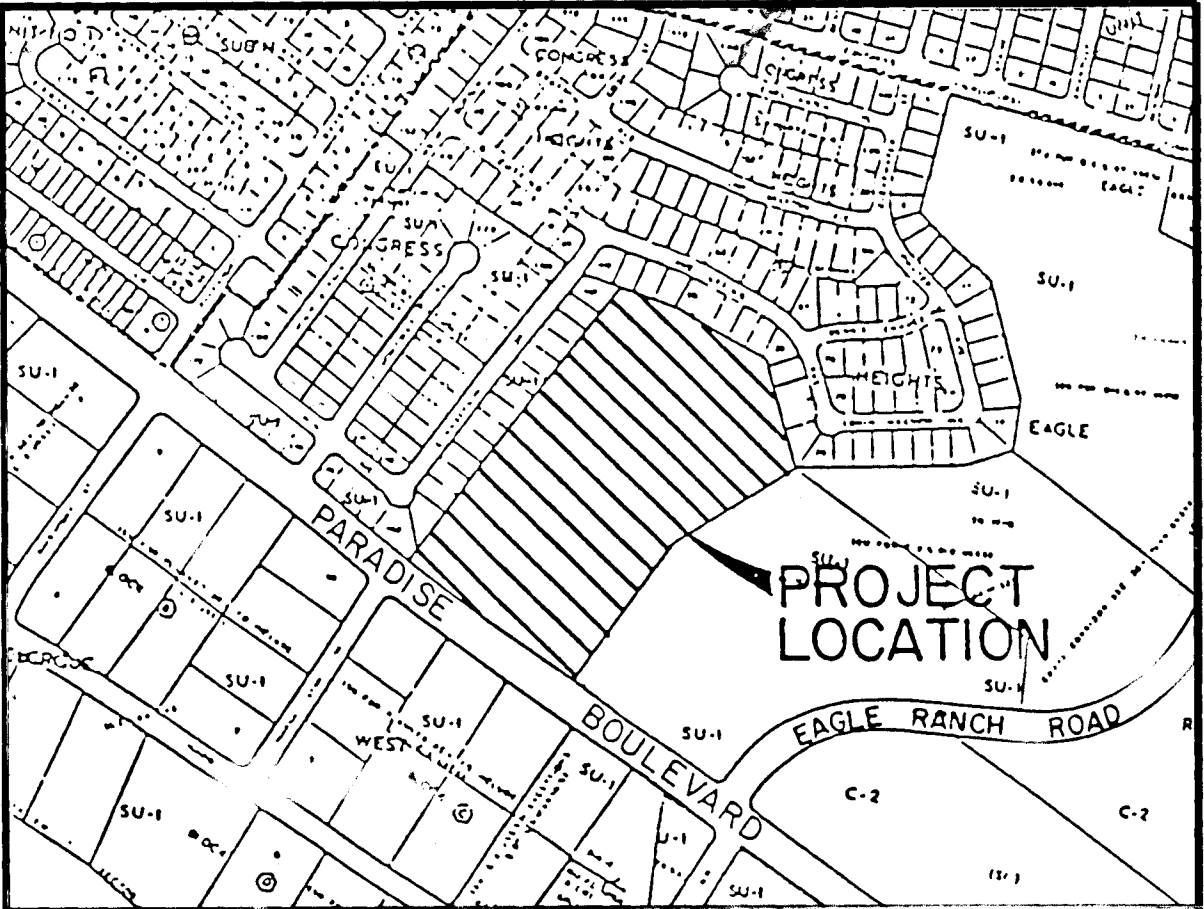


CONSTRUCTION PLANS
FOR
CACTUS RIDGE SUBDIVISION
ALBUQUERQUE, NEW MEXICO
DRB NUMBER 92-0005

INDEX

SHEET NUMBER	DESCRIPTION
1	TITLE SHEET
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17	PARADISE BLVD.
18	STORM DRAIN PLAN AND PROFILE
19	POND DETAILS
20	RETAINING WALL DETAILS



VICINITY MAP
NOT TO SCALE
C-12.0-13

NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- WATER & SEWER UTILITIES SHALL MEET THE SPECIFICATIONS OF NEW MEXICO UTILITIES AND SHALL BE THE PROPERTY OF AND INSPECTED BY NMU AND NOT THE CITY OF ALBUQUERQUE.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☐ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

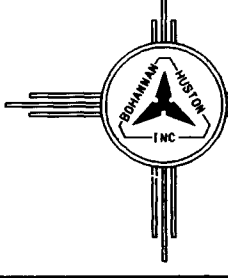
APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Russell B. Smith
DATE 5-11-93

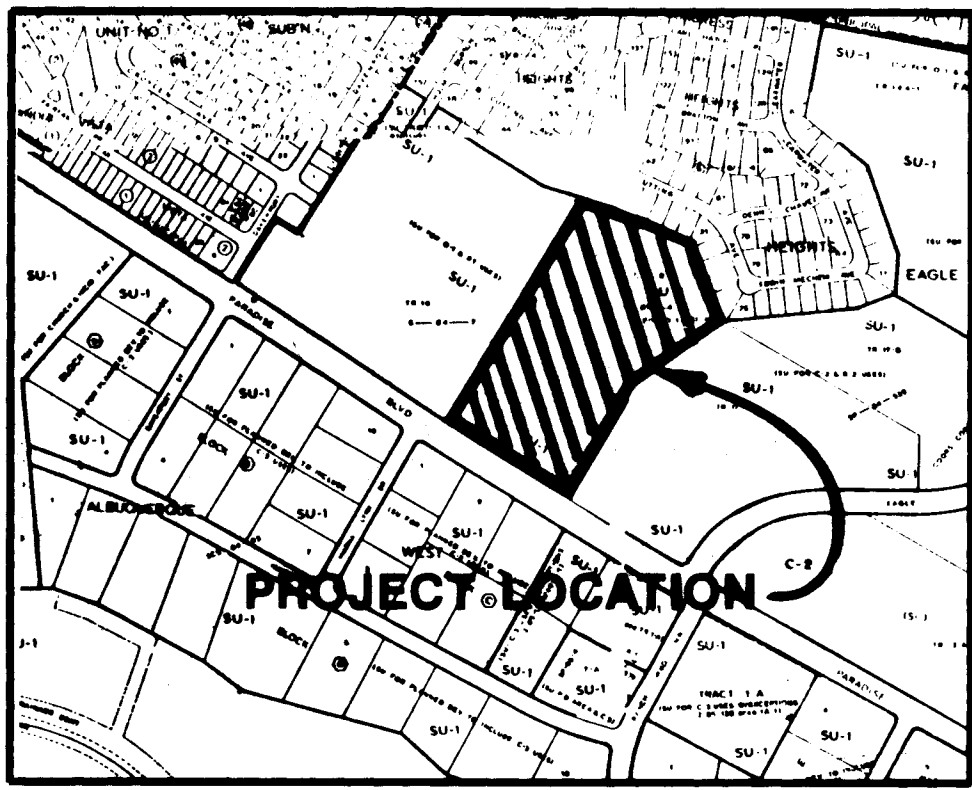
SCANNED BY
ALISON

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4426.900193

REV	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

APPROVAL OF REVISIONS

<i>Kay Davis</i> 5-12-92	 BOHANNAN HUSTON INC. ALBUQUERQUE, NEW MEXICO ENGINEERS PLANNERS PHOTOGRAMMETRISTS	APPROVED FOR CONSTRUCTION <i>[Signature]</i> C.E.
	PROJECT NUMBER 4426.90	SHEET 1 OF 18



LOCATION MAP
ZONE ATLAS INDEX MAP NO. C-12 AND C-13
NOT TO SCALE

- SUBDIVISION DATA**
1. DRB Number: 92-0005
 2. Zone Atlas Index No. C-12 and C-13.
 3. Site is located within Projected Section 13, T11N, R2E, and Section 18, T11N, R2E, N.M.P.M. and the northeast one-quarter (1/4) of projected Section 18, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, Albuquerque, New Mexico and being and comprising all of Tract 16-B of the SECOND CORRECTION PLAT OF CONGRESS HEIGHTS, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on April 20, 1988 in Volume C36, Folio 87 and now hereon shown and comprising CACTUS RIDGE is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in Fee Simple and do hereby grant all easements shown on this plat including the rights of ingress and egress. The undersigned owner(s) and/or proprietor(s) also grant to New Mexico Utilities, Inc. in perpetuity all sanitary sewer and water lines shown hereon including the right to construct, operate, inspect, and maintain sanitary sewers and water lines, unless specifically limited elsewhere on this plat. Also undersigned owner(s) and/or proprietor(s) grant to the City of Albuquerque all drainage easements shown hereon including the right to construct, operate, inspect and maintain drainage easements, unless specifically limited elsewhere on this plat.
 4. Gross Subdivision Acreage: 15.2079 Acres.
 5. Total Number of Lots created: 82 Lots, 1 tract.
 6. This Plat shows existing easements.
 7. Total Mileage of Full Width Streets created: 0.599 Miles
 8. Date of Survey: December 1990.

NOTES

1. DISCLOSURE STATEMENT: The purpose of filing this plat is to subdivide Tract 16-B, dedicate right-of-way, and grant easements.
2. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
3. Distances are Ground Distances.
4. Record Bearings and Distances are shown in parenthesis.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are granted for the common joint use of:

- A. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- B. The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. U S West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Jones Interconnect for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, post (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

DESCRIPTION

A certain tract of land situate within the Town of Alameda, Grant, within the northeast one-quarter (1/4) of projected Section 13, Township 11 North, Range 2 East, N.M.P.M. and the northeast one-quarter (1/4) of projected Section 18, Township 11 North, Range 3 East, N.M.P.M., Bernalillo County, Albuquerque, New Mexico and being and comprising all of Tract 16-B of the SECOND CORRECTION PLAT OF CONGRESS HEIGHTS, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on April 20, 1988 in Volume C36, Folio 87 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at a concrete nail with a "LS 5978" survey tag set on the top of a board fence at the most northerly corner of said Tract 16-B, whence the ACS survey monument "4-B13, 1986" (having New Mexico State Plane Coordinates, Central Zone: X=375,489.27 and Y=1,525,104.55) bears N62°45'07"E a distance of 2637.25 feet and from said point of beginning running thence along the northeasterly boundary line of said Tract 16-B, S72°28'42"E a distance of 144.82 feet to a concrete nail with a "LS 5978" survey tag set on the top of a board fence thence, S65°57'28"E a distance of 332.33 feet to a 1/2" rebar found in place thence, S21°43'42"E a distance of 335.00 feet to a concrete nail with a "LS 5978" survey tag set on the top of a board fence being the most easterly corner of said Tract 16-B thence running along the southeasterly boundary line of said Tract 16-B, S54°16'18"W a distance of 420.00 feet to a 5/8" rebar with aluminum survey cap stamped "LS 7270" thence, S30°32'33"W a distance of 500.00 feet to a 5/8" rebar with aluminum survey cap stamped "LS 7270" at a point on the northerly right-of-way line of Paradise Boulevard, NW being the most southerly corner of said Tract 16-B, thence running along the southeasterly boundary line of said Tract 16-B and said northerly right-of-way line, N59°27'27"W a distance of 226.24 feet to a 5/8" rebar with red plastic survey cap stamped "LS 5978" set at a point of curvature thence, S208°24'24" along the arc of a curve, to the right, having a radius of 2811.79 feet and a chord bearing N57°20'09"W a distance of 208.19 feet to a 5/8" rebar with red plastic survey cap stamped "LS 5978" set at a point of tangency thence, N55°12'51"W a distance of 174.39 feet to a 5/8" rebar with red plastic survey cap stamped "LS 5978" set at the most easterly corner of said Tract 16-B, thence leaving said right-of-way line and running thence along the northeasterly boundary line of said Tract 16-B, N32°53'30"E a distance of 999.46 feet to the point and place of beginning.

Tract contains 15.2079 acres, more or less.

APPROVALS

PLANNING DIRECTOR	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
PUBLIC SERVICE COMPANY OF NEW MEXICO	DATE
U.S. WEST COMMUNICATIONS	DATE
GAS COMPANY OF NEW MEXICO	DATE
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID	
ON UPC# 1-012-064-517441-10910	
PROPERTY OWNER OF RECORD	
BERNALILLO COUNTY TREASURER'S OFFICE	DATE

FREE CONSENT AND DEDICATION

The foregoing replat of that certain tract of land situate within the Town of Alameda, Grant, within the northeast one-quarter (1/4) of projected Section 13, Township 11 North, Range 2 East, N.M.P.M. and the northeast one-quarter (1/4) of projected Section 18, Township 11 North, Range 3 East, N.M.P.M., Bernalillo County, Albuquerque, New Mexico and being and comprising all of Tract 16-B of the SECOND CORRECTION PLAT OF CONGRESS HEIGHTS, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on April 20, 1988 in Volume C36, Folio 87 and now hereon shown and comprising CACTUS RIDGE is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in Fee Simple and do hereby grant all easements shown on this plat including the rights of ingress and egress. The undersigned owner(s) and/or proprietor(s) also grant to New Mexico Utilities, Inc. in perpetuity all sanitary sewer and water lines shown hereon including the right to construct, operate, inspect, and maintain sanitary sewers and water lines, unless specifically limited elsewhere on this plat. Also undersigned owner(s) and/or proprietor(s) grant to the City of Albuquerque all drainage easements shown hereon including the right to construct, operate, inspect and maintain drainage easements, unless specifically limited elsewhere on this plat.

State of New Mexico)
County of Bernalillo)
The foregoing instrument was acknowledged before me this _____ day of _____, 1992, by _____

My Commission Expires _____ Notary Public _____

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that this plat was prepared by me or under my supervision, shows all easements of record, meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Thomas G. Klingenhagen
New Mexico Surveyor 5978
Date: _____
BOHANNAN-HUSTON, INC.
Court yard 1
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109

JOB NO. 91283.81

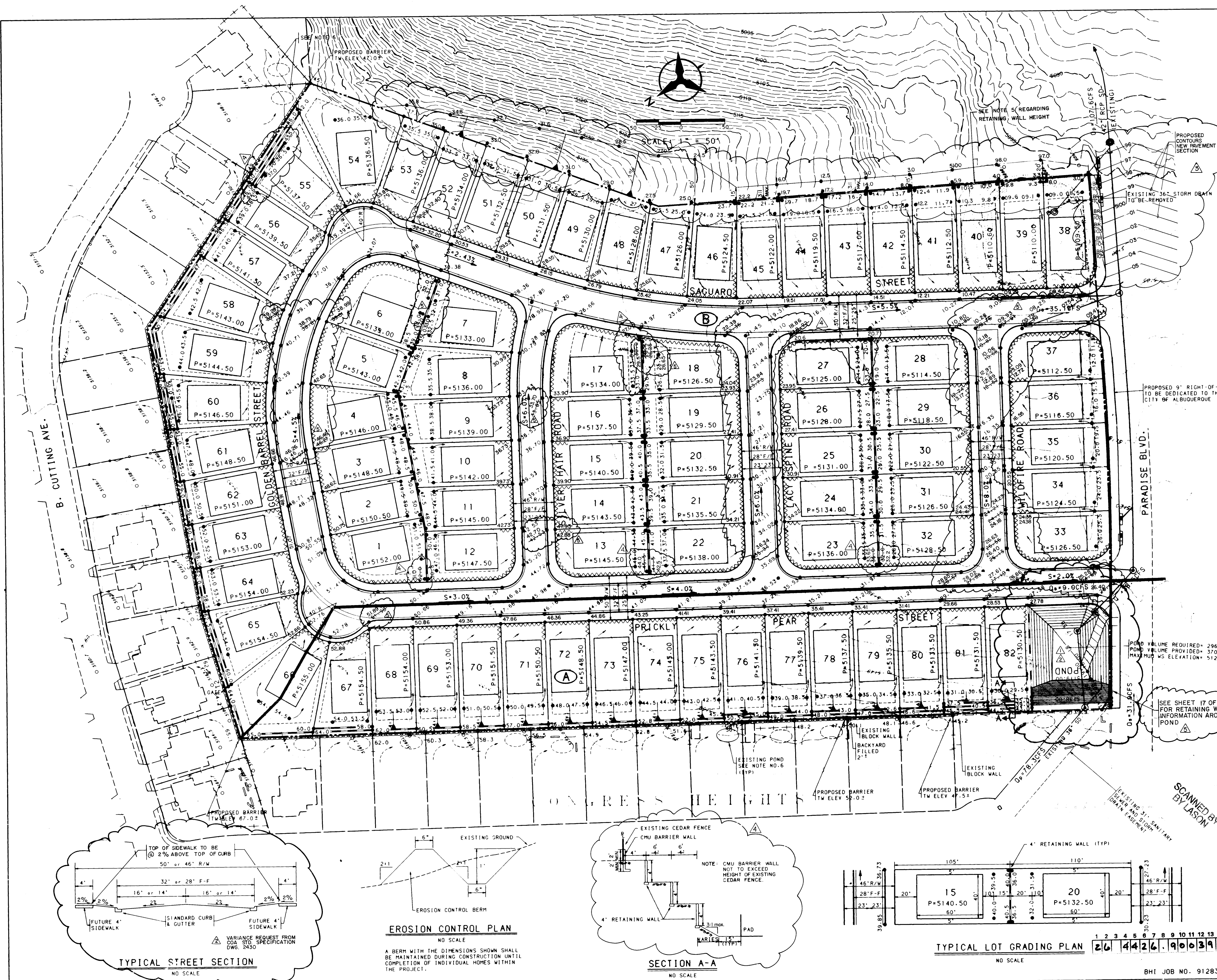


SHEET 1 OF 2 SHEETS

CURVE DATA				
NUMBER	ARC	RADIUS	CHORD	CHORD BEARING
C1	208.24	2811.79	4714.36	208.19 N57°20'09"W
C2	106.23	75.00	81°08'02"	97.57 N73°28'01"E
C3	44.57	75.00	34°02'56"	43.92 N49°54'58"E
C4	61.66	75.00	47°00'56"	39.33 S89°30'31"E
C5	218.35	275.00	45°29'34"	212.66 S43°13'58"E
C6	48.07	75.00	36°43'16"	47.25 S02°07'33"E
C7	49.78	75.00	38°02'12"	48.88 S25°15'12"W
C8	97.86	75.00	74°45'29"	91.06 S18°53'33"W
C9	279.88	750.00	21°22'48"	278.24 S43°34'54"W
C10	34.80	750.00	3°50'30"	34.79 S50°56'32"W
C11	241.60	750.00	18°27'25"	240.56 S42°23'05"W
C12	3.48	750.00	0°15'52"	3.48 S33°01'28"W
C13	91.58	275.00	19°04'48"	91.16 S47°34'06"E
C14	70.82	50.00	81°09'02"	65.04 N73°28'01"E
C15	71.68	150.00	16°25'39"	71.43 S57°44'38"E
C16	73.61	250.00	16°52'12"	73.34 S41°05'43"E
C17	53.12	250.00	12°10'26"	53.02 S26°34'24"E
C18	50.27	250.00	74°47'41"	48.78 S45°34'36"W
C19	36.52	250.00	83°41'44"	33.36 N83°52'51"W
C20	30.42	298.00	5°50'56"	30.41 N44°57'27"W
C21	47.99	298.00	9°13'35"	47.93 N29°28'43"W
C22	39.27	250.00	90°00'00"	35.36 N12°06'30"W
C23	39.27	250.00	90°00'00"	35.36 N77°53'30"E
C24	59.66	252.00	13°33'56"	59.53 S50°19'32"E
C25	40.00	250.00	91°39'45"	35.86 S02°17'19"W
C26	68.80	775.00	1°05'11"	68.78 S45°34'36"W
C27	87.29	775.00	6°27'12"	87.24 S39°48'24"W
C28	37.66	250.00	86°18'42"	34.20 S79°44'09"W
C29	39.27	250.00	90°00'00"	35.36 N12°06'30"E
C30	39.27	250.00	90°00'00"	35.36 S12°06'30"E
C31	39.27	250.00	90°00'00"	35.36 N12°06'30"E
C32	39.27	250.00	90°00'00"	35.36 N12°06'30"E
C33	30.66	2802.77	0°37'36"	30.66 N55°55'55"W
C34	38.62	250.00	88°30'36"	38.60 N11°21'49"W
C35	39.27	250.00	90°00'00"	35.36 N77°53'31"E
C36	50.00	2802.77	1°01'20"	50.00 N56°45'21"W
C37	50.00	2802.77	1°01'20"	50.00 N57°46'42"W
C38	50.02	2802.77	1°01'21"	50.02 N58°48'02"W
C39	39.27	250.00	90°00'00"	35.36 S12°06'30"E
C40	38.24	250.00	87°39'03"	34.62 N78°43'02"W
C41	7.12	2802.77	0°08'44"	7.12 N59°23'08"W
C42	25.40	250.00	92°20'57"	36.07 N13°16'58"W
C43	26.47	725.00	2°05'31"	26.47 N33°56'15"E
C44	56.23	725.00	4°26'37"	56.21 N37°12'20"E
C45	57.46	725.00	4°32'27"	57.29 N41°41'29"E
C46	57.46	725.00	4°32'27"	57.44 N46°13'34"E
C47	57.16	725.00	4°31'03"	57.15 N50°45'19"E
C48	15.91	100.00	1°15'28"	15.91 N53°35'35"E
C49	1.65	100.00	0°56'43"	1.65 N53°47'56"E
C50	12.75	100.00	7°18'09"	12.74 N49°40'29"E
C51	14.28	250.00	32°43'44"	14.09 N62°23'17"E
C52	23.95	45.00	30°29'22"	23.66 N63°30'28"E
C53	31.40	300.00	30°59'02"	30.77 N28°16'16"E
C54	38.82	45.00	49°25'30"	37.63 N16°26'00"W
C55	40.83	45.00	5°08'12"	40.83 N43°42'58"W
C56	14.28	250.00	32°43'44"	14.09 N29°55'04"E
C57	12.10	100.00	6°55'57"	12.09 N17°01'12"W
C58	20.27	100.00	3°52'17"	20.27 N22°25'20"W
C59	50.49	300.00	9°38'31"	50.43 N29°10'43"W
C60	39.63	300.00	7°34'04"	39.60 N37°47'01"W
C61	45.42	400.00	84°40'25"	45.37 N45°54'17"E
C62	45.52	300.00	84°41'35"	45.47 N54°35'16"W
C63	36.78	300.00	7°01'25"	36.75 N62°26'46"W
C64	25.92	100.00	14°51'05"	25.92 N73°23'23"E
C65	17.49	250.00	40°05'36"	17.14 N60°45'46"W
C66	0.90	100.00	1°09'06"	0.90 N41°11'08"E
C67	40.04	45.00	50°58'42"	39.73 N67°21'25"W
C68	32.99	45.00	42°00'19"	32.26 S66°09'04"W
C69	39.64	45.00	81°45'52"	39.64 S19°54'49"W
C70	9.16	250.00	21°00'06"	9.11 S05°10'45"W
C71	7.51	250.00	17°12'41"	7.48 S24°17'08"W
C72	40.10	100.00	91°53'39"	40.10 S78°50'20"W
C73	270.53	725.00	21°22'48"	268.97 N43°34'54"E
C74	156.09	775.00	11°32'23"	155.83 S42°21'00"W
C75	84.99	323.00	15°04'31"	84.74 S66°29'34"E
C76	198.41	250.00	45°28'17"	193.24 S43°13'19"E
C77	14.40	100.00	81°45'52"	14.38 S05°08'51"E
C78	124.54	50.80	140°27'56"	95.61 N22°42'14"E
C79	238.09	300.00	45°28'17"	231.89 N43°13'20"W
C80	113.57	100.00	144°36'19"	85.74 S66°38'52"E
C81	15.67	25.00	16°37'47"	15.37 S13°47'05"W
C82	98.20	45.00	125°02'05"	79.84 S16°14'06"W

TANGENT DATA		
NUMBER	BEARING	DISTANCE
T1	S38°01'42"E	26.38
T2	N23°03'34"E	9.48
T3	S73°45'35"E	1.18
T4	N30°32'33"E	9.02
T5	N54°16'18"E	9.55
T6	N21°43'42"W	50.58
T7	N21°43'41"W	18.68
T8	N65°57'28"W	5.11
T9	S34°47'08"W	9.00
T10	S65°57'28"W	6.48
T11	S65°57'28"W	10.61
T12	S32°53'30"W	26.45
T13	N57°06'30"W	30.00
T14	N57°06'30"W	30.00
T15	S57°06'30"E	30.00
T16	N57°06'30"W	31.66
T17	N57°06'26"W	4.85
T18	N57°06'31"W	30.00
T19	N57°06'30"W	2.09
T20	N65°57'28"W	2.03
T21	N65°57'28"W	15.06
T22	S59°27'28"E	23.94
T23	S57°06'30"E	37.76
T24	S44°23'08"E	15.96
T25	S44°23'08"E	50.00
T26	S44°23'08"E	34.42
T27	S39°43'42"W	50.00
T28	S35°43'42"E	89.39
T29	S35°43'42"E	81.39
T30	N35°43'42"W	57.99
T31	N65°23'08"W	7.89
T32	N66°23'08"W	50.61
T33	S55°12'51"E	29.31

AREAS			
NUMBER	ACREAGE	NUMBER	ACREAGE
LOT 1	0.1468	LOT 42	0.1364
LOT 2	0.1215	LOT 43	0.1340
LOT 3	0.1211	LOT 44	0.1317
LOT 4	0.1387	LOT 45	0.1315
LOT 5	0.1449	LOT 46	0.1299
LOT 6	0.1900	LOT 47	0.1242
LOT 7	0.1570	LOT 48	0.1270
LOT 8	0.1552	LOT 49	0.1319
LOT 9	0.1404	LOT 50	0.1282
LOT 10	0.1310	LOT 51	0.1263
LOT 11	0.1216	LOT 52	0.1263
LOT 12	0.1320	LOT 53	0.1245
LOT 13	0.1295	LOT 54	0.2244
LOT 14	0.1205	LOT 55	0.1733
LOT 15	0.1205	LOT 56	0.1265
LOT 16	0.1205	LOT 57	0.1296
LOT 17	0.1775	LOT 58	0.1741
LOT 18	0.1487	LOT 59	0.1726
LOT 19	0.1263	LOT 60	0.1405
LOT 20	0.1263	LOT 61	0.1379
LOT 21	0.1263	LOT 62	0.1263
LOT 22	0.1358	LOT 63	0.1263
LOT 23	0.1295	LOT 64	0.1283
LOT 24	0.1205	LOT 65	0.1601
LOT 25	0.1205	LOT 66	0.2247
LOT 26	0.1205	LOT 67	0.1419
LOT 27	0.1295	LOT 68	0.1377
LOT 28	0.1358	LOT 69	0.1377
LOT 29	0.1263	LOT 70	0.1377
LOT 30	0.1263	LOT 71	0.1377
LOT 31	0.1263	LOT 72	0.1377
LOT 32	0.1358	LOT 73	0.1377
LOT 33	0.1325	LOT 74	0.1377
LOT 34	0.1268	LOT 75	0.1377
LOT 35	0.1267	LOT 76	0.1377
LOT 36	0.1255	LOT 77	0.1377
LOT 37	0.1297	LOT 78	0.1377
LOT 38	0.1591	LOT 79	0.1377
LOT 39	0.1434	LOT 80	0.1377
LOT 40	0.1411	LOT 81	0.1377
LOT 41	0.1387	LOT 82	0.1377
DRAINAGE R-O-W	0.2504		



- GENERAL NOTES:
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY VINYARD AND ASSOCIATES DATED NOVEMBER 6, 1991, AND TITLED GEOTECHNICAL INVESTIGATION FOR CONGRESS HEIGHTS SUBDIVISION.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL THIS SHEET AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. RETAINING WALLS IN EXCESS OF 8' IN HEIGHT REQUIRE A ZONING VARIANCE FROM THE OVERALL HEIGHT RESTRICTIONS OF THE COMPREHENSIVE ZONING CODE. APPROVAL OF THIS PLAN, INCLUDING WALLS HIGHER THAN 8' IS CONTINGENT UPON APPROVAL OF SUCH A VARIANCE FROM THE ZONING HEARING EXAMINER.
 6. BACKYARD PONDS ON MANY OF THESE LOTS AS IDENTIFIED ON THE APPROVED GRADING AND DRAINAGE PLAN FOR THE CONGRESS HEIGHTS SUBDIVISION HAVE NOT BEEN CONSTRUCTED AS REQUIRED BY THAT PLAN. IF THE REQUIRED BACKYARD PONDS ARE NOT CONSTRUCTED IN ORDER TO BRING THESE LOTS INTO COMPLIANCE WITH THE APPROVED PLAN, RUNOFF WILL LIKELY TRAVEL FROM LOT TO LOT FROM NORTH TO SOUTH. EROSION AND FLOOD DAMAGE MAY RESULT. LIABILITY FOR POSSIBLE DAMAGE WILL REST WITH THOSE LOT OWNERS WHOSE LOTS ARE NOT IN COMPLIANCE WITH THE APPROVED PLAN.
- SEE DRAINAGE FILE B-12/DIF FOR FINAL GRADING / DRAINAGE PLAN AND REPORT.

LEGEND

PROJECT BOUNDARY
EXISTING CONTOUR
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
DIRECTION OF FLOW
BASIN BOUNDARY
SUB-BASIN BOUNDARY
PROPOSED RETAINING WALL
EXISTING STORM DRAIN LINE
EXISTING STORM DRAIN MANHOLE
EXISTING STORM DRAIN INLET
PROPOSED STORM DRAIN LINE
PROPOSED STORM DRAIN MANHOLE
PROPOSED STORM DRAIN INLET
PROPOSED EROSION CONTROL BERM
PROPOSED BARRIER WALL
REQUIRED POND, NOT IN PLACE
REQUIRED POND, EXISTING

LEGAL DESCRIPTION

TRACT 16B
CONGRESS HEIGHTS SUBDIVISION

APPROVED FOR ROUGH GRADING (2' 1")

Hydrology Engineer: [Signature] 02/26/92

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

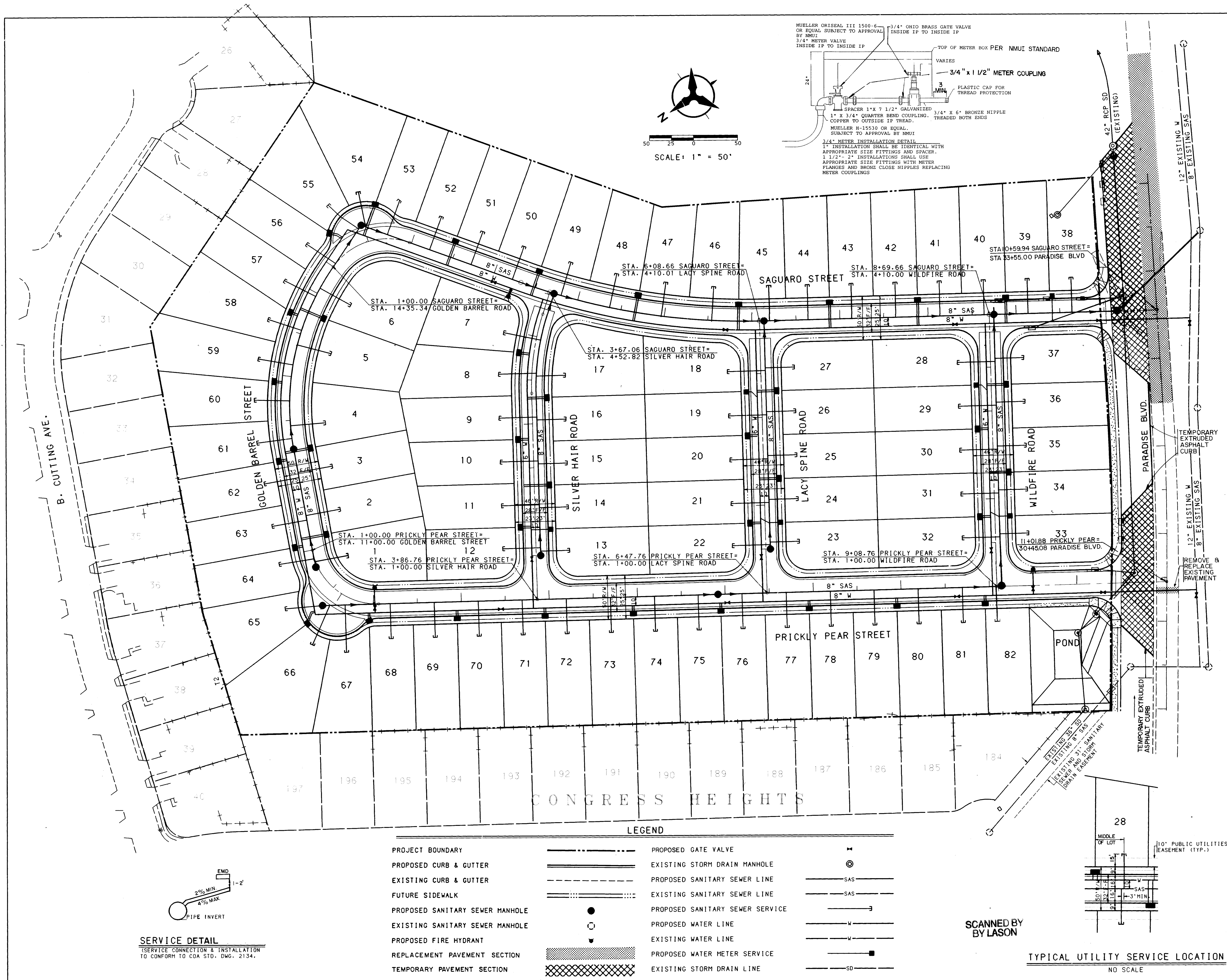
**CACTUS RIDGE SUBDIVISION
FINAL GRADING PLAN**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	[Signature]	3/21/92	WATER	[Signature]	3-20-92
TRANSPORTATION	[Signature]	3/18/92	WASTE WATER	[Signature]	
HYDROLOGY	[Signature]	3/18/92			

DRAWING NO. 4426.90 MAP NO. C-13 SHEET 3 OF 18

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	Universal Construction	THE BENCH MARK IS AN ACS 1 3/4" ALUMINUM DISK	SWAYED BY [Signature]	DATE	DATE	NO.	DATE
INSPECTOR	[Signature]	STAMPED "ACS BM 2-C12 SET ON TOP OF CURB	FILED BY [Signature]	DATE	DATE	NO.	DATE
VERIFICATION	FILED BY [Signature]	AT THE WNM RETURN LOCATED AT THE INTERSECTION	DATE	DATE	DATE	NO.	DATE
MICRO-FILM INFORMATION		PARADISE HILL BLVD AND DAVENPORT ST NW	RECORDED BY	NO.	DATE	NO.	DATE
		ELEVATION = 5175.786	RECORDED BY	NO.	DATE	NO.	DATE

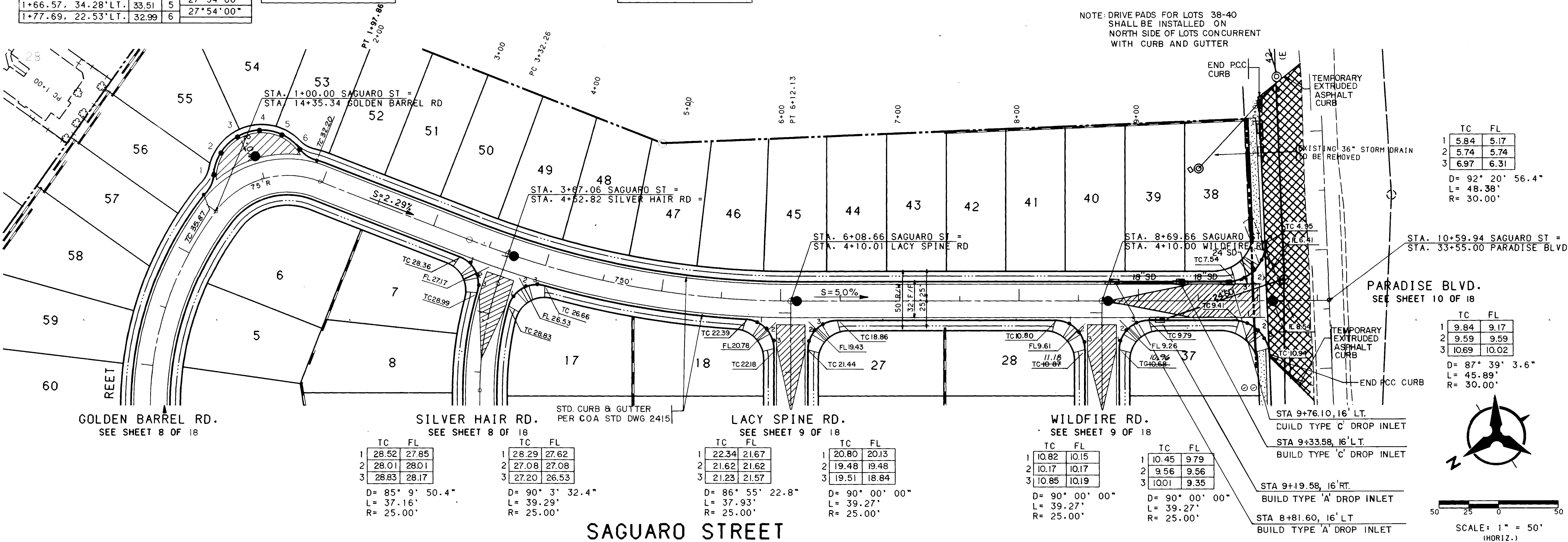




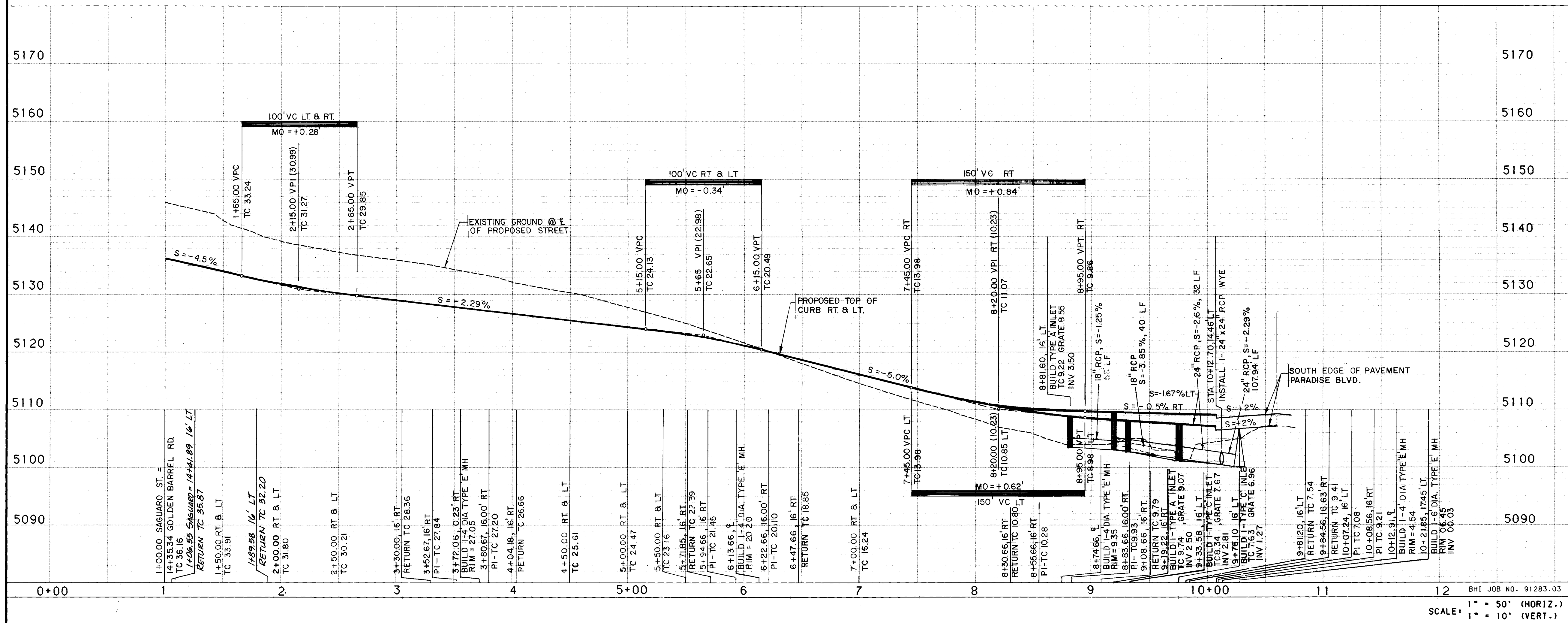
CUL-DE-SAC CURB DATA				
STATION & OFFSET	TC	PT	DELTA	
1+18.45, 22.53' LT	35.56	1	27°54'00"	
1+29.57, 34.28' LT	35.17	2	27°54'00"	
1+41.79, 40.40' LT	34.68	3	27°54'00"	
1+54.34, 40.40' LT	34.12	4	27°54'00"	
1+66.57, 34.28' LT	33.51	5	27°54'00"	
1+77.69, 22.53' LT	32.99	6	27°54'00"	

CENTERLINE CURVE DATA				
P.I.	1+57.29			
Delta	74° 45' 28.5"			
D	76° 23' 40"			
T	57.2982'			
L	97.8579'			
R	75.0000'			

CENTERLINE CURVE DATA				
P.I.	4+73.84			
Delta	21° 22' 47.9"			
D	7° 38' 22"			
T	141.5782'			
L	279.8632'			
R	750.0000'			



- NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL CURB RETURN RADII SHALL BE 25' TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - GRADE ELEVATIONS, WHERE NOTED, ARE FOR TOP OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR IS TO INSTALL A 4"x4"x5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 - ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 - CONTRACTOR SHALL PROVIDE THE INSPECTORS (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
 - CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 - ANY DAMAGE TO THE EXISTING FACILITIES (CURB AND GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 - REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
 - WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.



ENGINEER'S SEAL

NO. DATE

REMARKS

DESIGN

REVISIONS

DATE 1/92

DATE 1/92

DATE 1/92

SCANNED BY BYLASON

26 4926 700693

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

CACTUS RIDGE SUBDIVISION
PAVING PLAN & PROFILE
SAGUARO STREET

APPROVALS

ENGINEER

DATE

APPROVALS

ENGINEER

DATE

DR. CHAIRMAN

DATE

TRANSPORTATION

DATE

HYDROLOGY

DATE

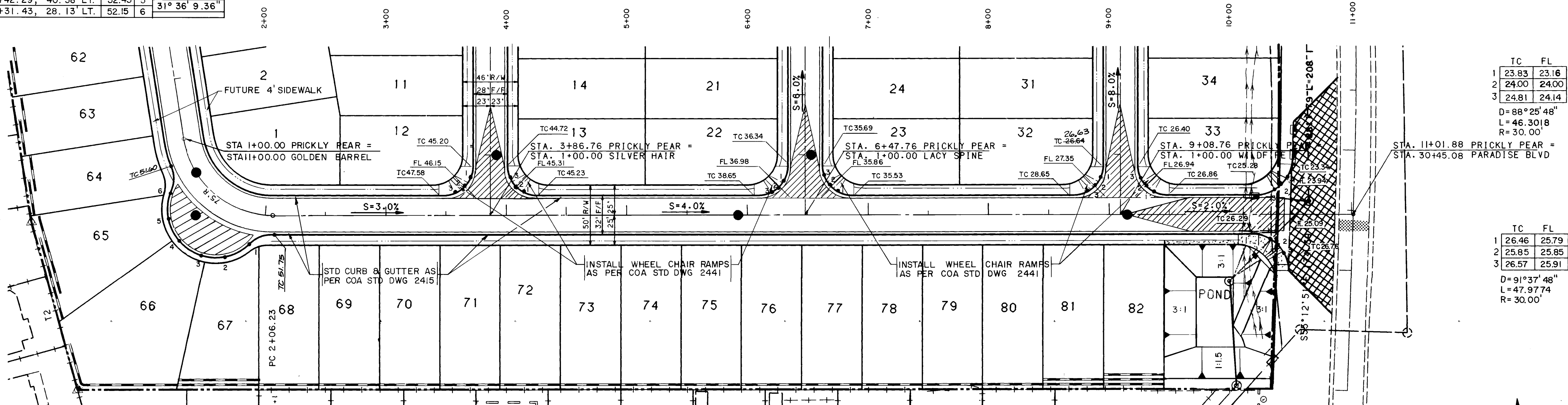
DRAWING NO. 4426.90

MAP NO. C-13

SHEET 6 OF 18

CUL-DE-SAC CURB DATA				
STATION & OFFSET	TC	PT	DELTA	
1+91.87' 25.13' LT.	52.23	1	31° 36' 9.36"	
1+81.00' 40.38' LT.	52.49	2	31° 36' 9.36"	
1+68.27' 48.45' LT.	52.64	3	31° 36' 9.36"	
1+55.02' 48.45' LT.	52.61	4	31° 36' 9.36"	
1+42.29' 40.38' LT.	52.43	5	31° 36' 9.36"	
1+31.43' 28.13' LT.	52.15	6	31° 36' 9.36"	

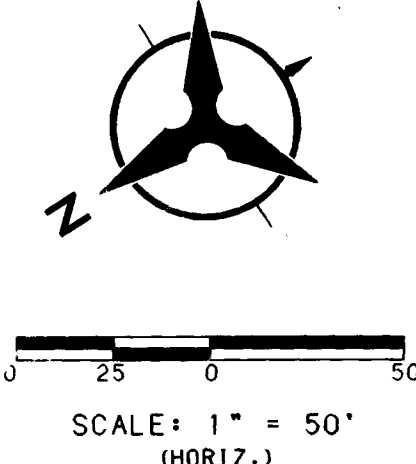
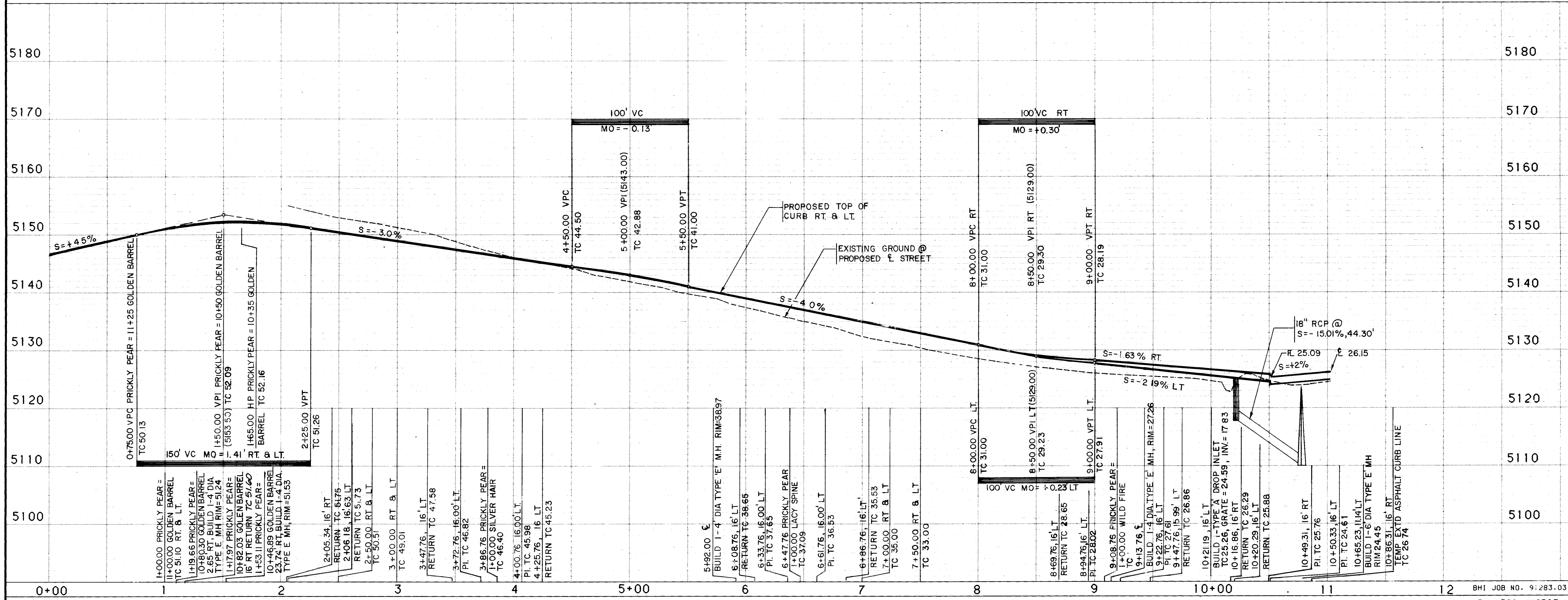
CENTERLINE CURVE DATA		
P.I.	1+64.23	
Delta	81° 9' 2.0"	
D	76° 23' 40"	
T	64.2267	
R	106.2259	
	75.0001	



TC	FL
1 23.83	23.16
2 24.00	24.00
3 24.81	24.14

TC	FL
1 26.46	25.79
2 25.85	25.85
3 26.57	25.91

PRICKLY PEAR STREET



NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADII SHALL BE 25' TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
4. GRADE ELEVATIONS, WHERE NOTED, ARE FOR TOP OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR IS TO INSTALL A 4"x4"x5' POST AND EMD AT THE END OF EACH SANITARY SEWER SERVICE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
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8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
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11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
12. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.

SCANNED BY LASON

26 4426.90 0713



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

CACTUS RIDGE SUBDIVISION
PAVING PLAN & PROFILE
PRICKLY PEAR STREET

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>[Signature]</i>	3/27/92	WATER	<i>[Signature]</i>	3-28-92
TRANSPORTATION	<i>[Signature]</i>	3/27/92	WASTE WATER	<i>[Signature]</i>	
HYDROLOGY	<i>[Signature]</i>	3/18/92			

DRAWING NO.	MAP NO.	SHEET	OF
4426.90	C-13	7	18

CENTERLINE CURVE DATA		
P.I.	13+20.10	
Delta	45° 28' 17.4"	
D	20° 50' 05"	
T	115.2367'	
L	218.2476'	
R	275.0000'	

CENTERLINE CURVE DATA		
P.I.	3+81.07	
Delta	19° 4' 48.4"	
D	20° 50' 05"	
T	46.2169'	
L	91.5780'	
R	275.0000'	

TC	FL
1 45.80	45.13
2 45.72	45.72
3 46.99	46.32

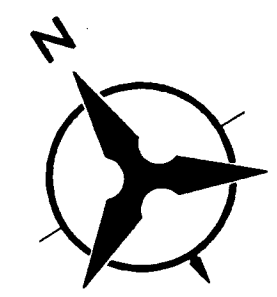
D = 90° 00' 00"
L = 39.27'
R = 25.00'

TC	FL
1 28.52	27.85
2 28.01	28.01
3 28.83	28.17

D = 85° 9' 50.4"
L = 37.15'
R = 25.00'

TC	FL
1 28.29	27.62
2 27.08	27.08
3 27.20	26.53

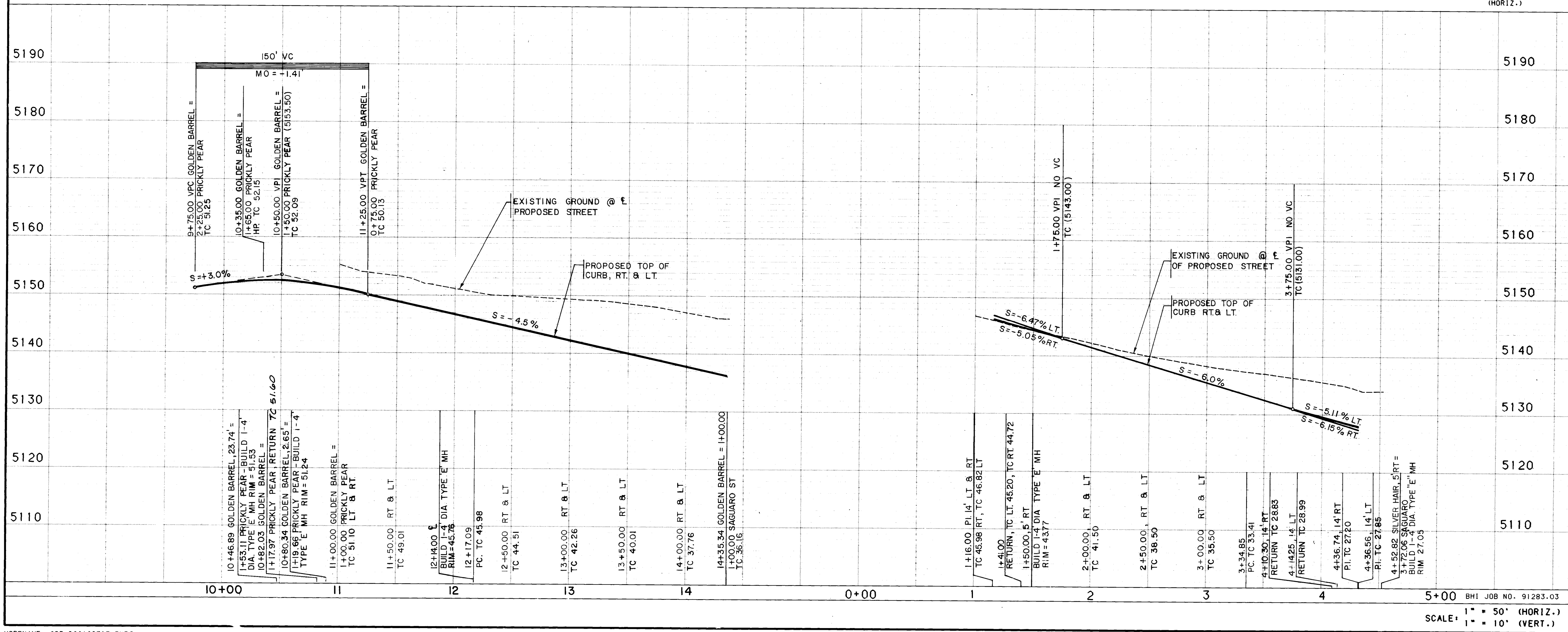
D = 90° 3' 32.4"
L = 39.29'
R = 25.00'



SCALE: 1" = 50'
(HORIZ.)

- NOTES**
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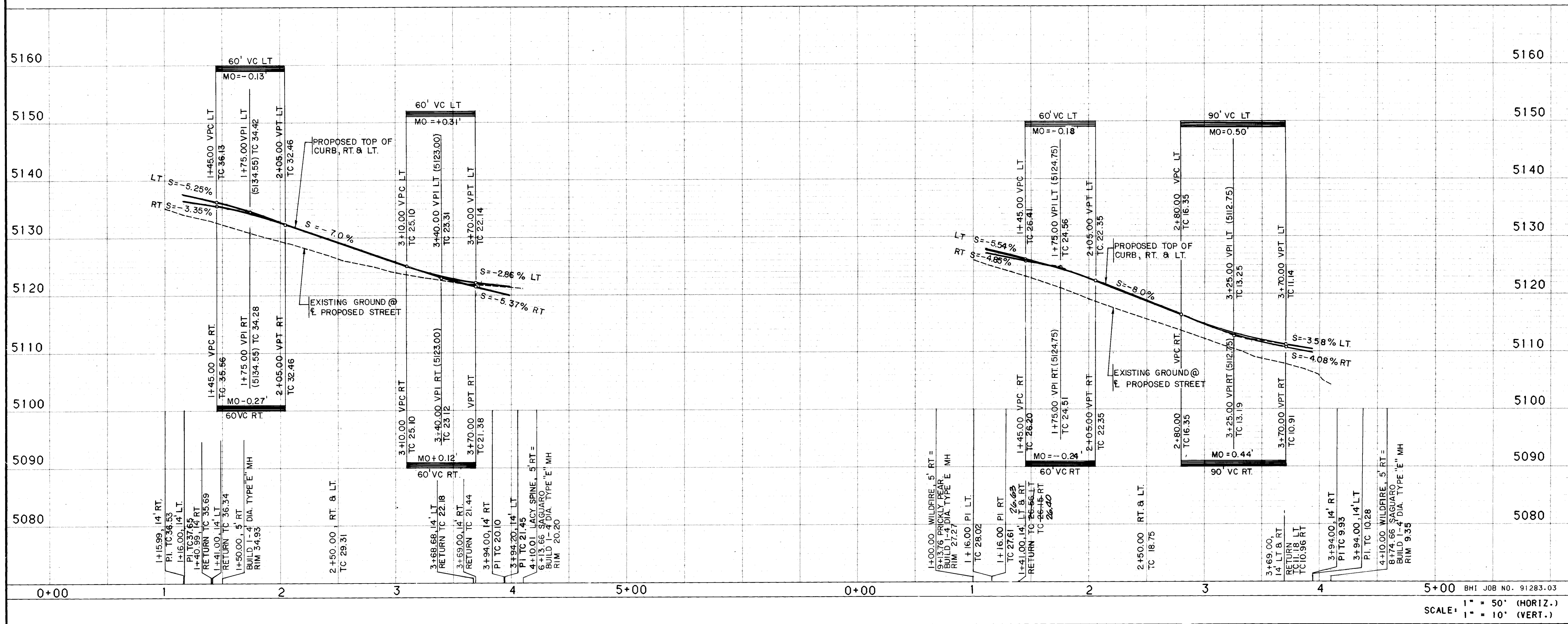
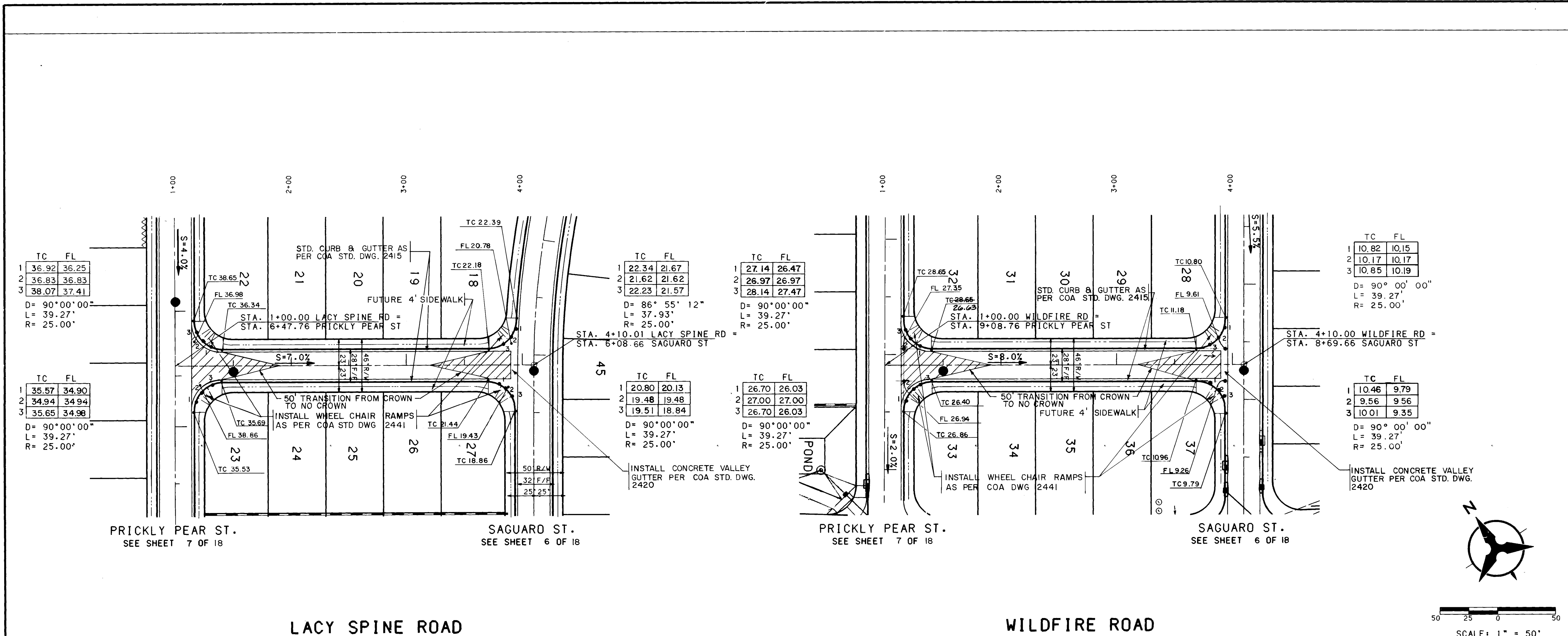
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR'S INITIALS	DATE	THE BENCH MARK IS AN ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM 2-012 SET ON TOP OF THE CURB AT THE NW RETURN LOCATED AT THE INTERSECTION OF PARADISE HILL BLVD AND DAVENPORT ST NW ELEVATION = 5175.786"	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S INITIALS	DATE		DATE	NO.	DATE	NO.	DATE
FIELD VERIFICATION BY	DATE		DATE	NO.	DATE	NO.	DATE
CORRECTED BY	DATE		DATE	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION	DATE		DATE	NO.	DATE	NO.	DATE



SCANNED BY
BY LASON

26 4426.90 0893

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING			
CACTUS RIDGE SUBDIVISION PAVING PLAN & PROFILE GOLDEN BARREL ROAD AND SILVER HAIR ROAD			
APPROVALS	ENGINEER	DATE	APPROVALS
DRG CHAIRMAN	3/27/92	3/27/92	WATER
TRANSPORTATION	3/27/92	3/27/92	WASTE WATER
HYDROLOGY	3/27/92	3/27/92	
DRAWING NO.	4426.90	MAP NO.	C-13
SHEET	8	OF	13



NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADII SHALL BE 25' TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
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10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB AND GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
12. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.

AS-BUILT INFORMATION

CONTRACTOR: *Ally*
INSPECTOR'S NAME: *Ally*
DATE: *7/18/22*

BENCH MARKS

THE BENCH MARK IS AN ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM 2-C12 SET ON TOP OF THE CURB AT THE WNW RETURN LOCATED AT THE INTERSECTION OF PARADISE HILL BLVD AND DAVENPORT ST NW

DATE

DATE: *7/18/22*

REVISIONS

NO.	DATE	REVISIONS
1	7/18/22	DESIGN

DESIGNED BY: *KLD/TM*
DRAWN BY: *KLD*
CHECKED BY: *KLD*

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

CACTUS RIDGE SUBDIVISION
PAVING PLAN & PROFILE
LACY SPINE ROAD AND WILDFIRE ROAD

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>Ally</i>	<i>7/18/22</i>	WATER	<i>Ally</i>	<i>7/18/22</i>
TRANSPORTATION	<i>Ally</i>	<i>7/18/22</i>	WASTE WATER	<i>Ally</i>	<i>7/18/22</i>
HYDROLOGY	<i>Ally</i>	<i>7/18/22</i>			

DRAWING NO. 4426.90 MAP NO. C-13 SHEET 9 OF 18

	TC	FL
1	23.83	23.16
2	24.00	24.00
3	24.81	24.14

$D = 88^{\circ}25'48''$
 $L = 46.30'$
 $R = 30.00'$

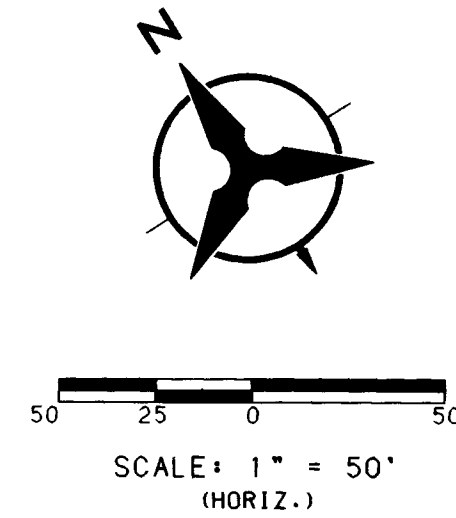
CENTERLINE CURVE DATA			
P. I.	31+78.76		
Delta	4° 14'	35.4"	
D	2° 00'	00"	
T	106.13'		
L	212.16'		
R	2864.79'		

	TC	FL
1	9.84	9.17
2	9.59	9.59
3	10.69	10.02

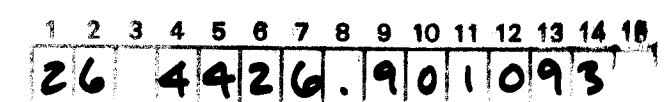
$D = 87^{\circ} 39' 3.6''$
 $L = 45.89^{\circ}$
 $R = 30.00^{\circ}$

	TC	FL
1	5.84	5.17
2	5.74	5.74
3	6.97	6.31

$D = 92^{\circ} 20' 56.4''$
 $L = 45.89'$
 $R = 30.00'$



PARADISE BLVD



SCANNED BY
BY LASON

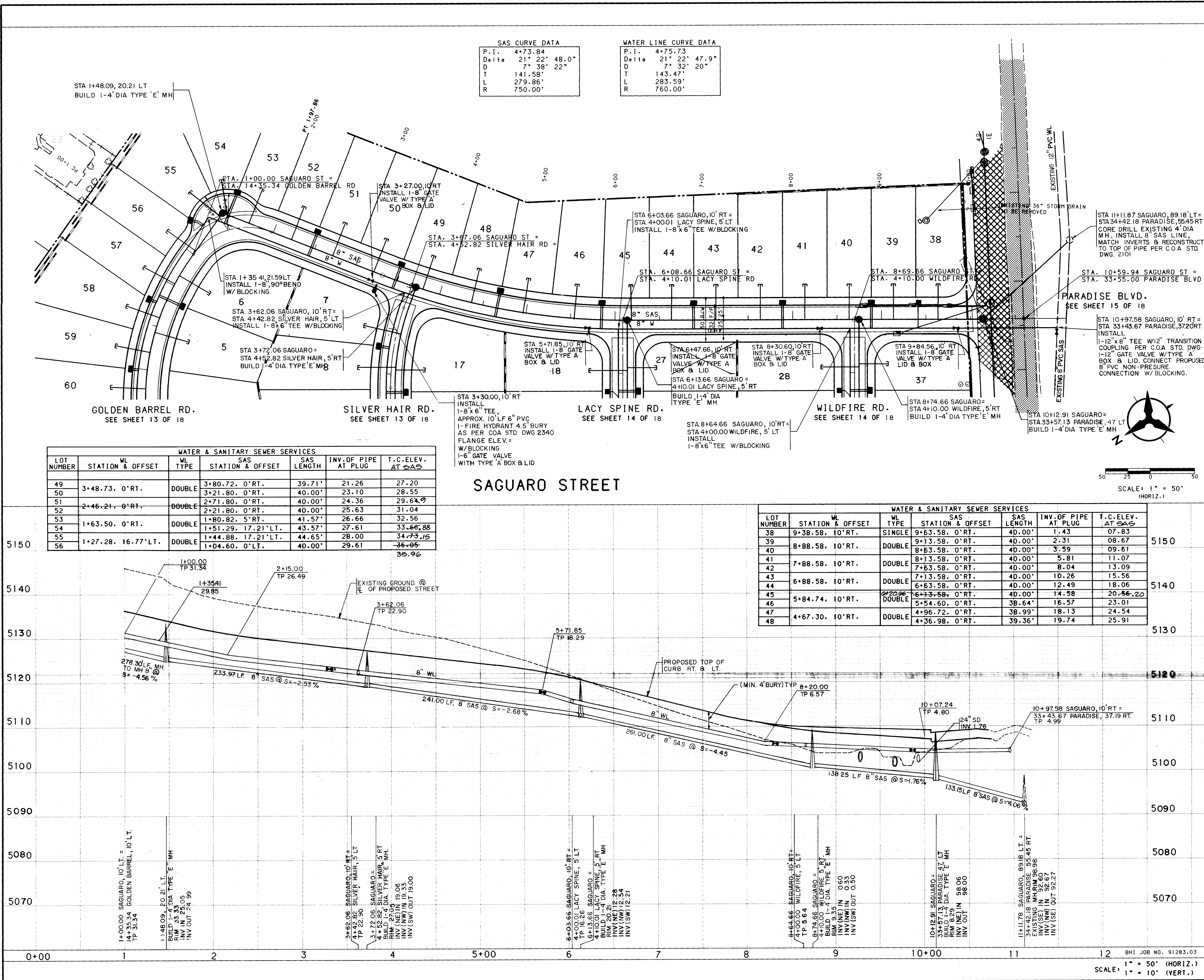


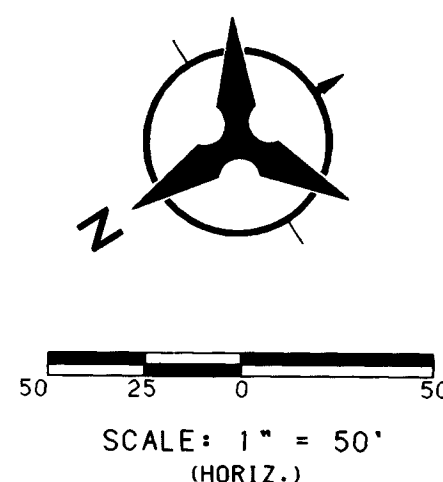
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

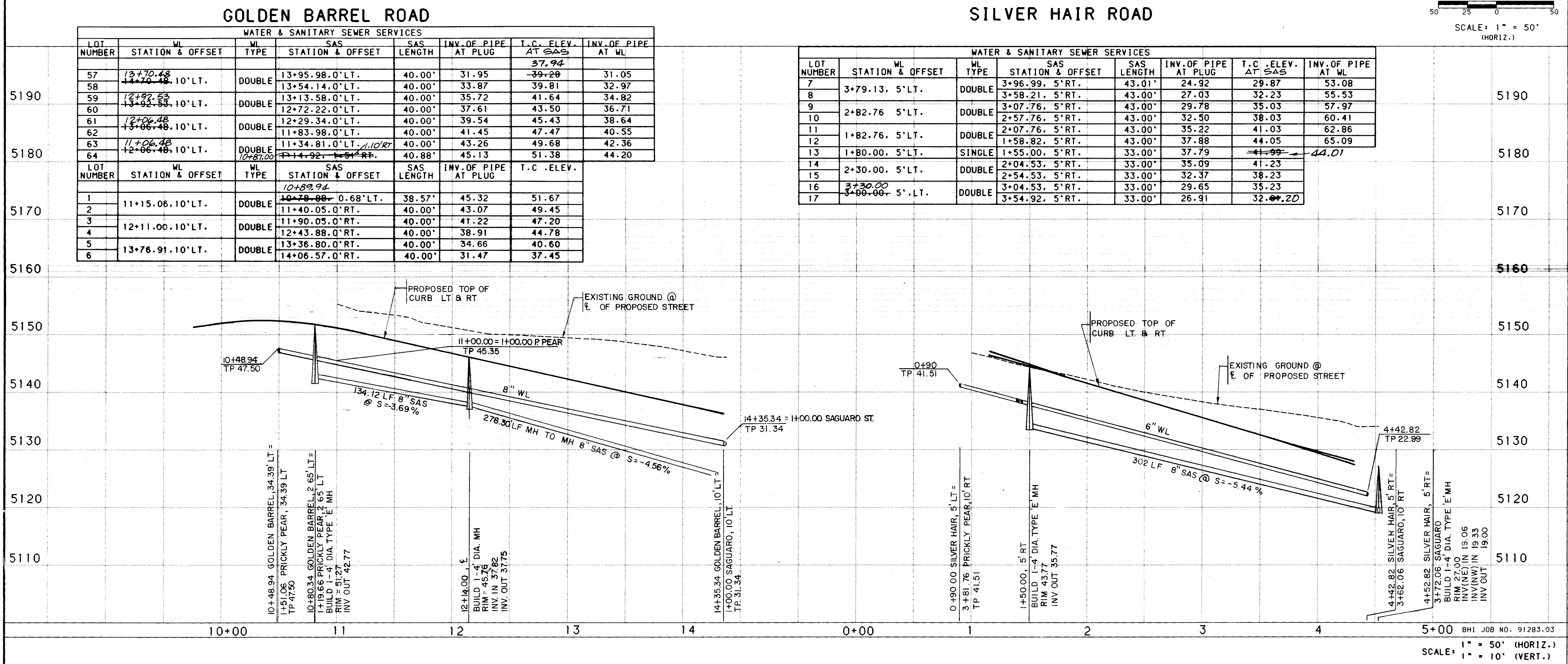
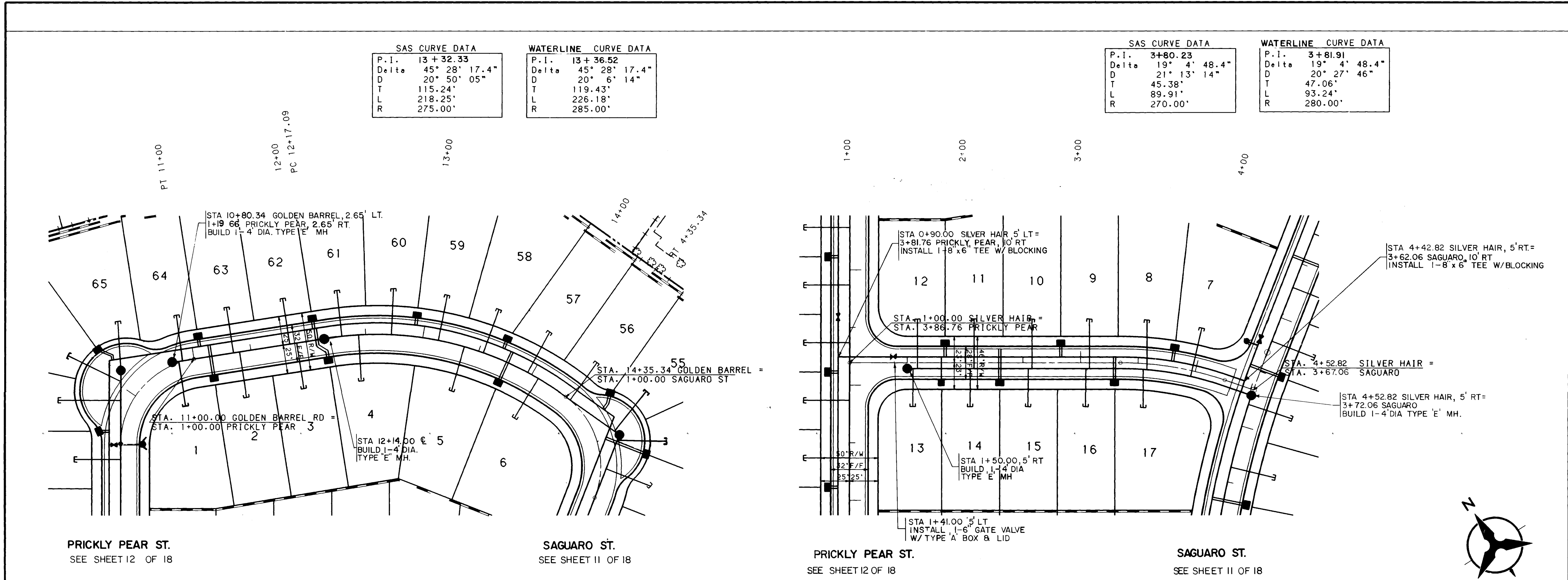
CACTUS RIDGE SUBDIVISION
PAVING PLAN & PROFILE
PARADISE BLVD.

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>Rogay Green</i>	<i>3/21/92</i>	WATER	<i>AKDha</i>	<i>3-20-92</i>
TRANSPORTATION	<i>R. Jones</i>	<i>3-22-92</i>	WASTE WATER	<i>AKD</i>	"
HYDROLOGY	<i>S. Dilling</i>	<i>3/18/92</i>			

DRAWING NO.	4426.90	MAP NO. C-13	SHEET 10	OF 18
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NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURB RETURN RADII SHALL BE 25' TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
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- CONTRACTOR SHALL PROVIDE THE NMUI WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
- CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON-SITE.
- REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
- WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ALL WATER & SEWER UTILITIES SHALL MEET NMUI SPECIFICATIONS.
- ALL WATER & SEWER UTILITY WORK SHALL BE COORDINATED WITH NMUI.
- NMUI SHALL BE GIVEN 3 DAYS NOTICE PRIOR TO CONSTRUCTION.

AS-BUILT INFORMATION

CONTRACTOR: *Albuquerque Construction*
STAMPED BY: *100A*
DATE: *1/1/00*
FIELD CHECKED BY: *1/1/00*
DATE: *1/1/00*
REVISIONS: *1/1/00*
DATE: *1/1/00*
MICRO-FILM INFORMATION: *1/1/00*
RECORDED BY: *1/1/00*
NO.:

ENGINEER'S SEAL

DESIGNED BY: *KLD/TKH* DATE: *1/92*
DRAWN BY: *TSG* DATE: *1/92*
CHECKED BY: *KLD* DATE: *1/92*

REVISIONS

NO.	DATE	REMARKS
1	1/92	DESIGN

NOTICE

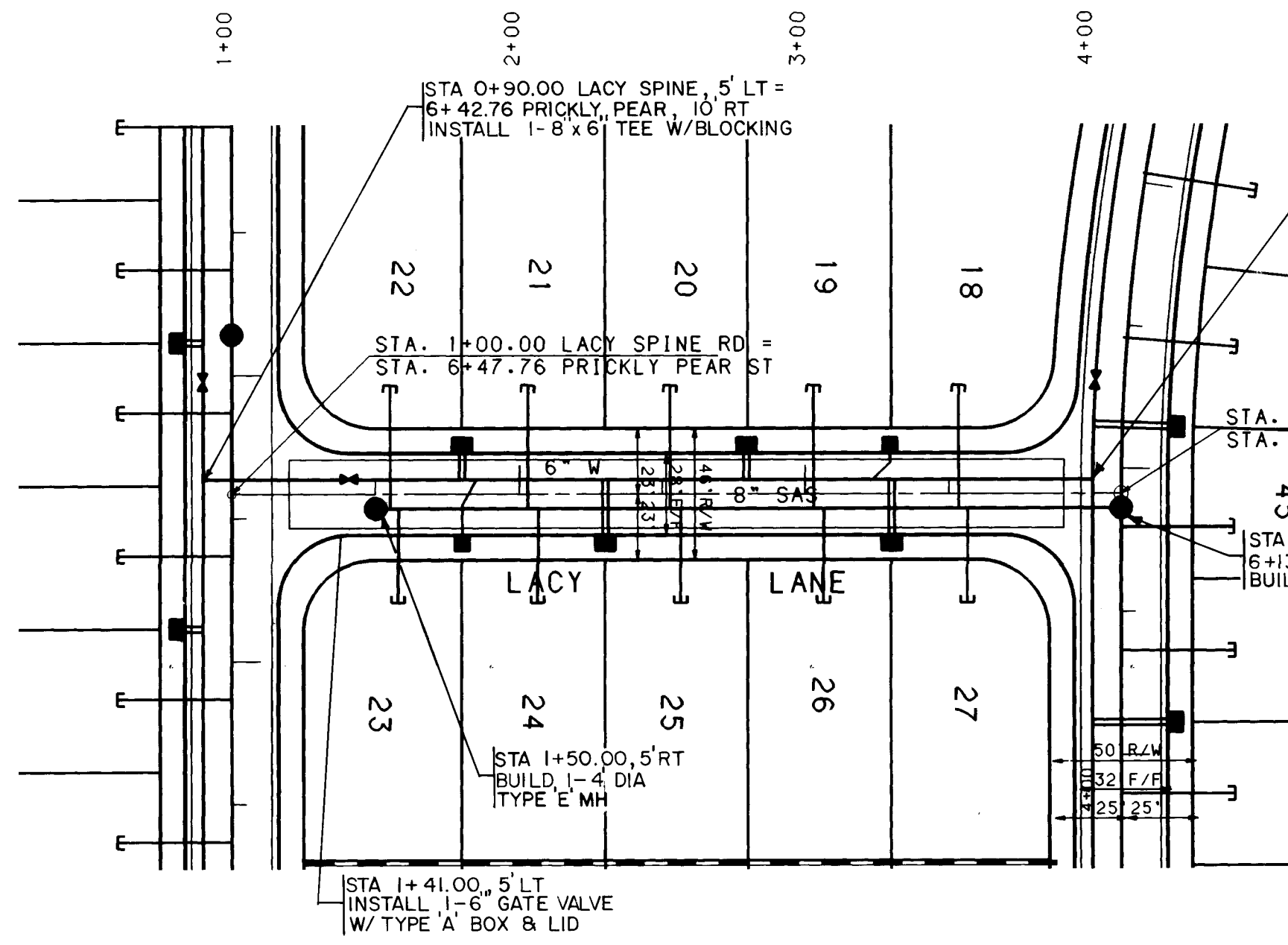
WATER AND SANITARY SEWER SERVICE IS PROVIDED TO THESE PARCELS BY NEW MEXICO UTILITIES, INC. FINAL ACCEPTANCE OF SUCH WORK SHALL BE OBTAINED FROM NMUI.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

CACTUS RIDGE SUBDIVISION
UTILITY PLAN & PROFILE
GOLDEN BARREL ROAD AND SILVER HAIR ROAD

APPROVALS: ENGINEER: *3-27-92* DATE: *3-20-92*
DRC CHAIRMAN: *3-27-92* WATER: *3-20-92*
TRANSPORTATION: *3-27-92* WASTE WATER: *3-20-92*
HYDROLOGY: *3-27-92* NMUI: *3-20-92*

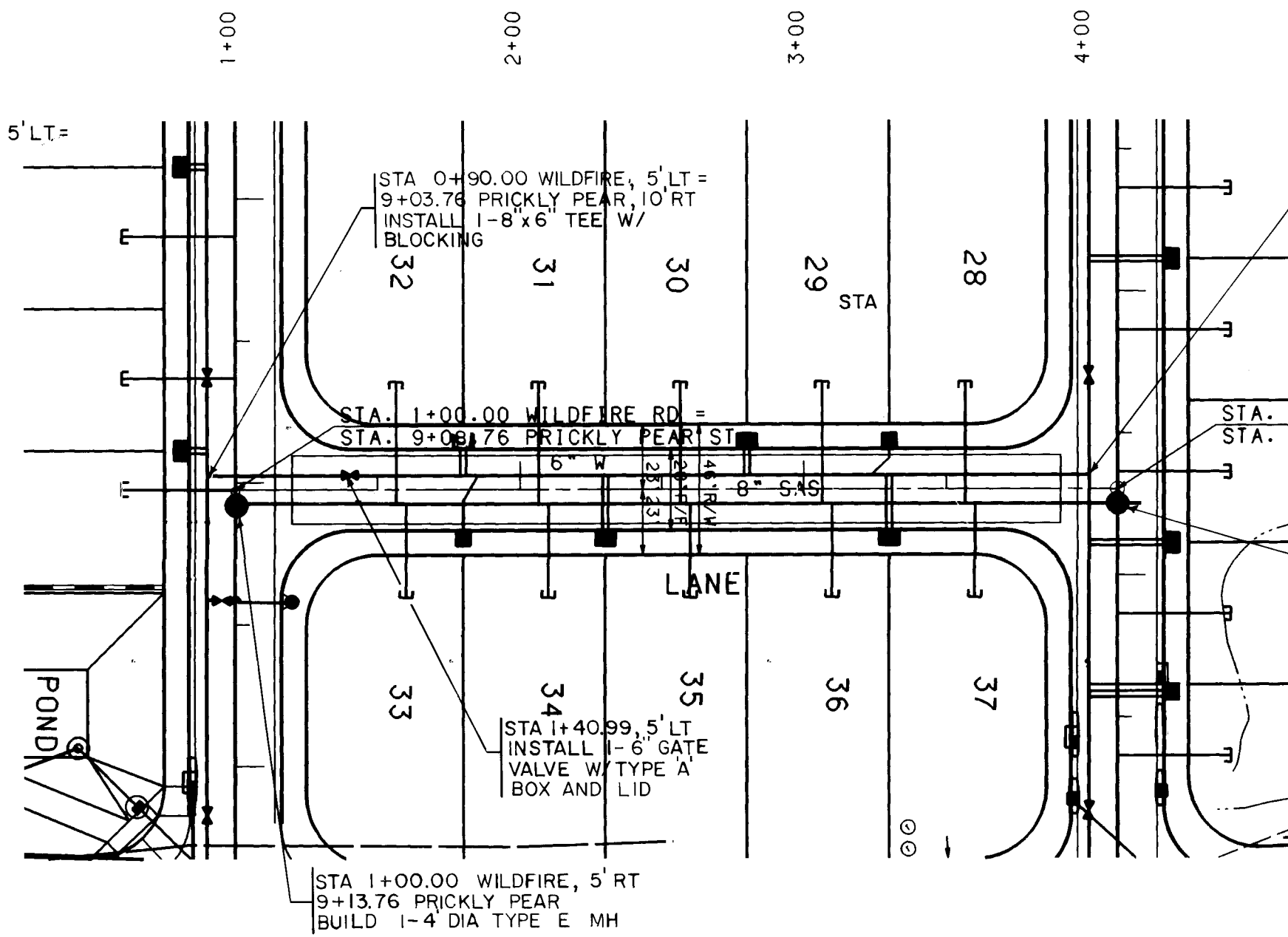
DRAWING NO. **4426.90** MAP NO. **C-13** SHEET **13** OF **18**



PRICKLY PEAR ST.
SEE SHEET 12 OF 18

SAGUARO ST.
SEE SHEET 11 OF 18

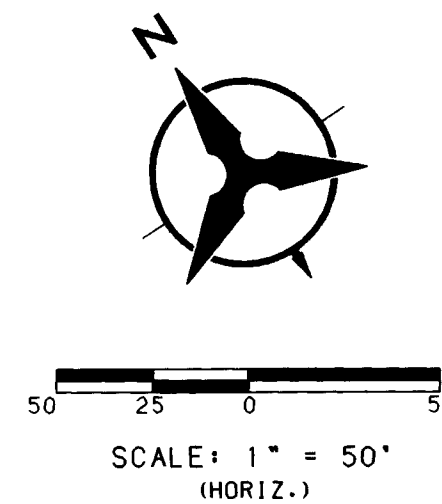
LACY SPINE ROAD



PRICKLY PEAR ST.
SEE SHEET 12 OF 18

SAGUARO ST.
SEE SHEET 11 OF 18

WILDFIRE ROAD



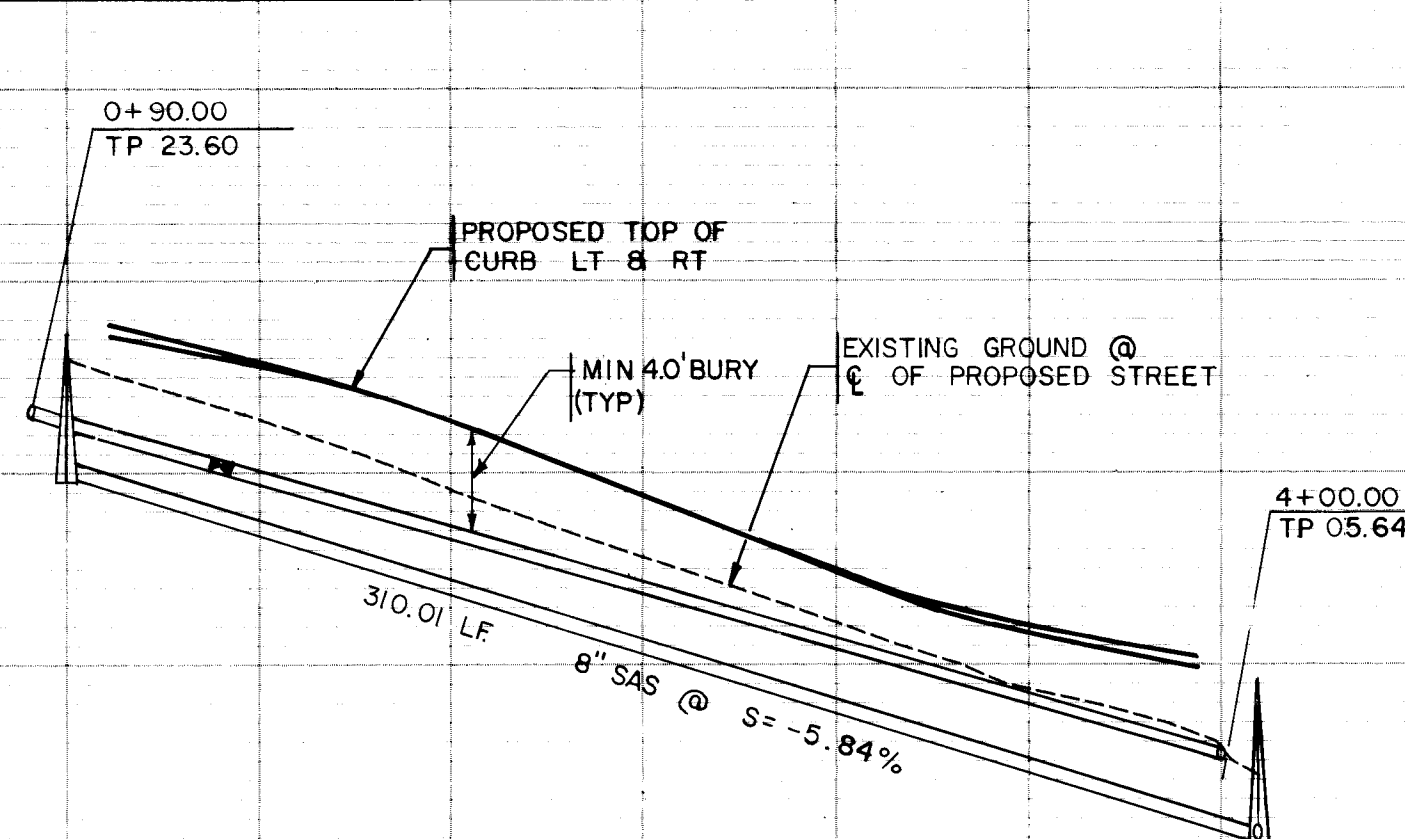
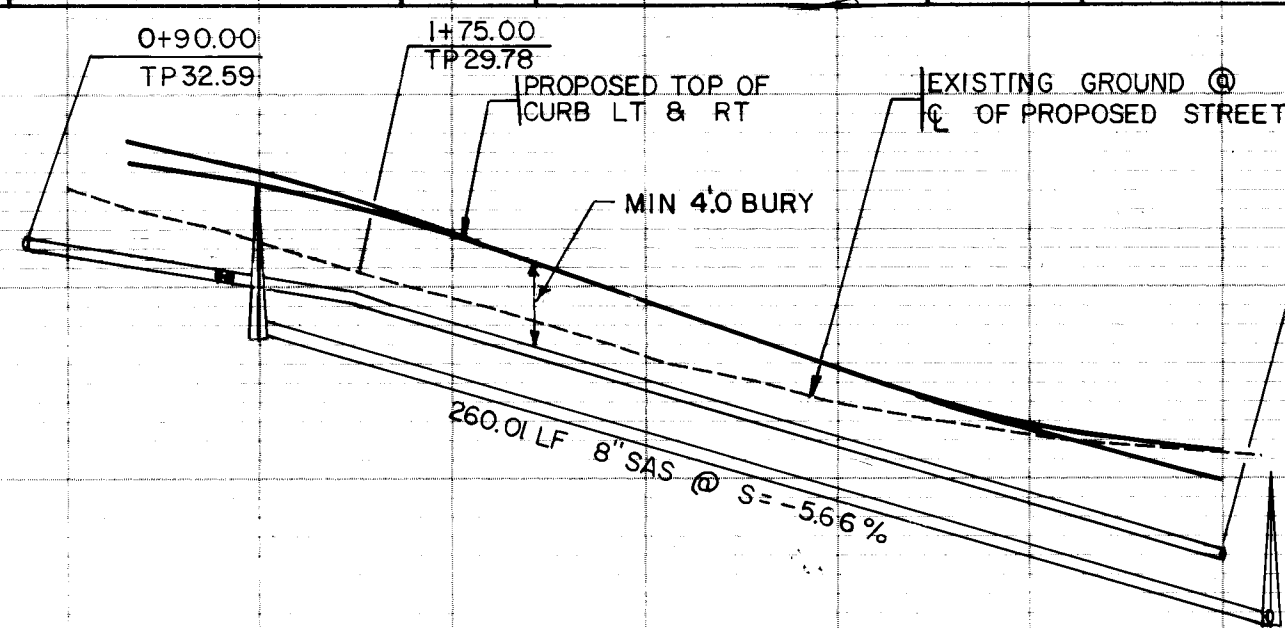
NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADIUS SHALL BE 25' TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
4. GRADE ELEVATIONS, WHERE NOTED, ARE FOR TOP OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR IS TO INSTALL A 4"x4"x5' POST AND EMD AT THE END OF EACH SANITARY SEWER SERVICE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
8. CONTRACTOR SHALL PROVIDE THE NMUI WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
12. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
13. ALL WATER & SEWER UTILITIES SHALL MEET NMUI SPECIFICATIONS.
14. ALL WATER & SEWER UTILITY WORK SHALL BE COORDINATED WITH NMUI.
15. NMUI SHALL BE GIVEN 3 DAYS NOTICE PRIOR TO CONSTRUCTION.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR: Universal Construction		THE BENCH MARK IS AN ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM 2-C12 SET ON TOP OF THE CURB AT THE NW RETURN LOCATED AT THE INTERSECTION OF PARADISE HILL BLVD AND DAVENPORT ST NW		NO. DATE BY		REMARKS	
INSPECTED BY: J. L. LASS		DATE: 5/13/2012		NO. DATE BY		REVISIONS	
FIELD VERIFICATION BY: J. L. LASS		DATE: 5/13/2012		NO. DATE BY		DESIGN	
CORRECTED BY:		DATE:		DESIGNED BY: KLD/KM		DATE: 1/92	
MICRO-FILM INFORMATION		RECORDED BY:		DRAWN BY:		DATE: 1/92	
NO.		ELEVATION = 5175.786		CHECKED BY: KLD		DATE: 1/92	

WATER & SANITARY SEWER SERVICES							
LOT NUMBER	STATION & OFFSET	WL TYPE	SAS STATION & OFFSET	SAS LENGTH	INV. OF PIPE AT PLUG	T.C. ELEV.	INV. OF PIPE AT WL
18	3+30.00, 5' LT.	SINGLE	3+53.34, 5' RT.	43.00'	18.34	22.71	17.35
19	2+80.00, 5' LT.	DOUBLE	3+02.87, 5' RT.	43.00'	21.20	25.60	20.21
20			2+52.77, 5' RT.	43.00'	24.03	29.11	23.04
21	1+80.00, 5' LT.	DOUBLE	2+02.93, 5' RT.	43.00'	26.85	32.60	25.86
22			1+55.00, 5' RT.	43.00'	29.57	35.59	26.35
23	1+79.99, 5' LT.	SINGLE	1+57.88, 5' RT.	33.00'	29.10	35.08	26.35
24	2+29.99, 5' LT.	DOUBLE	2+06.49, 5' RT.	33.00'	26.35	32.35	
25			2+59.49, 5' RT.	33.00'	23.35	28.64	
26	3+29.99, 5' LT.	DOUBLE	3+06.49, 5' RT.	33.00'	20.69	25.35	
27			3+56.49, 5' RT.	33.00'	17.86	22.14	

WATER & SANITARY SEWER SERVICES							
LOT NUMBER	STATION & OFFSET	WL TYPE	SAS STATION & OFFSET	SAS LENGTH	INV. OF PIPE AT PLUG	T.C. ELEV.	INV. OF PIPE AT WL
28	3+29.99, 5' LT.	SINGLE	3+56.49, 5' RT.	43.00'	06.23	18.74	05.24
29			3+06.49, 5' RT.	43.00'	09.15	14.23	08.16
30	2+79.99, 5' LT.	DOUBLE	2+56.49, 5' RT.	43.00'	12.07	18.23	11.08
31			2+06.49, 5' RT.	43.00'	14.99	22.23	14.00
32	1+79.99, 5' LT.	DOUBLE	1+56.49, 5' RT.	43.00'	17.91	25.30	16.92
33	1+80.00, 5' LT.	SINGLE	1+60.00, 5' RT.	33.00'	17.41	25.30	
34	2+29.99, 5' LT.	DOUBLE	2+10.00, 5' RT.	33.00'	14.49	21.95	
35			2+59.99, 5' RT.	33.00'	11.57	17.95	
36	3+09.98, 5' RT.		3+09.98, 5' RT.	33.00'	08.65	13.05	
37	3+29.99, 5' LT.	DOUBLE	3+59.97, 5' RT.	33.00'	05.73	10.21	



NOTICE

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26 4426.90 1901493

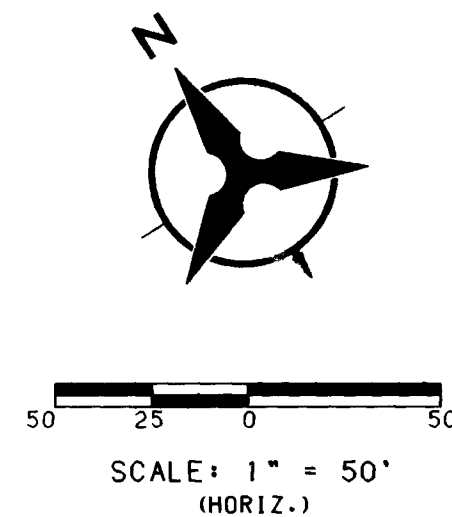


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

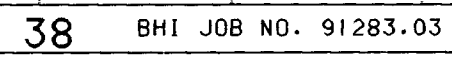
CACTUS RIDGE SUBDIVISION
UTILITY PLAN & PROFILE
LACY SPINE ROAD AND WILDFIRE ROAD

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	Robert L. Lass	3-27-92	WATER	Robert L. Lass	3-28-92
TRANSPORTATION	Robert L. Lass	3-24-92	WASTE WATER	Robert L. Lass	
HYDROLOGY	Robert L. Lass	3-19-92	NMUI	Robert L. Lass	3-19-92

DRAWING NO.	4426.90	MAP NO.	C-13	SHEET	14	OF	18
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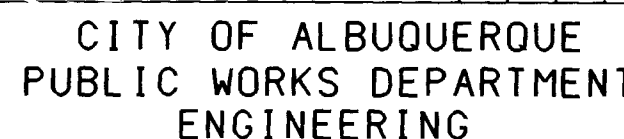
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(HORIZ.)



SCALE: 1" = 50' (HORIZ.)
1" = 10' (VERT.)

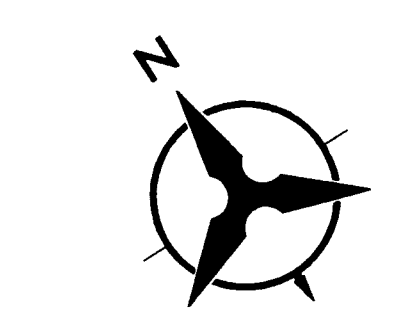
- SCANNED BY
BY LASON

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26			44	26	.	90	15	93						

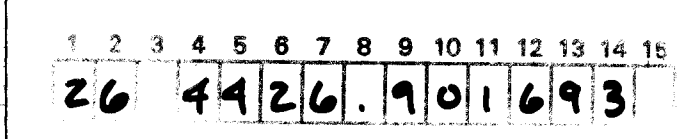


APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
RC CHAIRMAN	<i>Ronald Green</i>	3-27-92	WATER	<i>W. L. Green</i>	3-20-92
TRANSPORTATION	<i>R. D. Green</i>	3-27-92	WASTE WATER	<i>W. L. Green</i>	"
HYDROLOGY	<i>R. D. Green</i>	3/18/92	NMU	<i>R. D. Green</i>	3-18-92

DRAWING NO.	4426.90	MAP NO.	C-13	SHEET	15	OF	18
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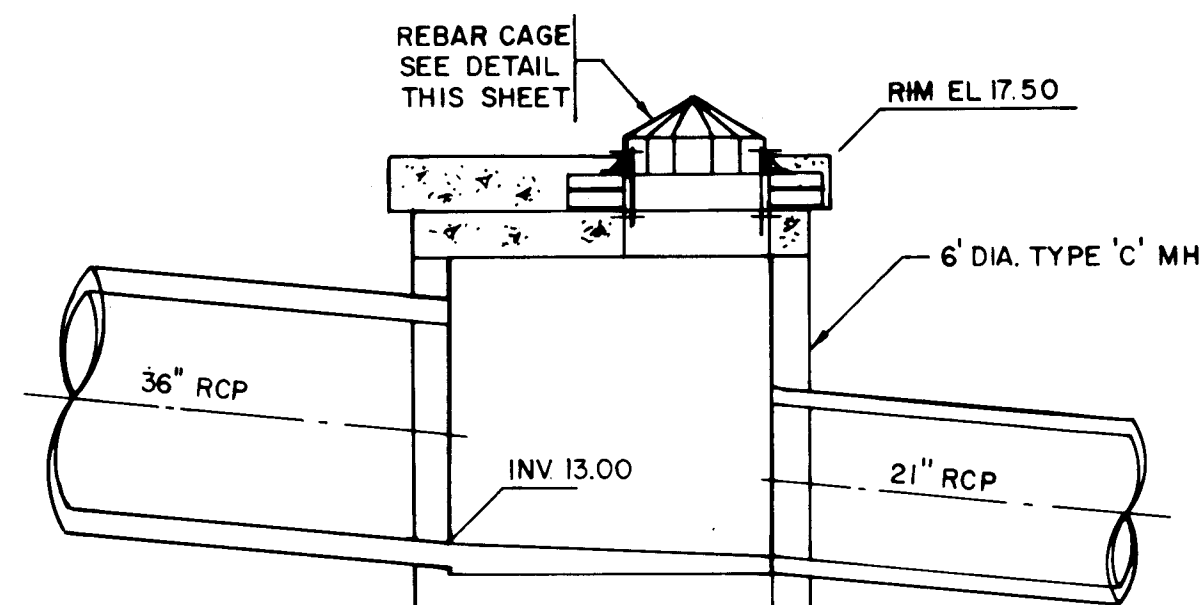


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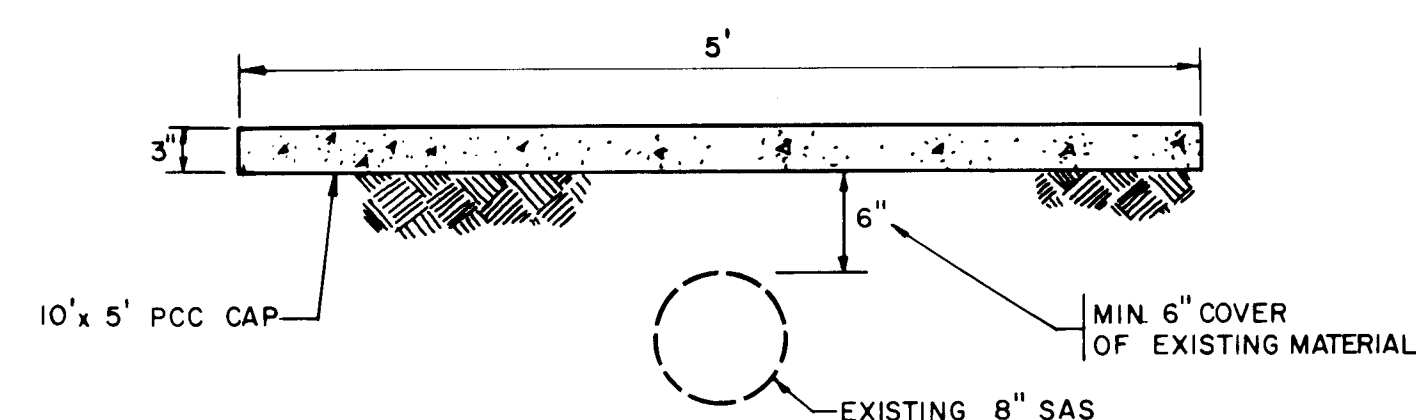
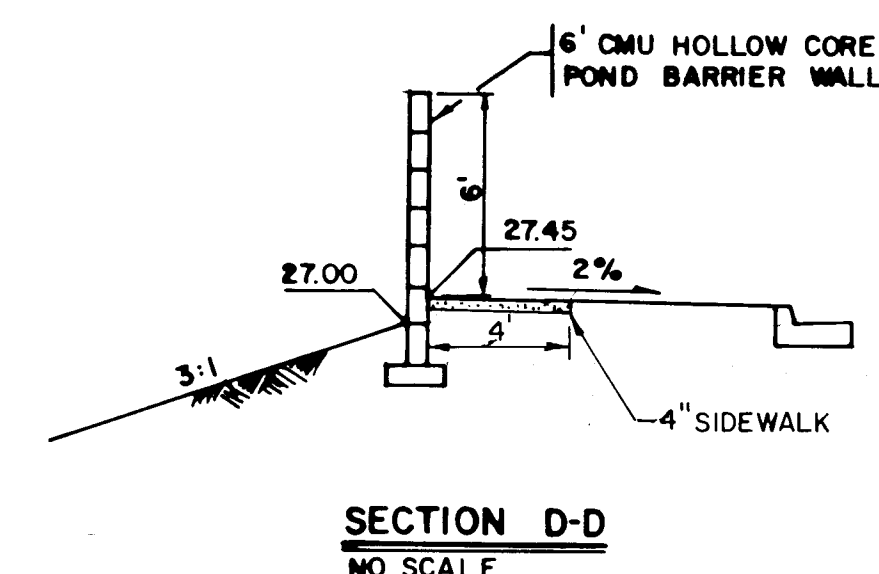
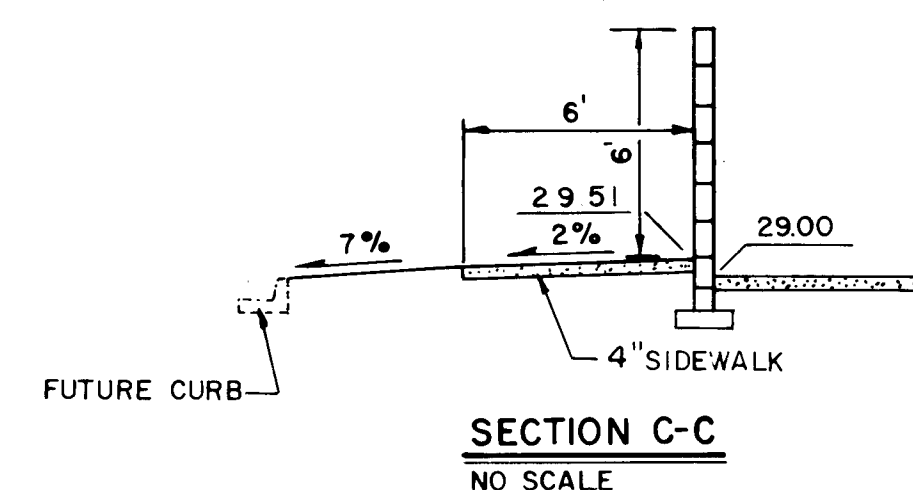
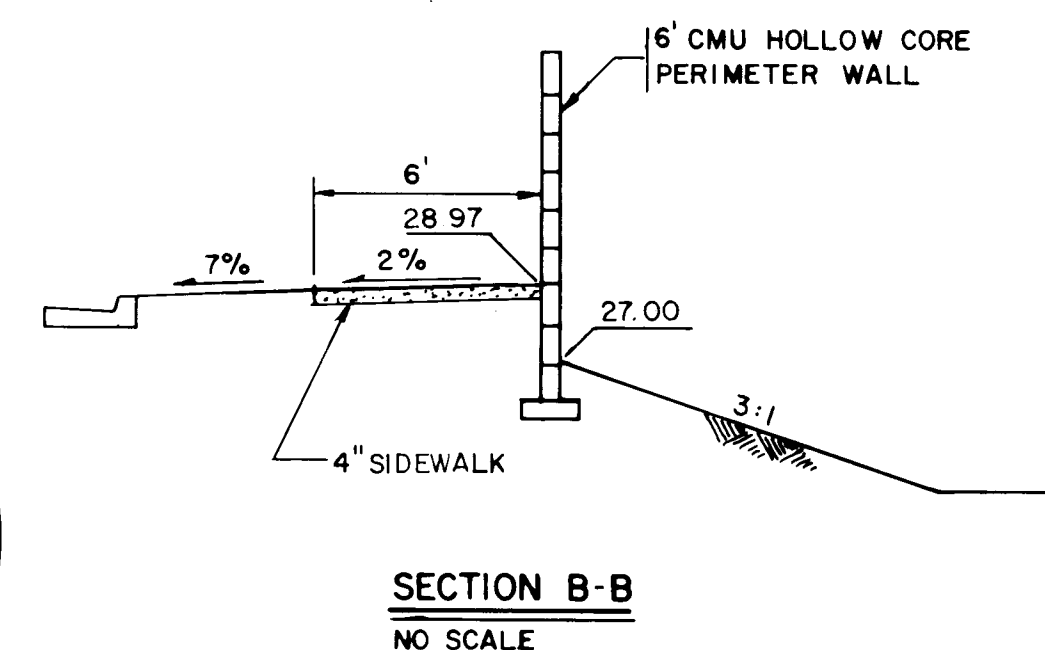
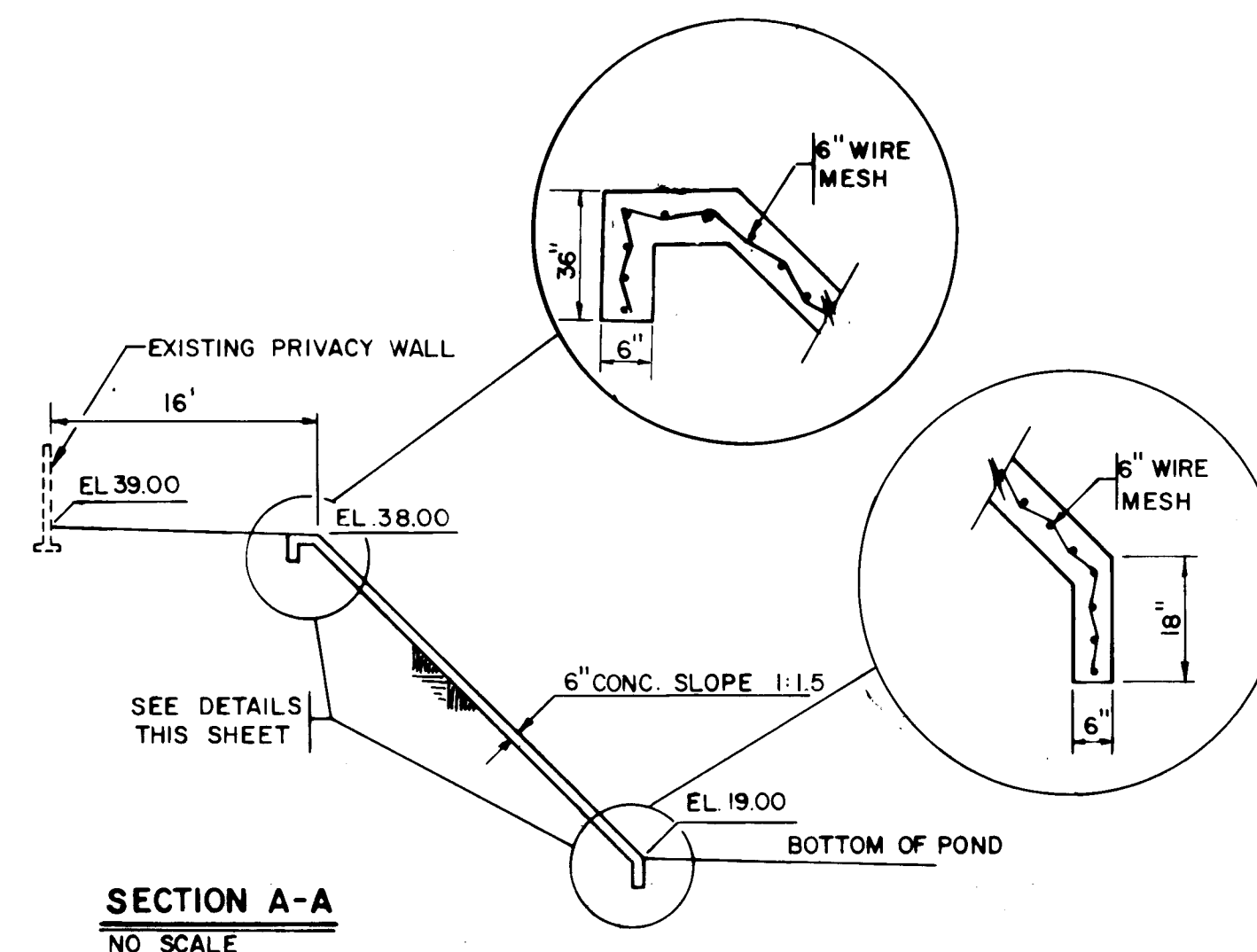
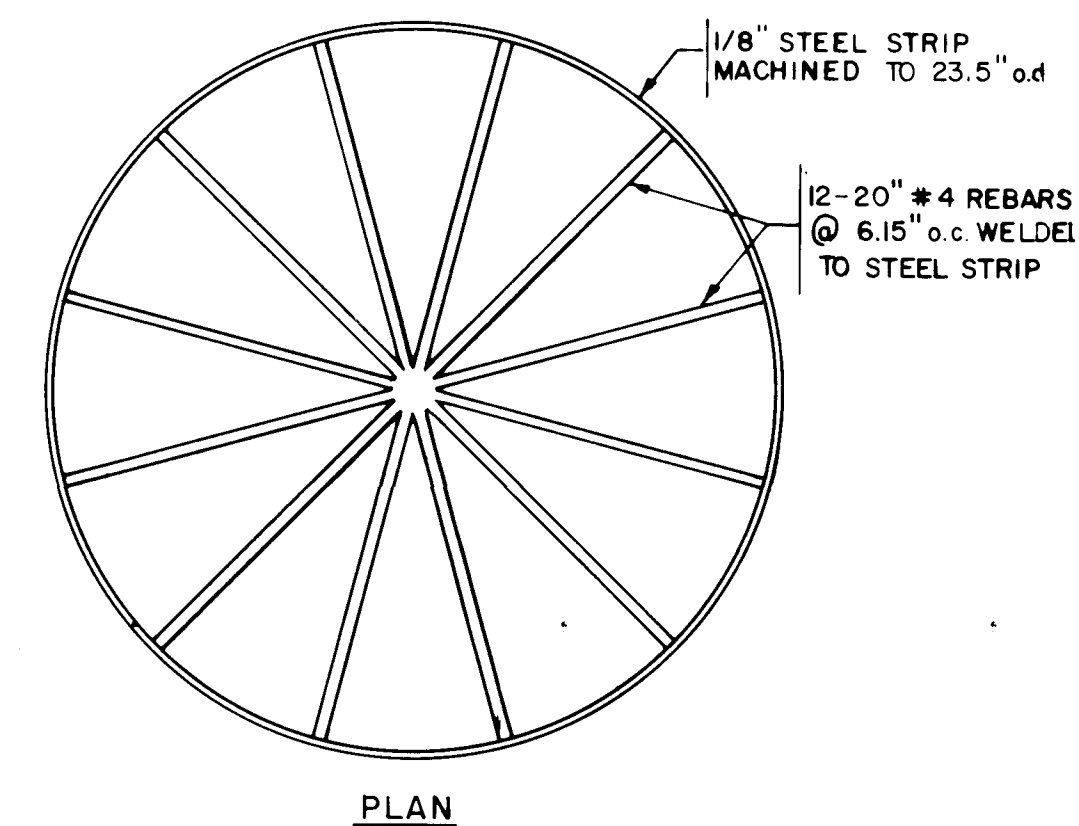
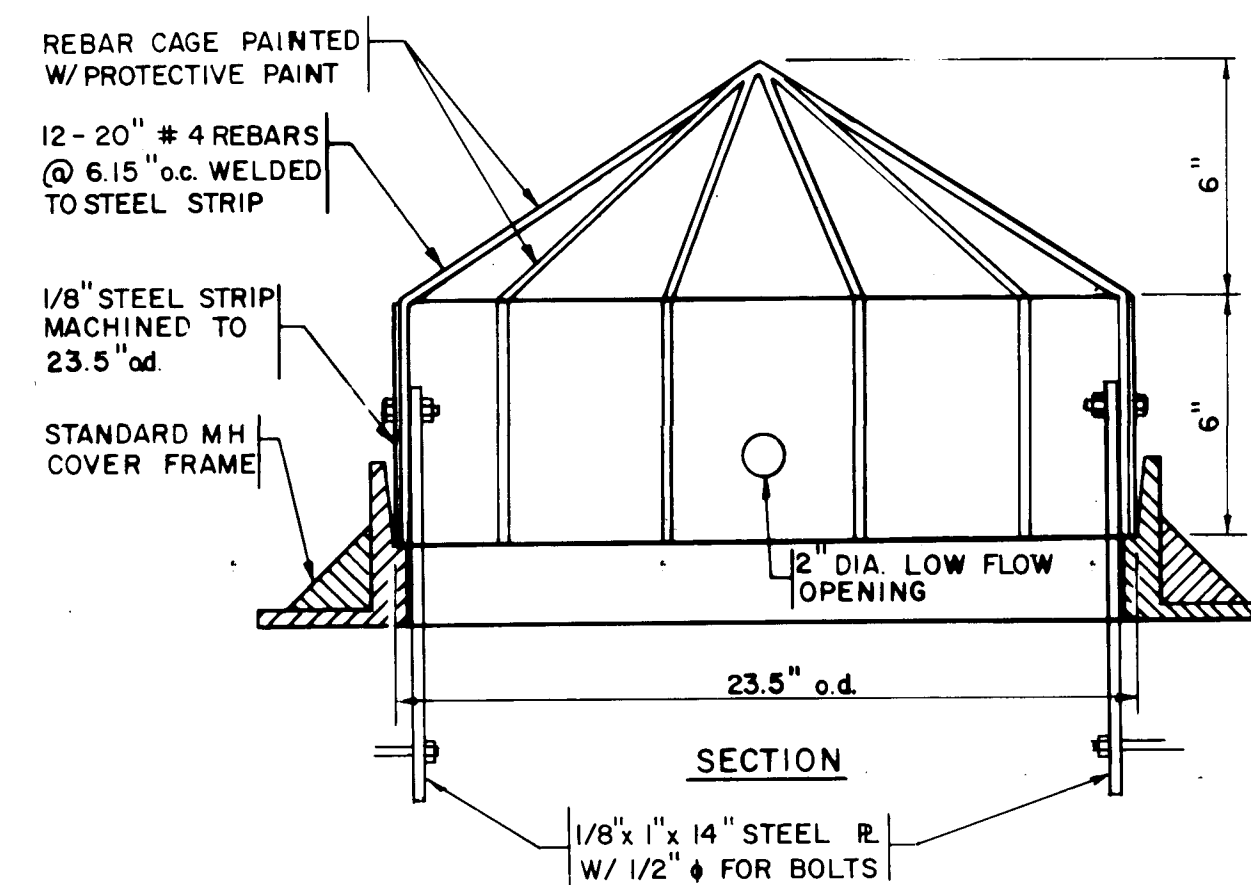


SCANNED BY
BY LASON

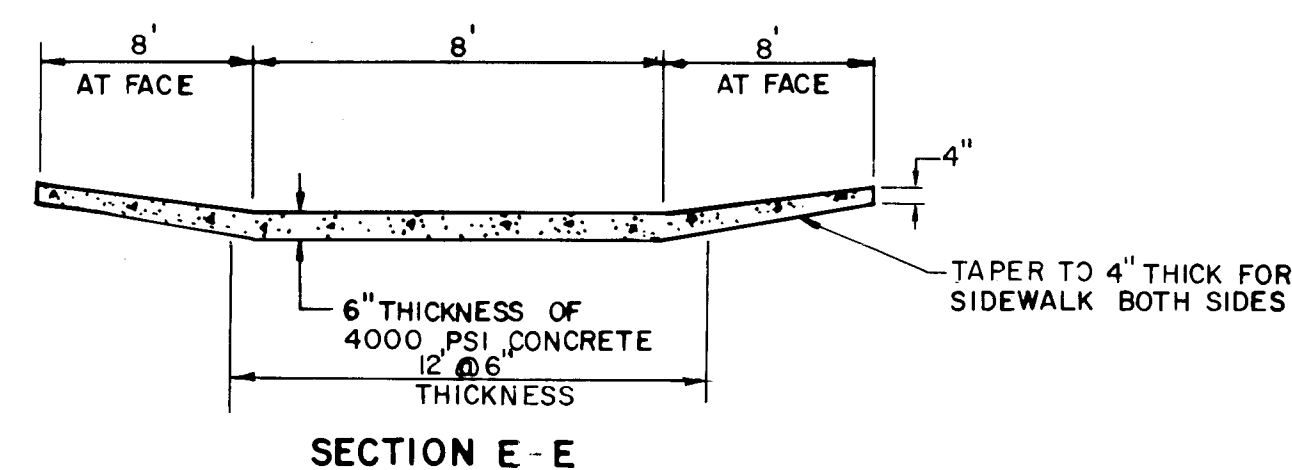
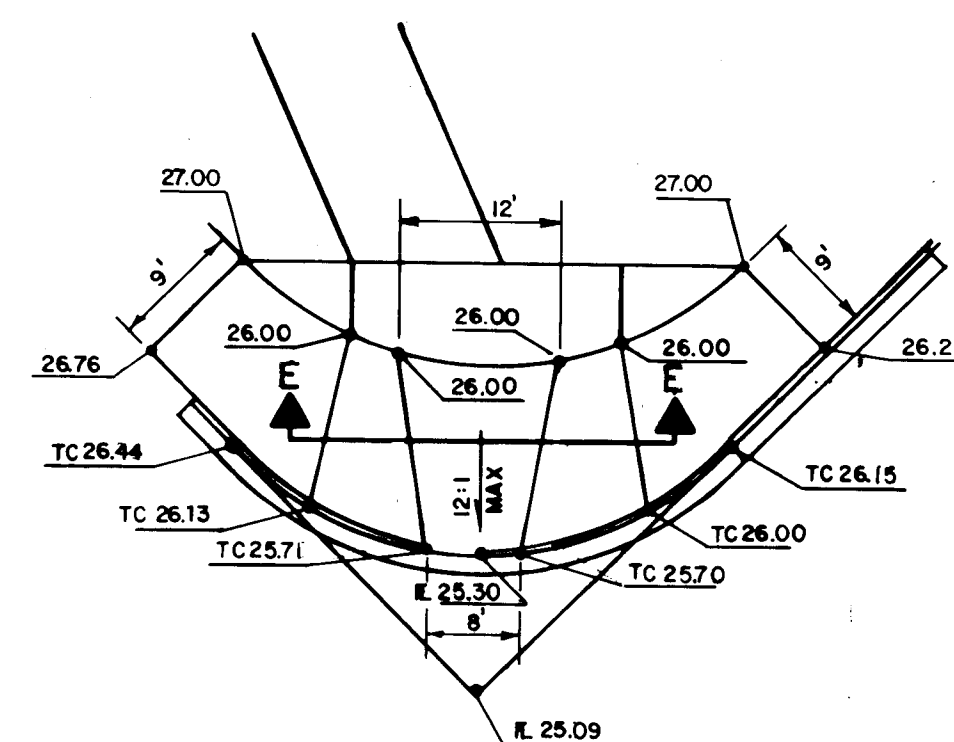
		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING					
CACTUS RIDGE SUBDIVISION STORM DRAIN PLAN & PROFILE PARADISE BLVD.							
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE		
DRC CHAIRMAN	<i>Rogelio Xerez</i>	<i>3-27-92</i>	WATER	<i>SLD</i>	<i>3-22-92</i>		
TRANSPORTATION	<i>J. D. ...</i>	<i>3-22-92</i>	WASTE WATER	<i>SLD</i>	"		
HYDROLOGY	<i>J. D. ...</i>	<i>3/28/92</i>					
DRAWING NO.		MAP NO.		SHEET		OF	
4426.9		C-13		16		18	



POND MANHOLE SECTION
NO SCALE



PCC CAP DETAIL
NO SCALE



WHEEL CHAIR RAMP DETAILS
NO SCALE

F.H.W.A. Region No.			SHEET NO.	TOTAL SHEETS
6	NEW MEXICO			

AS-BUILT INFORMATION	
CONTRACTOR	<i>Universal Construction</i>
WORK	
STARTED BY	<i>P.O.A.</i>
DATE	
INSPECTOR'S	
ACCEPTANCE BY	<i>Wilson</i>
DATE	<i>5/13</i>
VERIFICATION BY	
DATE	
DRAWINGS	
CORRECTED BY	
MICRO-FILM INFORMATION	
RECORDED BY	
DATE	
NO.	

[illegible][illegible]

SCANNED BY
BY LASON

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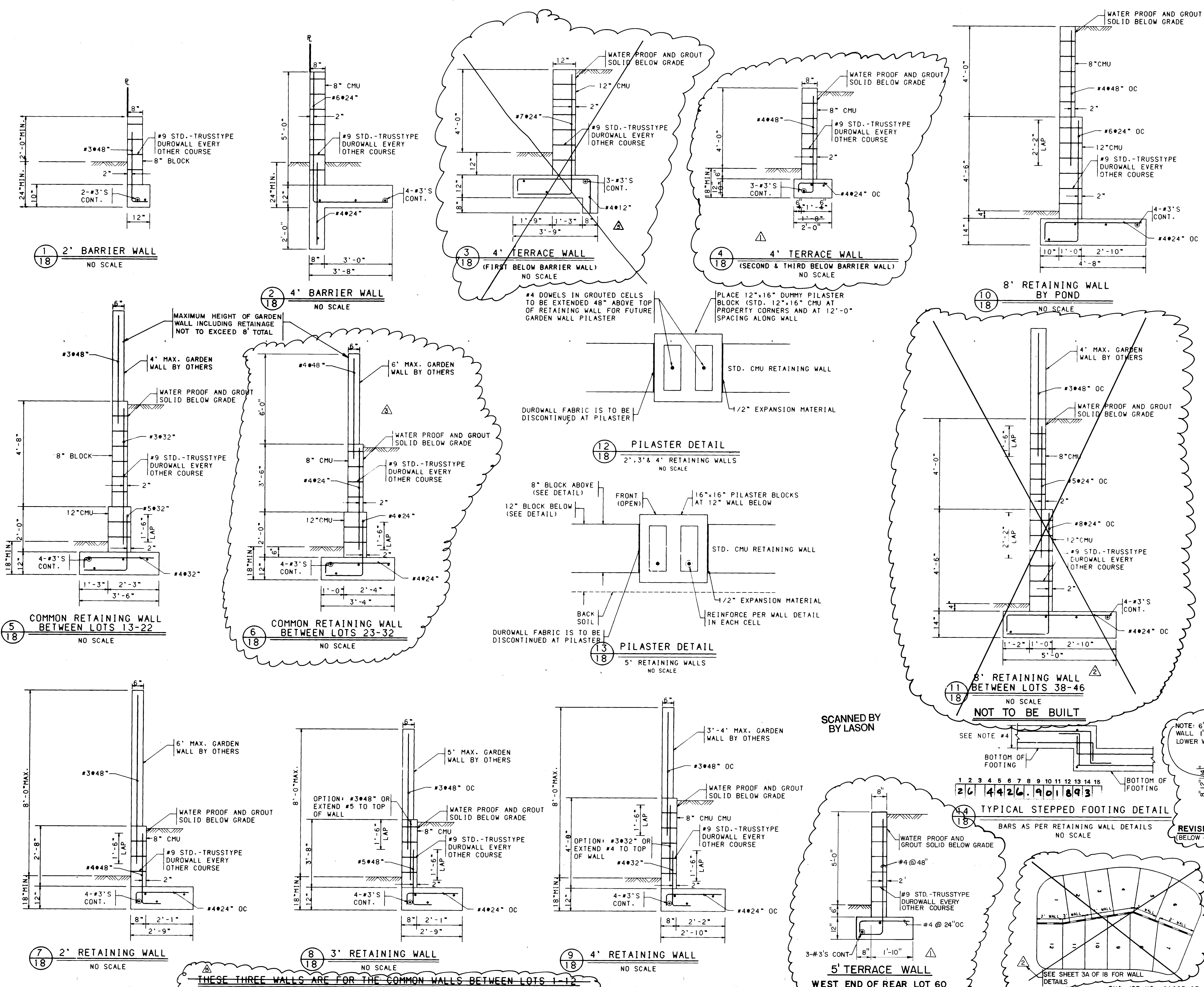


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE:	CACTUS RIDGE SUBDIVISION POND DETAIL
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APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>[Signature]</i>	3-27-92	WATER	<i>[Signature]</i>	3-28-92
TRANSPORTATION	<i>[Signature]</i>	3-29-92	WASTE WATER	<i>[Signature]</i>	"
HYDROLOGY	<i>[Signature]</i>	3/18/92			

DRAWING NO.	4426.90	MAP NO.	C-13	SHEET	17	OF	18
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- GENERAL NOTES (RETAINING WALL CONST.)**
- RETAINING WALL FOOTINGS SHOULD BE EMBEDDED A MINIMUM OF EIGHTEEN INCHES BELOW LOWEST ADJACENT GRADE. PRIOR TO PLACING FOOTINGS, THE EXPOSED SOILS SHOULD BE SCARIFIED TO A DEPTH OF EIGHT (8") INCHES. MOISTURE CONDITIONED TO A NEAR OPTIMUM (± 3%) MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
 - RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER PLACING OF FINAL GROUT LEVEL. WHERE HEAVY EQUIPMENT IS USED IN BACKFILLING, SUCH EQUIPMENT SHOULD NOT APPROACH CLOSER TO THE TOP OF THE WALL THAN A DISTANCE EQUAL TO THE HEIGHT OF THE WALL. CARE SHOULD BE TAKEN TO AVOID EXERTING IMPACT FORCES ON THE WALL AS COULD BE CAUSED BY A LARGE MASS OF MOVING EARTH.
 - SLOPES UP AWAY FROM WALLS SHOULD NOT EXCEED 3:1.
 - VERTICAL CONTROL JOINTS WITH PVC INSERTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 30'-0" ON CENTER. PILASTERS MAY BE SUBSTITUTED FOR CONTROL JOINTS WHEN PLACED AT 12'-0" INTERVALS. PILASTERS SHALL BE PLACED AT EVERY SIDE LOT LINE INTERSECTION. DISCONTINUE DUOWALL EACH SIDE OF PILASTERS.
 - MINIMUM LAP SPLICE ON REINFORCING BARS SHALL BE 30 BAR DIAMETERS OR 1'-4" MINIMUM. REINFORCEMENT OF A SIZE AND SPACING OTHER THAN THAT GIVEN IN THE TABLES MAY BE USED PROVIDING SUCH OTHER REINFORCEMENT FURNISHES AN AREA OF STEEL AREA AT LEAST EQUAL TO THAT GIVEN IN THE TABLE.
 - CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE UNIFORM BUILDING CODE SECTION 24. LOWLIFT GROUTING METHOD.
 - OMISSION OF A VERTICAL MORTAR JOINT ON FIRST COURSE AT 48" O.C. SHALL BE USED FOR WEAP-HOLES. WHITE SLUMP BLOCK WITH MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI MAY BE SUBSTITUTED FOR STANDARD CMU GRADE N.
 - DESIGN DATA:
BLOCK WEIGHT 12" = 130 PSF
BLOCK WEIGHT 8" = 85 PSF
SOIL WEIGHT = 120 PCF
EQUIV. FLUID PRESSURE = 32 PCF
SOIL BEARING PRESSURE = 1500 PCF
(1/3 INCREASE FOR WIND/SEISMIC)
COEFFICIENT OF FRICTION = 0.4
PASSIVE SOIL PRESSURE = 300 PCF
CONCRETE F'C (28 DAYS) = 3000 PSI
GROUT STRENGTH = 2000 PSI
CMU GRADE N = 1500 PSI (GROUTED)
REINFORCEMENT = 60 ASTM A-615
 - CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF CONSTRUCTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		CACTUS RIDGE SUBDIVISION CMU RETAINING WALL DETAILS	
CONTRACTOR	UNIVERSAL CONSTRUCTION	DATE	3/20/92	NO.	18	BY	GCJ	DATE	3/20/92	DESIGNED BY	GCJ	DATE	3/20/92
INSPECTOR	ALBUQUERQUE	DATE	3/20/92	NO.	18	BY	GCJ	DATE	3/20/92	DRAWN BY	TSC	DATE	3/20/92
STAMPED	ALBUQUERQUE	DATE	3/20/92	NO.	18	BY	GCJ	DATE	3/20/92	CHECKED BY	GCJ	DATE	3/20/92
AT THE	UNIVERSITY HILL BLVD. AND DAVENPORT ST NW.	DATE	3/20/92	NO.	18	BY	GCJ	DATE	3/20/92	APPROVALS	ENGINEER	DATE	3/20/92
OF	PARADISE HILL BLVD. AND DAVENPORT ST NW.	DATE	3/20/92	NO.	18	BY	GCJ	DATE	3/20/92	APPROVALS	ENGINEER	DATE	3/20/92
ELEVATION	5175.786'	DATE	3/20/92	NO.	18	BY	GCJ	DATE	3/20/92	APPROVALS	ENGINEER	DATE	3/20/92
REVISIONS													
NO. DATE													
1. 8/17/92 REVISED COMMON RETAINING WALL													
2. 8/2/92 NOT TO BE BUILT													
3. 8/6/92 ADDED 5' TERRACE WALL, REVISED 4' WALL													
4. 8/6/92 ADDED 5' TERRACE WALL, REVISED 4' WALL													
5. 8/6/92 ADDED 5' TERRACE WALL, REVISED 4' WALL													
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