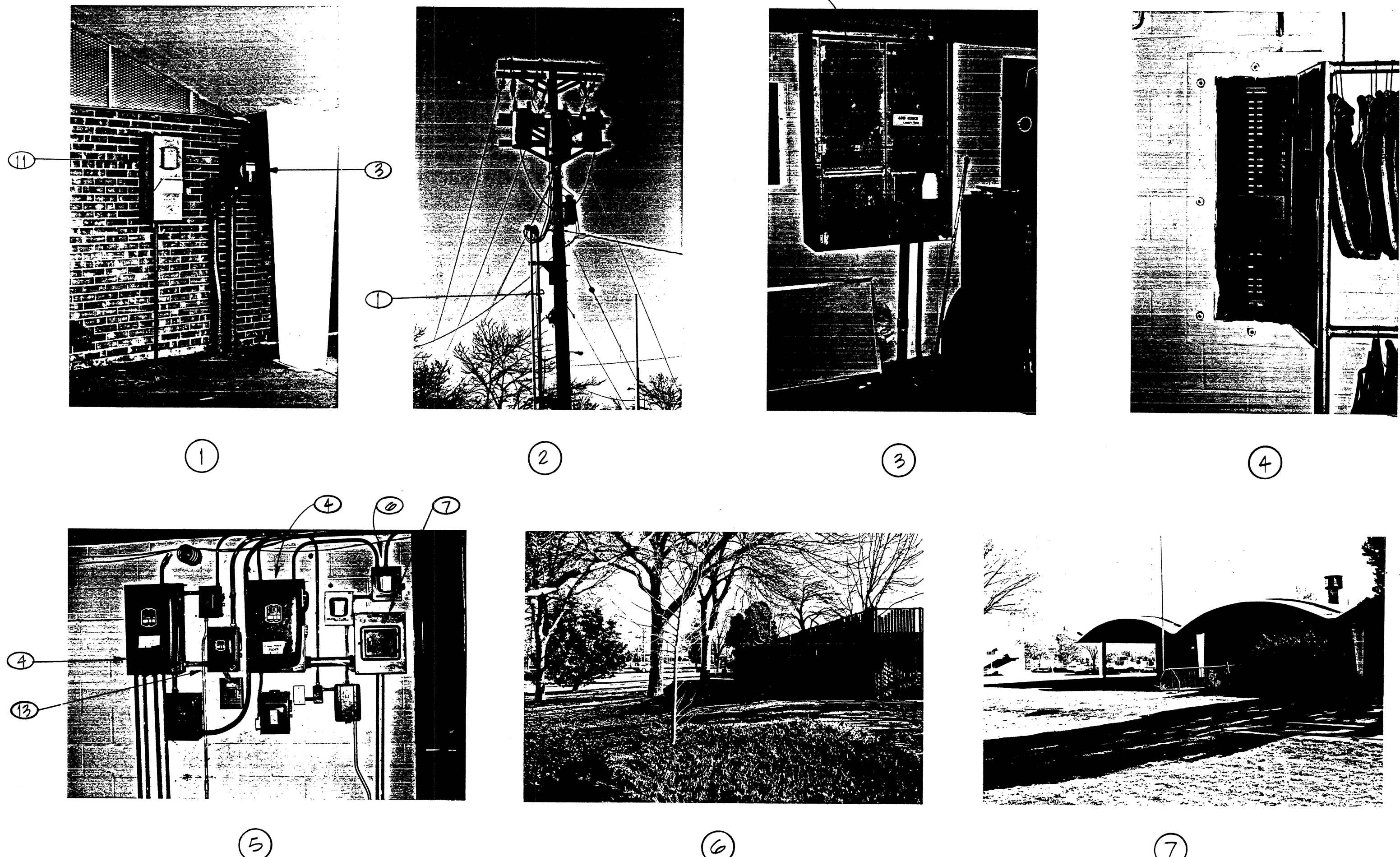
no.	date	revision

dekker & associates
architects/engineers/planners
600 First St. N.W., East Wing Albuquerque, N.M. 87102 505/247 2888

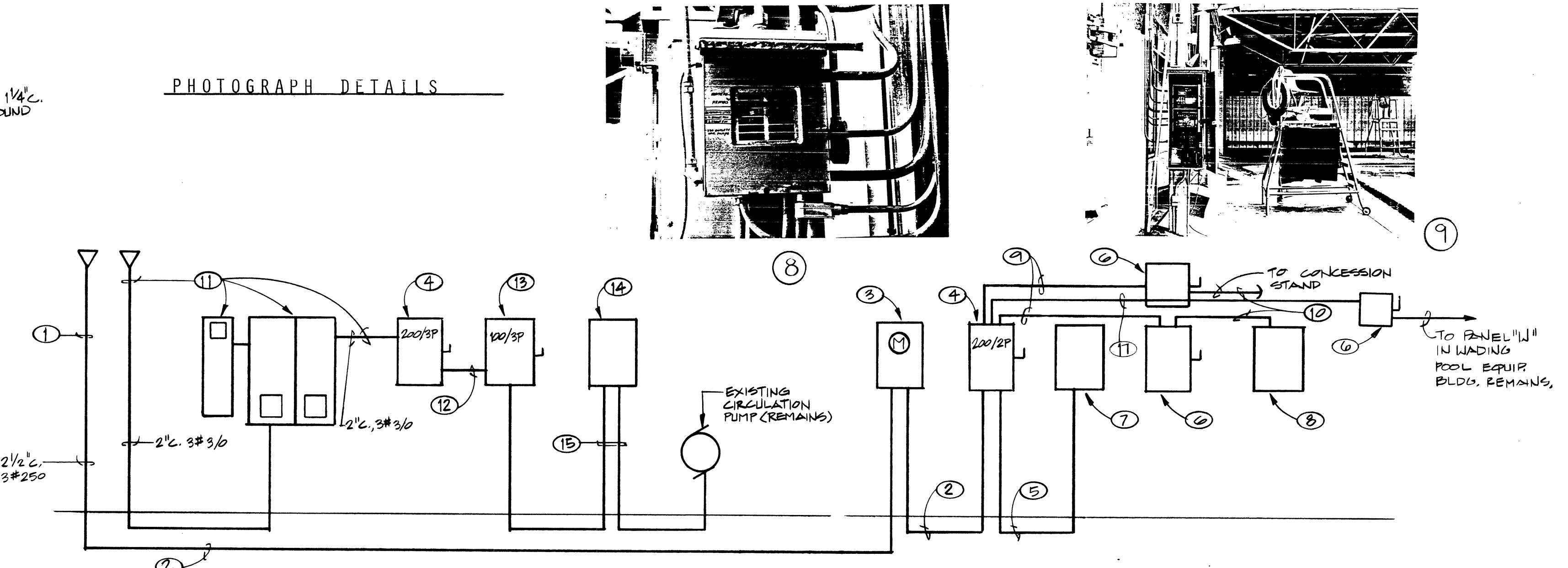
Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)
Electrical Site Plan Removals

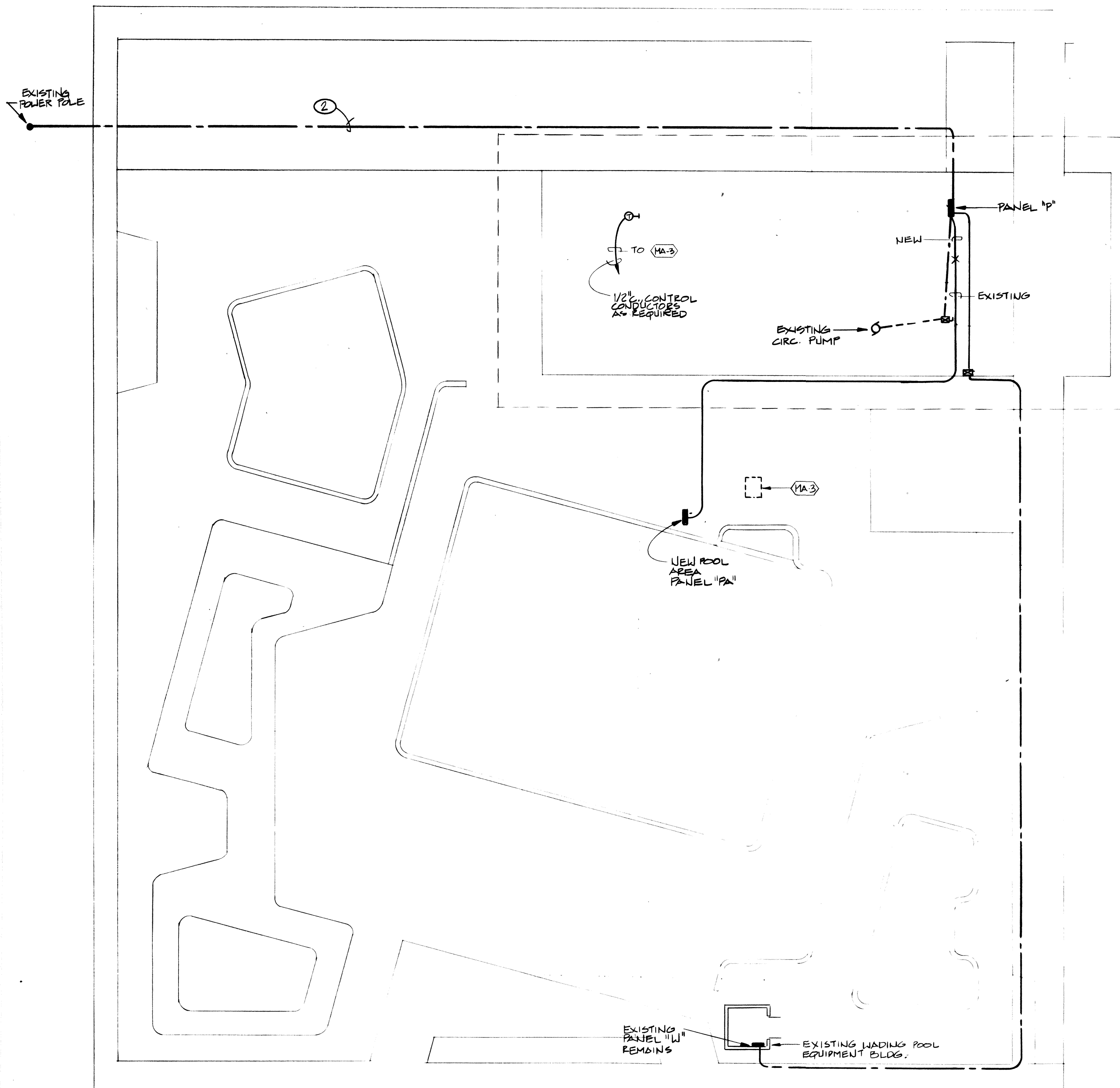
Job no. **2800802**
dm. by **TELCON**
ckd. by **5/1/29**
Issued **5/1/29**
sheet **E-1**
14 of 12

Professional Engineer
FREDERICK J. TELCON
NEW MEXICO
227
5-1537



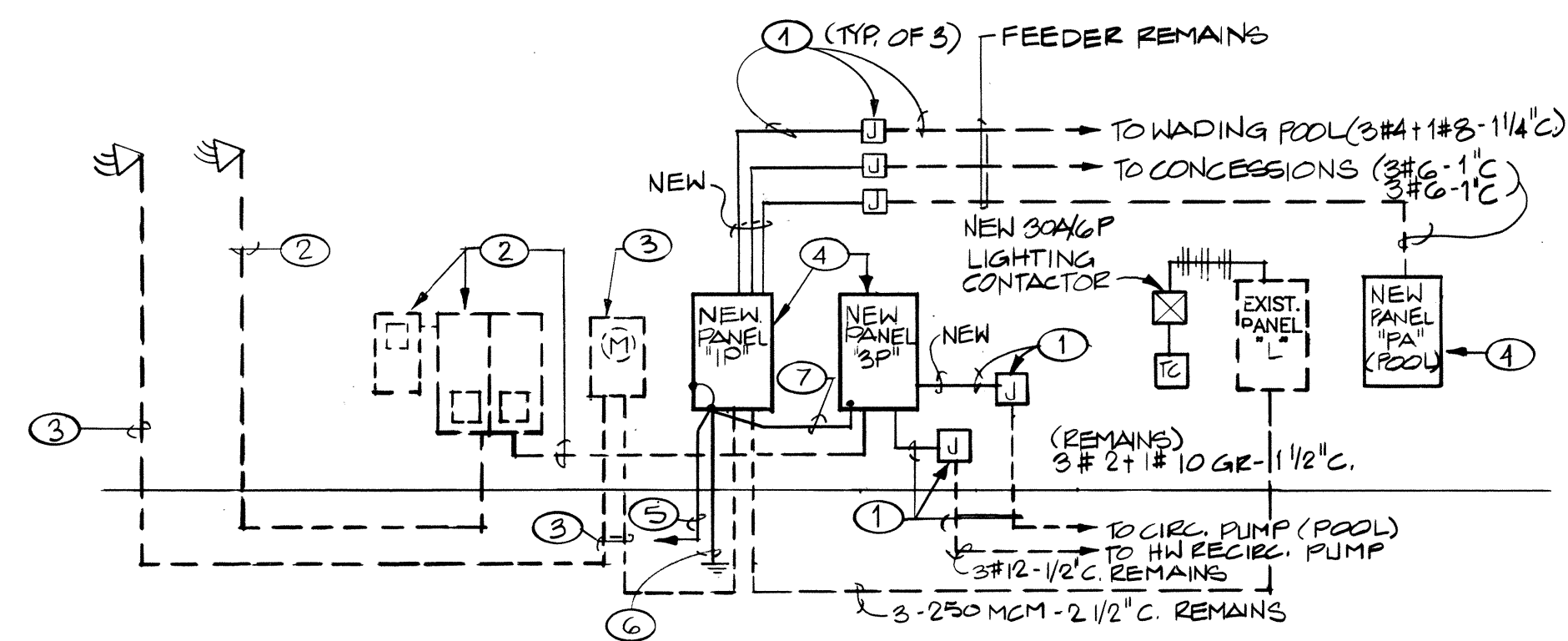
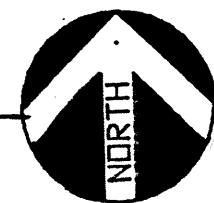
PHOTOGRAPH DETAILS





ELECTRICAL SITE PLAN - NEW WORK

SCALE: 1/16" = 1'-0"



"REVISED POWER RISER DIAGRAM"

PANEL SCHEDULE				
PANEL DESCRIPTION	CCT.NO.	CCT.BKR.	WIRE SIZE	LOAD
PANEL "PA" - 120/240V, 1Ø, 3W, 100A, MLO, SURFACE MOUNT, NEMA 3R ENCLOSURE GROUND BUS, SQ"D" NQOD OR EQUAL.	1-20	20/1*	#12	RECEPTACLES, LIGHTS, EQUIPMENT, EXISTING CCT'S, SPARES, ETC.
	24, 27	15/2	#12	EXISTING 220V RECEPTACLES
	26	20/2	#12	MECHANICAL EQUIPMENT
	21, 22, 23, 25	1P	-	SPACE ONLY
PANEL "1P" - 120/240V, 1Ø, 3W, 200A/2P MCB SURFACE MOUNT, GROUND BUS, SQ"D" NQOD OR EQUAL.	1-8	20/1	#12	EXISTING CCT'S, SPARES
	9-16	1P	-	SPACE ONLY
	17, 18, 19	60/2	#6	PANEL PA, W & CONCESSION
	20	150/2	#250	EXISTING PANEL "L"
PANEL "3P" - 240V-3Ø-3W - 200A/3P MCB SURFACE MOUNT, GROUND BUS SQ "D" NQOD OR EQUAL.	1	30A/3P	#12	HW CIRCULATING PUMP
	2	30A/3P	---	SPARE
	4	100A/3P	#2	POOL CIRCULATING PUMP
	5 - 10	1P	---	SPACE ONLY

KEYED NOTES

- INTERCEPT EXISTING FEEDER, INSTALL JUNCTION BOX AND EXTEND NEW FEEDER AS SHOWN.
- EXISTING 240 VOLT, THREE PHASE, SERVICE EQUIPMENT REMAINS.
- EXISTING 120/240 VOLT, SINGLE PHASE SERVICE EQUIPMENT REMAINS.
- INSTALL NEW PANEL, CONNECT TO EXISTING FEEDER AND EXTEND NEW BRANCH AND EXTEND NEW CIRCUITS AS SHOWN ON PLANS. SEE PANEL SCHEDULES.
- 3/4" C., WITH #1/0 BSD TO MAIN COLD WATER PIPE.
- 5/8" X 10' GROUND ROD, EXTEND 3/4" C., WITH #1/0 BSD TO PANEL.
- 3/4" C., WITH #2 BSD.
- EXISTING TIME CLOCK CONNECT TO NEW LIGHTING CONTACTOR PER NOTE #9.
- LIGHTING CONTACTOR, 30 AMP, 6 POLE, 120 VOLT COIL NEMA 1 ENCLOSURE. EXTEND EXISTING AREA LIGHTING CIRCUITS THROUGH CONTACTOR.
- EXISTING 2 1/2" C., WITH 3-250 MCM REMAINS.
- EXISTING SINGLE PHASE AND THREE PHASE SECONDARY SERVICE ENTRANCE FEEDERS TO REMAIN.
- COMBINATION STARTER/FUSIBLE DISCONNECT SWITCH, NEMA SIZE 3, NEMA 1 ENCLOSURE, 120 VOLT COIL, WITH H-O-A SWITCH IN COVER. FUSE WITH BUSS FRN-FUSES AT 125% MOTOR FLA.
- EXTEND EXISTING 1" C., INTO NEW PANEL "1P". INSTALL 3 #2 THHN IN EXISTING 1" TO NEW PANEL "PA" AND MAKE CONNECTIONS.
- EXISTING 3" X 8" WEATHERPROOF J-BOX ON ROOF TO REMAIN.
- EXISTING 1 1/4" C., WITH 3 #4, 1 #8 TO REMAIN.

LOAD SUMMARY

120/240 VOLT - SINGLE PHASE = 33 KW DEMAND
240 VOLT - THREE PHASE = 35 KW DEMAND

CLASS I CONSTRUCTION

no.	date	revision
dekker & associates architects/engineers/planners 600 First St. N.W., East Wing Albuquerque, N.M. 87102 505/247-2888		
Los Altos Pool Renovation Parks & Recreation City of Albuquerque (City Project #3816)		
Electrical Site Plan		
	job no. 88008.02 drn. by TELKON ckd. by issued 5/1/89 sheet E-2 13 of 13	

C of A PHD Maps & Records

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2 6 3 8 1 6 1 5 9 1

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ELECTRICAL DEMOLITION - POOL AREA (4)

C of A PWD Maps & Records

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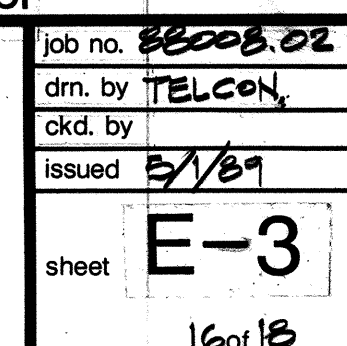
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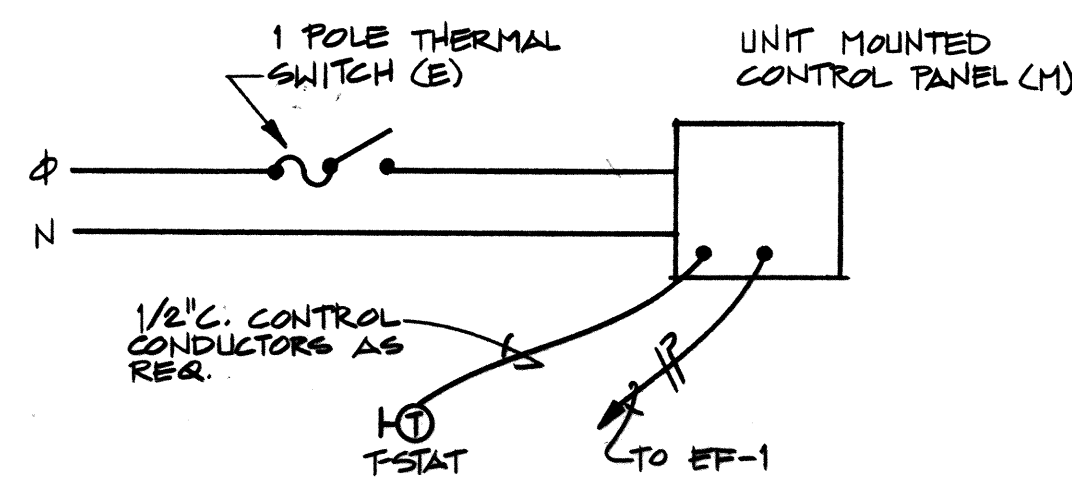
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Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)

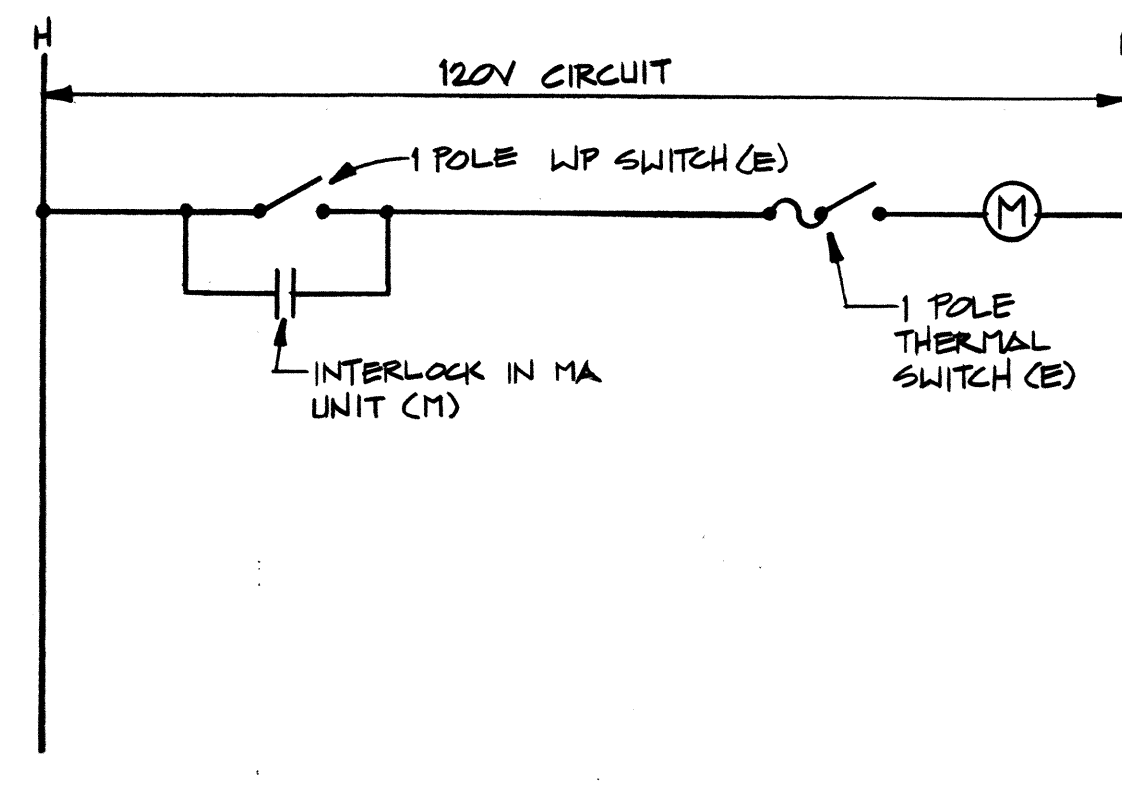
Electrical Demolitions - Pool	
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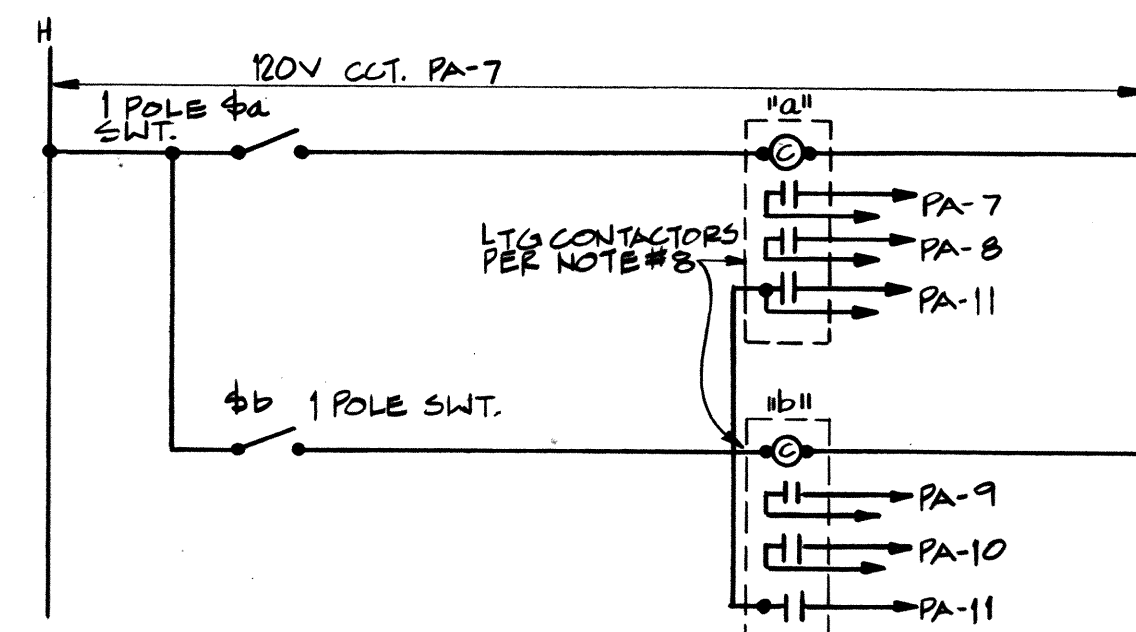
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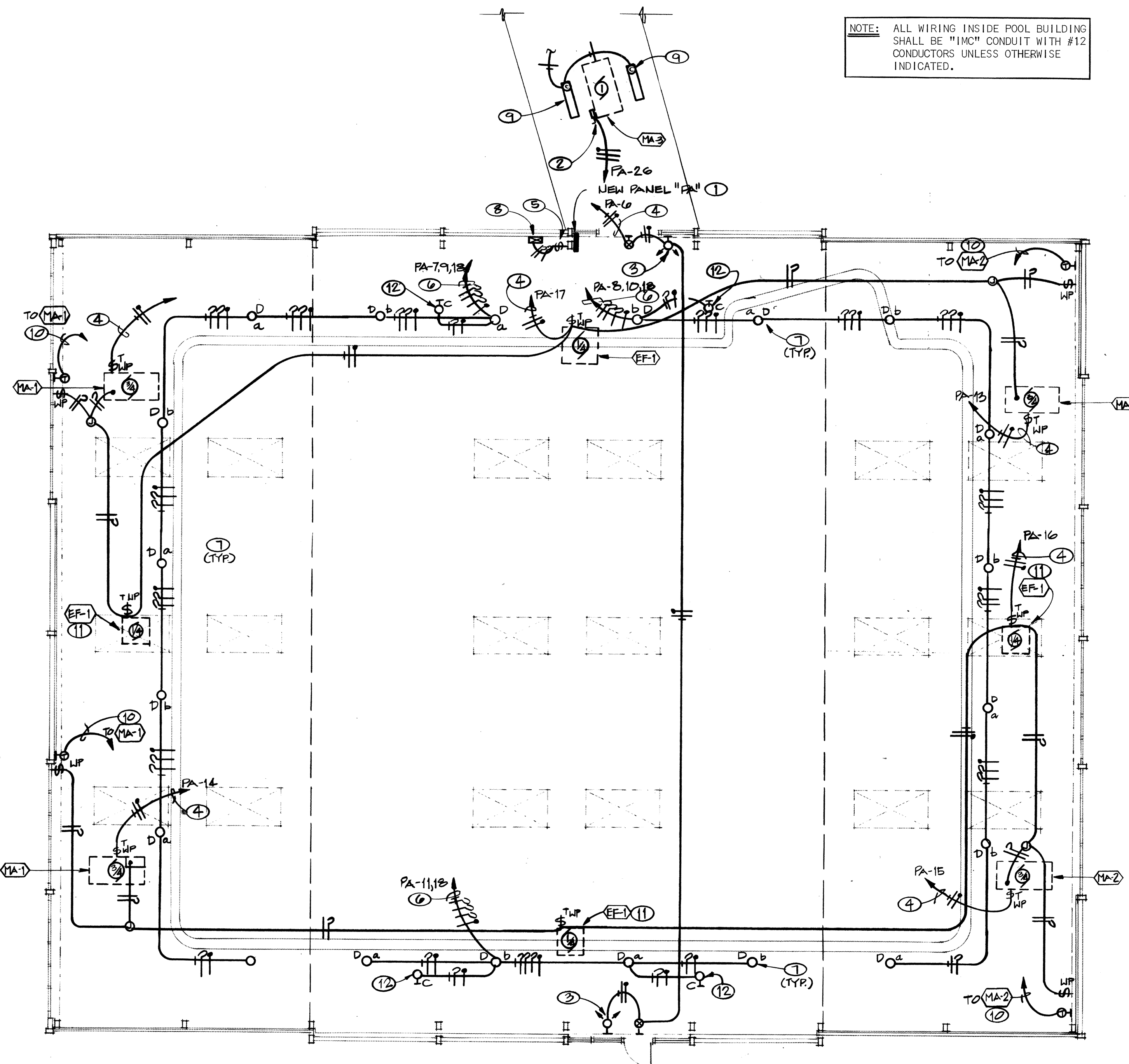
MA-1, MA-2, CONTROL DIAGRAM
(MA-3 SIMILAR) NOT TO SCALE



CONTROL DIAGRAM - EF-1
(TYPICAL OF 4)



LIGHTING CONTROL DIAGRAM
NOT TO SCALE



NEW WORK ELECTRICAL PLAN - POOL AREA
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF AT THE SITE WITH THE EXISTING CONDITIONS TO ALLOW HIM TO SUBMIT A COMPLETE BID WITHIN THE SCOPE OF THE WORK AS INDICATED ON THE PLANS.
2. LOCATION OF EQUIPMENT, DEVICES, AND FEEDERS AS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
3. THE CONDUIT RUNS AS SHOWN ON THE DRAWINGS INDICATE APPROXIMATE ROUTING. EXACT LOCATION OF CONDUIT RUNS SHALL BE PER FIELD CONDITIONS.
4. INSTALL PULL BOXES AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY NEC.
5. CONTRACTOR SHALL REPAIR ALL DAMAGE TO WALLS, CEILING, ETC., SHOULD ANY OCCUR DURING THE CONSTRUCTION PERIOD. PATCH TO MATCH EXISTING AT NO COST TO THE OWNER.
6. ALL SALVAGABLE EQUIPMENT REMOVED UNDER THIS CONTRACT SHALL BE RETURNED UNDAMAGED TO THE OWNER.
7. THE CONTRACTOR SHALL COORDINATE ALL NEW UNDERGROUND UTILITY WORK WITH PNM PRIOR TO ROUGH-IN.
8. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING TRENCHING AND EXCAVATION WORK FOR NEW UTILITY INSTALLATIONS. IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO CONTACT THE PROPER DEPARTMENTS FOR INFORMATION REGARDING EXISTING UNDERGROUND UTILITY LOCATIONS PRIOR TO TRENCHING.

KEYED NOTES

1. RECONNECT EXISTING 120V & 240V RECEPTACLES AND BREEZEWAY LIGHTING TO NEW PANEL "PA". SEE POWER RISER DIAGRAM AND PANEL SCHEDULE.
2. DISCONNECT SWITCH, 30 AMP, 2 POLE, 250 VOLT, FUSIBLE, NEMA 3R, FUSE AT 125% UNIT FLA WITH BUSS FUSETRONS.
3. REINSTALL PREVIOUSLY REMOVED EMERGENCY LIGHT FIXTURE. REPLACE DEFECTIVE BATTERIES, LAMPS, ETC., TO PROVIDE A COMPLETE WORKING SYSTEM.
4. INSTALL #10 THHN CONDUCTORS THROUGHOUT.
5. FOUR SWITCHES, 30 AMP, 2 POLE, 250 VOLT, FUSIBLE, NEMA 3R, FUSE AT 125% UNIT FLA WITH BUSS FUSETRONS.
6. EXTEND CIRCUITS INDICATED THROUGH CONTACTORS PER NOTE #8. INSTALL #10 THHN CONDUCTORS THROUGHOUT.
7. MOUNT FIXTURES ON UNDERSIDE OF ROOF DECKING. UTILIZE UNISTRUT SECURED BETWEEN PURLINS TO AVOID FASTENING THROUGH DECKING.
8. 12" X 12" X 6", NEMA "4X", HINGED COVER J-BOX WITH TWO (2) 30 AMP, 3 POLE, 120 VOLT LIGHTING CONTACTORS. SEE LIGHTING CONTROL DIAGRAM THIS SHEET.
9. REINSTALL EXISTING FIXTURES PREVIOUSLY REMOVED. COORDINATE INSTALLATION WITH MECHANICAL. RECONNECT TO EXISTING CIRCUITS AND MAINTAIN CONTINUITY.
10. 1/2" C., CONTROL CONDUCTORS AS REQUIRED.
11. INTERLOCK WITH ASSOCIATED MA UNIT AS INDICATED. SEE CONTROL DIAGRAM THIS SHEET.
12. 400 WATT, METAL HALIDE, FLOOD LIGHT FIXTURE WITH 1 - 400 WATT METAL HALIDE LAMP. MOUNT ON UNISTRUT SUPPORT AT BOTTOM OF BAR JOIST. CONNECT TO SWITCH #c, NOTE #5 AS INDICATED.

CLASS I CONSTRUCTION

no.	date	revision

deker & associates
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600 First St. N.W., East Wagon, Albuquerque, N.M. 87102 505/247-2888

Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)

Lighting & Power Plan - Pool

	job no. 28008.02
	des. by TELCON
	issued 5/1/89
	sheet E-4

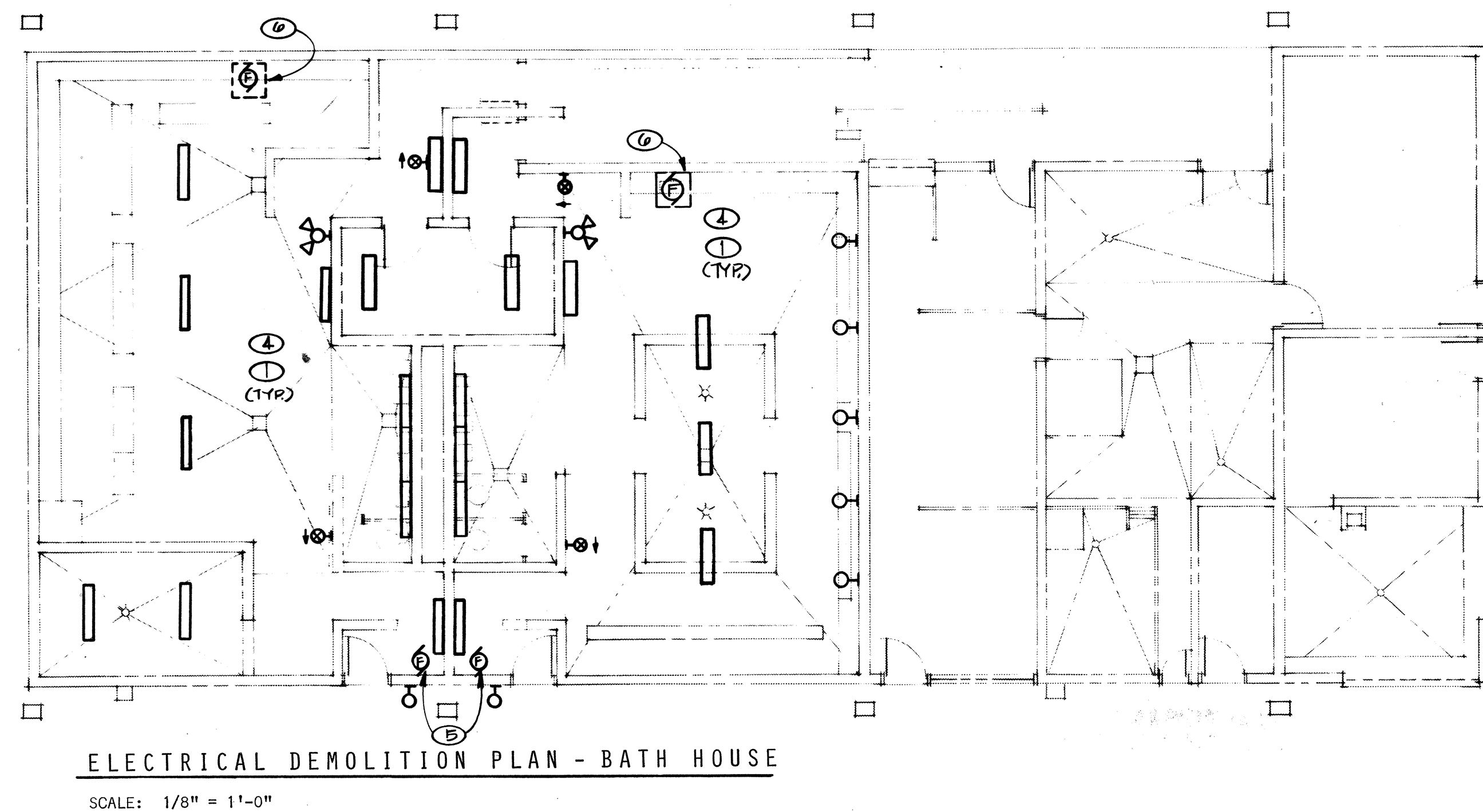
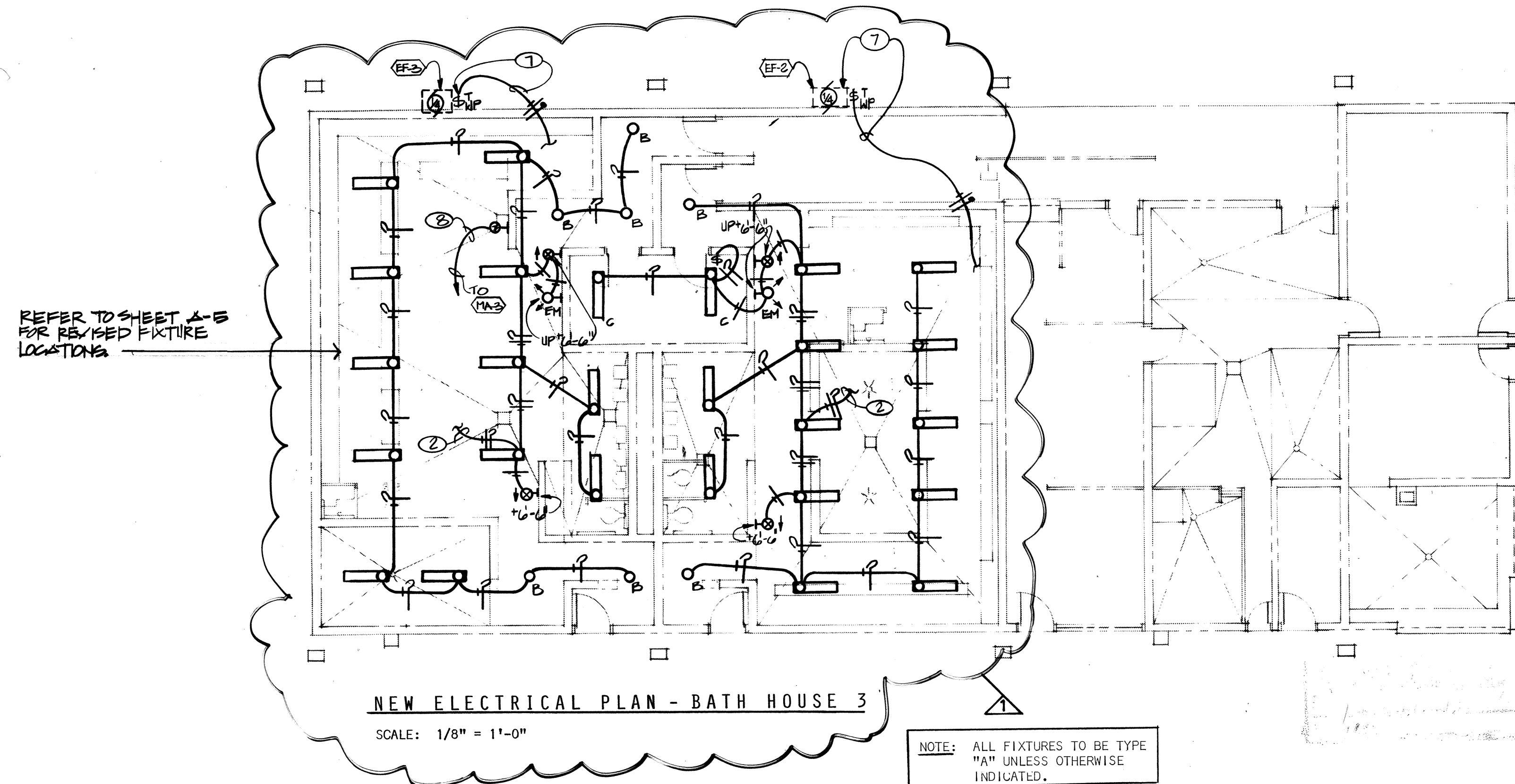
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FIXTURE SCHEDULE			
TYPE	MANUFACTURER	LAMPS	MOUNTING
A	LITHONIA #DD240AR-120-ES	2/P40/CW/WM	SURFACE
B	PRESCOLITE #7212	3/60W/A19	SURFACE
C	4' - 2 LAMP FLUORESCENT UTILITY STRIP 120V	2/P40/CW/WM	SURFACE
D	MORRIS KURTZON #H40-SK30-3-120V	1/400W/MH	SURFACE
FOUCH	LITHONIA #ELM-2	LAMPS W/FIXTURE	HALL UP +8'-0" OR AS INDICATED
SH	LITHONIA #MSW1GEL 120V	LAMPS W/FIXTURE	HALL UP +8'-0" OR AS INDICATED

1. ALL FLUORESCENT FIXTURES SHALL BE PROVIDED WITH ENERGY SAVING LAMPS AND BALLASTS.
2. ALL INCANDESCENT LAMPS SHALL BE RATED 130V.
3. ALL HID FIXTURES INSTALLED INDOORS SHALL HAVE ENCAPSULATED BALLAST WITH A SOUND RATING OF "A".

1. REMOVE ALL LIGHTING FIXTURES SHOWN IN THIS AREA UNLESS OTHERWISE INDICATED TO REMAIN.
2. CONNECT TO EXISTING NORMALLY ENERGIZED AND SWITCHED CIRCUITS.
3. AT HIS OPTION, CONTRACTOR MAY USE EXISTING CONDUIT IF POSSIBLE FOR NEW LIGHTING FIXTURES. ALL CONDUCTORS SHALL BE REMOVED AND REPLACED.
4. REMOVE ALL UNUSED EXPOSED CONDUIT AND INSTALL BLANK COVER PLATES ON UNUSED OUTLETS.
5. DISCONNECT EXISTING EXHAUST FAN.
6. EXISTING UNIT HEATER TO REMAIN. MAINTAIN ELECTRICAL CONTINUITY.
7. CONNECT NEW EXHAUST FAN TO EXISTING CIRCUITS. EXTEND 1/2" C., 3 #12 TO LOCATION OF PREVIOUSLY REMOVED EXHAUST FAN PER NOTE #5.
8. 1/2" C; CONTROL CONDUCTORS AS REQUIRED. SEE SHEET E-2 FOR LOCATIONS.

1. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS IN ORDER TO ALLOW HIM TO SUBMIT A COMPLETE BID FOR REMOVALS WITHIN THE SCOPE OF THE DRAWINGS. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARD TO THE INTENT OF THE DRAWINGS SHALL BE BROUGHT UP FOR CLARIFICATION WITH THE ENGINEER.
2. THE CONTRACTOR SHALL REMOVE ALL CONDUIT, DEVICES, DISCONNECT SWITCHES, STARTERS, SPECIAL PURPOSE OUTLETS, PANELS, BRANCH CIRCUIT CONDUITS, AND ALL ASSOCIATED WIRING, ETC., SPECIFIED IN REMOVAL PLAN.
3. IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXTENT OF REMOVALS, PRIOR TO BID, WHICH MAY AFFECT HIS BID.
4. WHERE NECESSARY, THE CONTRACTOR SHALL REROUTE AND/OR RECONNECT CIRCUIT RUNS TO MAINTAIN CONTINUITY OF CIRCUIT.



CLASS I CONSTRUCTION

no.	date	revision
	10/19/81	REVISE LOCATIONS OF FIXTURES

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Los Altos Pool Renovation
Parks & Recreation
City of Albuquerque (City Project #3816)
Lighting & Power Plan - Bath House



job no.	8000502
dwn. by	TELCON
ckd. by	
issued	5/1/81
sheet	E-5

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C of A PWD Maps & Records

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