

RIVERTON SUBDIVISION

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

IMPROVEMENTS FOR
GRADING, PAVING AND UTILITIES

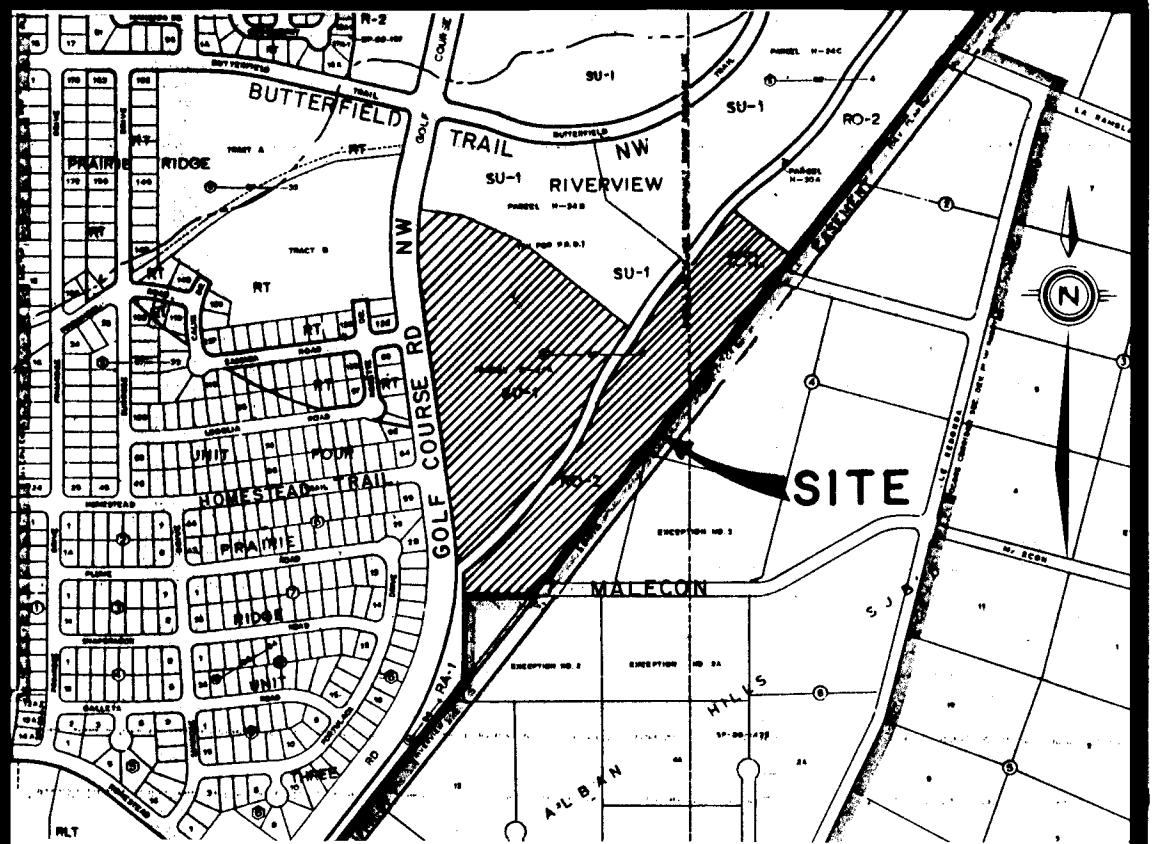
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WARNING - EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

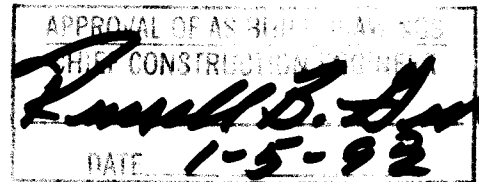
SCANNED BY
BY LASON



SCALE: 1"= 750 ± VICINITY MAP D-12-Z

GENERAL NOTES:

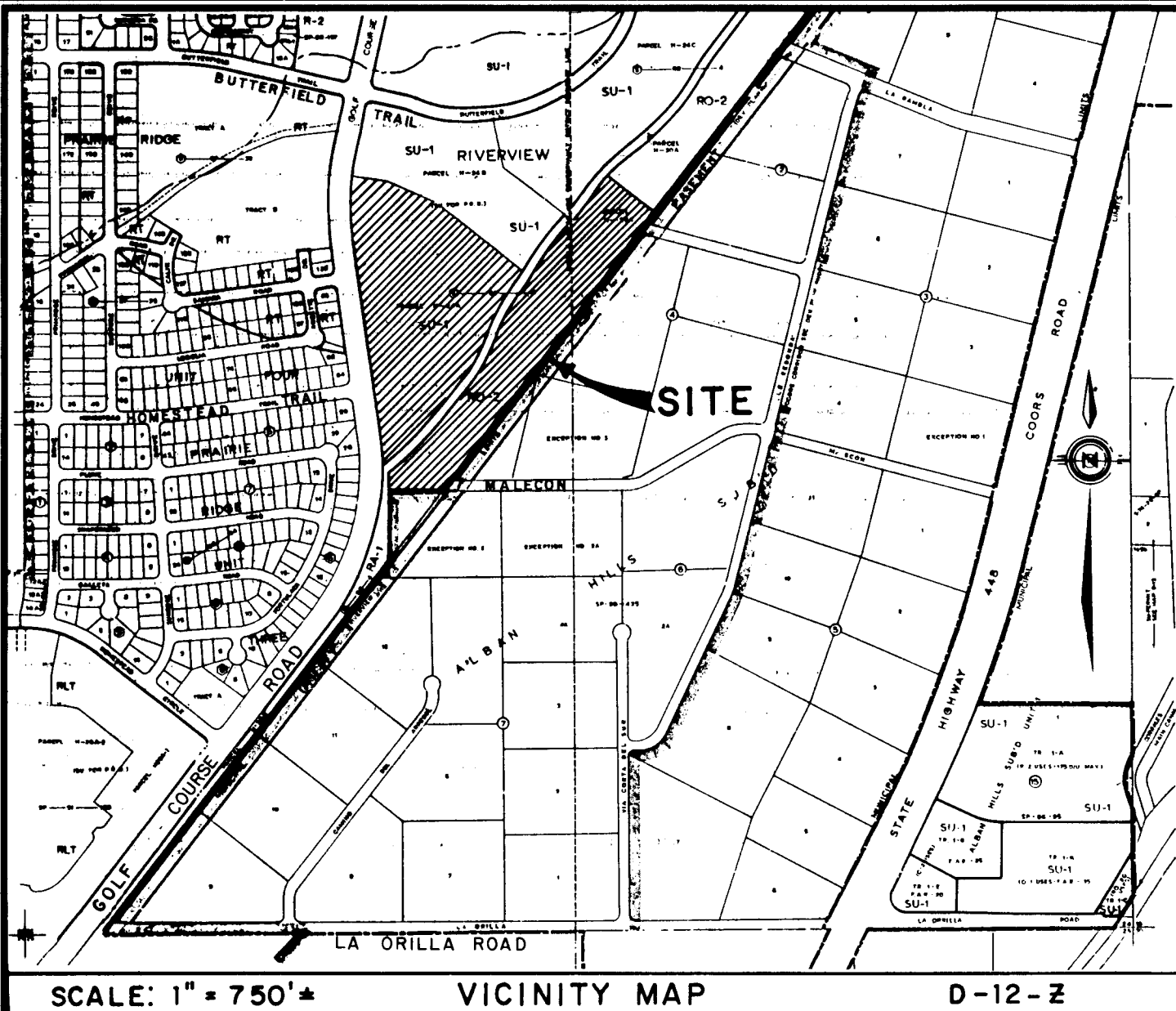
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FROM HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- THE CONTRACTOR SHALL FURNISH ENDS ON ALL WATER AND SEWER SERVICE STUBS, CAPS AND PLUGS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A BARRICADING PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. REFER TO SECTION 19 OF THE SPECIFICATIONS.
- CONCRETE BLOCKING IS REQUIRED AT ALL WATER LINE BENDS, TEES AND CAPS.
- THE PUBLIC WATER LINE MUST BE A MINIMUM OF 18" ABOVE THE SEWER LINE AT ALL CROSSINGS.
- THE CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) THREE (3) WORKING DAYS PRIOR TO NEEDING SHUT-OFF OR TURN-ON OF VALVES. ONLY CITY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVE.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
2	6	4	8	7	9	1	0	7	9	3				

13	13	9-11-92	9-11-92		
REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE

ENGINEER'S SEAL	DATE: JUNE, 1992 SCALE: 1 AS NOTED DESIGNED: SB/DH DRAWN: RDQ/SS JOB NO: 143-09-PRE	community sciences corporation LAND DRAINING ENGINEERING SURVEYING P.O. Box 1328 Corrales, N.M. 87104	APPROVED FOR CONSTRUCTION CITY ENGINEER DATE
PROJECT NO. 4487.91	SHEET 1 OF 13		

**SUBDIVISION DATA**

SUBDIVISION CASE NO. S..... DRB-91-392, V-92-17, SV-92-11
GROSS SUBDIVISION ACREAGE..... 24.8006 AC.
ZONE, ATLAS INDEX NO..... D-12-Z
NO. OF EXISTING TRACTS..... 2
NO. OF LOTS CREATED..... 65
NO. OF TRACTS CREATED..... 0
MILES OF FULL-WIDTH STREETS CREATED..... 0.5
MILES OF HALF-WIDTH STREETS CREATED..... N/A
DATE OF SURVEY..... MARCH, 1992
SP LOG NO..... 92-06-30-16-22-02-58

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHT-OF-WAYS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS (SEE NOTE 6). SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

SIVAGE THOMAS HOMES, INC.
A NEW MEXICO CORPORATION

BY: W. David Savage
W. DAVID SAVAGE, PRESIDENT

STATE OF NEW MEXICO) ss
COUNTY OF BERNALILLO)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30th DAY OF JUNE, 1992
BY W. DAVID SAVAGE, PRESIDENT OF SIVAGE THOMAS HOMES, INC., ON BEHALF OF SAID CORPORATION.

BY: Robert P. Spirock
NOTARY PUBLIC

MY COMMISSION EXPIRES: 3-25-93

DESCRIPTION

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN SECTION 24, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF PARCEL H-24A OF RIVERVIEW SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE VACATION AND REPLAT OF PARCELS H-17A, H-23, H-24, H-25 AND H-30 TO RIVERVIEW, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 28, 1989, IN MAP BOOK C39, FOLIO 29 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF RIVERVIEW PARCEL H-24A, A POINT ON CURVE ON THE EASTERLY RIGHT-OF-WAY LINE OF GOLF COURSE ROAD, N.W. (108' R/W), WHENCE THE U.S.C. & G.S. BRASS TABLET "HUGHES, 1954" (HAVING STATE PLANE GRID COORDINATES, CENTRAL ZONE OF X-371,888.59 AND Y-1,514,316.32) BEARS S51°42'12"E, 7572.94 FEET; THENCE, NORTHWESTERLY ALONG THE EASTERLY RIGHT-OF-WAY LINE OF GOLF COURSE ROAD, N.W., 138.61 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 1153.00 FEET, A CENTRAL ANGLE OF 06°53'52" AND A CHORD THAT BEARS N04°03'04"W, 138.73 FEET) TO A POINT OF TANGENCY; THENCE, N07°30'00"W, 870.00 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY, 380.56 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 1347.00 FEET, A CENTRAL ANGLE OF 16°11'15" AND A CHORD THAT BEARS N00°35'38"E, 379.30") TO THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE LEAVING THE FOREMENTIONED EAST RIGHT-OF-WAY LINE OF GOLF COURSE ROAD, N.W., ALONG THE SOUTHERLY BOUNDARY OF RIVERVIEW PARCEL H-24B, S81°18'45"E, 174.41 FEET; THENCE, S85°08'47"E, 254.58 FEET; THENCE, S51°27'10"E, 518.18 FEET TO A POINT ON CURVE ON THE WESTERLY BOUNDARY OF RIVERVIEW PARCEL H-30A AND THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE ALONG SAID WESTERLY BOUNDARY, 20.79 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 1256.25 FEET, A CENTRAL ANGLE OF 00°56'54" AND A CHORD THAT BEARS S30°35'54"W, 20.79) FEET TO A POINT OF REVERSE CURVATURE; THENCE, SOUTHWESTERLY, 36.76 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 280.00 FEET, A CENTRAL ANGLE OF 08°25'23" AND A CHORD THAT BEARS S34°20'09"W, 36.72 FEET) TO A POINT OF TANGENCY; THENCE, S38°32'50"E, 32.53 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY, 260.27 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 800.00 FEET, A CENTRAL ANGLE 128°38'26" AND A CHORD THAT BEARS S29°13'37"W, 259.19 FEET) TO A POINT OF REVERSE CURVATURE; THENCE, SOUTHWESTERLY, 289.93 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 760.00 FEET, A CENTRAL ANGLE OF 19°33'03" AND A CHORD THAT BEARS S29°40'55"W, 258.08 FEET) TO A POINT OF TANGENCY; THENCE, S39°27'27"W, 166.93 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY, 388.51 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 1797.78 FEET, A CENTRAL ANGLE OF 0°12'22"56" AND A CHORD THAT BEARS S45°38'55"W, 387.77 FEET) TO THE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED AND CONTAINING 14.7786 ACRES, MORE OR LESS.

TOGETHER WITH:

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN SECTION 24, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF PARCEL H-25A-1 OF THE PLAT OF RIVERVIEW PARCELS, BEING A REPLAT OF PARCEL H-25A RIVERVIEW PARCELS AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 6, 1992, IN MAP BOOK 92-C, FOLIO 36 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF RIVERVIEW PARCEL H-25A-1, A POINT ON THE WESTERLY BOUNDARY OF ALBAN HILLS (FILED MARCH 4, 1980; VOL. D2, FOL. 93) AND A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF MALECON STREET, N.W. (50' R/W) AT ITS MOST WESTERLY TERMINUS, WHENCE THE U.S.C. & G.S. BRASS TABLET "HUGHES, 1954" (HAVING STATE PLANE GRID COORDINATES, CENTRAL ZONE OF X-371,888.59 AND Y-1,514,316.32) BEARS S50°05'24"E, 2274.70 FEET; THENCE, N89°57'13"W, 241.80 FEET TO A POINT ON THE EASTERLY BOUNDARY OF RIVERVIEW PARCEL H-30A AND THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE ALONG SAID EASTERLY BOUNDARY, N00°04'07"E, 109.55 FEET; THENCE NORTHEASTERLY, 386.35 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 1837.77 FEET, A CENTRAL ANGLE OF 11°00'50" AND A CHORD THAT BEARS N48°27'52"E, 384.64 FEET) TO A POINT OF TANGENCY; THENCE, N39°27'27"E, 166.93 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY, 272.98 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 800.00 FEET, A CENTRAL ANGLE OF 19°33'03" AND A CHORD THAT BEARS N29°40'55"E, 271.66 FEET) TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY, 247.26 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 760.00 FEET, A CENTRAL ANGLE OF 18°38'26" AND A CHORD THAT BEARS N29°13'37"E, 246.17 FEET) TO A POINT OF TANGENCY; THENCE, N38°32'50"E, 32.53 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY, 42.63 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 290.00 FEET, A CENTRAL ANGLE OF 08°25'23" AND A CHORD THAT BEARS S34°20'09"W, 42.59 FEET) TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY, 357.60 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 1216.25 FEET, A CENTRAL ANGLE OF 16°50'45" AND A CHORD THAT BEARS N38°32'50"E, 356.31 FEET) TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY, 42.63 FEET ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID ARC HAVING A RADIUS OF 290.00 FEET, A CENTRAL ANGLE OF 08°25'23" AND A CHORD THAT BEARS N42°43'1"E, 42.59 FEET) TO A POINT OF TANGENCY; THENCE, N38°32'50"E, 123.20 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY, 19.80 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 970.00 FEET, A CENTRAL ANGLE OF 01°10'10" AND A CHORD THAT BEARS N39°07'55"E, 19.80 FEET TO THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE LEAVING THE EASTERLY BOUNDARY OF THE FOREMENTIONED RIVERVIEW PARCEL H-30A, S51°27'10"E, 289.80 FEET TO A POINT ON THE WESTERLY BOUNDARY OF ALBAN HILLS AND THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE ALONG SAID WESTERLY BOUNDARY, S38°32'50"W, 1612.24 FEET TO THE PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED AND CONTAINING 10.0219 ACRES, MORE OR LESS.

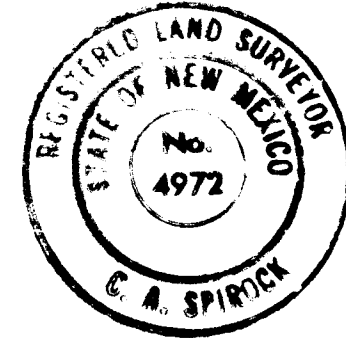
THE ABOVE DESCRIBED PARCELS CONTAIN A TOTAL OF 24.8006 ACRES, MORE OR LESS.

SURVEYOR'S CERTIFICATION:

I, C. A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

C. A. SPIROCK, N.M.R.P.S. #4972

6/30/92
DATE



SHEET 1 OF 3



SCANNED BY
BY LASON

NOTES:

- THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE RIVERVIEW PARCELS H-24A AND H-25A-1 INTO 65 SINGLE FAMILY LOTS.
- THE VACATION REQUEST IS FOR ALL OF THE BLANKET "TEMPORARY DRAINAGE EASEMENTS" RECORDED IN MISC. BOOK 458A, PAGE 366 AS DOC. NO. 87-12903 AND ANY AGREEMENTS WITH THE CITY OF ALBUQUERQUE RECORDED IN BOOK 372A, PAGE 223 AS DOC. NO. 86-64314 AFFECTING RIVERVIEW PARCEL H-24A AND PARCEL H-25A-1 SPECIFICALLY (V-92-17).
- ALL LOTS IN BLOCKS 1, 2, AND 3 SHALL HAVE A P-1 SUFFIX ON THE FINAL PLAT (P-1 DENOTES INTERMITTENT PARKING FOR PURPOSE OF DETERMINING STREET WIDTH). THE P-1 SUFFIX TO LOT NUMBERS DESIGNATES SPECIAL ON-SITE PARKING CRITERIA WHICH JUSTIFIED THE CITY ALLOWING REDUCED STREET WIDTHS IN THIS SUBDIVISION. SPECIFICALLY, THE PARKING DENSITY CATEGORY OF "INTERMITTENT" IS MET BY EACH LOT PROVIDING 4 PARKING SPACES (INCLUDING THE GARAGE) FOR 3-4 BEDROOMS AND 5 PARKING SPACES FOR 5 OR MORE BEDROOMS.
- DRIVEWAY ACCESS IS PROHIBITED FROM ANY LOT WITHIN BLOCKS 1 THROUGH 3 IN THIS SUBDIVISION TO GOLF COURSE ROAD, N.W.; SAMARA ROAD, N.W. AND THE CITY OF ALBUQUERQUE TRAIL AND PARKLAND RIGHT-OF-WAY KNOWN AS RIVERVIEW PARCEL H-30A.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- UNLESS OTHERWISE NOTED, PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE TEN (10) FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 - THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - THE GAS COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD DATA FROM DEEDS & PLATS.
- ALL DIMENSIONS PUBLISHED ALONG CURVED LINES ARE ARC DISTANCES.
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS ARE EVIDENCED BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #7270". CORNERS CREATED BY THIS PLAT SHALL BE MARKED BY A #5 REBAR WITH CAP STAMPED "P.S. #4972".
- CENTERLINE (IN LIEU OF R/W) MONUMENTATION TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A FOUR INCH ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION SURVEY MARKER DO NOT DISTURB P.L.S. 4972". A DENOTES CENTERLINE MONUMENT.
- IN ADDITION TO EASEMENTS SHOWN HEREON, THERE IS A TEN (10) FOOT WIDE PRIVATE DRAINAGE EASEMENT CENTERED ON ALL COMMON SIDE LOT LINES FOR ALL LOTS IN THIS SUBDIVISION (5' ON EACH SIDE). DOES NOT APPLY AT STREET R/W.
- BEARING BASE FOR THIS PLAT IS THE "RIVERVIEW" BULK LAND PLAT FILED FOR RECORD ON JUNE 27, 1986 IN VOLUME C-30, FOLIO 178. ROTATE ALL BEARINGS CLOCKWISE 00° 01'14" TO OBTAIN STATE PLANE GRID BEARINGS. ALL DISTANCES ARE GROUND.
- STATE PLANE COORDINATES SHOWN FOR "R-ALAMEDA B-2" ARE FROM RECORD INFORMATION. COMMUNITY SCIENCES CORPORATION COORDINATE VALUES FOR THIS STATION ARE X = 373,512.90 AND Y = 1,520,143.16.



AREAS				
LOT	BLOCK	SQ. FT.	ACRES	
1	1	8,541	0.19607	
2	1	7,562	0.17361	
3	1	7,794	0.17893	
4	1	11,718	0.26902	
5	1	16,568	0.38036	
6	1	10,427	0.23936	
7	1	10,099	0.23185	
8	1	8,495	0.19502	
9	1	8,454	0.19408	
10	1	8,524	0.19569	
11	1	9,147	0.20998	
12	1	10,124	0.23241	
13	1	9,904	0.22736	
14	1	12,902	0.29619	
15	1	9,568	0.21964	
16	1	8,271	0.18987	
TOTAL BLOCK 1		156,099	3.62946	

LOT	BLOCK	SQ. FT.	ACRES	
1	2	8,214	0.18858	
2	2	7,162	0.16442	
3	2	7,153	0.16422	
4	2	7,156	0.16434	
5	2	7,527	0.17279	
6	2	7,526	0.17278	
7	2	7,432	0.17060	
8	2	7,150	0.16414	
9	2	7,700	0.17677	
32 R/W	2	3,520	0.08081	
10	2	7,897	0.18128	
11	2	7,859	0.18042	
12	2	7,875	0.18078	
13	2	13,380	0.30717	
14	2	11,111	0.25507	
15	2	11,729	0.26927	
16	2	7,822	0.17958	
17	2	7,560	0.17356	
18	2	7,560	0.17356	
19	2	7,565	0.17367	
20	2	7,813	0.17936	
21	2	8,226	0.18885	
22	2	8,366	0.19205	
23	2	9,015	0.20697	
TOTAL BLOCK 2		194,323	4.46103	

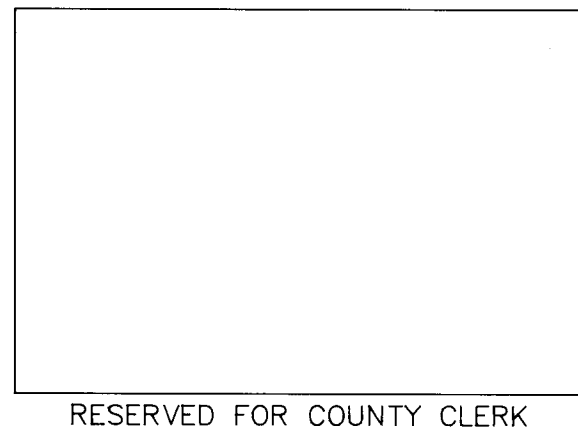
LOT	BLOCK	SQ. FT.	ACRES	
1	3	9,373	0.21517	
2	3	8,311	0.19078	
3	3	7,243	0.16627	
4	3	8,700	0.19973	
5	3	12,210	0.28031	
6	3	7,087	0.16270	
7	3	8,531	0.19585	
8	3	9,296	0.21342	
9	3	9,671	0.22203	
10	3	8,881	0.20387	
11	3	8,137	0.18680	
12	3	7,046	0.16175	
13	3	6,727	0.15443	
14	3	9,034	0.20740	
15	3	10,347	0.23753	
16	3	7,501	0.17220	
17	3	8,183	0.18785	
18	3	8,652	0.19682	
19	3	8,025	0.18423	
20	3	7,284	0.16721	
21	3	8,622	0.19754	
TOTAL BLOCK 3		178,861	4.10608	

LOT	BLOCK	SQ. FT.	ACRES	
1	4	87,311	2.00438	
2	4	87,311	2.00439	
3	4	87,311	2.00439	
4	4	87,311	2.00439	
5	4	87,311	2.00439	
TOTAL BLOCK 4		436,555	10.02192	
STREETS		112,475	2.58207	
TOTAL		1,080,313	24.80057	

VACATION OF TEMPORARY BLANKET DRAINAGE EASEMENT
AND
REPLAT OF RIVERVIEW PARCELS H-24A & H-25A-1
TO

RIVERTON SUBDIVISION

SECTION 24, T11N, R2E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 1992

**TREASURER'S CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES
ARE CURRENT AND PAID ON UPCH: 1-012-063-178296-20135 & 1-012-063-285354-10510

PROPERTY OWNER OF RECORD: SIVAGE THOMAS HOMES, INC.

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: _____ DATE: _____

APPROVALS

SUBDIVISION CASE NUMBER: S-92-11

CITY PLANNING/ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION

DATE

PARKS AND RECREATION DEPARTMENT

DATE

TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT

DATE

CITY ENGINEER, ENGINEERING DIVISION

DATE

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

DATE

WATER UTILITIES DEPARTMENT

DATE

CITY SURVEYOR, ENGINEERING DIVISION

DATE

PROPERTY MANAGEMENT

DATE

Donna Berg
GAS COMPANY OF NEW MEXICO

7-7-92
DATE

U. S. WEST

DATE

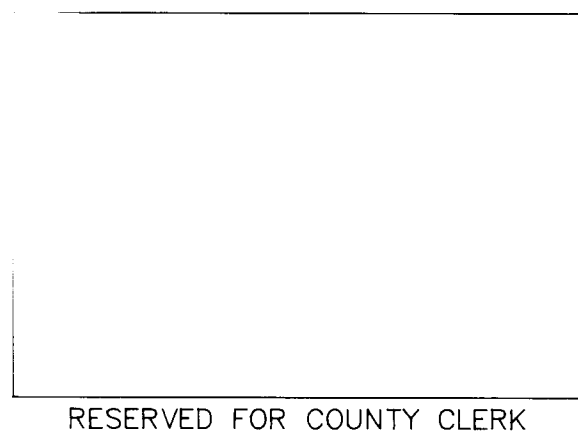
PUBLIC SERVICE COMPANY OF NEW MEXICO

DATE

VACATION OF TEMPORARY BLANKET DRAINAGE EASEMENT
AND
REPLAT OF RIVERVIEW PARCELS H-24A & H-25A-1
TO

RIVERTON SUBDIVISION

SECTION 24, T11N, R2E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 1992

**SURVEYOR'S CERTIFICATION:**

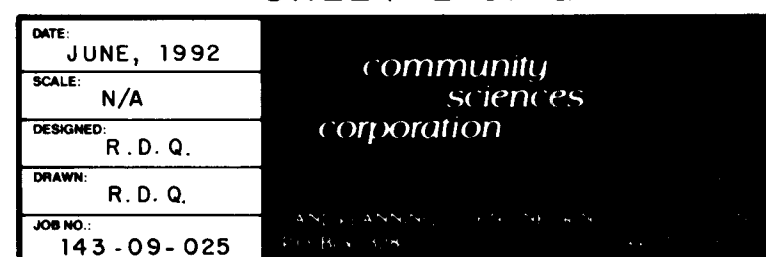
I, C. A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

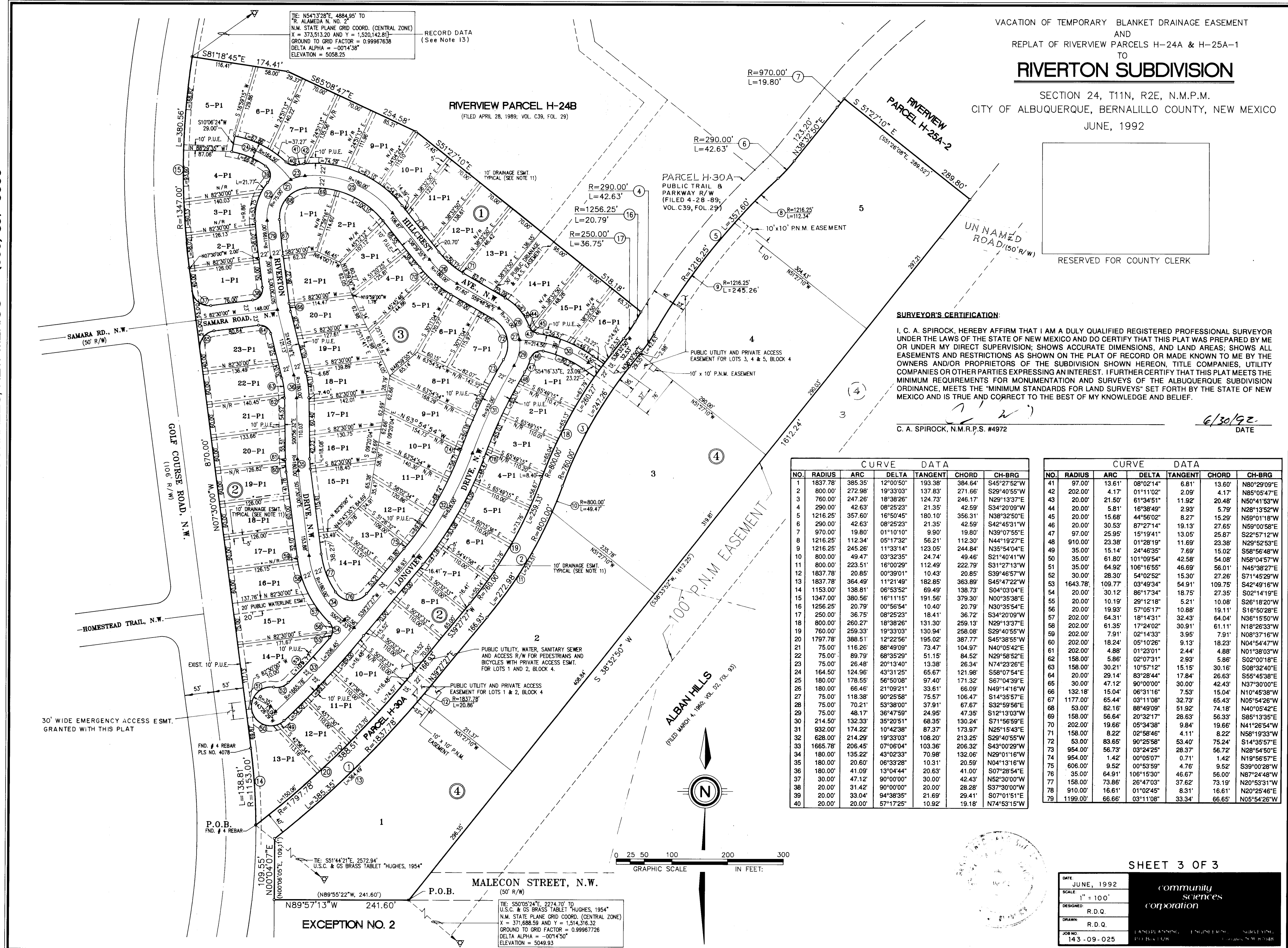
C. A. SPIROCK, N.M.R.P.S. #4972

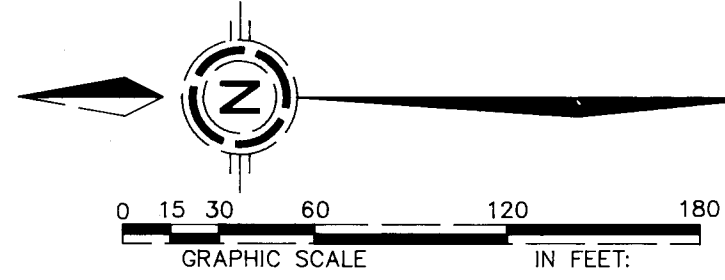
6/30/92
DATE



SHEET 2 OF 3

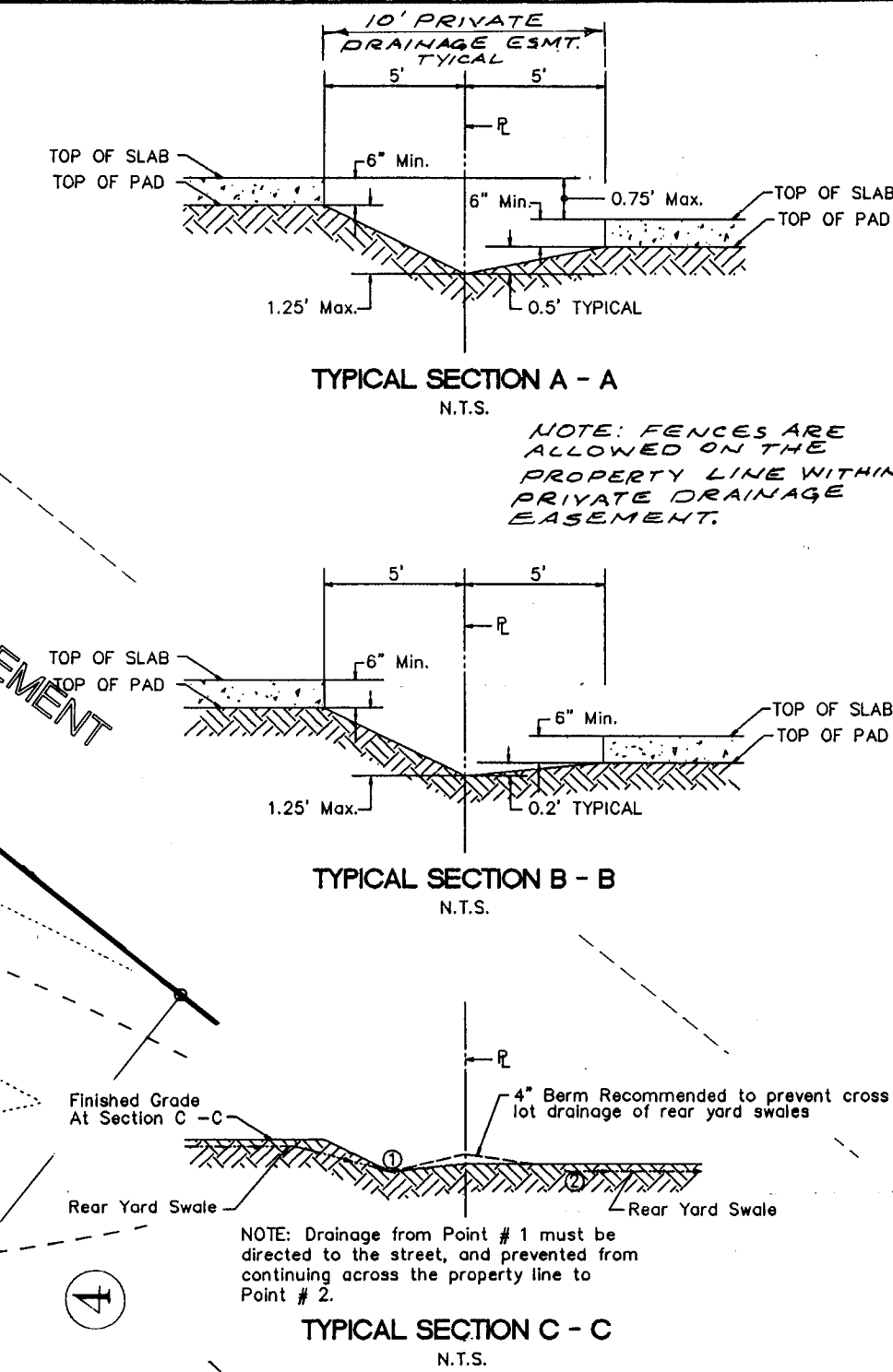






LEGEND

- X TC=21.86 PROPOSED TOP OF CURB ELEVATION
- X 75.05 PROPOSED SPOT ELEVATION
- 73.6 8 EXISTING SPOT ELEVATION (GRND & TC)
- 4973- EXISTING CONTOUR W/ INDEX ELEVATION
- PROPOSED CONCRETE VALLEY GUTTER
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- SWALE
- FLOW ARROW



LOT GRADING SPECIFICATIONS:

- CROSS LOT DRAINAGE WILL NOT BE PERMITTED. IF LOCAL CONDITIONS SHOULD DICTATE A RELAXATION OF THIS RULE, THEN THE APPROPRIATE PUBLIC OR PRIVATE DRAINAGE EASEMENTS WILL BE DEDICATED ON THE PLAT.
- CRITERIA FOR SETTING LOT ELEVATION CONTROL GRADES SHALL INCLUDE THE FOLLOWING:
 - ALL DRAINAGE SWALES AND YARD AREAS SHALL HAVE MINIMUM SLOPES OF 1% AND MAXIMUM SLOPES OF 4 HORIZONTAL TO 1 VERTICAL.
 - BUILDING PADS SHALL BE SET AT LEAST 0.2' ABOVE THE HIGHEST ELEVATION OF ADJACENT SWALES.
 - PAD ELEVATIONS WILL BE ASSUMED TO BE EQUAL TO FINISHED FLOOR OF GARAGE. MINIMUM DRIVEWAY SLOPES SHALL BE 1% AND DRIVEWAY SLOPES SHALL NOT EXCEED 14%.
 - USABLE YARD AREAS SHALL HAVE MINIMUM DIMENSIONS OF 30' X 15'. SHALL HAVE MINIMUM SLOPES OF 1% AND MAXIMUM SLOPES OF 5%.
- WHERE YARD GRADES OF ADJACENT LOTS AT PROPERTY LINES CANNOT BE MATCHED USING THE ABOVE CRITERIA, RETAINING WALL SHALL BE PROVIDED TO ACCOMMODATE GRADE DIFFERENTIALS.

SPECIAL FHA REQUIREMENTS:

- LONGITUDINAL GRADIENT OF DRIVEWAY SHALL NOT BE LESS THAN ONE PERCENT (1%) NOT STEEPER THAN TEN PERCENT (10%), IF DRIVEWAY ALSO IS USED AS A REQUIRED WALK. IF USED ONLY AS A DRIVEWAY, THE LONGITUDINAL GRADIENT SHALL NOT EXCEED 14% (1 IN 7).
- PROVIDE MINIMUM FALL AWAY FROM STRUCTURE OF 6 INCHES IN 10 FEET, EXCEPT AS RESTRICTED BY SIDE LOT LINES OR OTHER FROST CONDITIONS. THE HORIZONTAL LENGTH OF SUCH SLOPES MAY BE REDUCED AS NECESSARY AT BUILDING CORNERS AND SIDE YARDS.
- SIDEWALK GRADIENT SHALL NOT EXCEED 10%.
- SLOPES SHALL NOT EXCEED FOUR-TO-ONE (4 TO 1).

NOTE FOR GRADING FILL SLOPE ON H-24B. THE FILL SLOPE WAS ORIGINALLY DESIGNED AT 2:1. EARTHWORK VOLUMES WERE CALCULATED ACCORDINGLY. AFTER THE CONCEPTUAL & FINAL GRADING PLAN WAS REVIEWED & APPROVED BY THE CHAIRMAN OF THE OGA WITH A 2:1 SLOPE, AND AFTER THE COMMENCEMENT OF THE GRADING OPERATION, IT WAS REQUESTED THAT THIS SLOPE BE CHANGED TO 3:1. THIS WILL BE ACCOMPLISHED IF & ONLY IF THERE IS ENOUGH EXCESS MATERIAL IN ANY CASE. FINAL SLOPE WILL BE ON THE RECORD DRAWINGS.

Delete Per Mike Yost (CSC) on 08/05/92

NOTE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT PRIOR TO GRADING.

EARTHWORK ESTIMATE
CUT = 24,830 C.Y.
FILL = 16,550 C.Y.
C/F = 1.5

NOTE: Where a balanced site is expected to result in a C/F = 1.39, this site is expected to produce 1,820 C.Y. excess material which is to be disposed of as directed by Savage Thomas Homes.

DATE: 5-22-92
SCALE: 1"=60'
DESIGNED: D.H.
DRAWN: R.D.G.
JOB NO: 143-09-PRE

community sciences corporation

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: RIVERTON SUBDIVISION

GRADING PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRIC CHAIRMAN	Roger Green	8-11-92	WATER	N/A RWK	7-31-92
TRANSPORTATION	8-05-92		WASTE WATER	N/A RWK	7-31-92
HYDROLOGY	8-06-92				

PROJECT NO. 4487.91
MAP NO. D-12
SHEET 4 OF 13

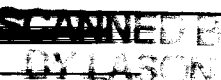
TYPICAL LOT DETAIL

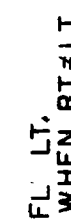
N.T.S.
FINISHED GRADE AROUND PERIMETER OF HOUSE SHALL BE A MIN. OF 8" BELOW TOP OF CONC. SLAG
(SEE SECTIONS THIS SHEET)

APPROVED FOR ROUGH GRADING
(± 1 FT.)

APPROVED BY: [Signature]
DATE: 6-25-92

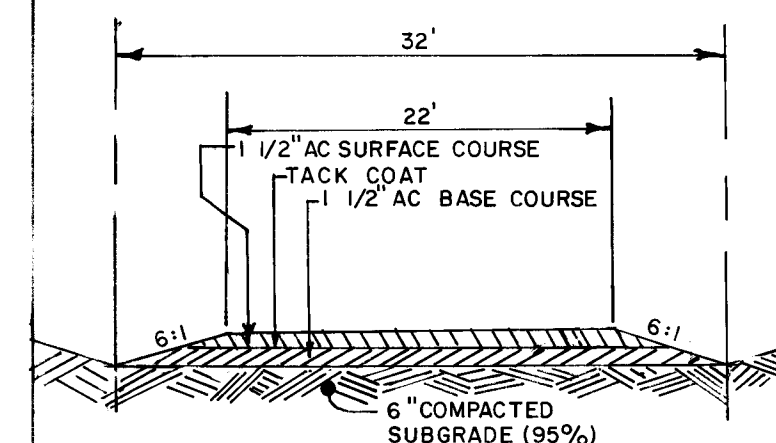
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* NOTE: 4" THICK WELL GRADED LANDSCAPE STONE ($d_{75}=2"$) MAY BE SUBSTITUTED FOR GRAVEL BASE COURSE.

SECTION A-A
NTS



SECTION B-B
NTS

SCANNED
BY LAD

	4	5	6	7	8	9	10	11	12	13	14
26	44	87	.	9	10	89	3				

DATE:	JUNE, 1992		
SCALE:	1" = 50' H ₁ 1" = 5' V.		
DESIGNED:	D. H. / S. B.		
DRAWN:	S. P. S.		
JOB NO.:	143-09-050		

*community
sciences
corporation*

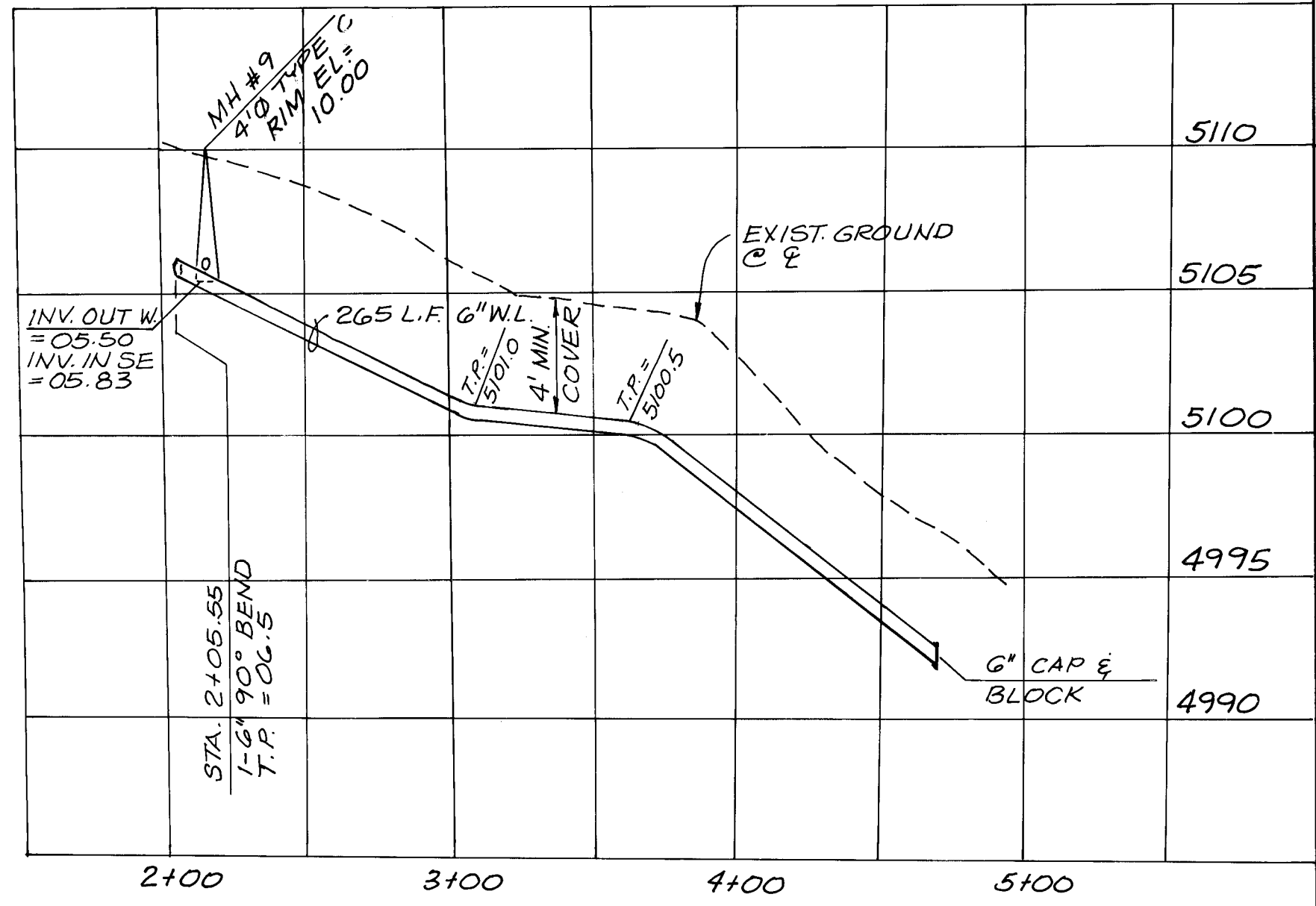
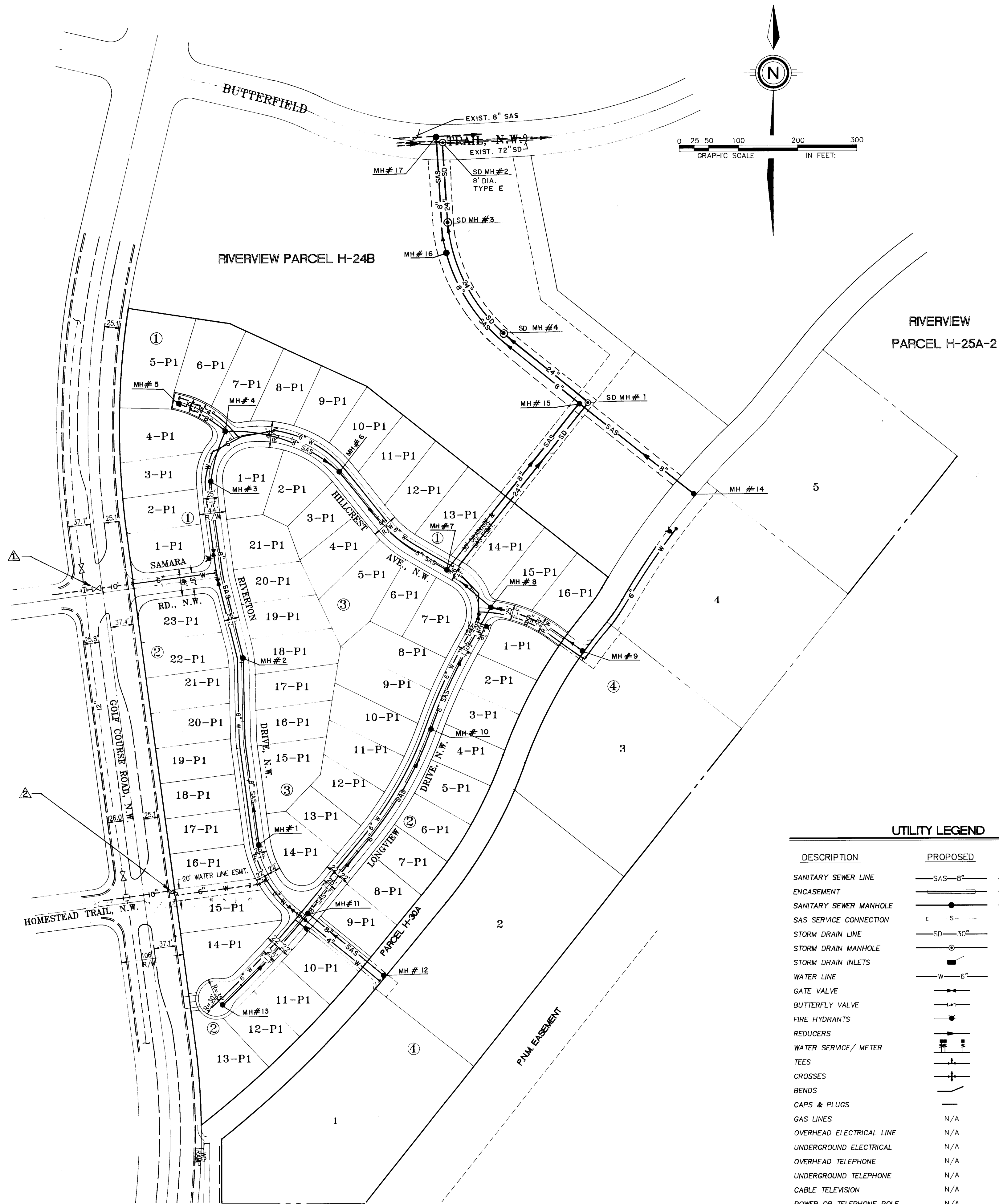
LAND PLANNING	ENGINEERING	SURVEYING
P.O. Box 1328		Corrales N.M. 87048

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE RIVERTON SUBDIVISION-PAVING PLAN & PROFILE
LONGVIEW DRIVE, N.W.

DATE: 8-11-92	TIME: 10:00	LOCATION: 7-31-92
NAME: ROYAL, R. A.	WATER: N/A	WATER: RWK 7-31-92
TRANSPORTATION: 8-05-92	WASTE: WATER	N/A RWK 7-31-92
THROUGH: 8-06-92		

PROJECT NO.	4487.91	MAP NO.	D-12	SHEET	8	OF	13
-------------	---------	---------	------	-------	---	----	----



6" WATERLINE PROFILE C

1" = 50' HORIZ.
1" = 5' VERT.

NOTE:
WATERLINE ELEVATIONS TO BE
FIELD VERIFIED & ADJUSTED
AS NECESSARY TO MAINTAIN
A MINIMUM OF 4' DEPTH OF
COVER BELOW NATURAL
GROUND ELEVATION.

WATER VALVE SHUT-OFF PLAN

1. VALVES Δ AND Δ SHALL BE SHUT OFF SO THAT NON-PRESSURE CONNECTIONS CAN BE MADE.
2. CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) THREE (3) WORKING DAYS PRIOR TO NEEDING TO THE VALVES SHUT OFF. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.

UTILITY LEGEND		
DESCRIPTION	PROPOSED	EXISTING
SANITARY SEWER LINE	—SAS—8"	—SAS—8"
ENCASEMENT	—S—	—S—
SANITARY SEWER MANHOLE	—S—	—S—
SAS SERVICE CONNECTION	—S—	—S—
STORM DRAIN LINE	—SD—30"	—SD—30"
STORM DRAIN MANHOLE	—SD—	—SD—
STORM DRAIN INLETS	—SD—	—SD—
WATER LINE	—W—6"	—W—6"
GATE VALVE	—G—	—G—
BUTTERFLY VALVE	—B—	—B—
FIRE HYDRANTS	—F—	—F—
REDUCERS	—R—	—R—
WATER SERVICE/ METER	—WS—	—WS—
TEES	—T—	—T—
CROSSES	—C—	—C—
BENDS	—B—	—B—
CAPS & PLUGS	—CP—	—CP—
GAS LINES	N/A	—G—2" H.P.
OVERHEAD ELECTRICAL LINE	N/A	—OE—
UNDERGROUND ELECTRICAL	N/A	—UE—
OVERHEAD TELEPHONE	N/A	—OT—
UNDERGROUND TELEPHONE	N/A	—UT—
CABLE TELEVISION	N/A	—CT—
POWER OR TELEPHONE POLE	N/A	—P—

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4487.91 0993

DATE:	JUNE, 1992
SCALE:	1" = 100'
DESIGNED:	S.B./D.H.
DRAWN:	S.S.
JOINT:	143-09-050

community sciences corporation

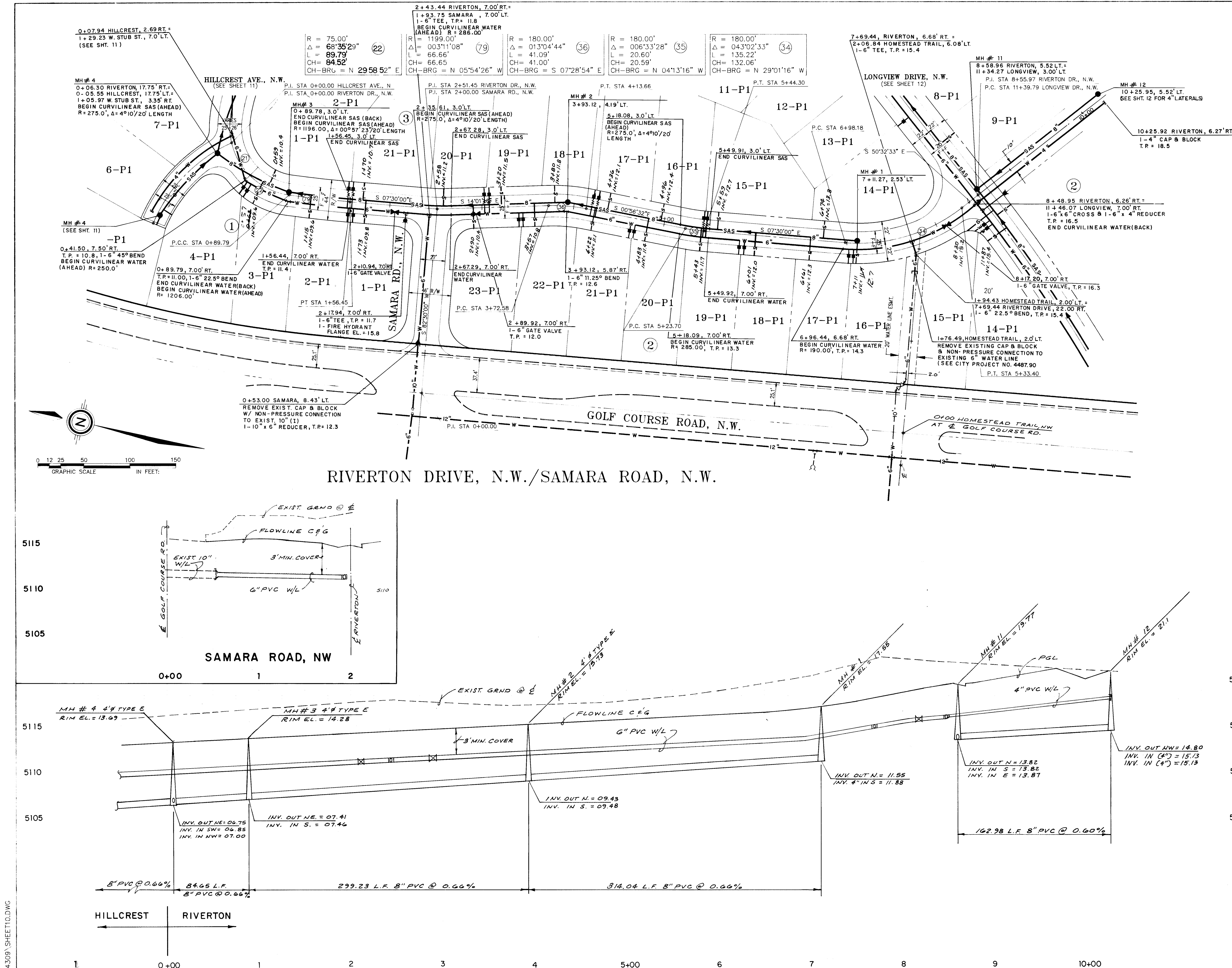
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: RIVERTON SUBDIVISION
COMPOSITE UTILITY PLAN

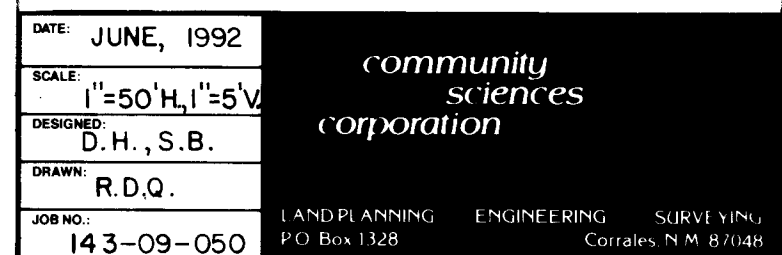
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRG CHAIRMAN	R. W. Kane	8-11-92	WATER	R. W. Kane	7-31-92
TRANSPORTATION	N. R. Ryo	8-05-92	WASTE WATER	R. W. Kane	7-31-92
HYDROLOGY	S. R. Ryo	8-06-92			

PROJECT NO.	4487.91	MAP NO.	D-12	SHEET	9	OF	13
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ENGINEER'S SEAL			SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
			NO.	1	DATE	3/92	CONTRACTOR	C.C.M.
			BY	C.S.C.	DATE	3/92	INSPECTOR	A.C.S.
			REMARKS		DATE		FIELD CHARGE BY	M. J. Kane
			DESIGN		DATE		VERIFICATION BY	A.C.S.
			NO.		DATE		CORRECTED BY	A.C.S.
			REVISIONS		DATE		RECORDED BY	
			DESIGNED BY	S.B./D.H.	DATE	JUNE, 1992	NO.	
			DRAWN BY	S.S.	DATE	JUNE, 1992	NO.	
			CHECKED BY		DATE		NO.	
					DATE		NO.	



AS BUILT INFORMATION DATE: 7/16/92 BY: CCM CHECKED: N. J. KANE DATE: 7/16/92 MICRO FILM INFORMATION	
BENCH MARKS CSC TBM - NAIL AND SHINER LOCATED ON EAST SIDE OF MEDIAN TOP OF ASPHALT CURB GOLF COURSE ROAD, N.W. APPROX. 90' NORTH OF THE INTERSECTION OF GOLF COURSE ROAD AND HOMESTEAD TRAIL. N.W. ELEVATION = 5118.34	
SURVEY INFORMATION FIELD NOTES BY: CJC NO: 1	
ENGINEER'S SEAL 	
REVISIONS NO. DATE 1 JUNE, 1992 2 JUNE, 1992	
DATE: JUNE, 1992 SCALE: 1" = 50' H., 5' V. DESIGNED: DH/SB DRAWN: S.P.S. JOB NO.: 143-09-050 COMMUNITY SCIENCES CORPORATION LAND PLANNING ENGINEERING SURVEYING P.O. Box 1328 Corrales, N.M. 87048	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: RIVERTON SUBDIVISION - UTILITY PLAN & PROFILE RIVERTON DRIVE, NW & SAMARA ROAD, NW	
PROJECT NO.: 4487.91 MAP NO.: D-12 SHEET: 10 OF 13	



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE RIVERTON SUBDIVISION
UTILITY PLAN & PROFILE
HILLCREST AVENUE, NW

ADDRESS	DATE	NAME
SEX (MALE/F)	8-11-92	WATER
TRANSPORTATION	W/ RHO	8-05-92
TELEPHONE	S. Albery	08-06-92

R.W. Kane 7-31-92
A.W. Kane 7-31-92

PROJECT NO. 4487.91	MAP NO. D-12	SHEET 11 OF 13
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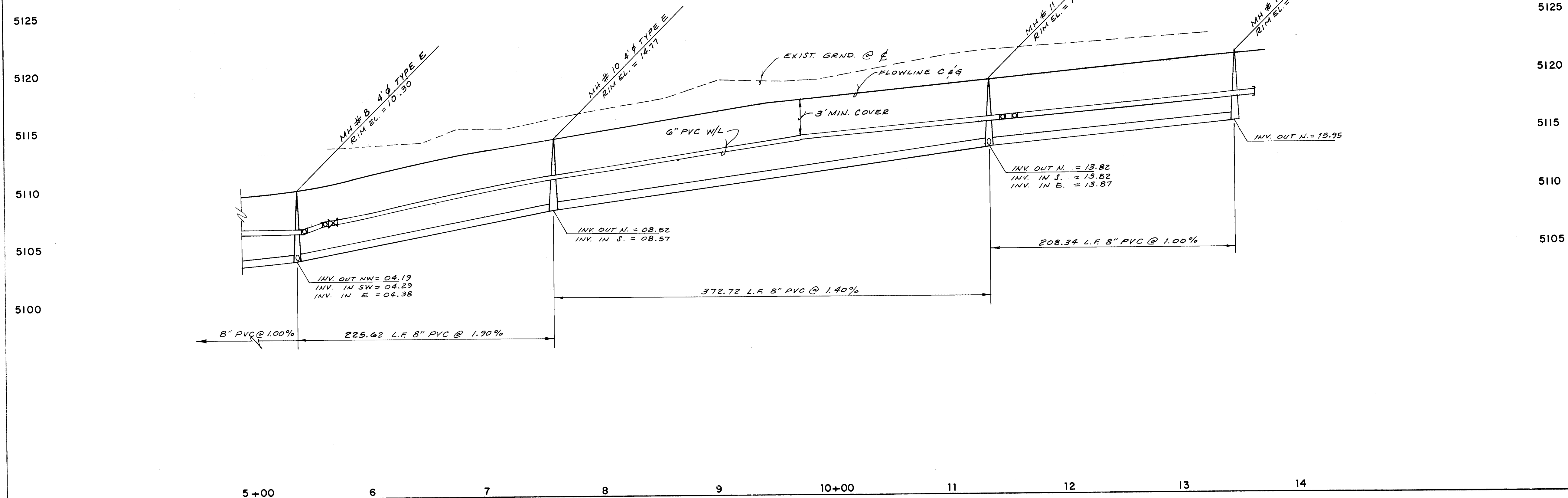
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		NO.	FIELD NOTES				
			DATE	CSC TBM - NAIL AND SHINER LOCATED ON EAST SIDE OF MEDIAN TOP	CCM	DATE	
			BY	OF ASPHALT CURB GOLF COURSE ROAD, N.W. APPROX. 90' NORTH OF	CLS	DATE	
			<i>csc</i>	THE INTERSECTION OF GOLF COURSE ROAD AND HOMESTEAD TRAIL,	CLS	DATE	
				N.W. ELEVATION = 5118.34	CLS	DATE	
					CLS	DATE	
					MICRO-FILM INFORMATION	DATE	
		REMARKS					
		REVIEWS					
		USE SIGN					
		D.H., S.B.	DATE JUNE, 1992				
		R.O.Q.	DATE JUNE, 1992				
			DATE				

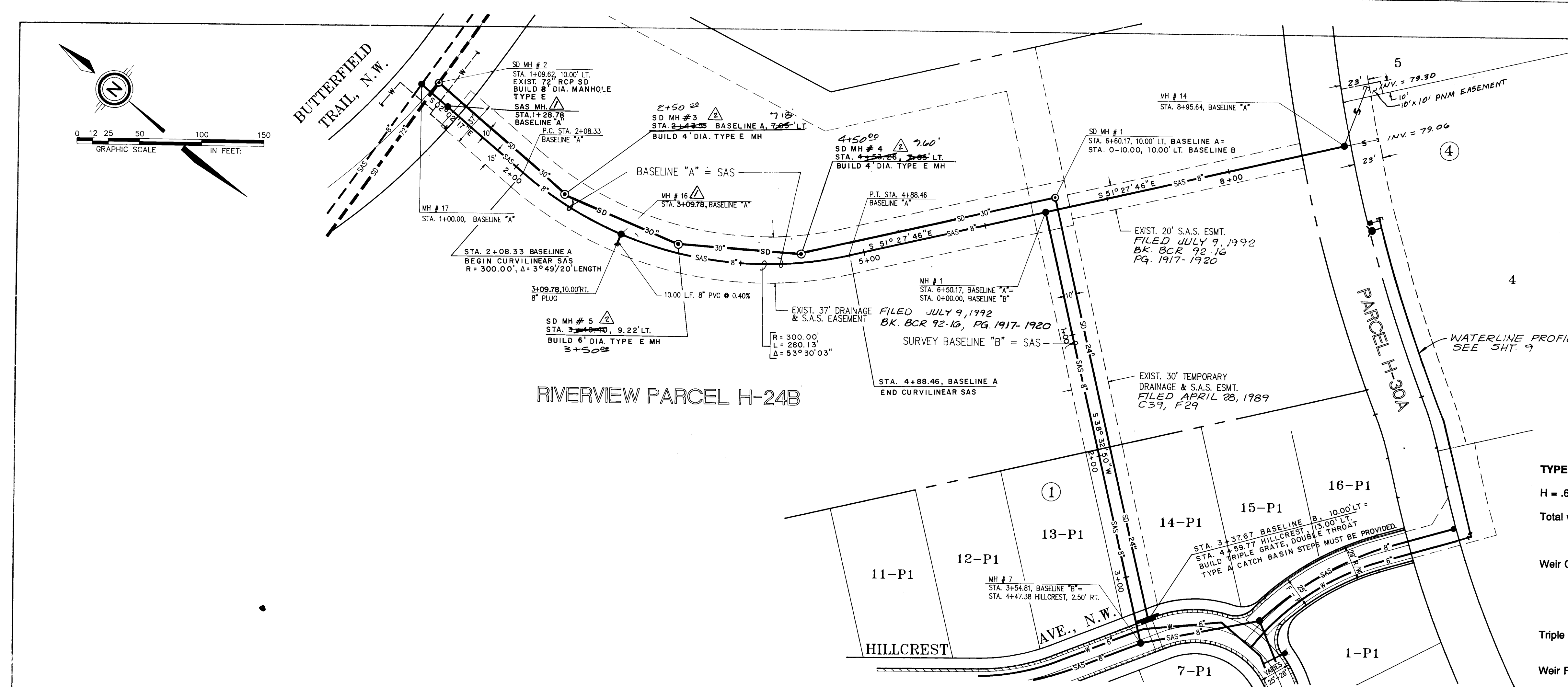
PROFILE
ENROUTE
PARTMENT
RILEY

VENUE, NW

R.W. Kane 7-31-92
A.W. Kane 7-31-92

SHEET 11 OF 13

[illegible]



TYPE A DOUBLE THROAT TRIPLE GRATE INLET CAPACITY CALCULATIONS

H = .67' Curb Height + .2' above TC - 0.12' to Lip of Gutter = .75'

Total weir length measured at lip of gutter is:

$$18.85' + 4 = 22.85'$$

Weir Capacity at lip of gutter is:

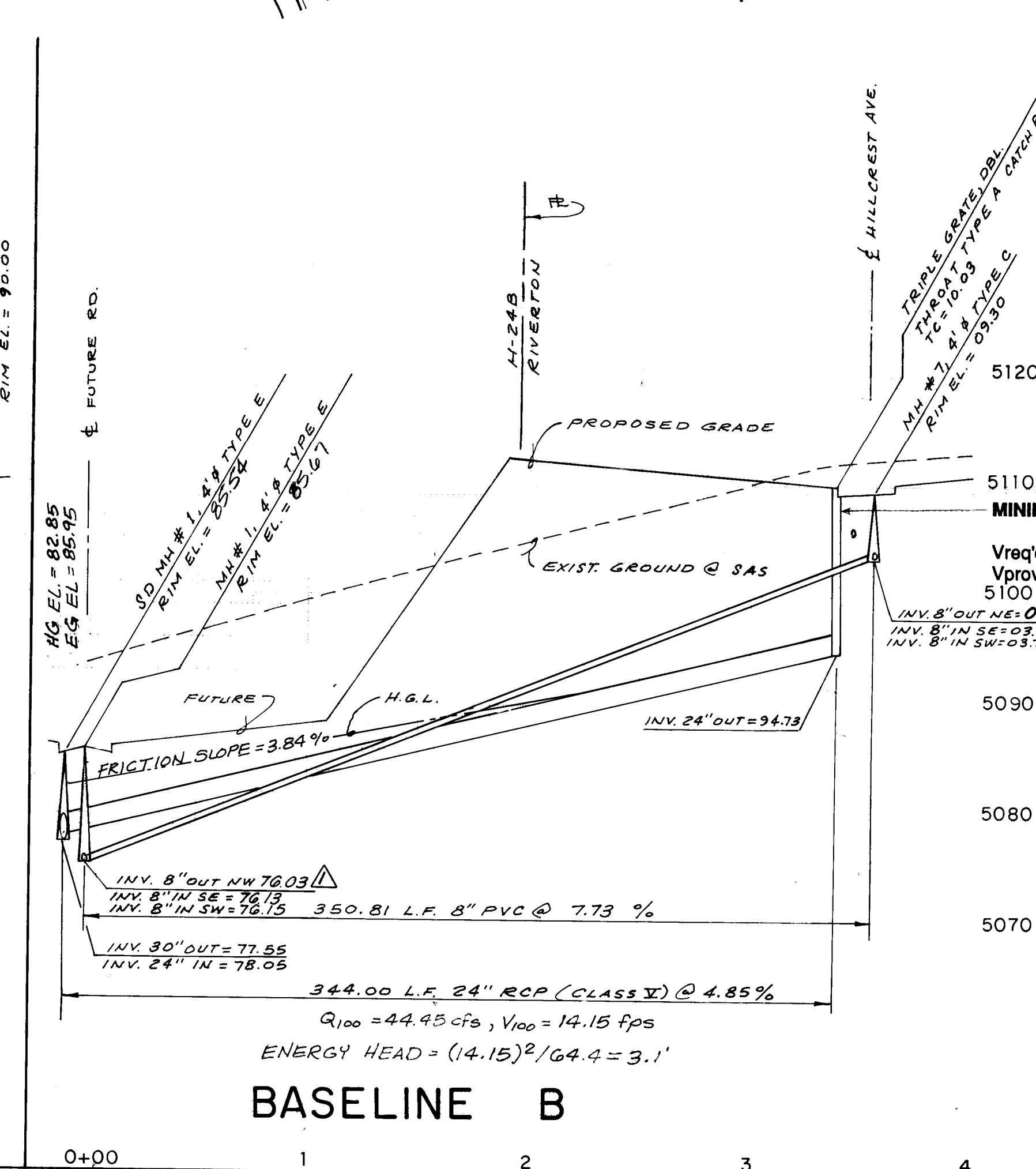
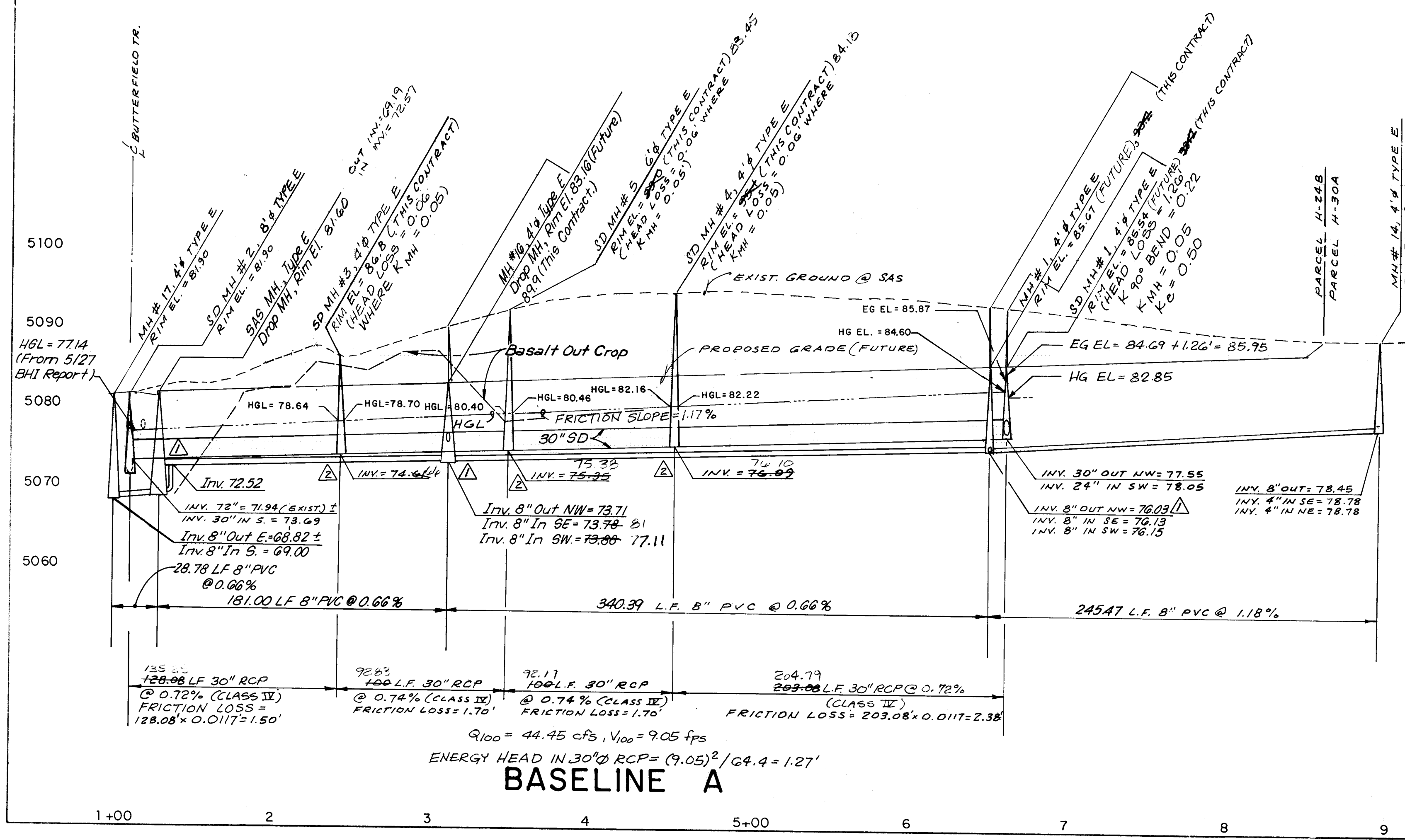
$$Q_{100} = 3.0 \times 22.85 \times (0.75)^{1.5} = 44.52 \text{ cfs}$$

$$Q_{100} = 44.45 \text{ cfs OK}$$

$$\text{Triple Grate Capacity} = 3 \times 4.10 \text{ sf} \times 0.66 (2g \times 0.92)^{0.5}$$

$$= 62.49 \text{ cfs}$$

Weir Flow along lip of Gutter controls the Capacity of this grate.



MINIMUM DEPTH OF CATCH BASINS (V)

$V_{req'd} = 1.33 + 1.2 \sqrt{2g} + 2' = (\text{min. per 22.3-D-2-c-1})$

$V_{provided} = 110.03 - 94.73 = 15.30' \text{ OK}$

26 4487.91 1393

DATE: JULY, 1992
SCALE: 1"=50'H, 1"=10'V
DESIGNED: S.B./D.H.
DRAWN: S.P.S.
JOB NO: 143-09-050

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: RIVERTON SUBDIVISION-UTILITY PLAN & PROFILE

STORM SEWER & SANITARY SEWER OUTFALL

APPROVAL: ENGINEER: DATE: APPROVAL: DATE:
DIR. CHAIRMAN: R. Kane 7-31-92
TRANSPORTATION: S. Kane 8-05-92
HYDROLOGY: S. Kane 8-05-92

PROJECT NO. 4487.91 MAP NO. D-12 SHEET 13 OF 13

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS	
DATE	BY	DATE	BY	NO.	DATE	DATE	DATE	DATE	DATE
7/92	CCM	7/92	CCM	1	7/92	7/92	7/92	7/92	7/92
CSC TRM - NAIL AND SHINER LOCATED ON EAST SIDE OF MEDIAN TOP OF ASPHALT CURB GOLF COURSE ROAD, N.W. APPROX. 90' NORTH OF THE INTERSECTION OF GOLF COURSE ROAD AND HOMESTEAD TRAIL, N.W. ELEVATION = 5118.34		CSC TRM - NAIL AND SHINER LOCATED ON EAST SIDE OF MEDIAN TOP OF ASPHALT CURB GOLF COURSE ROAD, N.W. APPROX. 90' NORTH OF THE INTERSECTION OF GOLF COURSE ROAD AND HOMESTEAD TRAIL, N.W. ELEVATION = 5118.34		CSC TRM - NAIL AND SHINER LOCATED ON EAST SIDE OF MEDIAN TOP OF ASPHALT CURB GOLF COURSE ROAD, N.W. APPROX. 90' NORTH OF THE INTERSECTION OF GOLF COURSE ROAD AND HOMESTEAD TRAIL, N.W. ELEVATION = 5118.34		CSC TRM - NAIL AND SHINER LOCATED ON EAST SIDE OF MEDIAN TOP OF ASPHALT CURB GOLF COURSE ROAD, N.W. APPROX. 90' NORTH OF THE INTERSECTION OF GOLF COURSE ROAD AND HOMESTEAD TRAIL, N.W. ELEVATION = 5118.34		CSC TRM - NAIL AND SHINER LOCATED ON EAST SIDE OF MEDIAN TOP OF ASPHALT CURB GOLF COURSE ROAD, N.W. APPROX. 90' NORTH OF THE INTERSECTION OF GOLF COURSE ROAD AND HOMESTEAD TRAIL, N.W. ELEVATION = 5118.34	