

BARSTOW PARK

7907 BARSTOW ST. N.E.

INDEX OF DRAWINGS

TITLE

SHEET

COVER SHEET

1

SURVEY PLAN

2

SITE AND GRADING PLAN

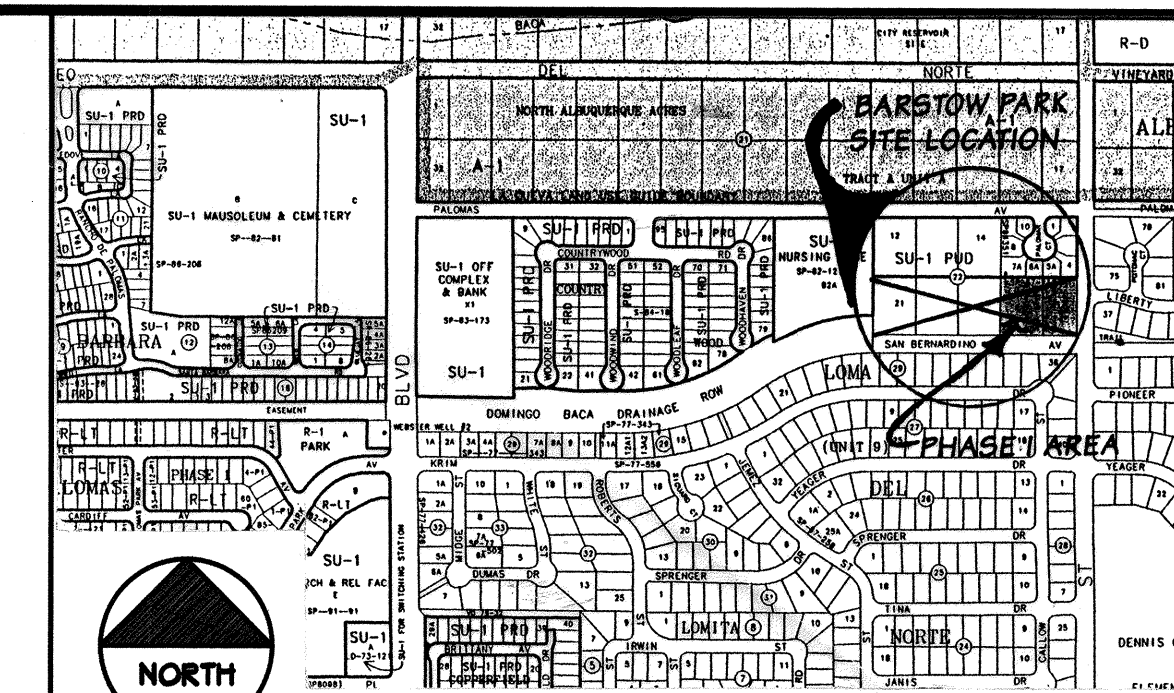
3

DETAILS

4

CONSTRUCTION PLAN

5



VICINITY MAP ZONE ATLAS NO. D-19-Z

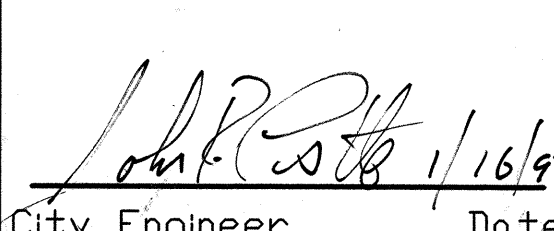
NOTICE TO CONTRACTORS

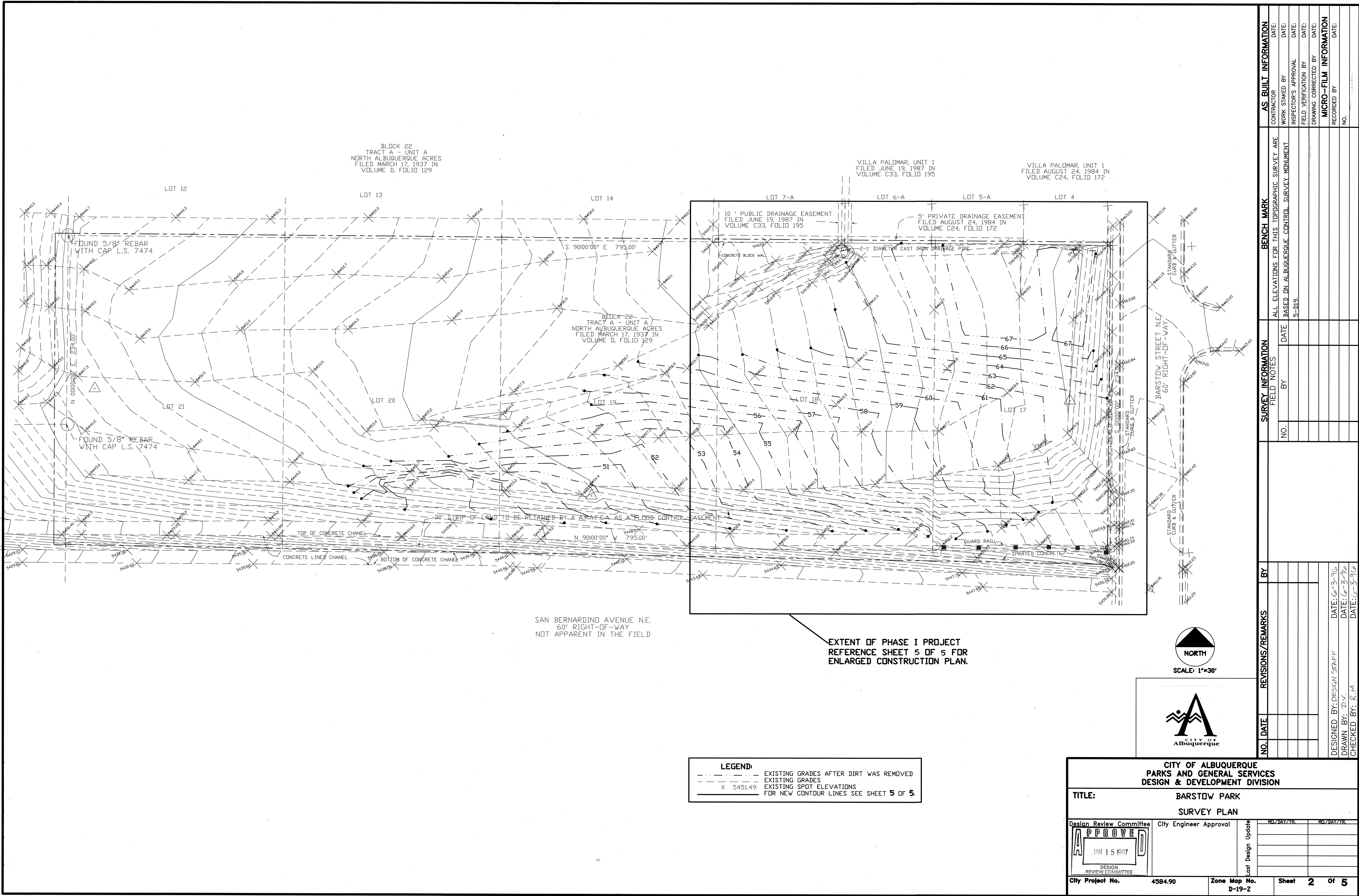
- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with City of Albuquerque Standard Specifications, Public Works Construction - 1986 Edition, as amended through Update #6.
- Two (2) working days prior to any excavation, contractor must contact Line Locating Service, 260-1990 for location of existing utilities.
- Prior to construction, the contractor shall verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with a minimum amount of delay.
- Contractor shall notify the Engineer not less than seven (7) days prior to starting work, in order that the Engineer may take necessary measures to insure the preservation of survey monuments. Contractor shall not disturb permanent survey monuments without the consent of the Engineer and shall notify the Engineer and bear the expense of replacing any that may be disturbed without permission. Replacement shall be done only by the City of Albuquerque Survey Section. When a change is made in the finish elevation of the pavement of any roadway in which a permanent survey monument is located, contractor shall, at his own expense, adjust the monument cover to new grade, unless otherwise specified.

THE FOLLOWING ALSO APPLY WHEN CHECKED

- ☐ All utilities and utility service lines shall be installed prior to paving.
- ☐ Backfill compaction shall be according to specified street use.
- ☐ Tack coat requirements shall be determined by the city engineer.
- ☐ Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- ☐ If curb is depressed for a driveway or ramp, it shall be constructed prior to acceptance of the curb and gutter.
- ☐ All storm drainage facilities shall be completed prior to final acceptance.



REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE		APPROVED FOR CONSTRUCTION	
		DRC Chairman		Billy G. Gable		1-15-97		 City Engineer Date	
		Transportation		R. B. Gable		12-27-96			
		Water/Wastewater		R. B. Gable		9-5-96			
		Hydrology		C. Montoya		12-30-96			
		Parks		John E. McNary		8-26-96			
Constr. Mngmt.		David L. Carter		12-20-96					
		City Project No.		4584.90		Sheet		1 Of 5	



TIME: 6-17-97 7:50

DWG: M:\CAD\306208\BARSSP01.DWG

HN

VILLA PALOMAR, UNIT 1
FILED JUNE 19, 1987 IN
VOLUME C33, FOLIO 195

VILLA PALOMAR, UNIT 1
FILED AUGUST 24, 1984 IN
VOLUME C24, FOLIO 172

LOT 7-A

LOT 6-A

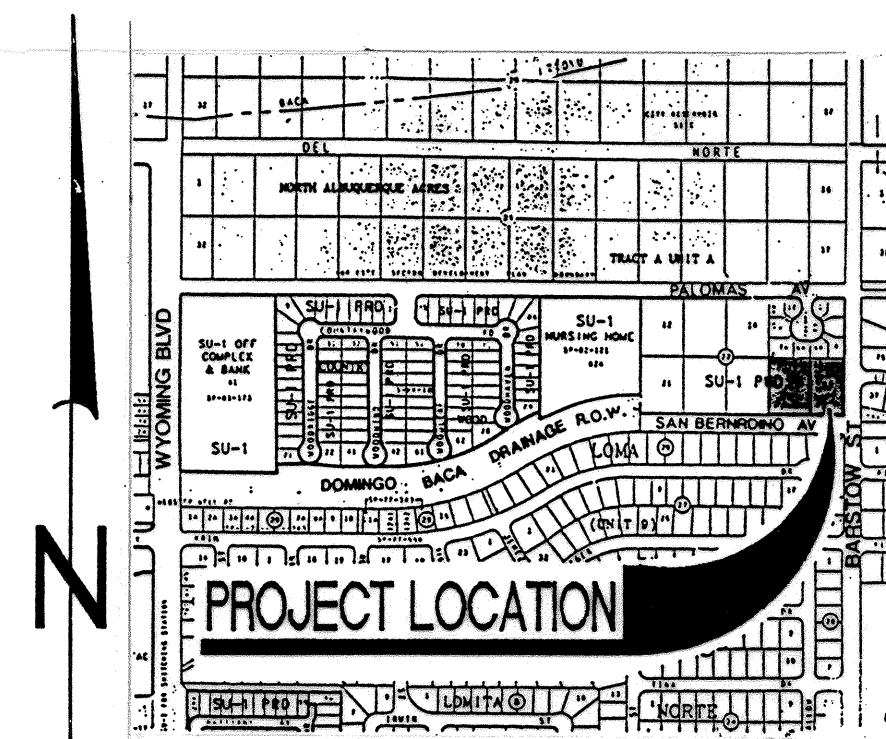
LOT 5-A

LOT 4

10' PUBLIC DRAINAGE EASEMENT
FILED JUNE 19, 1987 IN
VOLUME C33, FOLIO 195

5' PRIVATE DRAINAGE EASEMENT
FILED AUGUST 24, 1984 IN
VOLUME C24, FOLIO 172

SCALE: 1" = 20'



VICINITY MAP
MAP NO. D-19

LEGAL DESCRIPTION:
LOTS 17-21 INCLUSIVE, BLOCK 22, TR. A,
UNIT A, NORTH ALBUQUERQUE ACRES.

EROSION CONTROL PLAN

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHT-OF-WAY, PUBLIC AND/OR PRIVATE LAND DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED ON ANY ADJOINING AREAS.

CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING A "TOP SOIL DISTURBANCE PERMIT," PROTECTING ADJACENT PROPERTY FROM SEDIMENT (SEE ABOVE NOTE) AND REPAIRING ANY DAMAGE PROMPTLY.

EXISTING SITE CONDITIONS

THE EXISTING SITE IS PRESENTLY UNDEVELOPED. MOST OF THE EXISTING DRAINAGE FLOWS SOUTHWESTERLY AND EXITS THE SITE AT THE SOUTHWEST CORNER OF THE SITE WHERE IT PARALLELS THE EXISTING LINED DOMINGO BACA CHANNEL AND EVENTUALLY ENTERS THE CHANNEL SOME DISTANCE DOWNSTREAM. A SMALL AREA ON THE EAST SIDE OF THE SITE DRAINS EASTERLY ONTO BARSTOW STREET.

PROPOSED SITE DRAINAGE PLAN

THE DEVELOPED SITE WILL INCLUDE A GRAVEL ACCESS PATH, CONCRETE SIDEWALKS, THREE SHADE STRUCTURES WITH PICNIC TABLES MOUNTED ON CONCRETE SLABS, AND ONE TRASH RECEPTACLE ADJACENT TO BARSTOW STREET.

THE PROPOSED DRAINAGE PLAN WILL INCLUDE THREE DRAINAGE AREAS. AREA 1 IS AN EXISTING SWALE WHICH WILL BE MAINTAINED IN ITS EXISTING CONDITION, TO FLOW OFF SITE TO THE WEST. AREA 2 IS THE LARGEST AREA OF THE DEVELOPED SITE AND IT WILL DRAIN TO THE SOUTHWEST AND WILL ENTER THE DOMINGO BACA CHANNEL THROUGH A CONCRETE RUNDOWN. AREA 3 WILL DRAIN SOME DEVELOPED FLOW ONTO BARSTOW STREET.

LEGEND

DESCRIPTION	EXISTING	NEW
CONTOUR	— 51 —	— 62 —
SPOT ELEVATION	5451.9	5440.5
DRAINAGE BOUNDARY		
DRAINAGE AREA		②

KEYED NOTES:

- BUILD NEW RETAINING WALL. SEE DETAIL A, SHEET 5.
- SEE SHEET 5 FOR CONSTRUCTION PLAN.

EXISTING DRAINAGE CONDITIONS				DEVELOPED DRAINAGE CONDITIONS			
ZONE 4	TREATMENT	VOL ₃₀₀ (ACRE-FT)	Q ₁₀₀ (CFS)	TREATMENT	VOL ₃₀₀ (ACRE-FT)	Q ₁₀₀ (CFS)	
DRAINAGE AREA 1	0.07 ACRES C	0.10	0.26	0.07 ACRES C	0.10	.26	
DRAINAGE AREA 2	1.43 ACRES C	2.09	5.33	1.38 ACRES C	2.15	5.40	
DRAINAGE AREA 3	0.14 ACRES C	0.28	0.67	0.05 ACRES D	0.39	0.82	
	0.03 ACRES D			0.12 ACRES D			
TOTAL	1.67 ACRES			1.60 ACRES			

APPROVED FOR CONSTRUCTION

John Kelly 12/16/96
AMFCA DATE:

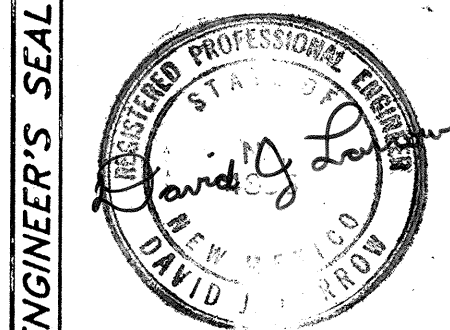
HN
Holmes & Narver

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **BARSTOW PARK
SITE AND GRADING PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
JAN 15 1997			
DESIGN REVIEW COMMITTEE			

City Project No. **4584.90** Zone Map No. **D-19** Sheet **3** Of **5**



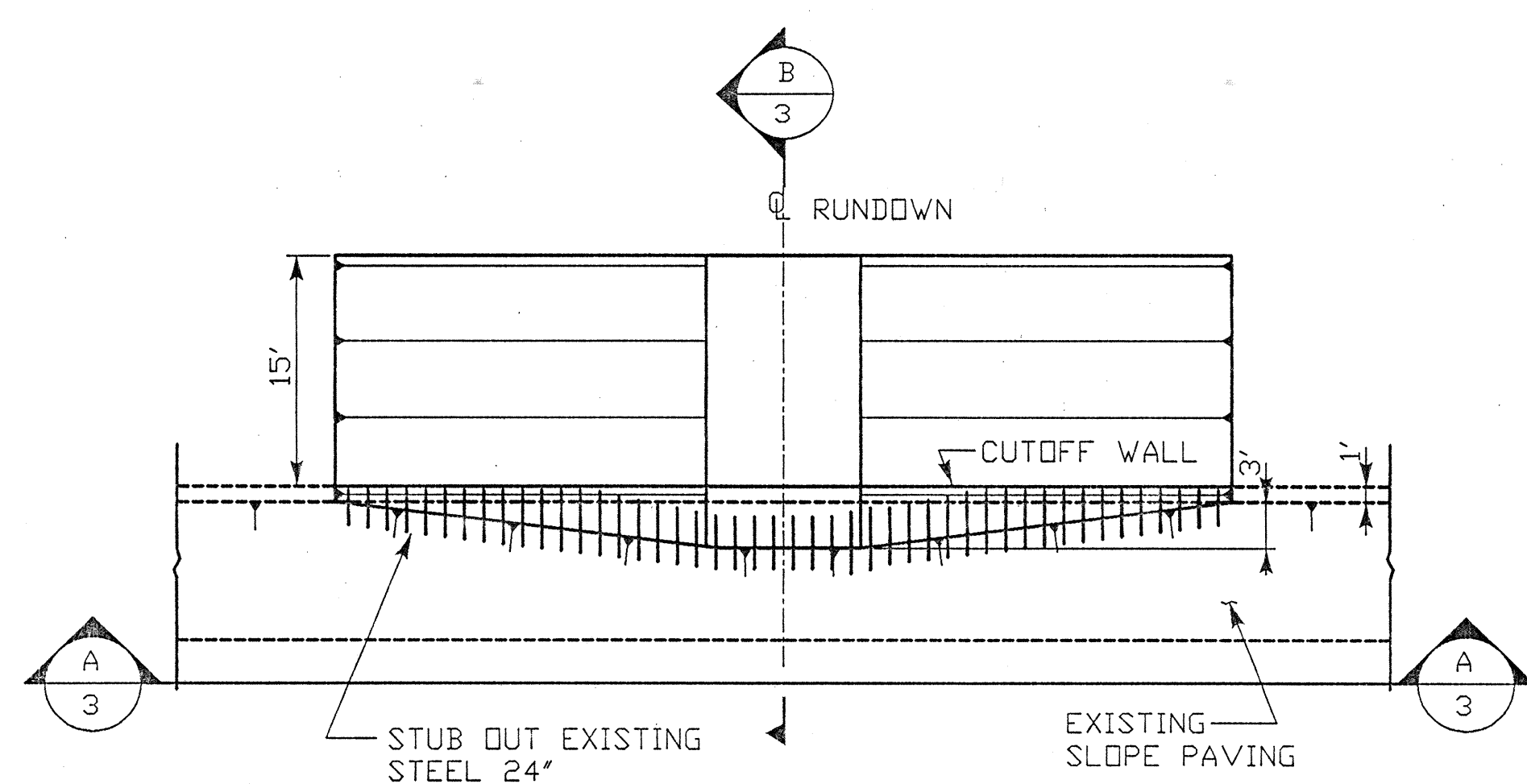
6-19-97

NO.	DATE	REVISIONS	BY
1		DESIGN	
DESIGNED BY: D.J. LARROW DATE: NOV. 1996			
DRAWN BY: J.L. MOORE DATE: NOV. 1996			
CHECKED BY: R.L. BELL DATE: NOV. 1996			

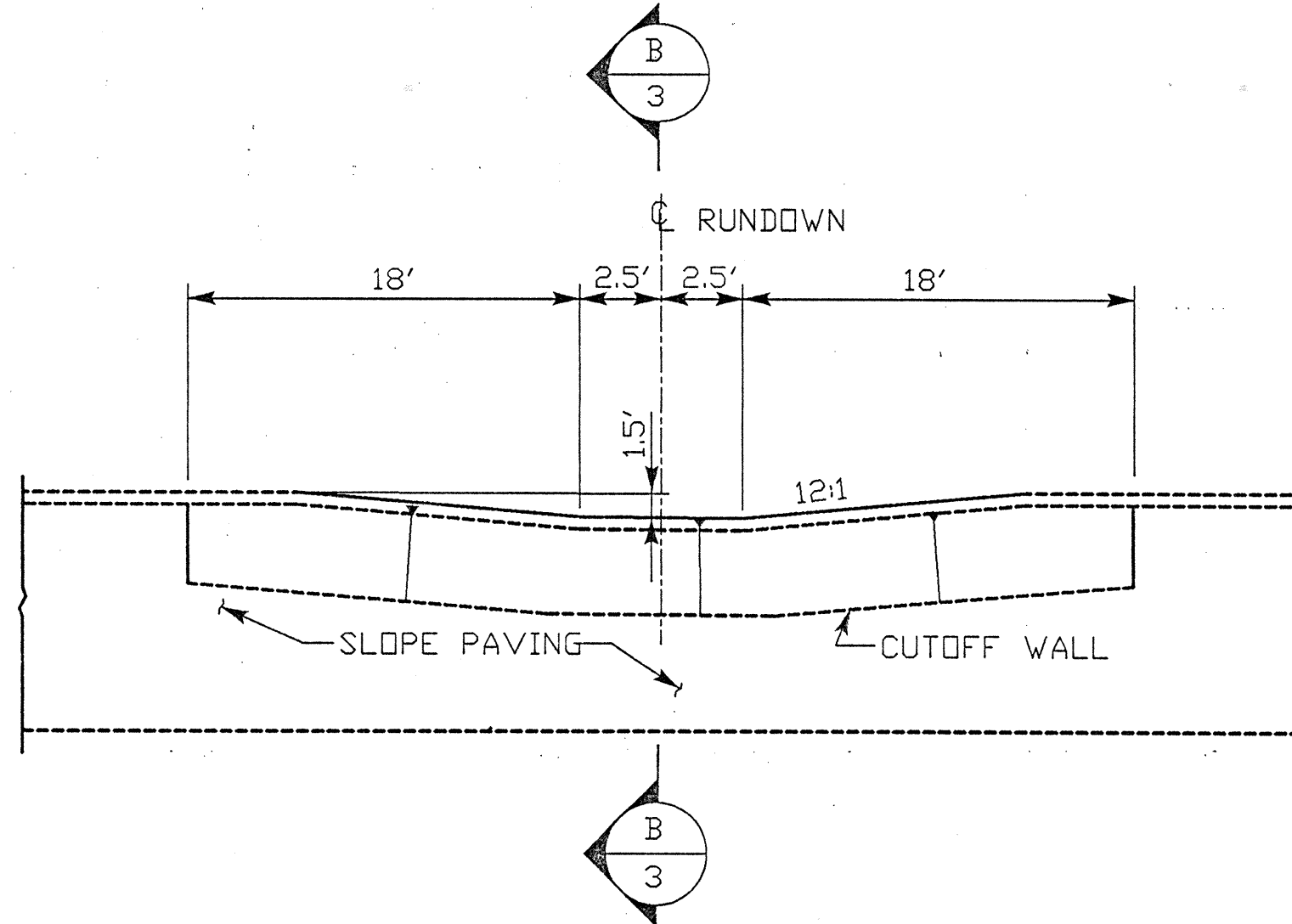
AS BUILT INFORMATION			
CONTRACTOR	DATE	DATE	DATE
B.M. NO. 5-D19	DATE	DATE	DATE
A SQUARE CHISELED ON TOP OF CONCRETE CURB AT THE WNW RETURN LOCATED AT THE INTERSECTION OF YEAGER DR., NE AND BARSTOW ST., NE	DATE	DATE	DATE
ELEV 5464.57	DATE	DATE	DATE

SURVEY INFORMATION			
FIELD NOTES	DATE	DATE	DATE
NO. 1	JEFF MORTENSON	11/93	

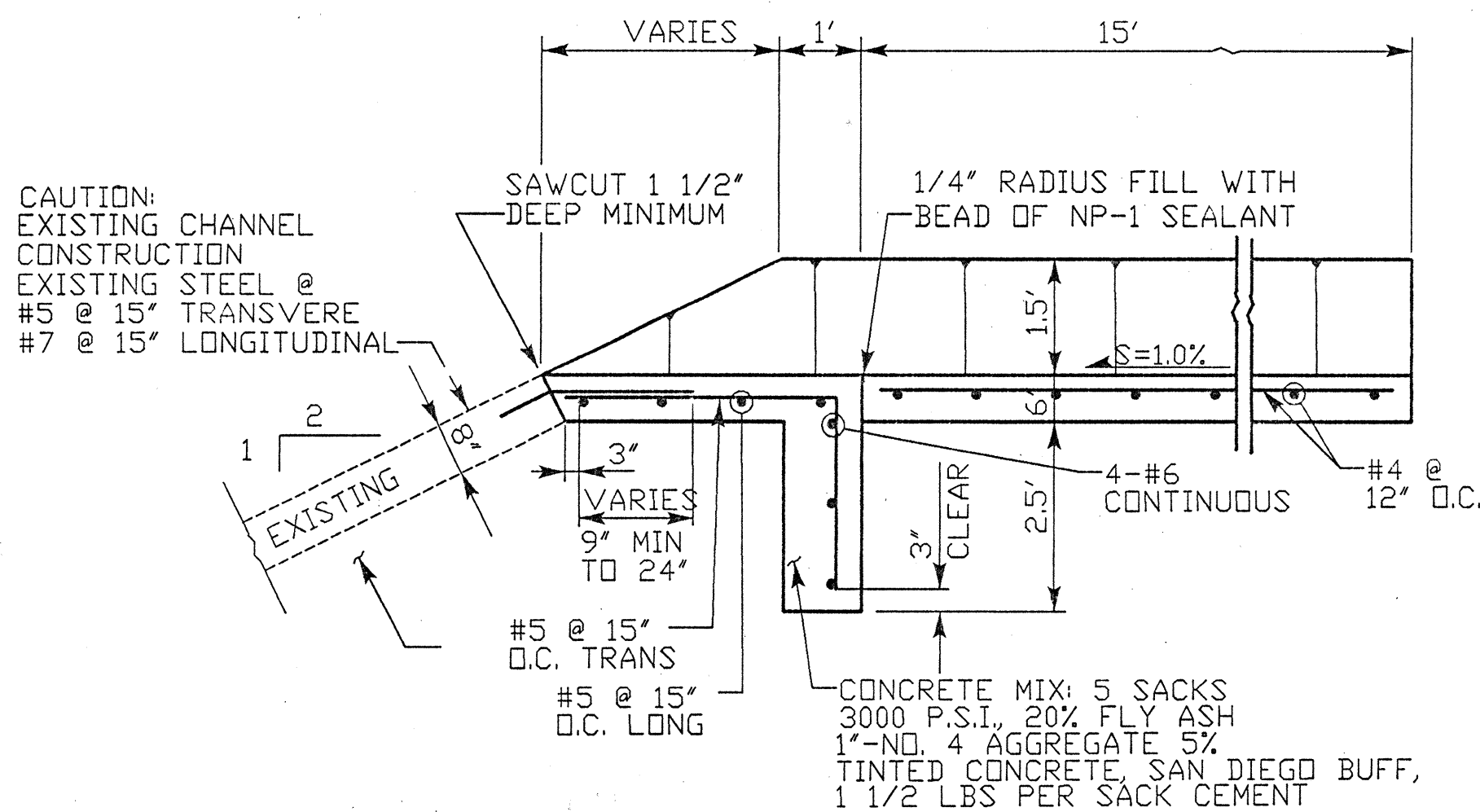
ENGINEER'S SEAL			
DATE	DATE	DATE	DATE



RUNDOWN PLAN
SCALE: NOT TO SCALE



SECTION
SCALE: NOT TO SCALE



SECTION
SCALE: NOT TO SCALE

APPROVED FOR CONSTRUCTION

John Kelly 12/16/96
AMAFCA DATE

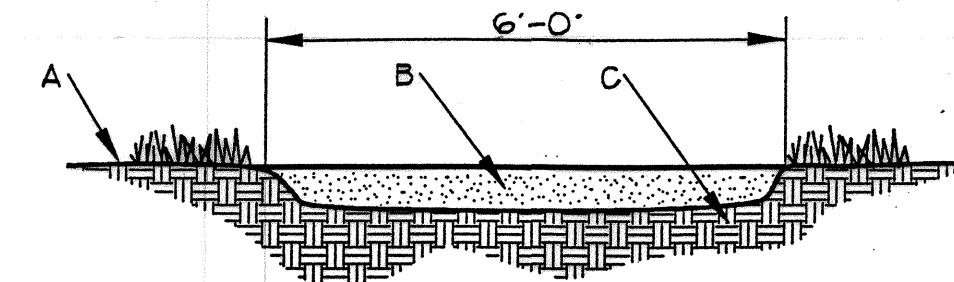


CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: BARSTOW PARK DETAILS	
DESIGNED BY: J.L. LARROW DATE: NOV. 1996	CITY ENGINEER APPROVAL [Signature] DATE: NOV. 1996
DRAWN BY: J.L. MOORE DATE: NOV. 1996	CHECKED BY: R.L. BELL DATE: NOV. 1996
City Project No. 4584.90	Zone Map No. D-19
Sheet 4 Of 5	

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VILLA PALOMAR, UNIT 1
FILED AUGUST 24, 1984 IN
VOLUME C24, FOLIO 172



A. EXISTING GRADE

B. 4" DEEP CRUSHER FINES PREMIXED W/ STABILIZER AT THE RATE OF 12 LBS. OF STABILIZER PER TON OF CRUSHER FINES. AVAILABLE THROUGH: WESTERN MOBILE INC. EXCAVATE WITH A BOBCAT MACHINE, SPREAD AND LEVEL. APPLY WATER AND ROLL W/ HEAVY ROLLER ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

C. SUBGRADE COMPACTION (SEE SECTION 301) CITY STANDARD SPECIFICATIONS

C. SUBGRADE COMPACTION (SEE SECTION 301) CITY STANDARD SPECIFICATIONS.

SCALE: NTS

SCALE: NTS

T.O.G. TOP OF GROUND

T.O.S. TOP OF CONCRETE SLAB

 5463 NEW SPOT ELEVATION

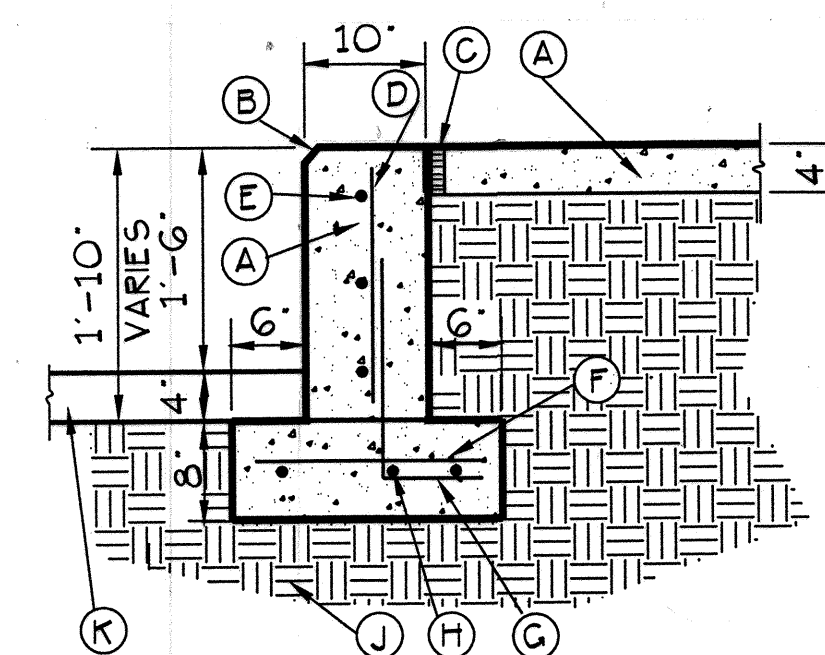
X 5463.0 EXISTING SPOT ELEVATIONS

EXPANSION JOINT

----- CONTROL JOINT

— — — — — PROPERTY LINE

- 1) 4" DEEP CRUSHER FINES MIXED WITH STABILIZER AT THE RATE OF 12 LBS. OF STABILIZER PER TON OF CRUSHER FINES. EXCAVATE WITH A BOBCAT MACHINE, SPREAD AND LEVEL. APPLY WATER AND ROLL WITH HEAVY ROLLER ACCORDING TO MANUFACTURER'S SPECIFICATIONS. REFERENCE DETAIL B
- 2) 4000 PSI CONCRETE SLAB 4" THICK. REFERENCE CITY STANDARD DWG. 2720.
- 3) POLYGON HEX SERIES SHADE STRUCTURE MODEL NUMBER HEX 28M AVAILABLE THRU LEISURE DESIGN SYSTEMS INC.. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.
COLOR: BRIGHT RED
POSTS AND CEILING COLOR: WELLBORN PAINT MAHOGANY # Q2-68U
- 4) CONCRETE SIDEWALK 5% SLOPE FOR WHEEL CHAIR ACCESSIBILITY. SEE CITY STANDARD DWG. 2720.
- 5) 6' WABASH VALLEY PICNIC TABLE SINGLE PEDESTAL-INGROUND MODEL NO. 5606. AVAILABLE THRU THE PLAYWELL GROUP. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. INSTALL TABLES AT 31" FROM TOP OF TABLE TO FINISH FLOOR FOR WHEEL CHAIR ACCESS. FOOTING SIZE 24" DEEP X 12" WIDE.
COLOR: RED PLASTISOL AND FRAMES.
TOTAL OF 2 PICNIC TABLES
- 6) RESEED PHASE I CONSTRUCTION AREA WITH NATIVE SEED FOR VALLEY AND EAST SIDE AREA SEED, BROADCASTED AS PER CITY STANDARD SPECIFICATIONS SECTION 1012.
- 7) DIMENSION BASE LINE IS EDGE OF BACK OF CURB AND EXISTING WALL.
- 8) TRASH RECEPTACLE RINCONADA III.
- 9) NEW SIDEWALK TO MATCH EXISTING SIDEWALK ELEVATION WHERE NEW SIDEWALK MEETS EXISTING SIDEWALK.
- 10) PARKING SPACE STRIPING TO BE INSTALLED WHEN PARKING LOT IS INSTALLED IN THE FUTURE.
- 11) MATCH ELEVATION GRADE AT MATERIAL CHANGE.
- 12) RETAINING WALL REFERENCE DETAIL A



1. CONTROL JOINTS SHALL BE PLACED AT 5' O.C..
2. EXPANSION JOINTS SHALL BE PLACED AT 20' O.C..

A 4000 PSI CONCRETE WITH BRUSH FINISH.
B 1" CHAMFER.
C 1/2" EXPANSION JOINT MATERIAL.
D #4 REBAR AT 12' O.C.
E #4 REBAR HORIZONTAL AND CONTINUOUS.
F #4 REBAR AT 12' O.C.
G #4 DOWELS AT 12' O.C.
H 3 #5 REBAR CONTINUOUS.
I SUBGRADE COMPACTED TO 95%. (SEE SECTION 301).
K SOIL OR MATERIAL SPECIFIED ON PLANS.

SCALE: $3/4" = 1' - 0"$



SCALE: 1"=20'



CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN + DEVELOPMENT DIVISION

TITLE: **BARSTOW PARK
CONSTRUCTION PLAN**

Design Review Committee

City Engineer Approval

MO./DAY/YR	MO./DAY/YR
------------	------------

FIGURE 1

Up

IAN 15 1997

sign		
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55 JAN 13 1987

1. *Journal of the American Medical Association*, 277: 1005-1006, 1997.

De		
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DESIGN
REVIEW COMMITTEE

ast		
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City Project No.

	Zone M
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No	Sheet 5	Of 5
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City Project No. _____

4584.90

-2