

CONSTRUCTION PLANS FOR LA MIRAGE APARTMENTS

TRACT B-1-B THE MEADOWS
ALBUQUERQUE, NEW MEXICO

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I hereby certify that the sheets marked "RECORD DRAWING" for Job 3832 have been revised to reflect record information for water, sanitary sewer, and paving required by the City of Albuquerque's Development Process Manual. This information was obtained via field survey by Greiner, Inc. and notes supplied by the contractor. No notes by the Field Section of the City Engineer's Office were provided.

Daniel L. Morehead
GREINER, INC.
D. L. Morehead, P.E. & L.S.
9-24-90

Prepared by: *Daniel L. Morehead* 6-6-89
Daniel L. Morehead, Project Manager Date

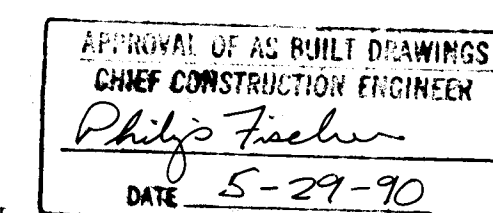
John Brock 6/6/89
John Brock, Project Engineer Date

Prepared Under the Supervision of: *Carl P. Rodolph* 6-6-89
Carl P. Rodolph, Vice President Date

Prepared For: Trammell Crow Company
4300 San Mateo Blvd., N.E.
Suite B-285
Albuquerque, NM 87110

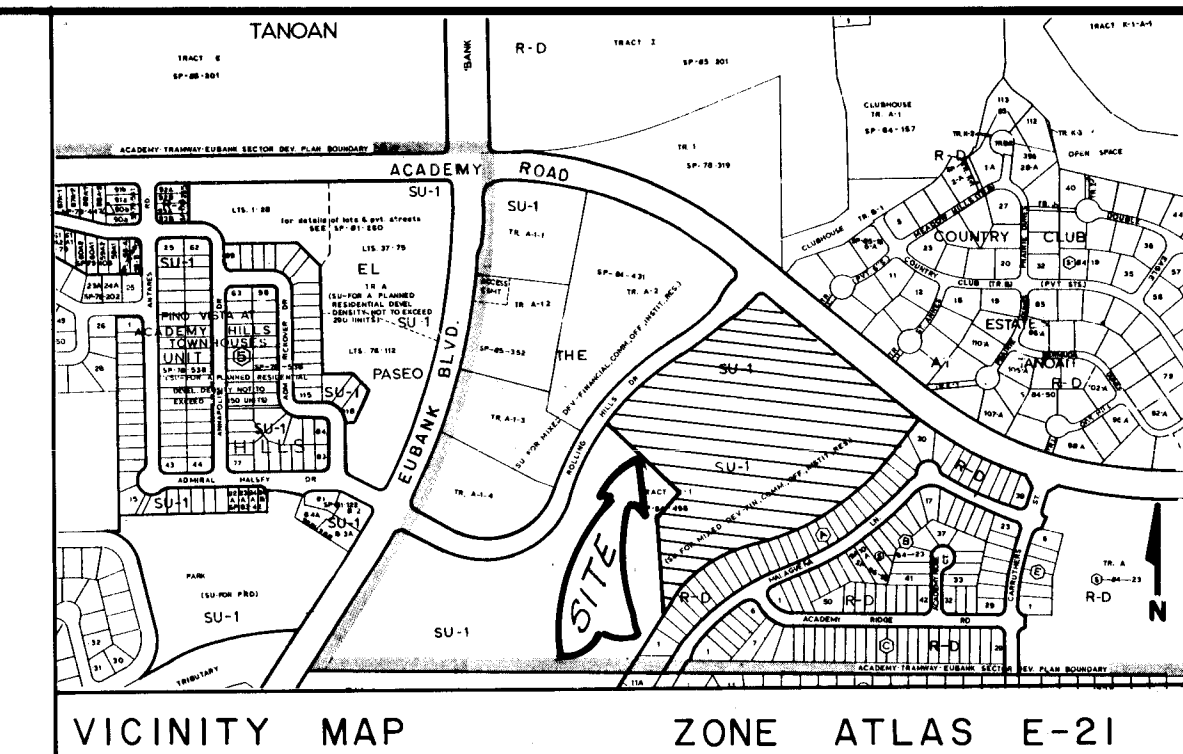
Contact: Robert Griffin (505) 883-0573

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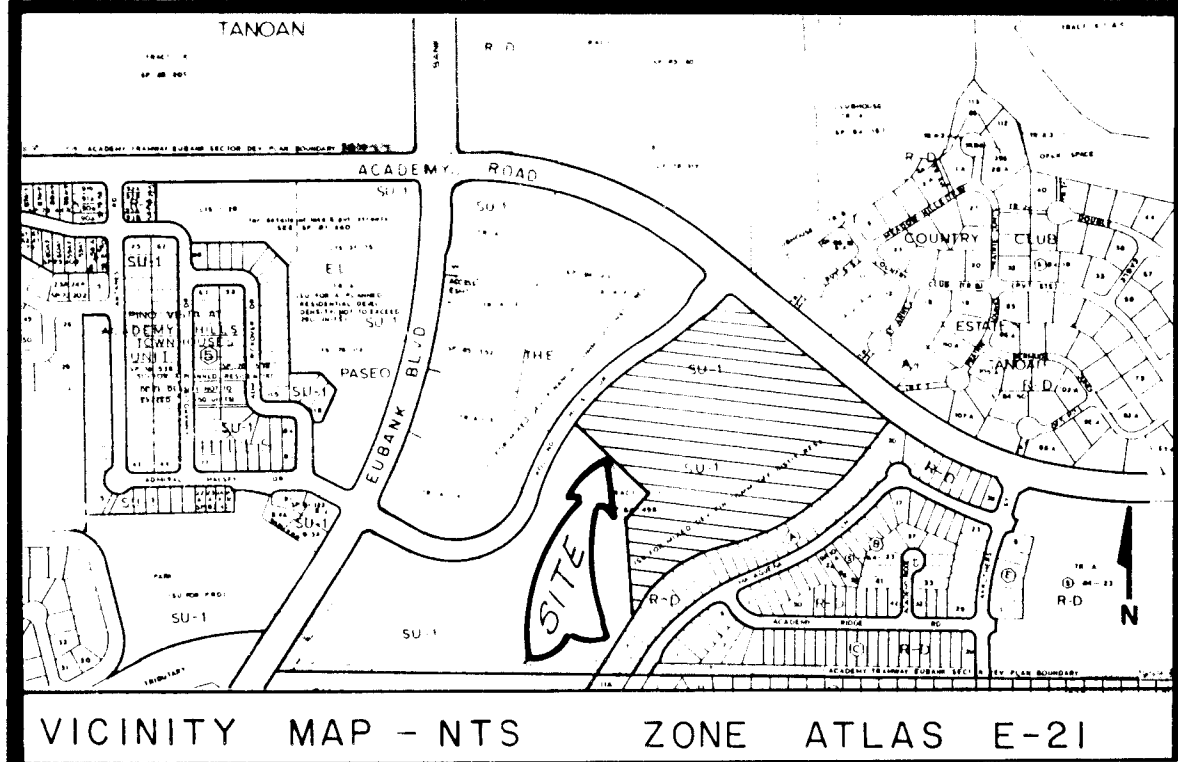


REV	SHEETS	CITY ENGR.	DATE	USER DEPT.	DATE	USER DEPT.	DATE
APPROVAL OF REVISIONS							

<i>Daniel L. Morehead</i> 6-6-89 Final 7-6-89	Greiner, Inc. 5971 Jefferson Blvd., N.E. Suite 101 Albuquerque, New Mexico 87109 (505) 345-3999	APPROVED FOR CONSTRUCTION <i>William J. ...</i> 8-30-89
DRAWING NO. 3832		SHEET 1 OF 14



- GENERAL NOTES
- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction, 1986.
 - Two (2) working days prior to any excavation, the Contractor must contact line locating service (765-1234).
 - Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer or Surveyor so that the conflict can be resolved with minimum amount of delay.
 - All utilities and utility service lines shall be installed and tested prior to constructing the pavement surface course.
 - Backfill compaction shall be according to specified street use.
 - Tack coat requirements shall be determined by the City Engineer.
 - Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
 - If curb is depressed for a driveway or a handicap ramp, the driveway or ramp shall be constructed prior to acceptance of the curb and gutter.
 - All storm drainage facilities shall be completed prior to final acceptance.
 - All driveway and off site construction shall conform to the City of Albuquerque's Curb Cut Policy under Commission Ordinance #1903.
 - All existing utilities shown here were taken as accurately as possible from record drawings and surface indications. It shall be the CONTRACTOR'S responsibility to protect, maintain in service, and verify exact locations of all affected utilities during construction of this project.
 - Curb return radii and street widths are to the face of the curb unless otherwise indicated in the plans.
 - When matching new paving to existing pavement, the CONTRACTOR shall saw cut into the existing paving at full section and not the asphalt shoulder or as directed by the ENGINEER to remove any broken, raveled, or cracked paving. The cost of this work shall be considered incidental to other items of work.
 - Curb and gutter, asphalt or utilities shown as existing and not to be removed under this contract which are damaged or displaced by the CONTRACTOR or his subcontractors, shall be replaced by the CONTRACTOR at his expense.
 - The CONTRACTOR will be responsible to replace at his expense any and all property corners destroyed in the process of construction. All property corners must be set by a Registered Land Surveyor. Records of any such surveys shall be given to the ENGINEER.
 - Utility relocations and new utility installations required by the construction of this project are to be coordinated by the CONTRACTOR during construction. No additional compensation will be allowed for delays or inconveniences caused by utility company work crews. The CONTRACTOR may be required to reschedule his activities to allow utility crews to perform their required work.
 - Access to local business and residences shall be kept open at all times. Temporary access closures, if required, must be scheduled at least twenty four (24) hours in advance with property owners and approved by the ENGINEER.
 - Any permanent pavement markings or other traffic control devices disturbed as a result of the construction must be replaced by the contractor. This must be done prior to allowing motorists or pedestrians access to that portion of the roadway.
 - Three (3) working days prior to beginning construction the Contractor shall submit to Traffic Engineering Division a detailed construction schedule. Two (2) working days prior to construction the Contractor shall obtain a barricading permit from the Traffic Engineering Division. Contractor shall notify Barricade Engineer (768-2551) prior to occupying an intersection.



VICINITY MAP - NTS ZONE ATLAS E-21

Replat Data

D.R.B. Case Number _____

Zone Atlas Number E-21

Gross Acreage 16.6350 AC.

Total Number Tracts Created 1

Total Mileage of Streets Created 0

Date of Survey _____

Talos Log Number 0420-2031

GENERAL NOTES

1. BASIS OF BEARINGS: N.M. State Plane Grid Bearings System (Central Zone).
2. Distances shown are ground distances.
3. Bearings and distances in parentheses are record bearings and distances.
4. This replat was prepared from plats of record, no corners were set.

DISCLOSURE STATEMENT

This replat was prepared for the purpose of establishing exclusive public water line easements and for the dedication of additional right of way, for purposes of a bus bay and a turning lane, thereby creating Lot 1, Block 1, LA MIRAGE.

LEGAL DESCRIPTION

A certain tract of land situate within the Ulenia, Ga. Legos, Grant in the East 1/2 of Section 28 as projected, 1st 4 E., New Mexico Principal Meridian, City of Albuquerque, County of Bernalillo, State of New Mexico, being Tract B-1-B, THE MEADOWS, as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on September 9, 1987 (Vol. C34, Folio 131), and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at a point of curvature on the Northeasterly boundary of the above mentioned TRACT B-1-B, and also being a point on the Southwesterly R/W line of Academy Road, N.E., whence the ACS Monument "B-21" (New Mexico State Plane Coordinates for the Central Zone: X = 417,743.19, Y = 1,511,246.84) bears N60°06'33"W, 2314.98 feet; thence 48.79 feet along the arc of a curve to the left, being said Northeasterly boundary and said Southwesterly R/W line, having a radius of 1485.40 feet, a central angle of 0°52'55", a chord bearing S 50°40'16"E, thence along the northwesterly line of ACADEMY RIDGE EAST UNIT ONE, as recorded in Vol. C29 Folio 30 of the records of said County, the following four (4) courses; 1) thence S39°16'11"W a distance of 167.61 feet to a point of non-tangency; 2) thence 670.00 feet along the arc of a curve to the right, having a radius of 1000.00 feet, a central angle of 38°23'17", and a chord bearing of S5°26'08"W to a point of reverse curvature; 3) thence 379.26 feet along the arc of a curve to the left, having a radius of 500.00 feet, a central angle of 43°27'34", and a chord bearing of S54°53'59"W; 4) thence S33°10'12"W a distance of 106.33 feet to the most southeasterly corner of Tract B-1-A, as shown on said THE MEADOWS; thence along the easterly line of said Tract B-1-A the following four (4) courses; 1) thence N00°12'53"E a distance of 493.27 feet (found No.5 rebar and cap L.S.7245); 2) thence N37°05'35"E a distance of 106.77 feet (found No.5 rebar and cap L.S.7245); 3) thence N5°57'44"W a distance of 154.39 feet (found No.5 rebar and cap L.S.7245); 4) thence N50°13'45"W a distance of 142.21 feet (found No.5 rebar and cap L.S.7245) to a point on the southeasterly right of way of Rolling Hills Drive N.E.; thence along said southeasterly right of way line the following six (6) courses; 1) thence 423.56 feet along the arc of a curve to the right, said curve being non-radial to the aforementioned course, having a radius of 970.00 feet, a central angle of 25°00'58", and a chord bearing of N45°58'03"E to a point of reverse curvature, (found No.5 rebar and cap L.S.7270); 2) thence 198.12 feet along the arc of a curve to the left, having a radius of 1030.00 feet, a central angle of 11°00'01", and a chord bearing of N5°57'44"E to a point of reverse curvature; (found No.5 rebar and cap L.S.7270) 3) thence 49.31 feet along the arc of a curve to the right, having a radius of 220.00 feet, a central angle of 12°50'35", and a chord bearing of N5°57'44"E to a point of reverse curvature (found No.5 rebar and cap L.S.7270); 4) thence 84.24 feet along the arc of a curve to the left, having a radius of 240.00 feet, a central angle of 20°06'31", and a chord bearing of N50°13'45"E (found No.5 rebar); 5) thence N40°10'12"E a distance of 23.83 feet to a point of curvature; 6) thence 47.12 feet along the arc of a curve to the right, having a radius of 30.00 feet, a central angle of 90°00'00", and a chord bearing of N8°41'53"W to a point on said southwesterly right of way of Academy Road N.E.; thence S49°49'48"E along said southwesterly right of way line a distance of 697.55 feet to the point of beginning, containing 16.64 acres more or less.

FREE CONSENT & DEDICATION

The replat shown hereon is with the free consent of and in accordance with the desires of the undersigned owner of the land shown hereon. Said land dedicates right of way on Academy Road NE, and does hereby grant all easements as shown hereon.

CAUWELS & DAVIS ASSOCIATES MANAGEMENT CO.

Robert E. Davis 5-2-89
Robert E. Davis Date

STATE OF New Mexico
COUNTY OF Bernalillo

The foregoing instrument was acknowledged before me this 2nd day of May, 1989 by Robert E. Davis.

Cynthia S. Peck
Notary Public

My commission expires 7-8-92.

PLAT OF LOT ONE, BLOCK ONE

LA MIRAGE

BEING A REPLAT OF

TRACT B-1-B

THE MEADOWS

ALBUQUERQUE, NEW MEXICO

APRIL 1989

APPROVED BY:
David W. Human 5/9/89
Traffic Engineer, Transportation Department Date
James M. Stron 5-9-89
Public and Recreation Department Date
W. J. ... 5-9-89
Chief City Surveyor, Engineering Division Date
W. J. ... 5-9-89
Water Resources Department Date

Property Management
Frank J. Caprin 5/9/89 Date
Albuquerque Metro-Habitat/Flood Control Authority Date
Frank J. Caprin 5/9/89 Date
City Engineer, Engineering Division Date

City Planner, Albuquerque/Bernalillo County Planning Division Date

Public Service Company of New Mexico Date

Mountain Bell
Joe Dunlop 5-8-89 Date
Gas Company of New Mexico Date

CERTIFICATION

I, Robert D. Aldrich, New Mexico Registered Land Surveyor No. 5817, do hereby certify that this plat was prepared under my supervision, that an actual field survey was performed from Sept. 23, 1988 thru May 2, 1989 that this plat shows all easements of record and meets the minimum requirements of the Albuquerque Subdivision Ordinance and is true and correct to the best of my knowledge and belief.

Robert D. Aldrich 5/8/89
Robert D. Aldrich Date
N.M.R.L.S. No. 5817

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

The foregoing instrument was acknowledged before me this 8th day of May, 1989 by Robert D. Aldrich.

Robert D. Aldrich
Notary Public

3-16-91

Greiner, Inc.
Greiner Engineering Sciences, Inc.
Denver, Colorado Colorado Springs, Colorado Albuquerque, N.M.

Design: PONS
Drawn: JAK
Check: J.B., D.M.

LA MIRAGE

Date: 04-20-89
Job No: 0690664
Sheet: 1 2

PLAT OF LOT ONE, BLOCK ONE

LA MIRAGE

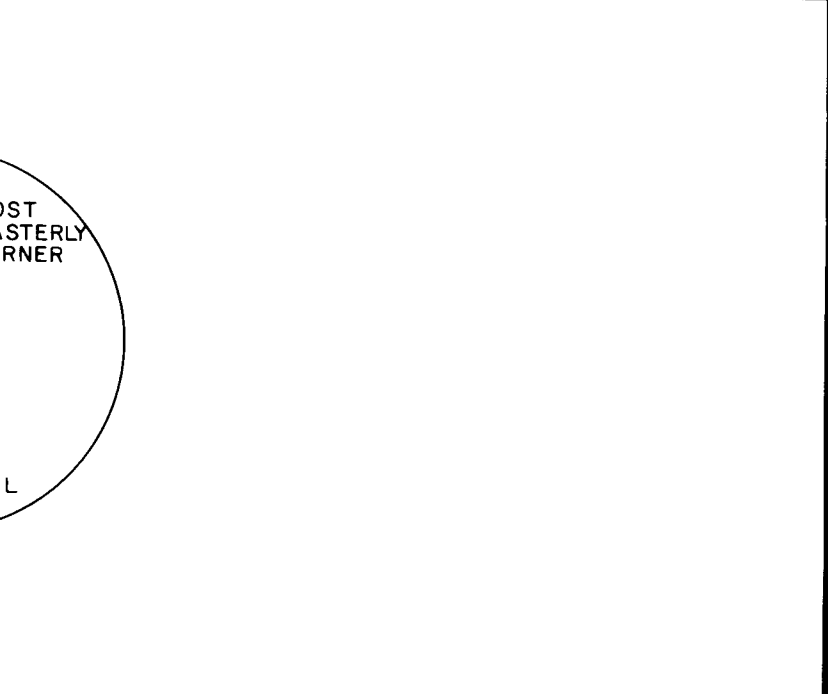
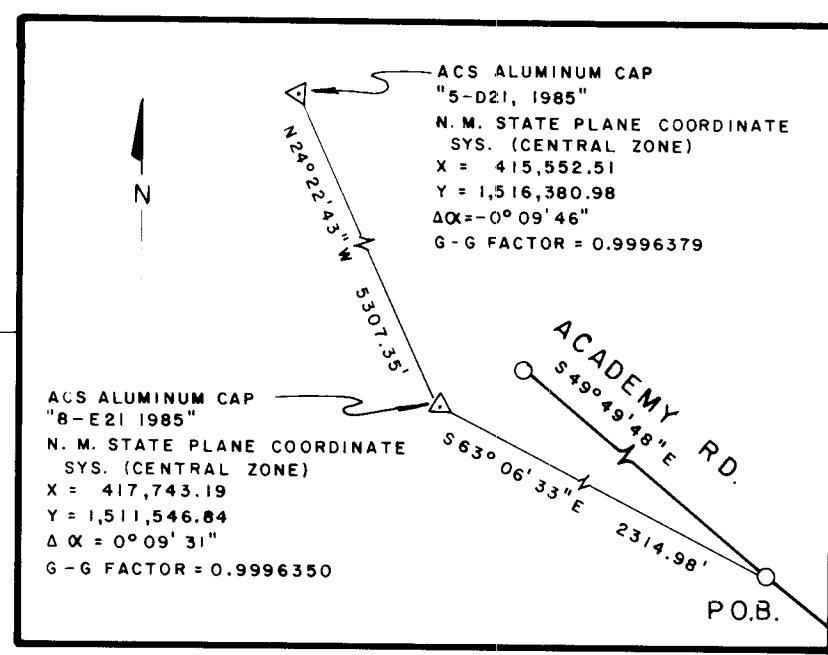
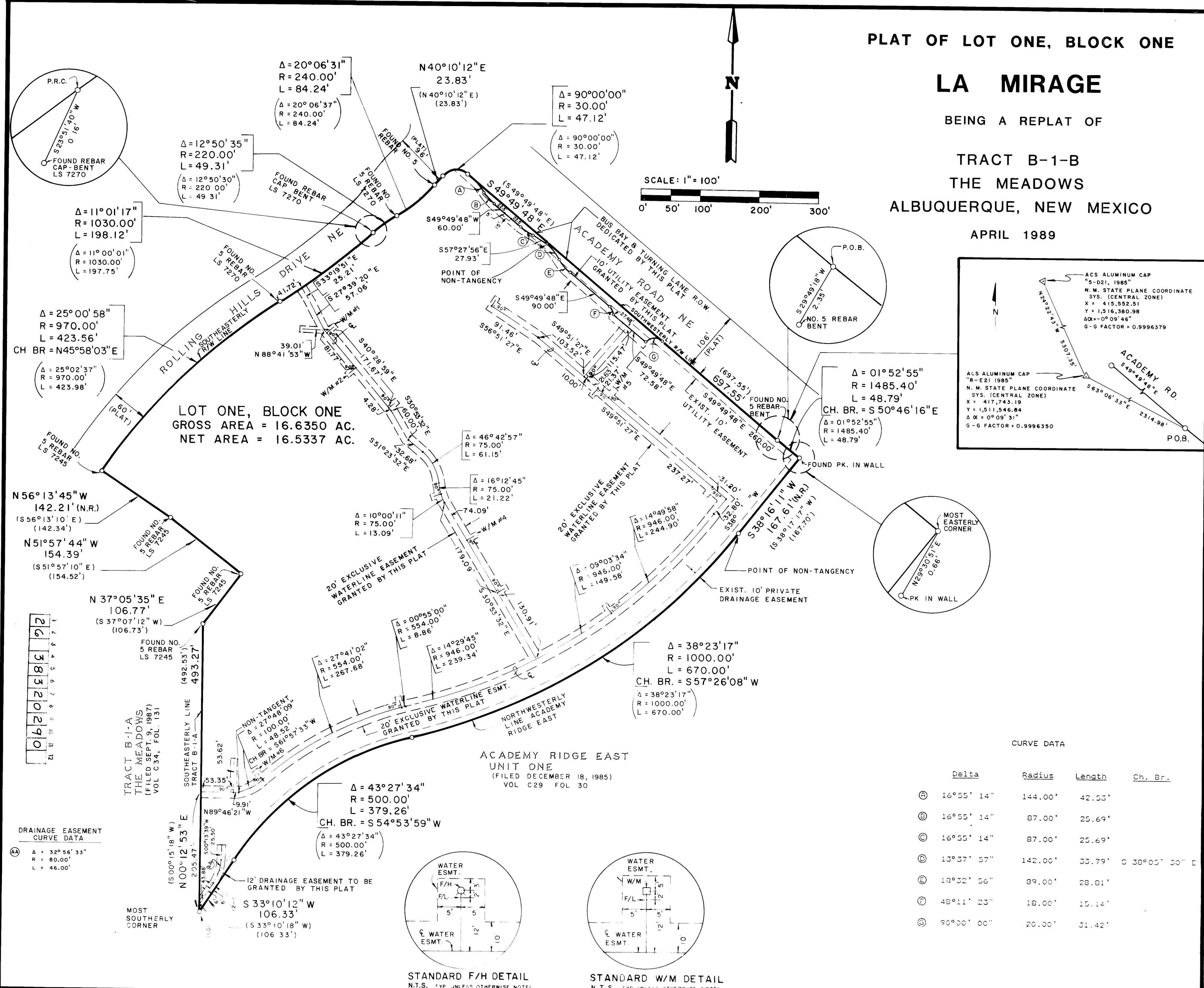
BEING A REPLAT OF

TRACT B-1-B

THE MEADOWS

ALBUQUERQUE, NEW MEXICO

APRIL 1989



CURVE DATA				
Delta	Radius	Length	Ch. Br.	
16°55' 14"	144.00'	42.53'		
16°55' 14"	87.00'	25.69'		
16°55' 14"	87.00'	25.69'		
13°37' 57"	142.00'	33.79'	0 38°05' 50" E	
10°32' 56"	89.00'	28.01'		
48°11' 23"	18.00'	15.14'		
90°00' 00"	20.00'	31.42'		

Greiner, Inc.
Greiner Engineering Sciences, Inc.
Denver, Colorado Colorado Springs, Colorado Albuquerque, N.M.

Design: PONS
Drawn: JAK
Check: J.B., D.M.

Scale: 1" = 100'

LA MIRAGE

Date: 04-20-89
Job No: 0690664
Sheet: 2 2

A black and white vicinity map showing the project location. The map includes labels for 'TANDAM' in the upper left, 'THE PROJECT' in the center, and 'UNIT 5' in the lower right. A road labeled 'HEARNS' runs diagonally through the center. Other labels include 'TERRACE OFFICE' and 'UNIT 1'. The map shows a network of streets and building footprints, with the project area highlighted in the center.

- 6 And three-foot screen walls to parking areas adjacent to neighborhood boundary.
- 7 Reine neighbor's concrete walks up to eight foot in height from existing wall footing and garage starting wall facing.
- 8 To be removed by contractor within 90 days of start of construction. Start wall additions to be completed individually by lot and will be constructed by experienced and licensed contractors.
- 9 No building-mounted lighting shall be installed along the neighborhood boundary (Buildings 1, 4, 8, 9, 12, 20, 21, and 22). All lighting shall be located at least six feet away from the lot line and will be subject to final approval. Two luminaires shall be used on the northwest side of the parking lot and ground level landscape lighting shall be used in the quadrant side of the parking lot in this area.
- 10 These conditions shall be incorporated into the final approved city site plan and shall be recorded in the Marshall County Real Estate Records and shall bind any

10. TCM shall use its best efforts to maintain construction noise and interference with the neighboring property. All complaints should be directed to the TCM office at 1000 9th Street, NW, Suite 100, or by phone at (503) 586-9979 and shall be responded to within 48 hours.
11. TCM agrees to install and maintain a temporary 8 foot high safety fence along the construction property boundary to maintain safety throughout the construction period.
12. TCM shall be responsible for the reasonable repair of any damage that was caused to the neighboring property by TCM or its subcontractors.
13. TCM shall provide adequate signage within the community in order to effectively how traffic at reasonable speeds.
14. TCM agrees to provide grading and drainage in accordance with the city approved drainage plan. That drainage shall be directed away from the adjacent property until along the property border, and that no ponding shall exist for more than 48 hours.

LAND AREA	756,996 / 13,370
ZONING	BU-1
UNITS	376
DENSITY	21.68 / ACRE
LAND AREA UNIT	2075

I CERTIFY THAT THIS AREA IS ZONED SH-1 FOR MIXED DEVELOPMENT (FINANCIAL / COMMERCIAL, OFFICE/INSTITUTIONAL, AND MIXED RESIDENTIAL DEVELOPMENT) AND THIS PLAN IS CONFORMANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 19, 1980.

PLANNING DIRECTOR	DATE
<i>Therese Stee</i>	<i>5-1-89</i>
SPORTS AND RECREATION	DATE
<i>Daniel W. Hamon</i>	<i>5-9-89</i>
ARTS AND CULTURE	DATE
<i>W. J. [illegible]</i>	<i>5-9-89</i>
INFORMATION RESOURCES	DATE

CITY ENGINEER / APPROVE _____ DATE _____

STRAWBERRY	100,945 / 24.9 %
ROLLING HILLS	88,076 / 2.9 %
PARKING, DOWNS	109,529 / 25.9 %
OPEN SPACE	324,326 / 47.0 %
CALCANY	16,110 / 2.0 %
TOTAL OPEN	570,464 / 49.5 %
TOTAL PAVED AREA	448,113 /
PLANT AREA	93-1
ONE BEDROOM	200 / 53 %
TWO BEDROOM	112 / 30 %
THREE BEDROOM	64 / 17 %

FOURTEEN 100 = 1.5 = 3
 TWENTY 112 = 2 = 2.1
 THREE 64 = 2 = 1.1

PROVIDED 13 HANDBOOK 10-
178 OCTOBER 25
402. STANDARD 9
402

- ALL FUTURE LOT LIGHTING SHALL BE DIRECTED AWAY FROM ADJACENT LOTS.
- 4 UNITS ARE REQUIRED TO HAVE PERSONAL ACCESS. THESE UNITS ARE LOCATED IN BUILDING 11 ON THE GROUND FLOOR "D" UNITS.

AS BUILT INFORMATION

CONTRACTOR <u>PARALLAX CONST.</u>	
WORK STAKED BY <u>GREINER</u>	DATE <u>2/2/71</u>
INSPECTOR'S ACCEPTANCE BY <u>CITY</u>	DATE <u>5/1/71</u>
FIELD VERIFICATION BY _____	DATE _____
DRAWINGS CORRECTED BY <u>GREINER</u>	DATE <u>4/2/71</u>
MICRO-FILM INFORMATION:	
RECORDED BY _____	DATE _____
NO _____	

OB: 8809

**376 UNIT APARTMENT
COMPLEX**

**ALB/NM
TRAMMELL-CROW**

**BALL
ARCHITECTS
INC.**
PHOENIX, ARIZONA
602-263-8045

DEC 15 1988
DRAWN:
REV. Δ 2-20-89
Specializing in
Highways
R. 1-1-89
SHEET:
A-1

SHEET 2A OF 14

PRELIMINARY SITE PLAN

THE UNIVERSITY OF CHICAGO PRESS



0 50 100
1" : 50'

1	2	3	4	5	6	7	8	9	10	11	12
2	6		3	8	3	2	0	2	9	0	4

2053

GUIDE SPECIFICATIONS FOR PLACEMENT OF COMPACTED FILL

GENERAL

The Soils Engineer shall be the owner's representative to control the fill operations. The Soils Engineer shall approve the material, the method of placing and compaction, and shall give written approval of the completed fill after having taken sufficient tests to assure compliance with the specifications.

Fill Material Under Foundation and Within 3 Feet of Slabs

The fill materials shall be gravel, sand, silt, or clay mixtures which have a plasticity index not greater than 10 and a liquid limit not greater than 30. Material larger than 6 inches shall not be placed in the fill, and material larger than 4 inches shall not be placed within 1 foot of the bearing surfaces or foundations. It is anticipated that existing soil and fill will be suitable for reuse as structural fill provided all trash, debris, rocks over 6 inches in diameter, and all other deleterious materials are first removed. Material shall be approved by the Soils Engineer.

Preparation of Natural Ground for Foundation Support

Prior to footing or fill placement, the proposed bearing surfaces shall be scarified, moistened to optimum moisture content (12%) for a minimum depth of 10 inches, and compacted to a minimum of 95% of maximum density as determined by ASTM D-1557, with a minimum of 20 passes of a heavy vibratory roller.

Preparation of Natural Ground for Slab Support

Prior to the placement of slabs or fill, the natural ground shall be scarified, moistened to optimum moisture content (12%) for a minimum of 10 inches, and compacted to a minimum 95% of maximum Proctor density as determined by ASTM D-1557, with a minimum of 20 passes of a heavy vibratory roller. Vegetation and topsoil shall be removed before beginning preparation of natural ground.

PLACING FILL

No brush, sod, frozen material, or other perishable or unsuitable material shall be placed in the fill. Distribution of material shall be such as to avoid lenses differing substantially from the surrounding material. The materials shall be delivered to the fill in such a manner as to result in a well and uniformly compacted fill.

Before compacting, the fill material shall be spread in approximately horizontal layers not greater than 6 inches thick.

MOISTURE CONTROL

The material, while being compacted, shall contain the optimum moisture for compaction distributed uniformly throughout the layers. The contractor shall be required to add moisture to the material in the excavation if, in the opinion of the Soils Engineer, it is not possible to obtain proper and uniform moisture by adding water on the fill surface.

COMPACTION

When the moisture content and condition of each individual layer is satisfactory, it shall be compacted by methods approved by the Soils Engineer. A Proctor test should be performed on each typical fill material and frequent density tests of the fill shall be taken.

When compacting cohesionless free-draining materials such as sands and gravels, the material shall be deposited in layers and compacted by means of a crawler-type tractor, surface or internal vibrators, smooth or pneumatic rollers, hand or power tampers or by any other means approved by the Soils Engineer. The thickness of the horizontal layers after compaction shall not exceed 6 inches compacted thickness. If compaction is performed by tractor treads, surface vibrators or similar equipment, or not more than the penetrating length of the vibrator head if compaction is performed by internal vibrators. The material may not be ponded or flooded to aid in the compaction.

DENSITY REQUIREMENTS

Fill placed for foundation support shall be compacted to a minimum of 95% of maximum density as determined by ASTM D-1557.

Fill placed for slab support shall be compacted to a minimum of 90% of maximum density as determined by ASTM D-1557.



SCALE: 1" = 50'

GENERAL NOTES:

- 1) Legal Description: Tract B-1-B, The Meadows; being a replat of Tract B-1, The Meadows.
- 2) The current flood hazard boundary maps do not show development in the area, however, this site is not located in an area subject to inundation by the 100yr. design storm.
- 3) History: Drainage: E-21/028-B Drainage Report by Wilson & Co., January 1986. This plan uses information obtained from this approved report. Refer to the report for existing condition information. E-21/028-C drainage report by Greiner Inc., April 1989.
- 4) The site is currently vacant, garden walls and carports are the only structures within 25' of the site.
- 5) Off-Site Drainage: Originally undeveloped off-site flows were from the Northeast. However, with the development of Academy Road and the Academy Ridge East development, all off-site flows are intercepted.
- 6) Retaining Walls: Contiguous building pads with more than 18" elevation change are proposed to have a retaining wall as a part of the foundation structure.

EXISTING DRAINAGE:

The Rational Method is used to be consistent with the Drainage Report on file for this property.

$t_p = 10$ min. from drainage report.
 $I = (2.5)(6.84)t_p^{-0.51} = 5.28$
 $C = 0.4$ from DPM

Drainage area	Acres	Flow: Q=CIA(cfs)
Area A	5.69	12.02
Area B	10.93	23.08

PROPOSED DRAINAGE:

$t_p = 10$ min. from drainage report.
 $I = (2.5)(6.84)t_p^{-0.51} = 5.28$
 $C = 32.4 \times 0.95 + 20.4 \times 0.90 + 47.2 \times 0.25 = 0.61$

Drainage area	Acres	Flow: Q=CIA(cfs)
Area A (analysis point A)	3.388	10.9
Area B (analysis point B)	5.602	18.0
Area C (analysis point C)	7.630	24.6

Downstream Capacity:

Drainage areas "A" and "C" drain to a series of type "B" inlets in Rolling Hills. The capacity of these inlets has been identified as 158 cfs. The existing Overlook Apartments and areas "A" and "C" contribute only a fraction of this capacity.

Drainage area "B" drains to the concrete swale on the east boundary. The swale runs to a sloped, sumped manhole cover. The capacity of the cover is 21 cfs.

Grading:

- 1) See sheets 4 through 8 for grading detail.
- 2) All building finish floor elevations are to be 6" above pad grades.
- 3) See specifications at left for additional requirements.
- 4) Erosion control for the construction phase has been addressed on the rough grading plan. The permanent phase will be controlled by landscaping as proposed on the site development plan.

1 2 3 4 5 6 7 8 9 10 11 12
 26 38 32 0 3 9 0

Greiner Engineering

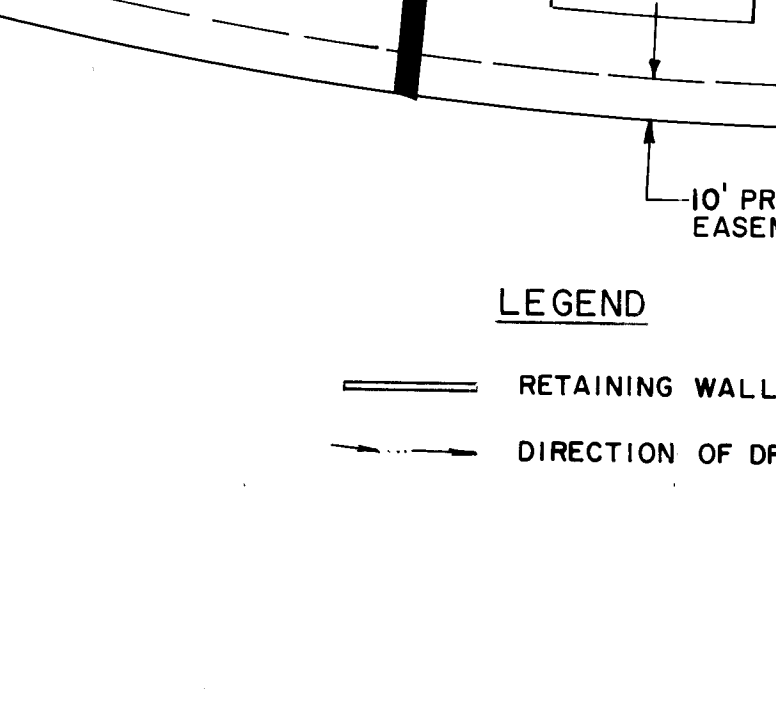
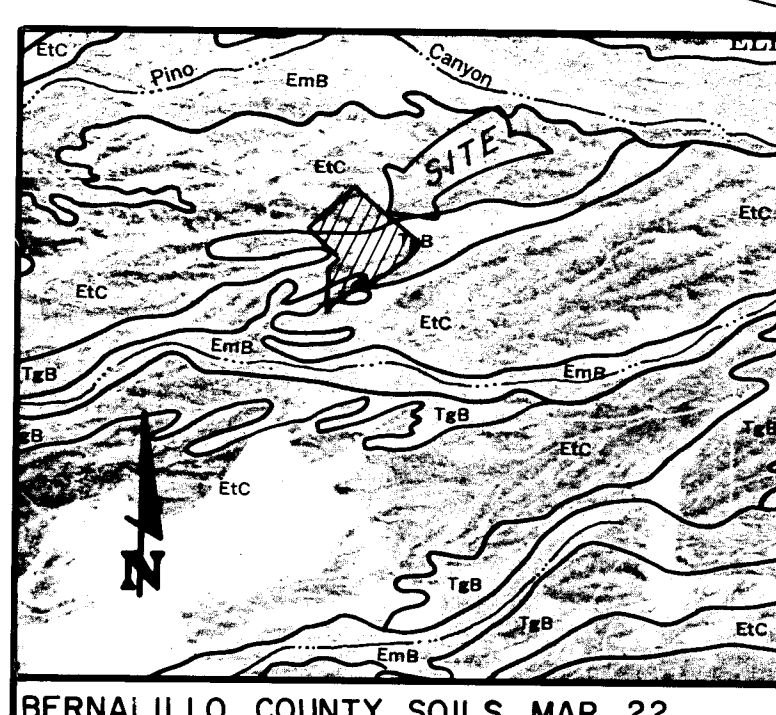
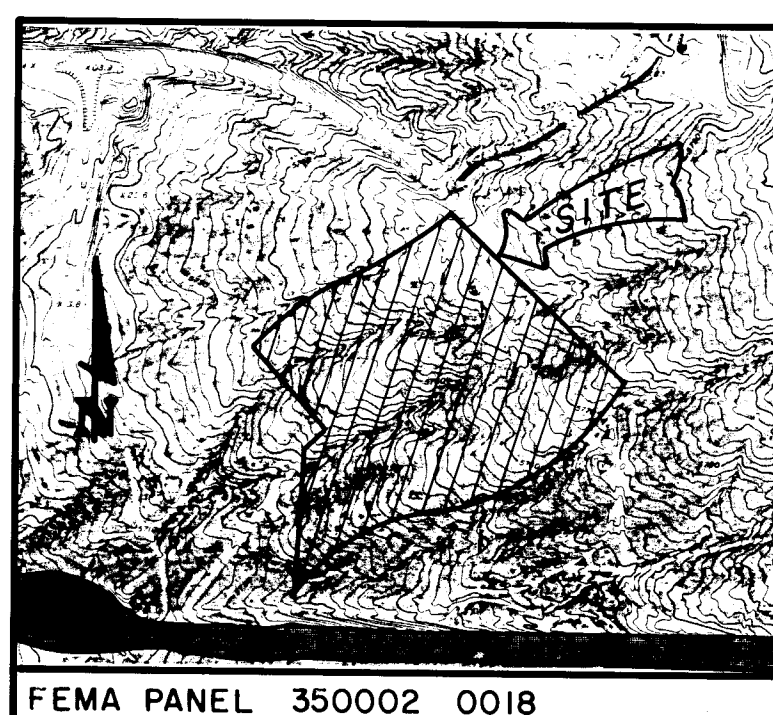
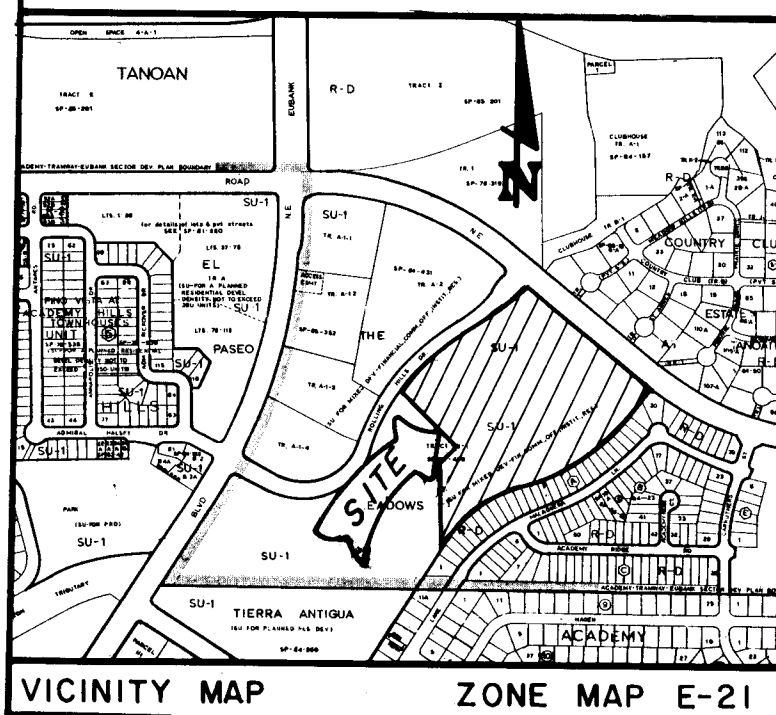
5971 Jefferson Blvd., N.E.
 Suite 101
 Albuquerque, New Mexico 87109
 (505) 345-3999

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION

TITLE: DRAINAGE PLAN AND OVERALL GRADING MAP

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer			Liquid Waste	PEBO N/A 7/10/89	
A.C.E. Design			Traffic		
A.C.E. Hydrology			Water	PEBO N/A 7/10/89	

DRAWING NO. 3832 MAP NO. E-21 SHEET 3 OF 14



LEGEND

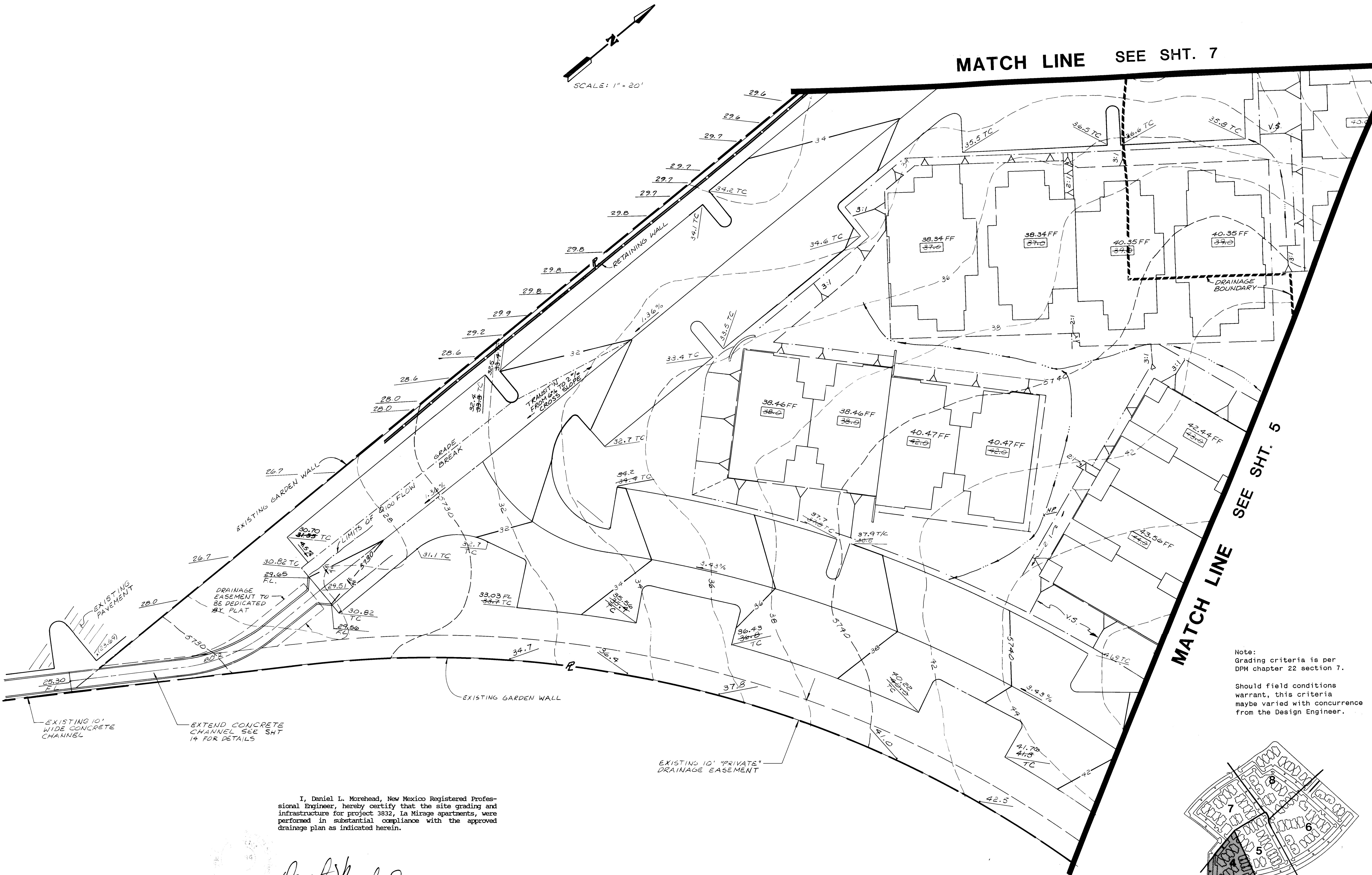
- RETAINING WALL
- DIRECTION OF DRAINAGE

LEGEND

- PAD ELEVATION
- PROPOSED ELEVATION
- EXISTING ELEVATION
- RIGHT OF WAY LINE
- ASPHALT

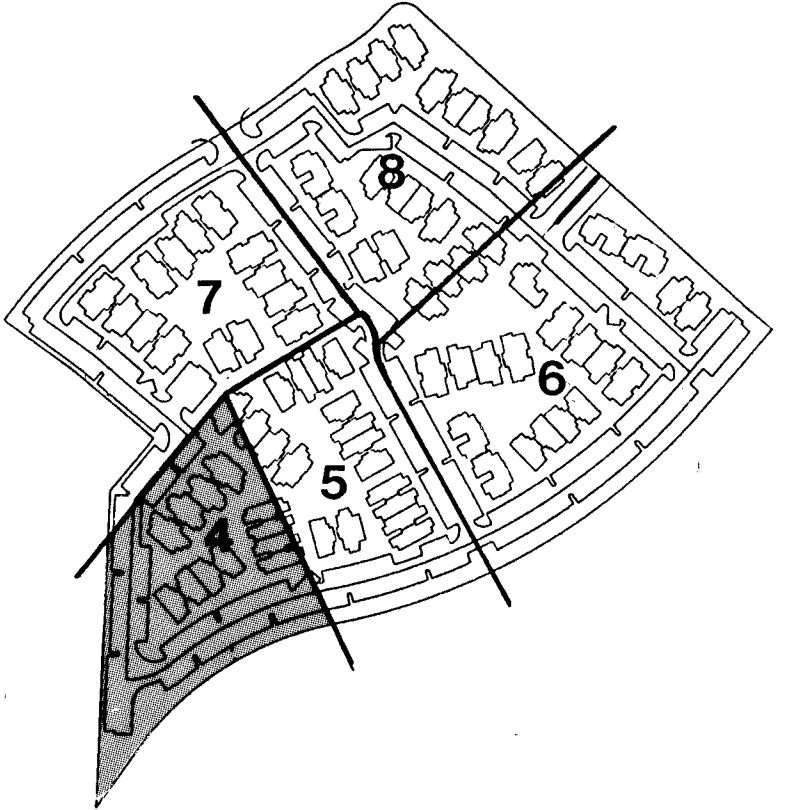
LEGEND

- BUILDING NUMBER
- DRAINAGE BOUNDARY
- SHEET MATCH LINE
- EXISTING DRAINAGE BOUNDARY
- PROPERTY LINE



Note:
Grading criteria is per
DPM chapter 22 section 7.

Should field conditions
warrant, this criteria
maybe varied with concurrence
from the Design Engineer.



I, Daniel L. Morehead, New Mexico Registered Professional Engineer, hereby certify that the site grading and infrastructure for project 3832, La Mirage apartments, were performed in substantial compliance with the approved drainage plan as indicated herein.

Daniel L. Morehead
Daniel L. Morehead, P.E.
7-31-90
Date

1	2	3	4	5	6	7	8	9	10	11	12
26	38	32	04	90							

AS BUILT INFORMATION	
CONTRACTOR: PARALLAX CONSULTING	DATE: 4/28/89
DESIGNED BY: GREINER	DATE: 4/28/89
APPROVED BY: CITY	DATE: 4/28/89
REVISIONS	DATE: 4/28/89
MICRO-FILM INFORMATION	
RECORDED BY:	DATE:
LA MIRAGE	
GRADING PLAN	
Design: J.J.B.	Date: 4/28/89
Drawn: J.A.K.	Job No: 0690664
Check:	Sheet: 4 of 14
Scale: 1" = 20'	

Greiner Engineering
Greiner Engineering Sciences, Inc.
Denver, Colorado
Albuquerque, N.M.
Colorado Springs, Colorado
Remmer, Wyoming

BRUNING 44.142.62595



SCALE: 1" = 20'

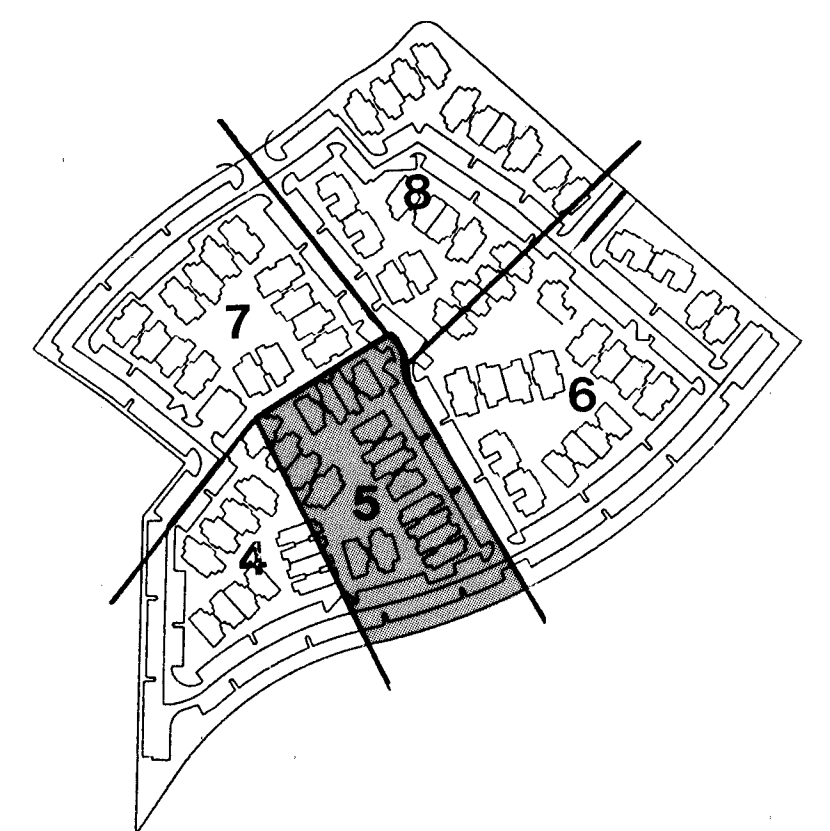
I, Daniel L. Morehead, New Mexico Registered Professional Engineer, hereby certify that the site grading and infrastructure for project 3832, La Mirage apartments, were performed in substantial compliance with the approved drainage plan as indicated herein.

Daniel L. Morehead
Daniel L. Morehead, P.E.

7-31-90
Date

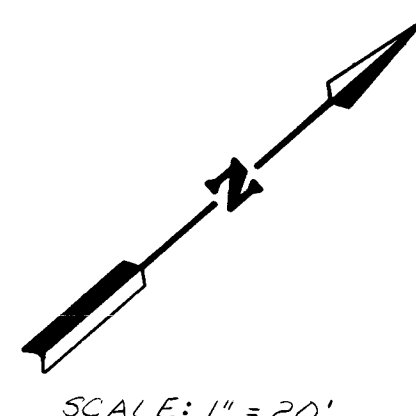
Note:
Grading criteria is per
DPM chapter 22 section 7.

Should field conditions
warrant, this criteria
maybe varied with concurrence
from the Design Engineer.



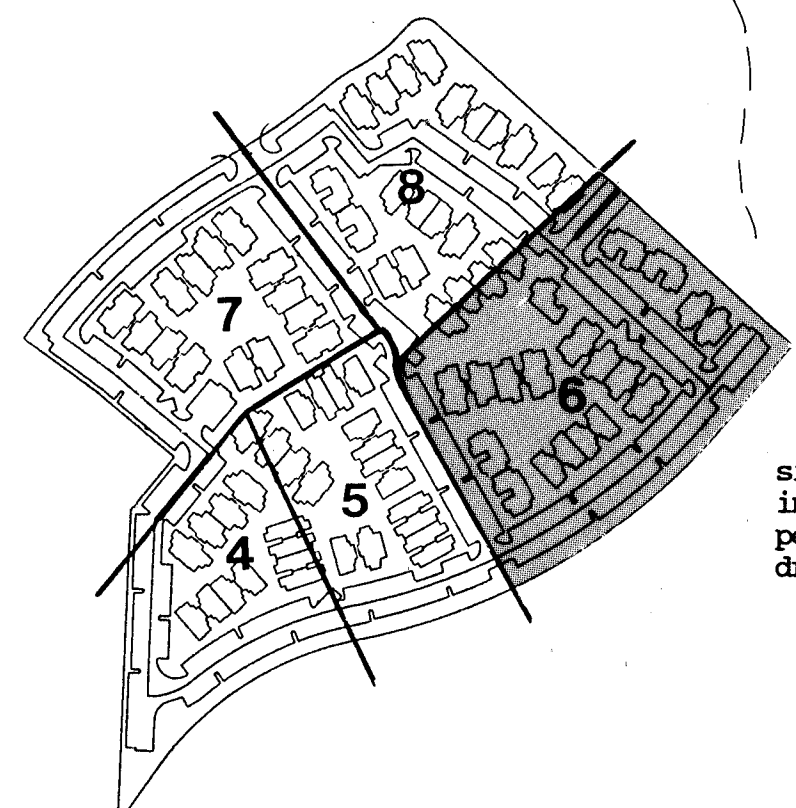
1 2 3 4 5 6 7 8 9 10 11 12
26 38 32 05 90

AS BUILT INFORMATION	
CONTRACTOR: PARALLAX CONSULTING	DATE: 4/28/89
DRAWN BY: GREINER	DATE: 4/28/89
CHECKED BY: J.A.K.	DATE: 4/28/89
DESIGNED BY: J.J.B.	DATE: 4/28/89
PROJECT: LA MIRAGE	CITY: ALBUQUERQUE, N.M.
RECORDING BY: D.L.M.	DATE: 7-31-90
MICRO-FILM INFORMATION	
RECORDED BY: D.L.M.	DATE: 7-31-90
Revisions	
Professional Engineer Seal: Daniel L. Morehead, P.E., No. 1587, State of New Mexico	
Greiner Engineering Sciences, Inc. Denver, Colorado Colorado Springs, Colorado Albuquerque, N.M. Perris, Wyoming	
Design: J.J.B.	
Drawn: J.A.K.	
Check:	
Scale: 1" = 20'	
LA MIRAGE	GRADING PLAN
Date: 4/28/89	Job No: 0690664
Sheet: 5	of: 14



SCALE: 1" = 20'

MATCH LINE SEE SHT. 5



I, Daniel L. Morehead, New Mexico Registered Professional Engineer, hereby certify that the site grading and infrastructure for project 3832, La Mirage apartments, were performed in substantial compliance with the approved drainage plan as indicated herein.

Daniel L. Morehead
Daniel L. Morehead, P.E.

7-31-90
Date

EXISTING GARDEN WALL

EXISTING 10' "PRIVATE" DRAINAGE EASEMENT

NOTE:
SEE SHEET 10 FOR SPOT
ELEVATIONS ON DRIVEWAY

EXISTING 10' PUBLIC UTILITY EASEMENT

ACADEMY

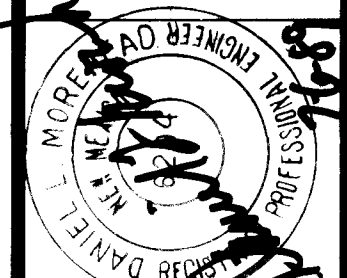
(71.99) TC

Note:
Grading criteria is per
DPM chapter 22 section 7.

Should field conditions
warrant, this criteria
maybe varied with concurrence
from the Design Engineer.

AS BUILT INFORMATION
CONTRACTOR: DALLAS CONSTRUCTION, INC.
DATE: 7/31/90
DESIGNED BY: G. J. B. DATE: 7/31/90
CHECKED BY: J. A. K. DATE: 7/31/90
RECORDED BY: DATE: 7/31/90
MICRO-FILM INFORMATION: DATE: 7/31/90

Revisions



Greiner Engineering
Greiner Engineering Sciences, Inc.
Denver, Colorado
Albuquerque, N.M.

Design J.J.B.
Drawn J.A.K.
Check

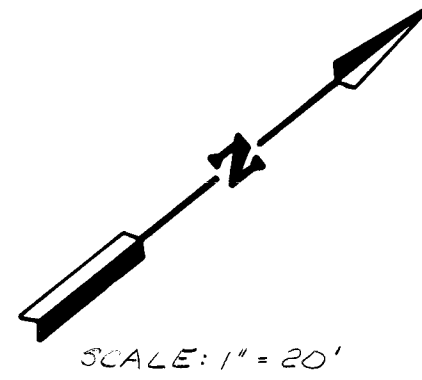
Scale 1" = 20'

LA MIRAGE
GRADING PLAN

Date 4/28/89
Job No. 0690664

Sheet 6 of 14

26 38320690

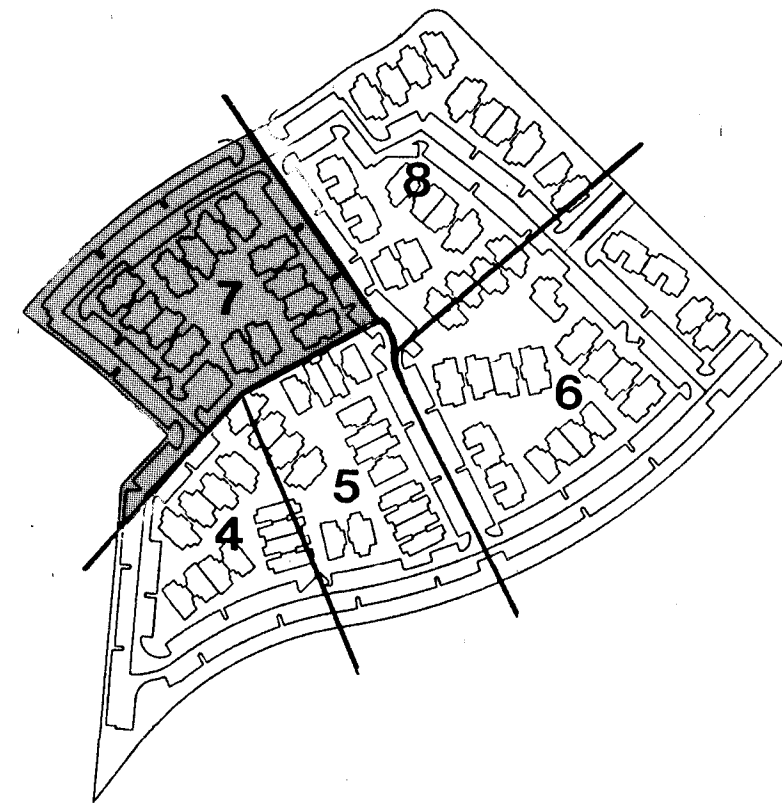


I, Daniel L. Morehead, New Mexico Registered Professional Engineer, hereby certify that the site grading and infrastructure for project 3832, La Mirage apartments, were performed in substantial compliance with the approved drainage plan as indicated herein.



Daniel L. Morehead
Daniel L. Morehead, P.E.

751-90
Date



ROLLING HILLS DR.

NOTE:
SEE SHT. 10 FOR
SPOT ELEVATIONS
ON DRIVEWAY

MATCH LINE
SEE SHT. 8

MATCH LINE SEE SHT. 4

MATCH LINE SEE SHT. 5

1 2 3 4 5 6 7 8 9 10 11 12
26 38 32 0 7 9 0

Note:
Grading criteria is per
DPM chapter 22 section 7.

Should field conditions
warrant, this criteria
may be varied with concurrence
from the Design Engineer.

AS BUILT INFORMATION
CONTRACTOR: PARALLAX
DESIGNER: GREINER
DATE: 4/28/89
REVISIONS: 1
DATE: 4/28/89
CITY: ALBUQUERQUE, N.M.
PROJECT: LA MIRAGE
SHEET: 7 OF 14
MICRO-FILM INFORMATION
DATE: 4/28/89
RECORDED BY: [Signature]
NO.

Revisions



Greiner Engineering
Greiner Engineering Sciences, Inc.
Denver, Colorado
Albuquerque, N.M. Kemmerer, Wyoming

Design J.J.B.
Drawn J.A.K.
Check

Scale 1" = 20'

LA MIRAGE
GRADING PLAN

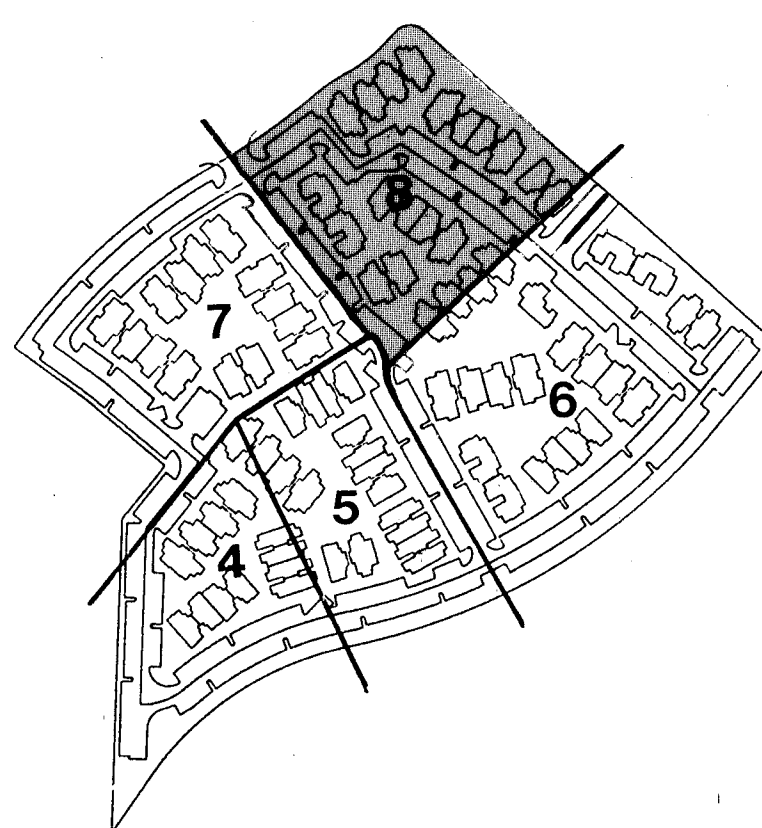
Date 4/28/89
Job No. 0690664
Sheet 7 of 14

SCALE: 1" = 20'

CITY OF BIRMINGHAM

MATCH LINE SEE SHT. 6

1	2	3	4	5	6	7	8	9	10	11	12
2	6		3	8	3	2	0	8	9	0	



7.31.90
Date

Should field conditions warrant, this criteria maybe varied with concurrence from the Design Engineer.

Sheet 8 of 14

CONTRACTOR SHALL COORDINATE WITH WATER SYSTEMS DIVISION THREE WORKING DAYS PRIOR TO THE EXECUTION OF THE SHUT OFF PLAN.

AS BUILT INFORMATION			
CONTRACTOR	PREALLAX CONST.	DATE	2/7/89
WORK	LA MIRAGE APARTMENTS	DATE	2/7/89
STAGED BY	GREINER	DATE	5/15/90
FIELD	ACCEPTANCE BY CITY	DATE	
DRAWINGS	CORRECTED BY GREINER	DATE	4/1/90
MICRO-FILM INFORMATION			
RECORDED BY		DATE	
NO.			

BENCH MARKS		SURVEY INFORMATION	
ASC STATION	"4-E218" A BRASS TABLET IN CURB .25 MI. EAST OF CONCORD RD. ON ACADEMY HILLS RD. 42' EAST OF DRIVEWAY TO SCHOOL. ELEVATION: 5663.48	DATE	
BY		NO.	

ENGINEER'S SEAL	
DATE	7-6-89
PROJECT NO.	0690664

REMARKS		BY	
NO.	DATE	NO.	DATE
DESIGNED BY	J.J.B.	DATE	
DRAWN BY	J.A.K.	DATE	
CHECKED BY		DATE	

26 38 32 09 90

Greiner Engineering

5971 Jefferson Blvd., N.E.
Suite 101
Albuquerque, New Mexico 87109
(505) 345-3889

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: LA MIRAGE APARTMENTS
OVERALL IMPROVEMENT MAP

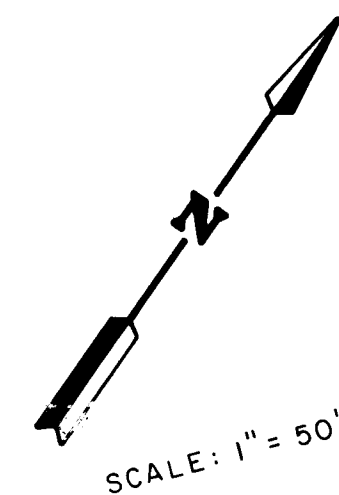
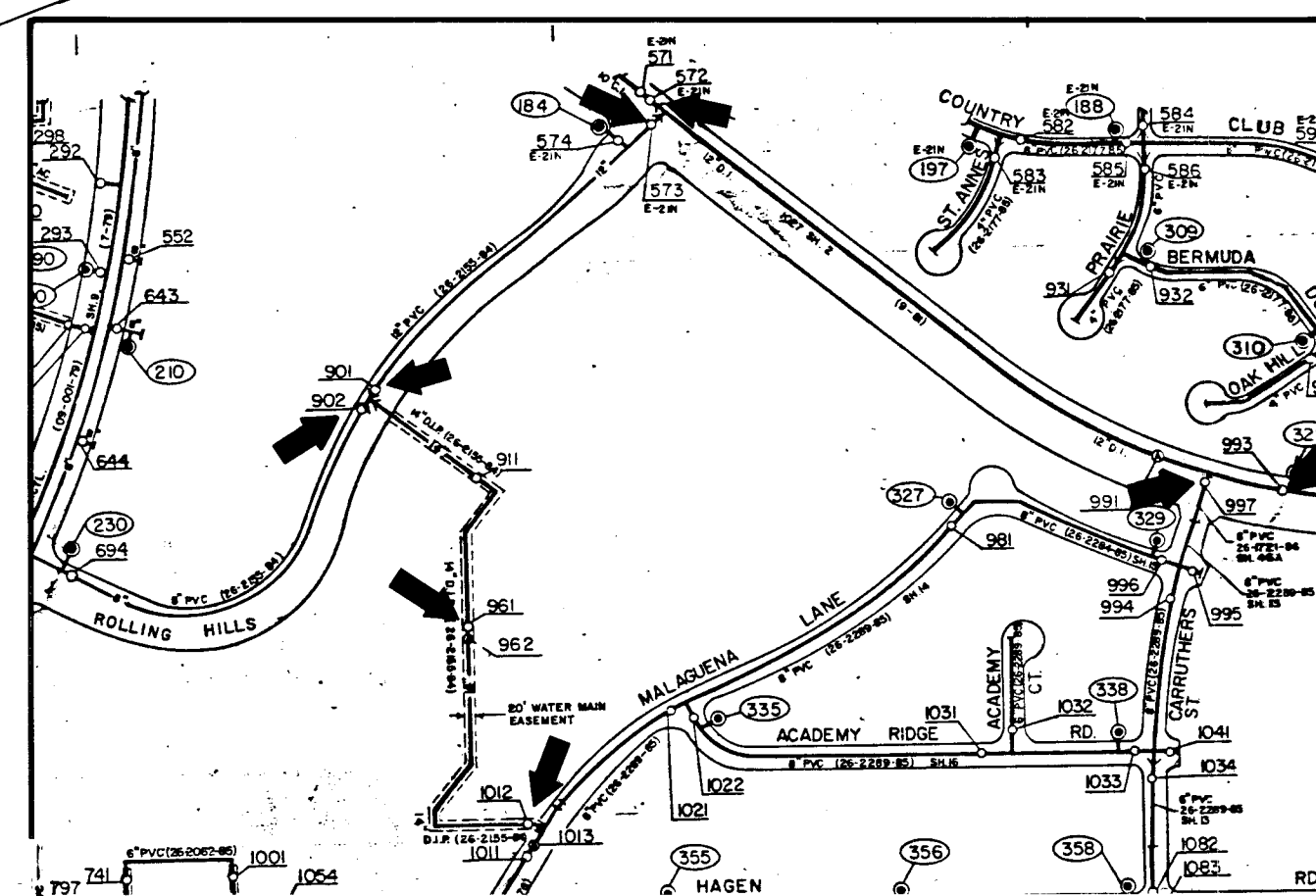
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	7/7/89	Liquid Waste	<i>[Signature]</i>	7/13/89
A.C.E. Design			Traffic	<i>[Signature]</i>	7-12-89
A.C.E. Hydrology	CAM	7-12-89	Water	REGO	7/13/89

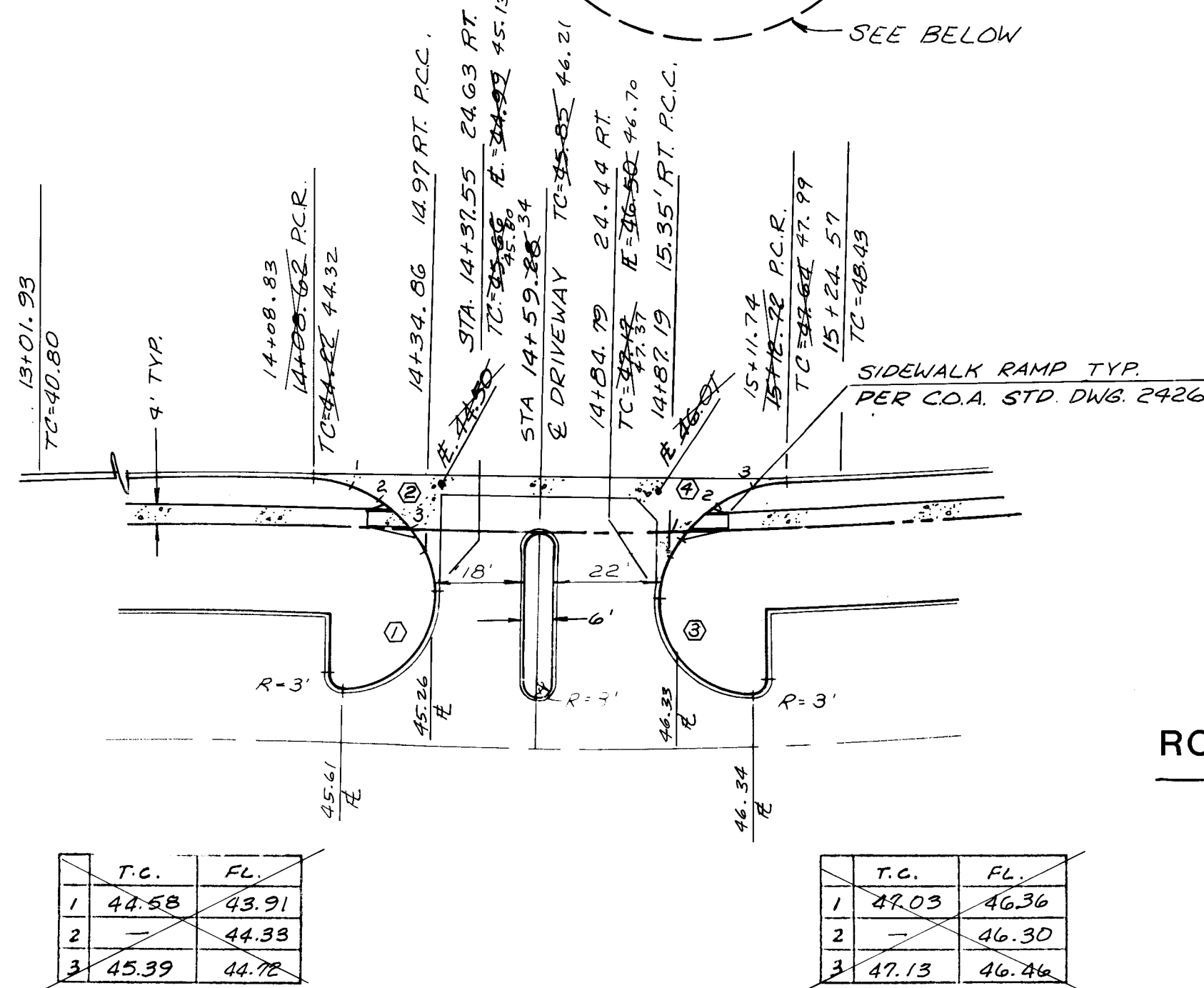
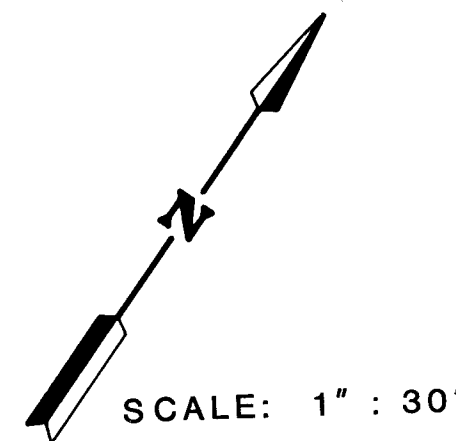
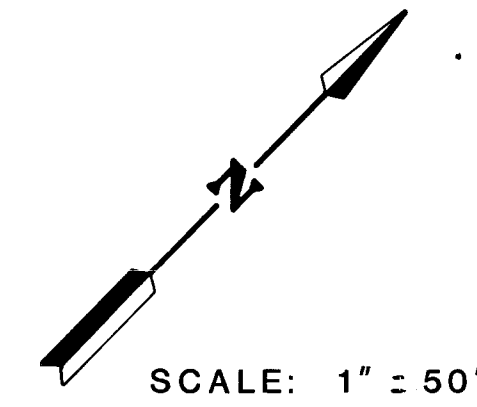
DRAWING NO.	3832	MAP NO.	E-21	SHEET	9	OF	14
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RECORD DRAWING

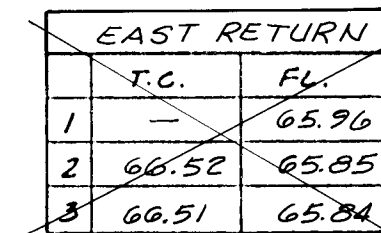
WATER SHUT OFF PLAN

- Water shut off plans are for City use only.
- Close valves 1012 & 961 for tap on 14" DIP (in easement).
- Close valves 901 & 573 for taps on 12" PVC (in Rolling Hills).
- Close Valves 993, 997, 573 & 572 for tap on 12" DI (in Academy).
- Close valves 961, 901 & 902 for taps on 14" DIP (in easement).





	T.C.	FL.
1	47.03	46.36
2	—	46.30
3	47.13	46.46



ACADEMY ROAD
BUS BAY / TURN LANE / DRIVEWAY

SCALE: 1" = 30'

AS BUILT INFORMATION	
CONTRACTOR	PARALLAX CONST.
WORK	7189
STAKED BY	GREINER
INSPECTORS	DATE 2/19/4
ACCEPTANCE BY	DATE 5/15/40
CITY	
FIELD	DATE
DRAWINGS	
CORRECTED BY	GREINER
CORRECTED BY	DATE 4/190
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO	

BENCH MARKS

ASC. STATION "4-E21B" A BRASS TABLET IN CURB .25 MI. EAST OF CONCORD RD. ON ACADEMY HILLS RD.; 42' EAST OF DRIVEWAY TO SCHOOL. ELEVATION: 5663.48

[illegible]

ENGINEER'S SEAL

PROJECT NO. 0690664

7-6-89

James D. [Signature]

[illegible]

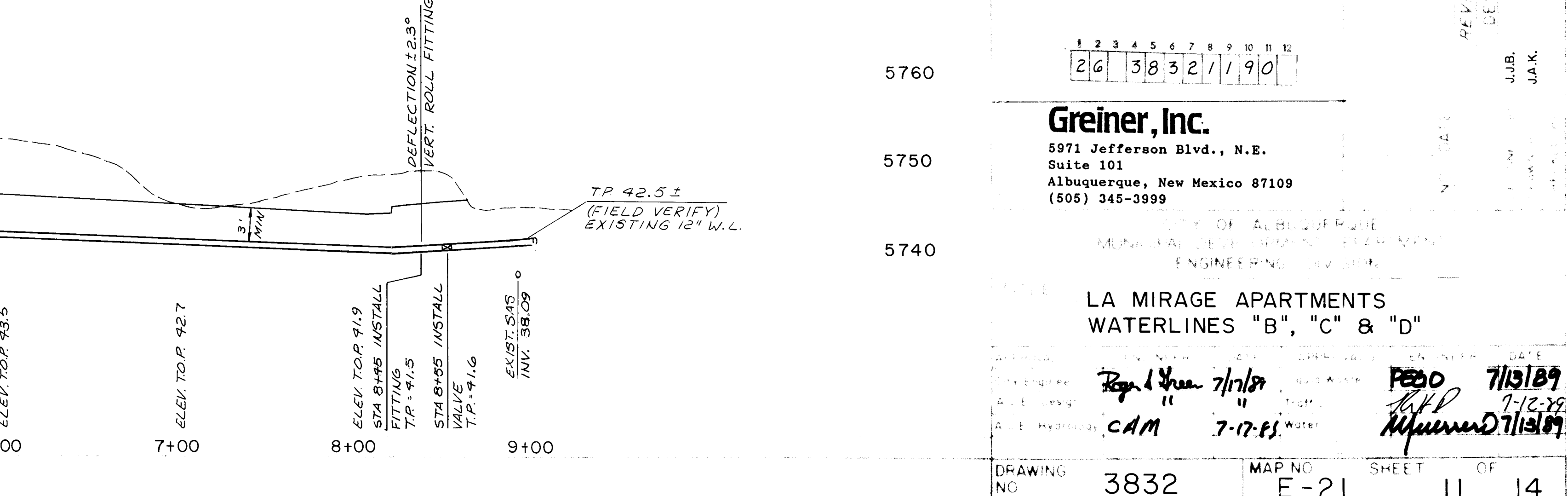
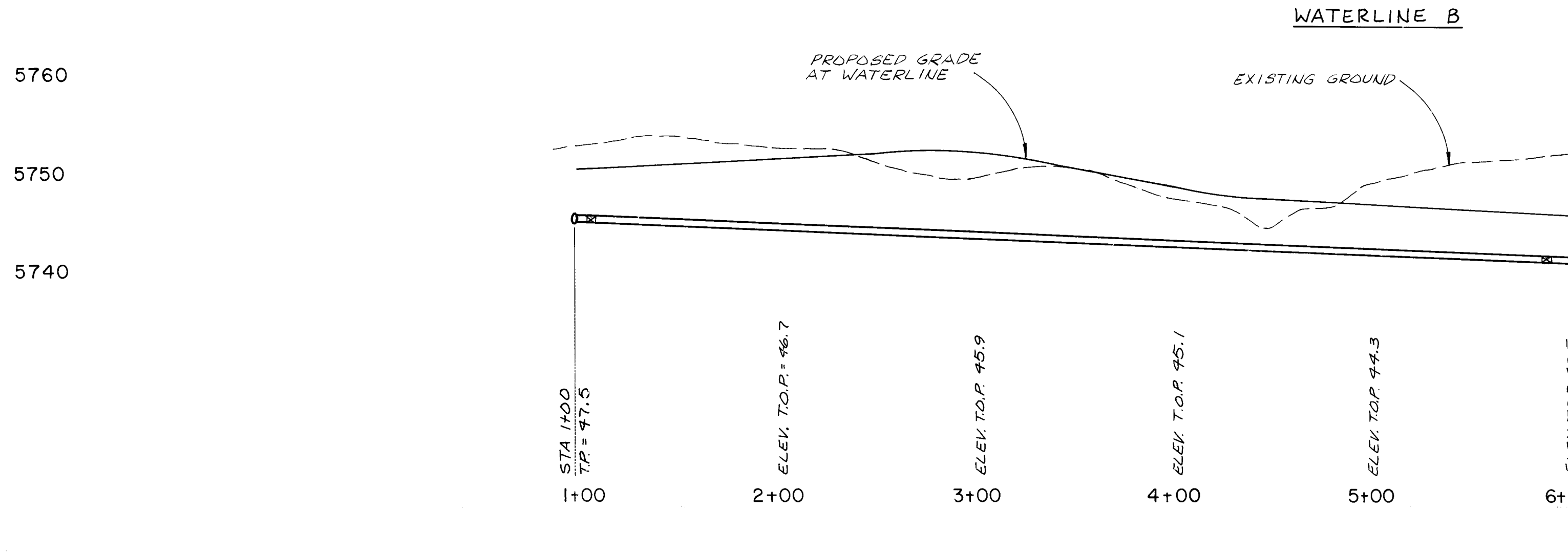
1	2	3	4	5	6	7	8	9	10	11	12
2	6		3	8	3	2	1	0	9	0	

5971 Jefferson Blvd., N.E.
Suite 101
Albuquerque, New Mexico 87101
(505) 345-3999

TITLE: LA MIRAGE APARTMENTS
DRIVEWAYS, BUS BAY TURNLANE

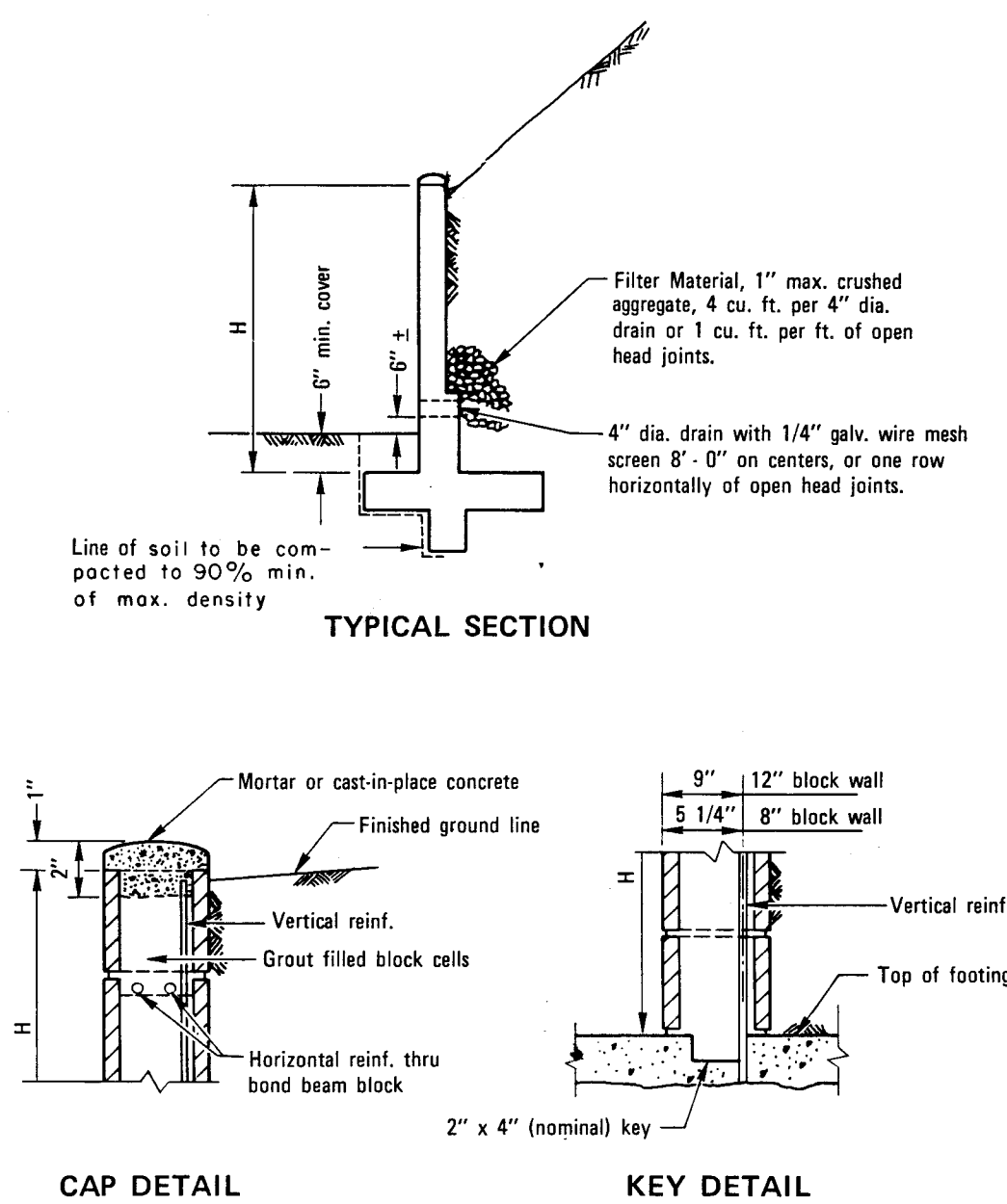
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>Rogel</i>	7/17/87	Liquid Waste	<i>Mickelson</i>	7/13/87
A.C.E. Design	"	"	Traffic	<i>K40</i>	7-12-87
A.C.E./Hydrology	<i>CAM</i>	7-17-87	Water	<i>F30</i>	7/13/87

DRAWING NO.	3832	MAP NO. E-21	SHEET 10 OF 14
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LA MIRAGE APARTMENTS
WATERLINES "B", "C" & "D"

[illegible]



All reinforced masonry retaining walls shall be constructed of regular or light weight standard grade "A" units conforming to ASTM designation C-90 and manufactured in accordance with requirements of the Concrete Masonry Association Specifications. All masonry shall conform to the regulations of the Uniform Building Code.

Embedment of the first course of block in a poured footing may be omitted by providing a mortar key. The key is formed by embedding a flat 2"x 4" flush with the top of the freshly poured footing. Remove the 2"x 4" after the concrete has started to harden.

DIMENSIONS AND REINFORCING STEEL		
H (max)	5' - 4"	3' - 8"
T (min)	0' - 10"	0' - 8"
W (min)	3' - 10"	2' - 9"
(A) bars	# 4 @ 16"	—
(B) bars	# 6 @ 16"	# 4 @ 16"
Max. Toe Press P.S.F.	2000	1400

NOTE
All masonry retaining walls shall be constructed with cap, key and drainage details as shown hereon.

Contractor may substitute retaining wall construction types with the concurrence of the design engineer.

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		NO.	BY	DATE	ASC STATION "4-E21B" A BRASS TABLET IN CURB .25 MI. EAST OF CONCORD RD. ON ACADNEY HILLS RD.; 42' EAST OF DRIVEWAY TO SCHOOL. ELEVATION: 5663.48		
DESIGNED BY	J.J.B.	DATE				CONTRACTOR PARALLAX CONST.	
DRAWN BY	J.A.K.	DATE				WORK BY GREINER DATE 5/6/90	
CHECKED BY		DATE				INSPECTORS ACCEPTANCE BY CITY DATE 5/5/90	
		REVISIONS				VERIFICATION BY DATE	
		DESIGN				DRAWINGS BY GREINER DATE 4/90	
						MICRO-FILM INFORMATION	
						RECORDED BY DATE	
						NO	

Greiner Engineering

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

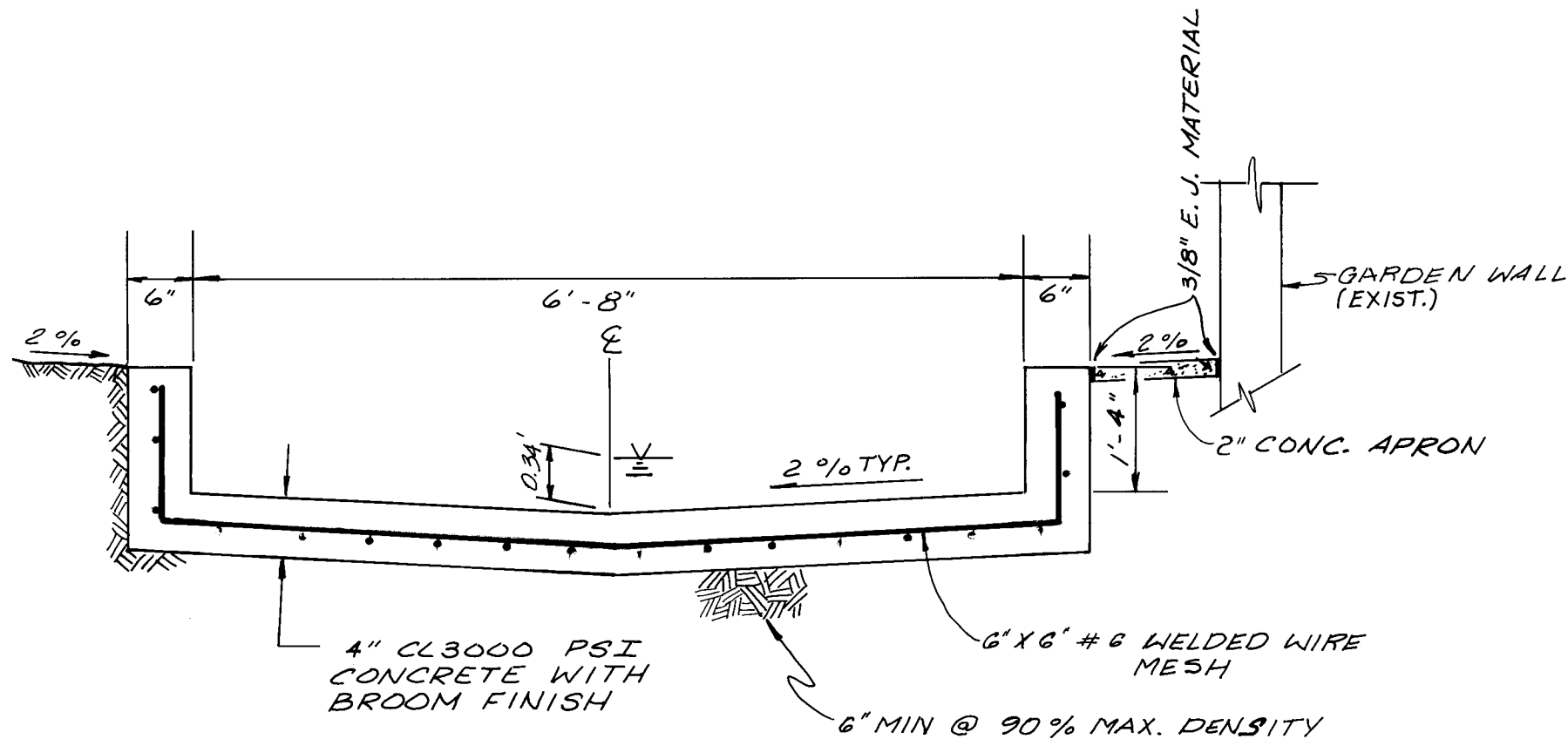
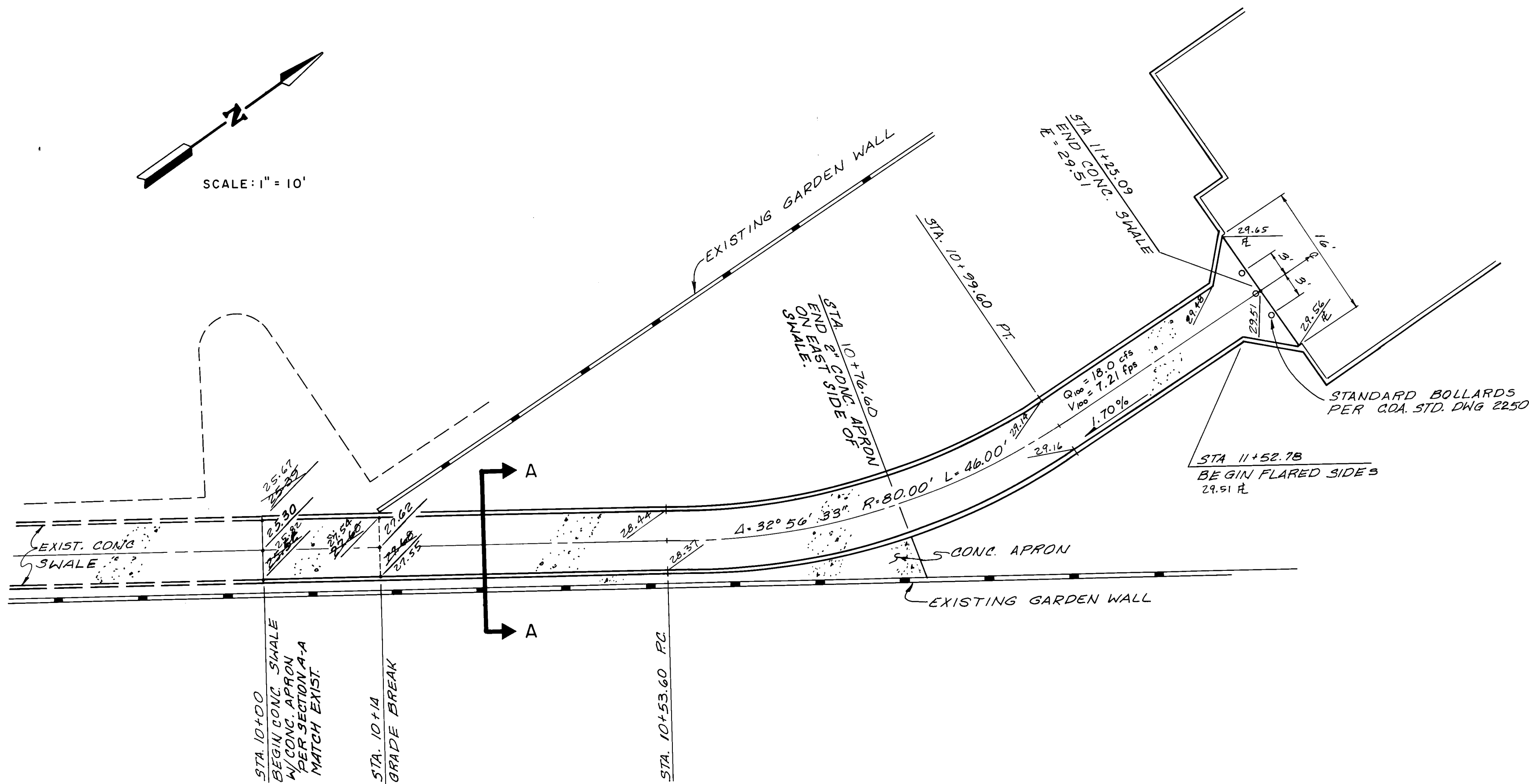
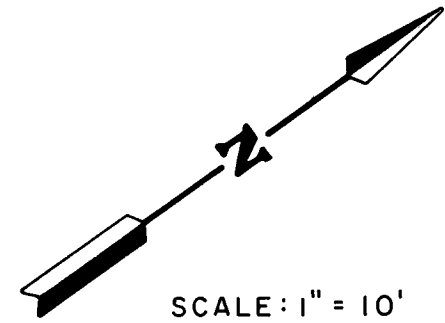
TITLE:

RETAINING WALL DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>Page 1</i>	7/1/89	Liquid Waste	<i>ADD/ny</i>	7/1/89
A.C.E. Design	"	"	Traffic	<i>RHD</i>	7-17-89
A.C. E.-Hydrology	<i>CDM</i>	7-12-89	Water	<i>ADD WA</i>	7/13/89

DRAWING NO.	3832	MAP NO.	F-21	SHEET	13	OF	14
-------------	------	---------	------	-------	----	----	----

NOT A PART OF THIS CONTRACT
FOR INFORMATION ONLY



SECTION A-A
SCALE: 3/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12
26 38 32 14 90

Greiner Engineering

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: DRAINAGE DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer	<i>[Signature]</i>	7/17/15	Liquid Waste	<i>[Signature]</i>	7/17/15
A.C.E. Design	<i>[Signature]</i>	"	Traffic	<i>[Signature]</i>	7-17-15
A.C. E-Hydrology	<i>[Signature]</i>	7-17-15	Water	<i>[Signature]</i>	7/17/15

DRAWING NO.	3832	MAP NO.	E-21	SHEET	14 OF 14
-------------	------	---------	------	-------	----------

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		ASC STATION "4-E218" A BRASS TABLET IN CURB .25 MI. EAST OF CONCORD RD. ON ACADEMY HILLS RD. 42' EAST OF DRIVEWAY TO SCHOOL. ELEVATION: 5663.48		CONTRACTOR: PARALLAX CONST.	
		NO.	BY	DATE	DATE	WORK BY: GREINER	DATE: 7/17/15
REVISIONS		ACCEPTANCE BY: CITY		INSPECTORS		DATE: 7/17/15	
DESIGN		TO SCHOOL		DATE		DRAWINGS BY: GREINER	
DATE		ELEVATION: 5663.48		DATE		MICRO-FILM INFORMATION	
DESIGNED BY: J.J.B.						RECORDED BY	
DRAWN BY: J.A.K.						DATE	
CHECKED BY						N.O.	