

CONSTRUCTION PLANS FOR KINGSWOOD AT TANOAN SUBDIVISION ALBUQUERQUE, NEW MEXICO

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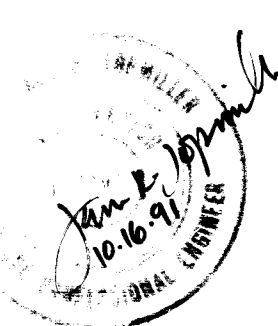
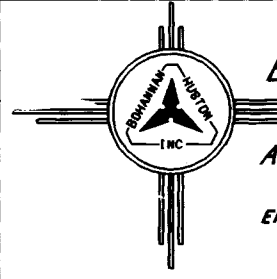
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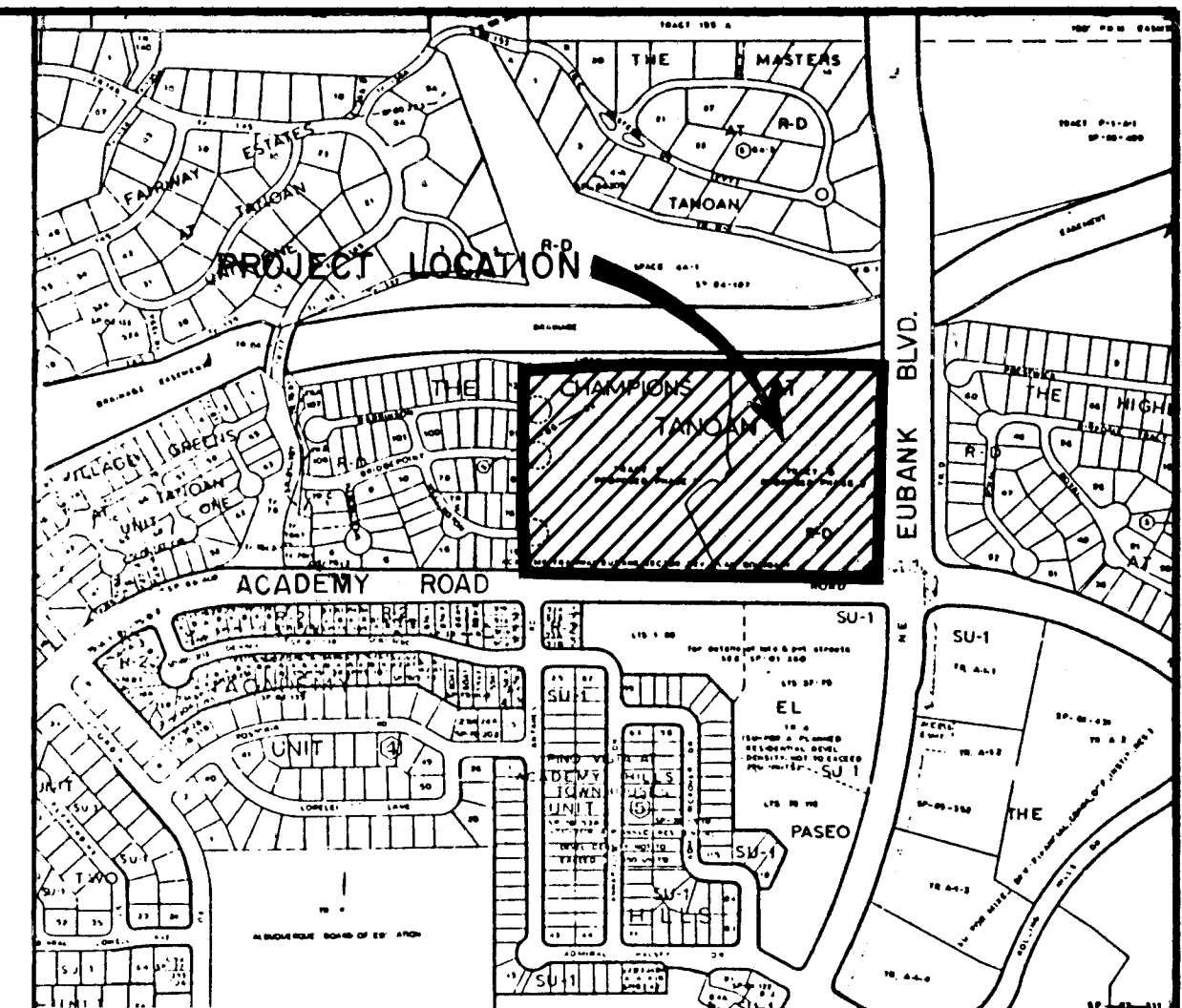
SCANNED BY
BY LASON

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Kevin B. Smith
DATE 8-20-92

△	SHEET 7	<i>Roger L. Shuman</i>	11/18/91	<i>Alfonso L. H. Dec.</i>	11-8-91	N/A
REV	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT

APPROVAL OF REVISIONS

	 BOHANNAN HUSTON INC. ALBUQUERQUE, NEW MEXICO ENGINEERS PLANNERS PHOTOGRAMMETRISTS	APPROVED FOR CONSTRUCTION <i>William H. Huchins</i> 11/19/91 C.E.
PROJECT NUMBER 4353.90		SHEET 1 OF 15



VICINITY MAP
NOT TO SCALE
E-21

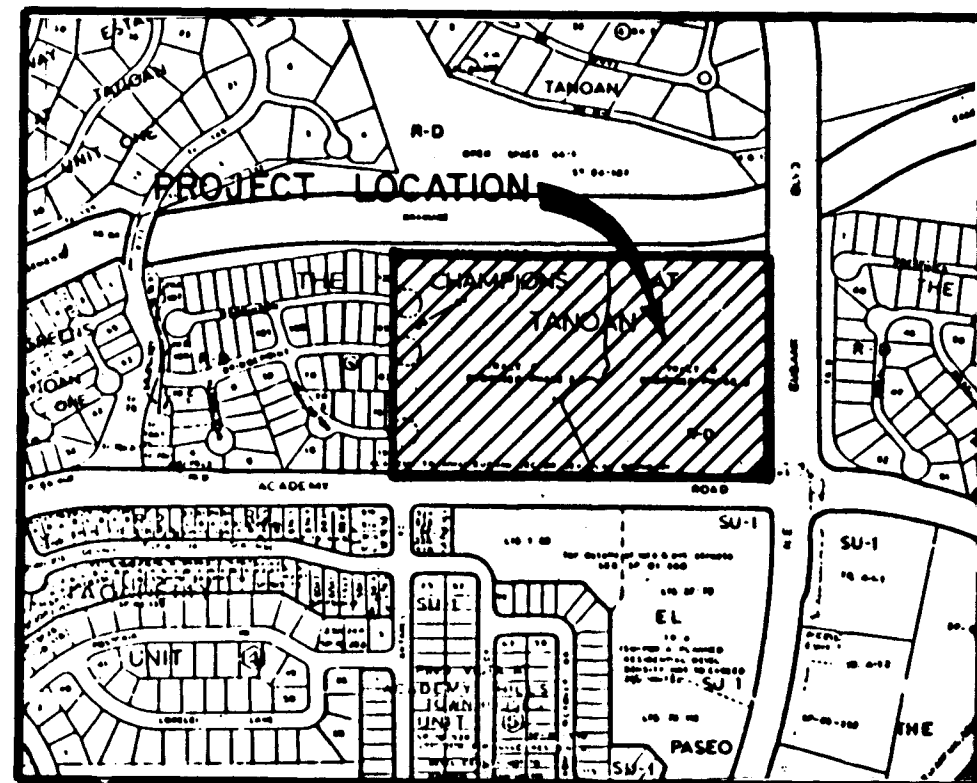
NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE (SEE PLANS).
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

SP 91102111070201



LOCATION MAP
ZONE ATLAS INDEX MAP NO. E-21
NOT TO SCALE

SUBDIVISION DATA

1. DRB Number 91-253.
2. Zone Atlas Index Number E-21.
3. Gross Subdivision Acreage: 18.0720 Acres.
4. Number of Lots Created: 70 Lots & 8 Tracts.
5. The purpose for the filing of this plat is to subdivide Tract G, THE CHAMPIONS AT TANOAN.
6. Dedicated Right-of-Way: None.
7. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
8. Distances are ground distances.
9. Date of Survey: July, 1986.

NOTES

1. DRAINAGE AND LANDSCAPING EASEMENTS: Tracts "A" and "C", drainage and landscape easements are private for the benefit of all owners of the subdivision or indicated on the plat for passage, containment, or diversion of surface and irrigation waters, and between individual property owners. Maintenance will be done by the Homeowners Association.
2. ACCESS EASEMENTS: The City of Albuquerque shall be granted an access easement over and across Tracts "F-1" and "F-2" for the purpose of allowing its various operating departments to provide service to residents of the subdivision in the same manner and to the same extent as though Tracts "F-1" and "F-2" were dedicated public streets. "Operating Departments" as referred to above shall include but shall not be limited to the department of the city providing the following services: (1) police protection; (2) fire protection; (3) water and sewer; (4) solid refuse and liquid disposal; (5) animal control; and (6) city planning functions. All owners of the subdivision shall be granted the right to access their property over and across Tracts "F-1" and "F-2". Maintenance will be done by the Homeowners Association.
3. In Tracts "F-1" and "F-2" the City of Albuquerque shall have a public easement to place, underground water and sanitary sewer lines. Gas Company of New Mexico, Public Service Company of New Mexico, and US West shall be granted the right to install perpendicular crossings to and from Utility Easements or where written approval has been obtained from the City of Albuquerque.
4. PEDESTRIAN EASEMENTS: Pedestrian easements are pedestrian ingress/egress easements for the benefit of all owners of the subdivision, and for perpendicular utility crossings. Maintenance will be done by the Homeowners Association.
5. Tracts "A" and "B" are for landscaping purposes and drainage purposes and for the use and enjoyment of all Homeowners. Tracts "A" and "B" maintenance will be done by the Homeowners Association.
6. PARKING: Parking areas will be included in Tracts "F-1" and "F-2" for parking only.
7. STREET ACCESS: Lots 13 thru 31 inclusive will have access from Bridgepointe only. Lots 1 thru 12 will have access from Greenview only. Lots 32 thru 40 will have access from Paddington only. Lots 41 thru 49 will have access from Briarcliff only. Lots 62 thru 67 will have access to Bridgepointe only. Lots 68 thru 70 will have access to Barrington only. Lots 50 thru 58 will have access to Wellington only.
8. Tract "D" is for private landscaping, public waterline and emergency access purposes. Maintenance will be done by the Homeowners Association.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are granted for the common joint use of:

- A. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- B. The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. US West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Jones Interchange for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electrical transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subterranean), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

SURVEYOR'S DESCRIPTION

A certain tract of land situated within the Elene Gallagos Grant, City of Albuquerque, Bernalillo County, New Mexico, said tract is also within projected Section 28, T11N, R4E, N.M.P.M., being TRACT G, CHAMPIONS AT TANOAN, PHASE I, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1987 in Volume C34, Folio 28 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at a point of curvature on a transition curve on the northerly right-of-way line of Academy Boulevard N.E., being the southeasterly corner of said TRACT G, whence the City of Albuquerque Survey Monument "B-521", having New Mexico State Plane Grid Coordinates (Central Zone) X=417,743.19, Y=11,531,546.84, bears S87°43'15"W a distance of 211.79 feet, thence running along the said northerly right-of-way line of Academy Boulevard N.E., N80°49'40"W a distance of 1055.67 feet to the southeasterly corner of said TRACT G, thence leaving said right-of-way and running along the westerly boundary line of said TRACT G, N00°10'12"E a distance of 112.00 feet to a point thence, N30°56'32"W a distance of 37.38 feet to a point thence, N00°10'12"E a distance of 116.44 feet to a point thence, S88°42'24"E a distance of 20.04 feet to a point thence, N01°17'36"E a distance of 113.31 feet to a point thence, N11°53'20"W a distance of 33.12 feet to a point thence, N03°02'20"E a distance of 127.84 feet to a point thence, N00°40'35"E a distance of 28.12 feet to a point thence, N00°32'15"W a distance of 125.94 feet to the northeasterly corner of said TRACT G, thence running along the northerly boundary line of said TRACT G, S81°53'24"E a distance of 48.97 feet to a point thence, S88°34'35"E a distance of 334.93 feet to a point thence, N89°27'45"E a distance of 777.64 feet to a point on the westerly right-of-way of Eubank Boulevard N.E., being the northeasterly corner of said TRACT G, thence running along said westerly right-of-way of Eubank Blvd. N.E., S00°10'12"W a distance of 358.00 feet to a point thence, S05°54'33"W a distance of 50.00 feet to a point thence, S00°10'12"W a distance of 187.87 feet to a point of curvature thence, 40.30 feet along the arc of a curve to the right having a radius of 142.00 feet and a chord bearing S08°18'00"W a distance of 40.16 feet to a point of tangency thence, S16°25'08"W a distance of 5.86 feet to a point of curvature thence, 54.33 feet along the arc of a curve to the right having a radius of 50.00 feet and a chord bearing S47°33'36"W a distance of 51.70 feet to a point of compound curvature thence, S81°11 feet along the arc of a curve to the right having a radius of 290.00 feet and a chord bearing S84°25'48"W a distance of 58.01 feet to the point and place of beginning.

TRACT G contains 18.0720 acres, more or less.

CURVE DATA

NUMBER	ARC	RADIUS	DELTA	CHORD	CHORD BEARING	TANGENT
C2	54.30	142.00	16°15'36"	40.16	S08°18'00"W	20.29
C3	58.11	290.00	62°15'36"	51.70	S47°33'36"W	30.20
C4	12.84	91.63	11°28'48"	58.01	S84°25'48"W	29.15
C5	18.18	24.37	42°44'31"	17.76	S76°28'41"E	6.43
C6	17.04	44.37	21°59'47"	16.93	S66°40'02"E	8.62
C7	31.53	44.37	40°42'18"	30.87	N81°58'55"E	16.46
C8	33.38	44.37	43°05'50"	32.60	N40°04'50"E	17.52
C9	32.55	44.37	42°01'17"	31.82	N02°28'43"W	17.04
C10	5.83	44.37	7°51'40"	5.83	N27°15'13"W	2.92
C11	18.22	24.37	42°49'28"	17.80	N09°36'29"W	9.56
C12	12.65	91.63	11°28'48"	12.84	N07°17'10"E	6.34
C13	38.17	24.37	89°45'11"	34.39	N48°11'25"E	24.26
C14	63.65	1016.63	3°35'15"	63.64	S88°44'38"E	31.84
C15	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C16	1.07	24.37	2°31'00"	1.07	S00°43'10"W	0.54
C17	20.31	24.37	47°44'24"	19.73	S25°50'58"W	10.79
C18	41.59	24.37	65°04'01"	39.39	S17°11'09"W	23.36
C19	24.82	36.63	38°49'54"	24.35	S34°45'48"E	12.91
C20	12.16	36.63	19°01'21"	12.10	S63°41'26"E	6.14
C21	30.67	36.63	47°58'44"	28.78	N82°48'31"E	16.30
C22	23.40	36.63	36°36'05"	23.00	N40°31'08"E	12.11
C23	15.25	36.63	20°57'44"	15.00	N32°52'35"E	7.88
C24	15.25	36.63	35°50'11"	15.00	N02°52'35"E	7.88
C25	6.13	24.37	14°25'15"	6.12	N07°44'55"W	3.08
C26	38.29	24.37	90°00'00"	34.47	N44°27'45"E	24.37
C27	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C28	6.13	24.37	14°25'15"	6.12	S06°40'24"W	3.08
C29	15.25	24.37	35°50'11"	15.00	S51°48'05"W	7.88
C30	46.67	36.63	73°00'43"	43.58	S13°12'48"W	27.11
C31	23.40	36.63	36°36'06"	23.00	S41°35'36"E	12.11
C32	39.22	36.63	61°21'08"	37.37	N89°25'47"E	21.73
C33	23.35	36.63	36°32'10"	22.96	N40°29'08"E	12.09
C34	16.10	36.63	20°57'44"	15.81	N14°17'19"W	7.88
C35	16.10	36.63	37°50'05"	15.81	N31°52'36"W	8.35
C36	5.28	24.37	12°25'20"	5.27	N06°44'58"W	2.65
C37	38.29	24.37	90°00'00"	34.47	N44°27'45"E	24.37
C38	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C39	21.38	24.37	50°15'24"	20.70	S24°53'27"W	11.43
C40	11.43	24.37	26°16'48"	11.43	S17°32'26"W	22.05
C41	27.80	36.63	43°29'03"	27.13	S36°22'50"E	14.61
C42	36.55	36.63	57°10'41"	35.05	S86°42'42"E	19.96
C43	38.34	36.63	58°58'30"	36.61	N34°42'43"E	21.13
C44	35.49	36.63	55°31'07"	34.12	N23°02'06"W	19.28
C45	24.37	36.63	50°15'26"	20.70	N25°39'59"W	11.43
C46	16.30	36.63	10°11'44"	16.28	N05°38'07"E	8.17
C47	47.14	91.63	29°28'31"	46.62	N25°28'15"W	24.10
C48	52.46	91.63	32°48'18"	51.75	N36°36'40"W	28.97
C49	28.02	91.63	17°31'26"	27.91	N81°46'32"W	14.12
C50	61.57	983.37	3°35'15"	61.56	N88°44'38"W	30.80
C51	38.41	24.37	90°16'48"	34.56	N41°48'36"W	24.49
C52	70.62	85.37	47°23'41"	68.63	N27°01'40"E	37.47
C53	57.72	85.37	38°44'15"	56.63	N70°05'38"E	30.01
C54	31.40	24.37	73°49'08"	29.28	S53°37'43"E	18.31
C55	49.92	36.63	78°05'51"	46.15	S55°46'05"E	29.71
C56	46.37	36.63	72°32'30"	43.33	N48°54'44"E	26.88
C57	85.95	36.63	103°10'40"	57.40	N38°56'53"W	46.19
C58	32.48	114.63	16°13'59"	32.37	S81°20'48"W	16.35
C59	28.49	114.63	14°44'21"	28.41	S85°51'36"W	14.83
C60	110.35	114.63	55°09'36"	106.14	S30°54'37"W	59.87
C61	28.38	24.37	66°42'14"	26.80	S36°40'56"W	16.04
C62	9.78	24.37	23°00'58"	9.73	S81°32'32"W	4.96
C63	38.41	24.37	90°16'49"	34.56	S41°48'35"E	24.49
C64	88.49	58.37	86°51'11"	80.26	S46°45'25"W	55.25
C65	5.24	24.37	12°18'44"	5.23	S77°50'07"E	2.63
C66	11.60	24.37	27°16'24"	11.49	S58°02'05"E	5.91
C67	54.31	36.63	84°57'55"	49.49	S86°52'50"E	33.54
C68	32.69	36.63	51°08'38"	31.62	N25°02'37"E	17.53
C69	10.49	36.63	16°24'29"	10.45	N08°42'38"W	5.28
C70	80.89	56.63	126°32'28"	65.42	N80°11'08"W	72.73
C71	18.69	24.37	43°56'29"	18.24	S58°30'52"W	9.63
C72	6.60	24.37	15°30'54"	6.58	S88°14'36"W	3.32
C73	56.85	75.00	43°25'35"	55.49	N88°28'13"E	29.87
C74	56.85	75.00	43°25'35"	55.49	N25°02'37"E	29.87
C75	113.69	75.00	86°51'11"	103.11	N46°45'25"E	70.99
C76	79.31	56.63	280°30'50"	46.83	N89°27'45"E	0.00
C77	21.38	24.37	50°15'26"	20.70	N25°39'59"W	11.43
C78	21.38	24.37	50°15'25"	20.70	S24°53'28"W	11.43
C79	179.31	36.63	280°30'51"	46.83	N89°27'45"E	0.00
C80	21.38	24.37	50°15'25"	20.70	N25°39'57"W	11.43
C81	143.92	81.63	90°00'00"	129.58	N45°32'15"W	91.62
C82	128.34	85.37	86°07'56"	116.60	N46°23'47"E	79.80
C83	162.25	36.63	253°49'04"	58.57	N36°22'19"E	0.00
C84	172.31	114.63	86°07'56"	156.54	S46°23'47"E	107.1
C85	38.17	24.37	89°43'11"	34.39	S48°11'25"W	24.26
C86	16.85	24.37	39°36'08"	16.51	S64°11'56"E	8.78
C87	178.38	36.63	278°03'30"	47.54	N43°55'37"W	93.47
C88	25.29	24.37	59°27'23"	24.17	S66°16'20"W	13.92
C89	50.33	100.00	06°07'56"	50.29	N36°54'27"E	25.00
C90	117.81	75.00	90°00'00"	106.07	S45°32'15"E	75.00
C91	41.43	50.00	47°28'24"	40.25	S40°10'00"W	21.99
C92	12.90	10.00	14°47'13"	12.87	S71°17'16"W	6.40
C93	62.61	1000.00	3°35'15"	62.60	S88°44'38"E	31.32
C94	120.32	44.37	155°20'52"	86.70	S46°39'24"W	203.08

SUBDIVISION PLAT MAP FOR KINGSWOOD AT TANOAN ALBUQUERQUE, NEW MEXICO OCTOBER, 1991

FREE CONSENT AND DEDICATION

The foregoing Replat of that certain tract of land situated within Bernalillo County, New Mexico, being Tract G, THE CHAMPIONS AT TANOAN PHASE I, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 13, 1987 in Volume C34 Folio 28, and now hereon shown and comprising Lots 1 thru 70, is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof, and said owner(s) and/or proprietor(s) do hereby grant all easements shown on this plat. Electrical Power and Communication easements are reserved for overhead distribution lines for pole type utilities and buried distribution lines, conduits, and pipes for underground utilities and other related equipment where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs.

DEVELOPMENT

Richard E. Leonard
Richard E. Leonard, President

State of New Mexico)

County of Bernalillo)

This instrument was acknowledged before me this 31st day of September, 1991, by Richard E. Leonard, President, of Kingswood Development, a corporation, on behalf of said corporation.

My Commission Expires: 30/09/94 *W. Blaine Gumbly*
Notary Public

APPROVALS

PLAT NUMBER _____

PLANNING DIRECTOR _____ DATE _____

CITY ENGINEER _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

TRAFFIC ENGINEER *David H. Hume* 10/19/91

CITY SURVEYOR *Bill Chitt* 10/21/91

PROPERTY MANAGER _____ DATE _____

UTILITY DEVELOPMENT DEPARTMENT *Robert W. Hane* 10-29-91

PARKS & RECREATION DEPARTMENT _____ DATE _____

PUBLIC SERVICE COMPANY OF NEW MEXICO *Donna Berg* 10-28-91

U.S. WEST COMMUNICATIONS *Donna Berg* 10-28-91

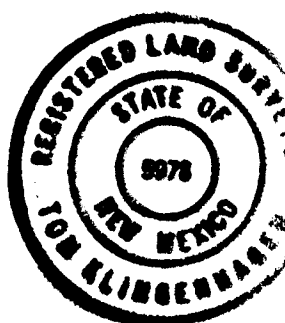
GAS COMPANY OF NEW MEXICO *Donna Berg* 10-22-91

BERNALILLO COUNTY TREASURER'S OFFICE *Chris Simpson* 10-24-91

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenberg, a registered Professional New Mexico Surveyor, certify that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Thomas G. Klingenberg
Thomas G. Klingenberg
New Mexico Surveyor 5578 Date: 10-21-91



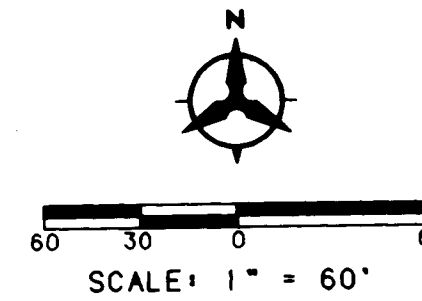
SHEET 1 OF 2 SHEETS

JOB NO. 9123182



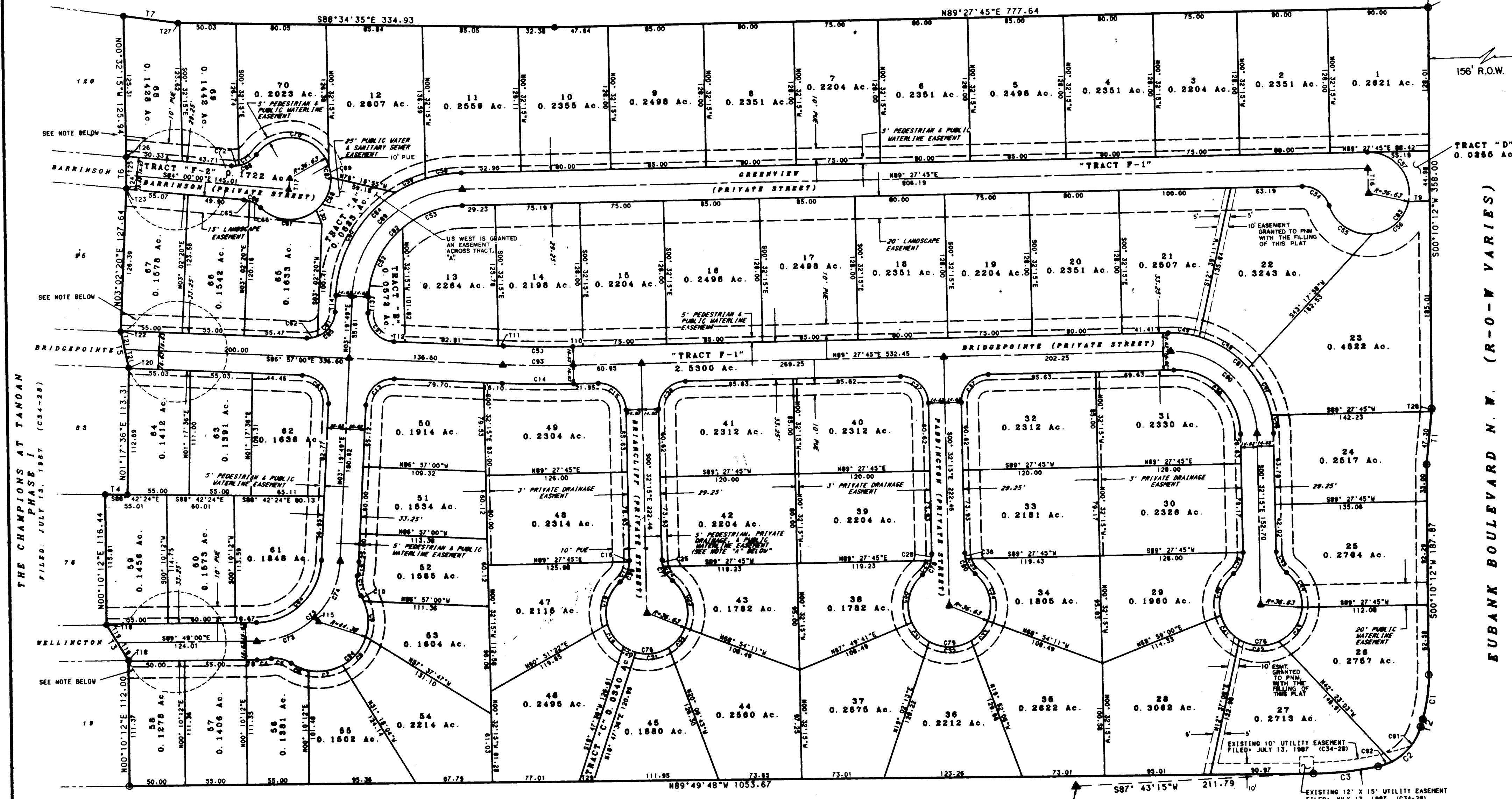
SUBDIVISION PLAT MAP
FOR
KINGSWOOD AT TANOAN
ALBUQUERQUE, NEW MEXICO
OCTOBER, 1991

NOTE: CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF FOUR-INCH (4") ALUMINUM CAP (WITH MAGNET ATTACHED) STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "P.L.S. NO. 5978".



OPEN SPACE 4-A-1
REVISION PLAT OF TANOAN PROPERTIES
FILED: MAY 7, 1985 (C37-37)

ACS Brass Tablet stamped "1-D22"
N.M. State Plane Coordinates (Central Zone)
X = 420,728.02 Y = 1,513,437.51
Ground-to-Grid Factor = 0.99963022
AOC = 00'09"10"
Elev. = 5791



NOTE: TEMPORARY TURNAROUND EASEMENTS
FILED: JULY 13, 1987 (C34-28)
VACATED BY VACATION ACTION V-91-37.

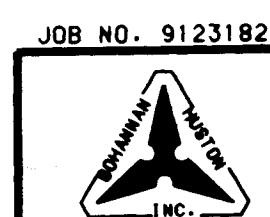
ACADEMY ROAD N.E. (106' R-O-W)

ACS Brass Tablet stamped "8-E21 1985"
N.M. State Plane Coordinates (Central Zone)
X = 417,743.19 Y = 1,511,546.84
Ground-to-Grid Factor = 0.9996350
AOC = 00'09"31"

NOTE: "A" THE "PRIVATE DRAINAGE EASEMENT" IS ADDED TO THE 5' PEDESTRIAN AND PUBLIC WATERLINE EASEMENT ALONG BRIARCLIFF ONLY.

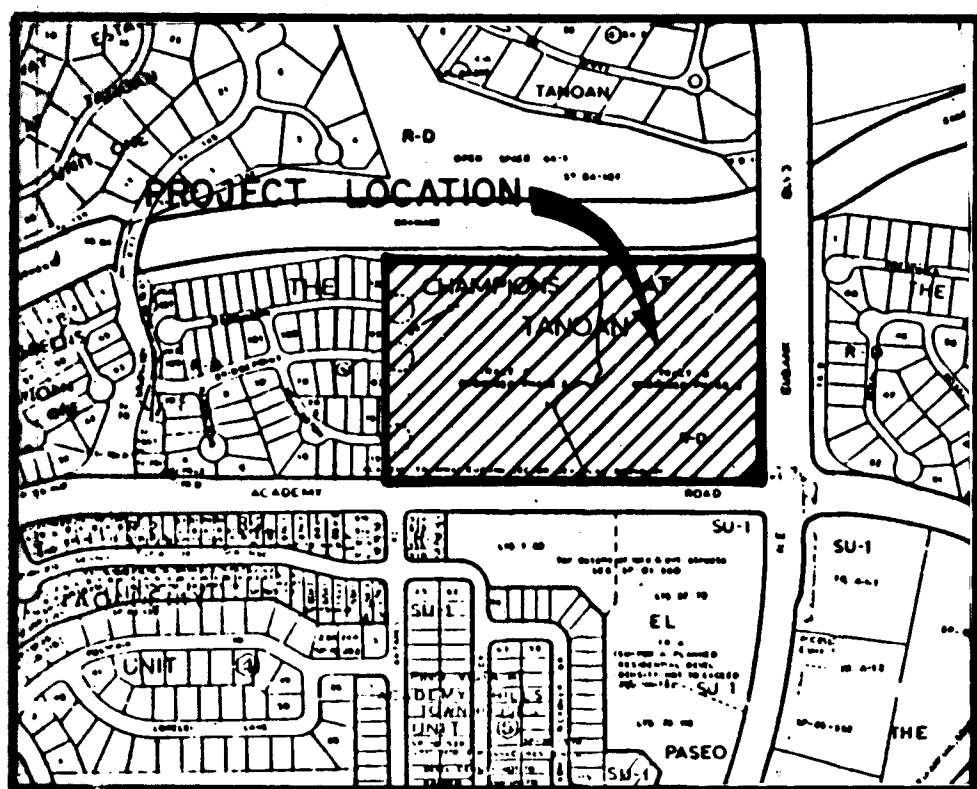
- LEGEND
- SET 5/8" REBAR WITH SURVEY CAP STAMPE "LS 5978"
 - ⊙ SET PK NAIL WITH SHINER
 - ▲ CITY OF ALBUQUERQUE CENTERLINE MONUMENT

SHEET 2 OF 2 SHEETS



SCANNED BY
BY LASON

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4853 9003 924



LOCATION MAP
ZONE ATLAS INDEX MAP NO. E-21
NOT TO SCALE

SUBDIVISION DATA

1. DBB Number 91-253.
2. Zone Atlas Index Map No. E-21.
3. Gross Subdivision Acreage: 18.0720 Acres.
4. Number of Lots Created: 70 Lots & 6 Tracts.
5. The purpose for the filing of this plat is to Subdivide Tract G.
6. Dedicated Right-of-Way: None.
7. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
8. Distances are ground distances.
9. Date of Survey: July, 1986.

NOTES

1. DRAINAGE AND LANDSCAPING EASEMENTS: Tracts "A" and "C", drainage and landscape easements are provided for the benefit of all owners of the subdivision or, indicated on the plat for passage, containment, or diversion of surface and irrigation waters, and between individual property owners. Maintenance will be done by the Homeowners Association.
2. ACCESS EASEMENTS: The City of Albuquerque shall be granted an access easement over and across Tracts "F-1" and "F-2" for the purpose of allowing the existing operating departments to provide service to residents of the subdivision in the same manner and to the same extent as though Tracts "F-1" and "F-2" were dedicated public streets. "Operating Departments" as referred to above shall include but shall not be limited to the department of the city providing the following services: (1) police protection; (2) fire protection; (3) water and sewer; (4) solid refuse and liquid disposal; (5) animal control; and (6) city planning functions. All owners of the subdivision shall be granted the right to access their property over and across Tracts "F-1" and "F-2". Maintenance will be done by the Homeowners Association.
3. In Tracts "F-1" and "F-2" the City of Albuquerque shall have a public easement to install, maintain, and operate water and sewer lines. Gas Company of New Mexico, Public Service Company of New Mexico, and US West shall be granted the right to install perpendicular crossings to and from Utility Easements, or where written approval has been obtained from the City of Albuquerque.
4. PEDESTRIAN EASEMENTS: Pedestrian easements are provided ingress/egress easements for the benefit of all owners of the subdivision, and for perpendicular utility crossings. Maintenance will be done by the Homeowners Association.
5. Tracts "A" and "B" are for landscaping purposes and drainage purposes only, for the use and enjoyment of all Homeowners. Tracts "A" and "B" maintenance will be done by the Homeowners Association.
6. PARKING: Parking area will be included in Tracts "F-1" and "F-2".
7. STREET ACCESS: Lots 13 thru 39 inclusive will have access from Bridgepointe only. Lots 1 thru 12 will have access from Greenview only. Lots 32 thru 40 will have access from Paddencliff only. Lots 41 thru 49 will have access from Briarcliff only. Lots 62 thru 67 will have access to Bridgepointe only. Lots 68 thru 70 will have access to Wellington only. Lots 50 thru 58 will have access to Wellington only.
8. Tract "D" is for private landscaping, public waterline and emergency access purposes. Maintenance will be done by the Homeowners Association.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are granted for the common joint use of:

- A. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- B. The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. US West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Jones Interchange for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subterranean), but tub, concrete or wood panel decking, or other structure shall be constructed or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

SURVEYOR'S DESCRIPTION

A certain tract of land situated within the Elene Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, said tract is also within projected Section 28, T11N, R4E, N.M.P.M., being TRACT G, CHAMPIONS AT TANOAN, PHASE 1, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1987 in Volume C34, Folio 28 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at a point of curvature on a transition curve on the northerly right-of-way line of Academy Boulevard N.E., being the southeasterly corner of said TRACT G, thence the City of Albuquerque Survey Monument "B-821", having New Mexico State Plane Grid Coordinates (Central Zone) X=417,743.19, Y=1,511,546.84, bears S87°43'15"W a distance of 211.79 feet; thence running along the said northerly right-of-way line of Academy Boulevard N.E.:

N89°49'48"W a distance of 1053.67 feet to the southeasterly corner of said TRACT G; thence leaving said right-of-way and running along the westerly boundary line of said TRACT G:

N00°10'12"E a distance of 112.00 feet to a point; thence:

N00°36'32"W a distance of 37.38 feet to a point; thence:

N00°10'12"E a distance of 118.44 feet to a point; thence:

S88°42'24"E a distance of 20.04 feet to a point; thence:

N01°17'36"E a distance of 113.31 feet to a point; thence:

N11°53'20"W a distance of 33.12 feet to a point; thence:

N00°30'20"E a distance of 127.64 feet to a point; thence:

N00°40'35"E a distance of 28.12 feet to a point; thence:

N00°32'15"W a distance of 125.94 feet to the northeasterly corner of said TRACT G; thence running along the northerly boundary line of said TRACT G:

S81°53'24"E a distance of 48.97 feet to a point; thence:

S88°34'35"E a distance of 334.93 feet to a point; thence:

N89°27'45"E a distance of 777.64 feet to a point on the westerly right-of-way of Eubank Boulevard N.E., being the northeasterly corner of said TRACT G; thence running along said westerly right-of-way of Eubank Blvd. N.E.:

S00°10'12"W a distance of 558.00 feet to a point; thence:

S05°54'33"W a distance of 50.00 feet to a point; thence:

S00°10'12"W a distance of 187.87 feet to a point of curvature; thence:

40.30 feet along the arc of a curve to the right having a radius of 142.00 feet and a chord bearing S08°18'00"W a distance of 40.16 feet to a point of tangency; thence:

S16°25'48"W a distance of 6.86 feet to a point of curvature; thence:

S44°33'36"W a distance of 51.70 feet to a point of compound curvature; thence:

S81°10'12"E a distance of 290.00 feet to a point of tangency; thence:

S84°25'48"W a distance of 58.01 feet to the point and place of beginning.

TRACT G contains 18.0720 acres, more or less.

CURVE DATA

NUMBER	ARC	RADIUS	DELTA	CHORD	CHORD BEARING	TANGENT
C01	40.30	142.00	16°15'36"	40.16	S08°18'00"W	20.29
C02	54.33	50.00	62°15'36"	51.70	S05°54'33"W	30.20
C03	58.11	290.00	11°28'48"	58.01	S84°25'48"W	29.15
C04	6.86	91.63	8°01'48"	12.83	N89°10'06"E	6.43
C05	18.18	24.37	42°44'31"	17.76	S76°28'41"E	9.54
C06	17.04	44.37	21°59'47"	16.93	S86°40'02"E	8.62
C07	31.53	44.37	40°42'18"	32.60	N00°04'50"E	16.46
C08	33.38	44.37	43°05'50"	32.60	N00°04'50"E	17.52
C09	33.55	34.37	42°01'17"	32.60	N00°04'50"E	17.04
C10	5.93	44.37	7°31'40"	5.83	N27°15'13"W	2.92
C11	18.22	24.37	42°49'28"	17.80	N09°36'29"W	9.56
C12	12.65	91.63	7°54'40"	12.64	N07°17'10"E	6.34
C13	38.17	24.37	89°43'11"	34.39	N48°11'25"E	24.26
C14	65.65	1016.63	3°55'15"	65.64	S88°44'38"E	31.84
C15	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C16	1.07	24.37	2°31'00"	1.07	S00°43'10"W	0.54
C17	20.34	24.37	47°44'24"	19.73	S25°50'58"W	10.79
C18	41.59	36.63	65°04'03"	39.39	S17°11'09"W	25.36
C19	24.82	36.63	38°49'54"	24.35	S34°45'48"E	12.91
C20	12.16	36.63	19°01'21"	12.10	S63°41'26"E	6.14
C21	30.67	36.63	47°58'44"	29.78	N82°48'31"E	16.30
C22	23.40	36.63	36°36'05"	23.00	N40°31'08"E	12.11
C23	12.65	36.63	7°54'40"	12.64	N07°17'10"E	6.34
C24	15.25	24.37	35°50'11"	15.00	N32°52'35"W	7.88
C25	6.12	24.37	14°25'20"	6.12	N07°44'55"W	3.08
C26	38.29	24.37	90°00'00"	34.47	N44°27'45"E	24.37
C27	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C28	6.12	24.37	14°25'20"	6.12	S06°40'24"W	3.08
C29	15.25	24.37	35°50'11"	15.00	S31°48'05"W	7.88
C30	46.67	36.63	73°00'43"	43.58	S13°12'45"W	27.11
C31	40.30	142.00	16°15'36"	40.16	S08°18'00"W	20.29
C32	54.33	50.00	62°15'36"	51.70	S05°54'33"W	30.20
C33	58.11	290.00	11°28'48"	58.01	S84°25'48"W	29.15
C34	6.86	91.63	8°01'48"	12.83	N89°10'06"E	6.43
C35	18.18	24.37	42°44'31"	17.76	S76°28'41"E	9.54
C36	17.04	44.37	21°59'47"	16.93	S86°40'02"E	8.62
C37	31.53	44.37	40°42'18"	32.60	N00°04'50"E	16.46
C38	33.38	44.37	43°05'50"	32.60	N00°04'50"E	17.52
C39	33.55	34.37	42°01'17"	32.60	N00°04'50"E	17.04
C40	5.93	44.37	7°31'40"	5.83	N27°15'13"W	2.92
C41	18.22	24.37	42°49'28"	17.80	N09°36'29"W	9.56
C42	12.65	91.63	7°54'40"	12.64	N07°17'10"E	6.34
C43	38.17	24.37	89°43'11"	34.39	N48°11'25"E	24.26
C44	65.65	1016.63	3°55'15"	65.64	S88°44'38"E	31.84
C45	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C46	1.07	24.37	2°31'00"	1.07	S00°43'10"W	0.54
C47	20.34	24.37	47°44'24"	19.73	S25°50'58"W	10.79
C48	41.59	36.63	65°04'03"	39.39	S17°11'09"W	25.36
C49	24.82	36.63	38°49'54"	24.35	S34°45'48"E	12.91
C50	12.16	36.63	19°01'21"	12.10	S63°41'26"E	6.14
C51	30.67	36.63	47°58'44"	29.78	N82°48'31"E	16.30
C52	23.40	36.63	36°36'05"	23.00	N40°31'08"E	12.11
C53	12.65	36.63	7°54'40"	12.64	N07°17'10"E	6.34
C54	15.25	24.37	35°50'11"	15.00	N32°52'35"W	7.88
C55	6.12	24.37	14°25'20"	6.12	N07°44'55"W	3.08
C56	38.29	24.37	90°00'00"	34.47	N44°27'45"E	24.37
C57	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C58	6.12	24.37	14°25'20"	6.12	S06°40'24"W	3.08
C59	15.25	24.37	35°50'11"	15.00	S31°48'05"W	7.88
C60	46.67	36.63	73°00'43"	43.58	S13°12'45"W	27.11
C61	40.30	142.00	16°15'36"	40.16	S08°18'00"W	20.29
C62	54.33	50.00	62°15'36"	51.70	S05°54'33"W	30.20
C63	58.11	290.00	11°28'48"	58.01	S84°25'48"W	29.15
C64	6.86	91.63	8°01'48"	12.83	N89°10'06"E	6.43
C65	18.18	24.37	42°44'31"	17.76	S76°28'41"E	9.54
C66	17.04	44.37	21°59'47"	16.93	S86°40'02"E	8.62
C67	31.53	44.37	40°42'18"	32.60	N00°04'50"E	16.46
C68	33.38	44.37	43°05'50"	32.60	N00°04'50"E	17.52
C69	33.55	34.37	42°01'17"	32.60	N00°04'50"E	17.04
C70	5.93	44.37	7°31'40"	5.83	N27°15'13"W	2.92
C71	18.22	24.37	42°49'28"	17.80	N09°36'29"W	9.56
C72	12.65	91.63	7°54'40"	12.64	N07°17'10"E	6.34
C73	38.17	24.37	89°43'11"	34.39	N48°11'25"E	24.26
C74	65.65	1016.63	3°55'15"	65.64	S88°44'38"E	31.84
C75	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C76	1.07	24.37	2°31'00"	1.07	S00°43'10"W	0.54
C77	20.34	24.37	47°44'24"	19.73	S25°50'58"W	10.79
C78	41.59	36.63	65°04'03"	39.39	S17°11'09"W	25.36
C79	24.82	36.63	38°49'54"	24.35	S34°45'48"E	12.91
C80	12.16	36.63	19°01'21"	12.10	S63°41'26"E	6.14
C81	30.67	36.63	47°58'44"	29.78	N82°48'31"E	16.30
C82	23.40	36.63	36°36'05"	23.00	N40°31'08"E	12.11
C83	12.65	36.63	7°54'40"	12.64	N07°17'10"E	6.34
C84	15.25	24.37	35°50'11"	15.00	N32°52'35"W	7.88
C85	6.12	24.37	14°25'20"	6.12	N07°44'55"W	3.08
C86	38.29	24.37	90°00'00"	34.47	N44°27'45"E	24.37
C87	38.29	24.37	90°00'00"	34.47	S45°32'15"E	24.37
C88	6.12	24.37	14°25'20"	6.12	S06°40'24"W	3.08
C89	15.25	24.37	35°50'11"	15.00	S31°48'05"W	7.88
C90	46.67	36.63	73°00'43"	43.58	S13°12'45"W	27.11
C91	40.30	142.00	16°15'36"	40.16	S08°18'00"W	20.29
C92	54.33	50.00	62°15'36"	51.70	S05°54'33"W	30.20
C93	58.11	290.00	11°28'48"	58.01	S84°25'48"W	29.15
C94	6.86	91.63	8°01'48"	12.83	N89°10'06"E	6.43
C95	18.18	24.37	42°44'31"	17.76	S76°28'41"E	9.54
C96	17.04	44.37	21°59'47"	16.93	S86°40'02"E	8.62
C97	31.53	44.37	40°42'18"	32.60	N00°04'50"E	16.46
C98	33.38	44.37	43°05'50"	32.60	N00°04'50"E	17.52
C99	33.55	34.37	42°01'17"	32.60	N00°04'50"E	17.04
C100	5.93	44.37	7°31'40"	5.83	N27°15'13"W	2.92

TANGENT DATA

NUMBER	BEARING	DISTANCE
1	S05°54'33"W	50.00
2	S16°25'48"W	6.86
3	N03°06'32"W	37.38
4	S88°42'24"E	20.04
5	N11°53'20"W	33.12
6	N00°40'35"E	28.12
7	N81°53'24"E	48.97
8	S89°49'48"W	9.35
9	N89°27'45"E	18.97
10	S89°27'45"W	9.03
11	N88°57'00"W	4.63
12	N88°57'00"W	9.96
13	N03°19'49"E	14.42
14	S03°19'48"W	14.81
15	S43°14'35"E	5.20
16	S00°32'14"E	22.00
17	N06°00'00"E	0.00
18	N00°10'12"E	0.00
19	N00°56'32"W	18.69
20	N01°17'36"E	0.63
21	N11°53'20"W	6.56
22	N03°02'20"E	0.63
23	N00°40'35"E	12.05
24	N00°40'35"E	16.07
25	N00°32'15"W	0.63
26	S89°34'34"E	1.58
27	S05°54'33"W	2.70
28	N89°49'48"W	12.66
29	S21°07'37"E	13.36

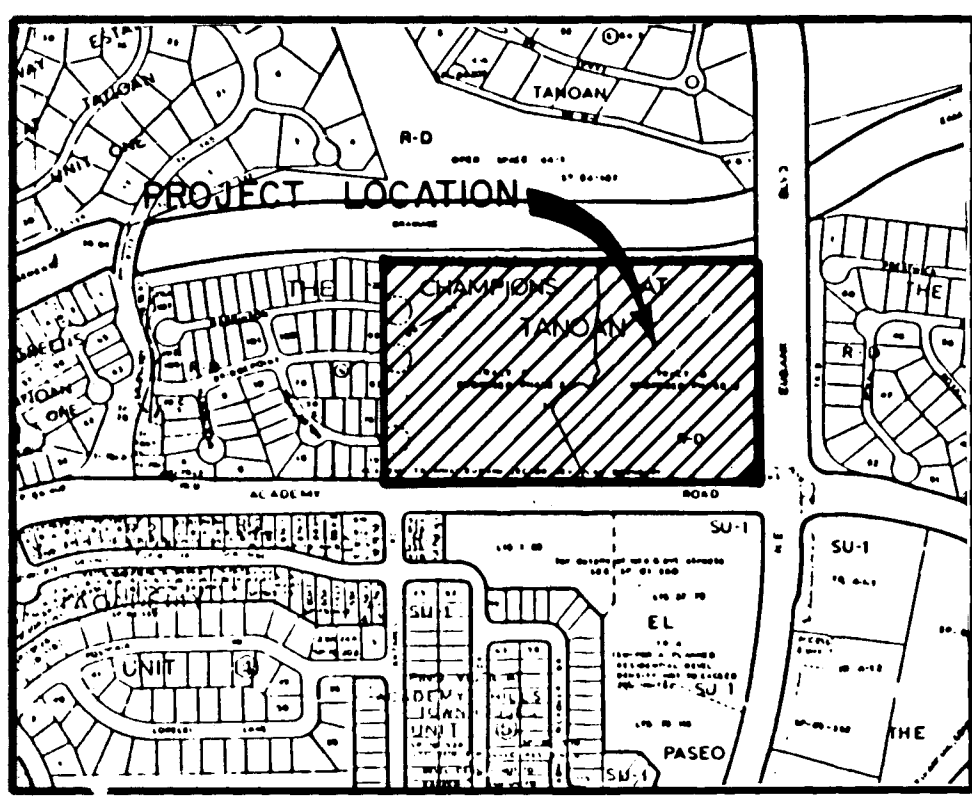
91095992 SUBDIVISION PLAT MAP FOR KINGWOOD AT TANOAN ALBUQUERQUE, NEW MEXICO OCTOBER, 1991

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situated within Bernalillo County, New Mexico, being Tract G, THE CHAMPIONS AT TANOAN PHASE 1, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 13, 1987 in Volume C34 Folio 28, and now herein shown and comprising Lots 1 thru 70, is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof, and said owner(s) and/or proprietor(s) do hereby grant all easements shown on this plat. Electrical Power and Communication easements are reserved for overhead distribution lines for pole type utilities and buried distribution lines, conduits, and pipes for underground utilities and other related equipment shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs.

DEVELOPMENT
Richard E. Leonard
Richard E. Leonard, President
State of New Mexico)
County of

SP 9102111070201



LOCATION MAP
ZONE ATLAS INDEX MAP NO. E-21
NOT TO SCALE

SUBDIVISION DATA

- DRB Number 91-253.
- Zone Atlas Index Number E-21.
- Grass Subdivision Area 18,0720 Acres.
- Number of Lots Created: 70 Lots & 6 Tracts.
- The CHAMPIONS AT TANOAN.
- Dedicated Right-of-Way None.
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Date of Survey: July, 1986.

NOTES

- DRAINAGE AND LANDSCAPING EASEMENTS:** Tracts "A" and "C", drainage and landscaping easements are private. For the benefit of all owners of the subdivision, or indicated on the plat for passage, containment, or diversion of surface and subsurface water, and between adjacent property owners. Maintenance will be done by the Homeowners Association.
- ACCESS EASEMENTS:** The City of Albuquerque shall be granted an access easement over and across Tracts "F-1" and "F-2" for the purpose of allowing its various operating departments to provide service to residents of the subdivision in the same manner and to the same extent as though Tracts "F-1" and "F-2" were dedicated public streets. "Operating Departments" as referred to above shall include but shall not be limited to the department of the city providing the following services: (1) police protection; (2) fire protection; (3) water and sewer; (4) solid waste and refuse disposal; (5) animal control; and (6) city planning functions. All owners of the subdivision shall be granted the right to access their property over and across Tracts "F-1" and "F-2". Maintenance will be done by the Homeowners Association.
- IN TRACTS "F-1" AND "F-2" THE CITY OF ALBUQUERQUE SHALL HAVE A PUBLIC EASEMENT TO PLACE UNDERGROUND WATER AND SANITARY SEWER LINES.** Gas Company of New Mexico, Public Service Company of New Mexico, and US West shall be granted the right to install perpendicular crossings and from utility easements or where written approval has been obtained from the City of Albuquerque.
- PEDESTRIAN EASEMENTS:** Pedestrian easements are pedestrian ingress/egress easements for the benefit of all owners of the subdivision and for perpendicular utility crossings. Maintenance will be done by the Homeowners Association.
- TRACTS "A" AND "C" ARE FOR LANDSCAPING PURPOSES AND DRAINAGE PURPOSES AND, FOR THE USE AND ENJOYMENT OF ALL HOMEOWNERS.** Tracts "A" and "C" maintenance will be done by the Homeowners Association.
- PARKING:** Parking areas will be included in Tracts "F-1" and "F-2" for "intermittent" parking only.
- STREET ACCESS:** Lots 13 thru 31 inclusive will have access from Bridgepointe only. Lots 1 thru 12 will have access from Greenville only. Lots 32 thru 40 will have access from Peddington only. Lots 41 thru 49 will have access from Briarcliff only. Lots 52 thru 67 will have access to Bridgepointe only. Lots 68 thru 70 will have access to Peddington only. Lots 50 thru 51 will have access to Wellington only.
- TRACT "D"** is for private landscaping, public waterline and emergency access purposes. Maintenance will be done by the Homeowners Association.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are granted for the common joint use of:

- The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- US West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- James Interchange for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included in the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, add, fix, renew, operate, and maintain facilities for the purposes described above, together with fees, easements, and other access easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, above ground or subterranean, hot tub, concrete or wood pool deck, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Code caused by construction of pools, decks, or any structures adjacent to or near easements shown on this plat.

LASON 1-505-344-9404
BEST COPY AVAILABLE

SURVEYOR'S DESCRIPTION

A certain tract of land situated within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, said tract is also within projected Section 28, T11N, R4E, N.M.P.M., being TRACT G, CHAMPIONS AT TANOAN, PHASE 1, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1987 in Volume C34, folio 28 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at a point of curvature on a transition curve on the northerly right-of-way line of Academy Boulevard N.E. being the southeasterly corner of said TRACT G, whence the City of Albuquerque Survey Monument "B-E21", having New Mexico State Plane Grid Coordinates (Central Zone) X=417,743.19, Y=1,511,546.84, bears S87°43'15"W a distance of 211.79 feet; thence running along the said northerly right-of-way line of Academy Boulevard N.E.:

N89°49'48"W a distance of 1053.67 feet to the southeasterly corner of said TRACT G; thence leaving said point of curvature on a transition curve on the northerly right-of-way line of said TRACT G:

N00°10'12"E a distance of 112.00 feet to a point thence;

N30°56'32"W a distance of 37.38 feet to a point thence;

N00°10'12"E a distance of 118.44 feet to a point thence;

S88°42'24"E a distance of 20.04 feet to a point thence;

N11°17'56"E a distance of 113.31 feet to a point thence;

N11°17'56"E a distance of 113.31 feet to a point thence;

N00°40'35"E a distance of 28.12 feet to a point thence;

N00°32'15"W a distance of 125.94 feet to a point thence;

N00°40'35"E a distance of 28.12 feet to the northeasterly corner of said TRACT G; thence running along the northerly boundary line of said TRACT G:

S81°53'24"E a distance of 48.97 feet to a point thence;

S88°34'35"E a distance of 334.93 feet to a point thence;

N89°27'45"E a distance of 777.64 feet to a point on the westerly right-of-way of Eubank Boulevard N.E. being the northeasterly corner of said TRACT G; thence running along said westerly right-of-way of Eubank Blvd. N.E.:

S00°10'12"W a distance of 358.00 feet to a point thence;

S05°54'33"W a distance of 50.00 feet to a point thence;

S00°10'12"W a distance of 187.87 feet to a point of curvature thence;

40.30 feet along the right-of-way curve to the right having a radius of 42.00 feet and a chord bearing S16°25'48"W a distance of 6.86 feet to a point of curvature thence;

S4°33'16"E a distance of 50.00 feet to the right having a radius of 50.00 feet and a chord bearing S47°33'36"W a distance of 51.70 feet to a point of compound curvature thence;

S8.11 feet along the arc of a curve to the right having a radius of 290.00 feet and a chord bearing S84°25'48"W a distance of 38.01 feet to the point and place of beginning.

TRACT G contains 18,0720 acres, more or less.

CURVE DATA

NUMBER	ARC	RADIUS	DELTA	CHORD	CHORD BEARING	TANGENT
C1	40.30	142.00	16°15'36"	40.16	S08°11'36"W	20.29
C2	24.33	50.00	62°15'36"	51.70	S47°33'36"W	30.20
C3	58.11	290.00	11°28'48"	58.01	S84°25'48"W	29.15
C4	2.84	91.63	89°01'48"	12.83	N86°10'08"E	6.23
C5	18.18	24.37	42°44'31"	17.76	S76°28'41"E	9.54
C6	17.04	44.37	21°59'47"	16.93	S66°40'02"E	8.62
C7	11.53	24.37	40°42'18"	10.87	N81°58'55"E	14.46
C8	33.38	44.37	43°05'50"	32.60	N40°04'50"E	17.52
C9	32.55	44.37	42°01'17"	31.82	N02°28'43"W	17.04
C10	5.85	44.37	7°31'40"	5.83	N02°15'17"W	2.92
C11	18.22	24.37	42°49'28"	17.80	N03°36'29"W	9.56
C12	12.65	91.63	7°34'26"	12.64	N02°17'10"E	6.34
C13	38.17	24.37	89°43'11"	34.59	N48°11'25"E	24.26
C14	63.65	1016.63	3°35'15"	63.64	S88°44'38"E	31.84
C15	38.29	24.37	90°00'00"	34.67	S45°32'15"E	24.37
C16	1.07	24.37	2°31'00"	1.07	S00°43'10"W	0.54
C17	20.31	24.37	47°44'24"	19.73	S25°50'58"W	10.79
C18	41.50	36.63	65°04'03"	39.39	S11°11'00"E	23.36
C19	24.82	36.63	38°49'54"	24.35	S34°45'48"E	12.91
C20	12.16	36.63	19°01'21"	12.10	S65°41'26"E	6.14
C21	30.67	36.63	47°58'44"	28.78	N82°48'31"E	23.05
C22	23.40	36.63	36°36'05"	23.00	N40°31'08"E	13.11
C23	12.16	36.63	19°01'21"	12.10	S65°41'26"E	6.14
C24	15.25	24.37	53°50'11"	15.00	N32°52'55"W	7.88
C25	6.13	24.37	14°25'15"	6.12	N07°44'55"W	3.08
C26	38.29	24.37	90°00'00"	34.67	S45°32'15"E	24.37
C27	38.29	24.37	90°00'00"	34.67	S45°32'15"E	24.37
C28	6.13	24.37	14°25'15"	6.12	S06°40'24"W	3.08
C29	15.25	24.37	53°50'11"	15.00	S31°48'05"W	7.88
C30	46.67	36.63	73°00'43"	43.58	S13°12'47"W	27.11
C31	23.40	36.63	36°36'05"	23.00	S31°48'05"W	12.91
C32	12.16	36.63	19°01'21"	12.10	S65°41'26"E	6.14
C33	23.35	36.63	61°21'08"	22.96	N89°25'47"E	21.73
C34	45.67	36.63	73°00'44"	43.58	N40°29'08"E	12.09
C35	16.10	24.37	37°50'05"	15.81	N31°52'36"W	8.35
C36	5.28	24.37	12°25'20"	5.27	N06°44'58"W	2.65
C37	31.70	24.37	53°50'11"	31.47	S00°00'00"W	24.37
C38	31.70	58.37	90°00'00"	82.55	S45°32'15"E	58.37
C39	21.38	24.37	50°15'24"	20.70	S22°12'47"W	11.43
C40	41.50	36.63	64°21'08"	39.39	N82°48'31"E	23.05
C41	27.80	36.63	43°29'03"	27.13	S36°22'50"E	14.61
C42	28.38	36.63	51°10'41"	26.80	S84°49'15"W	16.04
C43	38.34	36.63	59°58'30"	36.61	N34°42'33"E	21.13
C44	35.49	36.63	53°11'07"	34.12	N23°02'06"W	19.28
C45	11.37	36.63	50°15'26"	11.38	N06°44'58"W	5.71
C46	16.30	91.63	10°11'44"	16.28	N03°38'07"W	8.17
C47	47.14	91.63	29°28'31"	46.62	N25°58'15"W	24.10
C48	12.45	91.63	32°48'18"	12.45	N08°36'40"W	6.37
C49	28.02	91.63	17°31'26"	27.91	N81°46'32"W	14.12
C50	61.57	983.37	3°15'15"	61.56	N07°05'38"E	30.01
C51	38.41	24.37	90°49'49"	34.56	N41°48'36"W	24.49
C52	70.62	85.37	47°23'41"	68.63	N27°01'40"E	37.47
C53	67.72	85.37	38°44'15"	56.63	N70°05'38"E	30.01
C54	31.40	24.37	73°49'05"	29.28	S53°37'43"E	18.31
C55	49.92	36.63	78°05'51"	46.15	S55°46'05"E	29.71
C56	36.37	36.63	72°32'30"	33.33	N48°14'44"E	26.88
C57	65.95	36.63	103°10'43"	57.40	N38°56'53"W	46.19
C58	32.48	114.63	16°13'59"	32.37	S81°20'46"W	16.35
C59	29.49	114.63	14°44'21"	29.41	S65°31'36"W	14.83
C60	110.35	114.63	55°09'36"	106.14	S30°54'37"W	59.87
C61	28.38	24.37	56°42'14"	26.80	S36°40'56"W	16.04
C62	9.79	24.37	23°00'58"	9.73	S81°32'32"W	4.96
C63	38.41	24.37	90°49'49"	34.56	S41°48'35"E	24.49
C64	88.49	58.37	86°51'11"	80.26	S46°45'25"W	55.25
C65	5.24	24.37	12°19'44"	5.23	S77°50'07"E	2.63
C66	11.60	24.37	27°16'24"	11.49	S58°02'05"E	5.91
C67	14.31	36.63	44°57'55"	14.31	S25°02'50"E	7.34
C68	32.69	36.63	51°08'38"	31.62	N25°03'54"E	17.53
C69	0.16	24.37	16°24'29"	0.16	N45°25'25"E	0.00
C70	80.89	36.63	126°32'28"	65.42	N80°11'08"W	72.73
C71	18.69	24.37	43°56'29"	18.24	S58°30'52"W	9.83
C72	6.50	24.37	15°30'54"	6.58	S88°14'36"W	3.32
C73	56.85	75.00	43°25'35"	55.49	N88°28'13"E	29.87
C74	56.85	75.00	43°25'35"	55.49	N25°02'37"E	29.87
C75	113.75	75.00	86°51'11"	103.11	N45°45'25"E	70.45
C76	179.31	36.63	280°30'50"	46.83	N89°27'45"E	0.00
C77	21.38	24.37	50°15'26"	20.70	N25°58'15"W	11.43
C78	21.38	24.37	50°15'26"	20.70	N25°58'15"W	11.43
C79	179.31	36.63	280°30'51"	46.83	N89°27'45"E	0.00
C80	21.38	24.37	50°15'26"	20.70	N25°58'15"W	11.43
C81	143.92	91.63	90°00'00"	129.58	N45°32'15"W	91.62
C82	128.34	85.37	86°07'56"	116.60	N46°23'47"E	79.80
C83	162.25	36.63	251°49'04"	58.57	N35°22'18"E	0.00
C84	172.31	114.63	86°07'56"	156.54	S46°23'47"E	107.14
C85	38.78	24.37	89°43'11"	34.59	S48°11'25"W	24.26
C86	16.24	24.37	36°36'05"	16.21	S64°11'56"E	8.78
C87	178.38	36.63	279°03'30"	47.54	N03°55'37"W	0.00
C88	25.29	24.37	59°27'23"	25.27	S86°16'20"W	12.91
C89	150.35	100.00	86°07'56"	136.57	N46°23'47"E	93.47
C90	117.81	75.00	90°00'00"	106.07	S45°32'15"E	75.00
C91	61.57	983.37	3°15'15"	61.56	N07°05'38"E	30.01
C92	12.90	50.00	14°47'13"	12.87	S71°17'48"W	6.49
C93	62.61	1000.00	3°35'15"	62.60	S88°44'38"E	31.84
C94	120.32	44.37	155°20'52"	86.70	S46°59'24"W	203.08

91095992

SUBDIVISION PLAT MAP

FOR

KINGSWOOD AT TANOAN

ALBUQUERQUE, NEW MEXICO

OCTOBER, 1991

FREE CONSENT AND DEDICATION

The foregoing plat of the certain tract of land situated within Bernalillo County, New Mexico, being Tract G, THE CHAMPIONS AT TANOAN PHASE 1, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 13, 1987 in Volume C34 Folio 28, and now shown and comprising Lots 1 thru 70, is with free consent and in accordance with the desires of the undersigned owner(s), developer(s), contractor(s), and said owner(s) and/or proprietor(s) do hereby grant all easements shown on this plat. Electrical Power and Communication easements are reserved for overhead distribution lines for pole top utilities and buried distribution lines, conduits, and pipes for underground utilities and other related equipment where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs.

DEVELOPER
Richard E. Leonard
Richard E. Leonard, President
State of New Mexico
County of Bernalillo

This instrument was acknowledged before me, this 21st day of September, 1991 by Richard E. Leonard, President, a corporation, on behalf of said corporation.
My Commission Expires **21/9/1994 W. Blaine Gentry**
Notary Public

APPROVALS

PLAT NUMBER **S-91-14**

Frank Cloud 11-19-91
ENGINEER DATE

Frank Cloud 11-18-91
ENGINEER DATE

David W. Hanson 10/24/91
TRAFFIC ENGINEER DATE

Robert W. Hanson 10/29/91
PROPERTY MANAGEMENT DATE

Robert W. Hanson 10/29/91
UTILITY DEVELOPMENT DEPARTMENT DATE

Robert W. Hanson 10/29/91
PARKS & RECREATION DEPARTMENT DATE

Robert W. Hanson 10/28/91
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE

Robert W. Hanson 11-28-91
U.S. WEST COMMUNICATIONS DATE

Robert W. Hanson 10-22-91
GAS COMPANY OF NEW MEXICO DATE

Robert W. Hanson 10-24-91
BERNALILLO COUNTY TREASURER'S OFFICE DATE

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenberg, a registered Professional New Mexico Surveyor, certify that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation on surveys contained in the Albuquerque Subdivision Ordinance, and is a true and accurate to the best of my knowledge and belief.

Thomas G. Klingenberg
New Mexico Surveyor 5978 Date: **10-1-91**



SHEET 1 OF 2 SHEETS

JOB NO. 9123182



91095992

SUBDIVISION PLAT MAP

FOR

KINGSWOOD AT TANOAN

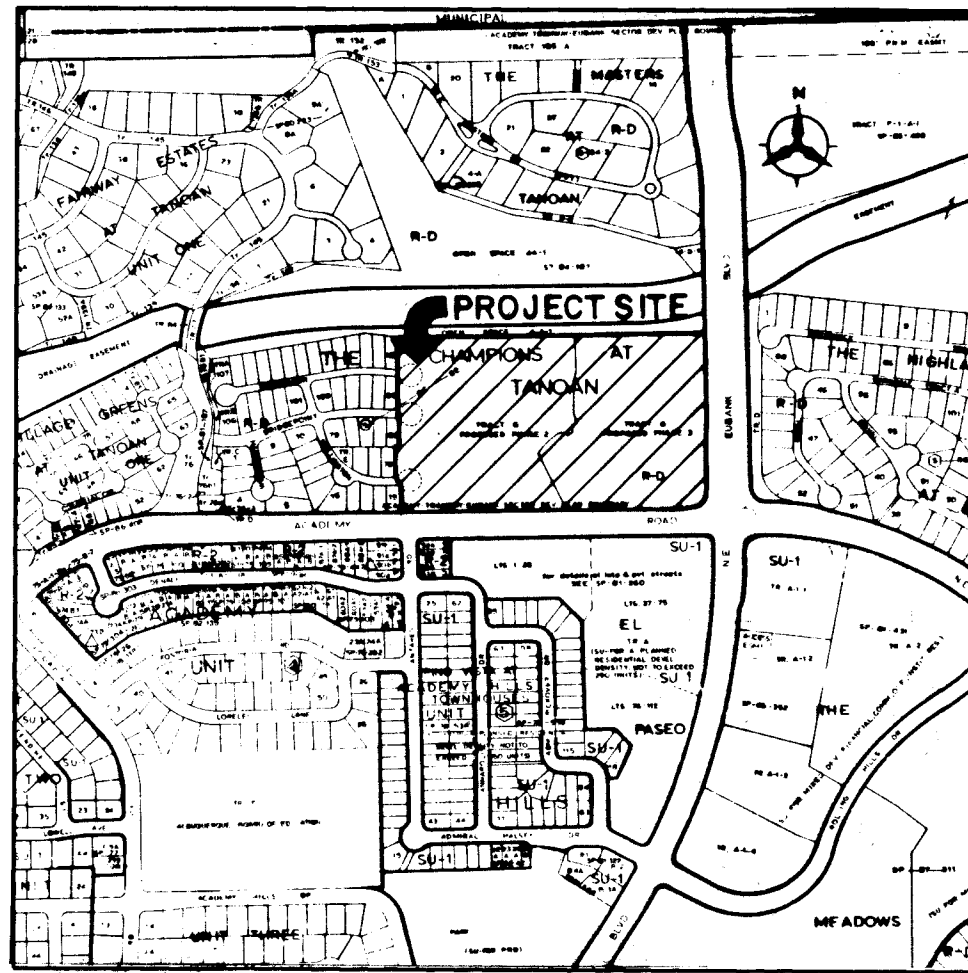
ALBUQUERQUE, NEW MEXICO

OCTOBER, 1991

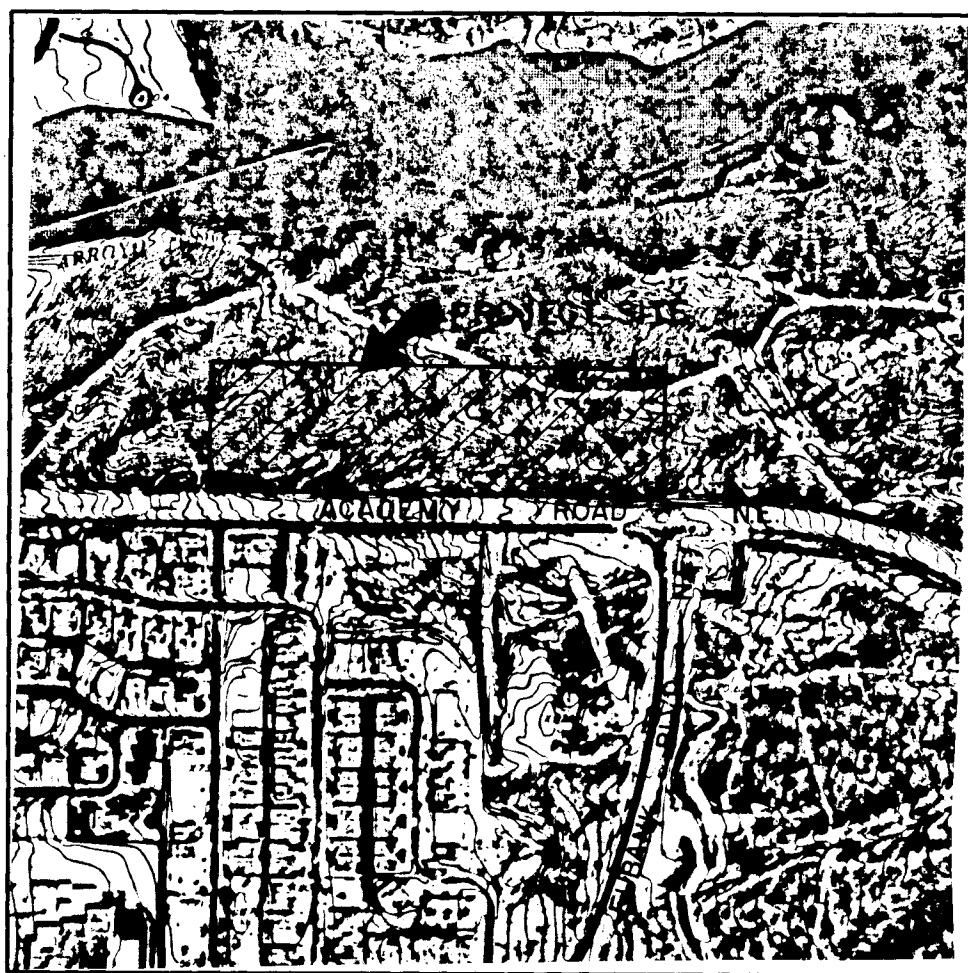
NOTE: CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT SINGLE POINTE, POINTE, AND CENTERLINE OF SUBDIVISION STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF FOUR-INCH (4") ALUMINUM CAP (WITH MAGNET ATTACHED) STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "P.L.S. NO. 5978".

SCALE: 1" = 60'

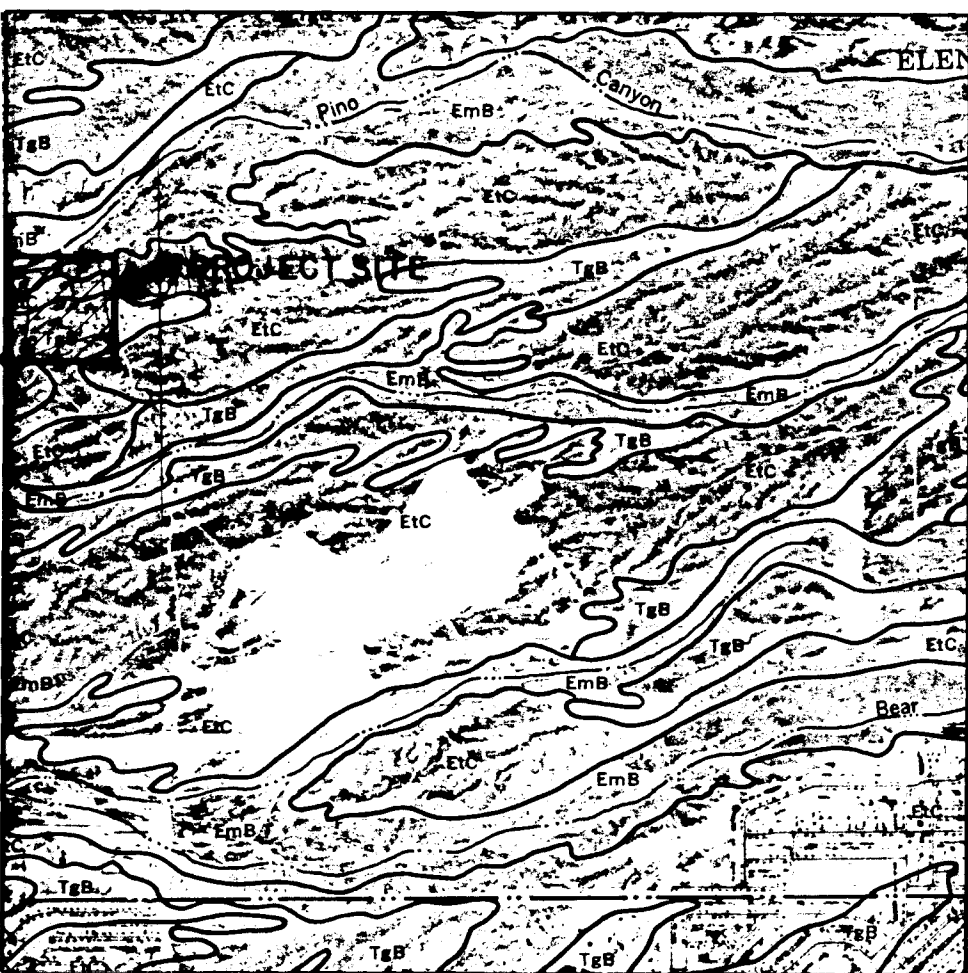
OPEN SPACE 4-A-1
REVISION PLAT OF TANOAN PROPERTIES
FILED MAY 7,



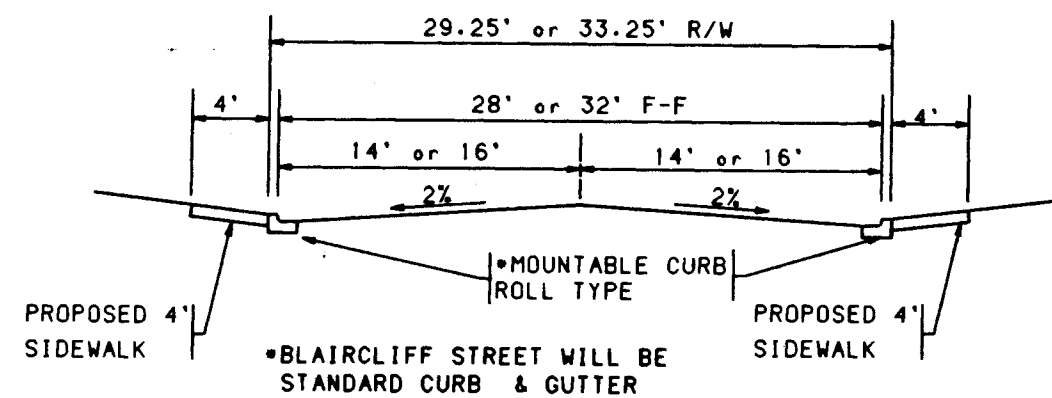
LOCATION MAP
ZONE ATLAS MAP NO. E-21
NO SCALE



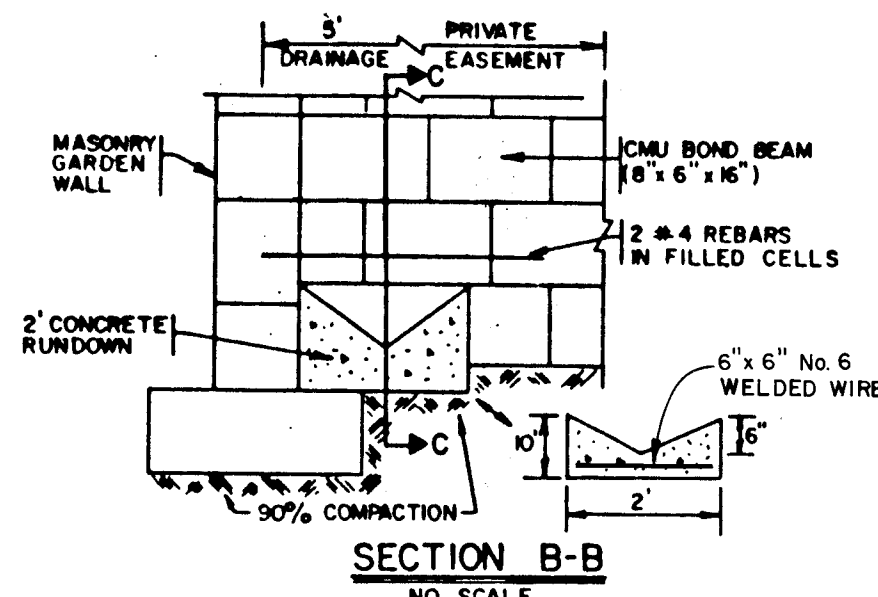
FLOOD HAZARD MAP
REFERENCE: FLOOD INSURANCE STUDY
NO SCALE



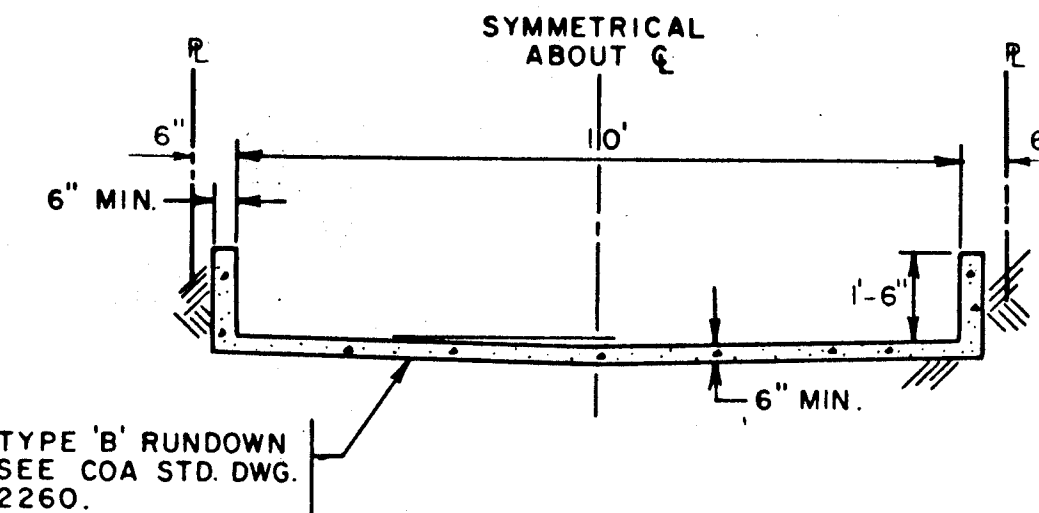
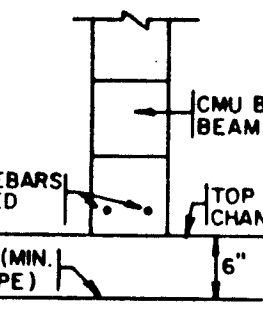
SOILS MAP
REFERENCE: SCS SURVEY FOR BERNALILLO COUNTY
NO SCALE



TYPICAL STREET SECTION A-A
NO SCALE

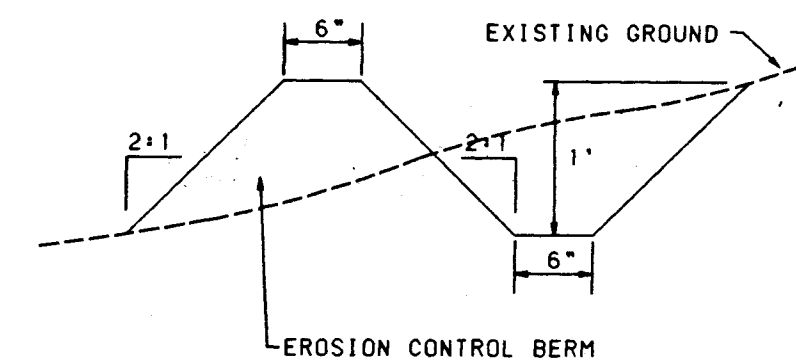


REAR YARD PRIVATE DRAINAGE RUNDOWN
NO SCALE

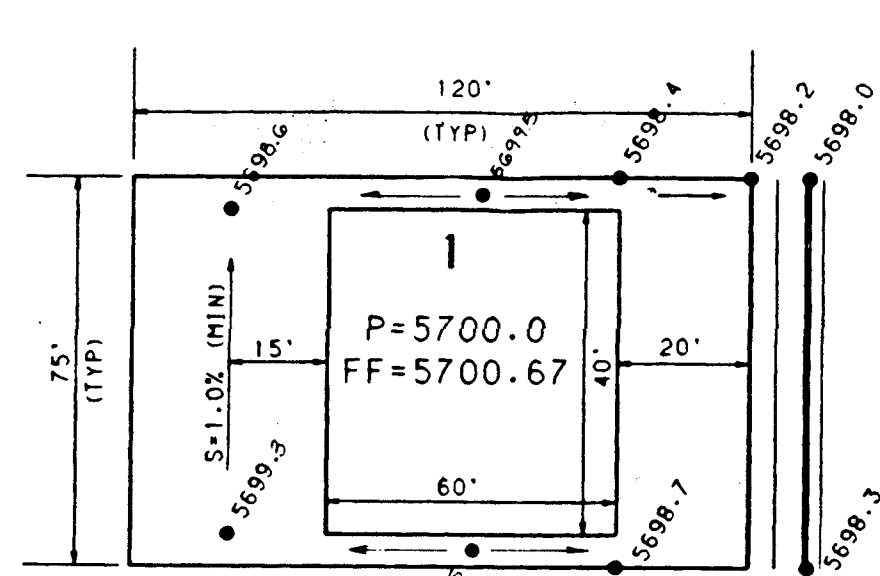


PRIVATE DRAINAGE CHANNEL
NO SCALE

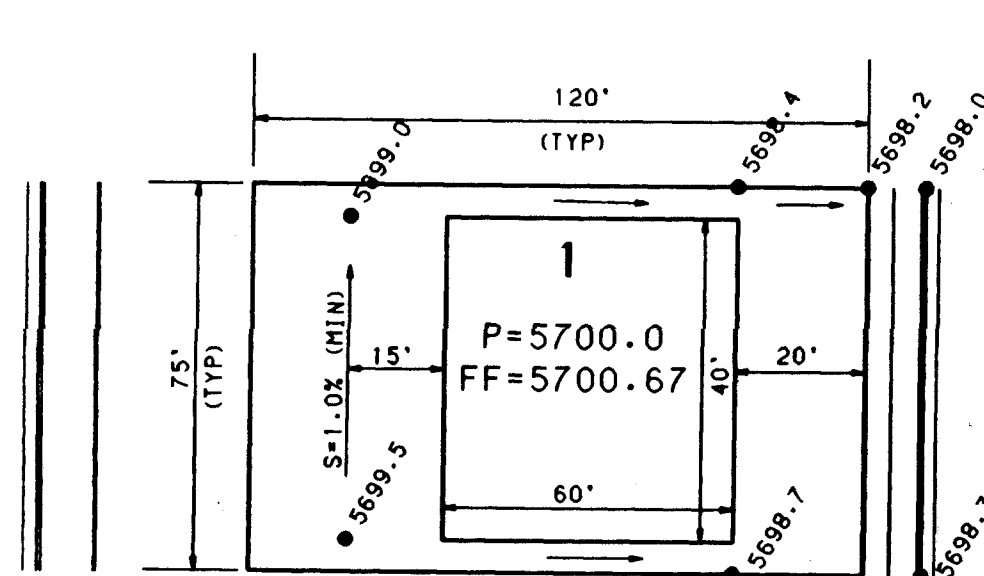
- EROSION CONTROL MEASURES
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO ADJACENT PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 3. THE CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING CONSTRUCTION. THE COST OF REQUIRED EROSION CONTROL MEASURES SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT COST.



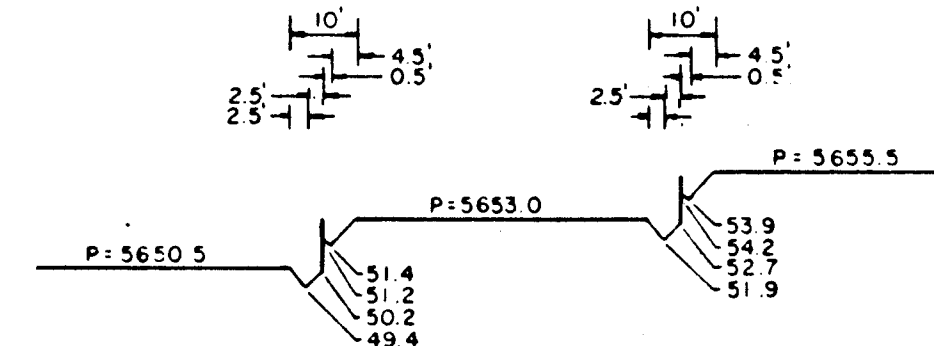
EROSION CONTROL PLAN
NO SCALE



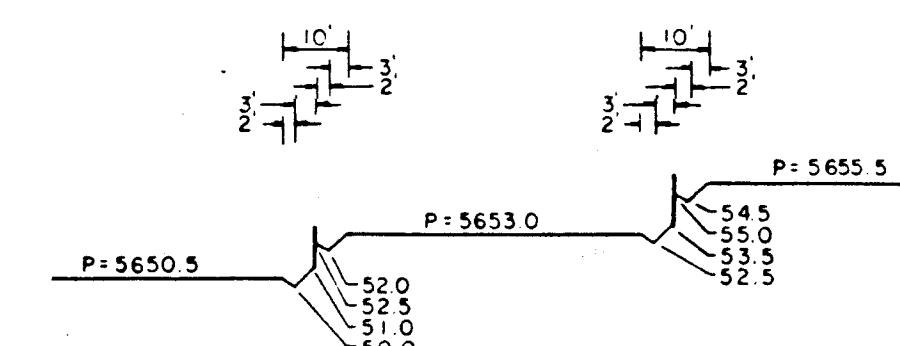
TYPICAL LOT GRADING PLAN
NO SCALE



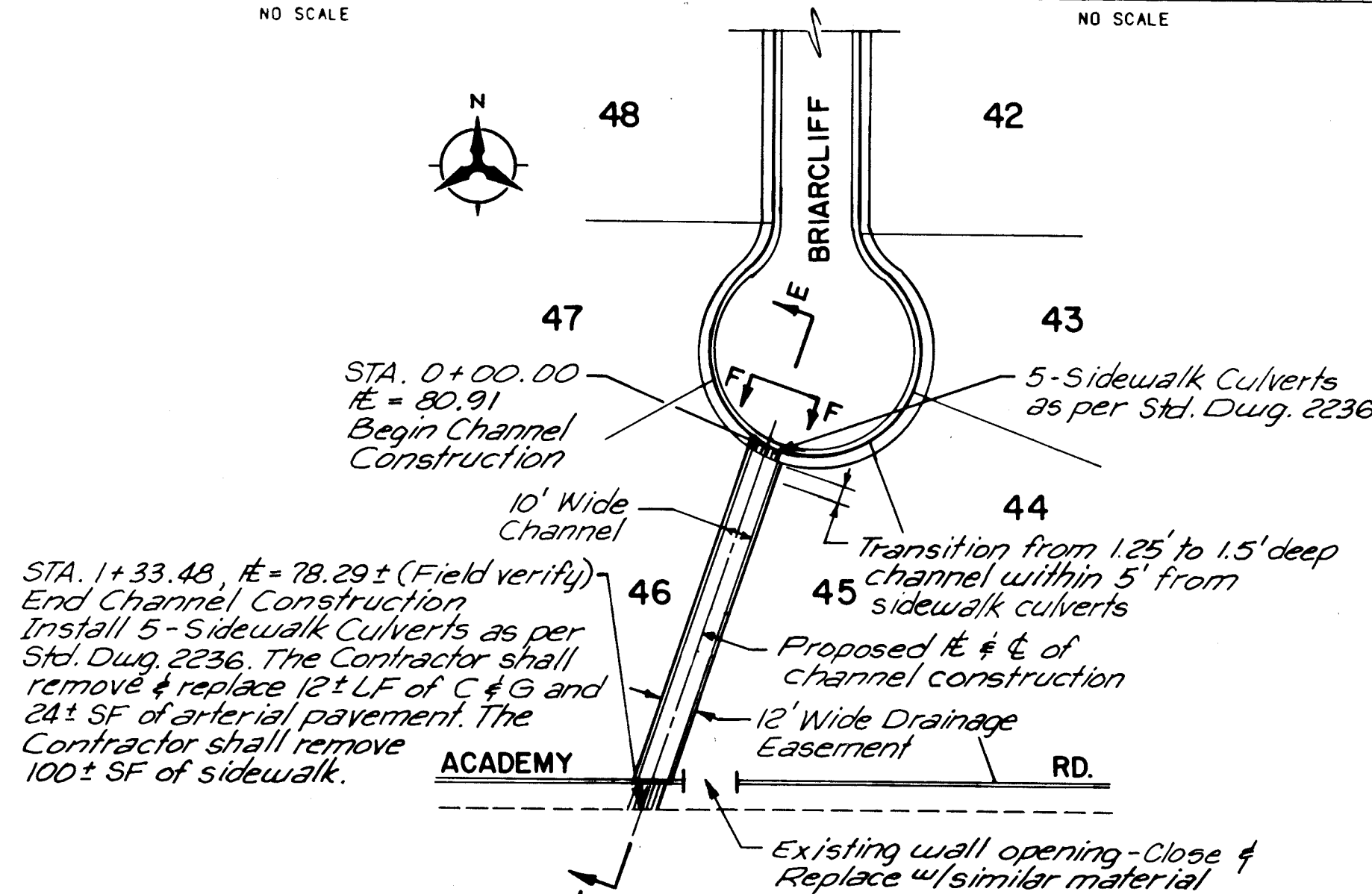
TYPICAL LOT GRADING PLAN
NO SCALE



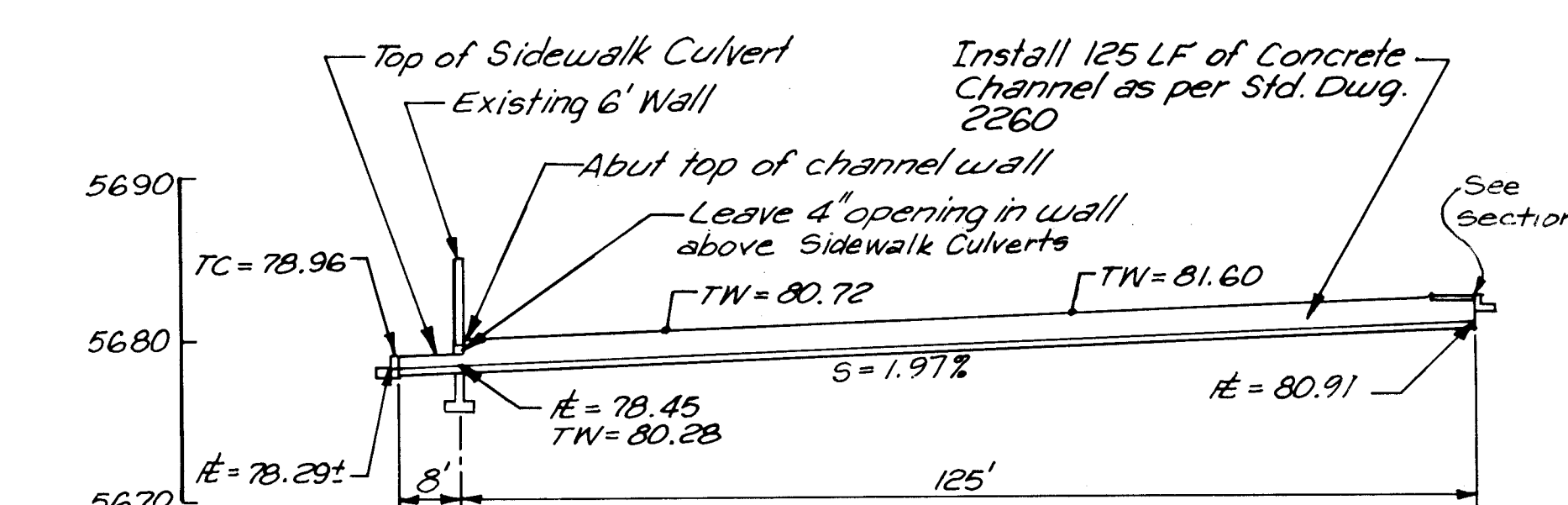
FRONT SIDE
TYPICAL SIDELOT GRADING PLAN
NO SCALE



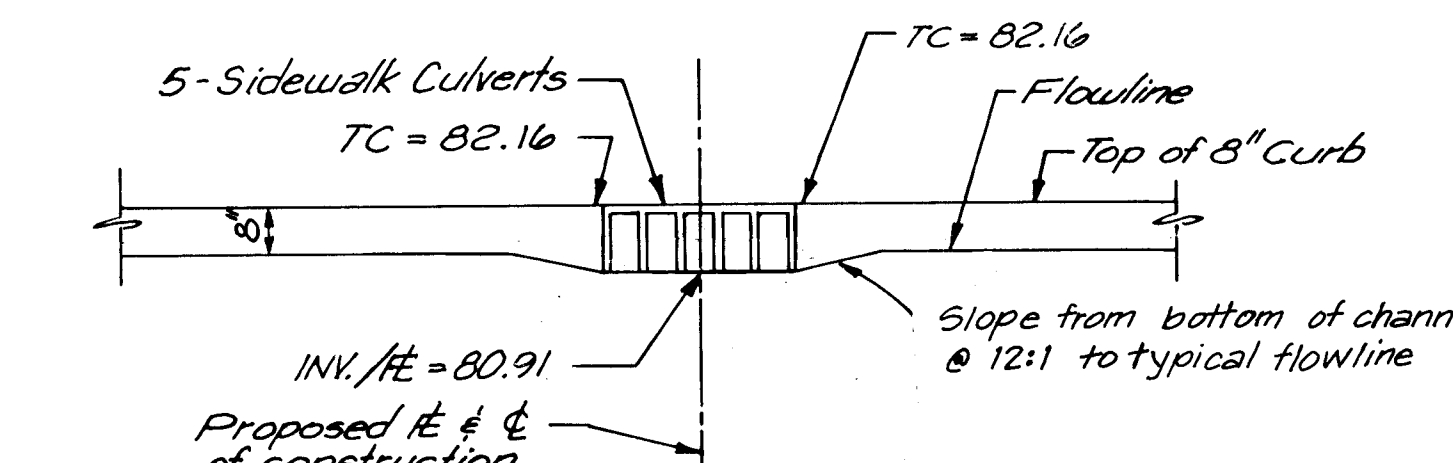
BACK SIDE
TYPICAL SIDELOT GRADING PLAN
NO SCALE



CONCRETE RUNDOWN PLAN
1" = 50'

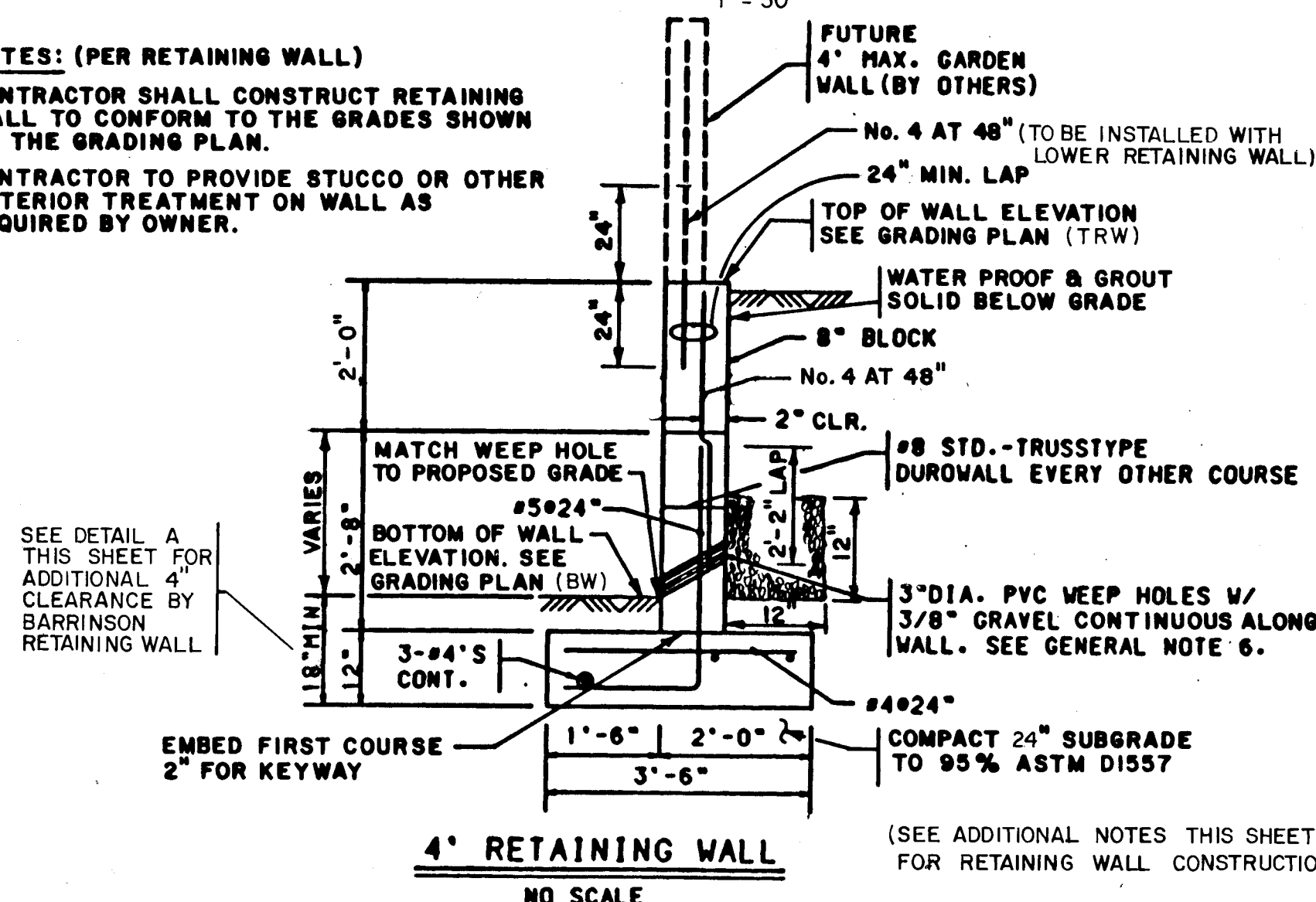


SECTION E-E
1" = 20'

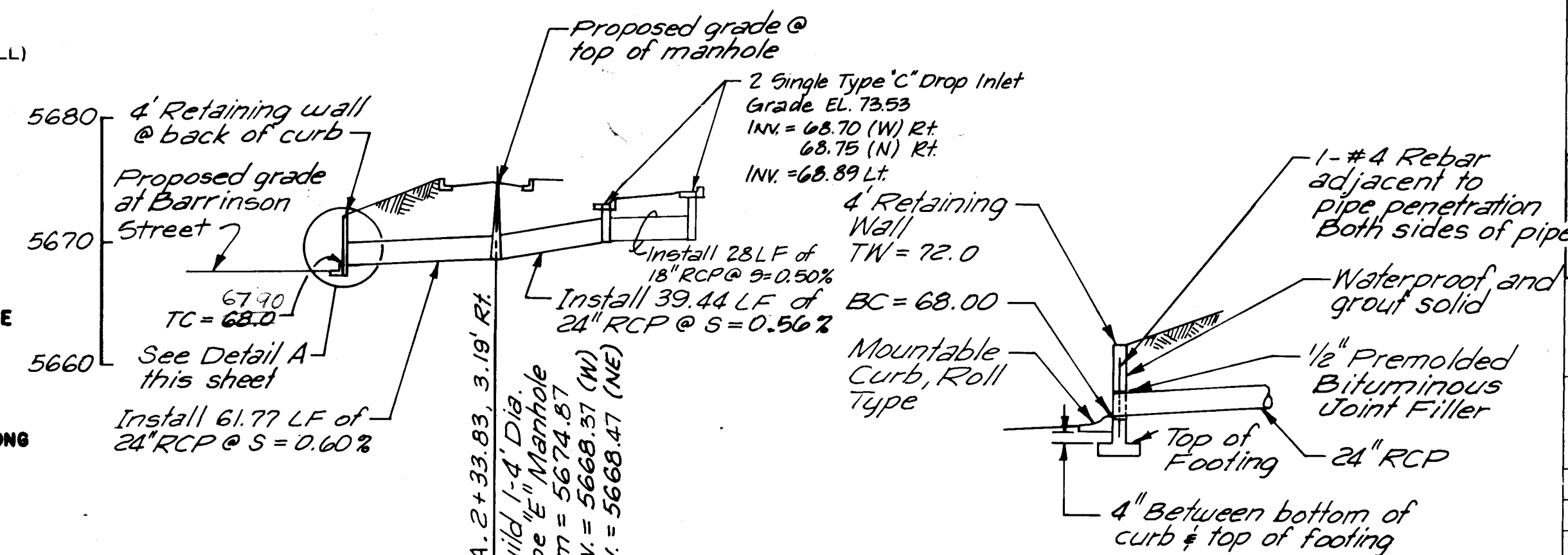


SECTION F-F
NTS

NOTES: (PER RETAINING WALL)
CONTRACTOR SHALL CONSTRUCT RETAINING WALL TO CONFORM TO THE GRADES SHOWN ON THE GRADING PLAN.
CONTRACTOR TO PROVIDE STUCCO OR OTHER EXTERIOR TREATMENT ON WALL AS REQUIRED BY OWNER.



4' RETAINING WALL
NO SCALE



DROP INLET PROFILE
H: 1" = 50', V: 1" = 10'

DETAIL A
NTS

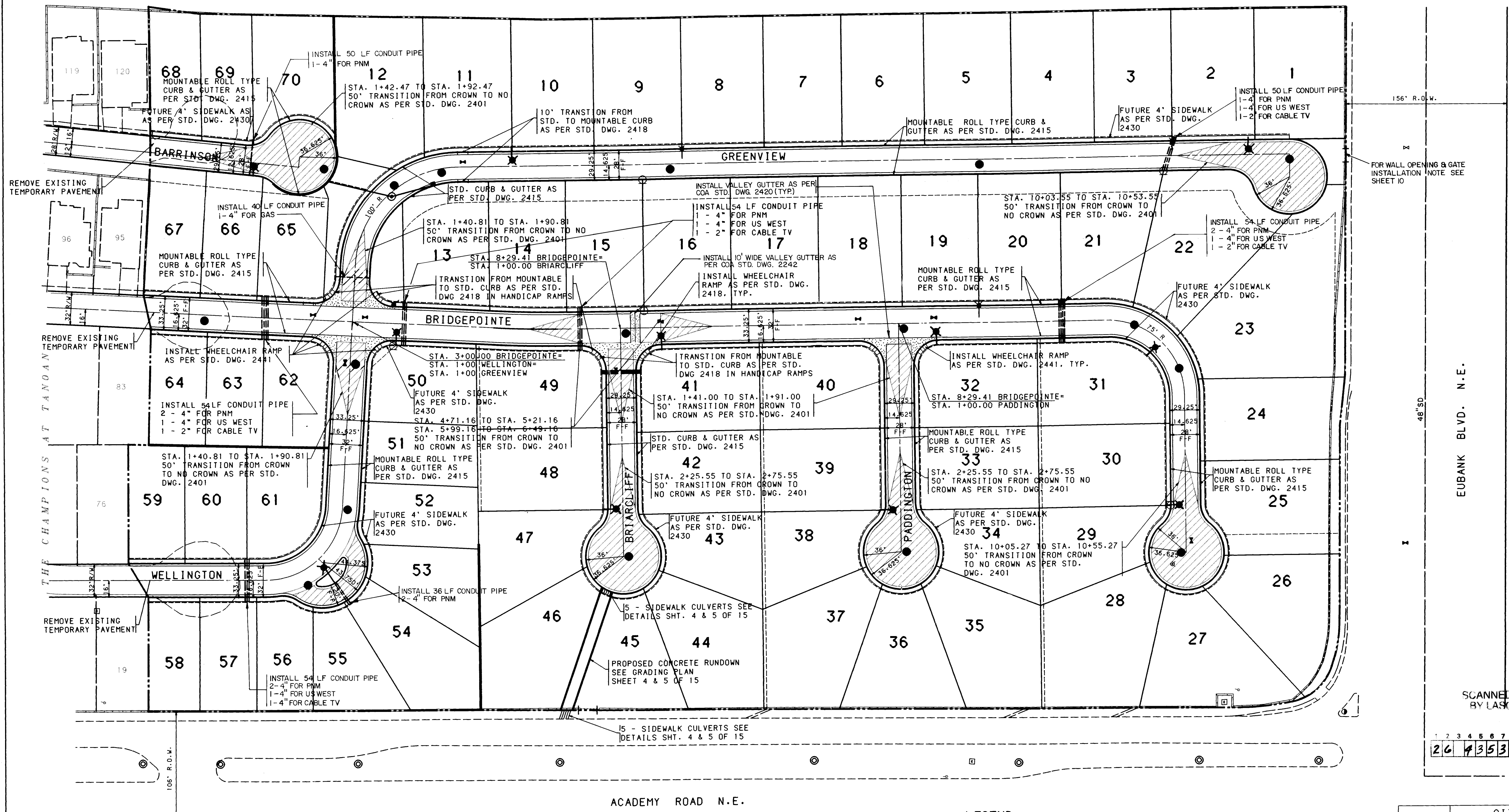
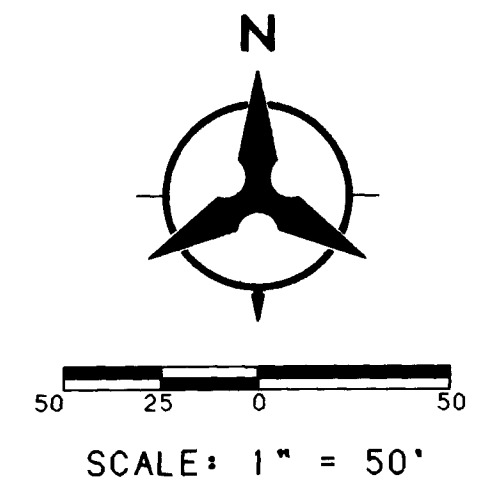
- GENERAL NOTES (RETAINING WALL CONST.)
1. RETAINING WALL FOOTINGS SHOULD BE EMBEDDED A MINIMUM OF EIGHTEEN INCHES BELOW LOWEST ADJACENT GRADE. PRIOR TO PLACING FOOTINGS, THE EXPOSED SOILS SHOULD BE SCARIFIED TO A DEPTH OF EIGHT INCHES (8"). MOISTURE CONDITIONED TO A NEAR OPTIMUM $\pm$ (3%) MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
 2. RETAINING WALL SHALL NOT BE BACKFILLED UNTIL AT LEAST 7 DAYS AFTER PLACING OF FINAL GRADE. WHERE HEAVY EQUIPMENT IS USED IN BACKFILLING, SUCH EQUIPMENT SHOULD NOT APPROACH CLOSER TO THE TOE OF THE WALL THAN A DISTANCE EQUAL TO THE HEIGHT OF THE WALL. CARE SHOULD BE TAKEN TO AVOID EXERTING IMPACT FORCES ON THE WALL AS COULD BE CAUSED BY A LARGE MASS OF MOVING EARTH.
 3. SLOPES UP AWAY FROM WALLS SHOULD NOT EXCEED 3:1.
 4. VERTICAL CONTROL JOINTS WITH PVC INSERTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 30'-0" ON CENTER. PLASTERS MAY BE SUBSTITUTED FOR CONTROL JOINTS WHEN PLACED AT 12'-0" INTERVALS. DISCONTINUE DUROWALL EACH SIDE OF PLASTERS.
 5. MINIMUM LAP SPICE ON REINFORCING BARS SHALL BE 30" BAR DIAMETERS OR 1'-4" MINIMUM. REINFORCEMENT OF A SIZE AND SPACING OTHER THAN THAT GIVEN IN THE TABLES MAY BE USED PROVIDING SUCH OTHER REINFORCEMENT FURNISHES AN AREA OF STEEL AREA AT LEAST EQUAL TO THAT GIVEN IN THE TABLE.
 6. CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE UNIFORM BUILDING CODE SECTION 24, LOWLIFT GROUTING METHOD.
 7. OMISSION OF A VERTICAL MORTAR JOINT ON FIRST COURSE AT 48" O.C. MAY BE SUBSTITUTED FOR PVC WEEP HOLES. WHITE SLUMP BLOCK WITH A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI MAY BE SUBSTITUTED FOR STANDARD CMU GRADE N.
 8. DESIGN DATA
BLOCK WEIGHT 12" = 130 PSF
BLOCK WEIGHT 8" = 85 PSF
SOIL WEIGHT = 120 PCF
EQUIV. FLUID PRESSURE = 35 PCS
SOIL BEARING PRESSURE = 1500 PSF
(1/3 INCREASE FOR WIND/SEISMIC)
COEFFICIENT OF FRICTION = 0.4
PASSIVE SOIL PRESSURE = 300 PCF
CONCRETE 1" (28 DAYS) = 3000 PSI
GROUT STRENGTH = 2000 PSI
CMU GRADE N = 1500 PSI (GROUTED)
REINFORCEMENT = 60 ASTM A-615
 9. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.

SCANNED BY
BY LASON

APPROVED FOR ROUGH GRADING (1:1)
26 4353.90 0592

APPROVALS			APPROVALS		
ENGINEER	DATE	WATER	ENGINEER	DATE	WASTE WATER
DR. CHAIRMAN	10-23-91		DR. CHAIRMAN	11-7-91	
TRANSPORTATION	10-23-91		TRANSPORTATION	11-7-91	
HYDROLOGY	10-23-91		HYDROLOGY	11-7-91	
DRAWING NO. 4353.90			MAP NO. E-21		
SHEET 5 OF 15			SHEET 5 OF 15		

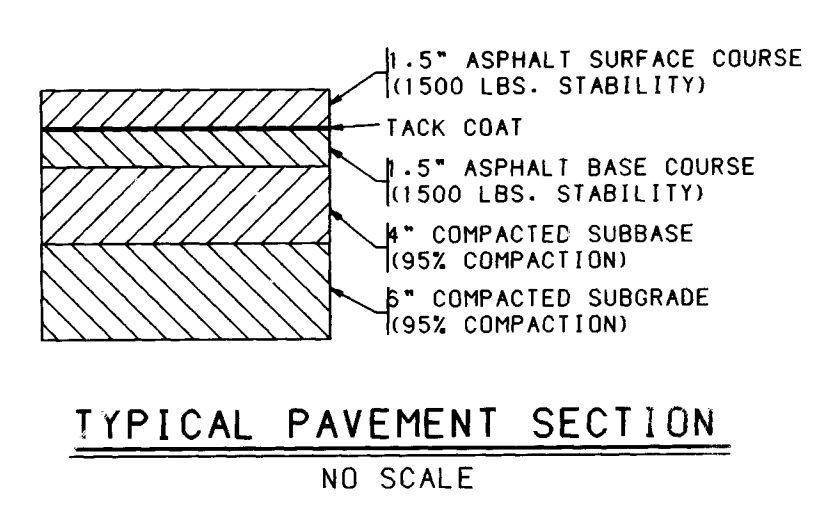
TANOAN GOLF COURSE



SCANNED BY
BY LASON

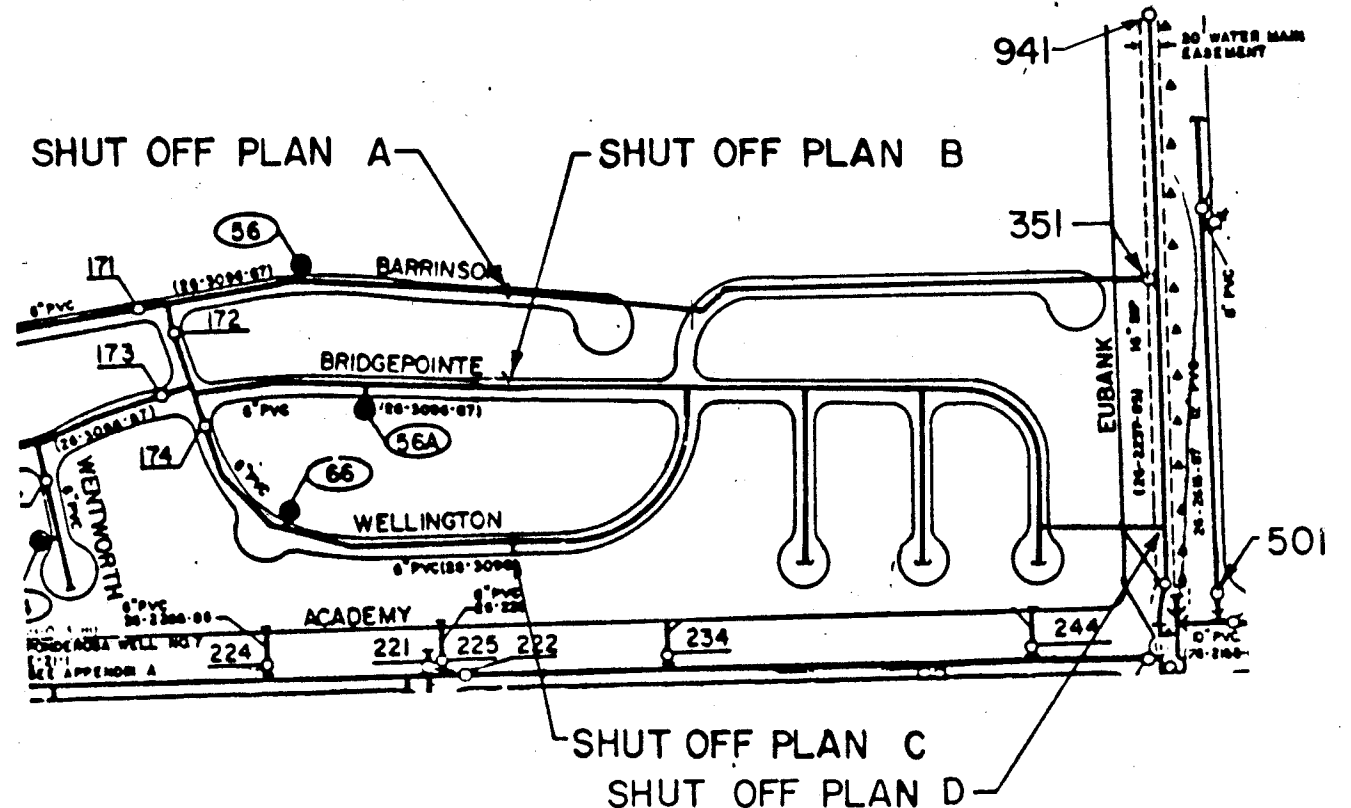
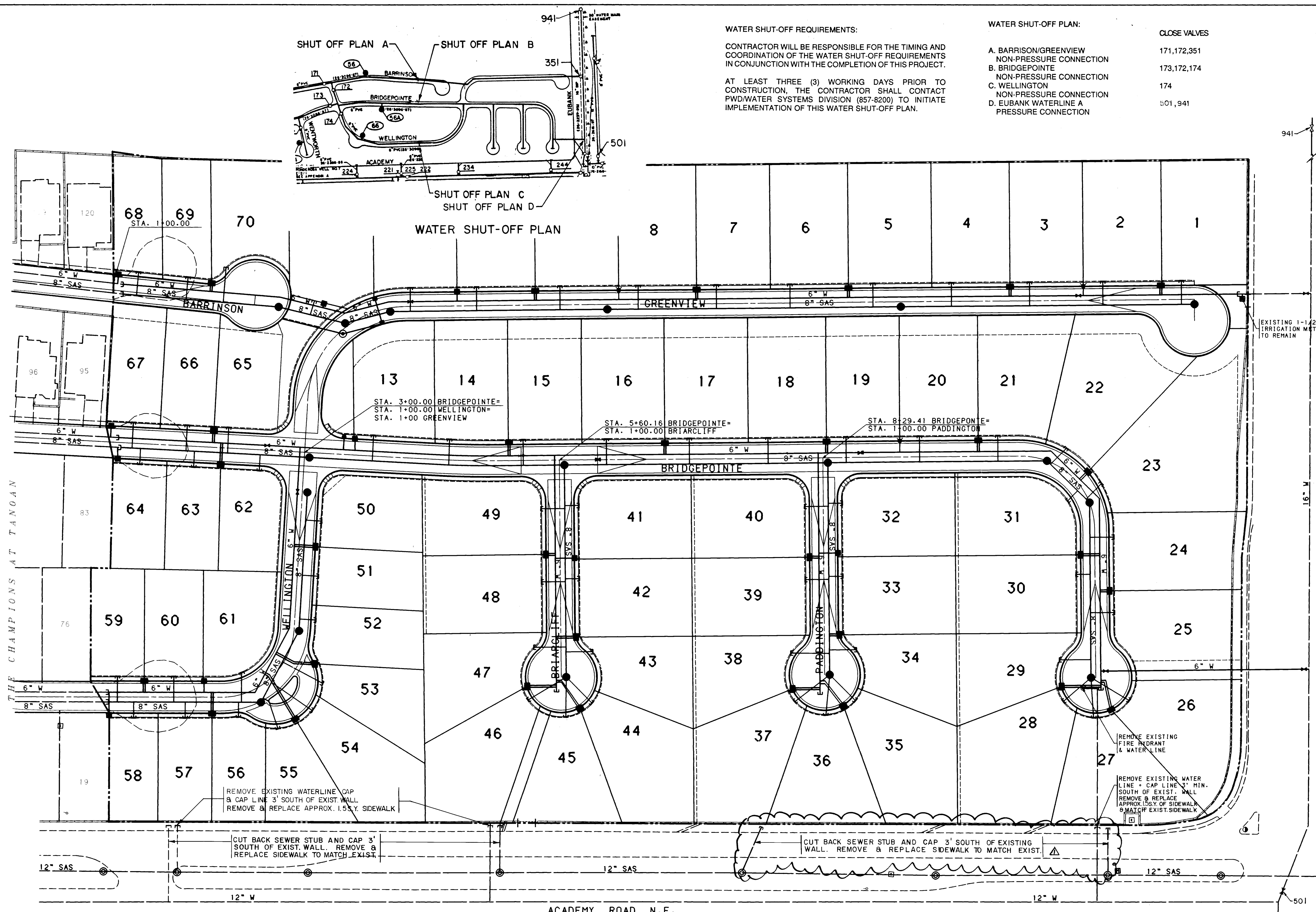
26 4353.900692

LEGEND	
PROPOSED STREET LIGHTS	PROPOSED GATE VALVE
PROJECT BOUNDARY	EXISTING GATE VALVE
PROPOSED CURB & GUTTER	PROPOSED STORM DRAIN LINE
EXISTING CURB & GUTTER	PROPOSED STORM DRAIN MANHOLE
FUTURE SIDEWALK	PROPOSED STORM DRAIN INLET
PROPOSED SANITARY SEWER MANHOLE	EXISTING STORM DRAIN LINE
EXISTING SANITARY SEWER MANHOLE	EXISTING STORM DRAIN MANHOLE
PROPOSED FIRE HYDRANT	EXISTING STORM DRAIN INLET
EXISTING FIRE HYDRANT	CROWN FLATTENING



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	THE BENCH MARK IS A STANDARD ACS 3 1/4" ALUMINUM CAP STAMPED "8-E21 1985", LOCATED APPROXIMATELY 375' WEST OF THE INTERSECTION OF ACADEMY BLVD. NE AND EUBANK BLVD. NE ON THE NORTH SIDE OF ACADEMY BLVD. NE.	DATE	NO.	BY		
INSPECTOR	DATE			1	SITE TOPOGRAPHY		
FIELD ENGINEER	DATE			2	AERIAL PHOTOGRAPHY		
VERIFICATION BY	DATE				PERIMETER TIES BELEV.		
CORRECTED BY	DATE				FIELD BOOK 51, P.18-21		
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
NO.							

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
KINGSWOOD AT TANOAN SUBDIVISION PAVING PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRG CHAIRMAN		11-1-91	WATER		11-2-91
TRANSPORTATION		10-24-91	WASTE WATER		
HYDROLOGY		10-24-91			
DRAWING NO.	4353.90	MAP NO.	E-21	SHEET	6 OF 15



WATER SHUT-OFF REQUIREMENTS:

CONTRACTOR WILL BE RESPONSIBLE FOR THE TIMING AND COORDINATION OF THE WATER SHUT-OFF REQUIREMENTS IN CONJUNCTION WITH THE COMPLETION OF THIS PROJECT.

AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PWD/WATER SYSTEMS DIVISION (857-8200) TO INITIATE IMPLEMENTATION OF THIS WATER SHUT-OFF PLAN.

WATER SHUT-OFF PLAN:

A. BARRISON/GREENVIEW
NON-PRESSURE CONNECTION

B. BRIDGEPONTE
NON-PRESSURE CONNECTION

C. WELLINGTON
NON-PRESSURE CONNECTION

D. EUBANK WATERLINE A
PRESSURE CONNECTION

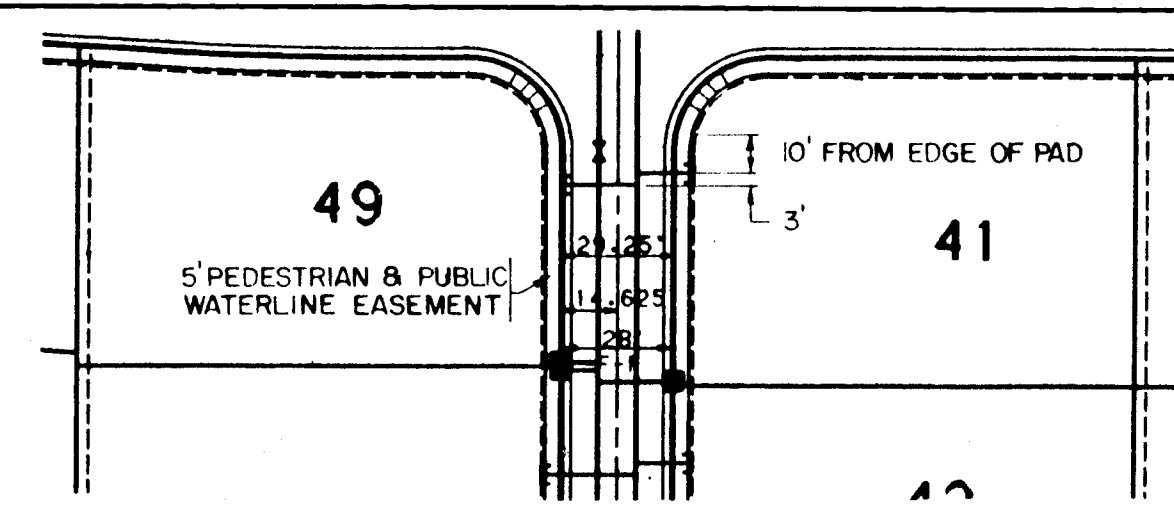
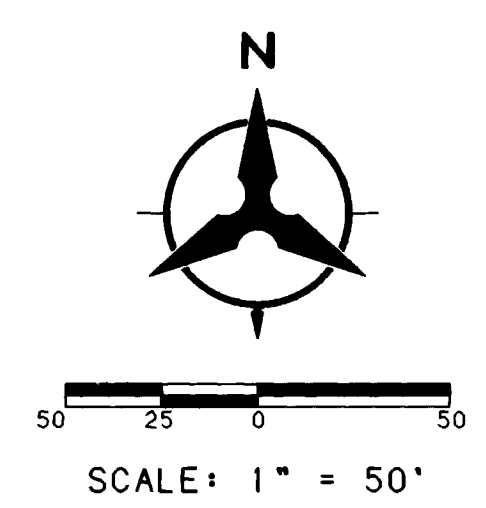
CLOSE VALVES

171,172,351

173,172,174

174

501,941



LEGEND	
PROJECT BOUNDARY	---
PROPOSED CURB & GUTTER	---
EXISTING CURB & GUTTER	---
FUTURE SIDEWALK	---
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED FIRE HYDRANT	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED GATE VALVE	⊕
EXISTING GATE VALVE	⊕
EXISTING STORM DRAIN MANHOLE	⊕
PROPOSED SANITARY SEWER LINE	---
EXISTING SANITARY SEWER LINE	---
PROPOSED SANITARY SEWER SERVICE	---
PROPOSED WATER LINE	---
EXISTING WATER LINE	---
PROPOSED WATER METER SERVICE	---
EXISTING STORM DRAIN LINE	---

EUBANK BLVD. N.E.

SCANNED BY
BY LASON

26 4353.90 0792

AS BUILT INFORMATION	
CONTRACTOR	C. C. M.
INSPECTOR	W. J. M.
DATE	11/2/91
SURVEY INFORMATION	
NO.	1
DATE	11/2/91
BY	W. J. M.
FIELD NOTES	THE BENCH MARK IS A STANDARD ACS 3 1/4" ALUMINUM CAP STAMPED "8-E21 1985". LOCATED APPROXIMATELY 375' WEST OF THE INTERSECTION OF ACADEMY BLVD. NE AND EUBANK BLVD. NE ON THE NORTH SIDE OF ACADEMY BLVD. NE.
NO.	2
DATE	8/89
BY	W. J. M.
FIELD NOTES	FIELD BOOK 5/P 18-21
ENGINEER'S SEAL	
NO.	10764
DATE	8/91
BY	W. J. M.
REMARKS	DESIGN
DESIGNED BY	JT / PH
DRAWN BY	JT
CHECKED BY	JT

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

**KINGWOOD AT TANOAN SUBDIVISION
UTILITY PLAN**

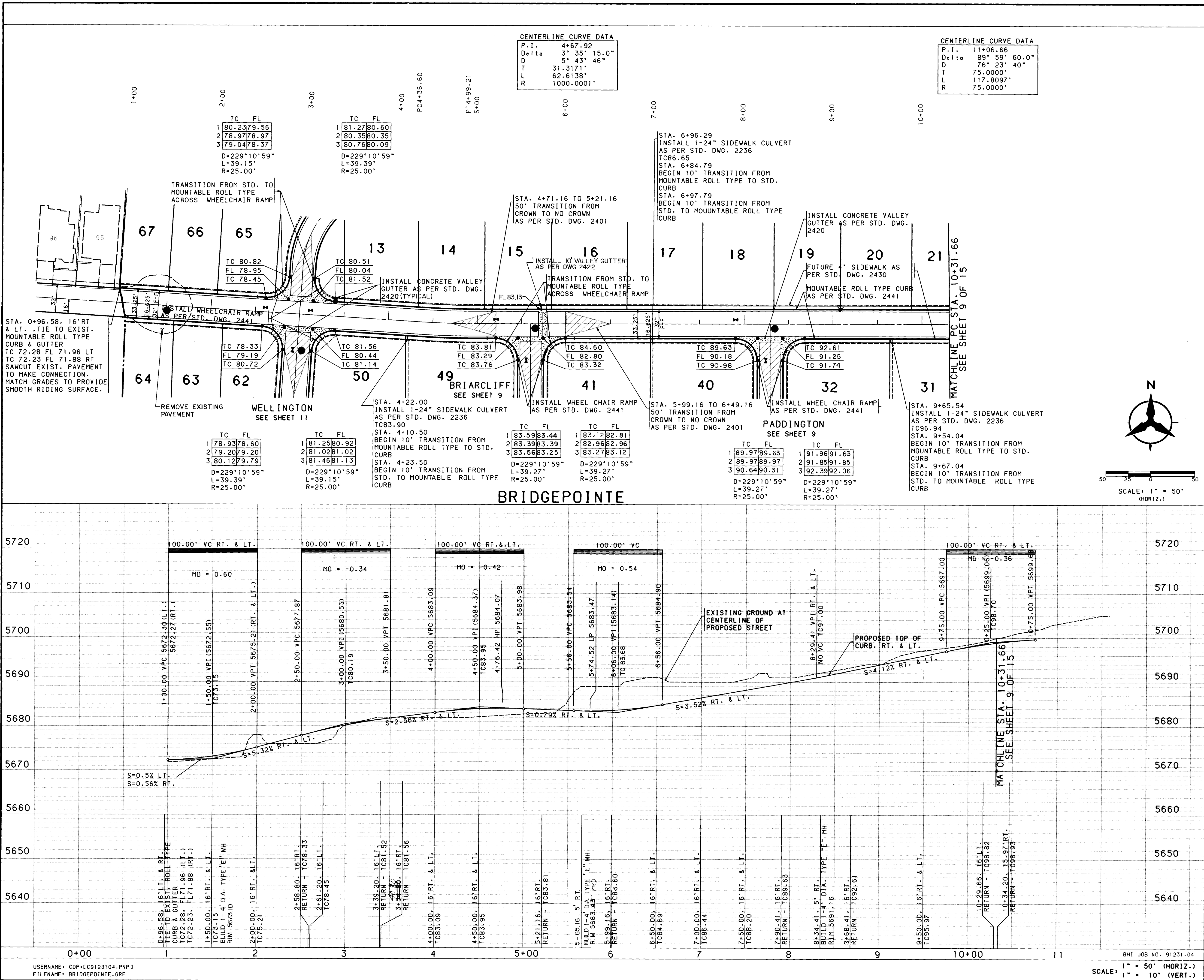
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	W. J. M.	11-2-91	WATER	W. J. M.	11-2-91
TRANSPORTATION	W. J. M.	10-21-91	WASTE WATER	W. J. M.	10-21-91
HYDROLOGY	W. J. M.	10-21-91			

DRAWING NO. 4353.90

MAP NO. E-21

SHEET 7 OF 15

BHI JOB NO. 91231-04



- NOTES
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURB RETURN RADII SHALL BE 25' TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 4. GRADE ELEVATIONS, WHERE NOTED, ARE FOR TOP OF STANDARD OR MOUNTABLE CURB UNLESS OTHERWISE SPECIFIED.
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 6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
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 11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
 12. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
 13. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS OF PER COA STD. DWG. 2415.

NOTE:
STREET LIGHTS TO BE INSTALLED BY PNM.

ENGINEER'S SEAL

NO. 1
DATE 10/24/91
REMARKS
DESIGN

DESIGNED BY
DRAWN BY
CHECKED BY

DATE 9/91
DATE 9/91
DATE 9/91

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

KINGSWOOD AT TANQAN SUBDIVISION
PAVING PLAN & PROFILE
BRIDGEPOINTE

APPROVALS
ENGINEER
DATE
APPROVALS
ENGINEER
DATE

DRG CHAIRMAN
TRANSPORTATION
HYDROLOGY

WATER
WASTE WATER
N.M.U.I.

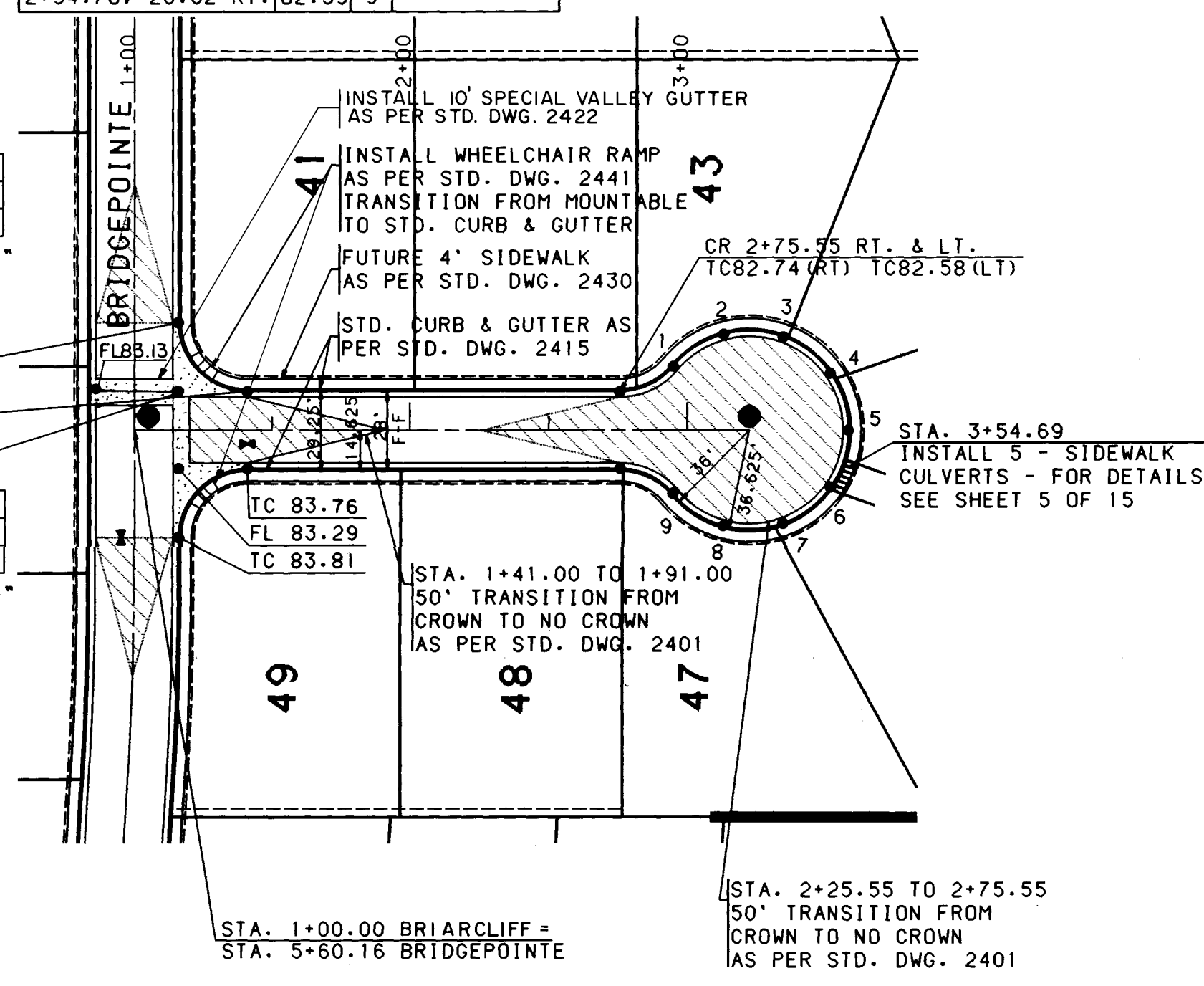
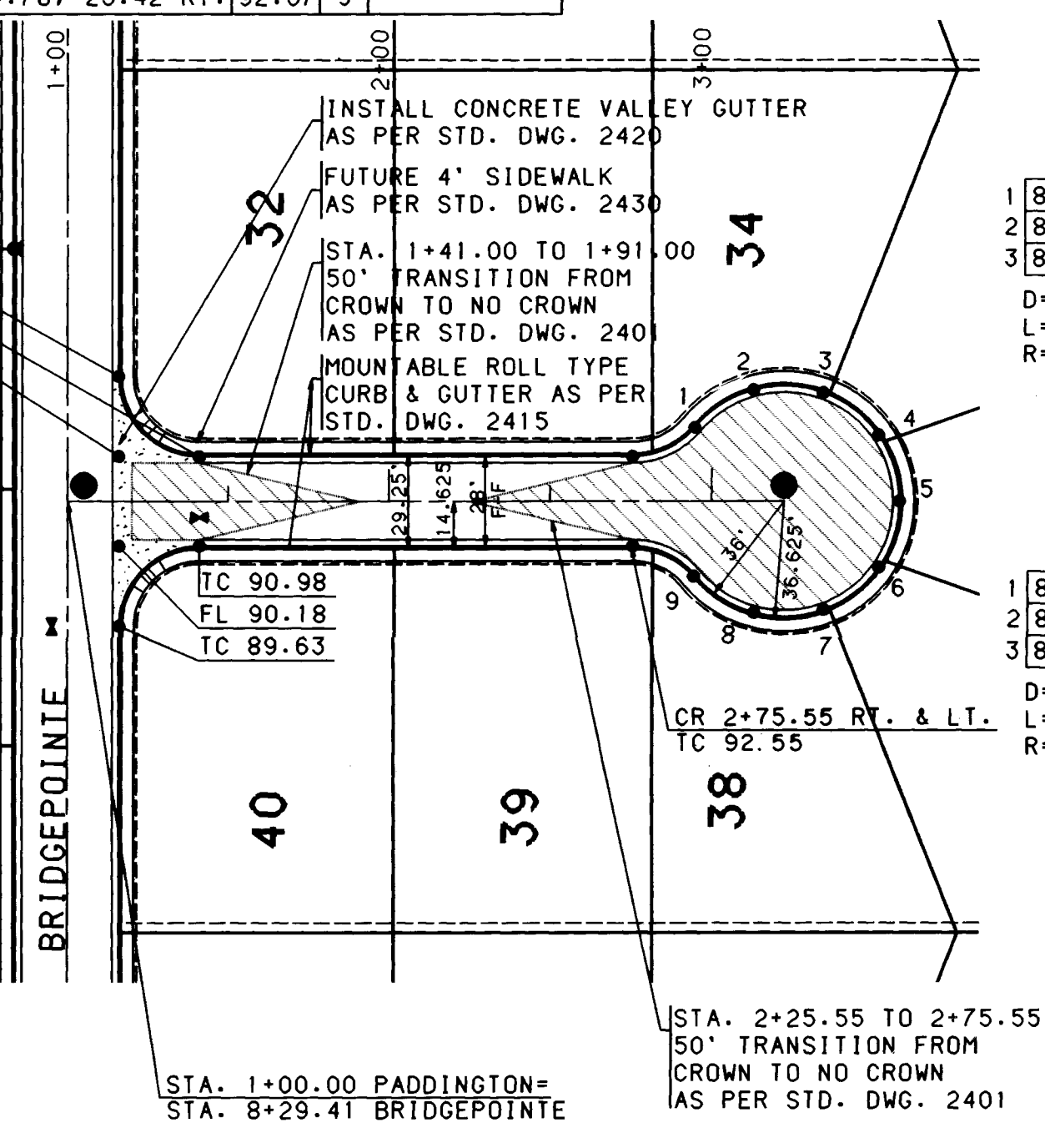
DATE 10-24-91
DATE 10-24-91
DATE 10-24-91

DRAWING NO. 4353.90
MAP NO. E-21
SHEET 8 OF 15

CUL-DE-SAC CURB DATA					
STATION & OFFSET	TC	PT	DELTA		
12+74.49, 23.02'LT	02.15	1	280°30'50"		
12+92.74, 34.74'LT	02.38	2	280°30'50"		
13+14.41, 33.86'LT	02.65	3	280°30'50"		
13+31.64, 20.68'LT	02.86	4	280°30'50"		
13+38.17, 00.00'RT	02.94	5	280°30'50"		
13+31.64, 20.68'RT	02.86	6	280°30'50"		
13+14.41, 33.86'RT	02.65	7	280°30'50"		
12.92.74, 34.74'RT	02.38	8	280°30'50"		
12+74.49, 23.02'RT	02.15	9	280°30'50"		

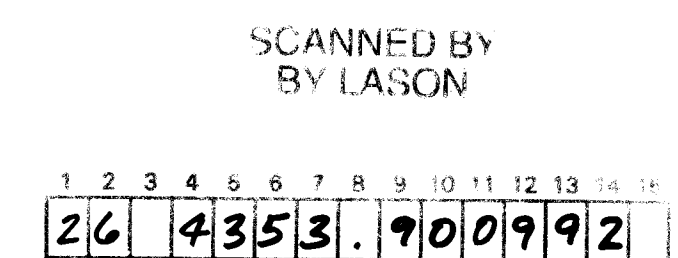
CUL-DE-SAC CURB DATA				
STATION & OFFSET	TC	PT	DELTA	
2+94.78. 23.02' LT.	92.67	1	280°30'50"	
3+13.02. 34.74' LT.	92.78	2	280°30'50"	
3+34.70. 33.86' LT.	92.91	3	280°30'50"	
3+51.93. 20.68' LT.	93.01	4	280°30'50"	
3+58.46. 00.00' RT.	93.05	5	280°30'50"	
3+51.93. 20.68' RT.	93.01	6	280°30'50"	
3+34.70. 33.86' RT.	92.91	7	280°30'50"	
3+13.02. 34.74' RT.	92.78	8	280°30'50"	
2+94.78. 23.42' RT.	92.67	9	280°30'50"	

CUL-DE-SAC CURB DATA				
STATION	OFFSET	TC	PT	DELTA
2+94.89	23.15' LT.	82.48	1	280°14'28"
3+13.17	34.78' LT.	82.37	2	280°14'28"
3+34.82	33.81' LT.	82.25	3	280°14'28"
3+52.10	20.19' LT.	82.16	4	280°14'28"
3+58.46	00.09' RT.	82.12	5	280°14'28"
3+51.89	20.73' RT.	82.16	6	280°14'28"
3+34.66	33.87' RT.	82.29	7	280°14'28"
3+13.00	34.74' RT.	82.45	8	280°14'28"
2+94.78	23.02' RT.	82.59	9	280°14'28"

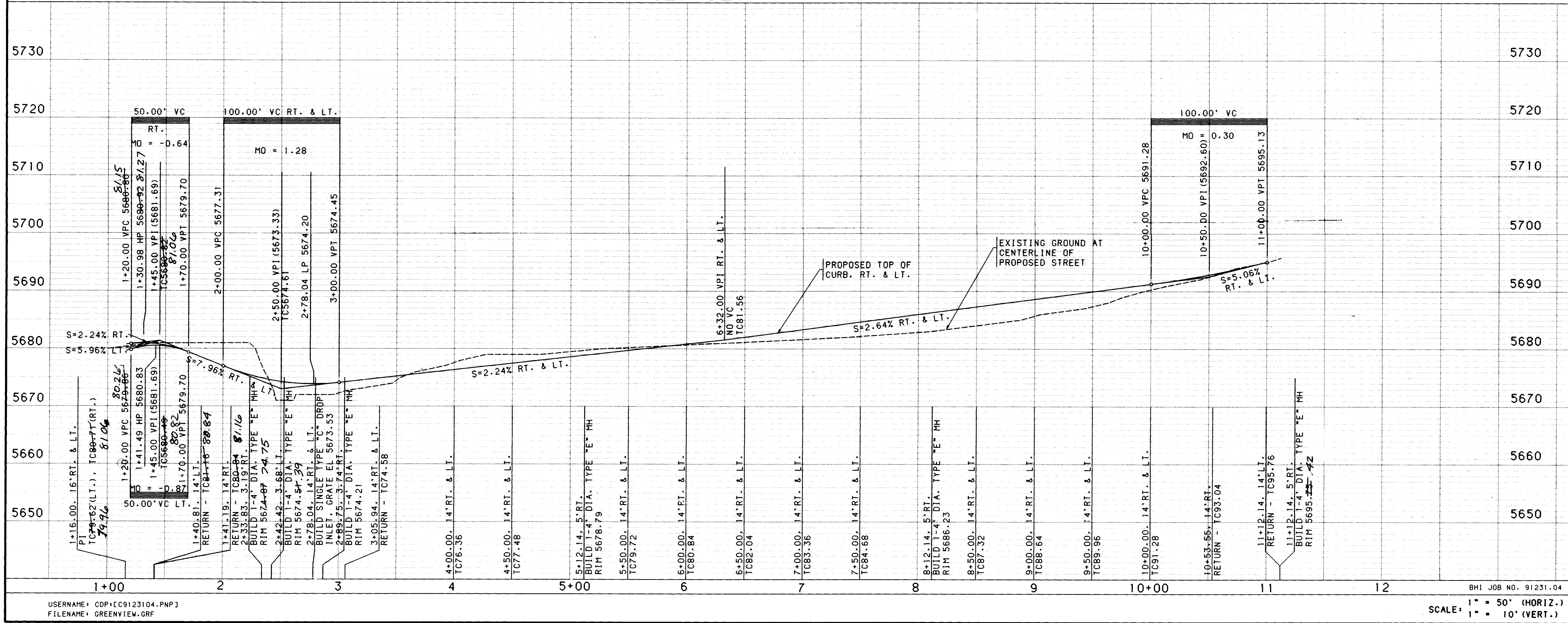
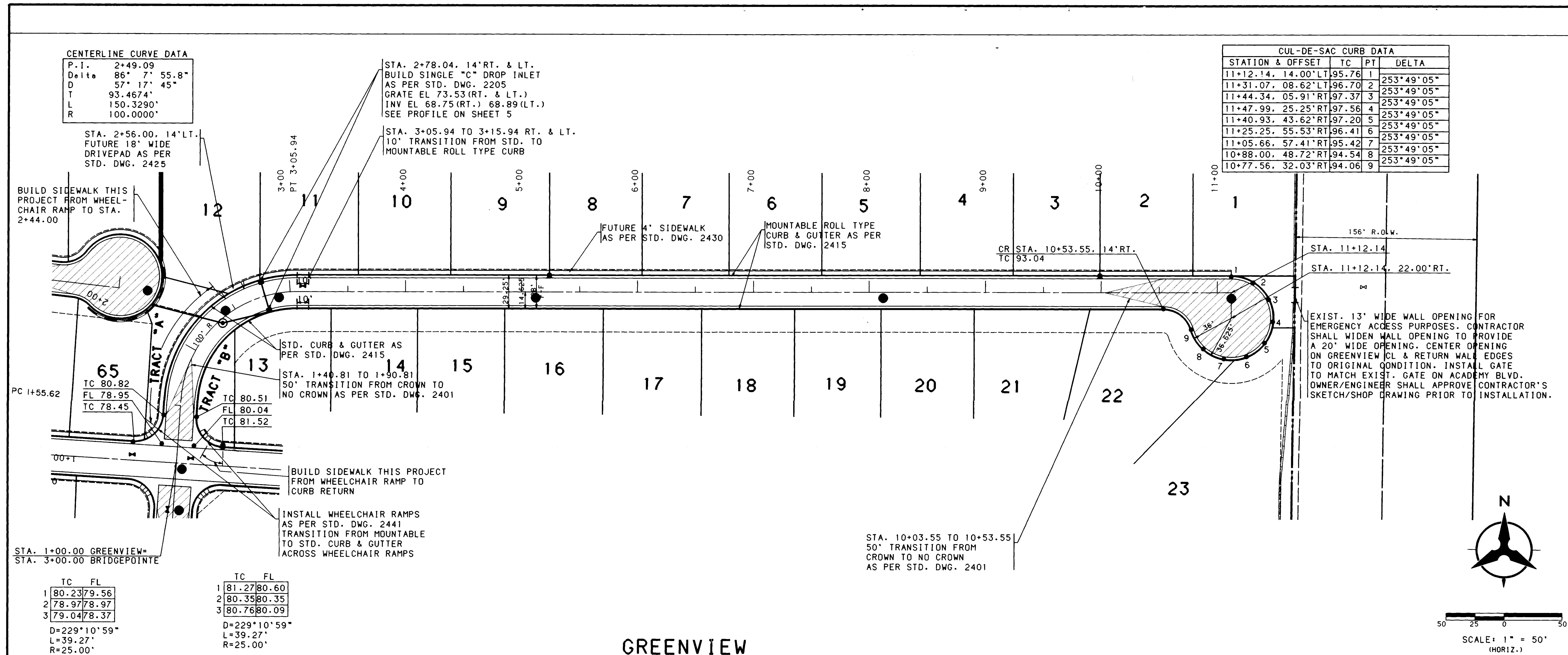


NOTE:

STREET LIGHTS TO BE INSTALLED BY PNM



DRAWING NO.	4353.90	MAP NO.	E-21	SHEET	9	OF	15
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NOTES

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NOTE:
STREET LIGHTS TO BE INSTALLED BY PM.

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BY LASON

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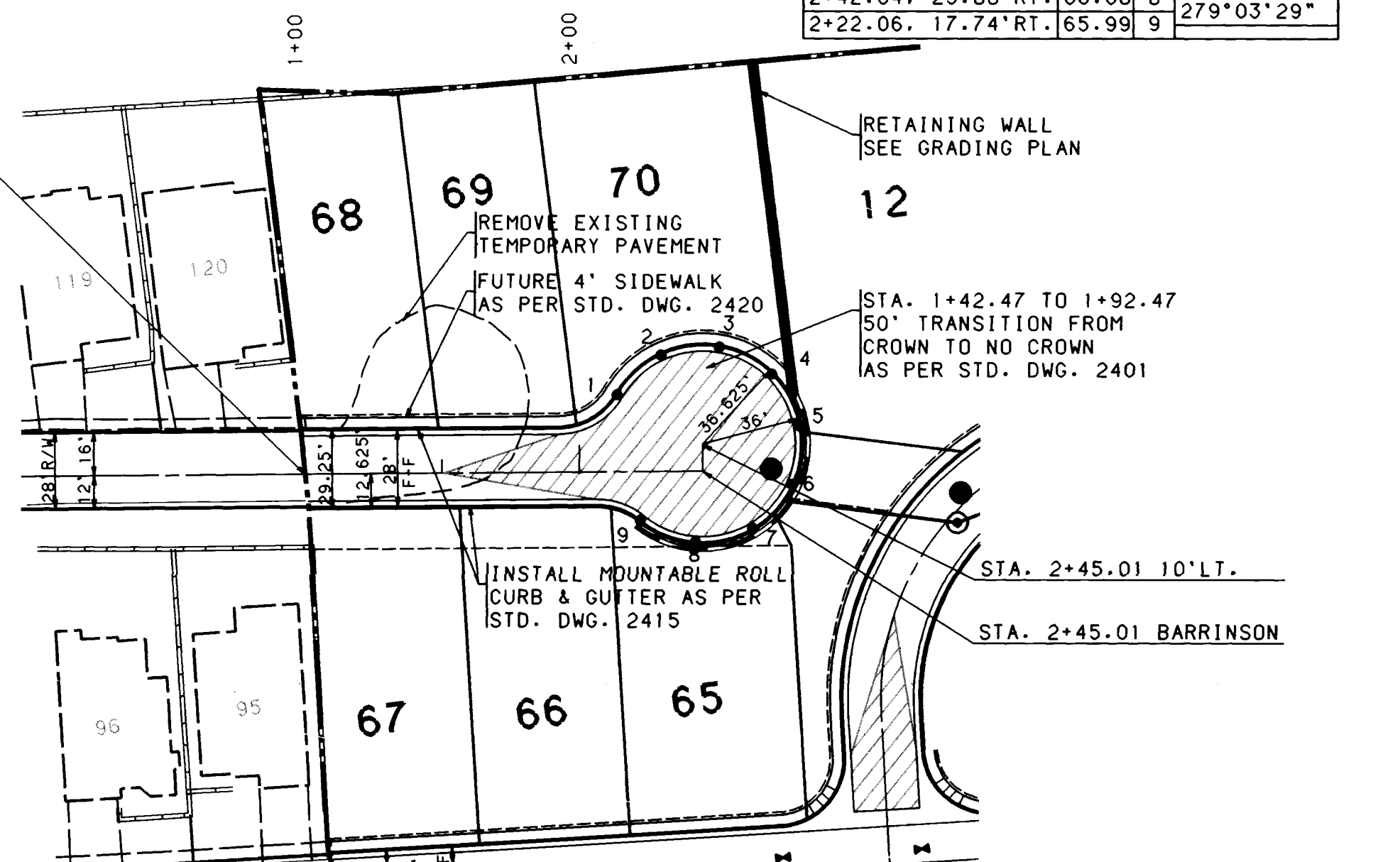
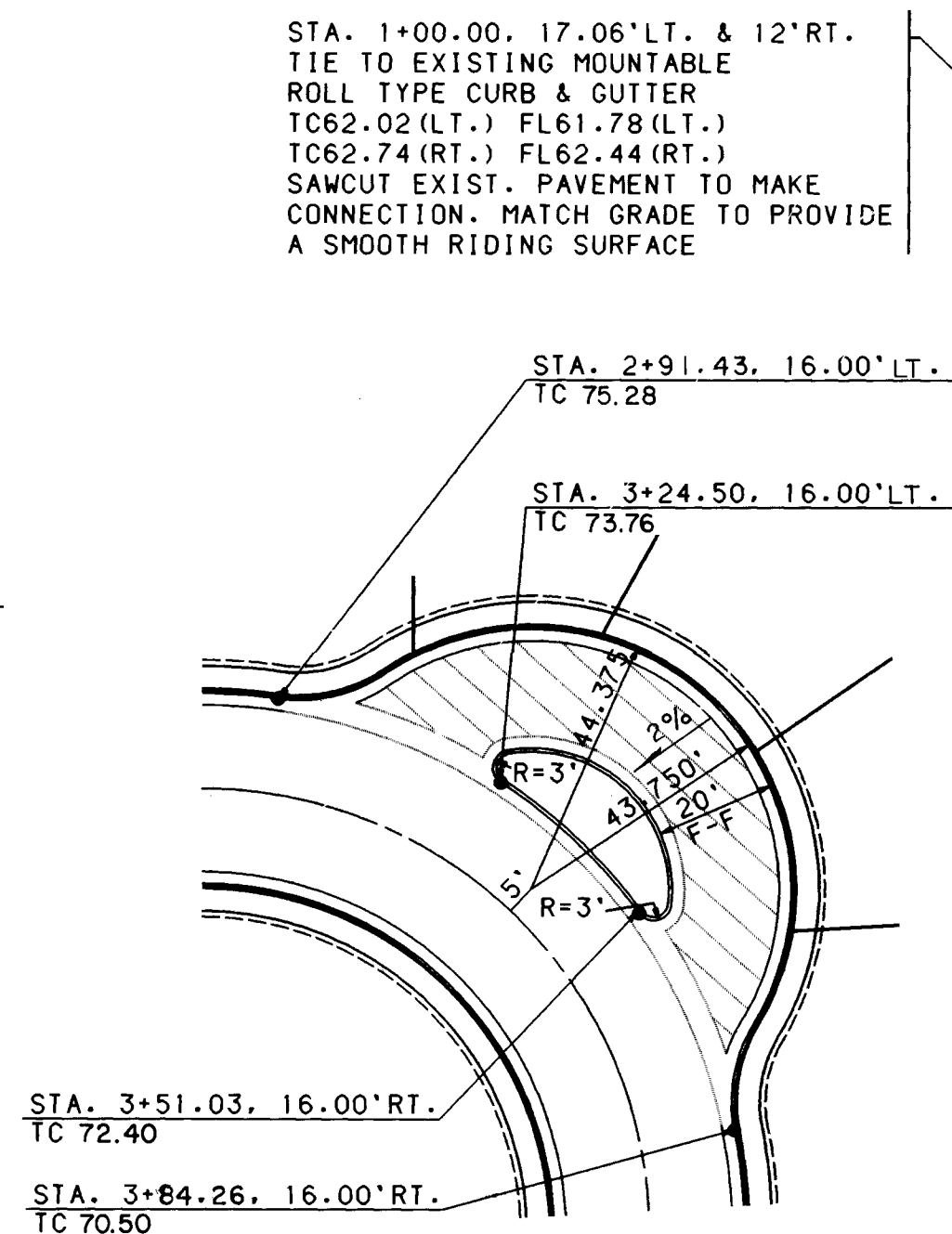
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

KINGSWOOD AT TANOAN SUBDIVISION
PAVING PLAN & PROFILE
GREENVIEW

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRG CHAIRMAN	10/24/09	10/24/09	WATER	11/2/09	11/2/09
TRANSPORTATION	10/24/09	10/24/09	WASTE WATER	11/2/09	11/2/09
HYDROLOGY	10/24/09	10/24/09	N.M.U.I.		

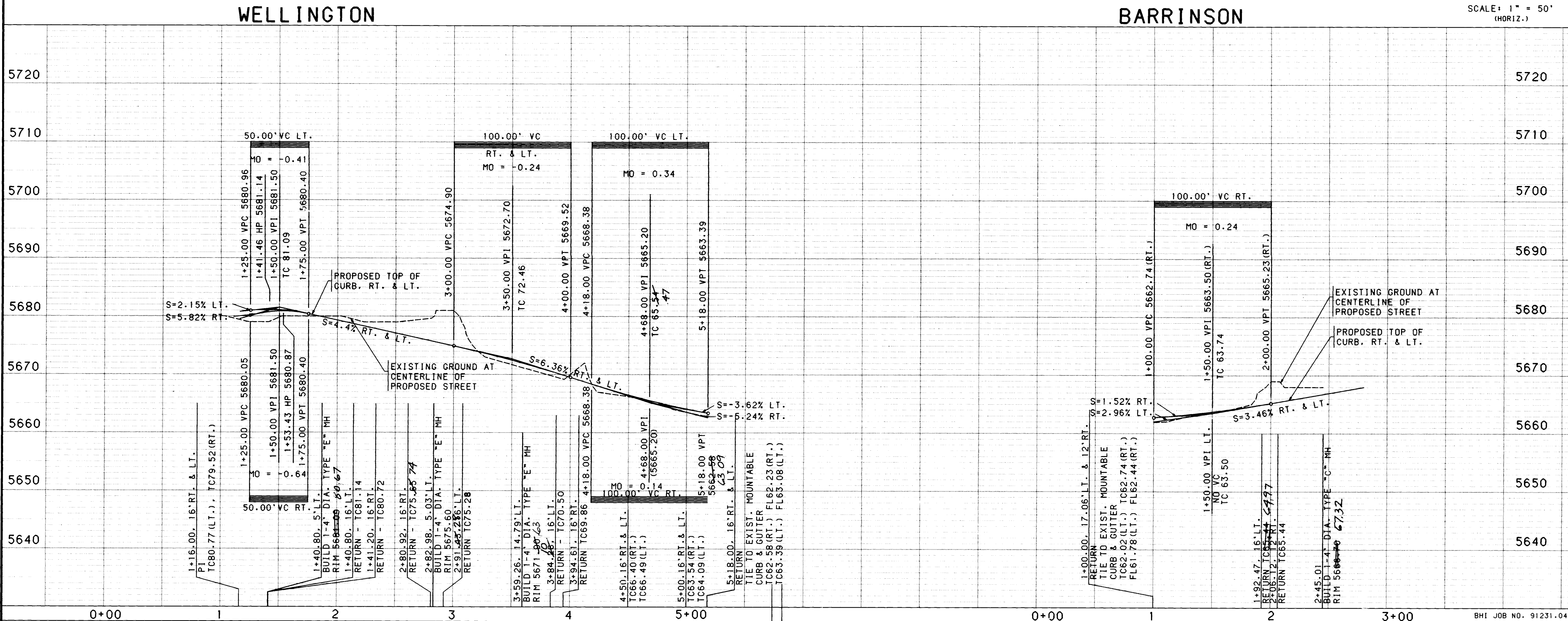
DRAWING NO. 4353.90 MAP NO. E-21 SHEET 10 OF 15

CUL-DE-SAC CURB DATA				
STATION & OFFSET	TC	PT	DELTA	
2+14.00, 28.30' LT.	65.71	1	279°03'29"	
2+30.04, 42.74' LT.	66.27	2	279°03'29"	
2+51.45, 45.42' LT.	67.01	3	279°03'29"	
2+70.55, 35.37' LT.	67.67	4	279°03'29"	
2+80.47, 16.21' LT.	68.01	5	279°03'29"	
2+77.65, 05.19' RT.	67.92	6	279°03'29"	
2+63.10, 21.13' RT.	67.41	7	279°03'29"	
2+42.04, 25.88' RT.	66.68	8	279°03'29"	
2+22.06, 17.74' RT.	65.99	9	279°03'29"	



NOTES

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NOTE:
STREET LIGHTS TO BE INSTALLED BY PNM.

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BY LASON

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
2	6		4	3	5	3	.	9	0	1	1	9	2	

	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING	
KINGSWOOD AT TANOAN SUBDIVISION PAVING PLAN & PROFILE WELLINGTON & BARRINSON		

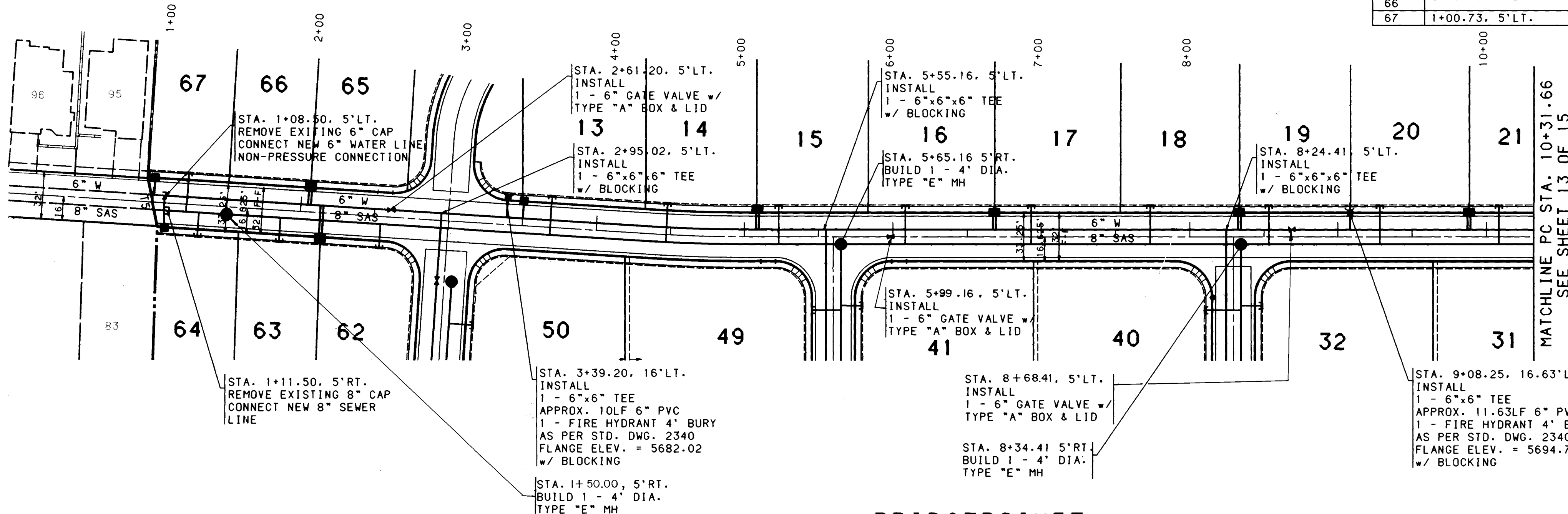
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DRC CHAIRMAN	<i>[Signature]</i>	11-13-91	WATER	<i>[Signature]</i>	11-27-91
TRANSPORTATION	<i>[Signature]</i>	10-24-91	WASTE WATER	<i>[Signature]</i>	"
HYDROLOGY	<i>[Signature]</i>	10-29-91	N.M.U.I.		

DRAWING NO.	4353.90	MAP NO.	E-21	SHEET	11	OF	15
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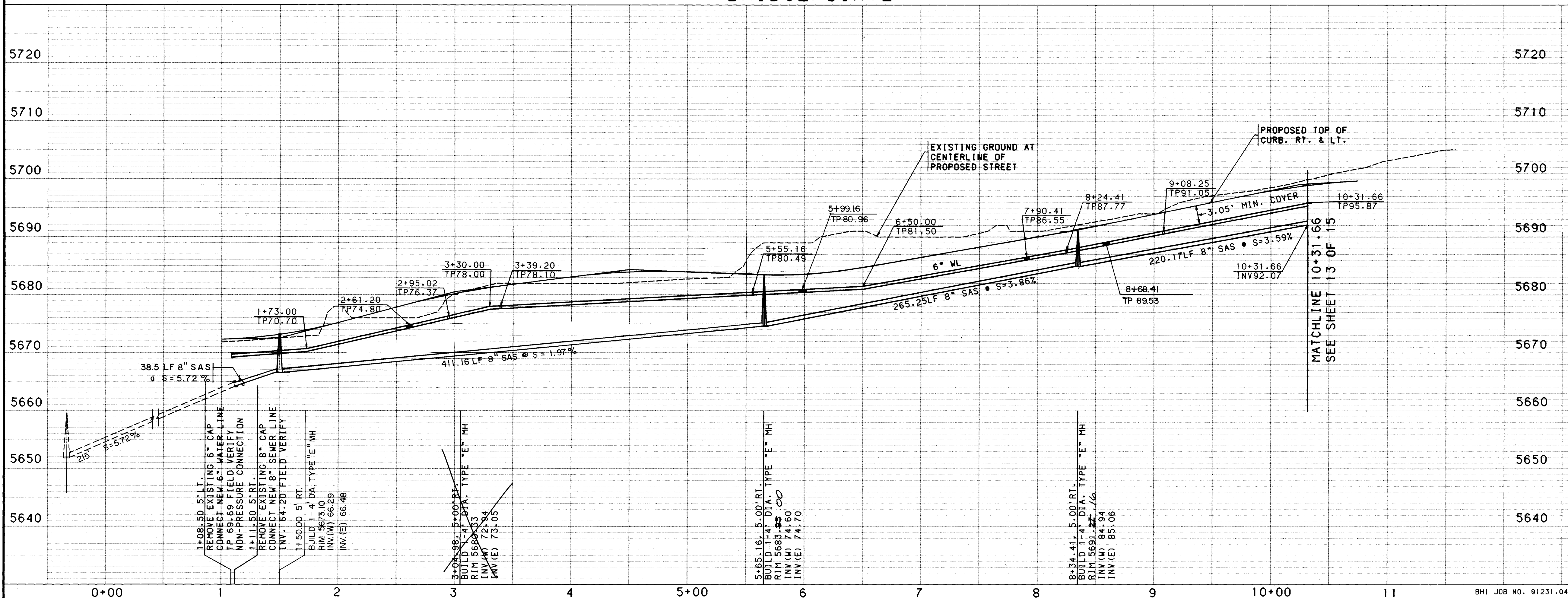
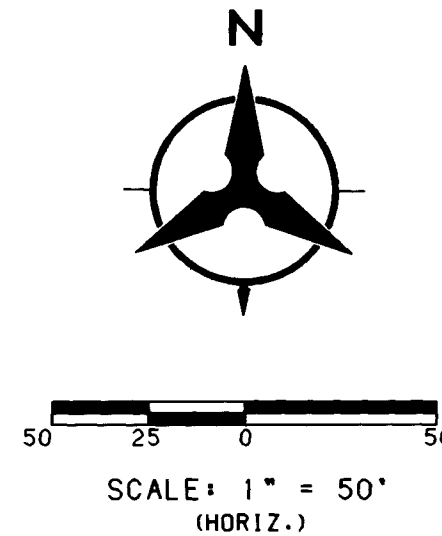
SEWER LINE CURVE DATA	
P.I.	4+68.07
Delta	3° 35' 15.0"
D	5' 42' 04"
L	31.4737'
L	62.9269'
R	1005.0000'

WATER LINE CURVE DATA	
P.I.	4+67.76
Delta	3° 35' 15.0"
D	5' 45' 30"
L	31.1606'
L	62.3007'
R	995.0001'

WATER & SANITARY SEWER SERVICES					
LOT NUMBER	STATION & OFFSET	WL TYPE	SAS STATION & OFFSET	SAS LENGTH	INV. OF PIPE AT PLUG
13	3+49.16, 5'LT.	SINGLE	3+68.88, 5'RT.	26.63'	77.96
14			4+47.10, 5'RT.	26.63'	79.59
15	5+08.25, 5'LT.	DOUBLE	5+23.25, 5'RT.	26.63'	79.49
16			6+08.25, 5'RT.	26.63'	79.38
17	6+68.25, 5'LT.	DOUBLE	6+93.25, 5'RT.	26.63'	81.88
18			7+73.25, 5'RT.	26.63'	84.69
19	8+33.25, 5'LT.	DOUBLE	8+53.25, 5'RT.	26.63'	87.65
20			9+28.25, 5'RT.	26.63'	90.74
21	9+88.25, 5'LT.	DOUBLE	10+08.25, 5'RT.	26.63'	93.88
62			2+54.33, 5'RT.	16.63'	73.77
63	2+14.36, 5'LT.	DOUBLE	1+86.85, 5'RT.	16.63'	70.00
64			1+31.82, 5'RT.	16.63'	68.36
65	1+07.69, 5'LT.	SINGLE	SEE SHEET 15	-----	-----
66	2+05.73, 5'LT.	DOUBLE	SEE SHEET 15	-----	-----
67	1+00.73, 5'LT.	SINGLE	1+23.23, 5'RT.	26.63'	68.55



BRIDGEPOINTE



NOTES

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NOTE:
STREET LIGHTS TO BE INSTALLED BY PMH.

SCANNED BY
BY LASON

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

KINGSWOOD AT TANOAN SUBDIVISION
UTILITY PLAN & PROFILE
BRIDGEPOINTE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>[Signature]</i>	11-13-91	WATER	<i>[Signature]</i>	11-13-91
TRANSPORTATION	<i>[Signature]</i>	10-21-91	WASTE WATER	<i>[Signature]</i>	
HYDROLOGY	<i>[Signature]</i>	10-21-91	N.M.U.I.		

DESIGNED BY	DATE	DRAWN BY	DATE	CHECKED BY	DATE
PH	9/91	NJT	9/91	JT	8/91

NO.	DATE	REMARKS
1 <td></td> <td>REVISIONS</td>		REVISIONS
2 <td></td> <td>DESIGN</td>		DESIGN

AS-BUILT INFORMATION

CONTRACTOR: *[Signature]*

INSPECTOR: *[Signature]*

DATE: *[Signature]*

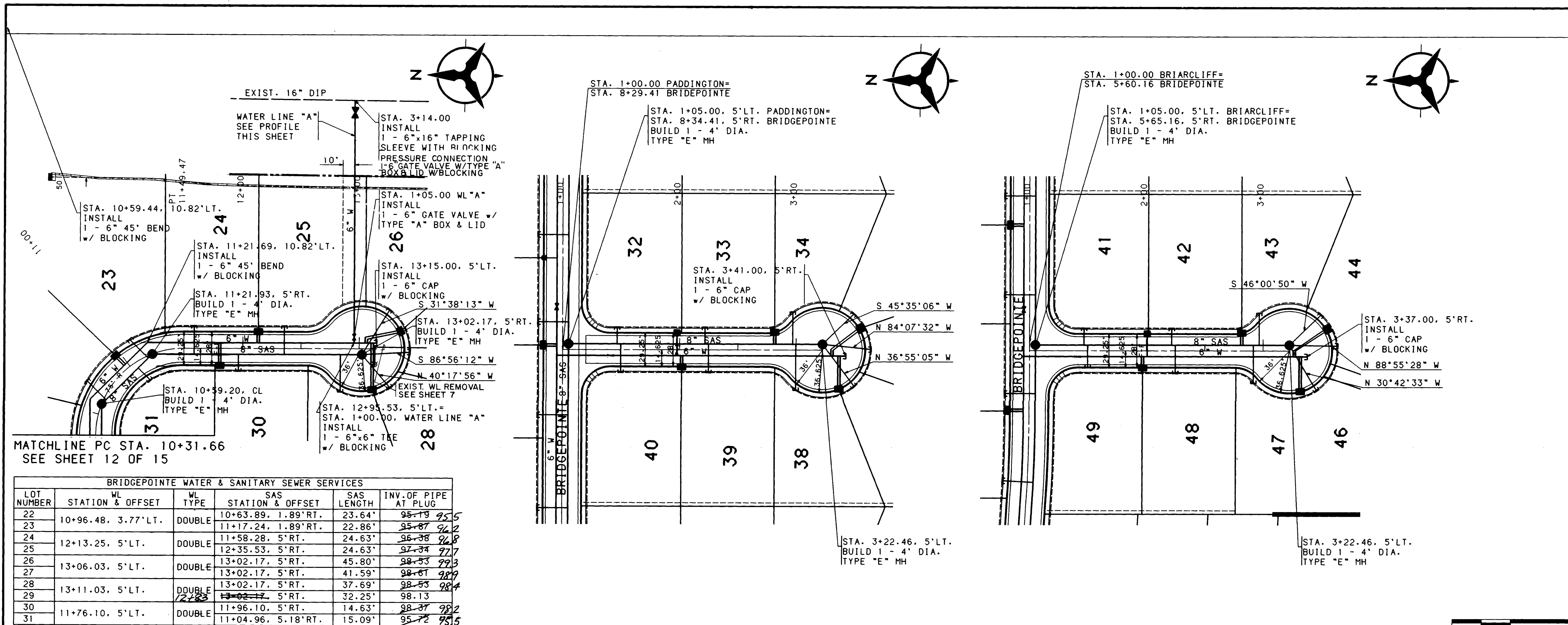
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DATE: *[Signature]*

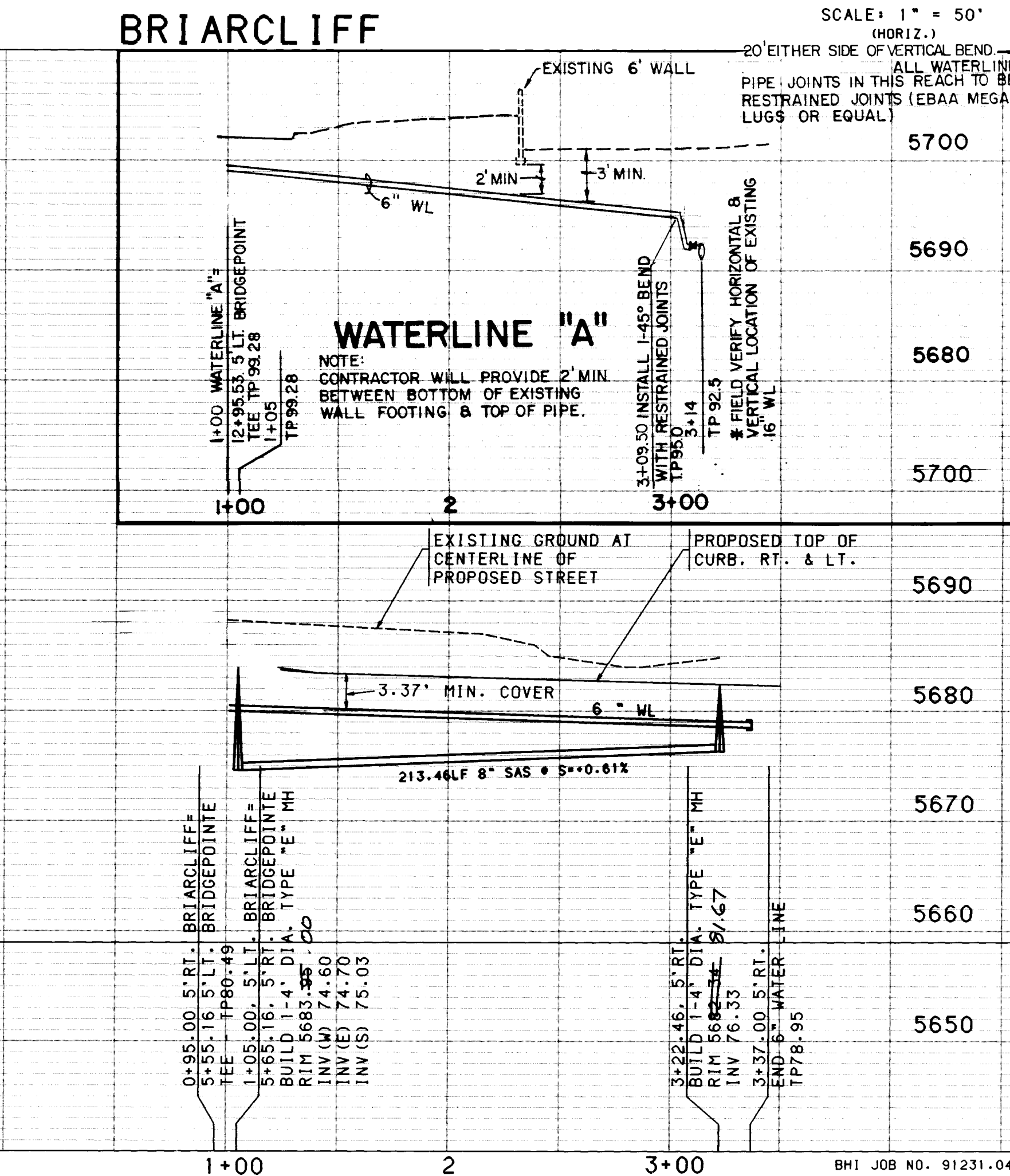
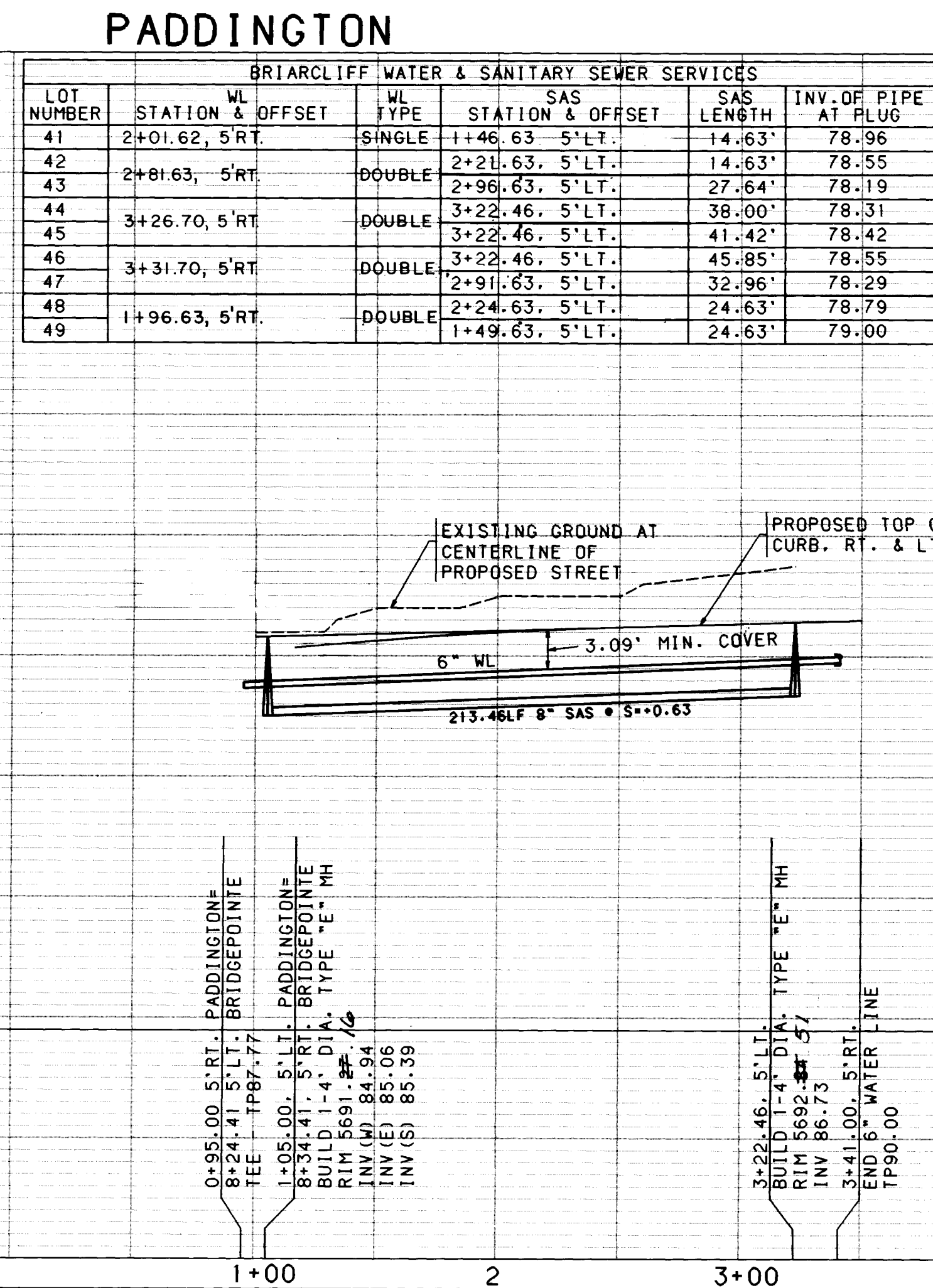
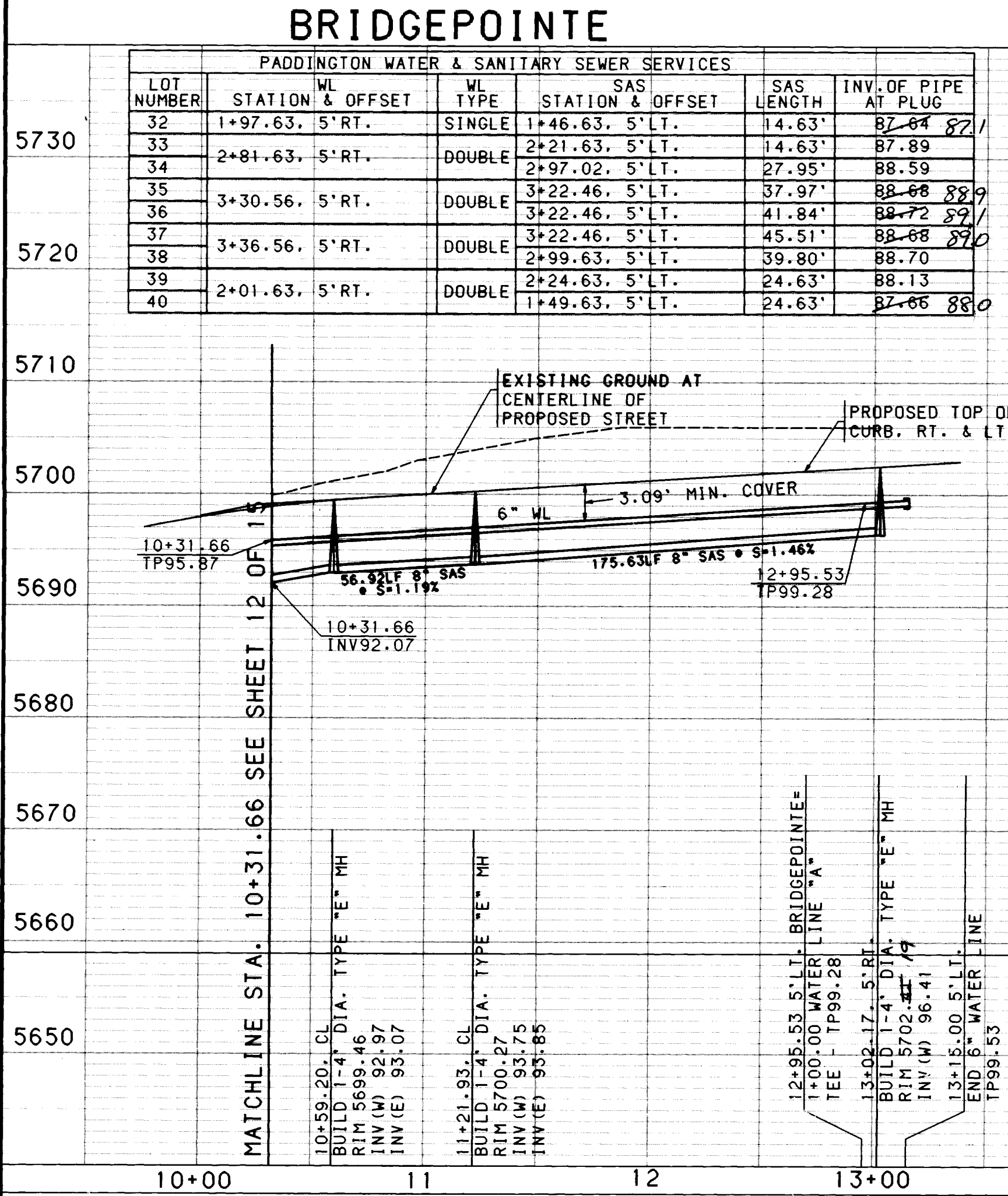
CORRECTED BY: *[Signature]*

DATE: *[Signature]*

NO.:



BRIDGEPOINTE WATER & SANITARY SEWER SERVICES				
LOT NUMBER	STATION & OFFSET	TYPE	SAS LENGTH	INV. OF PIPE AT PLUG
22	10+96.48, 3.77' LT.	DOUBLE	10+63.89, 1.89' RT.	23.64'
23			11+17.24, 1.89' RT.	22.86'
24	12+13.25, 5' LT.	DOUBLE	11+58.28, 5' RT.	24.63'
25			12+35.53, 5' RT.	24.63'
26	13+06.03, 5' LT.	DOUBLE	13+02.17, 5' RT.	45.80'
27			13+02.17, 5' RT.	41.59'
28	13+11.03, 5' LT.	DOUBLE	13+02.17, 5' RT.	37.69'
29			13+02.17, 5' RT.	32.25'
30	11+76.10, 5' LT.	DOUBLE	11+96.10, 5' RT.	14.63'
31			11+04.96, 5.18' RT.	15.09'



NOTES

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AS-BUILT INFORMATION

CONTRACTOR: *C.P.M.*
 STARTED BY: *Michael Land Surveying*
 ACCEPTANCE BY: *M. Walker*
 DATE: *11/2/91*

BENCH MARKS

THE BENCH MARK IS A STANDARD ACS 3 1/4" ALUMINUM CAP STAMPED "8-E21 1985". LOCATED APPROXIMATELY 375' WEST OF THE INTERSECTION OF ACADEMY BLVD. NE AND EUBANK BLVD. NE ON THE NORTH SIDE OF ACADEMY BLVD. NE. ELEVATION = 5702.26

SURVEY INFORMATION

NO.	DATE	BY	REMARKS
1	8/91	TOPOGRAPHY	
2	8/91	AERIAL PHOTOGRAPHY	
3	8/91	PERIMETER TIES & ELEV	
4	8/91	FIELD BOOK 51, P.18-21	

DESIGNED BY: *PH* DATE: 9/91
 DRAWN BY: *MJT* DATE: 9/91
 CHECKED BY: *JT* DATE: 9/91

STREET LIGHTS TO BE INSTALLED BY PNM.

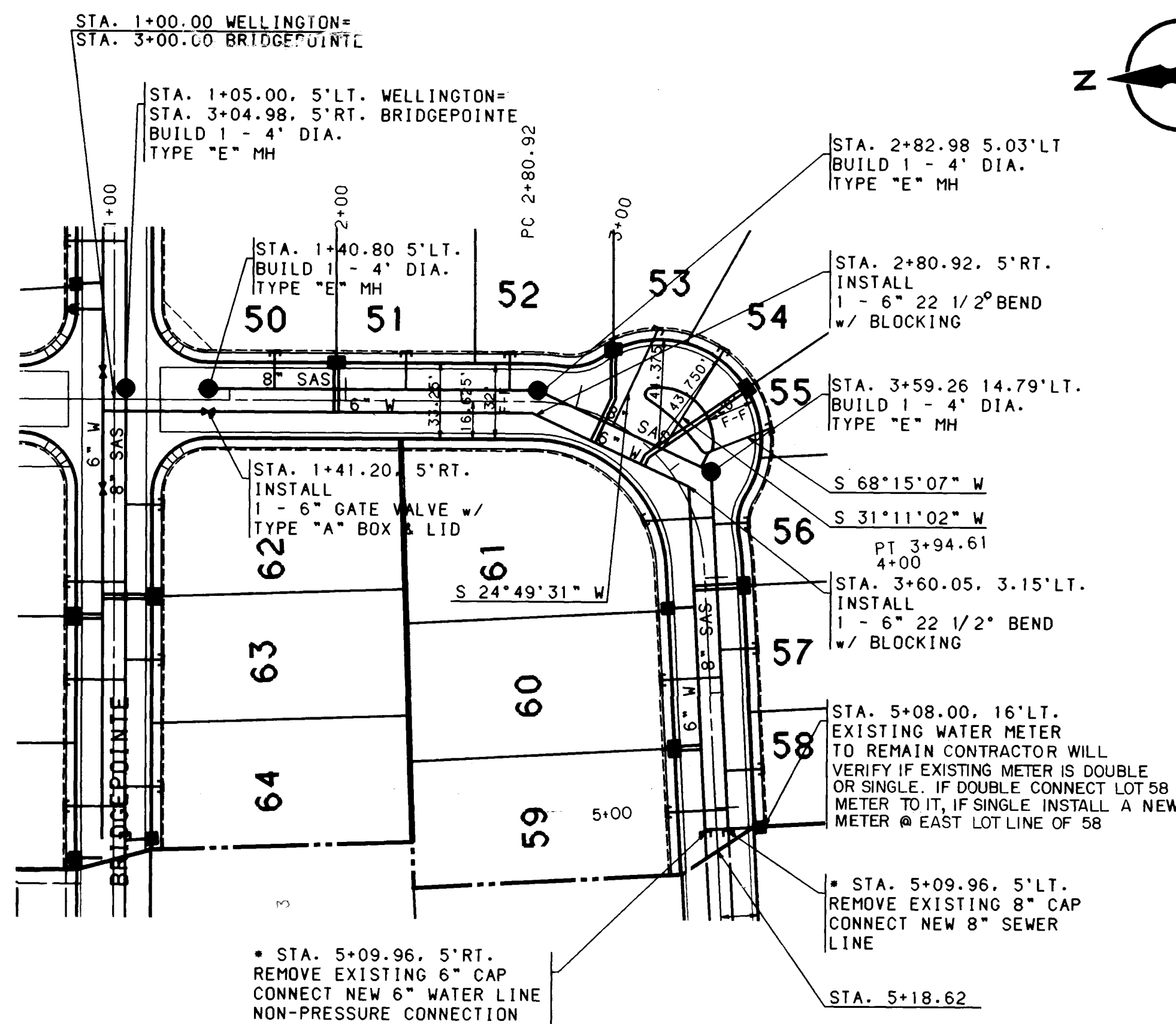
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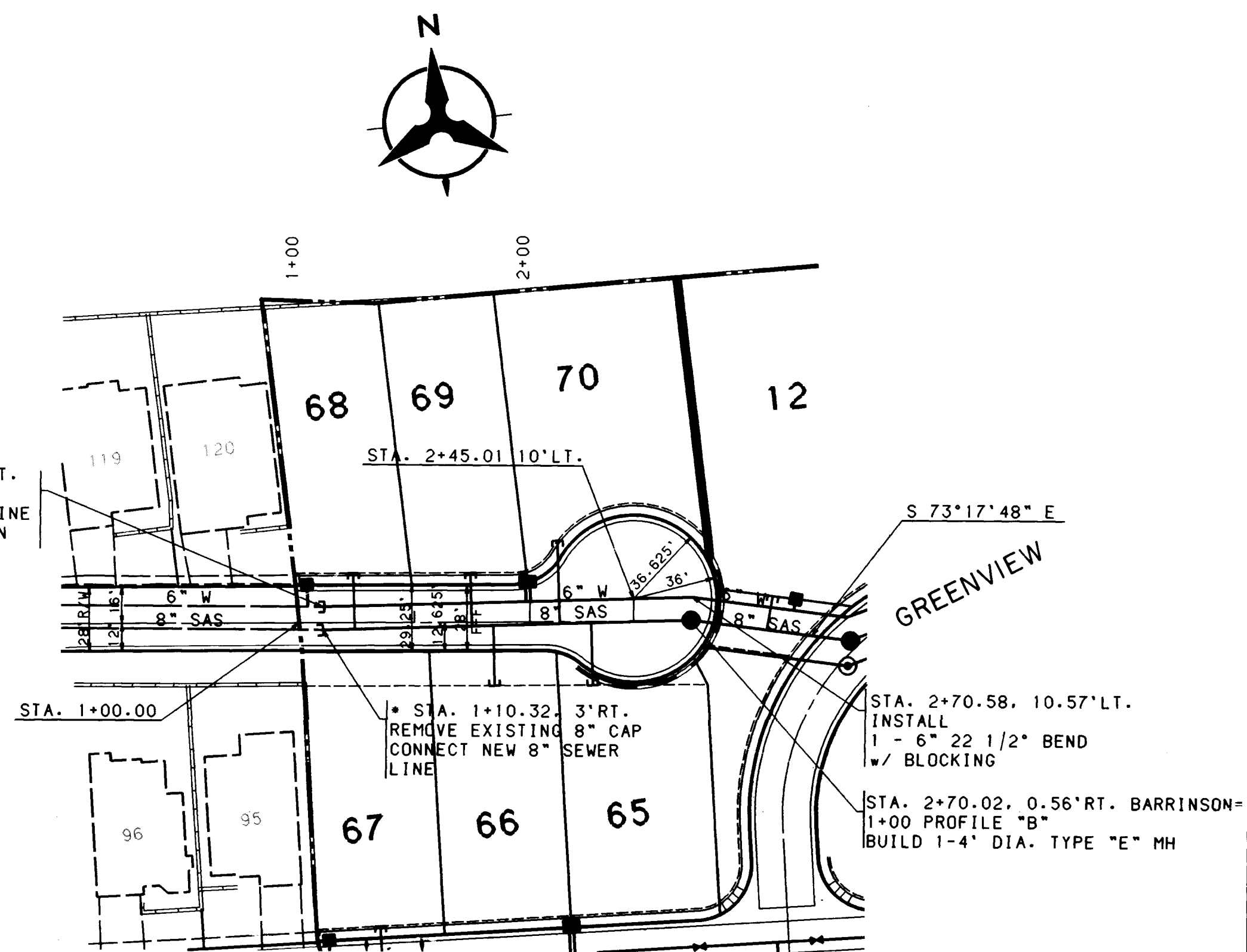
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING

KINGSWOOD AT TANOAN SUBDIVISION
 UTILITY PLAN & PROFILE
 BRIDGEPOINTE, PADDINGTON & BRIARCLIFF

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>[Signature]</i>	11-2-91	WATER	<i>[Signature]</i>	11-2-91
TRANSPORTATION	<i>[Signature]</i>	10-21-91	WASTE WATER	<i>[Signature]</i>	11-2-91
HYDROLOGY	<i>[Signature]</i>	10-21-91	N.M.U.I.		



NOTE:
FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING WATERLINE CAPS.



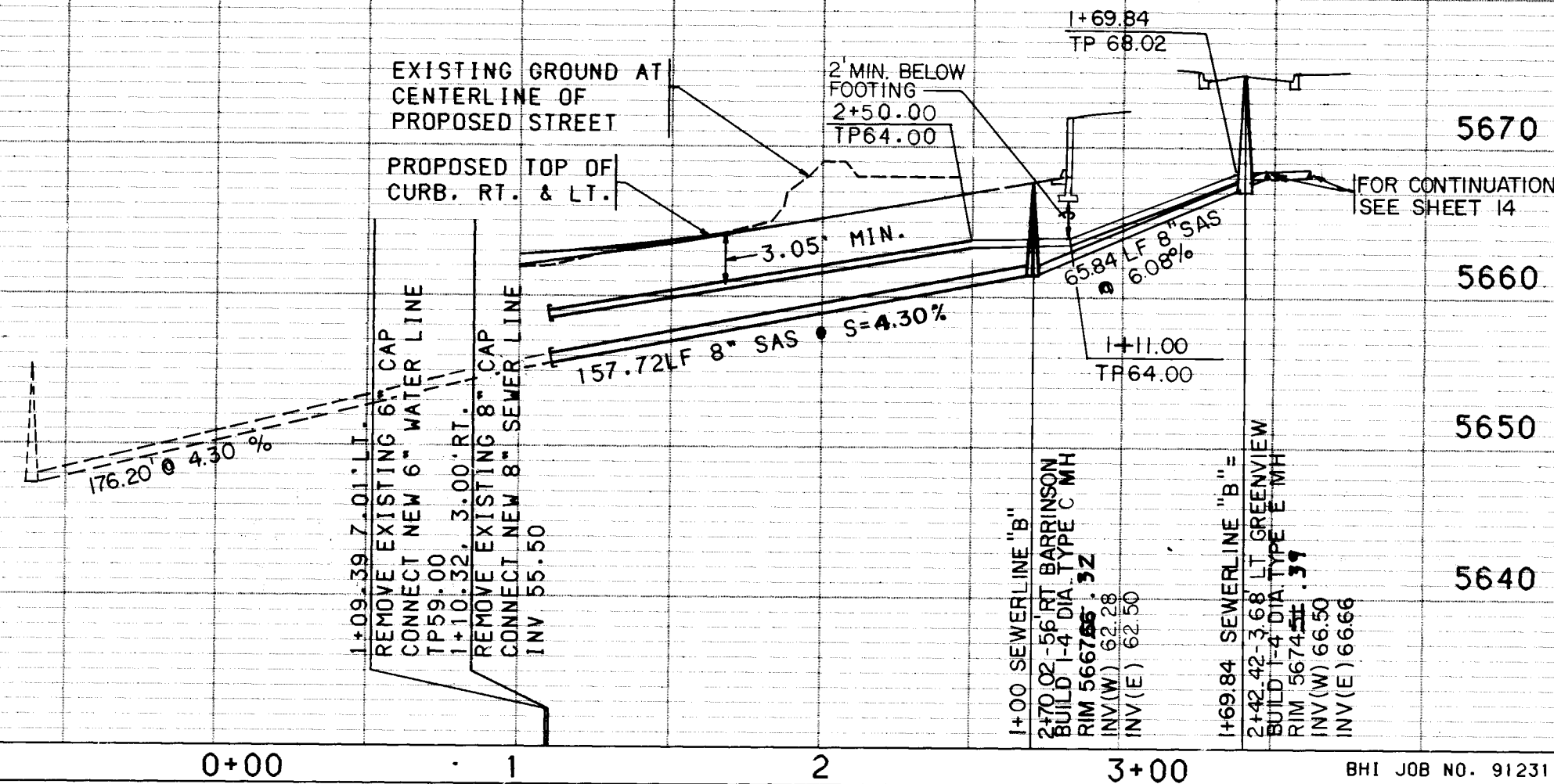
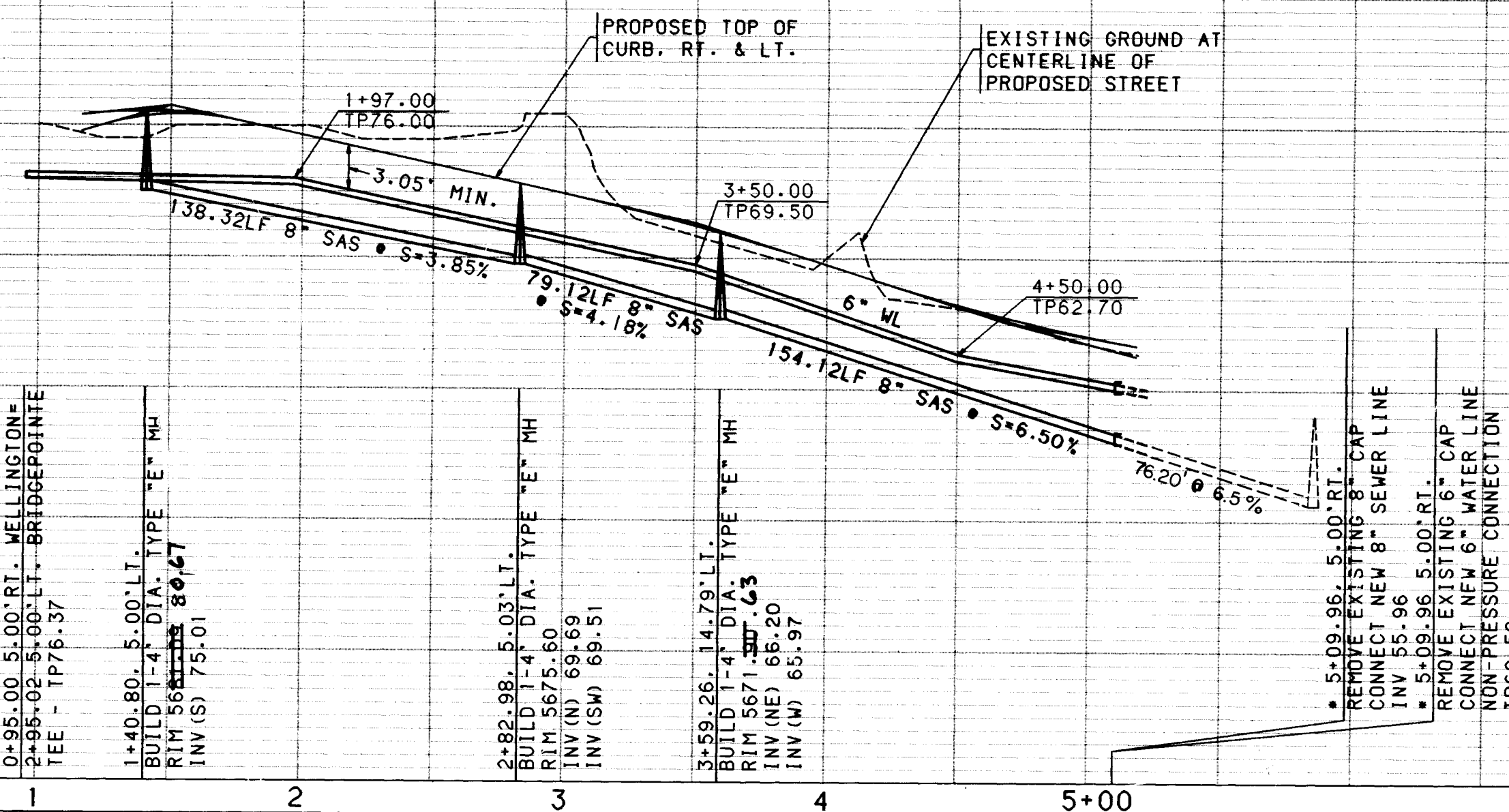
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WELLINGTON

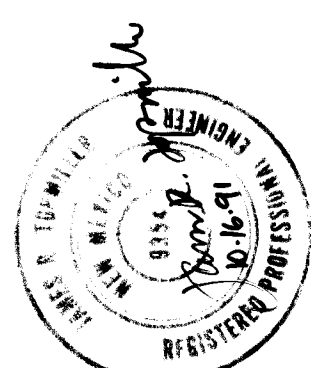
WATER & SANITARY SEWER SERVICES					
LOT NUMBER	STATION & OFFSET	WL TYPE	SAS STATION & OFFSET	SAS LENGTH	INV. OF PIPE AT PLUG
50	1+95.92, 5' LT.	DOUBLE	1+69.32, 5' LT.	16.63'	26.30' 72.0
51			2+25.92, 5' LT.	16.63'	23.85' 72.5
52	3+06.70, 11.45' RT.	DOUBLE	2+70.90, 5' LT.	16.63'	72.08' 71.8
53			3+17.91, 1.34' RT.	49.93'	70.28
54	3+44.70, 7.64' RT.	DOUBLE	3+41.04, 3.82' LT.	51.24'	69.07' 69.8
55			3+55.93, 12.16' LT.	36.56'	68.11
56	4+03.96, 5' RT.	DOUBLE	3+78.17, 6.96' LT.	15.59'	66.53' 66.7
57			4+31.46, 5' LT.	16.63'	63.22' 63.5
58	5+09.24, 5' RT.	EXIST.	4+83.96, 5' LT.	16.63'	60.45
59			5+00.78, 5' LT.	26.63'	59.17' 58.1
60	4+73.28, 5' RT.	DOUBLE	4+43.28, 5' LT.	26.63'	62.48' 62.7
61	4+73.28, 5' RT.	SINGLE	3+75.51, 7.67' LT.	30.86'	66.69' 66.9

BARRINSON

WATER & SANITARY SEWER SERVICES					
LOT NUMBER	STATION & OFFSET	WL TYPE	SAS STATION & OFFSET	SAS LENGTH	INV. OF PIPE AT PLUG
12	1+42.91	SINGLE	1+32.91	15.02'	65.00
65	SEE SHEET 12 OF 15		2+26.49, 0.41' RT.	27.22'	2.88
66	SEE SHEET 12 OF 15		1+83.95, 1.36' RT.	26.27'	61.41
67	SEE SHEET 12 OF 15		SEE SHEET 12 OF 15		
68	1+03.68, 7.07' LT.	SINGLE	1+24.03, 2.70' RT.	24.33'	58.44
69			1+74.79, 1.56' RT.	23.20'	60.03
70	1+98.99, 8.96' LT.	DOUBLE	2+12.84, 0.72' RT.	36.14'	61.45



NOTE:
STREET LIGHTS TO BE INSTALLED BY PM.



SCANNED BY
BY LASON

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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING**

**KINGSWOOD AT TANOAN SUBDIVISION
UTILITY PLAN & PROFILE
WELLINGTON & BARRINSON**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	11-13-91	WATER			
TRANSPORTATION	10-21-91	WASTE WATER			
HYDROLOGY	10-21-91	N.H.U.I.			

DESIGNED BY: PH
DRAWN BY: RJT
CHECKED BY: JT

DATE: 9/91
DATE: 9/91
DATE: 9/91

DRAWING NO. 4353.90
MAP NO. E-21
SHEET 15 OF 15