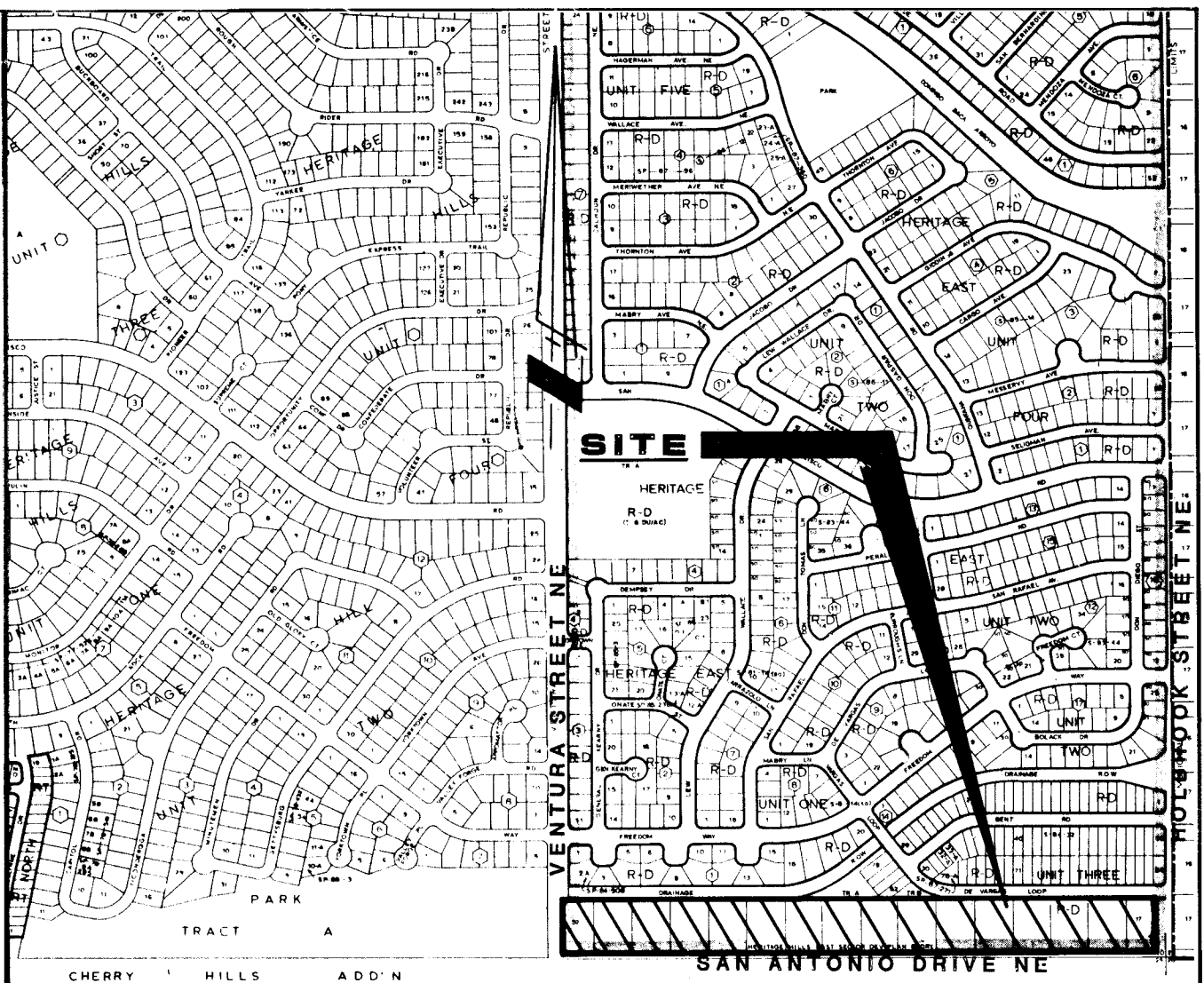


CONSTRUCTION PLANS FOR

VENTURA ESTATES

DRAINAGE, GRADING, PAVING AND UTILITY IMPROVEMENTS



LOCATION MAP: D-20 SCALE: 1" = 800'

- GENERAL NOTES:
- All work detailed on these plans to be performed under contract, and unless stated otherwise or provided for hereon, shall be constructed in accordance with the City of Albuquerque Standard Specifications, Public Works Construction, 1986 Edition.
 - Two working days prior to any excavation, the contractor must contact New Mexico One Call, 260-1990, for location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of existing utilities being connected to and all potential obstructions. Should a conflict exist, the contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
 - All Work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules and regulations concerning safety and health.
 - Contractor shall maintain access to adjacent properties during construction.
 - All gas, electric, telephone lines, cables and appurtenances encountered during construction that require relocation shall be done by the responsible utility. The contractor shall be responsible for coordination of all necessary utility adjustments.
 - It shall be the contractor's responsibility to protect and maintain in service all existing utilities.
 - The contractor shall be required to confine his work within the construction limits and/or public right of way or easements to preserve existing vegetation and private property. Overnight parking of equipment and/or storage of materials is not allowed except by permission of Owner. Restoration of private improvements will be at the contractor's expense.
 - A disposal site for all excess excavation material, asphaltic paving concrete curbs and sidewalks, etc. shall be obtained by the contractor in compliance with applicable environmental regulations and approved by the Field Engineer. All costs incurred in obtaining a disposal site and haul thereto shall be considered incidental to the project and no separate measurement or payment shall be made.
 - When abutting existing pavement to new, sawcut existing pavement to a straight edge and at a right angle, or as approved by the Project Engineer, to remove any broken or cracked pavement.
 - Three (3) working days prior to beginning construction the Contractor shall submit to the Construction Co-ordination Division a detailed construction schedule. Two (2) working days prior to construction the contractor shall obtain a barricading permit from the construction Co-ordination Division. Contractor shall notify Barricade Engineer (768-2551) prior to occupying an intersection. See Section 19 of the specifications.
 - All street striping altered or destroyed shall be replaced in kind by the Contractor to location, and in kind as existing or as indicated on the planset.
 - All Final Backfill for trenches shall be compacted to a minimum 90% maximum density per ASTM D-1557 and as directed by Section 701.14.2 and Standard Drawing Number 2315.

INDEX

- Cover Sheet & General Notes
- Final Plat
- Final Plat
- Final Plat
- Grading & Drainage Plan
- Grading & Drainage Plan
- Overall Paving, Drainage & Utility Plans

PAVING PLAN & PROFILE

- | | | |
|-----|---------------------|------------------------------|
| 8. | Redmont Road NE | STA. 0+00 to STA. 9+00 |
| 9. | Redmont Road NE | STA. 9+00 to STA. 17+23.17 |
| 10. | Redmont Road NE | STA. 0+00 to STA. 8+97.87 |
| 11. | Whitewood Court NE | STA. 0+00 to STA. 1+69.17 |
| 12. | Greenmont Court NE | STA. 0+00 to STA. 1+69.42 |
| 13. | Ventura Street NE | STA. 0+41.39 to STA. 4+23.97 |
| 14. | Greenwood Street NE | STA. 0+00 to STA. 3+12.47 |
| 15. | Holbrook Street NE | STA. 1+75 to STA. 4+66.32 |

UTILITY PLAN & PROFILE

- | | | |
|-----|---------------------|------------------------------|
| 14. | Redmont Road NE | STA. 0-21.10 to STA. 9+00 |
| 15. | Redmont Road NE | STA. 9+00 to STA. 17+23.17 |
| 16. | Redmont Road NE | STA. 0-10.00 to STA. 9+13.87 |
| 17. | Whitewood Court NE | STA. 0-5.00 to STA. 1+74.17 |
| 18. | Greenmont Court NE | STA. 0-5.00 to STA. 1+74.42 |
| 19. | Ventura Street NE | STA. 2+56.87 to STA. 5+04.80 |
| 20. | Greenwood Street NE | STA. 0-10.00 to STA. 3+12.47 |

STORM DRAINAGE PLAN & PROFILE

- | | | |
|-----|-------------------|------------------------------|
| 19. | Ventura Street NE | STA. 1+81.83 to STA. 2+46.83 |
| 20. | Redmont Road NE | STA. 0+14.22 to STA. 2+21.69 |
| 21. | Grading Details | |
| 22. | Details | |

PAUL T. BRASHER
2-9-93

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4404.900 193

SCANNED BY
BYLASON

RECORD DRAWING

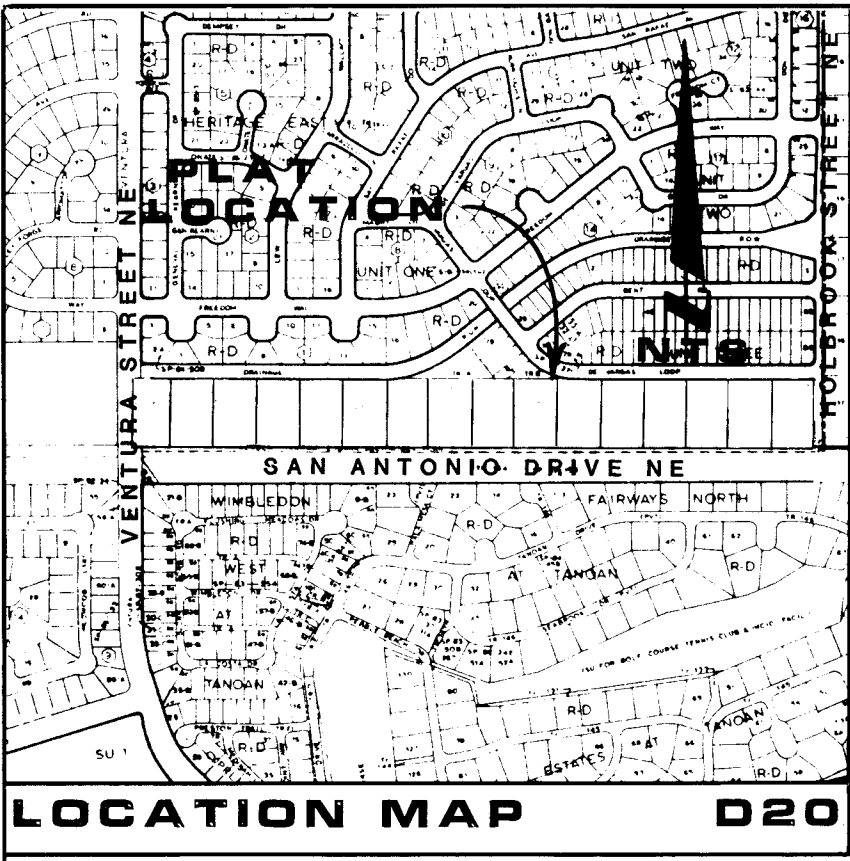
This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27. to the best of my knowledge and belief.

Paul Brasher, P.E. 7282



△	6	7/10/13/16/22	DATE	8/3/92	USER	R.W. Kane	DEPT.	7-31-92	DATE	7-31-92
△			DATE	8/3/92	USER	R. Kane	DEPT.	7-31-92	DATE	7-31-92
REV	SHEETS	CITY	ENGR	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
APPROVAL OF REVISIONS										

ENGINEER'S SEAL 4.24-92	BRASHER ENGINEERING INC. 11930 MENAUL BLVD. NE SUITE 111 ALBUQUERQUE, NEW MEXICO 87112 (505) 296-0422	APPROVED FOR CONSTRUCTION C.E.
PROJECT NUMBER 4404.90		SHEET 1 OF 22



SP NO.90120509490079

DESCRIPTION CONT'D

THENCE leaving said centerline, S89°39'32"E, a distance of 2641.72 feet to the northeast corner of the herein described tract, said point being on the centerline of Holbrook Street NE and on the extension of the southerly right-of-way line of DeVargas Loop NE;

THENCE S00°07'14"W, a distance of 266.41 feet along the centerline of Holbrook Street NE to the southeast corner of the tract herein described, said point being on the southerly right-of-way line of San Antonio Road NE;

THENCE along said right-of-way line N89°36'40"W, a distance of 2641.77 feet to the point of beginning and containing 16.0898 acres more or less.

OWNER'S FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner and/or proprietor thereof. Said owner and/or proprietor does hereby dedicate all public rights-of-way as shown hereon to the City of Albuquerque in fee simple. Said owner and/or proprietor hereby grants public utility easements as shown hereon and granted for the common, joint use and benefit of:

- The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- U.S. West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Jones Interconnect for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Said owner and/or proprietor grants private drainage easements for the construction of certain improvements as shown hereon and reserving all future interest and rights thereto unto said owner and/or proprietor. Said owner and/or proprietor consents to the vacation of public right-of-way or portions thereof, the elimination of existing interior lot lines, and vacation of water, sanitary sewer and public utility easement(s) as shown hereon.

B. R. LAND DEVELOPERS, INC.

R. Bart Rutledge, President
Paul Blanchard, Executive Treasurer

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 23rd day of APRIL, 1992 by:

R. BART RUTLEDGE, PRESIDENT
PAUL BLANCHARD, EXECUTIVE TREASURER
B. R. LAND DEVELOPERS, INC. (corporation)
a New Mexico corporation on behalf of said corporation
My commission expires: 5-26-93

9244692

PLAT FOR
VENTURA ESTATES
UNIT ONE
BLOCKS A, B, C, AND D
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO
APRIL 1992

APPROVED AND ACCEPTED BY:

Subdivision Case No. 5-92-3, V-92-3, DV-42-3

Planning Director, City of Albuquerque 5-12-92
City Engineer, City of Albuquerque 5-12-92
Albuquerque Metropolitan Arroyo Flood Control Authority 5-12-92
Traffic Division, City of Albuquerque 5-12-92
Water Utilities Department, City of Albuquerque 5-12-92
Public Recreation Department, City of Albuquerque 5-12-92
City Surveyor, City of Albuquerque 5-12-92
County Treasurer, Bernalillo County 5-12-92
County Engineer, Bernalillo County 5-12-92
US West Telecommunications 5-12-92
Public Service Company of New Mexico 5-12-92
Jones Interconnect, Inc. 5-12-92

SURVEYOR'S CERTIFICATION

"I, Bernard W. Setts, Jr., do hereby certify specifically and only to the owner, B.R. Land Developers, Inc., a field survey, under my supervision, was made on the ground using the normal standard of care of Professional Land Surveyors practicing in the State of New Mexico on this date. The field survey was made for the purpose of platting. All notes shown hereon are a part of this certification and this map accurately depicts the results of said survey. I further certify that this plat meets the minimum requirements for monumentation of the City of Albuquerque and the State Minimum Standards for Surveying November 1989."

Bernard W. Setts, Jr., N.M.S. No. 8478
Surveyor of Record
P.C.S. Job No. 92-48

1-280-043-273015-46101 ETC.
Anita, Richard
Candy Chang 5/12/92

SHEET 1 OF 5

PROFESSIONAL
CONTRACTING
SERVICES
Surveying - Technical - Planning
SERVICE
2700 JUAN TABO, NE - ALBUQUERQUE, N.M.
SUITE G-121 87112-294-2609

SP NO.90120509490079

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Centerline (in lieu of R/W monumentation) to be installed at all centerline P.O.'s, P.T.'s, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PS 8478", indicated hereon "A".
- Plat shows all easements of record.
- Lots noted with an asterisk (*) shall meet the setback and height limitations as noted in Sections 10.E.3.d. and 40.C.1.g. respectively, of the City of Albuquerque Comprehensive City Zoning Code.
- Unless otherwise noted, all interior lot corners will be a 5/8" rebar w/yellow plastic cap "PS 8478". All interior corners will be set within one calendar year of plat recordation date.
- Unless otherwise indicated, all streets are 50 feet wide, all cul-de-sacs have a radius of 45 feet with 25 foot returns and all block corner returns have a radius of 25 feet.

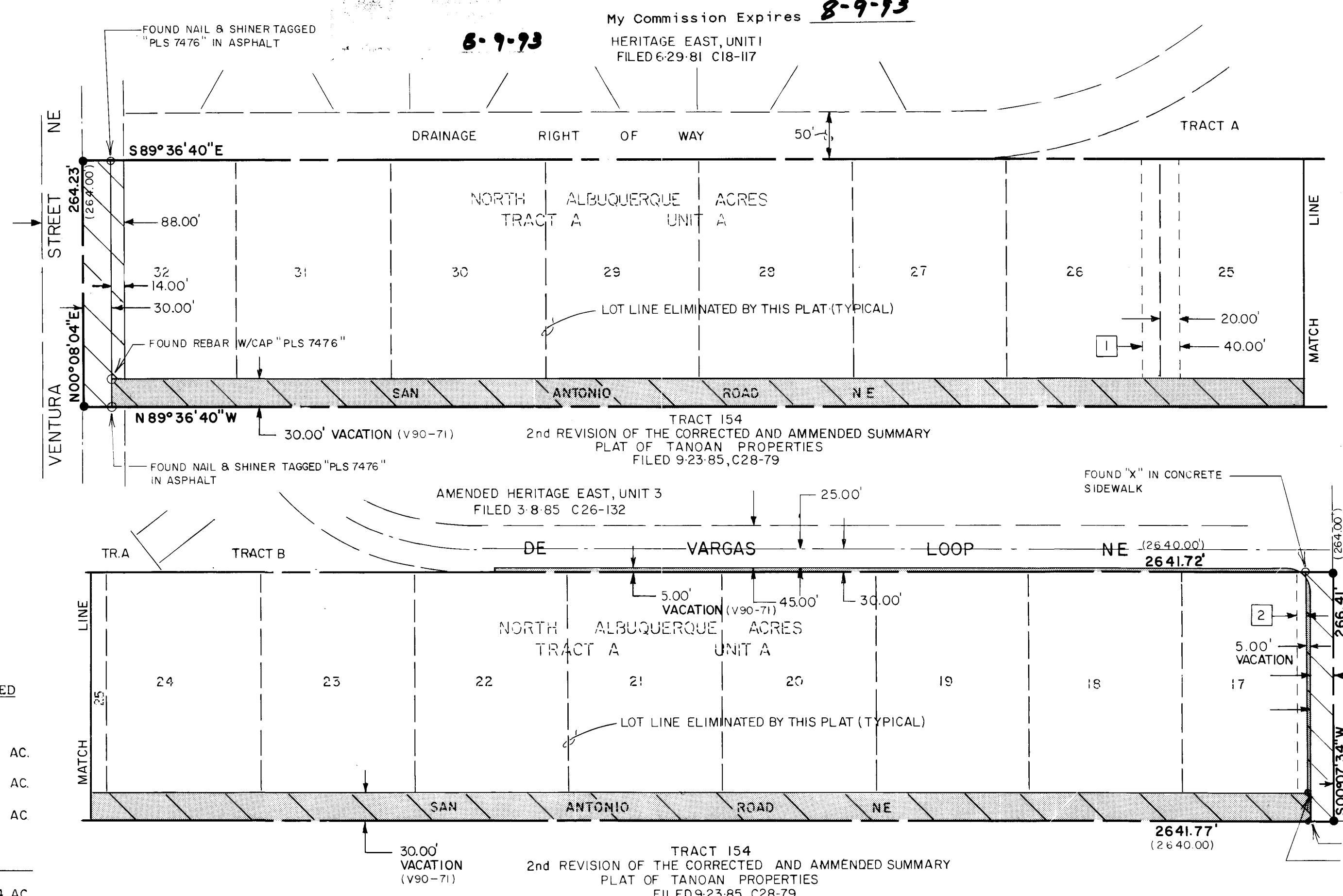
- Unless otherwise indicated, all boundary corners are a 5/8" rebar w/yellow plastic cap "PS 8478".
- Surveyor's Certification applies only to those elements of the plat which are set forth in the "Engineering and Surveying Practice Act", Section 61-23 and "Minimum Standards for Land Surveying in New Mexico", November 1, 1989.
- City of Albuquerque water and sanitary sewer service to the referenced property must be verified and coordinated with the Public Works Department, City of Albuquerque.

PWM EASEMENT RELEASE APPROVAL

Public Service Company of New Mexico does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PUBLIC SERVICE COMPANY OF NEW MEXICO
By R. B. Rutledge

State of New Mexico)
County of Bernalillo)
The foregoing instrument was acknowledged before me this 23rd day of MAY, 1992, by R. B. Rutledge
of the Public Service Company of New Mexico, a New Mexico corporation, on behalf of said corporation.
R. B. Rutledge
Notary Public
My Commission Expires 8-9-93



TABULATION OF RIGHT-OF-WAY DEDICATION AND VACATION

	DEDICATED	VACATED
VENTURA STREET NE	0.2573 AC.	—
DEVARGAS LOOP NE	—	0.0984 AC.
HOLBROOK STREET NE	0.1540 AC.	0.0295 AC.
SAN ANTONIO ROAD NE	—	1.7815 AC.
INTERIOR STREETS	3.7276 AC.	—
TOTAL	4.1376 AC.	1.9094 AC.
NET DEDICATION	2.2282 AC.	—

LEGEND
RIGHT-OF-WAY DEDICATED AND VACATED BY THIS PLAT (V90-71)
RIGHT-OF-WAY VACATED BY THIS PLAT (V90-71)
RIGHT-OF-WAY DEDICATED BY THIS PLAT
VACATED EASEMENTS - V90-71
1- 40 FOOT WATER, SANITARY SEWER, AND UTILITY EASEMENT, FILED 09/04/81, BK MISC. 877, PGS. 117-120, DOC. NO. 81-47863
2- 10 FOOT UNDERGROUND UTILITY EASEMENT, FILED 08/12/86, BK. MISC. 382A, PG. 561

PROFESSIONAL
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SERVICE
2700 JUAN TABO, NE - ALBUQUERQUE, N.M.
SUITE G-121 87112-294-2609

SHEET 2 OF 5

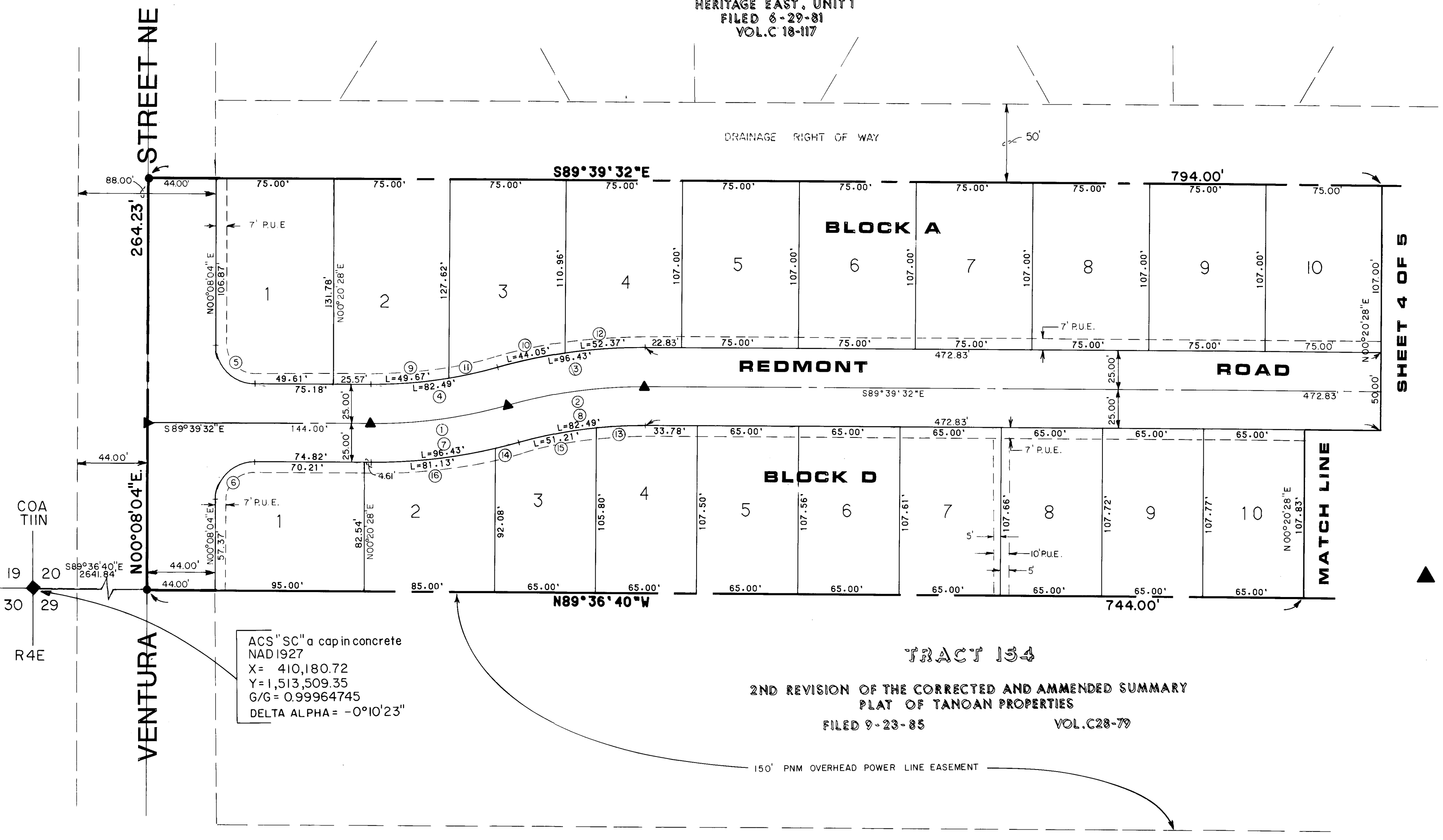
US WEST COMMUNICATIONS QUITCLAIM
KNOW ALL MEN BY THESE PRESENTS: that US WEST COMMUNICATIONS, INC., a Colorado Corporation, hereinafter called "Company" for and in consideration of One Dollar (\$1.00) and other good and valuable considerations in hand paid, the receipt whereof is hereby confessed and acknowledged, does hereby release, remise and quitclaim all the right, title and interest in the easements shown to be vacated on this plat and hereby expressly excepting and reserving to the Company, any and all interest otherwise acquired in said property, except as shown to be vacated.
IN WITNESS WHEREOF, The Company has caused these presents to be executed by its duly authorized officer this 5th day of MAY 1992.
1992 by Anthony J. Padilla as Manager/Network and Technology Services of US WEST Communications, Inc., a Colorado Corporation, on behalf of the corporation.
Matthew Leach Witness my hand and official seal.
Notary Public My commission expires 6-27-95

CURVE TABLE						
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	TAN	CH. BEARING
1	15°58'28"	320.87	89.46	89.17	45.02	N82°21'14"E
2	15°58'28"	320.87	89.46	89.17	45.02	N82°21'14"E
3	15°58'28"	320.87	89.46	89.17	45.02	N82°21'14"E
4	15°58'28"	320.87	89.46	89.17	45.02	N82°21'14"E
5	89°47'36"	25.00	39.18	35.29	24.91	N44°45'44"W
6	90°12'24"	25.00	39.36	35.42	25.09	N45°14'16"E
7	15°58'28"	320.87	89.46	89.17	45.02	N82°21'14"E
8	15°58'28"	320.87	89.46	89.17	45.02	N82°21'14"E
9	09°37'06"	295.87	49.67	49.61	24.89	N85°31'55"W
10	07°17'53"	345.87	44.05	44.02	22.06	S78°00'57"W
11	06°21'22"	295.87	32.82	32.80	16.43	S77°32'41"W
12	08°40'35"	345.87	52.37	52.32	26.24	S86°00'11"W
13	06°03'27"	295.87	31.28	31.26	15.65	N87°18'45"E
14	02°32'04"	345.87	15.30	15.30	7.65	N75°38'03"E
15	09°58'01"	295.87	51.21	51.15	25.67	N79°19'31"E
16	13°26'23"	345.87	61.13	60.94	40.75	N83°37'16"E

PLAT FOR
VENTURA ESTATES
UNIT ONE
BLOCKS A, B, C, AND D
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO
APRIL 1992

LOT ACREAGE TABLE

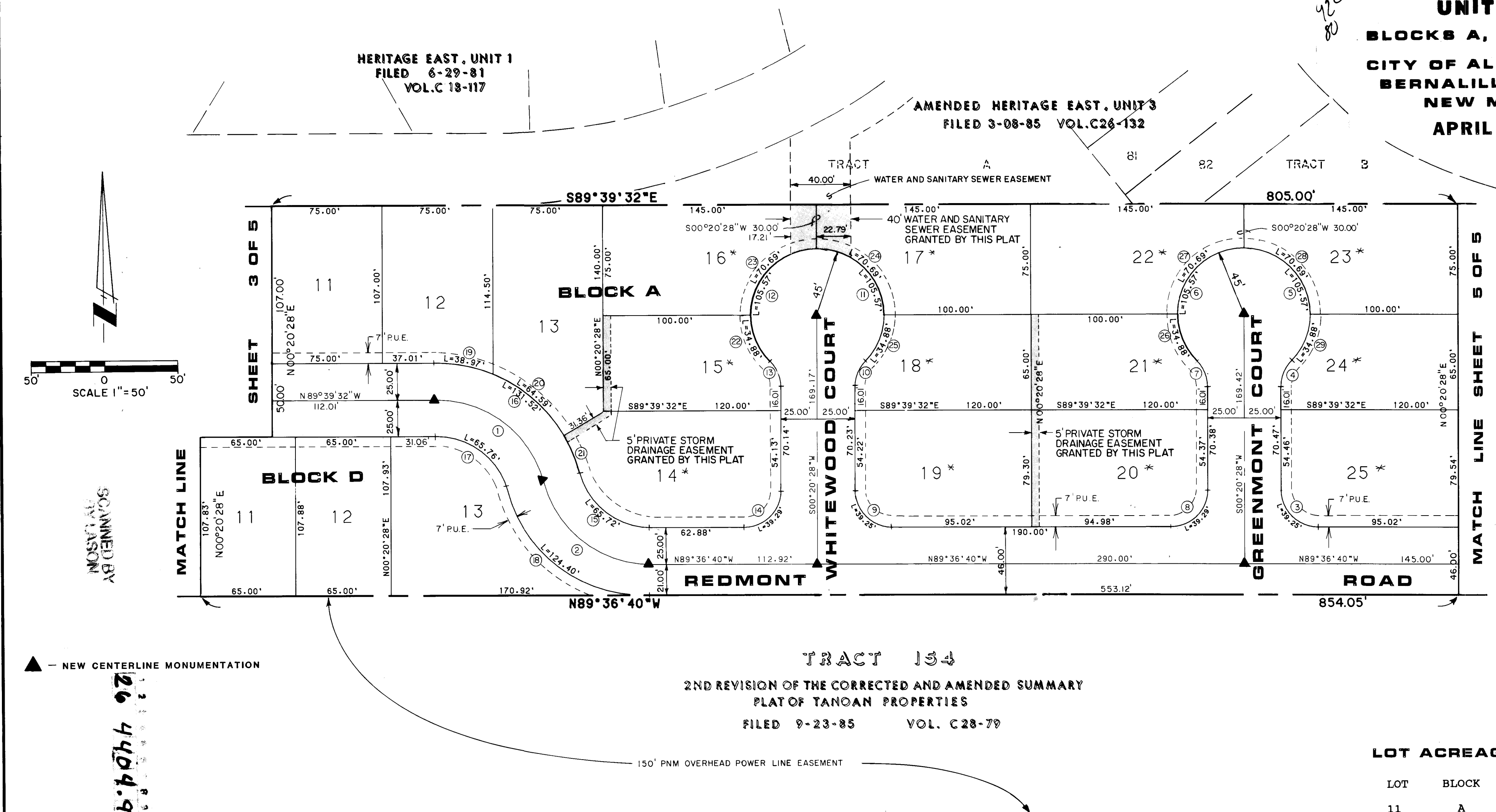
LOT	BLOCK	ACREAGE
1	A	0.2231
2	A	0.2253
3	A	0.2050
4	A	0.1858
5	A	0.1842
6	A	0.1842
7	A	0.1842
8	A	0.1842
9	A	0.1842
10	A	0.1842
1	D	0.1771
2	D	0.1669
3	D	0.1491
4	D	0.1600
5	D	0.1605
6	D	0.1605
7	D	0.1606
8	D	0.1607
9	D	0.1608
10	D	0.1609



TRACT 154
2ND REVISION OF THE CORRECTED AND AMENDED SUMMARY
PLAT OF TANDAN PROPERTIES
FILED 9-23-85 VOL. C28-79

JOB NO. : 92-48
OFFICE : BWS
DRAFT : BWS
FILED BY : SWLS
DATE : 4-92
PROFESSIONAL CONTRACTING SERVICES
Surveying - Technical - Planning
SERVICE
2700 ALAM TADO, NE - ALBUQUERQUE, N.M.
SUITE G-121 87112-299-0009

PLAT FOR
VENTURA ESTATES
UNIT ONE
BLOCKS A, B, C, AND D
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO
APRIL 1992



TRACT 154
2ND REVISION OF THE CORRECTED AND AMENDED SUMMARY
PLAT OF TANDAN PROPERTIES
FILED 9-23-85 VOL. C28-79

LOT ACREAGE TABLE

LOT	BLOCK	ACREAGE
11	A	0.1842
12	A	0.1864
13	A	0.2357
14	A	0.2353
15	A	0.1666
16	A	0.2131
17	A	0.2131
18	A	0.1666
19	A	0.2152
20	A	0.2155
21	A	0.1666
22	A	0.2131
23	A	0.2131
24	A	0.1666
25	A	0.2159
11	D	0.1609
12	D	0.1610
13	D	0.2246

CURVE TABLE						
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	TAN	CH. BEARING
1	75°21'26"	75.00	98.64	91.68	57.92	S51°58'49"E
2	75°18'34"	75.00	98.58	91.64	57.87	S51°57'23"E
3	89°57'08"	25.00	39.25	35.34	24.98	N44°48'06"W
4	44°24'55"	25.00	39.38	35.42	25.09	N45°14'16"E
5	134°24'55"	45.00	105.57	82.97	107.09	N22°27'04"W
6	134°24'55"	45.00	105.57	82.97	107.09	N22°27'04"W
7	44°24'55"	25.00	39.38	35.42	25.09	N45°14'16"E
8	90°02'52"	25.00	39.29	35.37	25.02	S45°21'53"W
9	89°57'08"	25.00	39.25	35.34	24.98	N44°48'06"W
10	44°24'55"	25.00	39.38	35.42	25.09	N45°14'16"E
11	134°24'55"	45.00	105.57	82.97	107.09	N22°27'04"W
12	134°24'55"	45.00	105.57	82.97	107.09	N22°27'04"W
13	44°24'55"	25.00	39.38	35.42	25.09	N45°14'16"E
14	90°02'52"	25.00	39.29	35.37	25.02	S45°21'53"W
15	75°18'34"	50.00	65.72	61.09	38.58	N51°57'23"W
16	75°21'26"	100.00	131.52	122.25	77.23	N51°58'49"W
17	75°21'26"	50.00	65.76	61.12	38.61	S51°58'49"E
18	75°18'34"	94.64	124.40	115.63	73.03	S51°57'23"E
19	22°19'33"	100.00	38.97	38.72	19.73	N78°29'46"W
20	37°00'24"	100.00	64.59	63.47	33.47	N48°49'47"W
21	16°01'28"	100.00	27.97	27.88	14.08	N22°18'50"W
22	44°24'55"	45.00	34.88	34.02	18.37	S21°52'00"E
23	90°00'00"	45.00	70.69	63.64	45.00	S45°20'28"W
24	90°00'00"	45.00	70.69	63.64	45.00	N44°39'32"E
25	44°24'55"	45.00	34.88	34.02	18.37	S21°52'00"E
26	44°24'55"	45.00	34.88	34.02	18.37	S21°52'00"E
27	90°00'00"	45.00	70.69	63.64	45.00	S45°20'28"W
28	90°00'00"	45.00	70.69	63.64	45.00	N44°39'32"E
29	44°24'55"	45.00	34.88	34.02	18.37	N22°32'56"E

JOB NO. : 92-48
OFFICE : BWS
DRAFT : BWS
FILED BY : SWLS
DATE : 4-92
PROFESSIONAL CONTRACTING SERVICES
Surveying - Technical - Planning
SERVICE
2700 ALAM TADO, NE - ALBUQUERQUE, N.M.
SUITE G-121 87112-299-0009

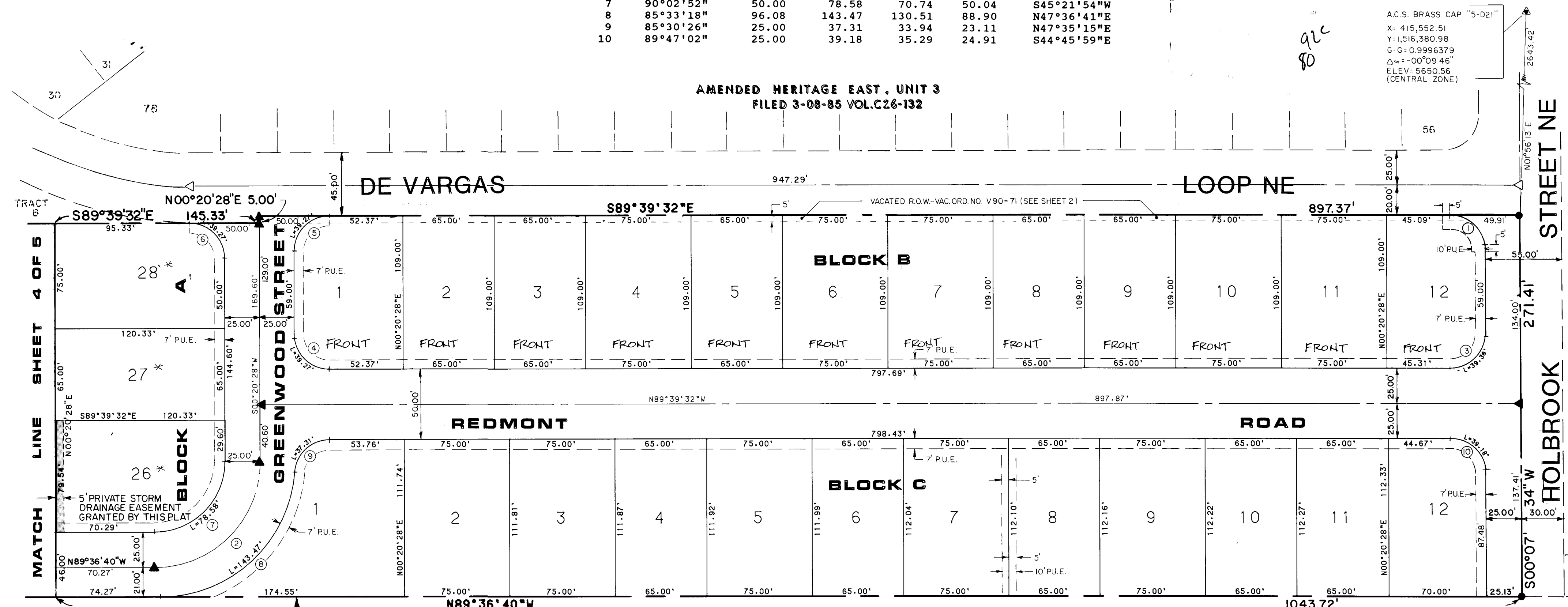
09241693

PLAT FOR
VENTURA ESTATES
UNIT ONE
BLOCKS A, B, C, AND D
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO
APRIL 1992

CURVE TABLE						
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	TAN	CH. BEARING
1	89°47'06"	25.00	39.18	35.29	24.91	S44°45'59"E
2	90°02'52"	75.00	117.87	106.11	75.06	N45°21'54"E
3	90°12'54"	25.00	39.36	35.42	25.09	S45°14'01"W
4	90°00'00"	25.00	39.27	35.36	25.00	N44°39'32"W
5	90°00'00"	25.00	39.27	35.36	25.00	N45°20'28"E
6	90°00'00"	25.00	39.27	35.36	25.00	S44°39'32"E
7	90°02'52"	50.00	78.58	70.74	50.04	S45°21'54"W
8	85°33'18"	96.08	143.47	130.51	88.90	N47°36'41"E
9	85°30'26"	25.00	37.33	33.94	23.11	N47°35'15"E
10	89°47'02"	25.00	39.18	35.29	24.91	S44°45'59"E

AMENDED HERITAGE EAST, UNIT 3
FILED 3-08-85 VOL.C26-132

A.C.S. BRASS CAP "5-021"
X: 415.552 51
Y: 1516.380 89
G.D.: 0.9996379
Q.A.: -00°09'46"
ELEV: 1600.36
(CENTRAL ZONE)

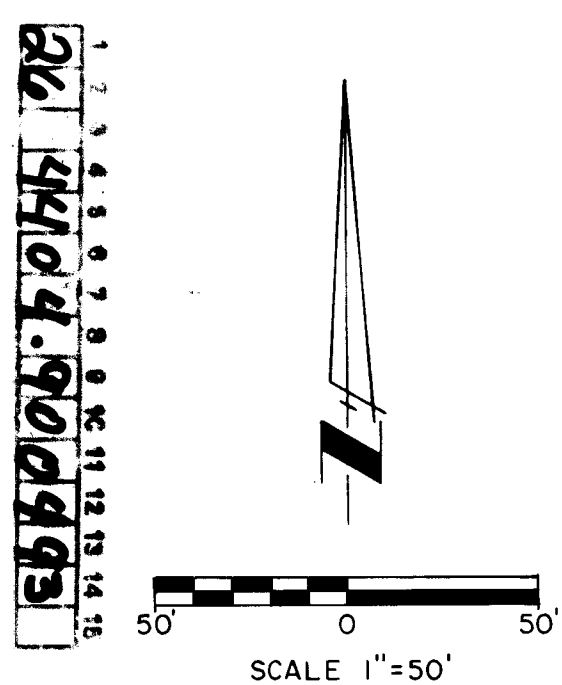


TRACT 134
2ND REVISION OF THE CORRECTED AND AMENDED SUMMARY
PLAT OF TANGAN PROPERTIES
FILED 9-23-85 VOL. C28-79

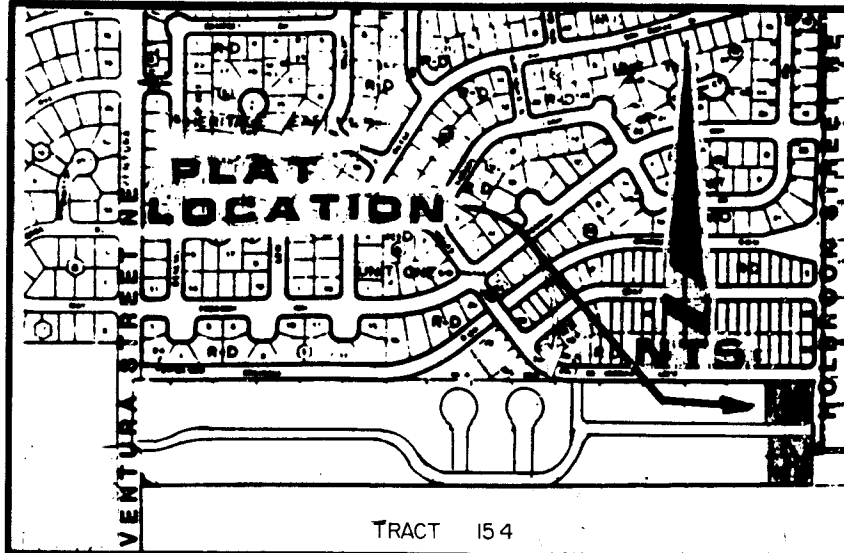
LOT ACREAGE TABLE

LOT	BLOCK	ACREAGE	LOT	BLOCK	ACREAGE
26	A	0.2075	1	C	0.2437
27	A	0.1796	2	C	0.1924
28	A	0.2041	3	C	0.1926
1	B	0.1874	4	C	0.1670
2	B	0.1626	5	C	0.1928
3	B	0.1626	6	C	0.1672
4	B	0.1877	7	C	0.1930
5	B	0.1626	8	C	0.1673
6	B	0.1877	9	C	0.1932
7	B	0.1877	10	C	0.1675
8	B	0.1626	11	C	0.1676
9	B	0.1626	12	C	0.1770
10	B	0.1877			
11	B	0.1877			
12	B	0.1695			

NOTE:
LOTS 1-12, BLOCK B, SHALL FRONT ONLY ON REDMONT ROAD NE.



▲ - NEW CENTERLINE MONUMENTATION
△ - EXISTING CENTERLINE MONUMENTATION



LOCATION MAP D-20
NMOC 92052116350296

PURPOSE:

- To Replat a portion of REDMONT ROAD, N.E., LOT 11 and LOT 12, BLOCK B and LOT 11 and LOT 12, BLOCK C as shown hereon.
- To Dedicate Public Street Right-of-way as shown hereon.
- To Vacate Public Street Right-of-way as shown hereon.
- To Vacate Public Utility Easements as shown hereon.
- To Grant Public Utility Easements as shown hereon.

SUBDIVISION DATA:

- DRB Case No.: 92-220
- Vacation Ordinance No. V-92-37
- Zone Atlas No.: D-20

SURVEY DATA:

- Number of tracts created: 0
- Gross subdivision acreage: 0.7317 acres
- Date of survey: May, 1992

PUBLIC UTILITY EASEMENTS:

- PNM DISCLAIMER**
By approving this plat, PNM does not waive or release any easement or easement rights (other than those released by this plat) which may have been granted by prior plat, replat, or document.
- Said owner and/or proprietor hereby grants public utility easements as shown hereon and granted for the common, joint use and benefit of:
 - The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
 - U.S. West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
 - Jones InterCable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable TV service.
 - Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas, including is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

OWNER'S FREE CONSENT AND DEDICATION:
The undersigned Owner(s) of the land shown hereon do hereby consent to the subdivision of said land in the manner shown on this plat and dedicate for the public use in fee simple additional public street right-of-way and grant public utility easements as shown hereon.

OWNER OF LOTS 11 AND 12, BLOCK B AND LOTS 11 AND 12, BLOCK C:

Scott Schiabor, Owner/President

STATE OF NEW MEXICO)
BERNALILLO COUNTY) SS

The foregoing instrument was acknowledged before me this day of _____, 1992 by:

Scott Schiabor, Owner/President
(name) (title)
SCOTT PATRICK HOMES, INC.,
(corporation)
a New Mexico corporation on behalf of said corporation.

Notary Seal:

DESCRIPTION:

A Tract of land being a Portion of Redmont Road, N.E., Lots numbered Eleven (11) and Twelve (12) of Block lettered B and Lots numbered Eleven (11) and Twelve (12) of Block lettered C of VENTURA ESTATES, UNIT ONE, Blocks A, B, C and D, City of Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said Plat filed in the office of the County Clerk of Bernalillo County, New Mexico on May 12, 1992 in Volume 92C, folio 80, the northeastern corner of Lot 12-A, Block B being 503.01'03"W, 2645.38 feet from A.C.S. Control Monument "5-021". The herein described tract containing 0.7012 acres more or less.

PNM EASEMENT RELEASE APPROVAL

Public Service Company of New Mexico does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PUBLIC SERVICE COMPANY OF NEW MEXICO
By Robert S. Schiabor

State of New Mexico)
County of Bernalillo)

The foregoing instrument was acknowledged before me this 11th day of May, 1992, by Robert S. Schiabor, a New Mexico corporation, on behalf of said corporation.

Matthew W. Schiabor
Notary Public
My Commission Expires 8-9-93

US WEST COMMUNICATIONS QUITCLAIM

KNOW ALL MEN BY THESE PRESENTS: that US WEST COMMUNICATIONS, INC., a Colorado Corporation, hereinafter called "Company" for and in consideration of One Dollar (\$1.00) and other good and valuable considerations in hand paid, the receipt whereof is hereby confessed and acknowledged, does hereby release, remise and quitclaim all the right, title and interest in the easements shown to be vacated on this plat and hereby expressly excepting and reserving to the Company, any and all interest otherwise acquired in said property, except as shown to be vacated.

IN WITNESS WHEREOF, The Company has caused these presents to be executed by its duly authorized officer this 12th day of June, 1992.

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me this 12th day of June, 1992, by Matthew W. Schiabor, a Colorado Corporation, on behalf of the corporation.

Witness my hand and official seal this 12th day of June, 1992.
My commission expires 8-9-93
Notary Public

PLAT OF
LOT 11-A AND LOT 12-A, BLOCK B
LOT 11-A AND LOT 12-A, BLOCK C
VENTURA ESTATES, UNIT ONE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 1992

APPROVED AND ACCEPTED BY:

SUBDIVISION CASE NO. _____

Planning Director, City of Albuquerque _____ Date _____

City Engineering Division, City of Albuquerque _____ Date _____

Albuquerque Metropolitan Arroyo Flood Control Authority _____ Date _____

Traffic Division, City of Albuquerque _____ Date _____

Water Utilities Division, City of Albuquerque _____ Date _____

Parks and Recreation Department, City of Albuquerque _____ Date _____

City Surveyor, City of Albuquerque _____ Date 06/10/92

Real Property Management, City of Albuquerque _____ Date _____

County Treasurer, Bernalillo County _____ Date 6-11-92

Public Service Company of New Mexico _____ Date 6-10-92

Gas Company of New Mexico _____ Date 6-10-92

Jones InterCable _____ Date 6-10-92

US West _____ Date 6-12-92

SURVEYOR'S CERTIFICATION

"I, Bernard W. Seitz, Jr., do hereby certify specifically and only to the owner(s), a field survey, under my supervision, was made on the ground using the normal standard of care of Professional Land Surveyors practicing in the State of New Mexico on this date. The field survey was made for the purpose of replating. All notes shown hereon are a part of this certification and this map accurately depicts the results of said survey. I further certify that this plat meets the minimum requirements for surveys and monumentation of the City of Albuquerque and the Minimum Standards for Land Surveying, November 1989."

Bernard W. Seitz, Jr.
Surveyor
Seitz, Jr., NMPS No. 8478
Date 6-05-92

JOB NO. : 92-57

OFFICE : BWS

DRAFT : BWS

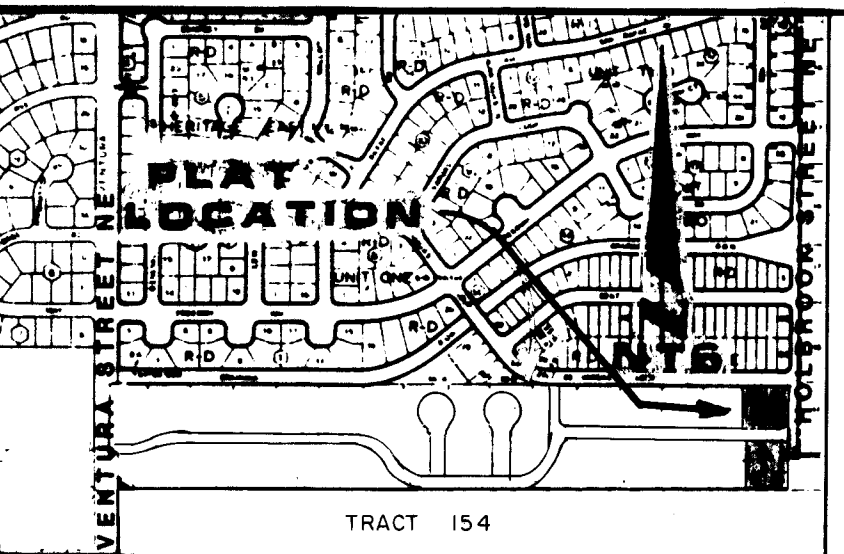
FLD.BK. : 107

DATE : 6-92

PS

PROFESSIONAL CONTRACTING SERVICES
Surveying - Technical - Planning
SERVICES
2700 JUAN TABO, NE - ALBUQUERQUE, N.M.
87112-294-2909

SHEET 1 OF 2



LOCATION MAP D-20
NMOC NO. 92052116350296

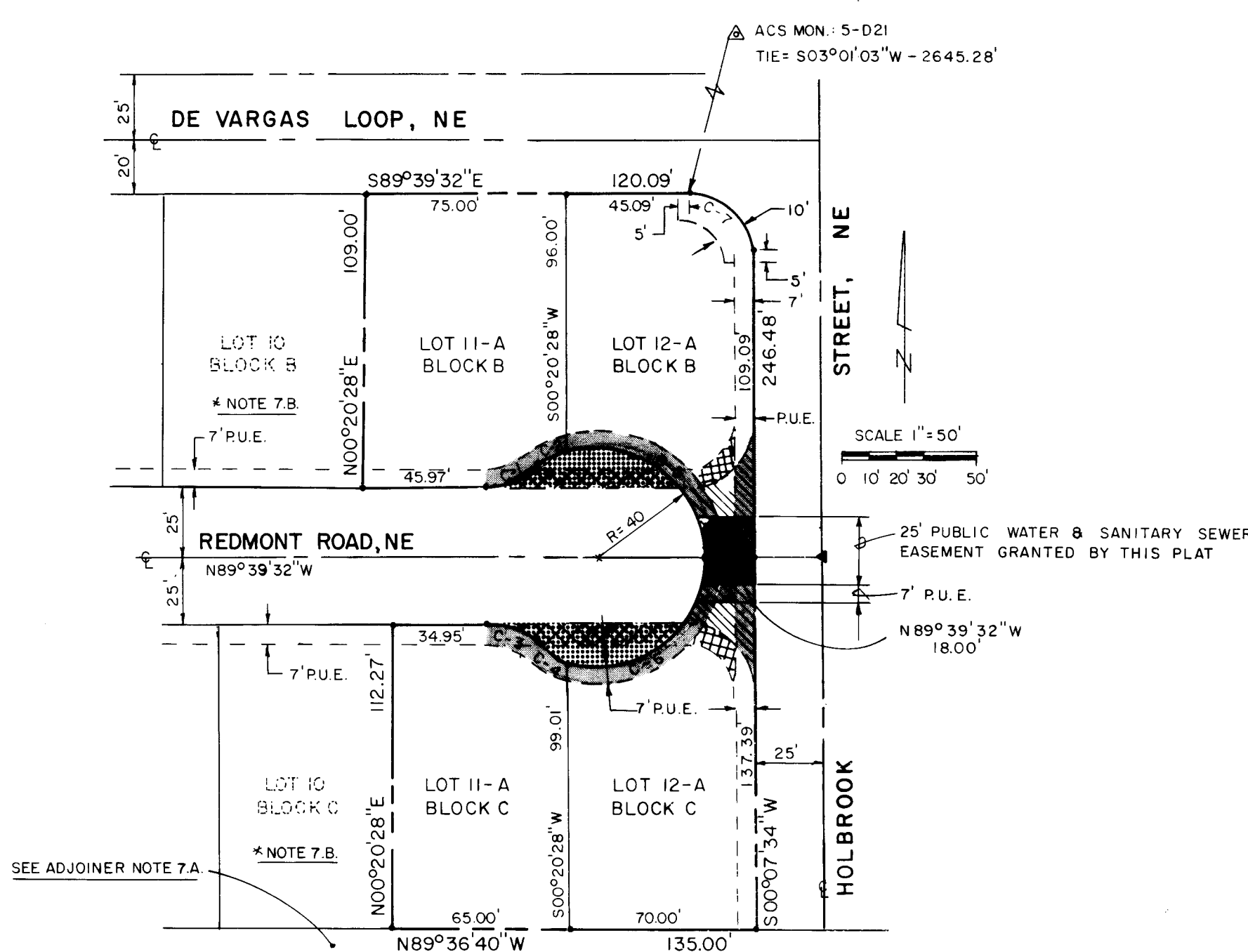
SURVEY NOTES:

- Bearings are New Mexico State Plane Grid (Central Zone).
- Distances are Ground Distances.
- Replat shows all easements of record plat.
- Unless otherwise noted, all boundary corners are a 5/8" rebar w/yellow plastic cap "SEITZ PS 8478".
- Surveyor's Certification applies only to those elements of the replat which are set forth in the "Engineering and Surveying Practice Act", Section 61-23 and "Minimum Standards for Land Surveying in New Mexico, November 1, 1989".
- The following record plat were used to establish the boundary as shown hereon:
Plat for VENTURA ESTATES, UNIT ONE, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 12, 1992 in Volume 92C, Folio 80.
- ADJOINER FILING INFORMATION:
A. TRACT 154, 2ND REVISION OF THE CORRECTED AND AMENDED SUMMARY PLAT OF TANAN PROPERTIES, Filed 9-23-85, Vol. C28, Folio 79.
B. VENTURA ESTATES, UNIT ONE, filed 5-12-92, Vol. 92C, Folio 80.
- ACS CONTROL MONUMENT DATA:
Central Zone, NAD 1927
5-021, a standard City of Albuquerque aluminum cap in concrete
X= 415552.51 G/G Factor= 0.9986379
Y= 1516380.98 Angle= -00°05'46"
- ACREAGE SUMMARY:

LOT	11-A, BLOCK B	0.1840	RIGHT-OF-WAY	0.0305
LOT 12-A, BLOCK B	0.1729	DEDICATION	0.0305	
LOT 11-A, BLOCK C	0.1636	VACATION	0.0300	
LOT 12-A, BLOCK C	0.1807			
TOTAL	0.7012	NET DEDICATION	0.0005	

CURVE DATA

CURVE NO.	RADIUS	DELTA	ARC	CHORD	CHORD BRNG.
C-1	25.00'	39°42'18"	17.33'	16.98'	S70°29'01"W
C-2	40.00'	21°29'50"	15.01'	14.92'	S61°22'35"W
C-3	25.00'	39°42'18"	17.33'	16.98'	S69°48'05"E
C-4	40.00'	23°01'48"	16.08'	15.97'	S16°27'32"E
C-5	40.00'	108°12'59"	75.55'	64.81'	N53°45'58"W
C-6	40.00'	106°41'28"	74.48'	64.18'	N53°41'01"E
C-7	25.00'	89°47'06"	39.18'	35.29'	S44°45'59"E



LEGEND

- VACATION ORDINANCE NO. V-92-37
- EXISTING 7' PUBLIC UTILITY EASEMENT TO BE VACATED BY THIS PLAT
 - EXISTING PUBLIC RIGHT-OF-WAY TO BE VACATED BY THIS PLAT
 - 7' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
 - PUBLIC RIGHT-OF-WAY DEDICATED BY THIS PLAT
 - 25' WATER & SEWER EASEMENT GRANTED THIS PLAT

JOB NO. : 92-57

OFFICE : BWS

DRAFT : BWS

FLD.BK. : 107

DATE : 6-92

PS

PROFESSIONAL CONTRACTING SERVICES
Surveying - Technical - Planning
SERVICES
2700 JUAN TABO, NE - ALBUQUERQUE, N.M.
87112-294-2909

SHEET 2 OF 2



1. Earthwork shall be performed in accordance with the Subsurface Exploration Evaluation, Residential Subdivision, Ventura Estates, Albuquerque, New Mexico, W.T. Job 3220k130, dated October 17, 1990, prepared by Western Technologies, Inc.
2. Erosion control berms shall be constructed in accordance with Detail 'A' on sheet 5 and at locations shown on the plan. The berms are intended to control minor flows and prohibit the release of sediment into adjacent streets and property during construction activity.
3. The Contractor shall maintain all Temporary Erosion Control facilities throughout the construction phase of the project. The Owner shall maintain after acceptance of Contractor work.
4. Temporary erosion control measures constructed on the individual lots shall remain in place until development of each respective lot is complete.
5. All front yards shall be graded in accordance with Detail 'B' on sheet 5 as a part of the Temporary Erosion Control plan.
6. The contractor shall obtain a Topsoil Disturbance Permit from Environmental Health division prior to performing any earthwork operations.
7. The Contractor shall obtain a separate permit from Code Administration for the construction of retaining walls.

Gilbert Aldaz 3/18/92
Gilbert Aldaz, P.E. & L.S. date
City of Albuquerque, Hydrology

This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.



11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

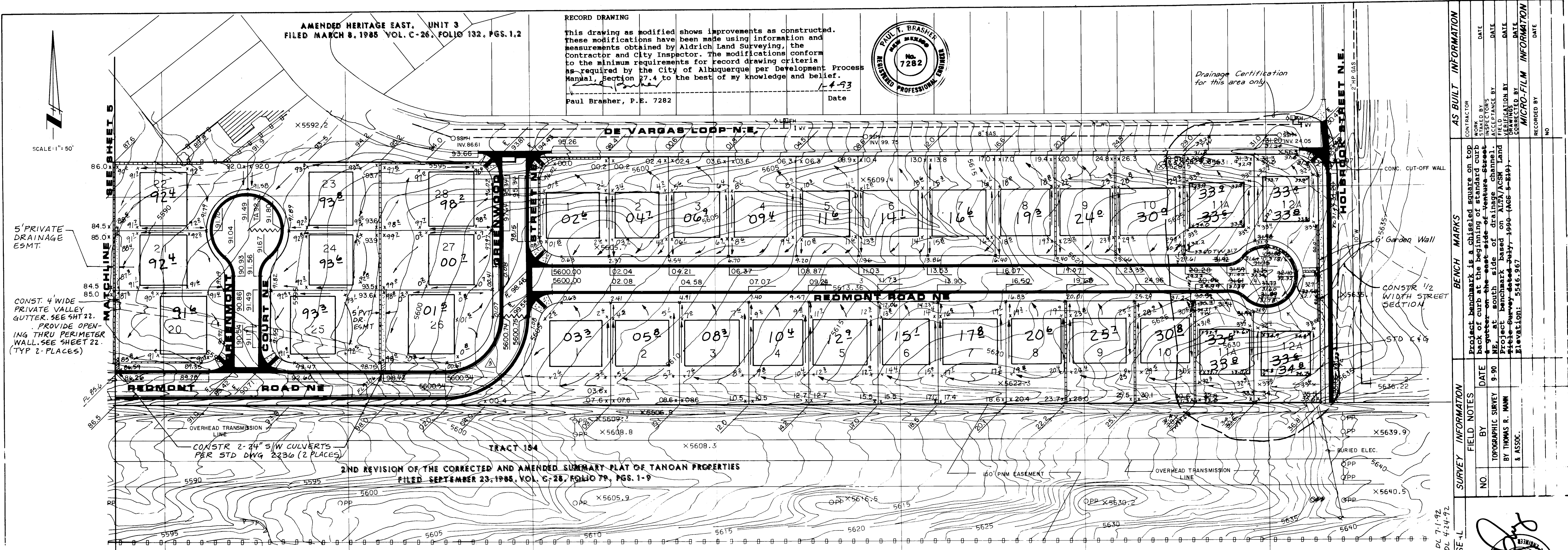
Diagram illustrating a cross-section of a road and its proposed features:

- EXISTING CURB AND GUTTER** (Top line)
- EXISTING VALLEY GUTTER** (Valley line)
- EXISTING CONTOUR** (Line with elevation 5640)
- PROPOSED FLOWLINE ELEVATION** (Line with elevation 31.37)
- PROPOSED TOP OF CURB ELEVATION** (Line with elevation 30.11)
- PROPOSED SPOT ELEVATION** (Boxed area with elevation 32.1)
- PROPOSED PAD AND ELEVATION** (Area below spot elevation)
- DIRECTION OF FLOW** (Arrow pointing right)
- PROPOSED WHEEL CHAIR RAMP** (Ramp area)
- PROPOSED MOUNTABLE CURB AND GUTTER** (Line below ramp)
- PROPOSED VALLEY GUTTER** (Valley line below curb)
- PROPOSED SIDEWALK** (Line with width 63.9)
- EXISTING GROUND ELEVATION** (Line below sidewalk)
- HIGH POINT - WATER BLOCK** (Line below ground elevation)
- PROPOSED STANDARD CURB AND GUTTER** (Bottom line)

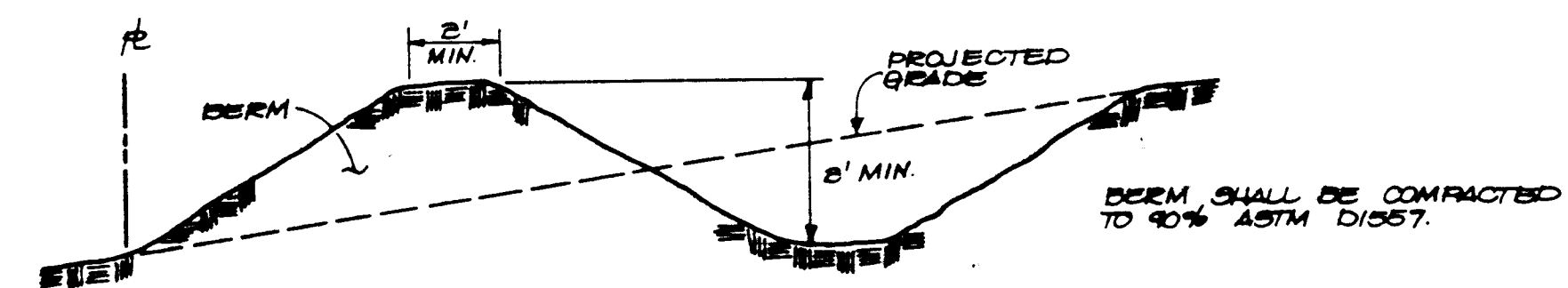
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: VENTURA ESTATES					
GRADING & DRAINAGE PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>[Signature]</i>	5-1-92	WATER	<i>[Signature]</i>	5-1-92
TRANSPORTATION	<i>[Signature]</i>	5-01-92	WASTEWATER	<i>[Signature]</i>	"
HYDROLOGY	<i>[Signature]</i>	5-01-92			
DRAWING NO.		MAP NO.		SHEET OF	
4404.90		D-20		5 22	

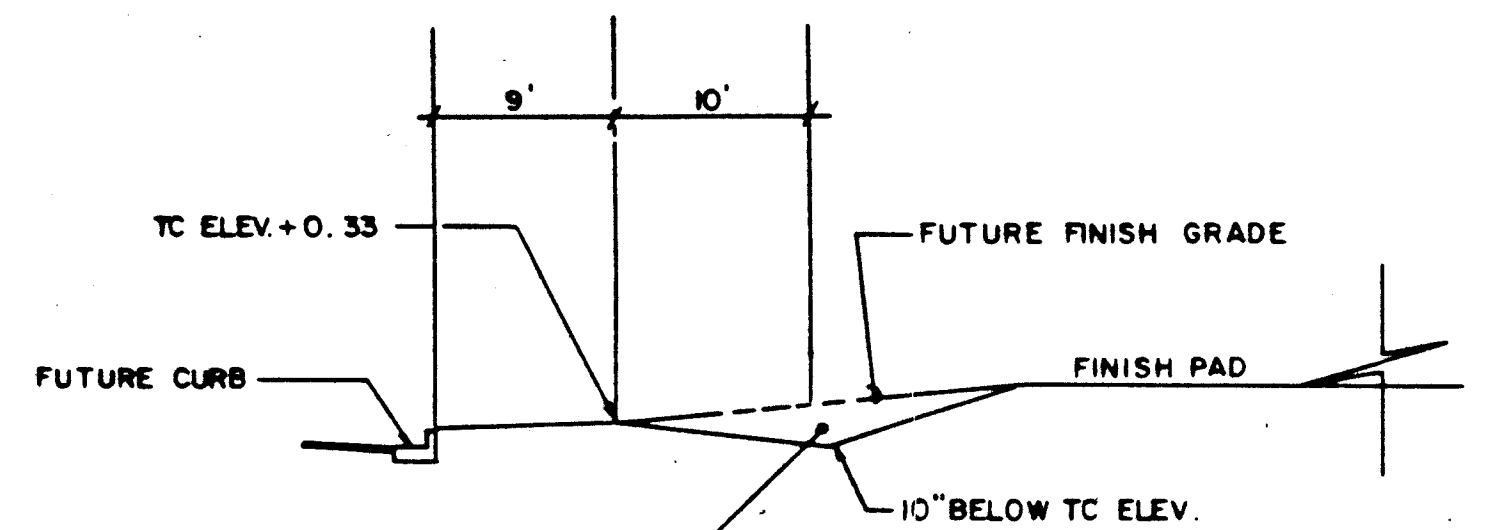
ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS BUILT INFORMATION		
NO.	DATE	BY	DATE							
2	4-24-72	CHAN4ED	REDMONT TO STD C44	DL		Project benchmark is a chiseled square on top of curb at the beginning of standard curb back of curb at the east side of Ventura Street.				
1	4-1-72	MINOR GRADE REVISIONS		DL		Project benchmark is a chiseled square on top of curb at the east side of Ventura Street.				
NO. DATE	REMARKS	BY				Project benchmark is a chiseled square on top of curb at the east side of Ventura Street.				
REVISIONS										
DESIGN										
DESIGNED BY	JL	DATE	12/90							
DRAWN BY	TS, PC	DATE	12/90							
CHECKED BY	DL	DATE	2/92							



5' PRIVATE DRAINAGE ESMT.
CONST. 4' WIDE PRIVATE VALLEY GUTTER. SEE SHT 22.
PROVIDE OPENING THRU PERIMETER WALL. SEE SHEET 22. (TYP 2 PLACES)



TEMPORARY EROSION CONTROL BERM DETAIL "A"



TYPICAL FRONTYARD GRADING DETAIL "B"

NOTE: ALL CURBS ARE MOUNTABLE EXCEPT WHERE NOTED OTHERWISE.

I, Paul Brasher, Certify that grading for Lots 11-A and 12-A, Block C and Lots 11-A and 12-A, Block B shown herein has been constructed in substantial compliance with the approved grading plan and drainage report.
Paul Brasher, P.E. 7282



GENERAL NOTES FOR EARTHWORK

- Earthwork shall be performed in accordance with the Subsurface Exploration Evaluation, Residential Subdivision, Ventura Estates, Albuquerque, New Mexico, W.T. Job 3220K130, dated October 17, 1990, prepared by Western Technologies, Inc.
- Erosion control berms shall be constructed in accordance with Detail 'A' on sheet 5 and at locations shown on the plan. The berms are intended to control minor flows and prohibit the release of sediment into adjacent streets and property during construction activity.
- The Contractor shall maintain all Temporary Erosion Control facilities throughout the construction phase of the project. The Owner shall maintain after acceptance of Contractor work.
- Temporary erosion control measures constructed on the individual lots shall remain in place until development of each respective lot is complete.
- All front yards shall be graded in accordance with Detail 'B' on sheet 5 as a part of the Temporary Erosion Control plan.
- The contractor shall obtain a Topsoil Disturbance Permit from Environmental Health division prior to performing any earthwork operations.
- The Contractor shall obtain a separate permit from Code Administration for the construction of retaining walls.

LEGEND

- RETAINING WALL
- EXISTING CURB AND GUTTER
- EXISTING VALLEY GUTTER
- EXISTING CONTOUR
- PROPOSED FLOWLINE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED PAD AND ELEVATION
- DIRECTION OF FLOW
- PROPOSED WHEEL CHAIR RAMP
- PROPOSED MOUNTABLE CURB AND GUTTER
- PROPOSED VALLEY GUTTER
- PROPOSED SIDEWALK
- EXISTING GROUND ELEVATION
- HIGH POINT - WATER BLOCK
- PROPOSED STANDARD CURB AND GUTTER
- AS-BUILT ELEVATION

APPROVED FOR ROUGH GRADING
Sheets 5 and 6 of 23:
Gilbert Aldaz, P.E. & L.S. date 3/18/92
City of Albuquerque, Hydrology

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4404.90 06193

BRASHER ENGINEERING INC.
11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

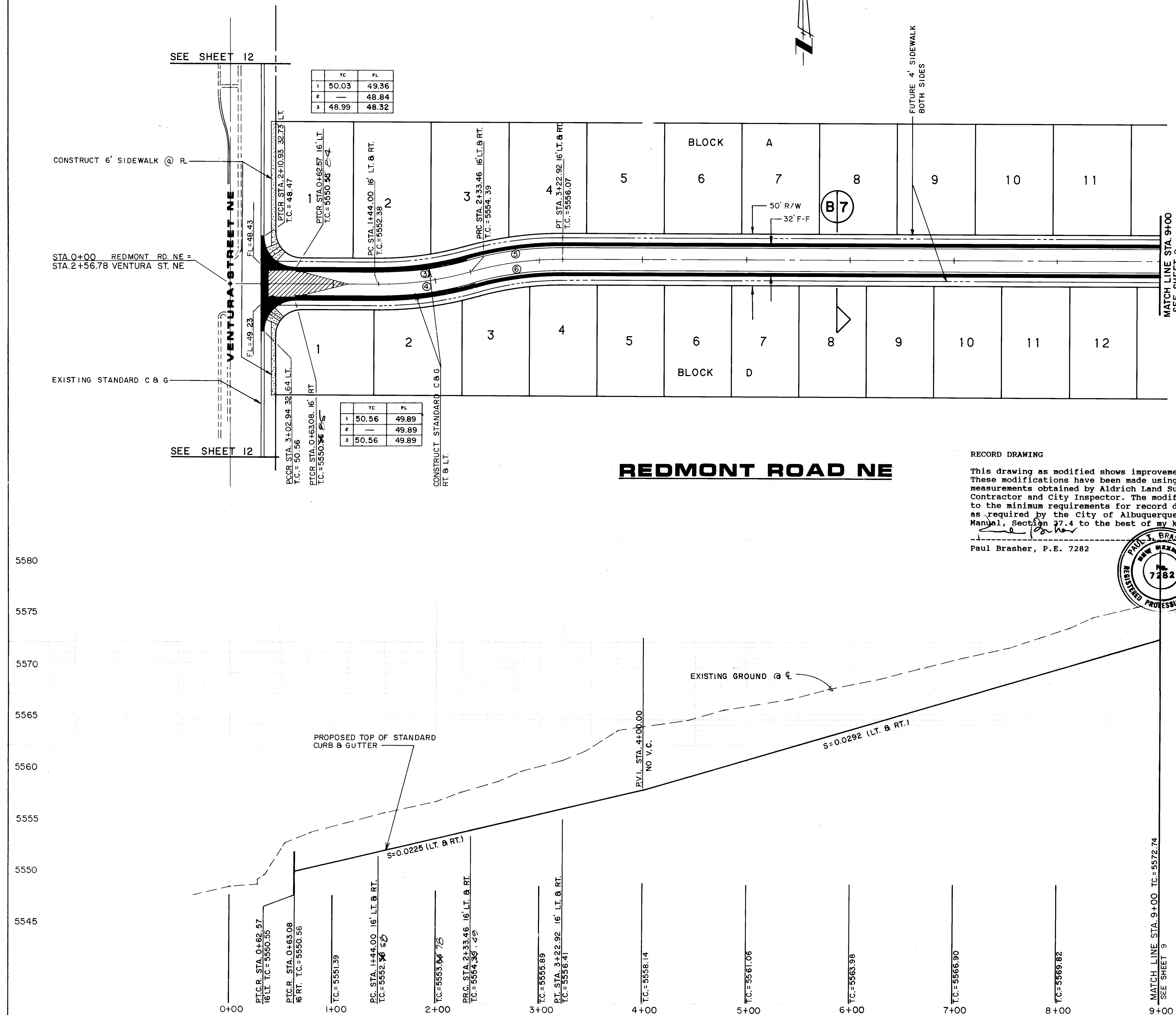
CITY OF ALBUQUERQUE PUBLIC WORKS ENGINEERING GROUP

TITLE: VENTURA ESTATES GRADING & DRAINAGE PLAN

APPROVALS	ENGINEER	DATE	APPROVALS
DRC CHAIRMAN	Roger A. ...	5-1-92	WATER
TRANSPORTATION	...	5-01-92	WASTEWATER
HYDROLOGY	...	5-01-92	

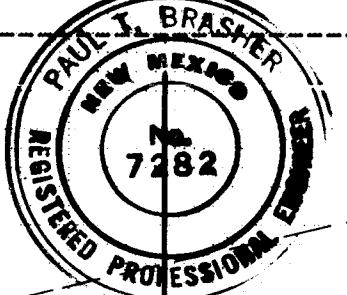
DRAWING NO. 4404.90 D-20 SHEET 6 OF 22

107418



REDMONT ROAD NE

RECORD DRAWING
This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.
Paul Brasher
Paul Brasher, P.E. 7282
Date 1-4-93



SCALE:
HORIZ. 1"=50'
VERT. 1"=05'

CURVE DATA				
CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	89°55'56"	30.00	47.09	29.94
2	90°04'38"	30.00	47.16	30.04
3	15°58'28"	304.87	85.00	42.78
4	15°58'28"	336.87	93.92	47.27
5	15°58'28"	336.87	93.92	47.27
6	15°58'28"	304.87	85.00	42.78

- LEGEND
- EXISTING CURB & GUTTER
 - ===== PROPOSED CURB & GUTTER
 - CENTERLINE OF STREET
 - ===== PROPOSED CONCRETE VALLEY GUTTER
 - ===== PROPOSED WHEELCHAIR RAMP
 - PROPERTY OR BOUNDARY LINE
 - ===== TRANSITION FROM CROWN TO NO CROWN
 - ===== PROPOSED STANDARD CURB & GUTTER

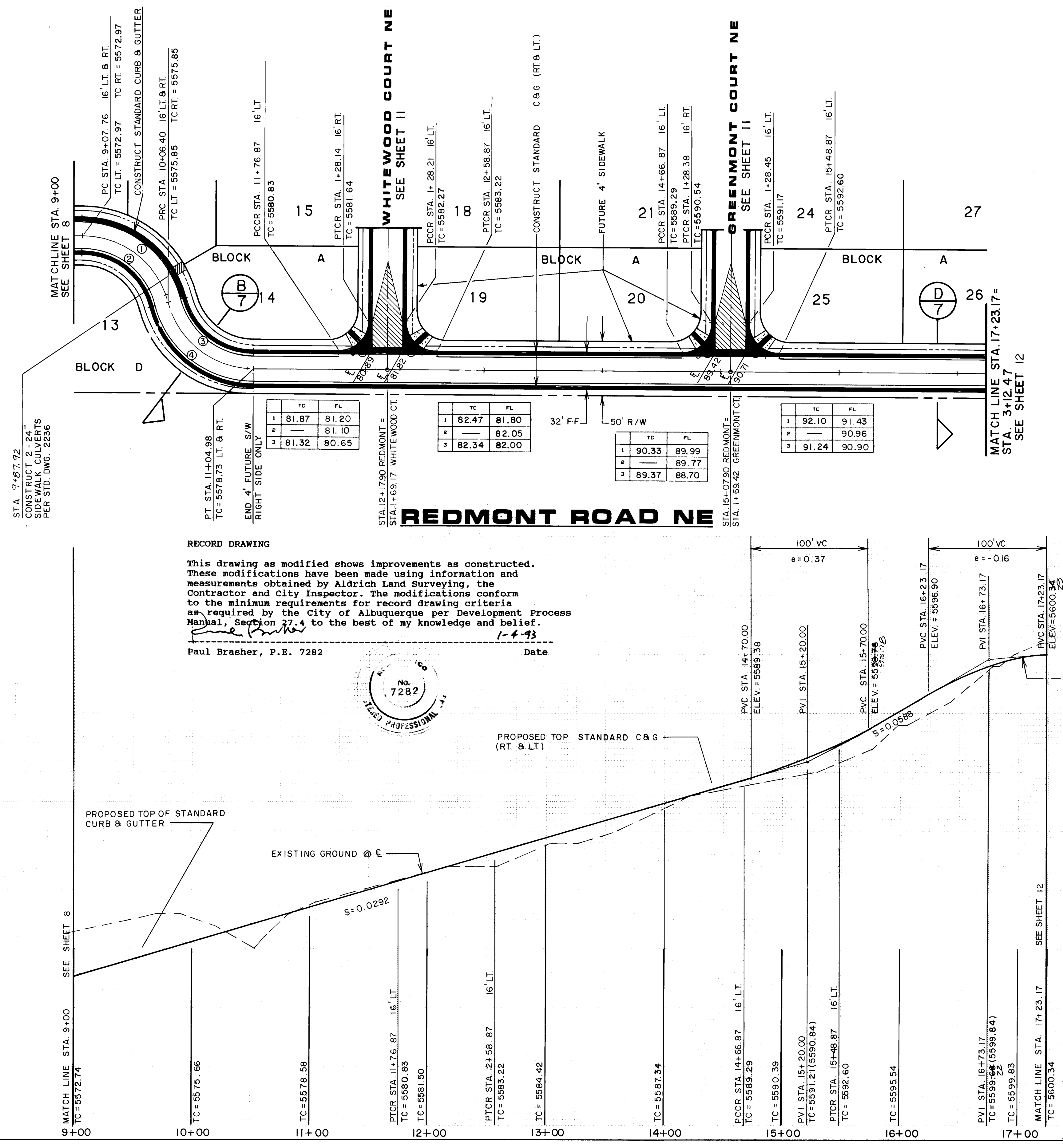
26 4404.90 000893

BRASHER ENGINEERING INC.
11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE VENTURA ESTATES PAVING PLAN & PROFILE REDMONT RD NE STA 0+00 TO STA 9+00			
APPROVALS	ENGINEER	DATE	APPROVALS
DRG CHAIRMAN	<i>Rodriguez</i>	5-1-91	WATER
TRANSPORTATION	<i>Ally</i>	5-01-92	WASTEWATER
HYDROLOGY	<i>Ally</i>	5-01-92	
DESIGNED BY	J.L.	DATE 12/90	
DRAWN BY	T.S., P.C.	DATE 12/90	
CHECKED BY	J.L.	DATE 12/90	
DRAWING NO. 4404.90		MAP NO. D-20	SHEET 8 OF 22

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
Project benchmark is a chiseled square on top back of curb at the beginning of standard curb NE gutter on the east side of Ventura Street. Project benchmark based on ALTA/ACSM Land Title Survey dated July, 1990 (ACS 5-219). Elevation: 5546.967		Project benchmark is a chiseled square on top back of curb at the beginning of standard curb NE gutter on the east side of Ventura Street. Project benchmark based on ALTA/ACSM Land Title Survey dated July, 1990 (ACS 5-219). Elevation: 5546.967		FIELD NOTES BY TOPOGRAPHIC SURVEY 9-90 BY THOMAS R. MANN & ASSOC.	
CONTRACTOR CCM		INSPECTOR ALCS		DATE 9-92	
FIELD ENGINEER ALCS		FIELD ENGINEER ALCS		DATE 9-92	
CORRECTED BY MICRO-FILM		CORRECTED BY MICRO-FILM		DATE 9-92	
RECORDED BY		RECORDED BY		DATE	

5605
5600
5595
5590
5585
5580
5575
5570

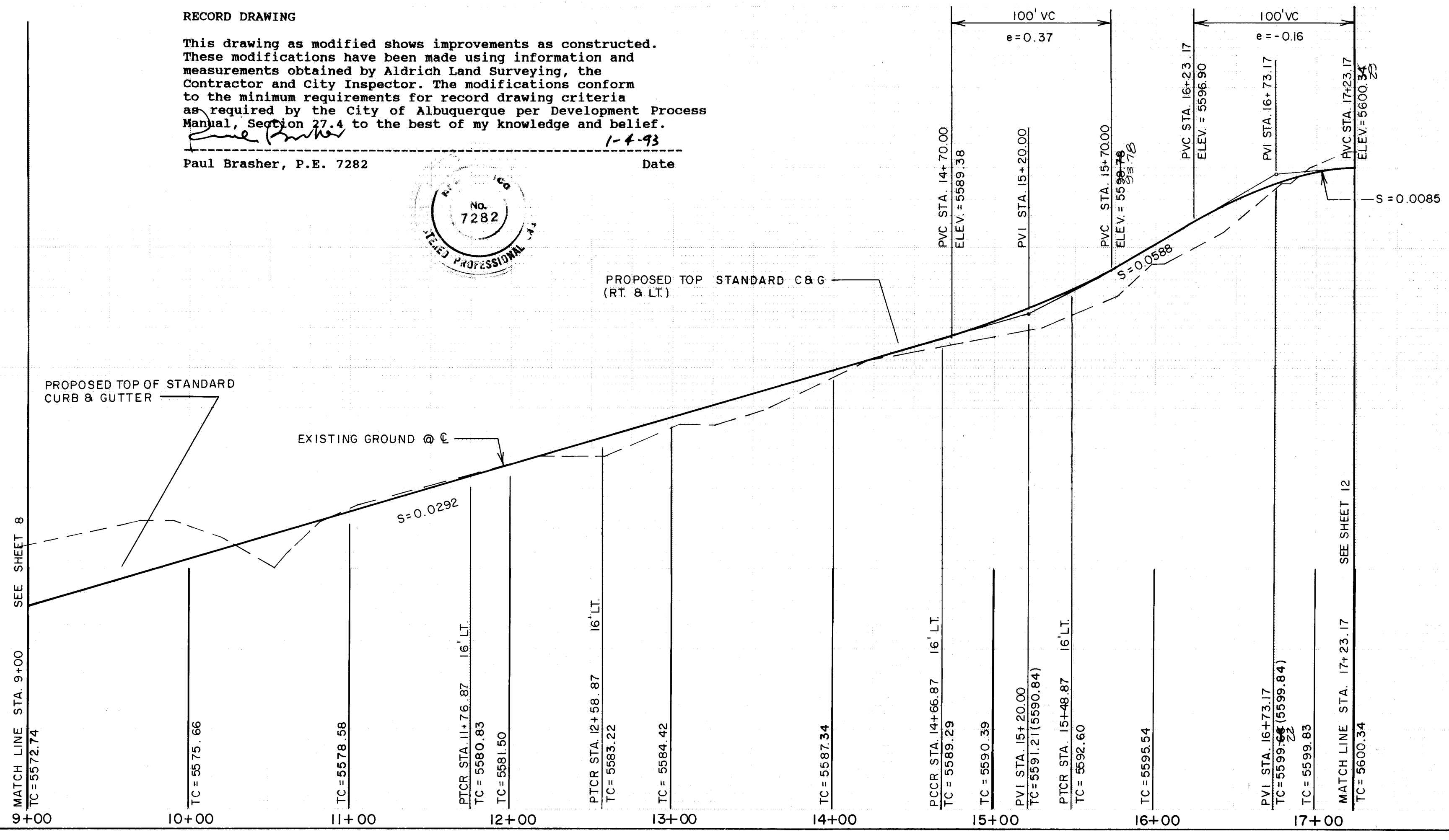
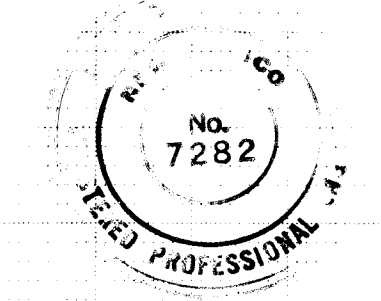


RECORD DRAWING

This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.

Paul Brasher, P.E. 7282

Date 1-4-93



SCALE:
HORZ. 1" = 50'
VERT. 1" = 05'

SCANNED BY
BY LASON

CURVE DATA

CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	75°21'26"	91.00	119.69	70.25
2	75°21'26"	59.00	77.60	45.57
3	75°18'34"	59.00	77.55	45.53
4	75°18'34"	91.00	119.61	70.22
5	90°02'51"	25.00	39.29	25.02
6	89°57'08"	25.00	39.25	24.98
7	90°02'51"	25.00	39.29	25.02
8	89°57'08"	25.00	39.25	24.98

AS BUILT INFORMATION

Project benchmark is a chiseled square on top back of curb at the beginning of standard curb on the east side of the proposed channel. Project benchmark based on AUT/ACSR Land title Survey dated July, 1990 (ACS 5-19). Elevation: 5546.967

DATE 9/90
INSPECTOR BY THOMAS R. MANN & ASSOC.
DATE 9/90
MICRO-FILM INFORMATION

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- CENTERLINE OF STREET
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED WHEELCHAIR RAMP
- PROPERTY OR BOUNDARY LINE
- TRANSITION FROM CROWN TO NO CROWN
- PROPOSED STANDARD CURB & GUTTER

REVISIONS

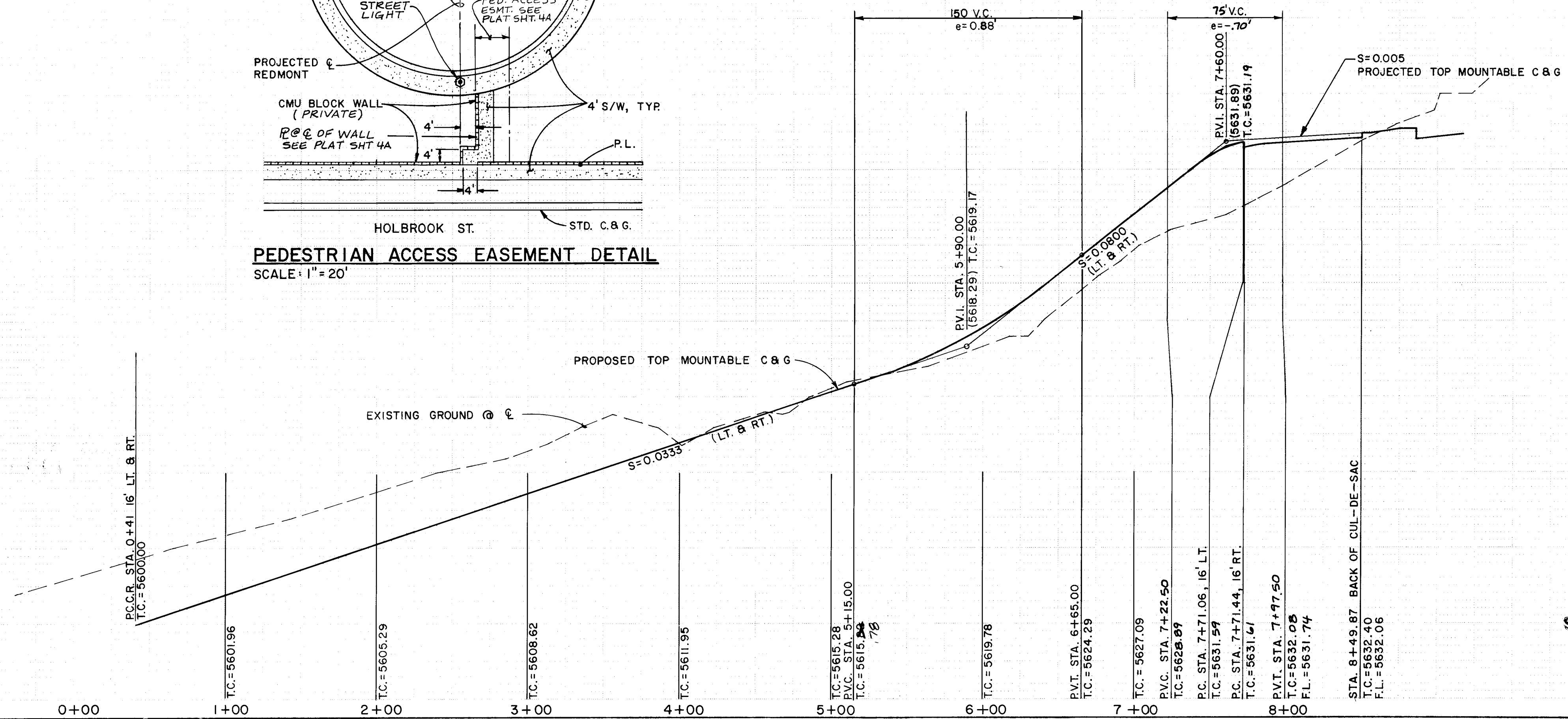
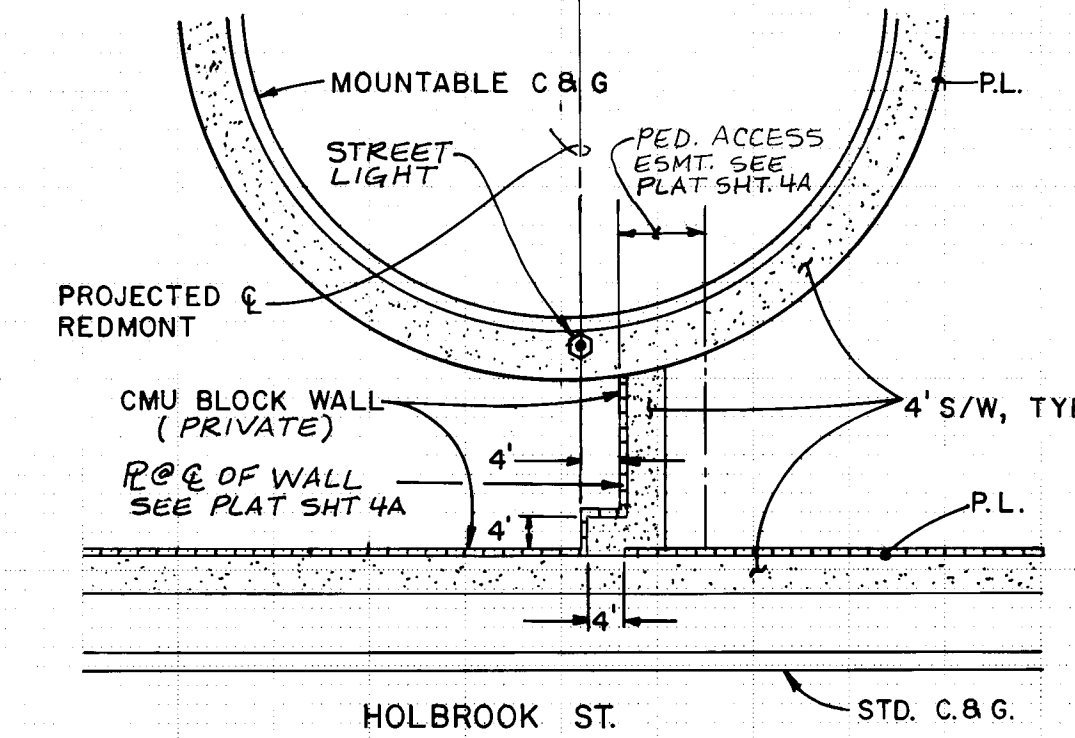
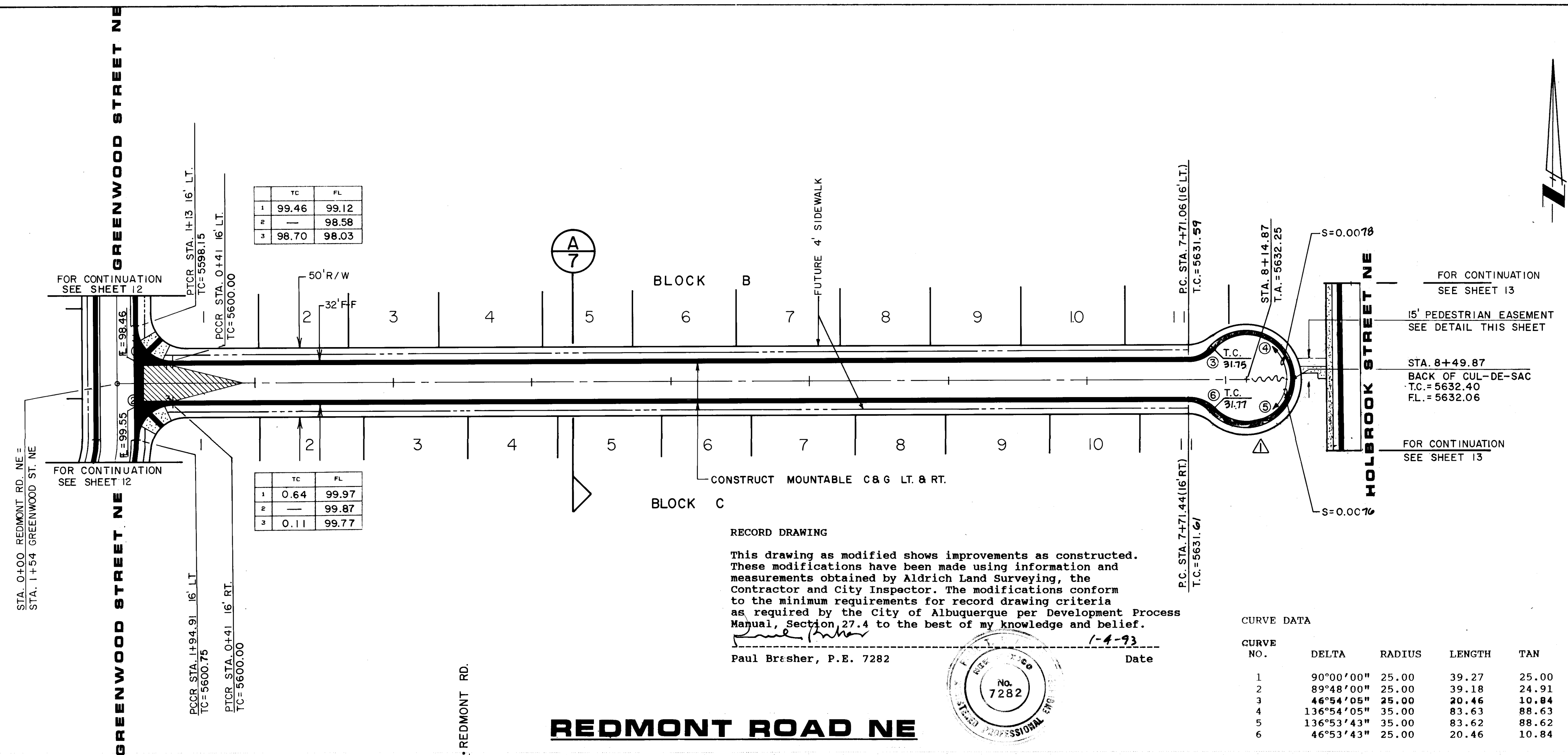
NO.	DATE	REMARKS
1	4-24-92	DESIGN

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP**

**TITLE: VENTURA ESTATES
PAVING PLAN & PROFILE
REDMONT RD NE STA 9+00 TO STA 17+23.17**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRG CHAIRMAN	Roger D. Doe	5-1-92	WATER	ALB	5-1-92
TRANSPORTATION	H. Alamy	5-01-92	WASTEWATER		
HYDROLOGY					

DRAWING NO. 4404.90 MAP NO. D-20 SHEET 9 OF 22



RECORD DRAWING

This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.

Paul Brasher, P.E. 7282

Date 1-4-93

CURVE DATA

CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	90°00'00"	25.00	39.27	25.00
2	89°48'00"	25.00	39.18	24.91
3	46°54'05"	25.00	20.46	10.84
4	136°54'05"	35.00	83.63	88.63
5	136°53'43"	35.00	83.62	88.62
6	46°53'43"	25.00	20.46	10.84

SCALE:
HORZ. 1" = 50'
VERT. 1" = 05'

- LEGEND
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - CENTERLINE OF STREET
 - PROPOSED CONCRETE VALLEY GUTTER
 - PROPOSED WHEELCHAIR RAMP
 - PROPERTY OR BOUNDARY LINE
 - TRANSITION FROM CROWN TO NO CROWN

26 4404.92 921593

BRASHER ENGINEERING INC.
11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **VENTURA ESTATES
PAVING PLAN & PROFILE
REDMONT RD NE STA 0+00 TO STA 8+97.87**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRG CHAIRMAN	Robert Brasher	5-1-92	WATER	W. H. Hays	5-1-92
TRANSPORTATION	Robert Brasher	5-01-92	WASTEWATER	W. H. Hays	5-1-92
HYDROLOGY	Robert Brasher	5-01-92			

DRAWING NO. **4404.90** MAP NO. **D-20** SHEET **10** OF **22**

AS BUILT INFORMATION

CONTRACT NO. **CCM** DATE **92**

INSPECTOR'S NAME **ALC** DATE **92**

FILE NO. **ALC** DATE **92**

VERIFICATION BY **ALC** DATE **92**

CORRECTED BY **ALC** DATE **92**

MICRO-FILM INFORMATION

RECORDED BY **ALC** DATE **92**

NO. **92**

ENGINEER'S SEAL

4-24-92

REVISIONS

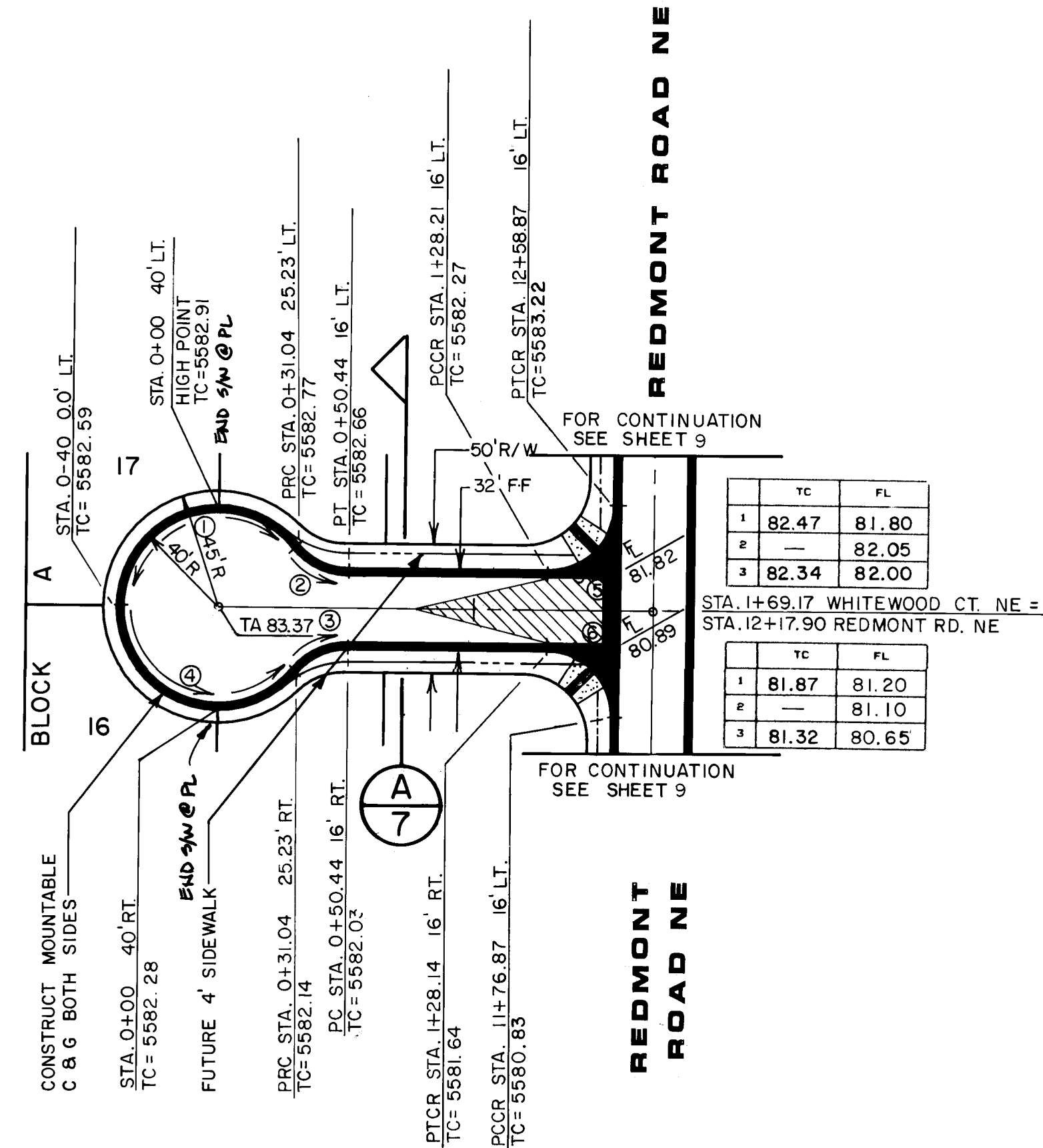
NO.	DATE	REMARKS	BY
1	7-1-92	ADDED CUL-DE-SAC TO END OF REDMONT	DL

DESIGNED BY **J.L.** DATE **12/90**

DRAWN BY **T.S., PC** DATE **12/90**

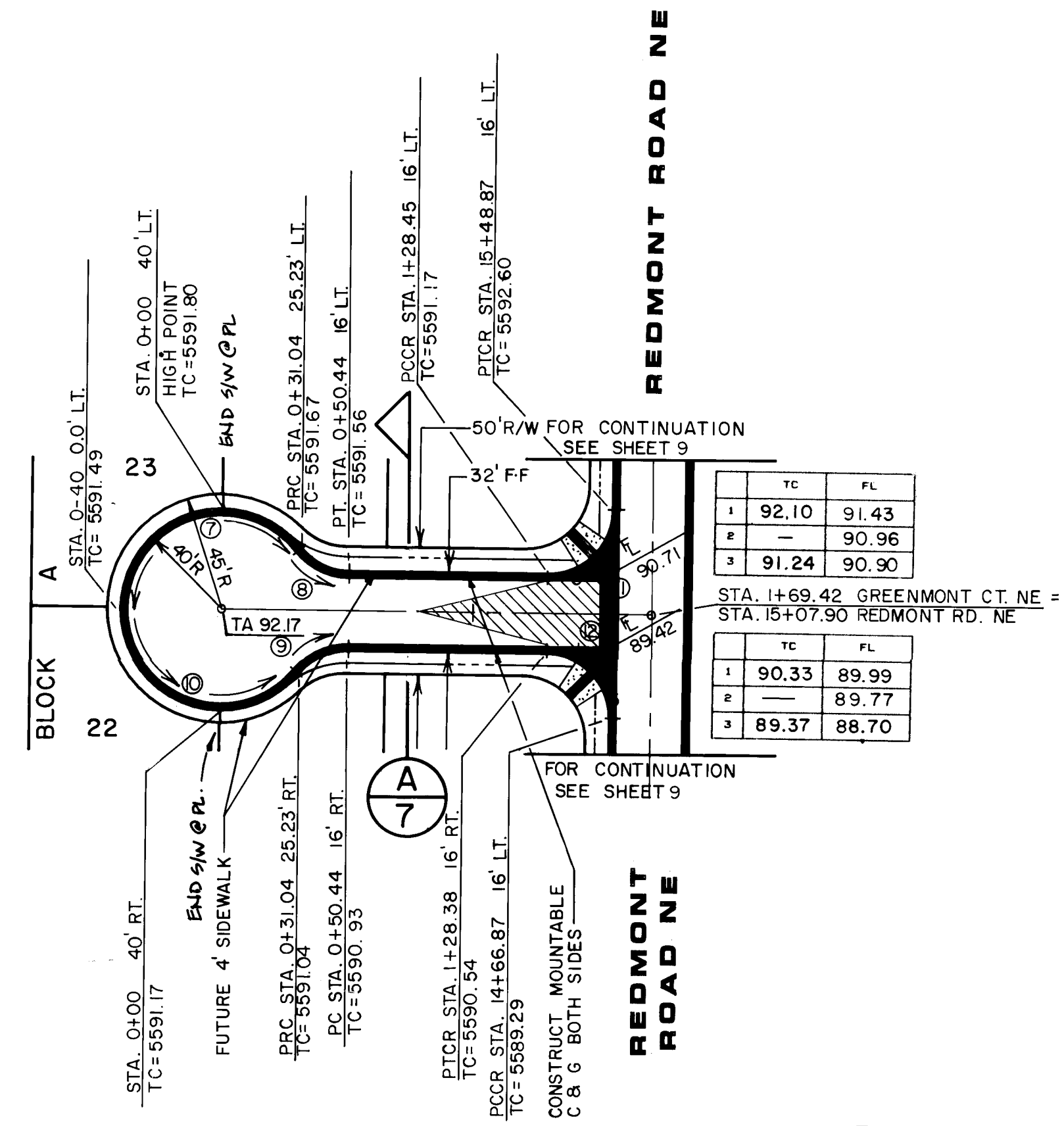
CHECKED BY **J.L.** DATE **12/90**

NOTE: ALL FLOW LINE SLOPES AT
CUL-DE-SAC ARE 0.0050



WHITEWOOD COURT NE

NOTE: ALL FLOW LINE SLOPES AT
CUL-DE-SAC ARE 0.0050



GREENMONT COURT NE

SCALE:
HORZ. 1" = 50'
VERT. 1" = 05'

CURVE DATA				
CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	140°53'35"	40.00	98.36	112.62
2	50°53'35"	25.00	22.21	11.90
3	50°53'35"	25.00	22.21	11.90
4	140°53'35"	40.00	98.36	112.62
5	89°57'08"	25.00	39.25	24.98
6	90°02'51"	25.00	39.29	25.02
7	140°53'35"	40.00	98.36	112.62
8	50°53'35"	25.00	22.21	11.90
9	50°53'35"	25.00	22.21	11.90
10	140°53'35"	40.00	98.36	112.62
11	89°57'08"	25.00	39.25	24.98
12	90°02'51"	25.00	39.29	25.02

BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		DATE	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	92.10	1	90.33	1	90.33	1	90.33
2	91.24	2	89.77	2	89.77	2	89.77
3	91.24	3	89.77	3	89.77	3	89.77

BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		DATE	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	92.10	1	90.33	1	90.33	1	90.33
2	91.24	2	89.77	2	89.77	2	89.77
3	91.24	3	89.77	3	89.77	3	89.77

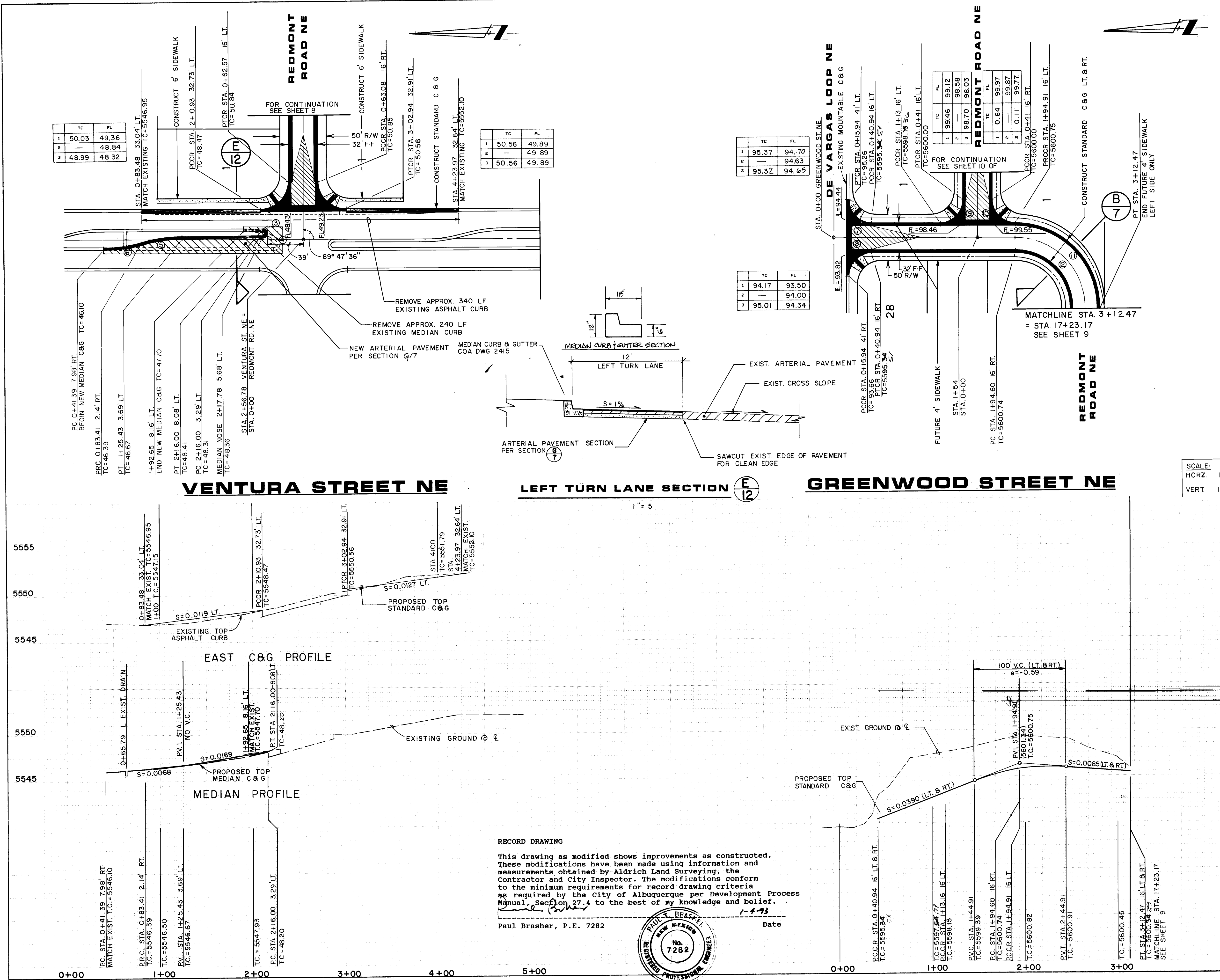
LEGEND		ENGINEER'S SEAL		BY		DATE	
---	EXISTING CURB & GUTTER	---	EXISTING CURB & GUTTER	---	EXISTING CURB & GUTTER	---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER	---	PROPOSED CURB & GUTTER	---	PROPOSED CURB & GUTTER	---	PROPOSED CURB & GUTTER
---	CENTERLINE OF STREET	---	CENTERLINE OF STREET	---	CENTERLINE OF STREET	---	CENTERLINE OF STREET
---	PROPOSED CONCRETE VALLEY GUTTER	---	PROPOSED CONCRETE VALLEY GUTTER	---	PROPOSED CONCRETE VALLEY GUTTER	---	PROPOSED CONCRETE VALLEY GUTTER
---	PROPOSED WHEELCHAIR RAMP	---	PROPOSED WHEELCHAIR RAMP	---	PROPOSED WHEELCHAIR RAMP	---	PROPOSED WHEELCHAIR RAMP
---	PROPERTY OR BOUNDARY LINE	---	PROPERTY OR BOUNDARY LINE	---	PROPERTY OR BOUNDARY LINE	---	PROPERTY OR BOUNDARY LINE
---	TRANSITION FROM CROWN TO NO CROWN	---	TRANSITION FROM CROWN TO NO CROWN	---	TRANSITION FROM CROWN TO NO CROWN	---	TRANSITION FROM CROWN TO NO CROWN

REVISIONS		BY		DATE	
NO.	DATE	NO.	DATE	NO.	DATE
1	4404.90	1	4404.90	1	4404.90
2	4404.90	2	4404.90	2	4404.90
3	4404.90	3	4404.90	3	4404.90
4	4404.90	4	4404.90	4	4404.90
5	4404.90	5	4404.90	5	4404.90
6	4404.90	6	4404.90	6	4404.90
7	4404.90	7	4404.90	7	4404.90
8	4404.90	8	4404.90	8	4404.90
9	4404.90	9	4404.90	9	4404.90
10	4404.90	10	4404.90	10	4404.90
11	4404.90	11	4404.90	11	4404.90
12	4404.90	12	4404.90	12	4404.90
13	4404.90	13	4404.90	13	4404.90
14	4404.90	14	4404.90	14	4404.90
15	4404.90	15	4404.90	15	4404.90

BRASHER ENGINEERING INC.		CITY OF ALBUQUERQUE		PUBLIC WORKS DEPARTMENT		ENGINEERING GROUP	
11930 MENAUL BLVD. NE SUITE 111	ALBUQUERQUE, NEW MEXICO 87112	(505) 296-0422					

TITLES		APPROVALS		DATE		APPROVALS		DATE	
DR. CHAIRMAN	5-1-92	WATER	5-1-92	WATER	5-1-92	WATER	5-1-92	WATER	5-1-92
TRANSPORTATION	5-1-92	WASTEWATER	5-1-92	WASTEWATER	5-1-92	WASTEWATER	5-1-92	WASTEWATER	5-1-92
HYDROLOGY	5-1-92								

DRAWING NO.		MAP NO.		SHEET		OF	
4404.90	D-20	11	22				



CURVE DATA				
CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	89°55'56"	30.00	47.09	29.98
2	90°04'38"	30.00	42.45	30.04
3	89°57'22"	2.39	3.76	3.39
4	90°07'53"	2.39	3.77	2.40
5	16°15'37"	150.00	42.57	21.43
6	16°15'37"	150.00	42.57	21.43
7	89°57'08"	25.00	39.25	24.98
8	90°00'03"	25.00	39.27	25.00
9	90°00'00"	25.00	39.27	25.00
10	89°48'00"	25.00	39.18	24.91
11	89°50'52"	91.00	142.70	90.76
12	90°02'52"	59.00	92.73	59.05

BENCH MARKS		SURVEY INFORMATION	
Project benchmark is a chiseled square on top of a 4" x 4" x 4" concrete curb on the east side of Ventura Street NE at south side of drainage channel. Project benchmark based on ALTA/ACSM Land Title Survey dated July, 1990 (ACS 5-B19). Elevation: 5546.967	DATE: 9-90	NO.	BY
	TOPOGRAPHIC SURVEY		
	BY THOMAS R. MAW & ASSOC.		

LEGEND	
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	CENTERLINE OF STREET
---	PROPOSED CONCRETE VALLEY GUTTER
---	PROPOSED WHEELCHAIR RAMP
---	PROPERTY OR BOUNDARY LINE
---	TRANSITION FROM CROWN TO NO CROWN
---	PROPOSED STANDARD CURB & GUTTER

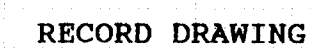
SCALED: 1" = 50'	DATE: 12/90
HORIZ. 1" = 50'	DESIGNED BY: J.L.
VERT. 1" = 05'	DRAWN BY: T.S.P.C.
	CHECKED BY: J.L.

BRASHER ENGINEERING INC.	REVISIONS
11930 MENAUL BLVD. NE SUITE 111	NO. DATE
ALBUQUERQUE, NEW MEXICO 87112	BY
(505) 296-0422	DESIGN

CITY OF ALBUQUERQUE	DATE: 12/90
PUBLIC WORKS DEPARTMENT	DRAWN BY: T.S.P.C.
ENGINEERING GROUP	CHECKED BY: J.L.

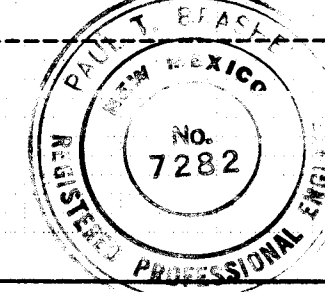
TITLE: VENTURA PLAN & PROFILE	DATE: 5-1-92
VENTURA ST NE STA 0+41.39 TO STA 4+23.97	ENGINEER
GREENWOOD ST NE STA 0+00 TO STA 3+12.47	DATE
APPROVALS	DATE
D.R.C. CHAIRMAN	5-1-92
TRANSPORTATION	5-01-92
HYDROLOGY	5-01-92

DRAWING NO. 4404.90	MAP NO. D-20	SHEET 12 OF 22
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This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.

Paul Brasher, P.E. 7282



CURVE DATA				
CURVE NO.	DELTA	RADIUS	LENGTH	TAN
1	89°47'06"	25.00	39.18	24.91

AS BUILT INFORMATION	DATE 92
INSTRUMENTATION CCM	DATE 92
WORK	DATE 92
STANDARD BY	DATE 92
INSPECTING	DATE 92
ACCEPTANCE BY	DATE 92
FIELD INFORMATION BY	DATE 92
DRAWINGS	DATE 92
CORRECTED BY	DATE 92
MICRO-FILM INFORMATION	DATE 92
RECORDED BY	DATE 92
NO	DATE 92

BENCH MARKS

Project benchmark is a chained square on top of a hill, beginning on the corner of Ventura Street & gutter on the east side of Ventura Street NE, at south side of drainage channel. Project benchmark based on ALTA/ACSN Land Title Survey dated July, 1990 (ACS-5-219). Elevation: 5546.967

[illegible]

ENGINEER'S SEAL

ANDREW A. LOMER
NEW MEXICO
1984
REGISTERED PROFESSIONAL

4-24-92

[illegible]

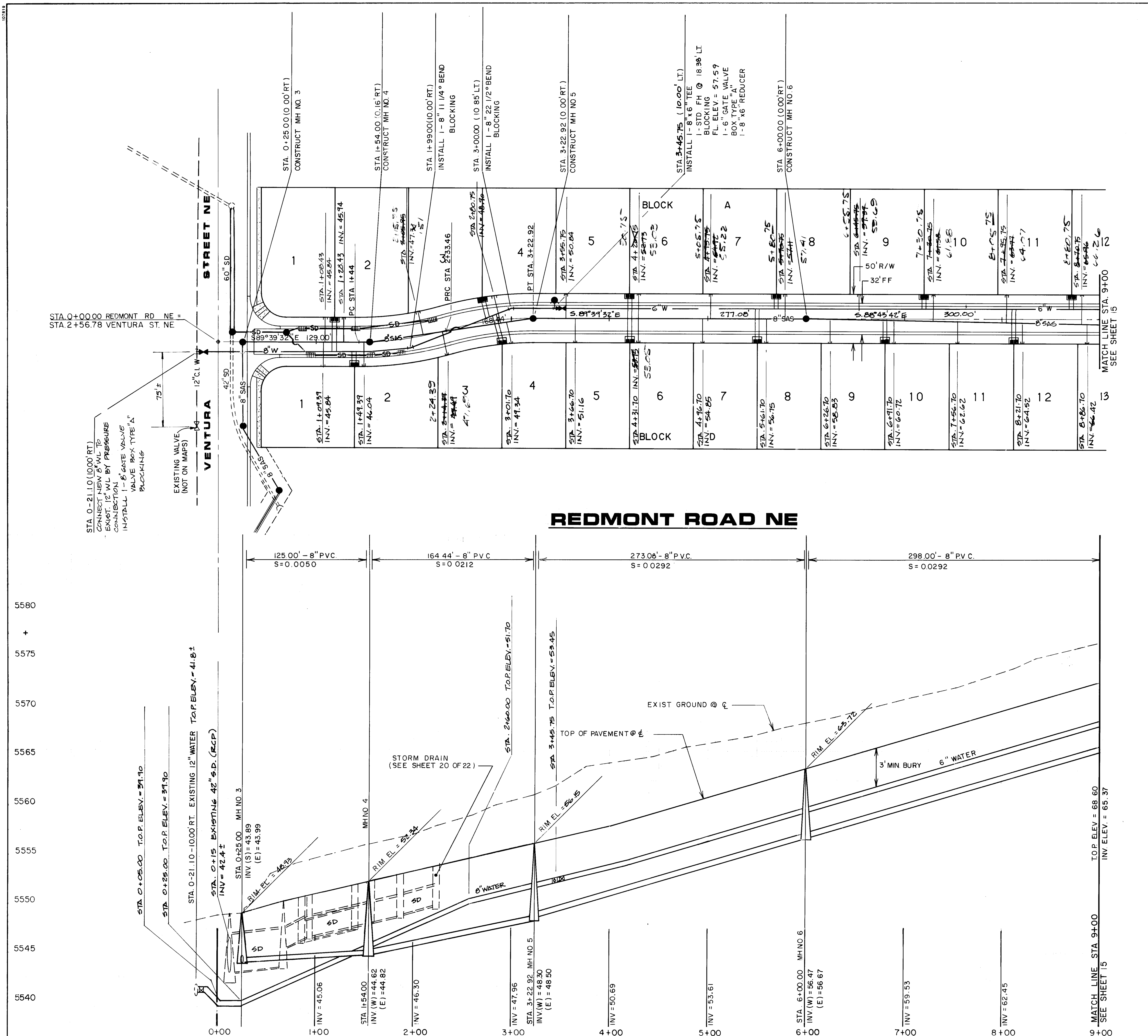
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **VENTURA ESTATES
PAVING PLAN & PROFILE
HOLBROOK ST NE STA 1+75 TO STA 4+66.32**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIRMAN	<i>Rogelio Baez</i>	5-1-92	WATER	<i>William</i>	5-1-92
TRANSPORTATION	<i>R. Baez</i>	5-01-92	WASTEWATER	<i>AMO</i>	"
HYDROLOGY	<i>A. Alby</i>	5-01-92			

DRAWING NO.	4404.90	MAP NO.	D-20	SHEET	OF	13	22
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10719



RECORD DRAWING

This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.

Paul Brasher, P.E. 7282

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 05'



- LEGEND**
- W --- EXISTING WATERLINE
 - SAS --- EXISTING SANITARY SEWER
 - SAS --- EXISTING MANHOLE
 - SAS --- EXISTING FIRE HYDRANT
 - SAS --- EXISTING GATE VALVE
 - W --- PROPOSED WATERLINE
 - SAS --- PROPOSED SANITARY SEWER
 - SAS --- PROPOSED MANHOLE
 - SAS --- PROPOSED GATE VALVE
 - SAS --- PROPOSED FIRE HYDRANT
 - SAS --- PROPOSED CAP OR PLUG
 - SAS --- PROPOSED SINGLE METER, WATER SERVICE LINE
 - SAS --- PROPOSED DOUBLE METER, WATER SERVICE LINES
 - SAS --- PROPOSED SANITARY SEWER SERVICE LINE
 - SAS --- PROPOSED CROSS, TEE OR ELBOW

26 4404.90 1993

BRASHER ENGINEERING INC.
11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

**TITLE: VENTURA ESTATES
UTILITY PLAN & PROFILE
REDMONT RD NE STA 0+21.10 TO STA 9+00**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRG CHAIRMAN	Robert J. ...	5-1-92	WATER	...	5-1-92
TRANSPORTATION	...	5-1-92	WASTEWATER	...	...
HYDROLOGY	...	5-01-92			

DRAWING NO. 4404.90 MAP NO D-20 SHEET 14 OF 22

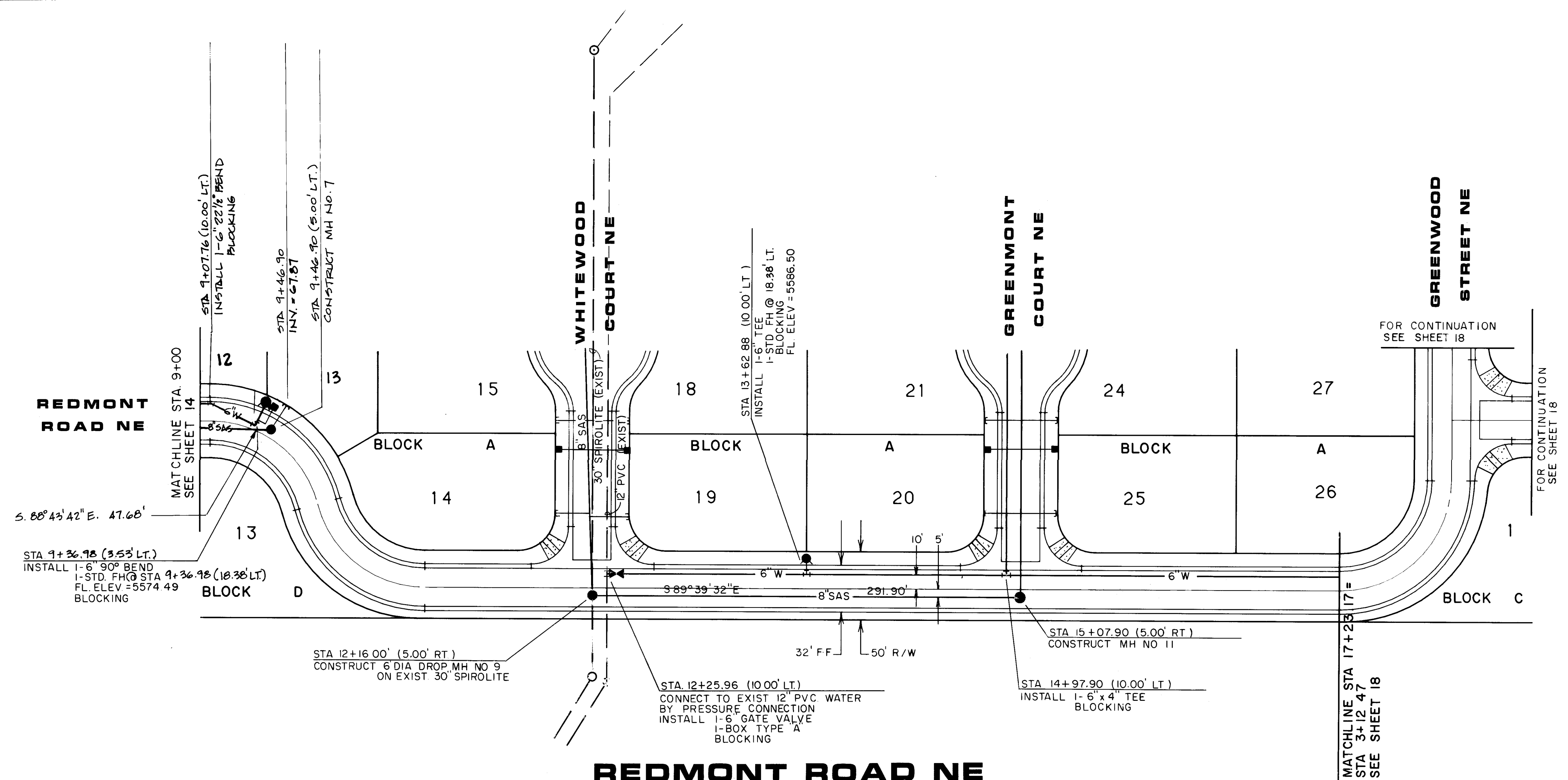
SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	NO.	DATE
1	9-90	1	9-90
BY TOPOGRAPHIC SURVEY		BY THOMAS R. MANN & ASSOC.	

ENGINEER'S SEAL		REVISIONS	
NO.	DATE	NO.	DATE
1	5-1-92	1	5-1-92

DESIGNED BY		DATE	
FB	12/90	FB	12/90
DRAWN BY		DATE	
TS, PC	12/90	TS, PC	12/90
CHECKED BY		DATE	
PB	12/90	PB	12/90

AS BUILT INFORMATION		BENCH MARKS	
DATE	CONTRACT	NO.	DATE
4-1-92	...	1	4-1-92

MICRO-FILM INFORMATION		RECORDED BY	
DATE	NO.	DATE	NO.
4-1-92	...	...	...



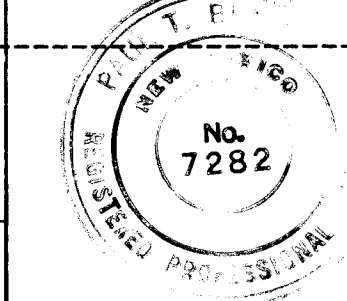
RECORD DRAWING

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Paul Brasher, P.E. 7282

Date 1-4-93

SCALE:
HORZ. 1" = 50'
VERT. 1" = 05'



- LEGEND**
- W - EXISTING WATERLINE
 - SAS - EXISTING SANITARY SEWER
 - EXISTING MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING GATE VALVE
 - W - PROPOSED WATERLINE
 - SAS - PROPOSED SANITARY SEWER
 - PROPOSED MANHOLE
 - PROPOSED FIRE HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED CAP OR PLUG
 - PROPOSED SINGLE METER, WATER SERVICE LINE
 - PROPOSED DOUBLE METER, WATER SERVICE LINES
 - PROPOSED SANITARY SEWER SERVICE LINE
 - PROPOSED CROSS, TEE OR ELBOW

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4404.90 1593

BRASHER ENGINEERING INC.
11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: VENTURA ESTATES UTILITY PLAN & PROFILE REDMONT RD NE STA 9+00 TO STA 17+23.17			
APPROVALS	ENGINEER	DATE	ENGINEER
DRC CHAIRMAN	Roger Wilson	5-1-92	WATER
TRANSPORTATION	Robert K. ...	5-01-92	WASTEWATER
HYDROLOGY	J. Aubrey	5-01-92	

DRAWING NO. 4404.90 MAP NO. D-20 SHEET 15 OF 22

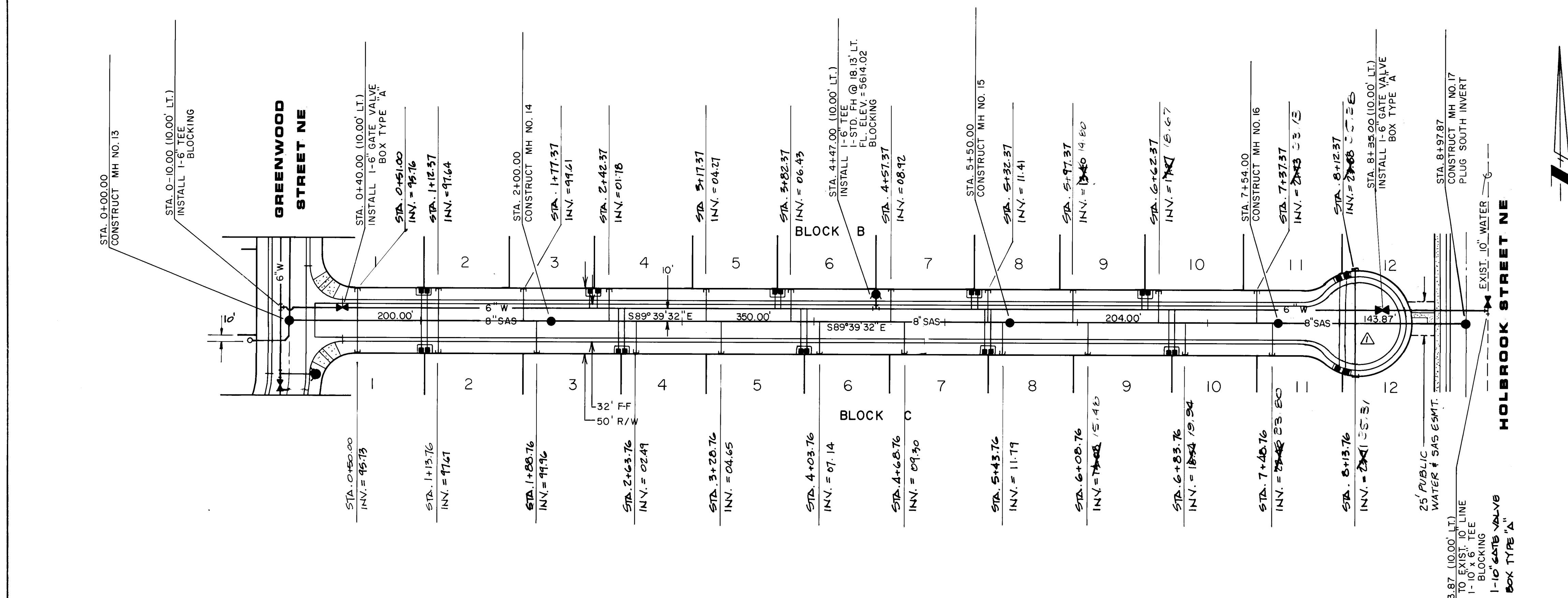
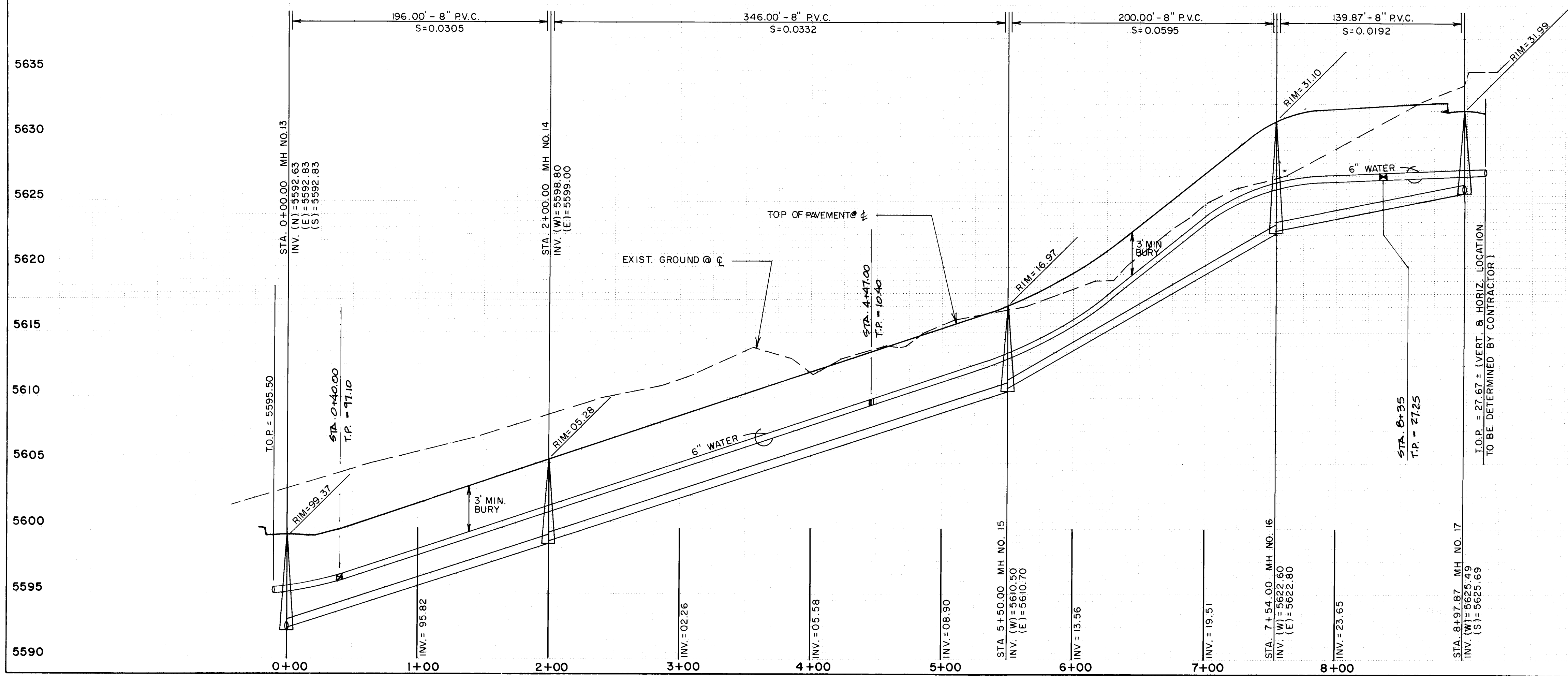
WATER AND SANITARY SEWER			
1. All stationing and offset dimensions are based on centerline of right-of-way.			
2. The following City of Albuquerque standard drawings are applicable:			
2102	2110	2118	2125
2301	2315	2320	2325
2326	2328	2330	2331
2333	2340	2347	2360
2361	2362	2363	2366
2367	2368	2369	

3. FOR TYPICAL WATER METER BOX LOCATION SEE DETAIL 'A' SHT 22

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	BY	DATE
	9-90	TOPOGRAPHIC SURVEY	
		BY THOMAS R. MAHN & ASSOC.	

ENGINEER'S SEAL
4-24-92

REVISIONS			
NO.	DATE	REMARKS	BY
		DESIGN	
DESIGNED BY	PB	DATE	12/90
DRAWN BY	T.S. PC.	DATE	12/90
CHECKED BY	P.B.	DATE	12/90



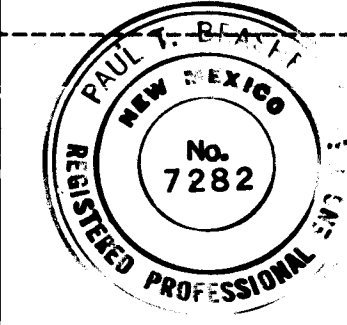
SCANNED BY
BY LASON

RECORD DRAWING

This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.

Paul Brasher, P.E. 7282
Date 1-4-93

SCALE
HORIZ. 1"=50'
VERT. 1"=05'



- LEGEND**
- W - EXISTING WATERLINE
 - SAS - EXISTING SANITARY SEWER
 - EXISTING MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING GATE VALVE
 - PROPOSED WATERLINE
 - PROPOSED SANITARY SEWER
 - PROPOSED MANHOLE
 - PROPOSED FIRE HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED CAP OR PLUG
 - PROPOSED SINGLE METER, WATER SERVICE LINE
 - PROPOSED DOUBLE METER, WATER SERVICE LINES
 - PROPOSED SANITARY SEWER SERVICE LINE
 - PROPOSED CROSS, TEE OR ELBOW
 - SANITARY SEWER SERVICE CLEANOUT

20 4404.901693

BRASHER ENGINEERING INC.
11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: VENTURA ESTATES UTILITY PLAN & PROFILE REDMONT RD NE STA 0+10.00 TO STA 9+13.87				
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER
DRG CHAIRMAN	Ronald Brown	5-1-92	WATER	5-1-92
TRANSPORTATION	5-01-92	WASTE WATER		
HYDROLOGY	5-01-92			

PROJECT NO. 4404.90 MAP NO. D-20 SHEET 16 OF 22

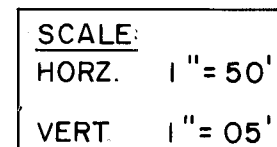
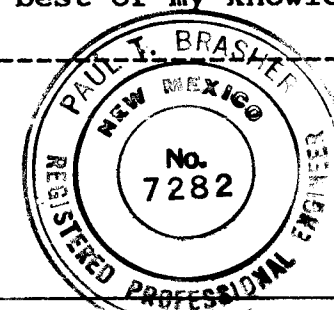
- WATER AND SANITARY SEWER**
- All stationing and offset dimensions are based on centerline of right-of-way.
 - The following City of Albuquerque standard drawings are applicable:

2102	2110	2118	2125
2301	2315	2320	2325
2326	2328	2330	2331
2333	2340	2347	2360
2361	2362	2363	2366
2367	2368	2369	
 - FOR TYPICAL WATER METER BOX LOCATION SEE DETAIL 'A' SHT 22

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	CCM	Project benchmark is a chiseled square on top back of curb at the beginning of standard curb	DATE	NO.	DATE
STARTED BY	CLS	Project benchmark is a chiseled square on top back of curb at the beginning of standard curb	DATE	BY	DATE
INSPECTOR'S	CLS	Project benchmark is a chiseled square on top back of curb at the beginning of standard curb	DATE	TOPOGRAPHIC SURVEY	DATE
FIELD	CLS	Project benchmark is a chiseled square on top back of curb at the beginning of standard curb	DATE	BY THOMAS R. MUM	DATE
VERIFICATION BY	CLS	Project benchmark is a chiseled square on top back of curb at the beginning of standard curb	DATE	& ASSOC.	DATE
CORRECTED BY	CLS	Project benchmark is a chiseled square on top back of curb at the beginning of standard curb	DATE		DATE
MICRO-FILM INFORMATION		Project benchmark is a chiseled square on top back of curb at the beginning of standard curb			
RECORDED BY		Project benchmark is a chiseled square on top back of curb at the beginning of standard curb			
NO.		Project benchmark is a chiseled square on top back of curb at the beginning of standard curb			



REVISIONS		DESIGN	
NO.	DATE	DESIGNED BY	DATE
1	7-1-92	P.B.	12/90
2	7-1-92	T.S., P.C.	12/90
3	7-1-92	CHECKED BY	DATE



- | | | |
|-------------|--------|----------|
| DRAWING NO. | MAP NO | SHEET OF |
| 4404.90 | D-20 | 17 22 |

ENGINEER'S SEAL

Project benchmark is a chiseled square on top of curb at the beginning of standard curb & gutter on the east side of Ventura Street, at south side of drainage channel. Project benchmark based on ALTA/ACSM Land title survey dated July, 1990 (ACS 5-E19).

FIELD NOTES
BY
TOPOGRAPHIC SURVEY
BY THOMAS R. MANN
& ASSOC.

REVISIONS	DATE	BY
1	12/90	
2	12/90	

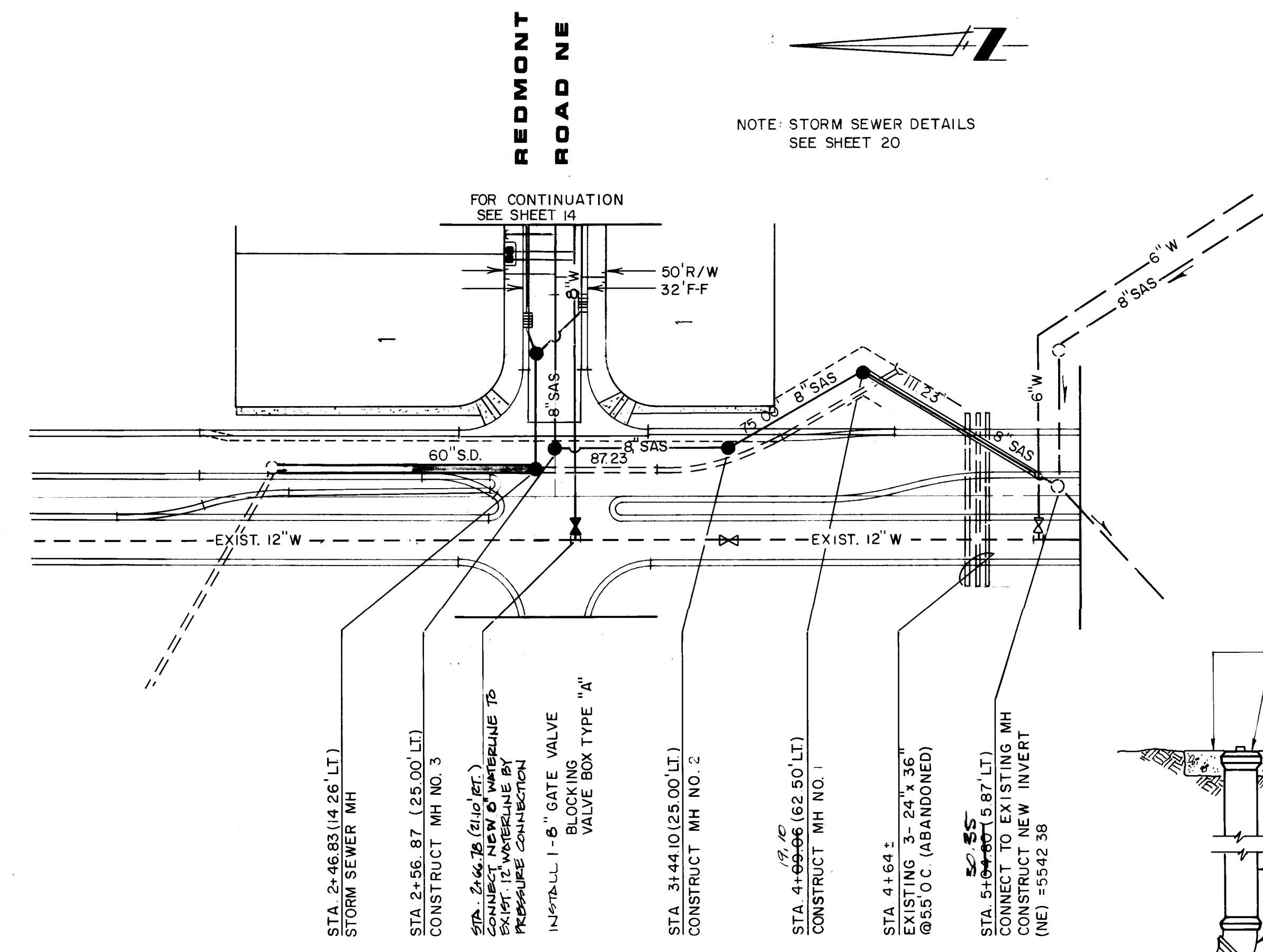
SIGNED BY
AWN BY

UE
MENT
UP

**TEST
PROFILE**
TO STA 1+74.17
TO STA 1+74.42

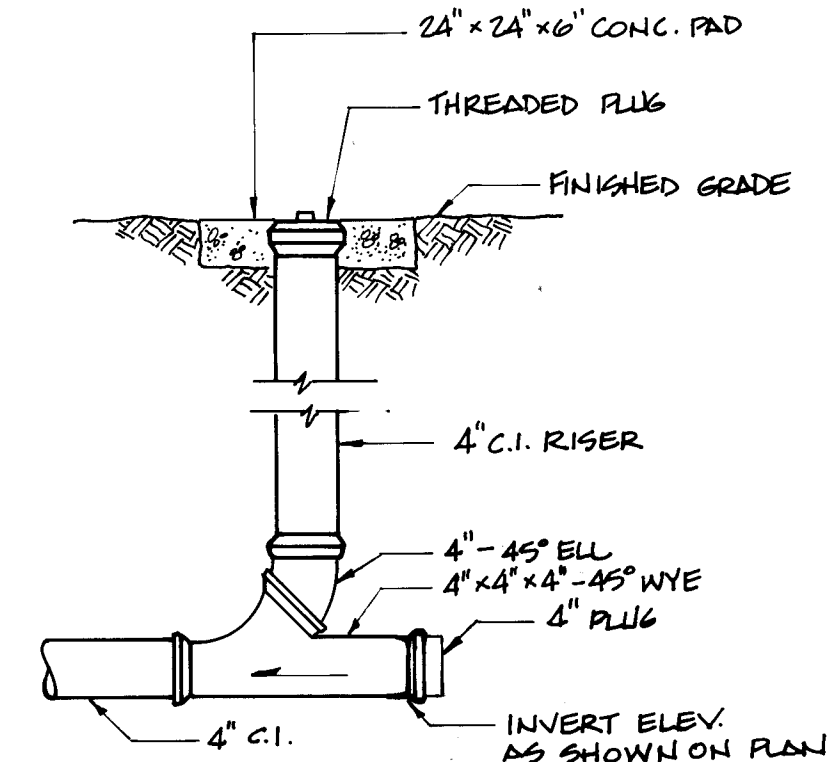
H/O 5-1-2
 H/O ..

SHEET 17 OF 22

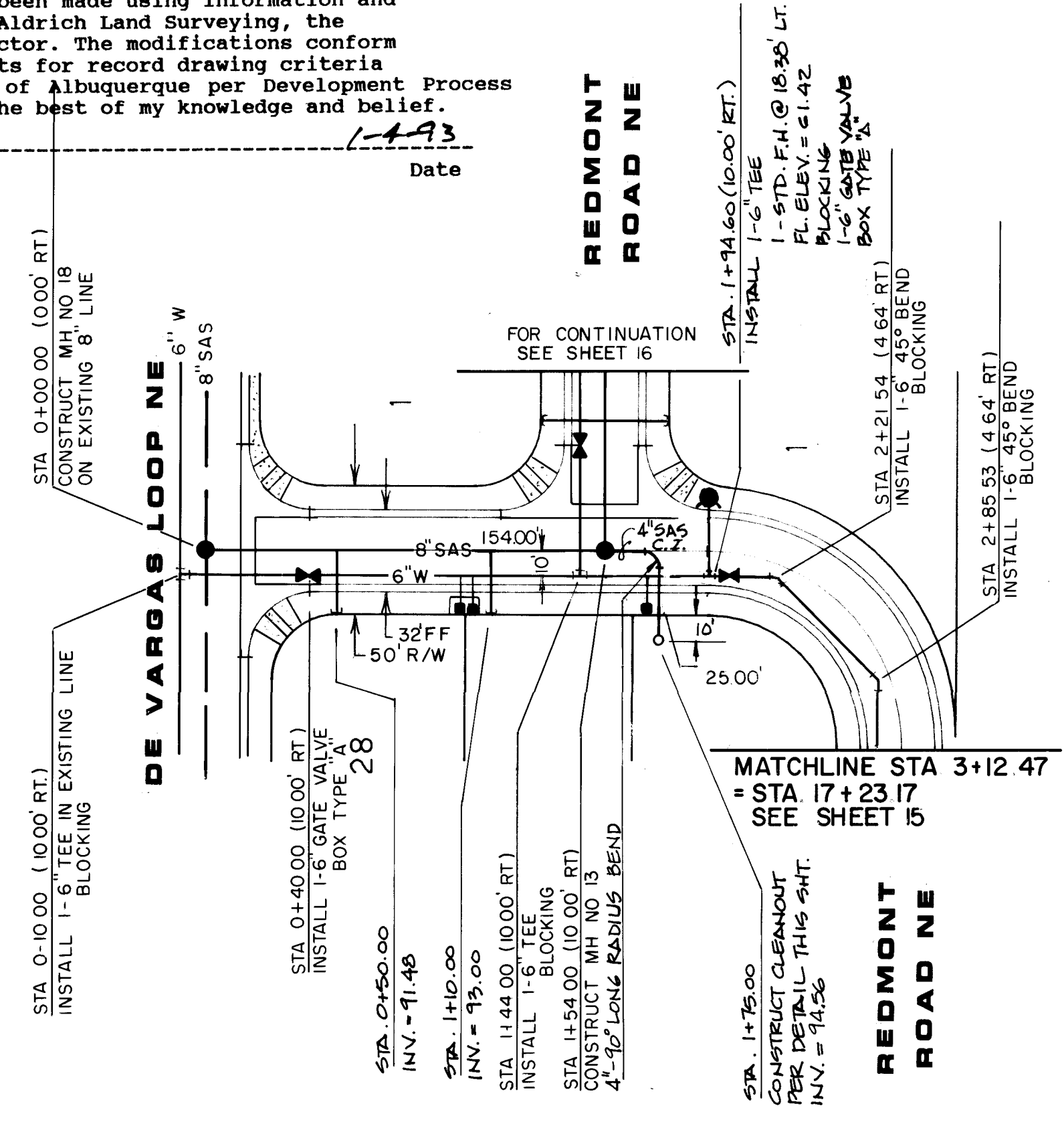


NOTE: STORM SEWER DETAILS
SEE SHEET 20

RECORD DRAWING
This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.
Paul P. Brasher, P.E. 7282
Date 1-19-93

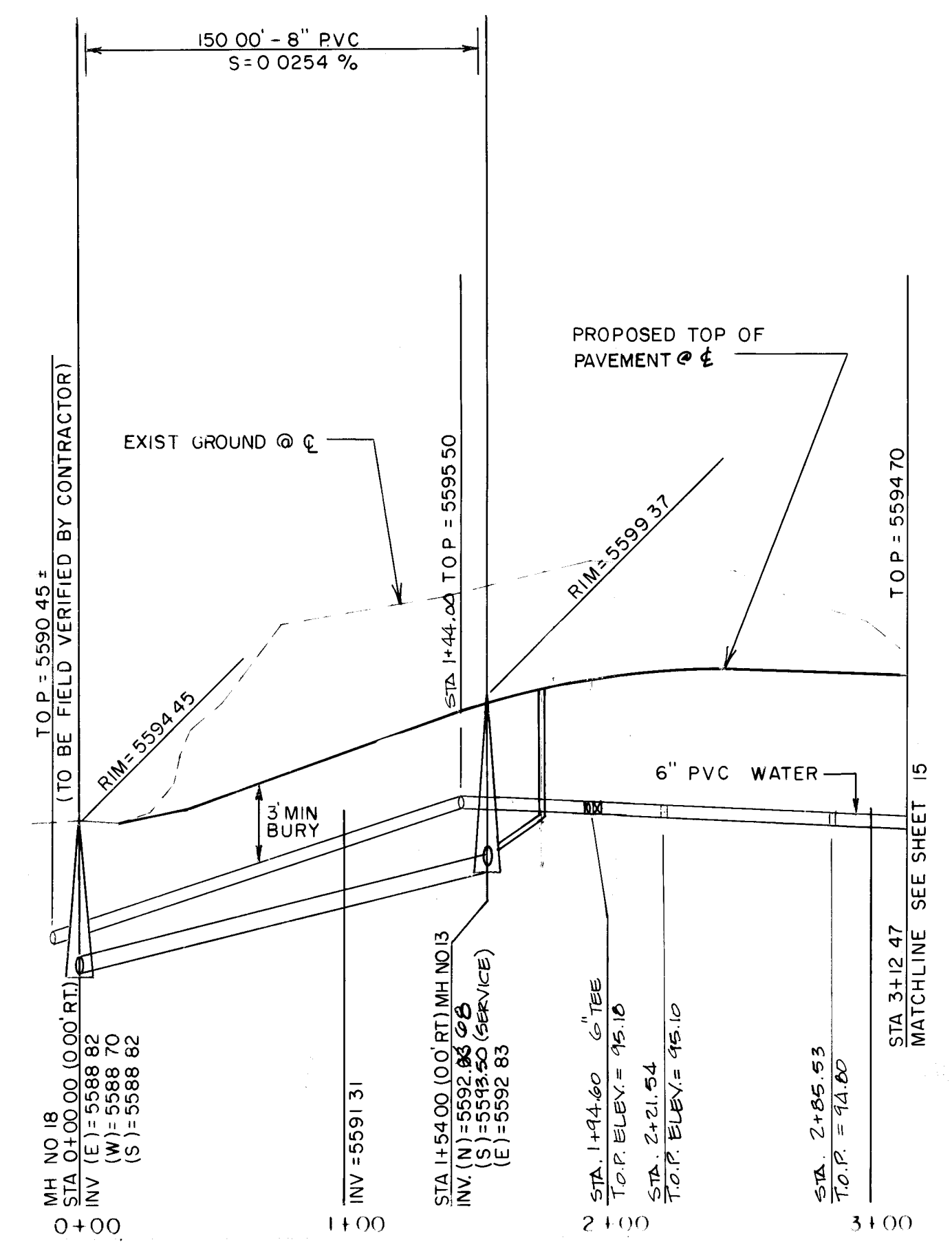
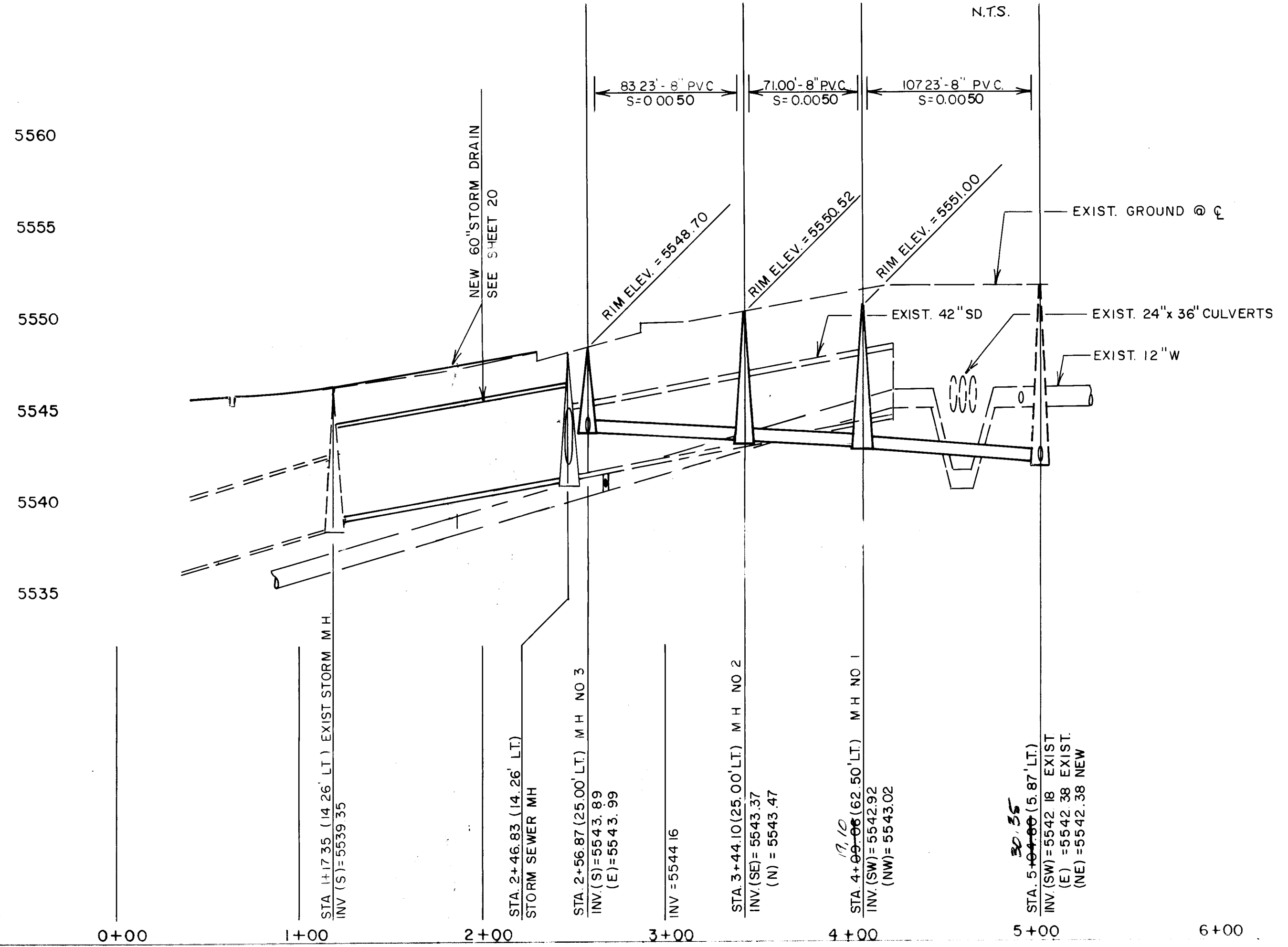


TYPICAL SINGLE CLEANOUT DETAIL



GREENWOOD STREET NE

SCALE:
HORZ 1" = 50'
VERT 1" = 05'



- Horizontal and vertical locations of existing water, sanitary sewer, and storm sewer lines and facilities are shown as represented on as-built drawings. Contractor shall field verify horizontal and vertical locations of all utilities, public and private, prior to construction of new lines. Contractor shall notify engineer if actual field verified locations conflict with design.
- Existing abandoned 24" x 30" culverts may be removed as necessary to install 8" sanitary sewer. If culverts are removed in part, the remaining portion shall be bricked up in a manner suitable to the City. If any portion of the culverts are removed, the removal and re-abandonment will be considered incidental to the construction of the sewerline and no payment shall be made therefor. If the culverts above the sewerline are removed within 10' of the sewerline, the sewerline may be constructed of 8" PVC in lieu of 8" ductile iron.
- The exact depth of the existing 12" waterline at the point of connection to the new 6" line in Redmont is uncertain. The new connection to the existing 12" shall be made to provide 2' clearance between the waterline and storm sewer at crossing.

WATER AND SANITARY SEWER

- All stationing and offset dimensions are based on centerline of right-of-way.
- The following City of Albuquerque standard drawings are applicable:

2102	2110	2118	2125
2301	2315	2320	2325
2326	2328	2330	2331
2333	2340	2347	2360
2361	2362	2363	2366
2367	2368	2369	

- For typical water meter box location see detail 'A' SHT 22

LEGEND

- W - EXISTING WATERLINE
- SAS - EXISTING SANITARY SEWER
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED WATERLINE
- PROPOSED SANITARY SEWER
- PROPOSED MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED CAP OR PLUG
- PROPOSED SINGLE METER, WATER SERVICE LINE
- PROPOSED DOUBLE METER, WATER SERVICE LINES
- PROPOSED SANITARY SEWER SERVICE LINE
- PROPOSED CROSS, TEE OR ELBOW
- SANITARY SEWER SERVICE CLEANOUT

26 9404.90 1243

BRASHER ENGINEERING INC.
11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

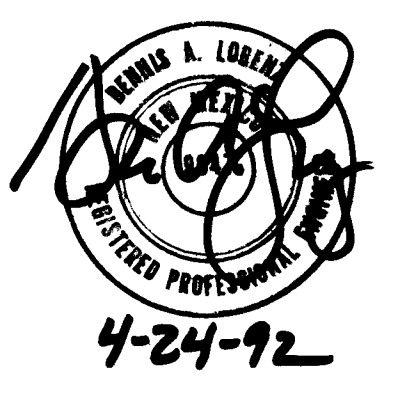
**VENTURA ESTATES
UTILITY PLAN & PROFILE
VENTURA ST NE STA 2+56.87 TO STA 5+04.80
GREENWOOD ST NE STA 0+10.00 TO STA 3+12.47**

DRC CHAIRMAN *Paul P. Brasher* 5-1-92 WATER
TRANSPORTATION *Paul P. Brasher* 5-4-92 WASTEWATER
HYDROLOGY *S. Almy* 5-01-92

CCM
SLS
Raf. Goley
SLS
SLS

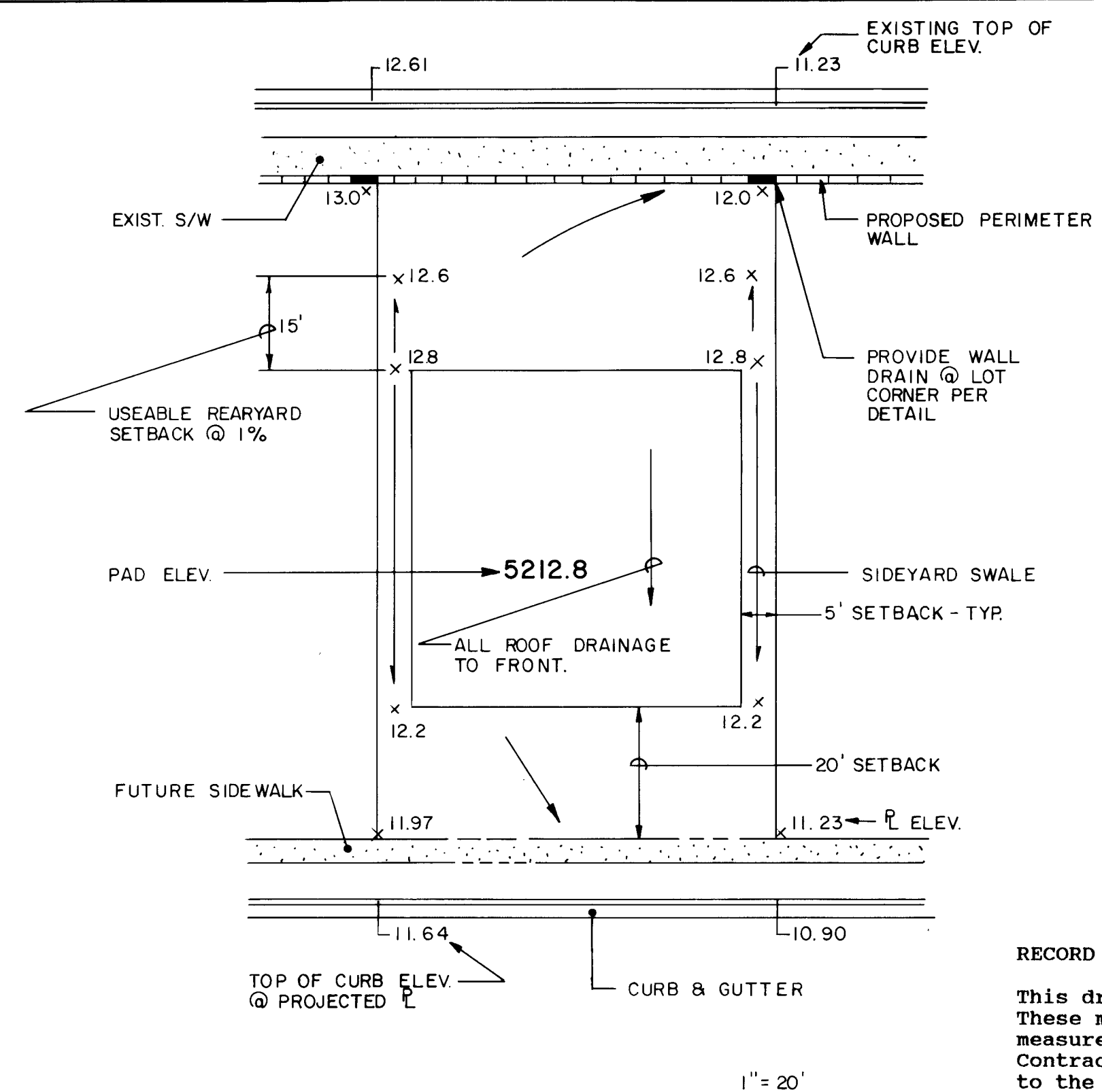
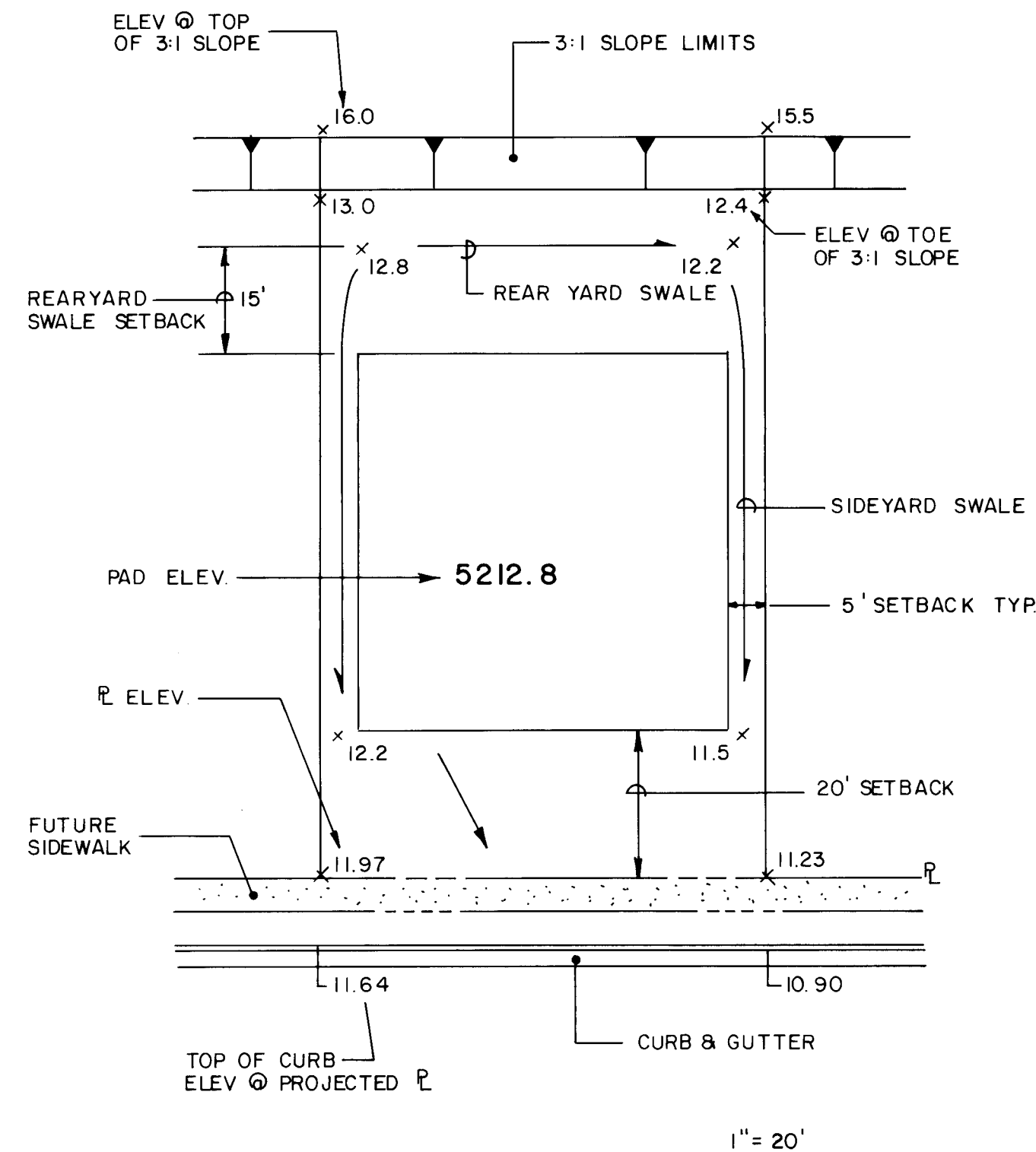
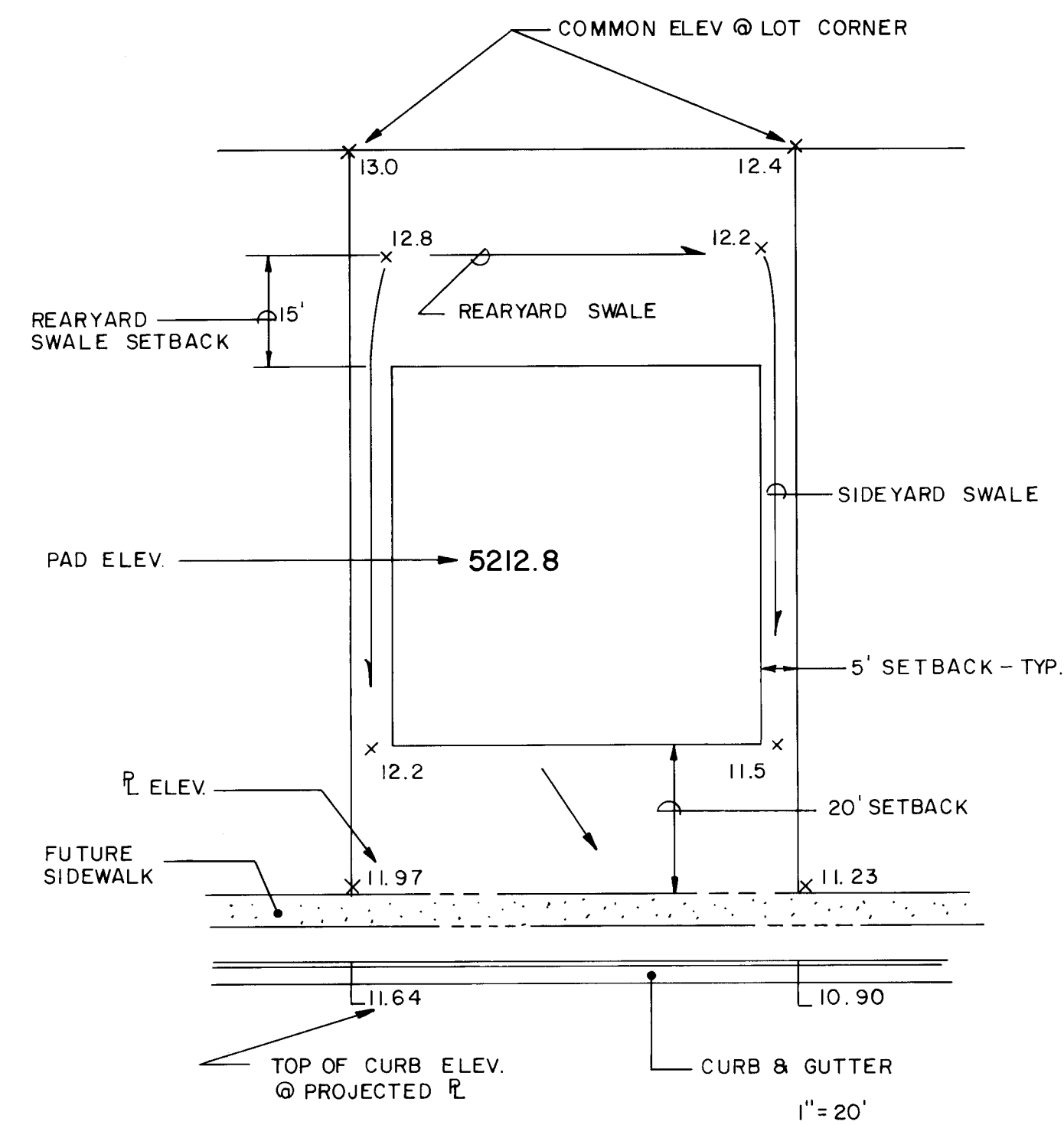
Project benchmark is a chiseled square on top back of curb at the beginning of Ventura Street gutter on the east side of street. Station 0+00 is at south end of street. Project benchmark based on ALTA/ACSM Land Title Survey dated July, 1990 (ACS 5-219). Elevation: 5546.967

TOPOGRAPHIC SURVEY
BY THOMAS R. MAH
& ASSOC.
9-90



12/90
TS, PC
PB
12/90
12/90

SCANNED BY LASON



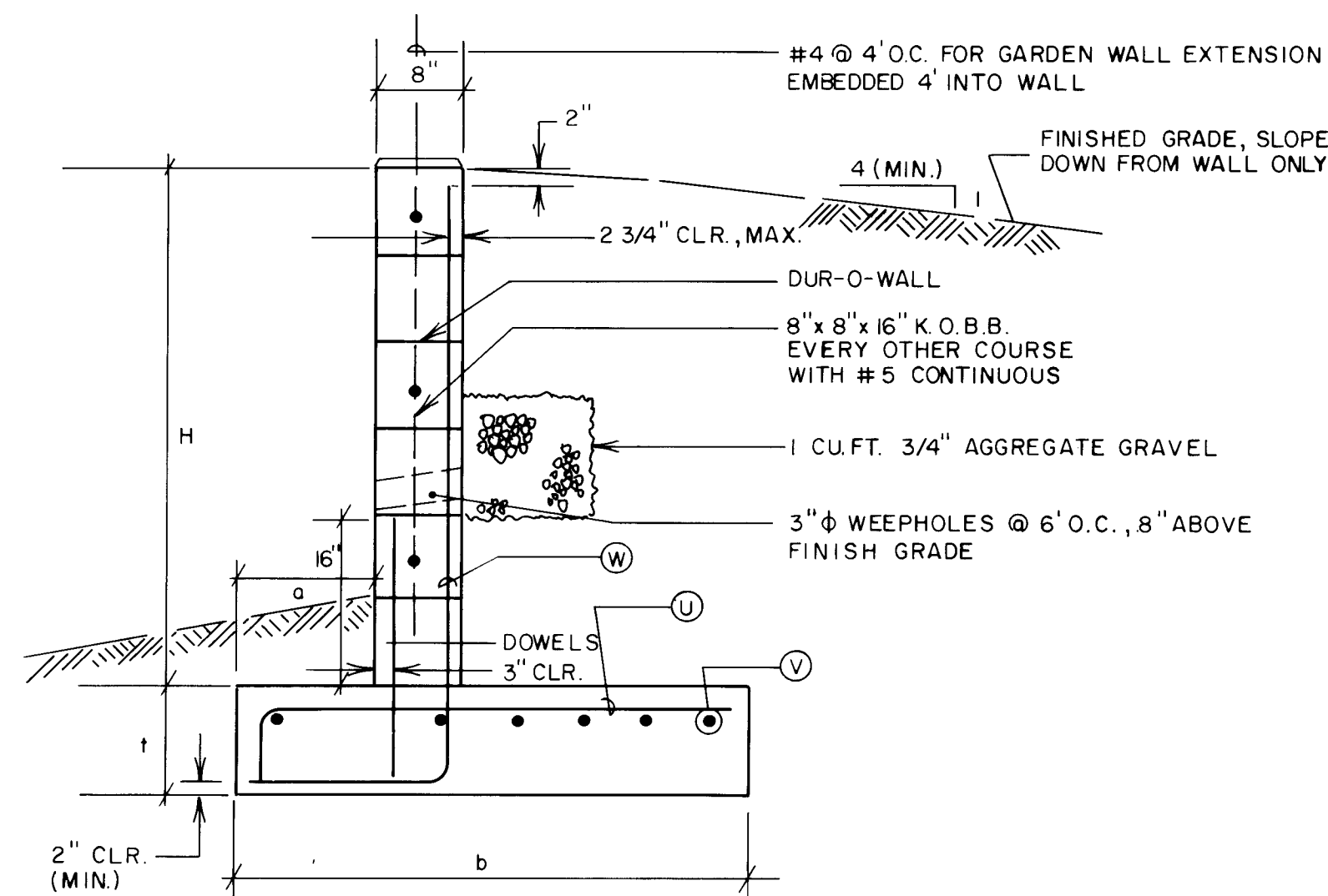
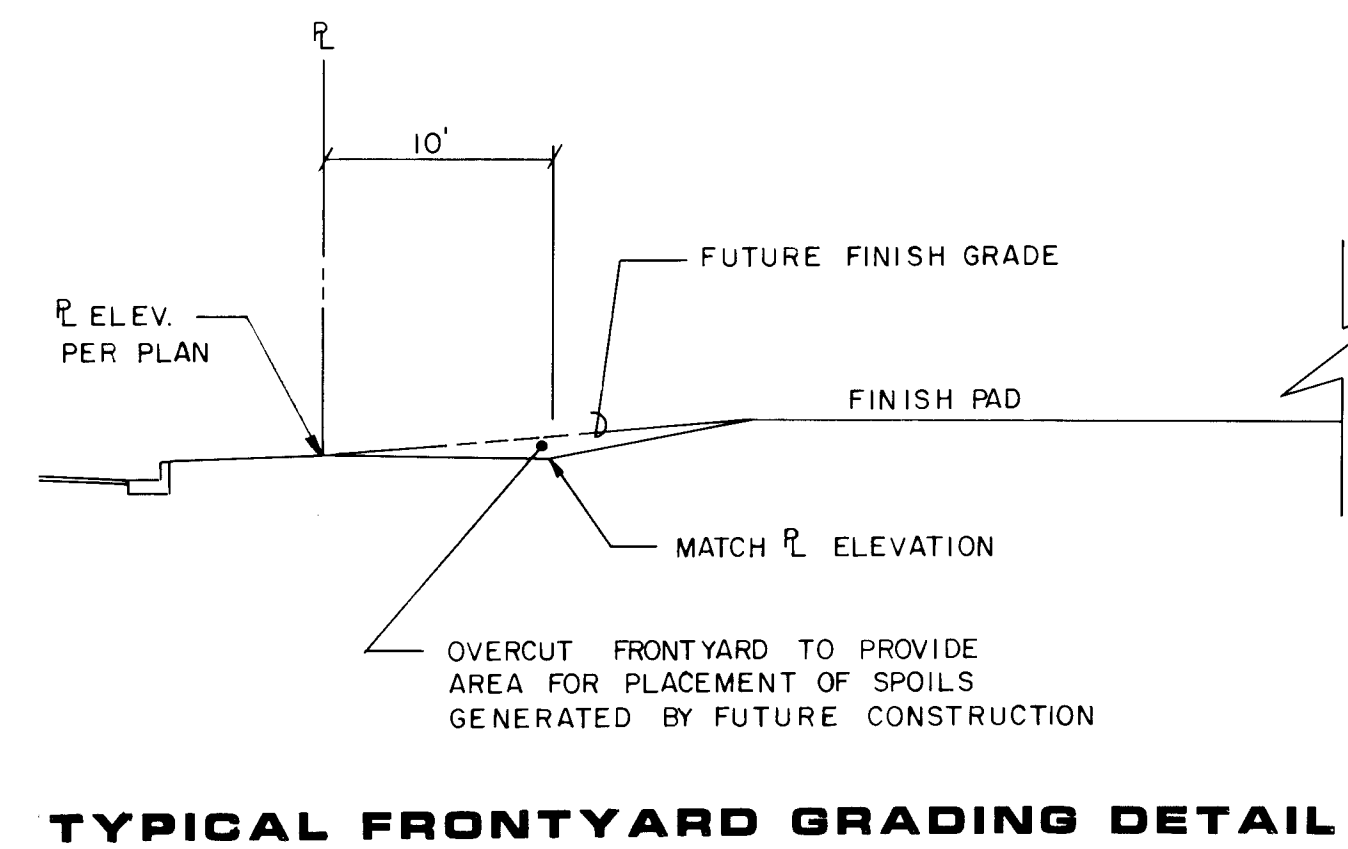
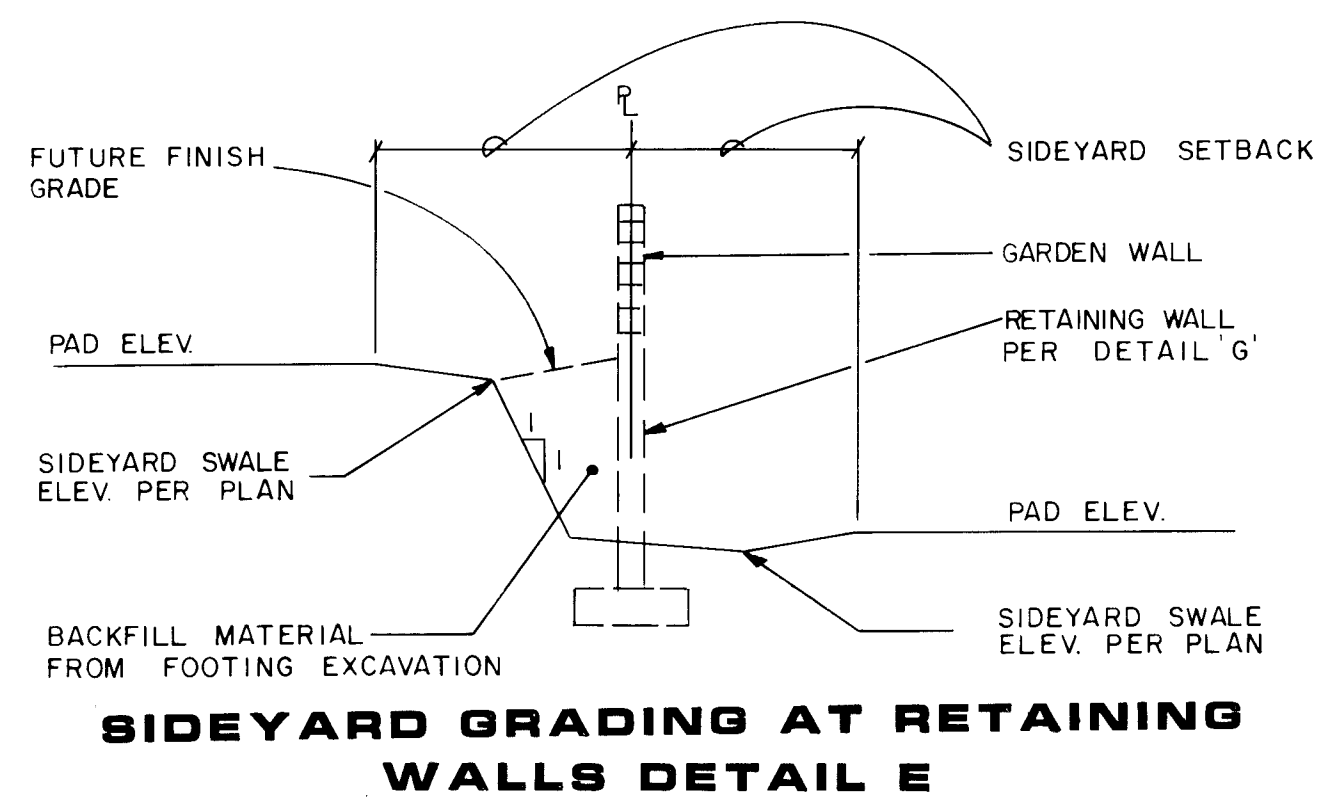
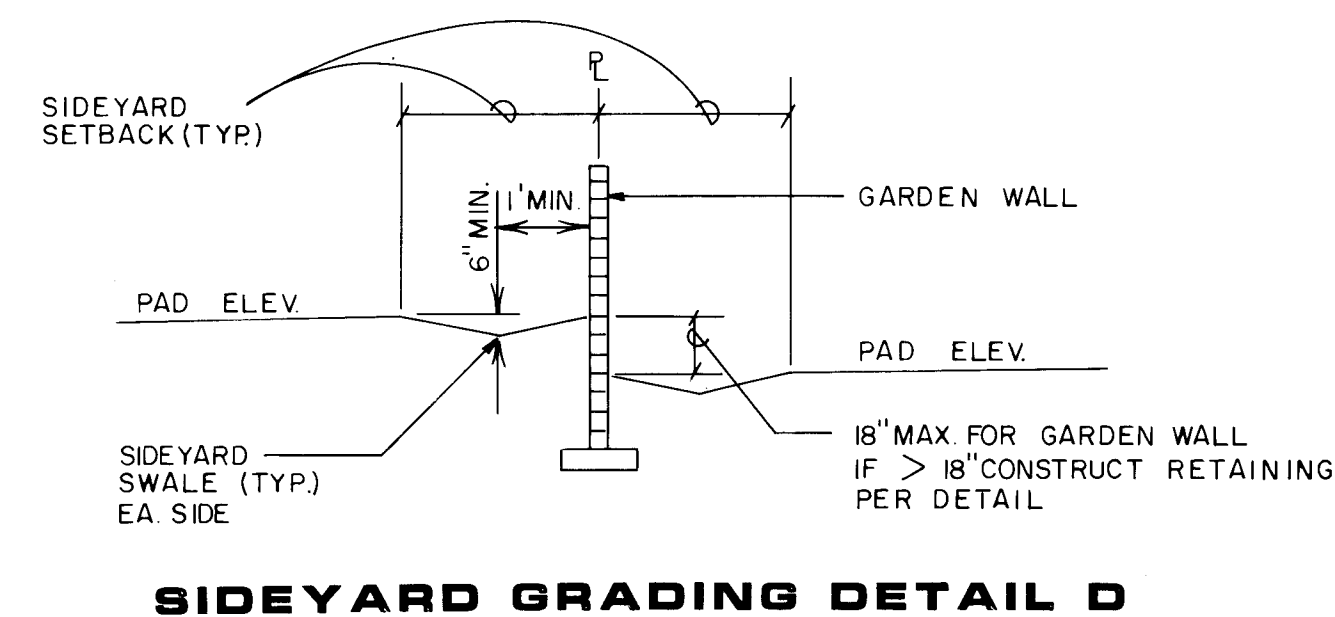
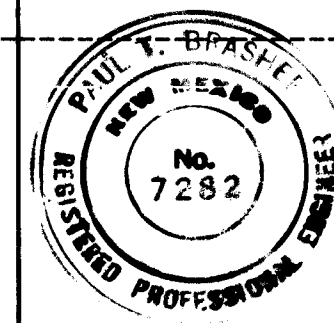
RECORD DRAWING

This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, Inc. The Contractor hereby certifies that the modifications conform to the minimum requirements for record drawing criteria as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.

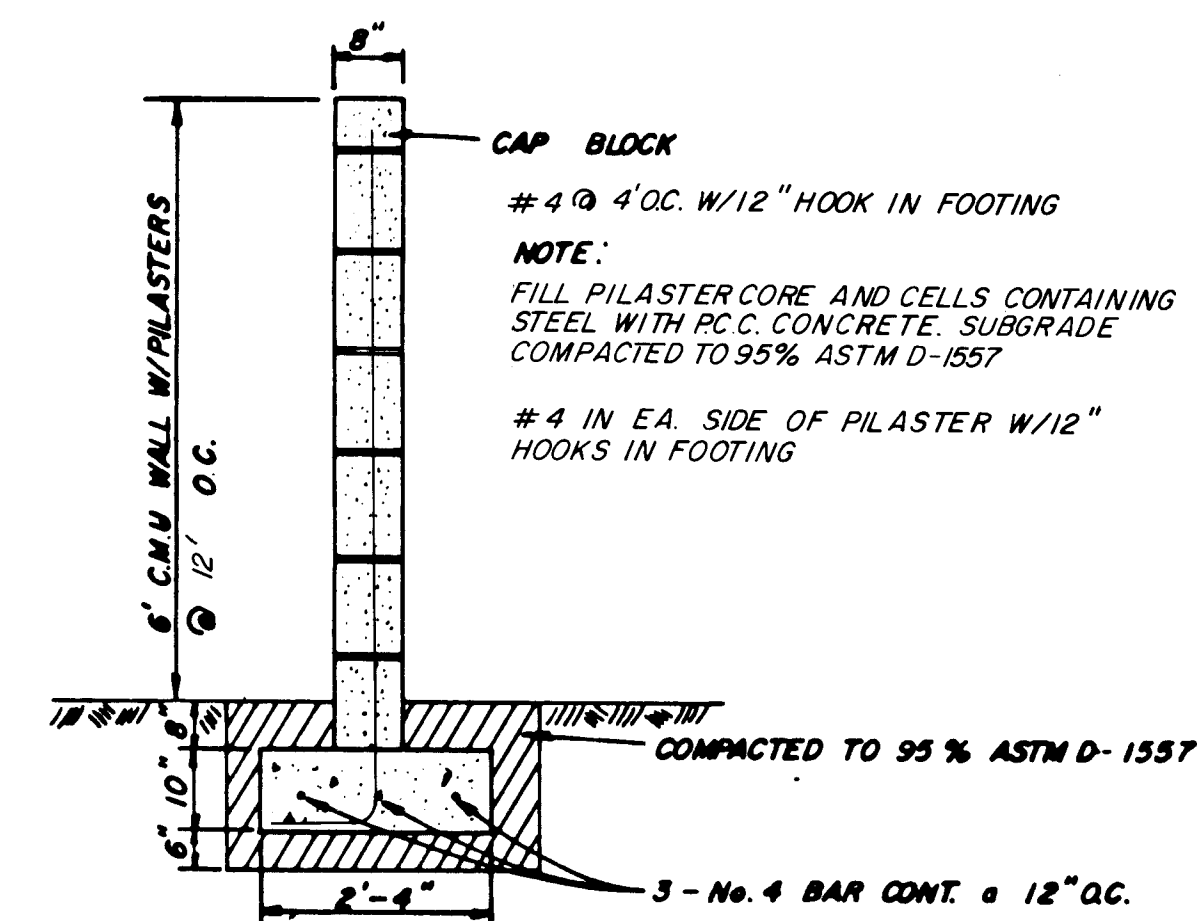
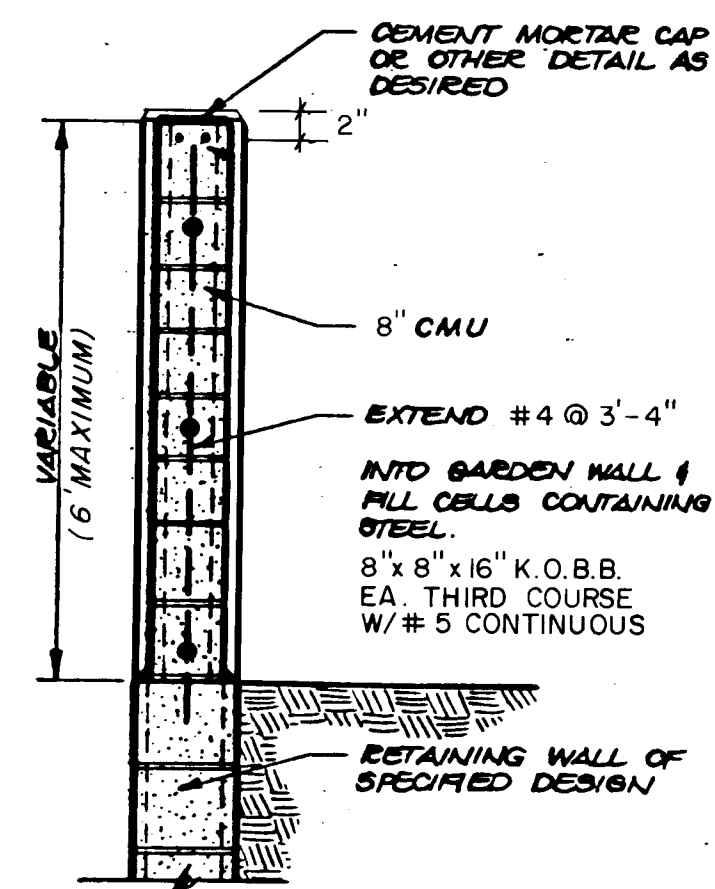
Paul Brasher 1-4-93

Paul Brasher, P.E. 7282 Date

Paul Brasher, P.E. 7282



H	a	b	t	U	y	y	Dowels
1'-6" - 3'-0"	12"	3'-4"	10"	$\#5\phi 10"$	$\#4\phi 12"$	$\#4\phi 8"$	-
3'-6" - 4'-0"	12"	3'-10"	10"	$\#5\phi 8"$	$\#4\phi 12"$	$\#5\phi 8"$	$\#4\phi 24"$
4'-0" - 5'-0"	12"	4'-4"	10"	$\#5\phi 6"$	$\#4\phi 12"$	$\#5\phi 8"$	$\#4\phi 16"$
5'-0" - 6'-0"	12"	4'-8"	10"	$\#5\phi 6"$	$\#4\phi 10"$	$\#5\phi 8"$	$\#4\phi 16"$
6'-0" - 7'-0"	15"	5'-6"	12"	$\#5\phi 6"$	$\#4\phi 08"$	$\#6\phi 8"$	$\#4\phi 08"$



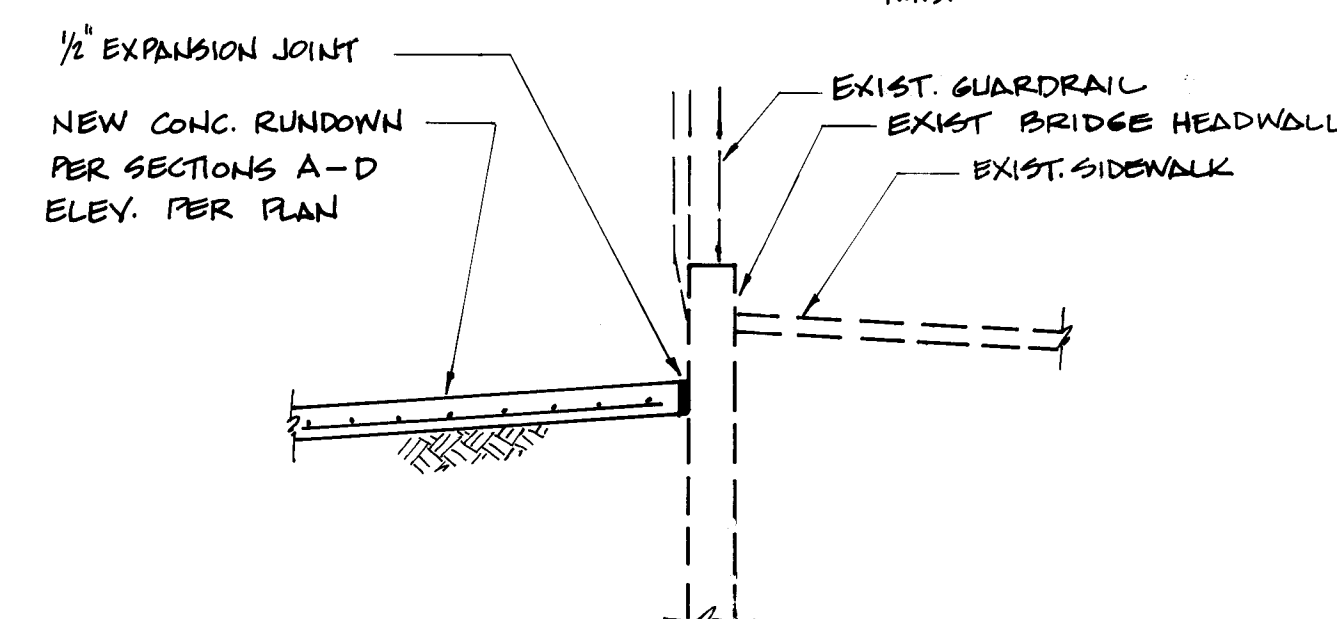
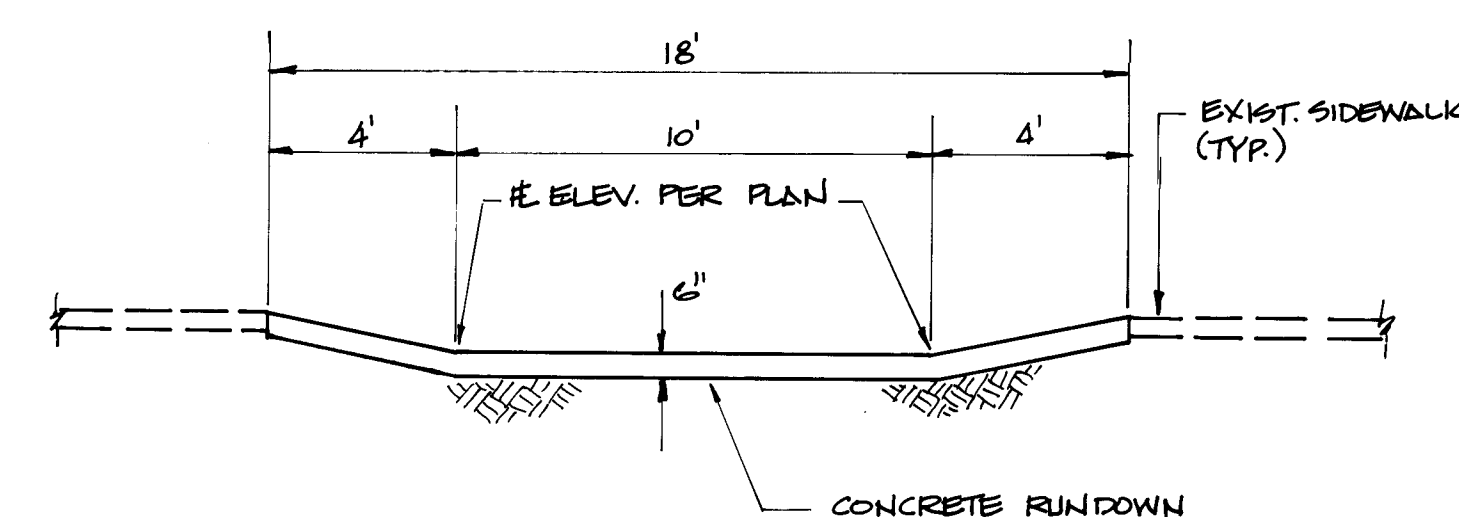
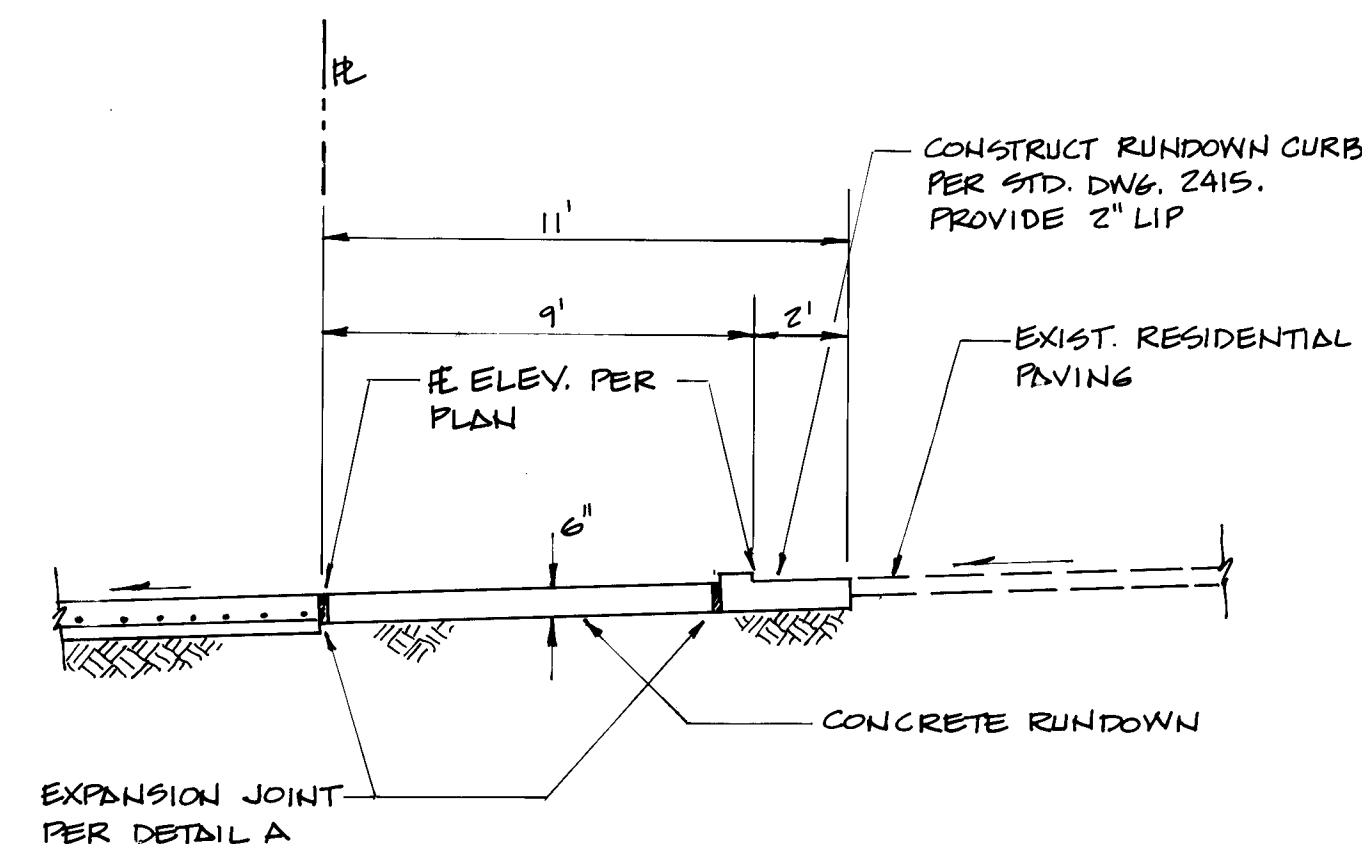
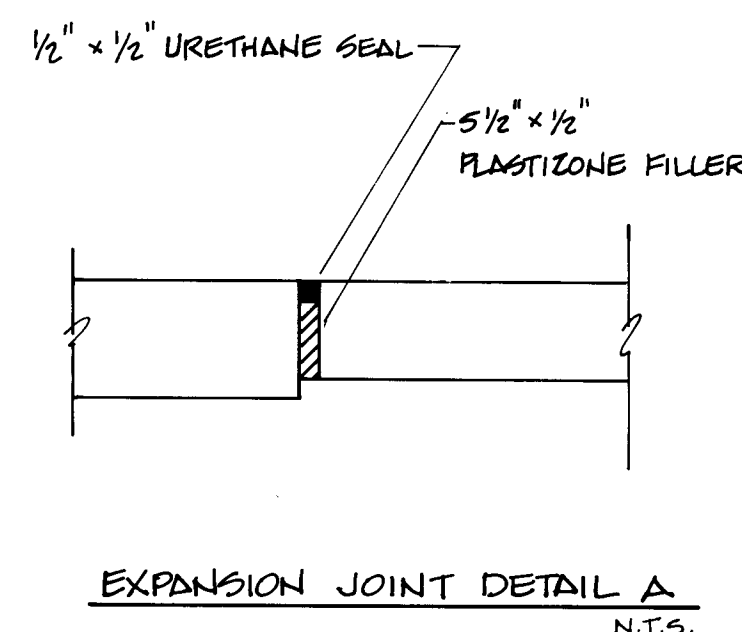
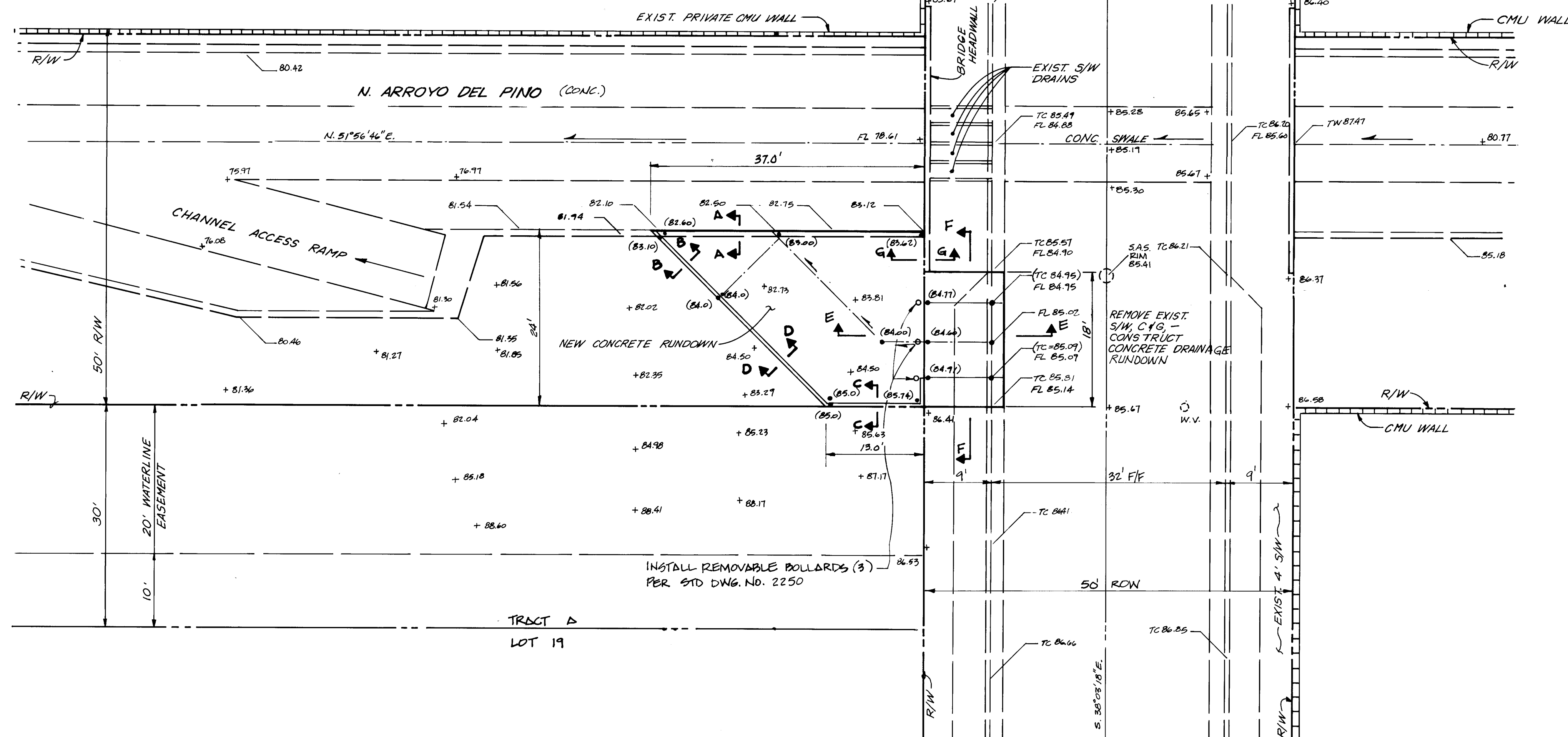
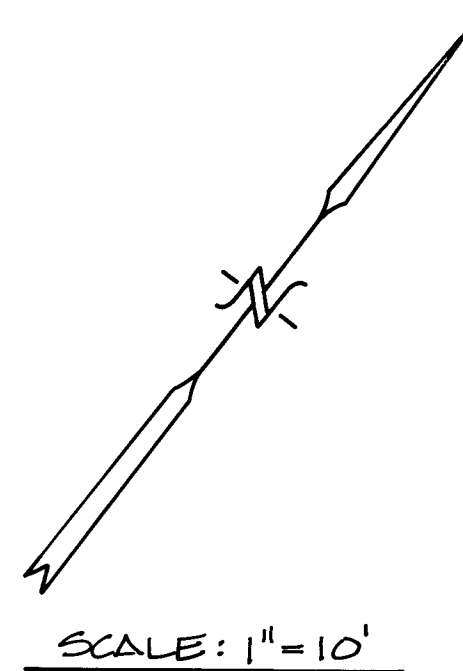
SCANNED BY
BY LASER

26 4404 .902093

GENERAL NOTES FOR RETAINING WALL

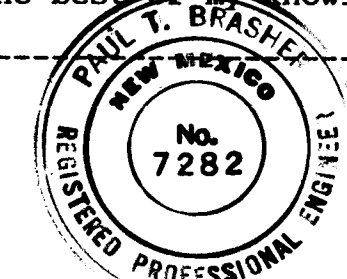
1. REINFORCE CLEARANCE IN ALL CHU = 2'-3/4" MAX.
2. REINFORCE CLEARANCE IN ALL CONCRETE = 2" MIN.
3. REINFORCE STEEL YIELD STRENGTH = 60 KSI.
4. CONCRETE COMP. STRENGTH 9 28 DAYS = 4000 PSI.
5. 1/2" FLT EXPANSION JOINT TO BE PROVIDED EVERY 16 FT. IN CHU AND CONCRETE AND AT TRANSITIONS IN SECTIONS.
6. USE BUR-OLAL 9 GA. DIA. EVERY OTHER COURSE.
7. ALL CHU CELLS SHALL BE FILLED WITH CONCRETE.
8. ALL FOOTING COMPACTION SHALL BE 95% MODIFIED PROCTOR PER ASTM D-1557.
9. TWO (2) WORKING DAYS BEFORE CONSTRUCTION, CONTRACTOR SHALL NOTIFY LINE LOCATING SERVICE, 765-1234, FOR UTILITY LOCATIONS. CONTRACTOR SHALL COORDINATE ANY ADJUSTMENTS TO UTILITIES WITH THE UTILITY. CONTRACTOR SHALL:
10. KNOCK OUT BOND BEAMS TO BE INSTALLED EVERY OTHER COURSE.
11. MOISTURE BARRIER COATING SHALL BE APPLIED TO ALL BURIED CHU SURFACES.
12. WALLS DESIGNED FOR LEVEL BACKFILL ONLY.
13. BACK FILLING AGAINST REINFORCED CONCRETE MASONRY RETAINING WALL SHOULD NOT BE PERMITTED UNTIL AT LEAST 28 DAYS HAVE ELAPSED AFTER COMPLETION OF GROUT. WHERE HEAVY EQUIPMENT IS USED IN BACK FILLING WALLS DESIGNED TO RESIST EARTH PRESSURE ONLY, SUCH EQUIPMENT SHOULD NOT APPROACH CLOSER TO THE TOP OF THE WALL THAN A DISTANCE EQUAL TO THE HEIGHT OF THE WALL. CARE SHOULD ALSO BE TAKEN TO AVOID EXERTING LARGE IMPACT FORCES ON THE WALL AS COULD BE CAUSED BY A LARGE MASS OF MOVING EARTH.

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
 4-24-92		FIELD NOTES		Project Benchmark is a chiseled square on top of curb on the east side of ventura Street NE at the south side of the drainage channel. Project benchmark based on ALTA/ACSM land Title Survey dated July 1990 (ACS 5-E19) Elevation 5546.967 Feet		CONTRACTOR	
		NO.	BY			WORK ORDER NO.	DATE
		TOPOGRAPHIC SURVEY 9-90				INSPECTOR'S ACCEPTANCE BY	DATE
		BY THOMAS R. MANN & ASSOC.				FIELD CALCULATION BY	DATE
						DRAWINGS CORRECTED BY	DATE
DESIGNED BY P.B.		DATE 4-20-92		MICRO-FILM INFORMATION		RECORDED BY	
DRAWN BY D.W.		DATE				NO	
CHECKED BY DL		DATE 4-24-92					



This drawing as modified shows improvements as constructed. These modifications have been made using information and measurements obtained by Aldrich Land Surveying, the Contractor and City Inspector. The modifications conform to the uniform requirements for easements for rights of way as required by the City of Albuquerque per Development Process Manual, Section 27.4 to the best of my knowledge and belief.

Paul Brasher
PAUL L. BRASHER
LAND SURVEYING
Date 1-4-93



BRASHER ENGINEERING INC.

11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

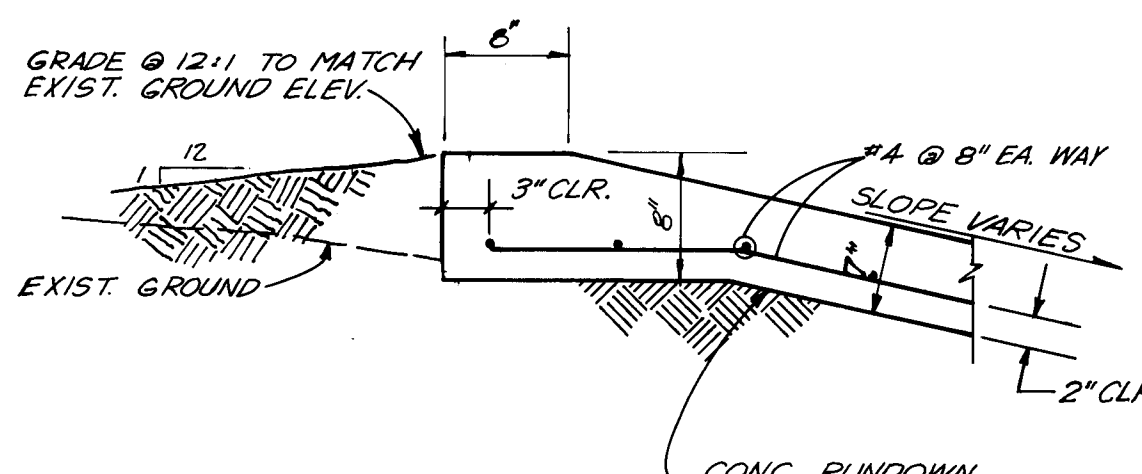
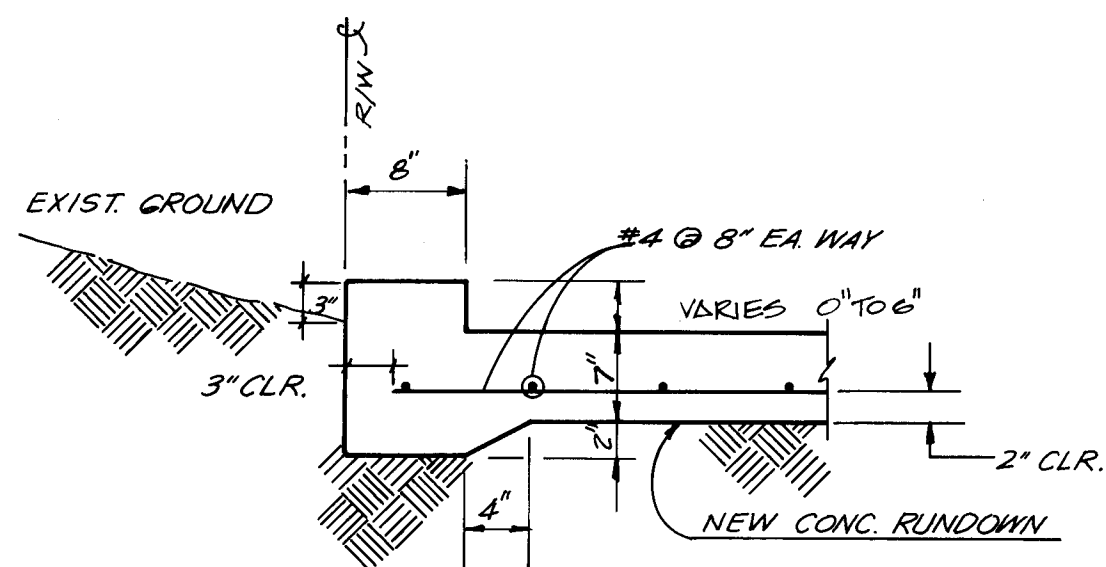
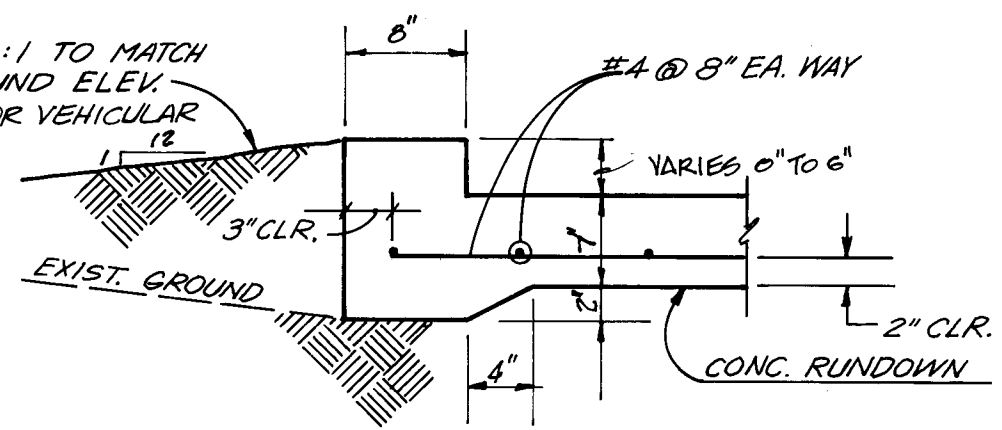
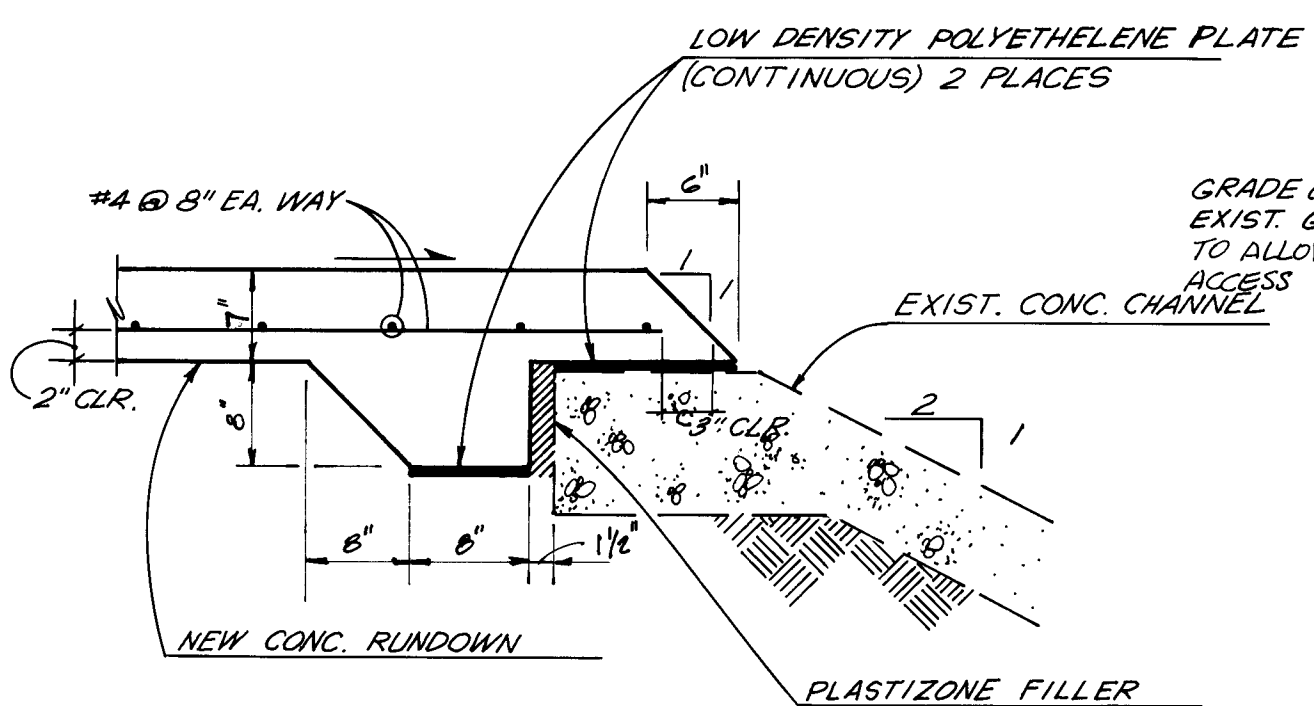
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **VENTURA ESTATES**
DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>Roger J. Khan</i>	5-1-92	WATER	<i>Michael</i>	5-1-92
TRANSPORTATION	<i>[Signature]</i>	5-1-92	WASTE WATER	<i>[Signature]</i>	5-1-92

TRANSFORMATION	<i>J. K. K. K.</i>	<i>5-01-92</i>	WASTE WATER	<i>AK</i>	"
HYDROLOGY	<i>J. K. K. K.</i>	<i>5-01-92</i>			

PROJECT NO.	4404.90	MAP NO.	D-20	SHEET	21	OF	22
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SECTION A - A
N.T.S.

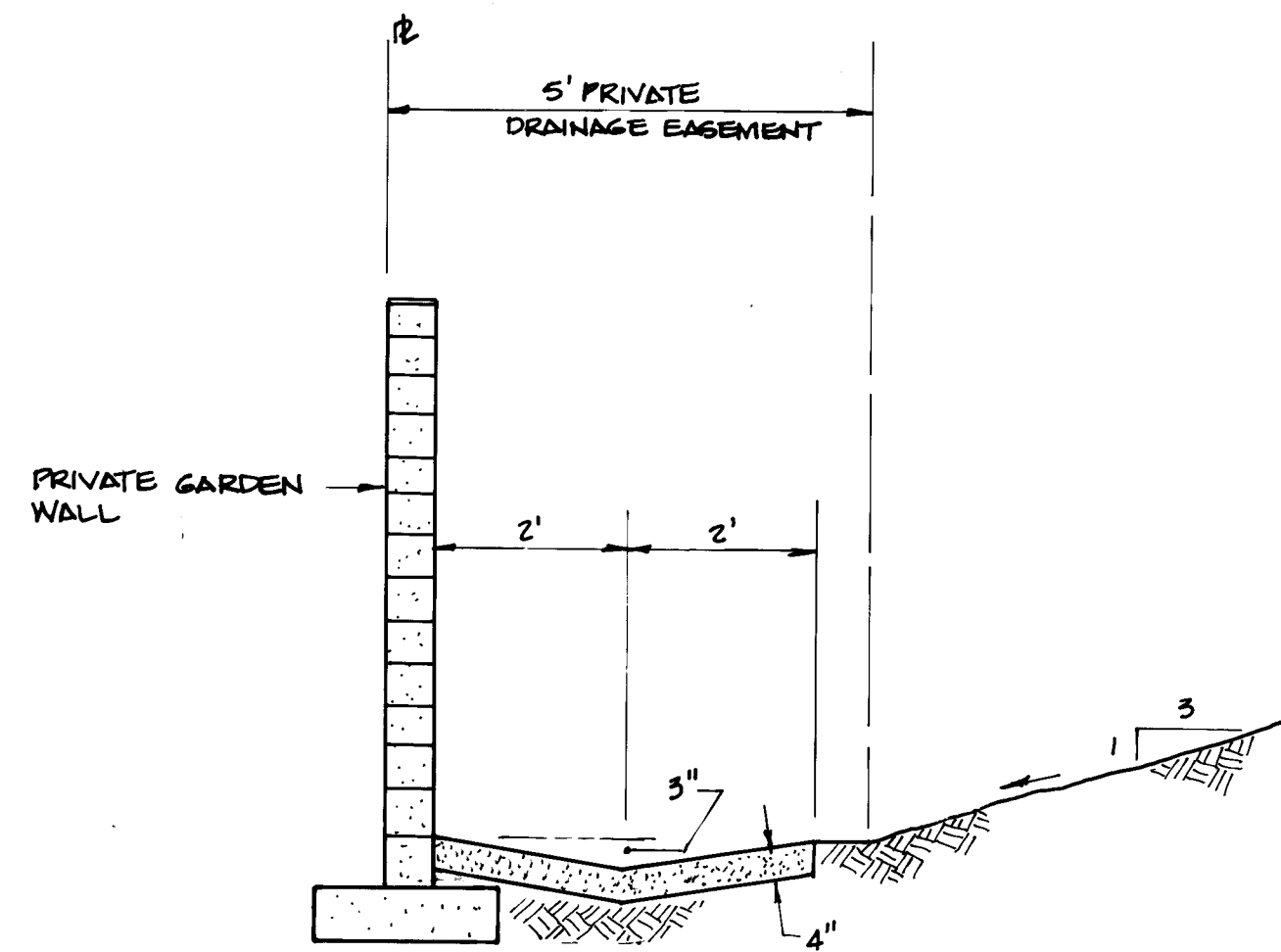
SECTION B-B
N.T.S.

SECTION C-C
N.T.S.

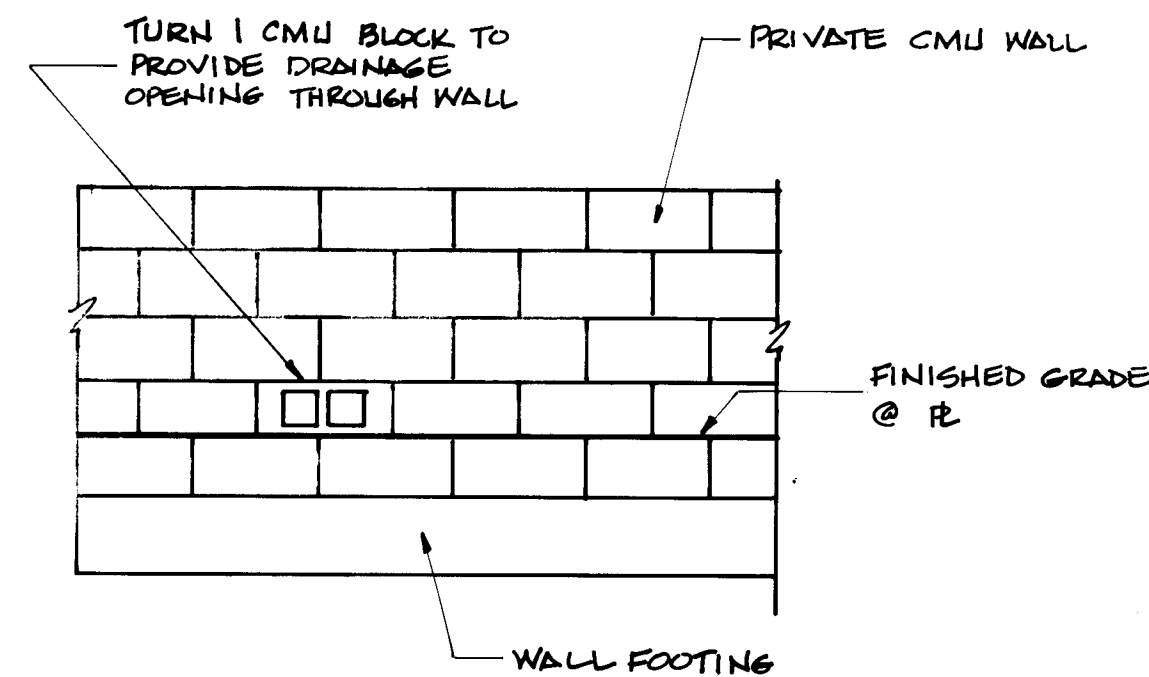
SECTION D-D
N.T.S.

SCANNED BY
BY LASON

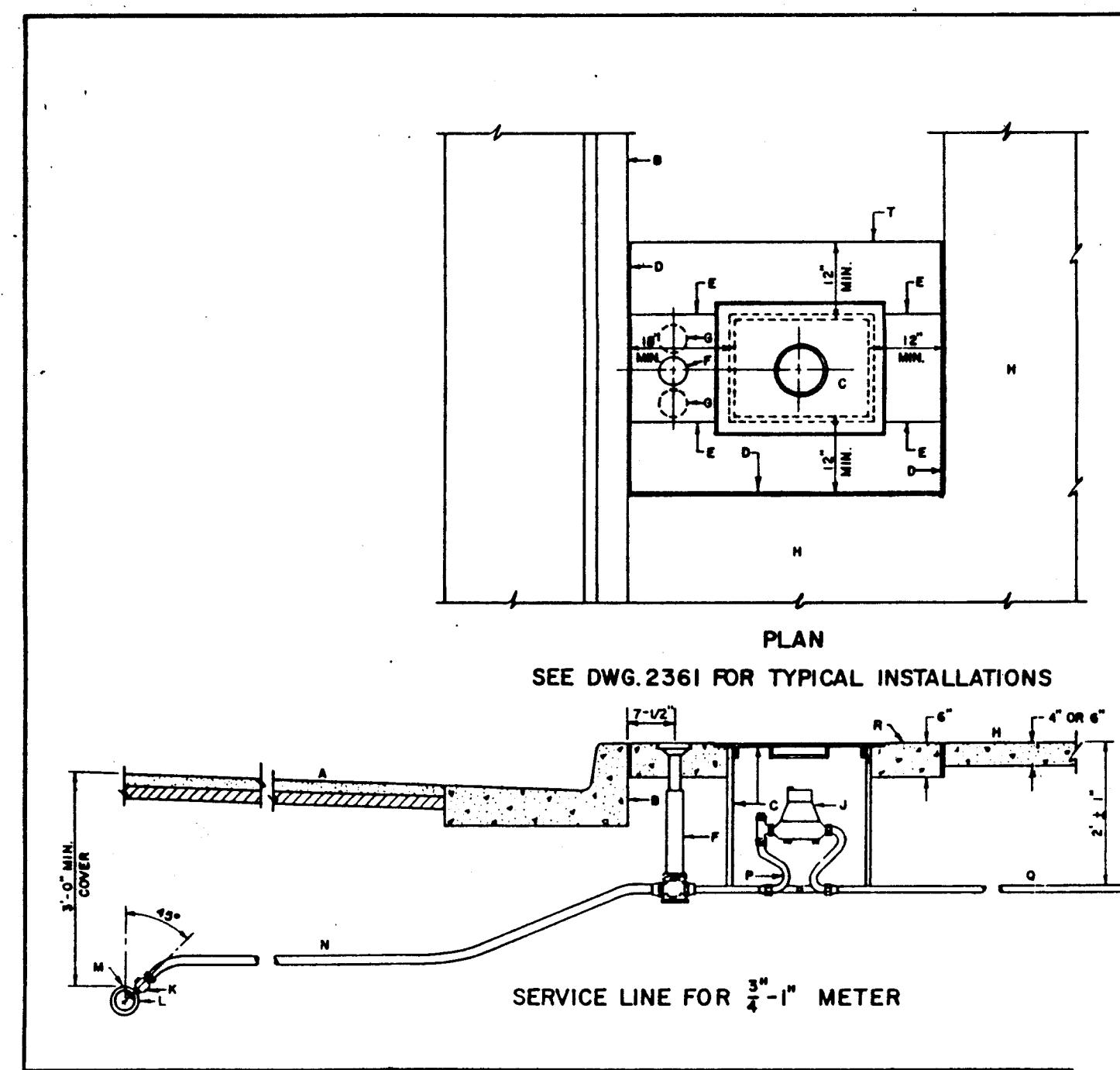
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PRIVATE GUTTER SECTION

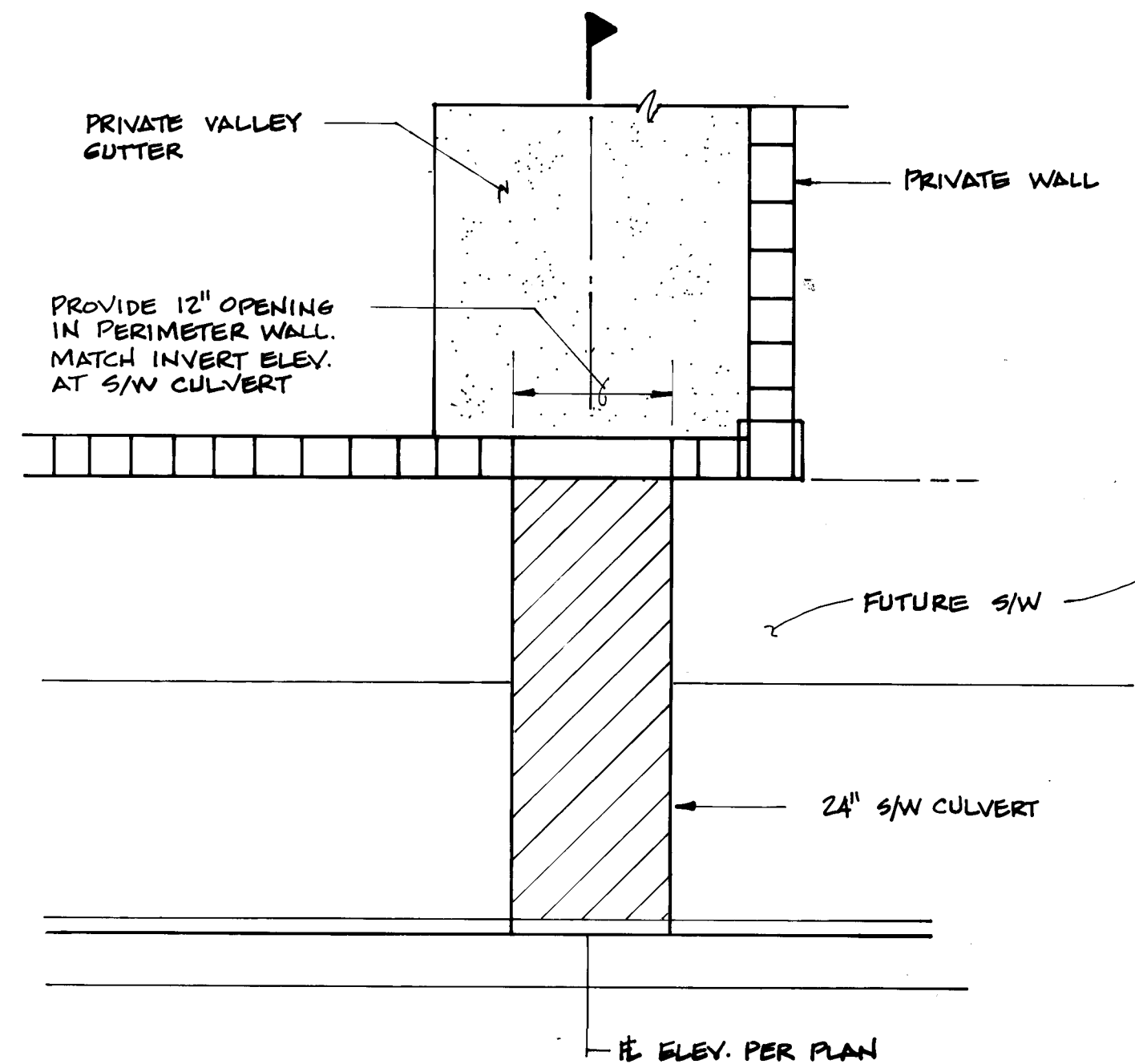


TYPICAL DRAINAGE OPENING THROUGH CMU WALL

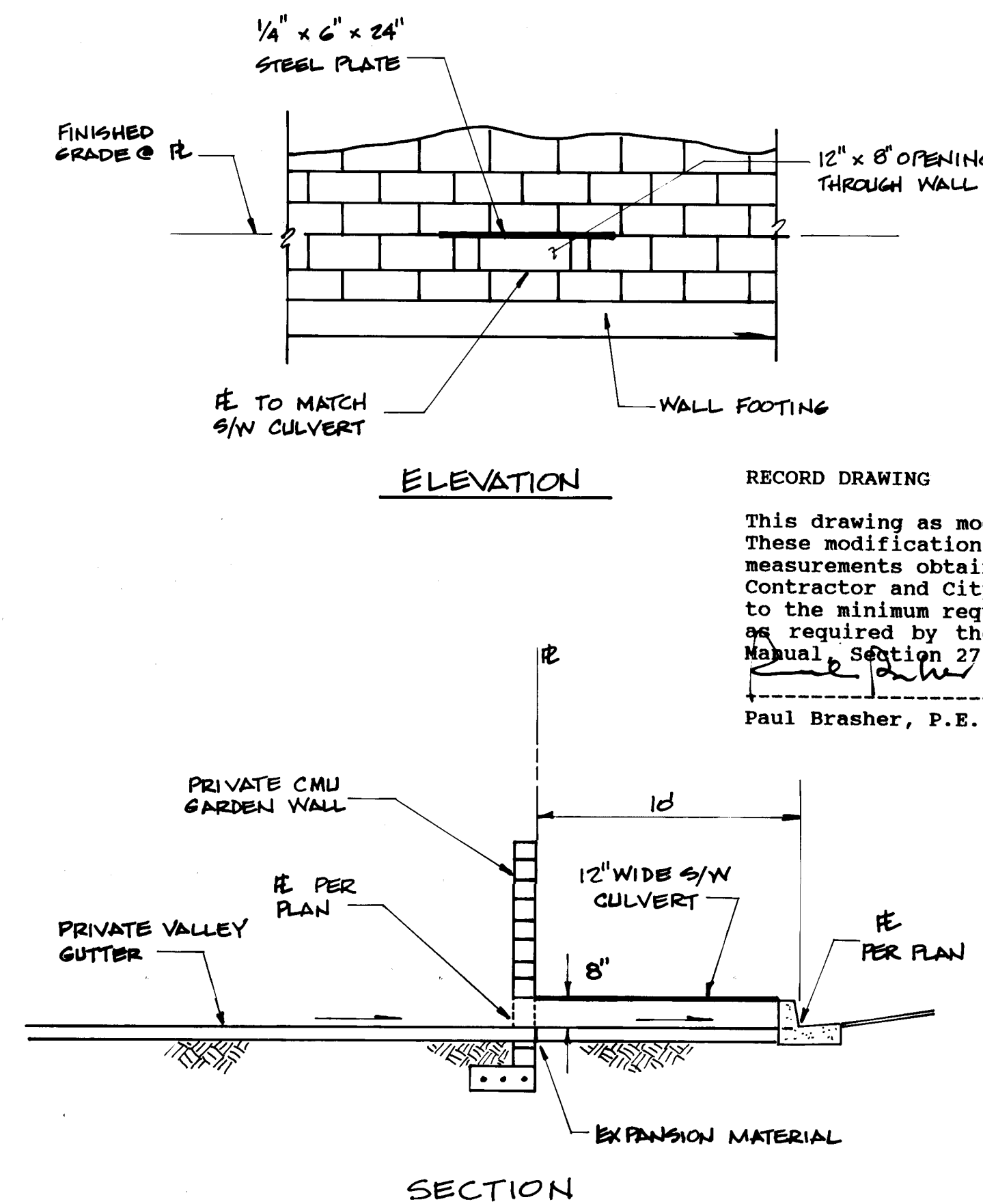


WATER METER LOCATION DETAIL

- GENERAL NOTES:**
- THE METER SHALL BE SET UTILIZING A COPPER SETTER. COPPER SETTER HEIGHT 10" FOR 1" METER, 7" FOR 3/4" METER.
 - THE VALVE AND METER REGISTER BOX SHALL BE LOCATED UNDER THE LID OPENING WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTERS SHALL BE WITHIN READING RANGE OF THE LID OPENING.
 - METER BOX LOCATION TO CONFORM TO DWG. 2361.
 - WHEN CONTRACTOR DOES NOT INSTALL METER, HE SHALL PROVIDE REMOVAL PLUGS FOR END OF COPPER SETTER.
- CONSTRUCTION NOTES:**
- STREET SURFACE.
 - BACK OF CURB.
 - METER BOX COVER & LID.
 - 1/2" EXPANSION JOINT.
 - CONTRACTION JOINT.
 - CURB STOP & BOX FOR SINGLE METER.
 - LOCATION OF CURB STOP & BOX FOR DOUBLE METERS.
 - SIDEWALK OR DRIVEPAD.
 - METER.
 - CORP STOP.
 - MAIN WATER LINE.
 - SHIPPING SADDLE.
 - SERVICE LINE.
 - YOKES W/INSERT 1/2"x12" GALV. PIPE IN YOKES.
 - TAILPIECE TO P/L W/INSTATITE I.P.T. CAPPED FITTING.
 - CONC. PAD REQUIRED IN ALL AREAS.



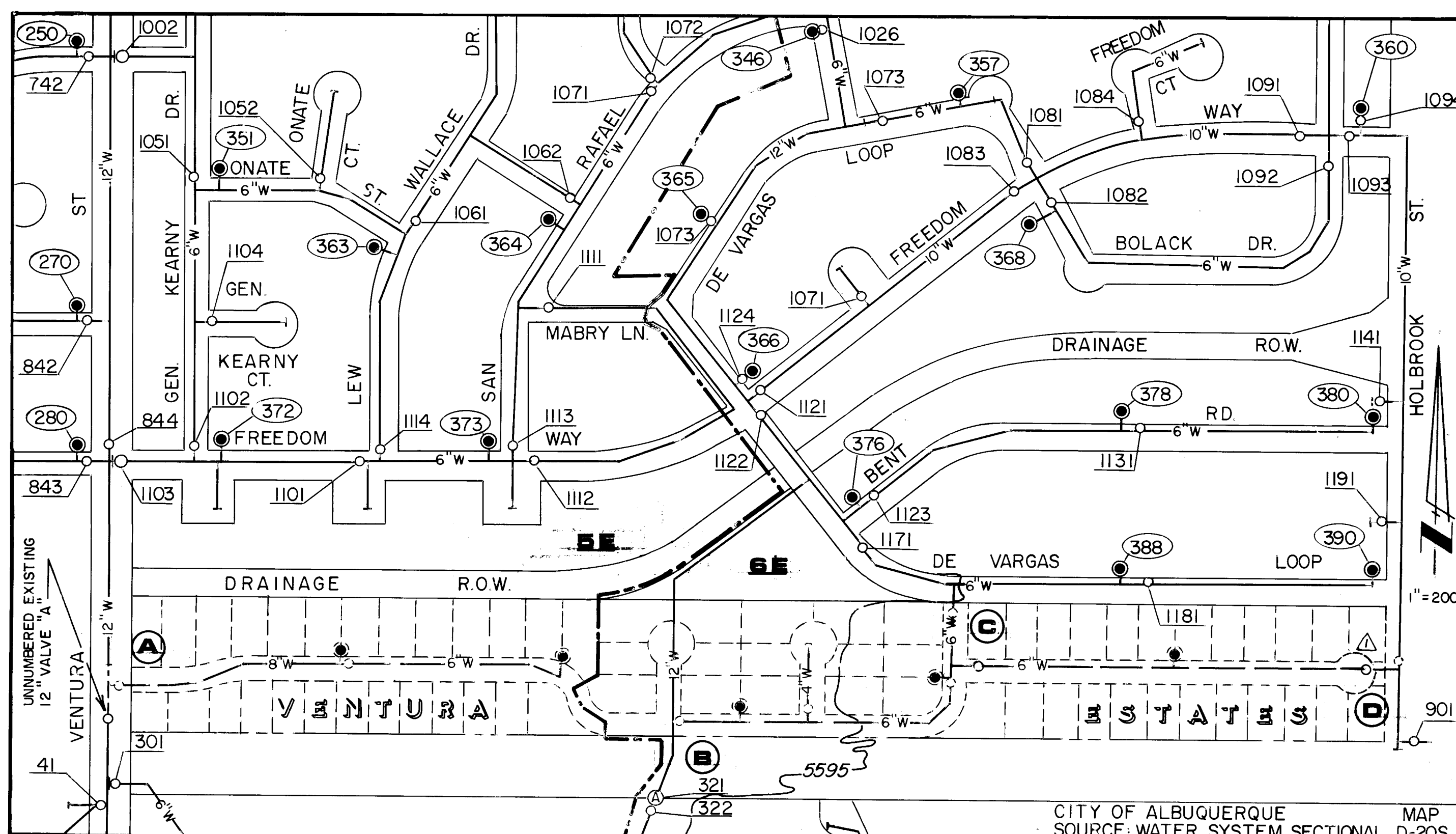
WALL OPENING AT S/W CULVERT - PLAN



RECORD DRAWING

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Paul Brasher, P.E. 7282 Date 1-4-93



SHUTOFF PLAN NOTES

- Contractor shall insure that all labor, materials, and equipment to make connections are on hand at the job site before system shutdown.
- Valves, hydrants and appurtenances of the City water system to be operated by City personnel only.
- City shall be notified 72 hours in advance for system shutdown.

(A) SEPARATE SHUTDOWN (IF REQUIRED)

- Close valve "A".
 - Close valves 1103, 844, 843.
 - Lower 12" waterline as necessary per design.
 - Install 12" x 8" tee w/8" valve at "A" in closed position.
 - Open valve "A".
 - Open valves 843, 844, 1103.
- Anticipated Shutdown Duration: 16 hrs.
Services Affected: None
Hydrants Affected: None

SEPARATE SHUTDOWN AT (C)

- Close valves 322, 1123, 1181, 1122.
 - Drain line thru FH 376; vent line thru FH 388.
 - Then close 1171, open 1122, vent through FH 376. Open 1123, vent through FH 380. Install 6" tee w/6" valve at "C".
 - Valves in closed position. Open valve 1171; vent line thru FH 388.
 - Open valve 1181.
 - Vent lines thru FH 390.
- Anticipated Shutdown Duration: 6 hrs.
Services Affected: 82 lots on Bent and De Vargas Loop
Hydrants Affected: 376, 378, 388, 380, 390

(D) SEPARATE SHUTDOWN

- Close valves 901, 1093.
 - Install 10" x 6" tee w/valve at "D", install 10" valve.
 - Open valves 1092, 901.
- Anticipated Shutdown Duration: 6 hrs.
Services Affected: None
Hydrants Affected: None

WATER SYSTEM SHUT-OFF PLAN

SCANNED BY LASON

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN	
CONTRACTOR	DATE	CONTRACTOR'S	DATE	NO.	BY	NO.	BY	NO.	BY	NO.	BY
Project benchmark is a chiseled square on top of curb at the beginning of standard street gutter on the east side of Ventura Street, NE, at south side of drainage channel.		TOPOGRAPHIC SURVEY	9-90								
Project benchmark based on ALTA/ACSM Land Surveying, Inc. Survey, 1990 (ACS 5-839).		BY THOMAS R. HANN & ASSOC.									
Elevation: 5546.967											
MICRO-FILM INFORMATION		RECORDED BY		DATE		DATE		DATE		DATE	



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4404 902293

BRASHER ENGINEERING INC.
11930 MENAUL BLVD. NE SUITE 111
ALBUQUERQUE, NEW MEXICO 87112
(505) 296-0422

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: VENTURA ESTATES WATER SHUT-OFF PLAN AND DETAILS					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	R. Brasher	5-01-92	WATER	William	5-1-92
TRANSPORTATION	R. Brasher	5-01-92	WASTE WATER	AD	
HYDROLOGY	R. Brasher	5-01-92			
PROJECT NO.	4404.90	MAP NO.	D-20	SHEET	22 OF 22