CONSTRUCTION PLANS FOR

SUN TERRACE AT PEPPERTREE

DRAINAGE, GRADING, PAVING, AND UTILITY IMPROVEMENTS

SHEET INDEX

1. TITLE SHEET
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7. MIMOSA CT./BALSA CT. – UTILITIES
8. GRADING DETAILS
9. WALL DETAILS

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Russell B. Fink
DATE 1-25-94

RECORD DRAWING CERTIFICATION

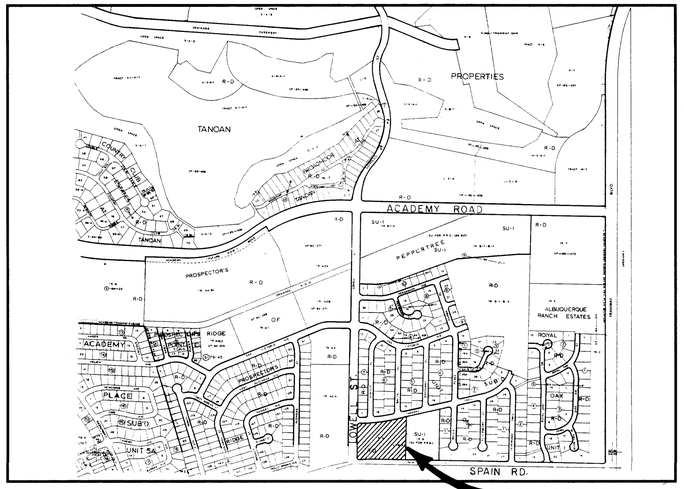
I, Rick Beltramo, a registered professional engineer in the state of New Mexico, having directed the collection of as-built survey information, and having collected construction information from the city inspector, the surveyor and the contractor, do hereby certify that record drawing information shown is true and correct to the best of my knowledge. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

RICK LYNN BELTRAMO NEW MEXICO 10596 PROFESSIONAL ENGINEER
12/10/93

GRADING CERTIFICATION

I, Rick Beltramo, having conducted a site inspection and directed the collection of as-built survey information, certify the site grading and drainage improvements are substantially complete and in accordance with the approved drainage reports and approved construction plans. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

RICK LYNN BELTRAMO NEW MEXICO 10596 PROFESSIONAL ENGINEER
12/10/93
1/13/93



PROJECT LOCATION

LOCATION MAP
ZONE ATLAS MAP E-22-Z

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT, AND UNLESS STATED OTHERWISE OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, PUBLIC WORKS CONSTRUCTION, 1986 EDITION NO. 4

2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, 260-1990, FOR LOCATION OF EXISTING UTILITIES.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES BEING CONNECTED TO AND ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING SAFETY AND HEALTH.

5. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.

6. ALL GAS, ELECTRIC, TELEPHONE LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE DONE BY THE RESPONSIBLE UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS.

7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES.

8. THE CONTRACTOR SHALL BE REQUIRED TO CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY OR EASEMENTS TO PRESERVE EXISTING VEGETATION AND PRIVATE PROPERTY. OVERNIGHT PARKING OF EQUIPMENT AND/OR STORAGE OF MATERIALS IS NOT ALLOWED EXCEPT BY PERMISSION OF PROPERTY OWNER. RESTORATION OF PRIVATE IMPROVEMENTS WILL BE AT THE CONTRACTOR'S EXPENSE.

9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, ASPHALTIC PAVING, CONCRETE CURBS AND SIDEWALKS, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE FIELD ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

10. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE PROJECT ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.

11. THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.

12. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.

13. CONTRACTOR SHALL SUBMIT A REVEGETATION PLAN TO ENGINEER FOR PRIOR APPROVAL.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4663.90001 94

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

APPROVAL OF REVISIONS

PLANS PREPARED UNDER DIRECTION OF:
RICK LYNN BELTRAMO NEW MEXICO 10596 PROFESSIONAL ENGINEER
DATE:

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE – Suite 102
Albuquerque, NM 87109 – (505) 881-5357

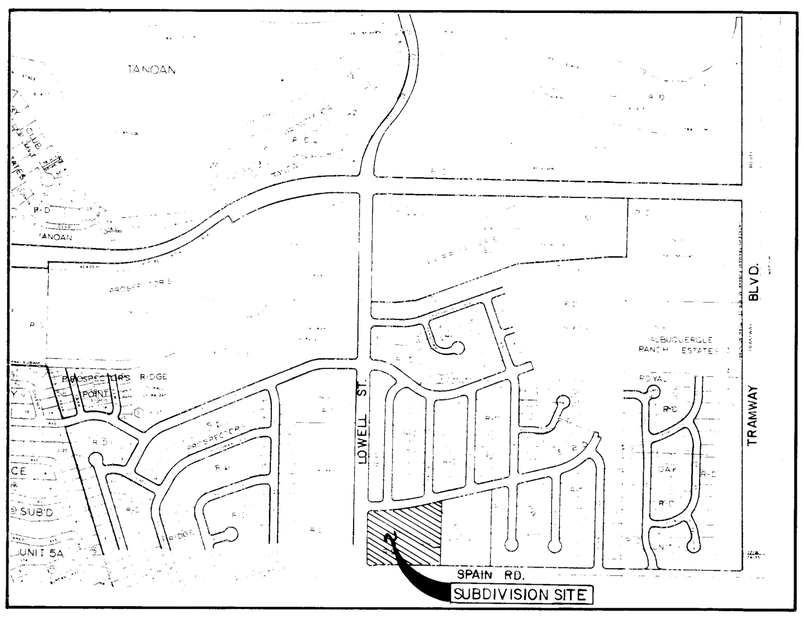
SCANNED BY BY TASON

PROJECT NO. 4663.90

APPROVED FOR CONSTRUCTION
CITY ENGINEER 6/7/93

SHEET 1 OF 9

TALOS LOG NO. 93031808510084



VICINITY MAP

ZONE ATLAS MAP NO. E-22-Z

SUBDIVISION DATA

1. DRB Case No. 93-11
2. Zone Atlas Index No.: E-22-Z
3. Number of Lots Plated: 23 Lots.
4. Gross Replat Acreage: 4.6387 Ac.±
5. Total mileage of street created 0.0970 miles.
6. Date of Survey: January, 1993.

NOTES

1.) Bearings are grid bearings based on New Mexico State Plane Grid System (Central Zone).

2.) Distances are ground distances.

3.) ⊙ Denotes boundary points to be set, 5/8" rebar w/cap stamped "NMPS 11462".

4.) ● Denotes found 1/2" rebar.

5.) △ Denotes found centerline monumentation.

6.) Unless otherwise located, centerline monumentation will be installed at all centerline pc's, pt's, angle points and street intersections. Monumentation will consist of a stamped four inch (4") aluminum disk stamped "centerline monument PLS 11462", hereon marked ▲.

7.) All lots to have a 10' Public Utility Easement (P.U.E.) along the front Lot Line, to be granted by this plat.

8.) Plat shows all easements of record.

9.) All Lots marked "P1" shall meet the Off-Street Parking criteria of the City of Albuquerque Comprehensive Zoning Code.

PURPOSE OF PLAT

1. The purpose of this plat is to subdivide Tract A, Peppertree Subdivision, Unit One into Sun Terrace At Peppertree Subdivision, containing 23 Lots.
2. To vacate portions of utility easements, Vacation Action V-93-25
3. Dedicate new public street rights-of-way.
4. Grant new public utitlity easements (P.U.E.).

DESCRIPTION

A certain tract of land situate within projected Section 27, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract A, Unit One, Peppertree Subdivision as the same is shown and designated on the plat entitled "PEPPERTREE SUBDIVISION UNIT ONE", as filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on January 19, 1983, in Volume C20, Folio 147, and being more particularly described by grid bearings and ground distances as follows:

Beginning at a point on the southerly right-of-way line of Tamarac Trail NE and the northerly boundary line of said Tract A, being the northwest corner of the tract herein described, from whence the City of Albuquerque Control Monument "3-E22A" bears N03°27'04"W a distance of 1037.09 feet;

Thence following along said right-of-way and boundary line 363.52 feet along a curve to left, having a radius of 1552.10 feet, a delta of 13°25'09" and a chord bearing N83°15'43"E a distance of 362.68 feet to point, a 5/8" rebar;

Thence continuing along said right-of-way and boundary line N76°33'09"E a distance of 126.16 feet to a point being the northeast corner of the tract herein described;

Thence leaving said right-of-way line and following the easterly boundary line of said Tract A S00°23'25"W a distance of 448.17 feet to a point on the northerly right-of-way line of Spain Road NE, being the southeast corner of the tract herein described;

Thence following along said right-of-way line and the southerly boundary line of said Tract A N89°36'35"W a distance of 312.54 feet to a point;

Thence continuing along said right-of-way and boundary line 164.95 feet along a curve to the left, having a radius of 1593.00 feet, a delta of 05°55'58" and a chord bearing S87°25'26"W a distance of 164.88 feet to a point, being the southwest corner of the tract herein described;

Thence leaving said right-of-way line 41.68 feet along a curve to right, having a radius of 25.00 feet, a delta of 95°30'51" and a chord bearing N47°47'08"W a distance of 37.02 feet to a point on the easterly right-of-way line of Lowell Street NE and the westerly boundary line of said Tract A;

Thence following along said right-of-way and boundary line N00°01'42"W a distance of 331.66 feet to a point;

?Thence leaving said right-of-way line 39.27 feet along a curve to the right, having a radius of 25.00 feet, a delta of 90°00'00" and a chord bearing N44°58'18"E a distance of 35.36 feet to the point and place of beginning, containing 4.6387 acres more or less.

OWNER'S FREE CONSENT AND DEDICATION

The Subdivision Plat hereon described is with the free consent and in accordance with the desires of the undersigned owner and/or proprietor thereof. Said owner and/or proprietor does hereby dedicate all public street right-of-ways to the City of Albuquerque in fee simple, and do also hereby grant all easements shown on this plat. Electrical Power and Communication easements are reserved for buried distribution lines, conduits, and pipes for underground utilities and other related equipment where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs.

Robert D. Taichert 3/22/93 — Robert D. Taichert — Date
Helen Jane Taichert 3/22/93 — Helen Jane Taichert — Date

John P. Eastham 3/22/93 — John P. Eastham — Date
Sondra L. Eastham 3/22/93 — Sondra L. Eastham — Date

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)) SS

OFFICIAL SEAL
M. EUGENIA YOUNG
NOTARY PUBLIC
My Commission Expires 11-19-93

On this 22nd day of March, 1993, the foregoing instrument was acknowledged before me.

M. Eugenia Young
Notary Public

My Commission Expires 19 Nov 1993

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS granted by this plat are ten (10) feet wide and are for the common joint use of:

1.) The Public Service Company of New Mexico for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.

2.) The Gas Company of New Mexico for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.

3.) U.S. West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communications services, including but not limited to above ground pedestals and closures.

4.) Jones Intercable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide cable television service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electrical transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electical Safety Code caused by construction of pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

Plat of SUN TERRACE AT PEPPERTREE SUBDIVISION

Within Sec. 27, T.11N., R.4E. N.M.P.M.
Albuquerque, New Mexico

MARCH, 1993

APPROVED AND ACCEPTED BY

Planning Director, City of Albuquerque, N.M.	Date
City Engineering Div., City of Albuquerque, N.M.	Date
Albuquerque Metropolitan Arroyo Flood Control Authority	Date
Traffic Div., City of Albuquerque, N.M.	Date
Robert W. Kane — Water Utilities Dept., City of Albuquerque, N.M.	4-13-93 Date
Parks and Recreation Dept., City of Albuquerque, N.M.	Date
Dick Chase — City Surveyor, City of Albuquerque, N.M.	03 23 93 Date
Property Management, City of Albuquerque, N.M.	Date
County Treasurer, Bernalillo County, N.M.	Date
Gas Company of New Mexico	Date
U.S. West Telecommunications	Date
Public Service Company of New Mexico	Date
Jones Intercable, Inc.	Date

SURVEYOR'S CERTIFICATION

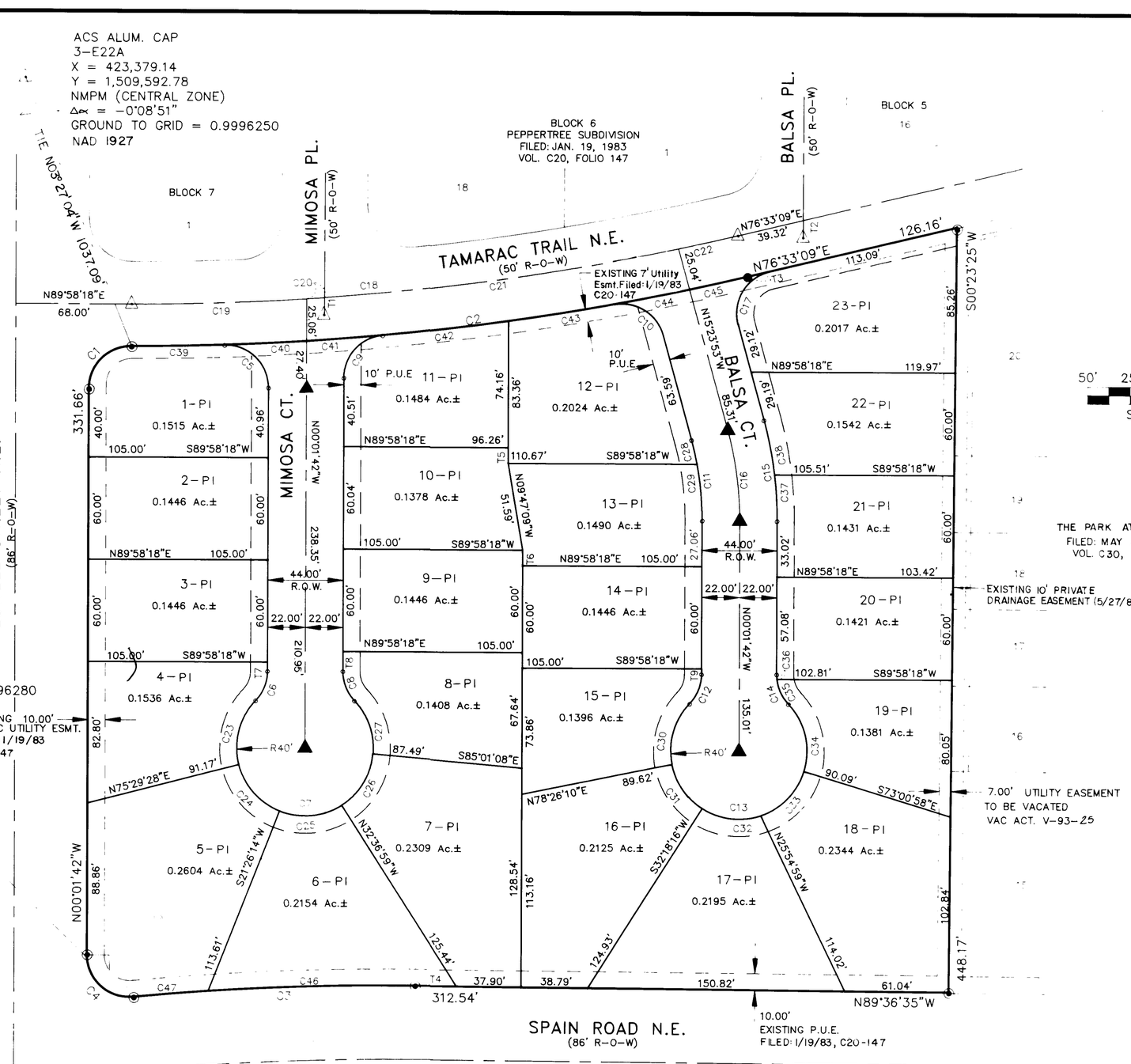
I, Ruan S. Bacigalupa, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, from an actual field survey performed in January, 1993 and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further, meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989), and is true and correct to the best of my knowledge and belief.

Ruan S. Bacigalupa — 3/19/93
Ruan S. Bacigalupa, N.M.P.S. 11462 — Date

2129.07

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE – Suite 102
Albuquerque, NM 87109 – (505) 881-5357

SHEET 1 OF 2



Plat of SUN TERRACE AT PEPPERTREE SUBDIVISION

Within Projected Sec. 27, T.11N. R.4E.
Albuquerque, New Mexico
March, 1993

PNM EASEMENT RELEASE APPROVAL

Public Service Company of New Mexico does hereby release, waive, quitclaim and discharge its right, title and interest in the power and communications easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PUBLIC SERVICE COMPANY OF NEW MEXICO

By _____

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)) SS

The foregoing instrument was acknowledged before me this _____ day of _____, 1993, by _____ of the Public Service Company of New Mexico, a New Mexico corporation, on behalf of said corporation.

Notary Public — My Commission Expires _____

LEGEND

- ROADWAY CENTERLINE
- SUBDIVISION BOUNDARIES
- EXISTING PUBLIC UTILITY EASEMENT
- NEW PUBLIC UTILITY EASEMENT TO BE DEDICATED
- ● BOUNDARY POINT TO BE SET THIS SURVEY
- ● BOUNDARY CORNER FOUND
- ▲ CITY OF ALBUQUERQUE CENTERLINE MONUMENT SET THIS SURVEY
- CITY OF ALBUQUERQUE CENTERLINE MONUMENT FOUND

CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	25.00'	39.27'	25.00'	35.36'	N 44°58'18" E	90°00'00"
C2	1552.10'	363.52'	182.59'	362.68'	S 83°15'43" W	13°25'09"
C3	1593.00'	164.95'	82.55'	164.88'	S 87°25'26" W	05°55'58"
C4	25.00'	41.68'	27.53'	37.02'	N 47°47'08" W	95°30'51"
C5	25.00'	40.14'	25.89'	35.97'	N 46°01'43" W	91°59'55"
C6	25.00'	19.06'	10.02'	18.61'	S 21°49'01" W	43°41'27"
C7	40.00'	186.67'	41.87'	57.85'	N 89°58'18" E	267°22'54"
C8	25.00'	19.06'	10.02'	18.61'	S 21°52'26" E	43°41'27"
C9	25.00'	36.40'	22.74'	33.24'	N 42°15'43" E	83°34'44"
C10	25.00'	37.17'	22.95'	33.81'	N 87°56'59" W	85°16'12"
C11	178.00'	47.75'	24.02'	47.61'	S 07°42'48" E	15°22'11"
C12	25.00'	19.07'	10.03'	18.61'	N 21°48'25" E	43°42'47"
C13	40.00'	186.67'	41.87'	57.85'	N 89°58'18" E	267°22'54"
C14	25.00'	19.07'	10.03'	18.61'	N 21°52'09" W	43°42'27"
C15	222.00'	59.55'	29.94'	59.37'	S 07°42'48" E	15°22'11"
C16	200.00'	53.65'	26.97'	53.49'	N 07°42'48" W	15°22'11"
C17	25.00'	41.67'	26.46'	36.47'	S 73°46'43" E	95°30'51"
C18	1527.10'	357.66'	179.67'	356.84'	N 83°15'43" E	13°25'09"
C19	1527.10'	102.95'	51.56'	102.93'	S 86°43'24" W	03°51'47"
C20	1527.10'	76.45'	38.24'	76.44'	S 85°56'42" W	02°53'36"
C21	1527.10'	209.42'	104.87'	209.26'	N 81°49'11" E	07°51'26"
C22	1527.10'	35.65'	17.84'	35.65'	S 77°17'16" W	01°20'19"
C23	40.00'	40.61'	22.25'	38.89'	N 14°34'36" E	58°10'17"
C24	40.00'	37.74'	20.40'	36.35'	S 41°32'09" E	54°03'13"

CURVE DATA (CONT.)

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C25	40.00'	37.74'	20.40'	36.35'	N 84°24'38" E	54°03'13"
C26	40.00'	36.59'	19.68'	35.32'	S 31°10'56" W	52°24'09"
C27	40.00'	34.00'	18.10'	32.99'	N 19°22'09" W	48°42'01"
C28	178.00'	14.62'	7.31'	14.61'	N 13°02'45" W	04°42'16"
C29	178.00'	33.13'	16.61'	33.09'	S 05°21'39" E	10°39'54"
C30	40.00'	38.56'	20.92'	37.08'	N 16°02'58" E	55°13'35"
C31	40.00'	32.27'	17.03'	31.34'	N 34°37'47" W	46°07'54"
C32	40.00'	35.63'	19.10'	34.47'	N 83°12'56" W	51°02'24"
C33	40.00'	37.83'	20.50'	36.49'	N 44°07'27" E	54°16'50"
C34	40.00'	42.38'	23.42'	40.42'	N 13°22'04" W	60°42'11"
C35	25.00'	16.14'	8.36'	15.86'	N 25°13'19" W	36°59'41"
C36	25.00'	2.92'	1.46'	2.92'	N 03°22'35" W	06°41'46"
C37	222.00'	27.09'	13.54'	27.04'	S 03°31'10" E	06°58'56"
C38	222.00'	32.50'	16.26'	32.47'	N 11°12'16" W	08°23'14"
C39	1552.10'	54.14'	27.07'	54.14'	N 88°58'20" E	01°59'55"
C40	1552.10'	47.93'	23.9[illegible]	47.93'	S 87°05'18" W	01°46'10"
C41	1552.10'	44.75'	22.37'	44.78'	N 85°22'37" E	01°39'11"
C42	1552.10'	74.16'	37.08'	74.14'	N 83°10'55" E	02°44'14"
C43	1552.10'	62.70'	31.36'	62.70'	S 80°39'2[illegible]" W	02°18'53"
C44	1552.10'	44.98'	22.49'	44.98'	S 78°40'06" W	01°39'38"
C45	1552.10'	34.83'	17.41'	34.83'	N 77°11'43" E	01°17'26"
C46	1593.00'	121.42'	60.74'	121.39'	N 88°12'24" E	04°22'01"
C47	1593.00'	43.53'	21.77'	43.53'	S 85°14'25" W	01°33'57"

TANGENT DATA

LINE	DIRECTION	DISTANCE
T1	S 00°11'39" W	10.00'
T2	S 00°11'39" W	10.00'
T3	S 76°33'09" W	13.00'
T4	S 89°36'35" E	23.99'
T5	N 00°01'42" W	9.20'
T6	N 00°01'42" W	9.16'
T7	S 00°01'42" E	5.10'
T8	S 00°01'42" E	11.61'
T9	N 00°01'42" W	3.04'

NOTES CONT.

10. City of Albuquerque water and sanitary sewer services to lots 1-P1 to 23-P1 must be verified and coordinated with Public Works Department, City of Albuquerque.

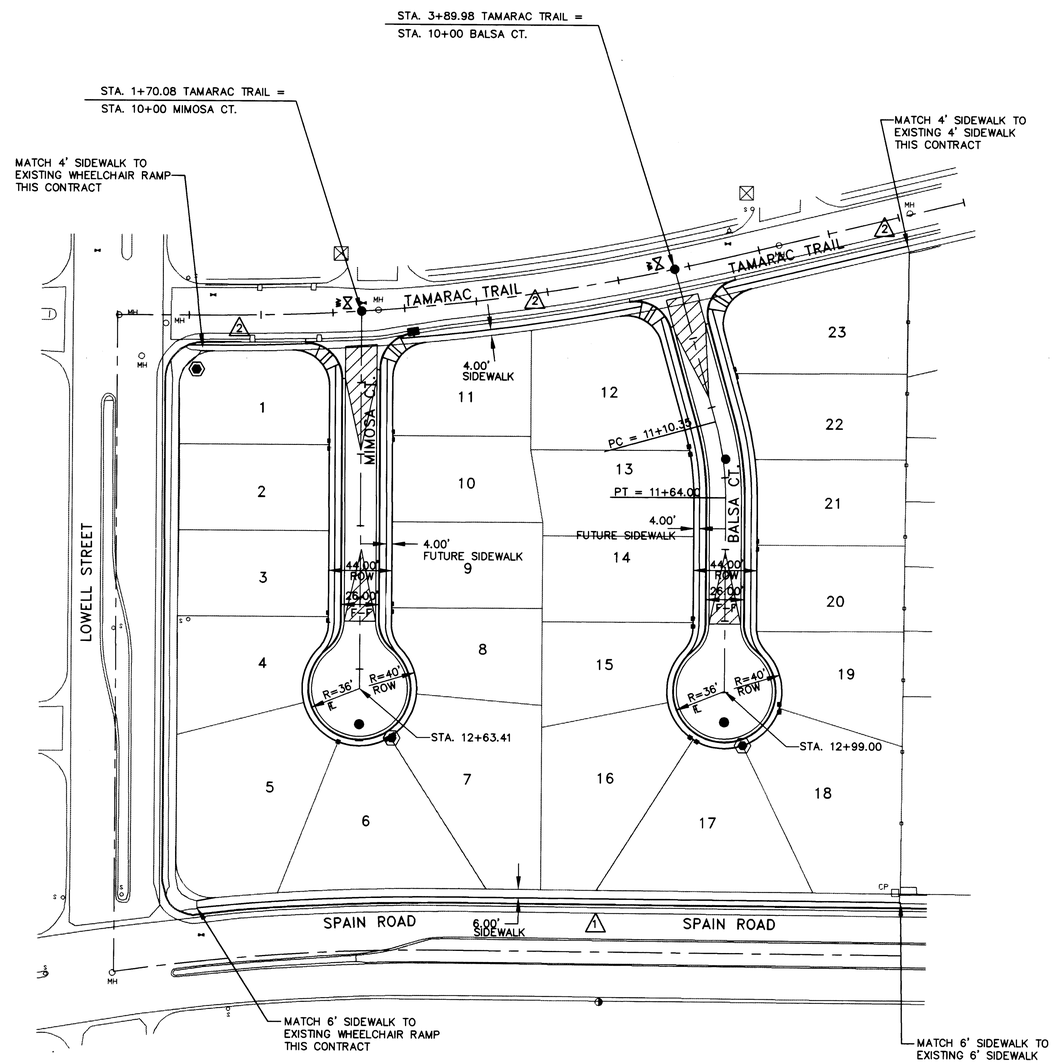
2129.06

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE – Suite 102
Albuquerque, NM 87109 – (505) 881-5357

SHEET 2 OF 2

SCANNED BY LASON

SHEET 2 OF 9



SCALE: 1"=50'

GENERAL NOTES

1. ALL STATIONING AND OFFSET DIMENSIONS ARE BASED ON CENTERLINE OF RIGHT-OF-WAY.

KEYED NOTES:

1. CONSTRUCT 6' SIDEWALK
2. CONSTRUCT 4' SIDEWALK

LEGEND

- CENTERLINE OF STREET
- EXISTING CURB & GUTTER
- PROPOSED ASPHALT CURB
- PROPOSED STANDARD CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED WHEELCHAIR RAMP
- PROPOSED CONCRETE VALLEY GUTTER
- TRANSITION FROM CROWN TO NO CROWN
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING STREET LIGHT LOCATION
- PROPOSED STREET LIGHT LOCATION
- EXISTING VALVES
- EXISTING MANHOLE
- EXISTING TYPE "B" STORM INLET
- PROPOSED TYPE "B" STORM INLET

RECORD DRAWING CERTIFICATION

I, Rick Beltramo, a registered professional engineer in the state of New Mexico, having directed the collection of as-built survey information, and having collected construction information from the city inspector, the surveyor and the contractor, do hereby certify that record drawing information shown is true and correct to the best of my knowledge. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

SCANNED BY BY LASON

AS BUILT INFORMATION

CONTRACTOR Starling Construction
WORK STAKED BY Sandoval DATE 93
INSPECTOR'S ACCEPTANCE BY CDA DATE 93
FIELD VERIFICATION BY CDA DATE 93
DRAWINGS CORRECTED BY AVID Eng DATE 93
MICRO-FILM INFORMATION
RECORDED BY AVID Eng DATE 93
NO.

BENCH MARKS

THE STATION IS LOCATED 9.4 MILES NE OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM THE INTERSECTION OF TRAMWAY BLVD. AND SPAIN RD., GO WEST ON SPAIN RD., AND TRAVEL 0.5 MILES TO LOWELL. TURN NORTH AND TRAVEL 0.25 MILES TO SAN VICTORIO. THE STATION IS IN THE LOWELL MEDIAN NOSE NORTH OF THE INTERSECTION APPROXIMATELY 40.3' NORTH OF THE CENTERLINE OF SAN VICTORIO. THE STATION IS A 3 1/4" ALUMINUM CAP SET FLUSH IN THE TOP OF THE CURB AND IS STAMPED "ACS 3-E22A 1985. SLD 1929 ELEVATION = 5891.17

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

"LICENSED" LYNN BELTRAMO NEW MEXICO PROFESSIONAL ENGINEER 14278

NO.	DATE	REMARKS	BY

DESIGN

DESIGNED BY	ETS	DATE
DRAWN BY	RAG	DATE
CHECKED BY	RLB	DATE

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE – Suite 102
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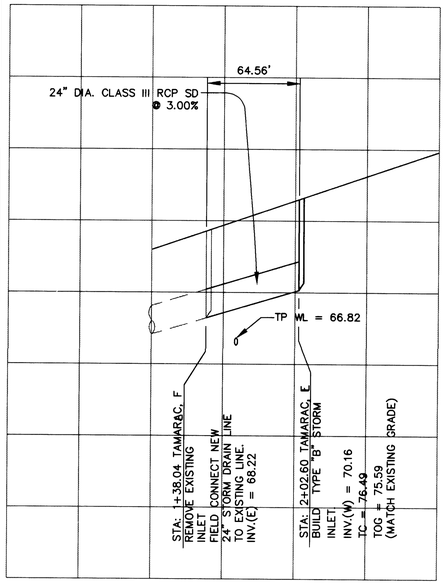
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: SUN TERRACE AT PEPPERTREE
OVERALL PAVING PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair	B.J. Gockley	5-13-93	Water	N/A RWK	4-26-93
Transportation	[illegible]	4-29-93	Waste Water	N/A RWK	4-26-93
Hydrology	[illegible]	4-29-93			

DRAWING NO.	MAP NO.	SHEET	OF
4663.90	E-22-Z	3	9

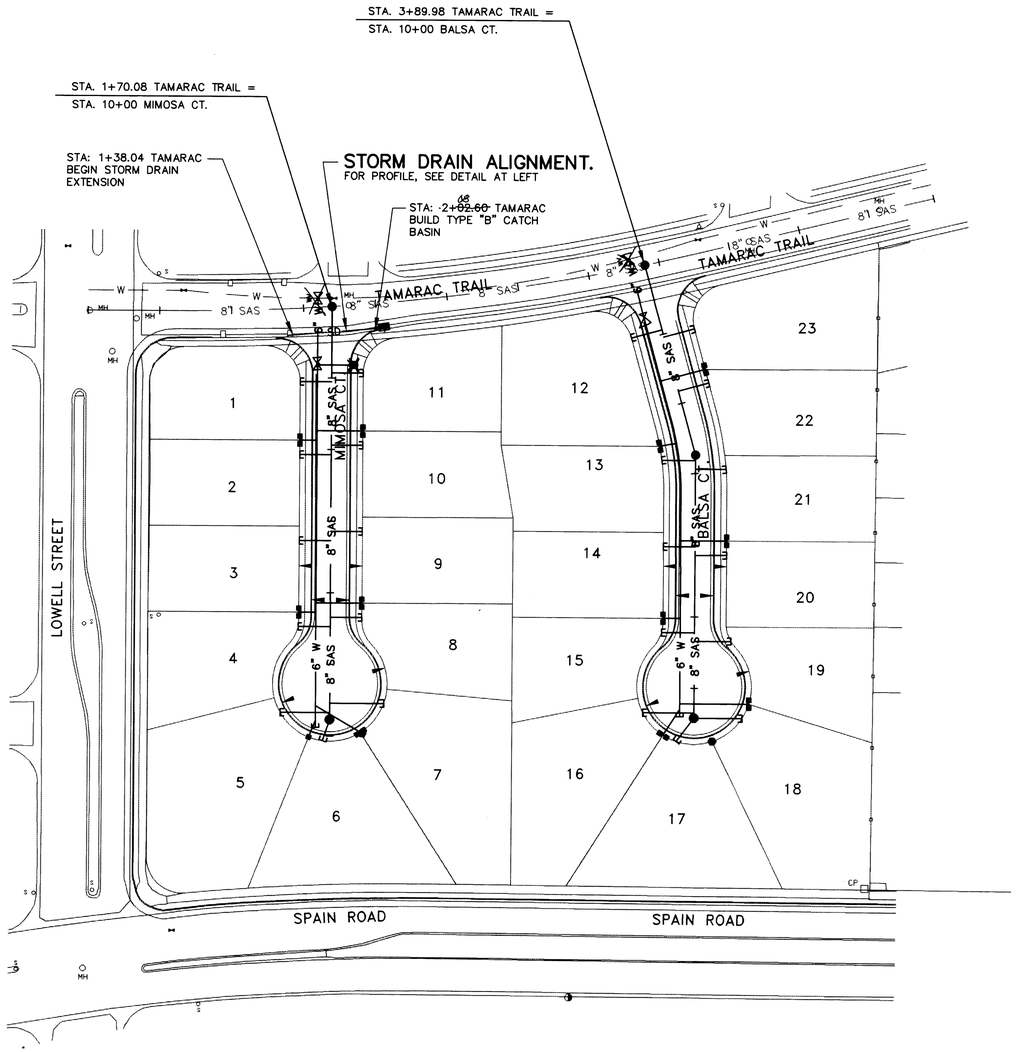


NOTE:

REMOVE EXISTING CATCH BASIN, CONSTRUCT FIELD CONNECTION TO EXISTING 24" RCP CONNECTOR PIPE. REMOVE CONCRETE PIPE WALL MATERIAL AND EXPOSE STEEL REINFORCEMENT CAGE IN BOTH EXISTING AND NEW PIPE. OVERLAP 6" AND TIE STEEL REINFORCEMENT. GROUT JOINT WITH NON-SHRINK GROUT. POUR 3000 PSI CONCRETE COLLAR ENCASEMENT PER COA DWG. 2140, 1' EACH SIDE OF JOINT, SOIL COMPACTION AT 95% OF ASTM D-1557.

STORM DRAIN PROFILE

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'



SCALE 1" = 50'

GENERAL NOTES

1. ALL STATIONING AND OFFSET DIMENSIONS ARE BASED ON CENTERLINE OF RIGHT-OF-WAY.

LEGEND

— —W— —	EXISTING WATERLINE
— — SD — —	EXISTING STORM DRAIN
— —SAS— —	EXISTING SANITARY SEWER
MH	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
——W——	PROPOSED WATERLINE
—— SD ——	PROPOSED STORM DRAIN
—— SAS ——	PROPOSED SANITARY SEWER
●	PROPOSED MANHOLE
	PROPOSED FIRE HYDRANT
W	PROPOSED GATE VALVE
	PROPOSED CAP OR PLUG
	PROPOSED SINGLE METER, WATER SERVICE LINE
	PROPOSED DOUBLE METER, WATER SERVICE LINES
	PROPOSED SANITARY SEWER SERVICE LINE
	PROPOSED CROSS, TEE, OR ELBOW
	PNM UTILITY CONDUIT
	EXISTING TYPE "B" STORM INLET
	PROPOSED TYPE "B" STORM INLET

RECORD DRAWING CERTIFICATION

I, Rick Beltramo, a registered professional engineer in the state of New Mexico, having directed the collection of as-built survey information, and having collected construction information from the city inspector, the surveyor and the contractor, do hereby certify that record drawing information shown is true and correct to the best of my knowledge. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

SCANNED BY
BY LASON

AS BUILT INFORMATION

CONTRACTOR	SPARLING CONST.	
WORK STAKED BY	SPARLING	DATE 9-3
INSPECTORS ACCEPTANCE BY	COA	DATE 9-3
FIELD VERIFICATION BY	COA	DATE 9-3
DRAWINGS CORRECTED BY	AVID ENG.	DATE 10-03
MICRO-FILM INFORMATION		
RECORDED BY	AVID ENG.	DATE 9-3
NO.		

BENCH MARKS

THE STATION IS LOCATED 9.4 MILES NE OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM THE INTERSECTION OF TRAMWAY BLVD. AND SPAIN RD., GO WEST ON SPAIN RD., AND TRAVEL 0.5 MILES TO LOWELL. TURN NORTH AND TRAVEL 0.25 MILES TO SAN VICTORIO. THE STATION IS IN THE LOWELL MEDIAN NOSE NORTH OF THE INTERSECTION APPROXIMATELY 40.3' NORTH OF THE CENTERLINE OF SAN VICTORIO. THE STATION IS A 3 1/4" ALUMINUM CAP SET FLUSH IN THE TOP OF THE CURB AND IS STAMPED "ACS 3-E22A 1985. SLD 1929 ELEVATION = 5891.17

SURVEY INFORMATION

NO.	BY	DATE

FIELD NOTES

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY

DESIGN

		DATE
DESIGNED BY	ETS	
DRAWN BY	RJ	DATE
CHECKED BY	RLB	DATE

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE — Suite 102
Albuquerque, NM 87109 – (505) 881-5357

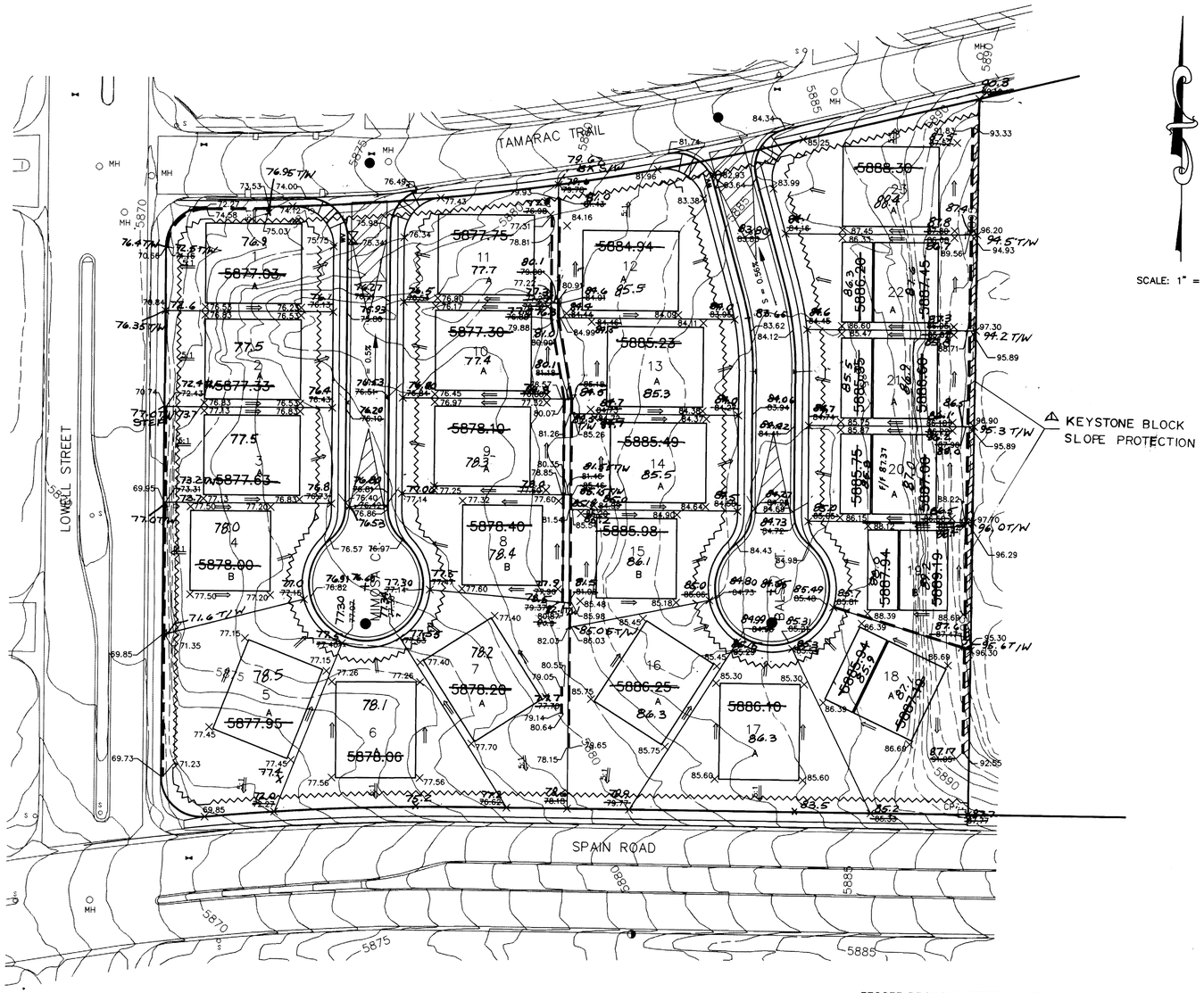
26 4663.900494

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: SUN TERRACE AT PEPPERTREE
UTILTY PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair		5-13-93	Water	R.W. Kano	4-26-93
Transportation		4-29-93	Waste Water	R.W. Kano	4-26-93
Hydrology		4-29-93			

DRAWING NO.	MAP NO.	SHEET	OF
4663.90	E-22-Z	4	9

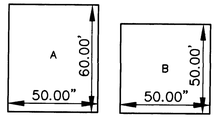


GENERAL NOTES

1. ALL CURB ELEVATIONS SHOWN ARE TOP OF CURB UNLESS OTHERWISE NOTED.
2. GRADE PADS TO WITHIN 5' OF THE PROPERTY LINE EXCEPT AT SIDESTREETS GRADE PADS TO WITHIN 10' OF PROPERTY LINE.
3. CONTRACTOR TO PROVIDE AS-BUILT INFORMATION NECESSARY FOR CITY GRADING & DRAINAGE CERTIFICATION.
4. SEE TYPICAL LOT GRADING DETAILS, SHEET 8.
5. CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT PRIOR TO BEGINNING ANY EARTHWORK CONSTRUCTION.
6. ALL BACK OF SIDEWALK ELEVATIONS AT PROPERTY LINE ARE EQUAL TO TOP OF CURB PLUS 0.33 FEET.

LEGEND

- PROPOSED STANDARD CURB & GUTTER
- EXISTING GROUND CONTOUR
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED WHEELCHAIR RAMP
- TRANSITION FROM CROWN TO NO CROWN
- PROPOSED SANITARY SEWER MANHOLE
- MH — EXISTING STORM OR SANITARY SEWER MANHOLE
- WV — PROPOSED WATER VALVE
- EXISTING WATER VALVE
- 5133.50 — PROPOSED SPOT ELEVATION
- 93.5 — AS-BUILT SPOT ELEVATION
- PROPOSED FLOW DIRECTION
- TEMPORARY EROSION CONTROL BERM
- PROPOSED RETAINING WALL
- 5133.60 / 33.6 — BUILDING PAD & ELEVATION
- AS-BUILT PAD ELEVATION
- PAD WITH STEPPED GARAGE



PADS

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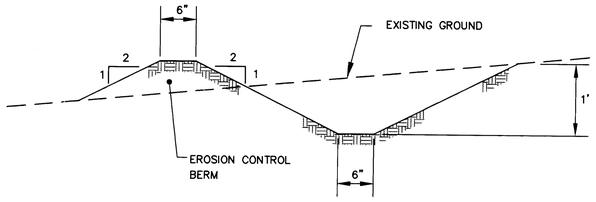
6100 Seagull St. NE – Suite 102
Albuquerque, NM 87109 – (505) 881-5357

26 4663.900594



SECTION A–A

NTS

TEMPORARY EROSION CONTROL BERM

A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION.

RECORD DRAWING CERTIFICATION

I, Rick Beltramo, a registered professional engineer in the state of New Mexico, having directed the collection of as-built survey information, and having collected construction information from the city inspector, the surveyor and the contractor, do hereby certify that record drawing information shown is true and correct to the best of my knowledge. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

GRADING CERTIFICATION

I, Rick Beltramo, having conducted a site inspection and directed the collection of as-built survey information, certify the site grading and drainage improvements are substantially complete and in accordance with the approved drainage reports and approved construction plans. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

SCANNED BY BY LASON

AS BUILT INFORMATION

CONTRACTOR: SPARLING CONSTRUCTION
WORK INSPECTED BY: SPARLING DATE 9-3
AS-BUILTS ACCEPTANCE BY: COA DATE 9-3
FIELD VERIFICATION BY: COA DATE 9-3
DRAWINGS CORRECTED BY: AVID ENG. DATE 4-28
MICRO-FILM INFORMATION RECORDED BY: AVID ENG. DATE 9-3
NO.

BENCH MARKS

THE STATION IS LOCATED 9.4 MILES NE OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM THE INTERSECTION OF TRAMWAY BLVD. AND SPAIN RD., GO WEST ON SPAIN RD., AND TRAVEL 0.5 MILES TO LOWELL. TURN NORTH AND TRAVEL 0.25 MILES TO SAN VICTORIO. THE STATION IS IN THE LOWELL MEDIAN NOSE NORTH OF THE INTERSECTION APPROXIMATELY 40.3' NORTH OF THE CENTERLINE OF SAN VICTORIO. THE STATION IS A 3 1/4" ALUMINUM CAP SET FLUSH IN THE TOP OF THE CURB AND IS STAMPED "ACS 3-E22A 1985. SLD 1929 ELEVATION = 5891.17

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY
△	5-20-93	DELETE REF. WALL AND SURFACE W/ SECTION REFERENCE	RLB

DESIGN

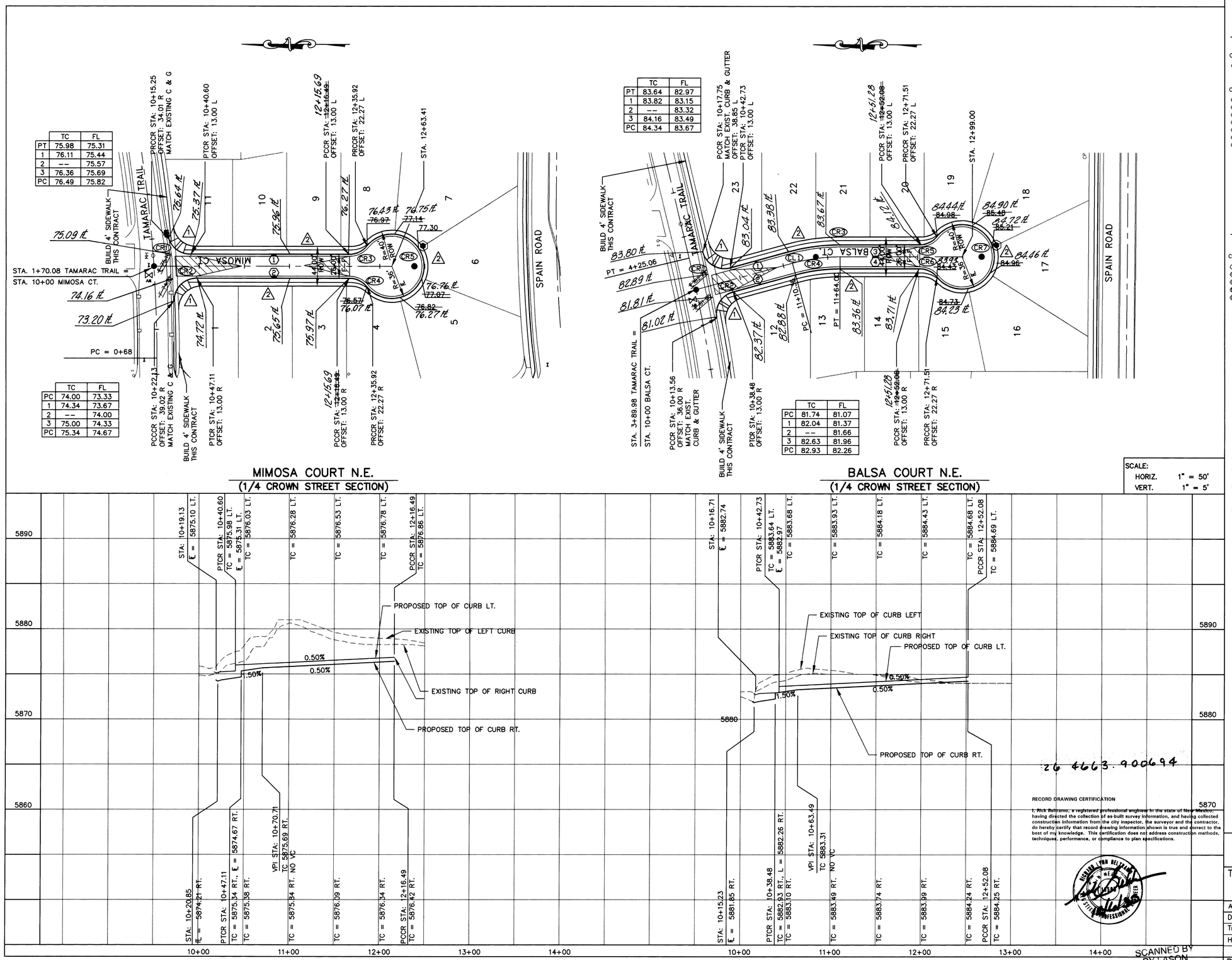
DESIGNED BY	ETS	DATE
DRAWN BY	JRJ	DATE
CHECKED BY	RLB	DATE

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: SUN TERRACE AT PEPPERTREE
GRADING PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair	B.J. Gallaway	5-13-93	Water	N/A RWK	4-26-93
Transportation	N/A RWK	4-29-93	Waste Water	N/A RWK	4-26-93
Hydrology	L. Martin	4-29-93			

DRAWING NO.	MAP NO.	SHEET	OF
4663.90 ~~4463.90~~	E-22-Z	5	9



	TC	FL
PT	75.98	75.31
1	76.11	75.44
2	--	75.57
3	76.36	75.69
PC	76.49	75.82

	TC	FL
PC	74.00	73.33
1	74.34	73.67
2	--	74.00
3	75.00	74.33
PC	75.34	74.67

	TC	FL
PT	83.64	82.97
1	83.82	83.15
2	--	83.32
3	84.16	83.49
PC	84.34	83.67

	TC	FL
PC	81.74	81.07
1	82.04	81.37
2	--	81.66
3	82.63	81.96
PC	82.93	82.26

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'

GENERAL NOTES

1. ALL STATIONING AND OFFSET DIMENSIONS ARE BASED ON CENTERLINE OF RIGHT-OF-WAY.

BALSA COURT N.E.

CENTERLINE CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT
CL1	15°22'11"	200.00'	53.65'	26.99'

CURB CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT
CR1	91°57'02"	25.00'	40.12'	25.87'
CR2	85°24'19"	25.00'	37.27'	23.07'
CR3	15°22'11"	213.00'	57.14'	28.74'
CR4	15°22'11"	187.00'	50.16'	25.23'
CR5	50°59'39"	25.00'	22.25'	11.92'
CR6	50°59'39"	25.00'	22.25'	11.92'
CR7	281°59'18"	35.38'	174.10'	28.65'

TANGENT DATA

REF. NO.	BEARING	DISTANCE
1	N15°23'53"W	67.61'
2	N15°23'53"W	71.87'
3	S00°01'42"E	88.08'
4	S00°01'42"E	88.08'

MIMOSA COURT N.E.

CURB CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT
CR1	69°31'51"	25.00'	30.34'	17.35'
CR2	92°19'59"	25.00'	40.29'	26.04'
CR3	50°59'39"	25.00'	22.25'	11.92'
CR4	50°59'39"	25.00'	22.25'	11.92'
CR5	281°59'18"	35.38'	174.10'	28.65'

TANGENT DATA

REF. NO.	BEARING	DISTANCE
1	S00°01'42"E	175.78'
2	S00°01'42"E	169.38'

KEYED NOTES:

1. CONSTRUCT WHEELCHAIR RAMPS PER COA DRW. 2441, TYPE II
2. FUTURE 4' SIDEWALK, BY OTHERS.

LEGEND

- CENTERLINE OF STREET
- EXISTING CURB & GUTTER
- PROPOSED ASPHALT CURB
- PROPOSED STANDARD CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED WHEELCHAIR RAMP
- PROPOSED CONCRETE VALLEY GUTTER
- TRANSITION FROM CROWN TO NO CROWN
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STREET LIGHT LOCATION
- EXISTING VALVES
- EXISTING MANHOLE
- EXISTING TYPE "B" STORM INLET
- PROPOSED TYPE "B" STORM INLET

26 4663.900694

RECORD DRAWING CERTIFICATION

I, Rick Beltramo, a registered professional engineer in the state of New Mexico, having directed the collection of as-built survey information, and having collected construction information from the city inspector, the surveyor and the contractor, do hereby certify that record drawing information shown is true and correct to the best of my knowledge. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

SCANNED BY BY LASON

AS BUILT INFORMATION

CONTRACTOR	SANCHEZ CONSTRUCTION	
WORK STAKED BY	SANCHEZ	DATE 9-25
INSPECTOR'S ACCEPTANCE BY	COA	DATE 9-25
FIELD VERIFICATION BY	COA	DATE 9-25
DRAWINGS CORRECTED BY	AVID ENG.	DATE 1-26

MICRO-FILM INFORMATION

RECORDED BY	AVID ENG.	DATE 9-25
NO.		

BENCH MARKS

THE STATION IS LOCATED 9.4 MILES NE OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM THE INTERSECTION OF TRAMWAY BLVD. AND SPAIN RD., GO WEST ON SPAIN RD., AND TRAVEL 0.5 MILES TO LOWELL. TURN NORTH AND TRAVEL 0.25 MILES TO SAN VICTORIO. THE STATION IS IN THE LOWELL MEDIAN NOSE NORTH OF THE INTERSECTION APPROXIMATELY 40.3' NORTH OF THE CENTERLINE OF SAN VICTORIO. THE STATION IS A 3 1/4" ALUMINUM CAP SET FLUSH IN THE TOP OF THE CURB AND IS STAMPED "ACS 3-E22A 1985. SLD 1929 ELEVATION = 5891.17

NO.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY

DESIGN

DESIGNED BY	ETS	DATE
DRAWN BY	RJ	DATE
CHECKED BY	RLB	DATE

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE – Suite 102
Albuquerque, NM 87109 – (505) 881-5357

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

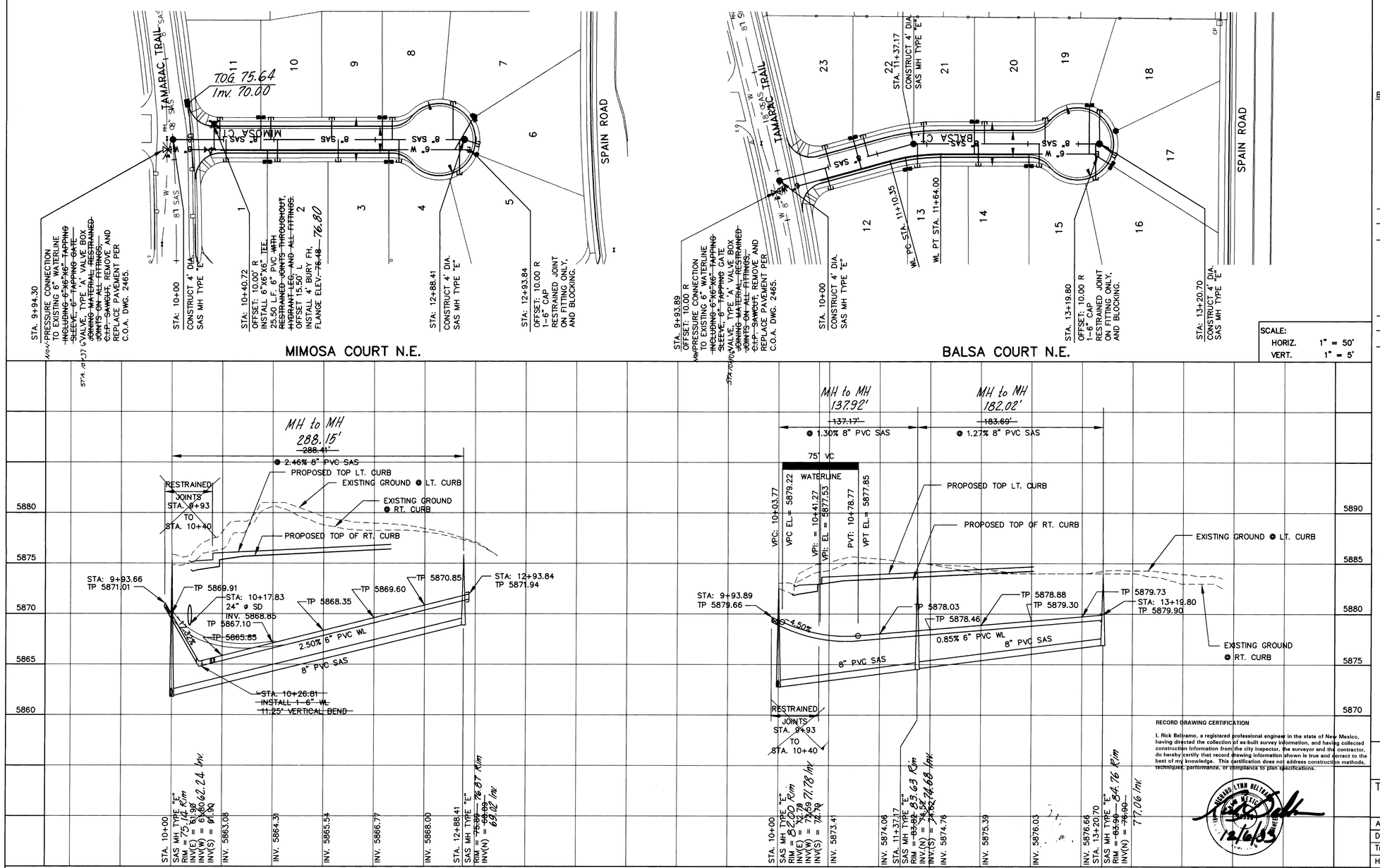
TITLE: SUN TERRACE AT PEPPERTREE
MIMOSA CT. N.E.
BALSA CT. N.E.
PAVING PLAN AND PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair		5-13-93	Water	N/A	4-26-93
Transportation		4-24-93	Waste Water	N/A	4-26-93
Hydrology		4-29-93			

DRAWING NO.	MAP NO.	SHEET	OF
4663.90	E-22-Z	6	9

WATER & SANITARY SEWER SERVICES					
LOT NUMBER	WL STATION & OFFSET	WL TYPE	SAS STATION & OFFSET	SAS LENGTH	INV. OF PIPE AT PLUG
1	STA. 10+93.41, 10'RT.	DOUBLE	STA. 10+52.45, 0.00	22.00	71.14
2			STA. 11+03.41, 0.00	22.00	71.39
3	STA. 12+13.41, 10'RT.	DOUBLE	STA. 11+63.41, 0.00	22.00	71.69
4			STA. 12+23.41, 0.00	22.49	72.05
5	STA. 12+88.84, 10'RT.	SINGLE	STA. 12+83.41, 0.00	34.64	72.71
6	STA. 12+93.84, 10'RT.	DOUBLE	STA. 12+88.41, 0.00	15.49	73.04
7			STA. 12+76.90, 0.00	37.66	73.19
8	STA. 12+06.90, 10'RT.	DOUBLE	STA. 12+16.90, 0.00	22.00	72.86
9			STA. 11+56.90, 0.00	22.00	72.56
10	STA. 10+86.86, 10'RT.	DOUBLE	STA. 10+96.86, 0.00	22.00	72.26
11			STA. 10+46.36, 0.00	22.00	72.01

WATER & SANITARY SEWER SERVICES					
LOT NUMBER	WL STATION & OFFSET	WL TYPE	SAS STATION & OFFSET	SAS LENGTH	INV. OF PIPE AT PLUG
12	STA. 11+26.77, 10'RT.	DOUBLE	STA. 10+46.76, 0.00	22.00	78.81
13			STA. 11+41.04, 1.33' LT	23.50	79.37
14	STA. 12+51.06, 10'RT.	DOUBLE	STA. 12+01.06, 0.00	22.00	79.76
15			STA. 12+61.06, 0.00	22.99	80.15
16	STA. 13+14.80, 10'RT.	DOUBLE	STA. 13+17.00, 0.00	35.72	80.50
17			STA. 13+20.70, 0.00	20.45	80.73
18	STA. 13+10.70, 10'RT.	DOUBLE	STA. 13+20.70, 0.00	33.60	81.35
19			STA. 12+67.01, 0.00	25.59	80.98
20	STA. 11+97.01, 10'RT.	DOUBLE	STA. 12+07.01, 0.00	22.00	80.46
21			STA. 11+47.01, 0.72' LT.	21.35	80.17
22	STA. 10+81.16, 10'RT.	DOUBLE	STA. 10+91.16, 0.00	22.00	79.88
23			STA. 10+52.04, 0.00	22.00	79.69



UTILITY NOTES

1.) STATIONING ALONG ℄ OF STREET UNLESS OTHERWISE NOTED.

2.) SANITARY SEWER LINE LENGTHS COMPUTED FROM MH ℄ TO MH ℄.

3.) SLOPES ARE COMPUTED INVERT TO INVERT. MH RIM ELEVATIONS GIVEN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST ALL RIMS TO FINAL GRADE.

4.) CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES.

5.) CONTRACTOR SHALL VERIFY ALL EXISITING UTILITIES AND UTILITY CONNECTIONS PRIOR TO BEGINNING CONSTRUCTION. SHOULD A CONFLICT EXIST OR DESIGN REVISIONS BE REQUIRED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ALLOW SUFFICIENT TIME FOR DESIGN REVISIONS SO AS TO NOT DELAY THE CONSTRUCTION SCHEDULE.

BALSA CT. WATERLINE CURVE DATA

Δ = 15°22'11"
R = 190.00'
T = 25.64'
L = 50.97'

LEGEND

— —W— —	EXISTING WATERLINE
— — SD — —	EXISTING STORM DRAIN
— —SAS— —	EXISTING SANITARY SEWER
Ⓢ	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
——W——	PROPOSED WATERLINE
—— SD ——	PROPOSED STORM DRAIN
—— SAS ——	PROPOSED SANITARY SEWER
●	PROPOSED MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED CAP OR PLUG
	PROPOSED SINGLE METER, WATER SERVICE LINE
	PROPOSED DOUBLE METER, WATER SERVICE LINES
	PROPOSED SANITARY SEWER SERVICE LINE
	PROPOSED CROSS, TEE, OR ELBOW
	PNM UTILITY CONDUIT
	EXISTING TYPE "B" STORM INLET
	PROPOSED TYPE "B" STORM INLET

26 4663.900793

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE – Suite 102
Albuquerque, NM 87109 – (505) 881-5357

RECORD DRAWING CERTIFICATION

I, Rick Belzramo, a registered professional engineer in the state of New Mexico, having directed the collection of as-built survey information, and having collected construction information from the city inspector, the surveyor and the contractor, do hereby certify that record drawing information shown is true and correct to the best of my knowledge. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

RICHARD LYNN BELTRAMO — NEW MEXICO — 12/6/93

SCANNED BY BY LASON

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

BENCH MARKS	
THE STATION IS LOCATED 9.4 MILES NE OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM THE INTERSECTION OF TRAMWAY BLVD. AND SPAIN RD., GO WEST ON SPAIN RD., AND TRAVEL 0.5 MILES TO LOWELL. TURN NORTH AND TRAVEL 0.25 MILES TO SAN VICTORIO. THE STATION IS IN THE LOWELL MEDIAN NOSE NORTH OF THE INTERSECTION APPROXIMATELY 40.3' NORTH OF THE CENTERLINE OF SAN VICTORIO. THE STATION IS A 3 1/4" ALUMINUM CAP SET FLUSH IN THE TOP OF THE CURB AND IS STAMPED "ACS 3-E22A 1985. SLD 1929 ELEVATION = 5891.17	

AS BUILT INFORMATION		
CONTRACTOR	JARAMILLO CONSTRUCTION	
WORK STAKED BY	JARAMILLO	DATE 93
INSPECTORS ACCEPTANCE BY	COA	DATE 93
FIELD VERIFICATION BY	COA	DATE 93
CORRECTIONS MADE BY	AVID ENG.	DATE 6-93
MICRO-FILM INFORMATION		
RECORDED BY	AVID ENG.	DATE 8-93
NO.		

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY

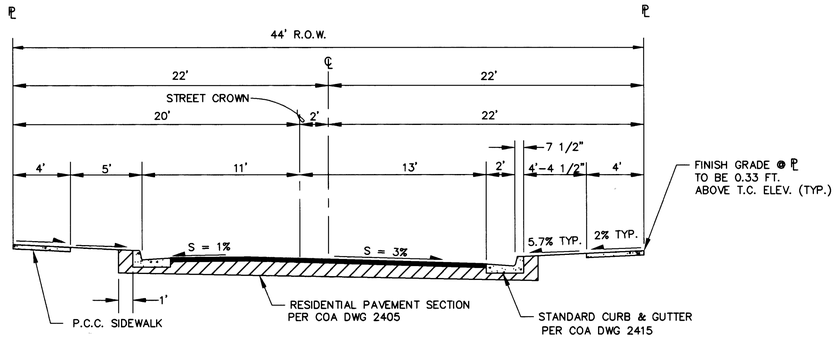
DESIGN		
DESIGNED BY	ETS	DATE
DRAWN BY	RAG	DATE
CHECKED BY	RLB	DATE

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: SUN TERRACE AT PEPPERTREE
MIMOSA CT. N.E.
BALSA CT. N.E.
UTILITY PLAN AND PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair	B.J. Baldwin	5-13-93	Water	R.W. Kane	4-26-93
Transportation	N/A		Waste Water	R.W. Kane	4-26-93
Hydrology	N/A	APC 4-29-93			

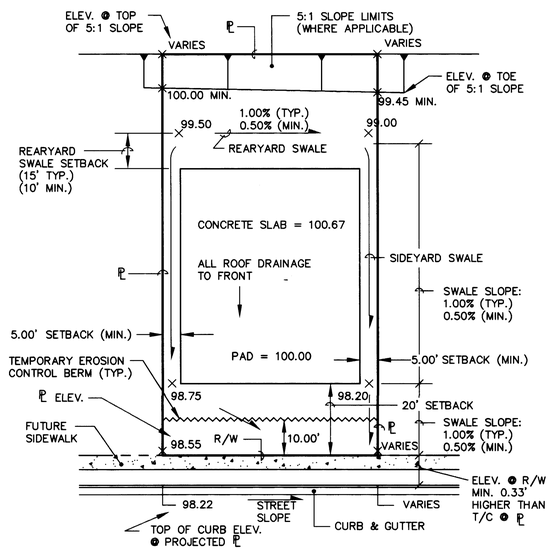
DRAWING NO.	MAP NO.	SHEET	OF
4663.90	E-22-Z	7	9



RESIDENTIAL STREET SECTION (1/4 CROWN)

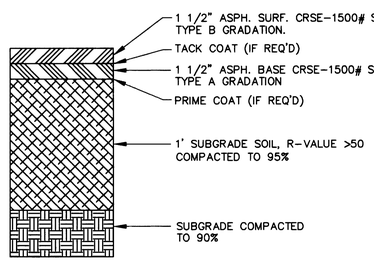
1"=5'

MIMOSA COURT N.E.
BALSA COURT N.E.



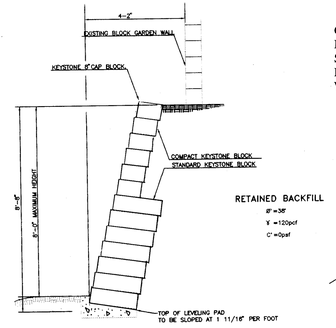
TYPICAL LOT GRADING DETAIL

SCALE: 1"=20'



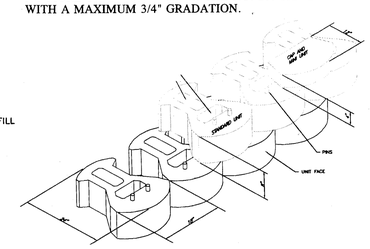
RESIDENTIAL PAVING SECTION

NTS



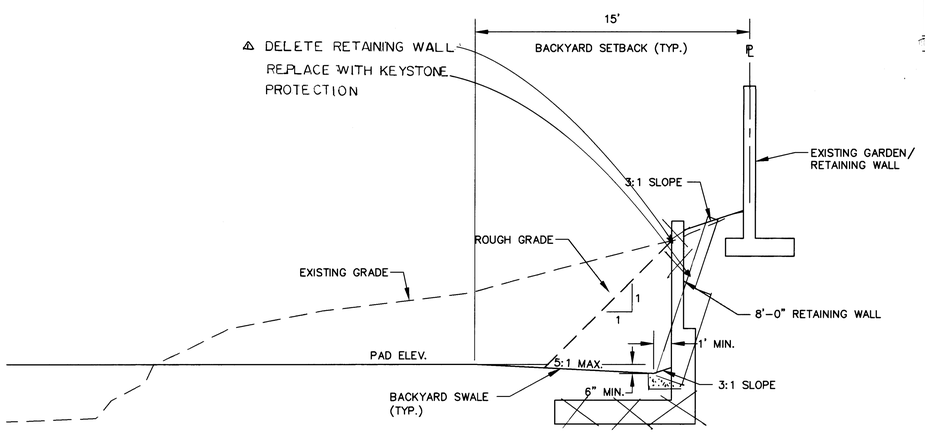
SECTION VIEW

CONSTRUCT KEYSTONE BLOCK PER MANUFACTURER'S SPECIFICATIONS. FILL FOR UNITS SHALL BE FREE DRAINING SANDS OR GRAVEL, NO MORE THAN 10% PASSING THE NO. 200 SIEVE WITH A MAXIMUM 3/4" GRADATION.



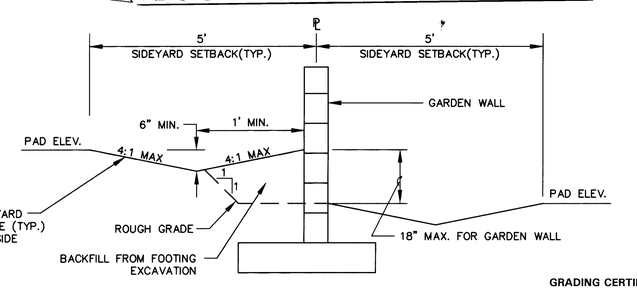
BLOCK LAYOUT

⚠ KEYSTONE BLOCK SLOPE PROTECTION DETAILS



8'-0" RETAINING WALL BACKYARD DETAIL

NTS



C.M.U. GARDEN WALL SIDEYARD DETAIL

NTS

LOT GRADING GENERAL NOTES:

1. LOT GRADING SHALL MEET THE SITE GRADING AND DRAINAGE CRITERIA FOR PROPOSED CONSTRUCTION AS SET FORTH BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT - FEDERAL HOUSING ADMINISTRATION IN CIRCULAR LETTER NO. 91-1, OFFICE OF THE MANAGER, ALBUQUERQUE, NEW MEXICO, DATED 1/25/91.

2. ELEVATION OF HIGHPOINT OF REARYARD SWALE SHALL BE MIN. OF 6' BELOW PAD ELEVATION.

3. FINISHED FLOOR ELEVATIONS (NOT SHOWN) SHALL BE 8' ABOVE PAD ELEVATIONS (SHOWN).

4. FRONT YARD SIDEWALK SLOPE SHALL NOT EXCEED 10%.

5. DRIVEWAY SLOPE SHALL NOT EXCEED 14%. IF DRIVEWAY IS USED AS SIDEWALK, MAX-SLOPE SHALL NOT EXCEED 10%.

6. SLOPES SHALL NOT EXCEED 4:1, UNLESS OTHERWISE NOTED.

7. THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

8. THE CONTRACTOR IS TO COMPLY WITH EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT SUPPLIED BY THE OWNER.

9. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

10. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE CONSTRUCTION SITE. EROSION CONTROL MEASURES ARE INTENDED TO CONTROL MINOR FLOWS AND PROHIBIT THE RELEASE OF SEDIMENT INTO ADJACENT STREETS AND PROPERTY. TEMPORARY EROSION CONTROL BERM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL SHOWN ON THE GRADING PLAN, AT LOCATIONS SHOWN ON THE GRADING PLAN.

11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY BERMS THROUGHOUT THE CONSTRUCTION PHASE. THE OWNER WILL MAINTAIN BERMS AFTER COMPLETION AND ACCEPTANCE OF CONSTRUCTION.

12. TEMPORARY EROSION CONTROL BERMS LOCATED ON INDIVIDUAL LOTS SHALL REMAIN IN PLACE UNTIL THE CONSTRUCTION OF EACH RESPECTIVE BUILDING IS COMPLETE, ON A LOT BY LOT BASIS.

13. THE TOLERANCES FOR ROUGH GRADING SHALL CONFORM TO THE FOLLOWING:

PAD SUBGRADE:	+/- 0.1'
STREET SUBGRADE:	+/- 0.1'
ALL OTHER AREAS:	+/- 0.3'

14. BACKYARD DRAINS TO BE PROVIDED AS DESIGNATED ON WALL DETAILS.

15. THE CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. NOTIFICATION SHALL BE IN A TIMELY MANNER TO ALLOW FOR COORDINATION AND RESOLUTION SO THAT NO DELAY IN THE CONSTRUCTION SCHEDULE OCCURS.

16. CAUTION SHALL BE EXERCISED WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION ACTIVITIES WILL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

17. GRADE ELEVATIONS, WHERE NOTED, ARE FOR TOP OF CURB UNLESS OTHERWISE SPECIFIED.

18. ANY DAMAGE TO THE EXISTING FACILITIES (CURB AND GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

19. THE CONTRACTOR SHALL REVEGETATE AND RE-ESTABLISH ALL AREAS WHICH ARE DISTURBED BY SITE GRADING AND ARE NOT TO RECEIVE PERMANENT SURFACE TREATMENTS. SPECIFICATIONS FOR SEEDING SHALL BE PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, SECTION 1011, NATIVE SEEDING CLASS A.

OPERATION SHALL CONSIST OF PROTECTION OF SITE, PREPARATION OF SEEDBED, MULCHING, FERTILIZATION, AND THE PROVISION OF MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO PERFORM THE OPERATION. THE SEED MIX SHALL BE AS DENOTED IN THE LIST BELOW.

SEED MIX	LBS. PLS PER ACRE
GRASSES	
INDIAN RICE GRASS	1.5 LBS.
GALLETA GRASS 'VITA'	3.5 LBS.
SIDE OATS GRAMA	2 LBS.
SAND DROPSEED	1 LB.
BLUE GRAMA 'HATCHITA'	2 LBS.
WILD FLOWERS	
TAHOKA DAISY	1 LB.
YELLOW CONEFLOWER	1 LB.
GALLARDIA	1 LB.

20. THE CONTRACTOR SHALL SUPPLY AN AS-BUILT SURVEY FOR GRADING CERTIFICATION.

21. THE CONTRACTOR SHALL DISPOSE ALL EXCESS MATERIAL AT AN ACCEPTABLE LOCATION.

22. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH UTILITY COMPANIES AND OTHER CONTRACTORS. NO TIME EXTENSIONS WILL BE ALLOWED FOR CONFLICTS WITH UTILITY COMPANIES AND OTHER CONTRACTORS.

RECORD DRAWING CERTIFICATION

I, Rick Beltramo, a registered professional engineer in the state of New Mexico, having directed the collection of as-built survey information, and having collected construction information from the city inspector, the surveyor and the contractor, do hereby certify that record drawing information shown is true and correct to the best of my knowledge. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

GRADING CERTIFICATION

I, Rick Beltramo, having conducted a site inspection and directed the collection of as-built survey information, certify the site grading and drainage improvements are substantially complete and in accordance with the approved drainage reports and approved construction plans. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.

SCANNED BY
BY LASON

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE - Suite 102
Albuquerque, NM 87109 - (505) 881-5357

26 4663.900894

NO.	DATE	REMARKS	BY
1	5-20-93	DELETE RET. WALL AND ADD KEYSTONE PROTECTION	RLB

DESIGNED BY — DATE
DRAWN BY — DATE
CHECKED BY — DATE

AS BUILT INFORMATION
CONTRACTOR SPARLING CONSTRUCTION
WORK STAKED BY SPARLING DATE 9-3
INSPECTOR'S ACCEPTANCE BY COA DATE 9-3
FIELD VERIFICATION BY COA DATE 9-3
DRAWINGS CORRECTED BY AVID ENG. DATE 9-23
MICRO-FILM INFORMATION
RECORDED BY AVID ENG. DATE 9-23
NO.

BENCH MARKS
THE STATION IS LOCATED 9.4 MILES NE OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM THE INTERSECTION OF TRAMWAY BLVD. AND SPAIN RD., GO WEST ON SPAIN RD., AND TRAVEL 0.5 MILES TO LOWELL. TURN NORTH AND TRAVEL 0.25 MILES TO SAN VICTORIO. THE STATION IS IN THE LOWELL MEDIAN NOSE NORTH OF THE INTERSECTION APPROXIMATELY 40.3' NORTH OF THE CENTERLINE OF SAN VICTORIO. THE STATION IS A 3 1/4" ALUMINUM CAP SET FLUSH IN THE TOP OF THE CURB AND IS STAMPED "ACS 3-E22A 1985. SLD 1929 ELEVATION = 5891.17

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

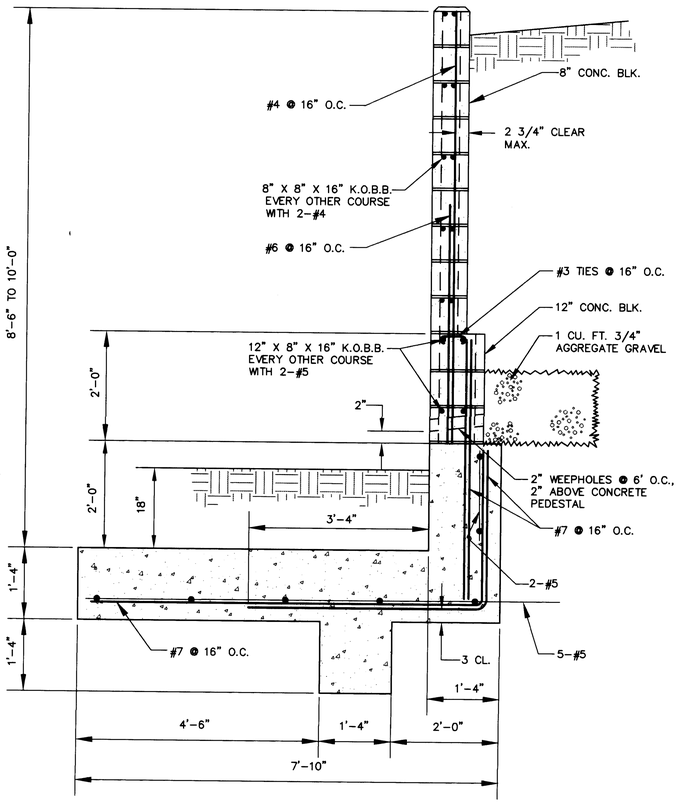
ENGINEER'S SEAL

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: SUN TERRACE AT PEPPERTREE
GRADING DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair		5-13-93	Water	N/A RWB	4-26-93
Transportation		4-29-93	Waste Water	N/A RWB	4-26-93
Hydrology		4-29-93			

DRAWING NO.	MAP NO.	SHEET	OF
4663.90	E-22-Z	8	9

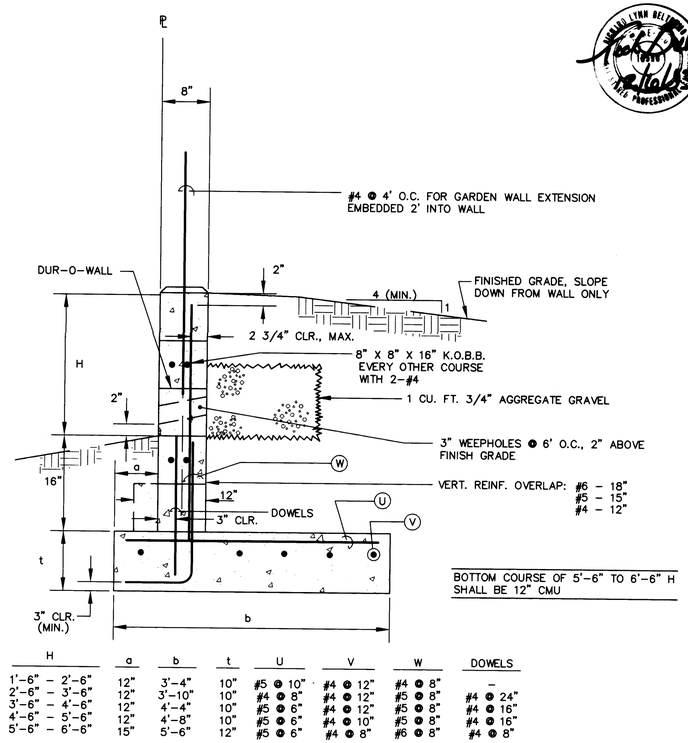


6'-6" TO 8'-0" HIGH CMU RETAINING WALL

NTS

RECORD DRAWING CERTIFICATION

I, Rick Beltramo, a registered professional engineer in the state of New Mexico, having directed the collection of as-built survey information, and having collected construction information from the city inspector, the surveyor and the contractor, do hereby certify that record drawing information shown is true and correct to the best of my knowledge. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.



BOTTOM COURSE OF 5'-6" TO 6'-6" H SHALL BE 12" CMU

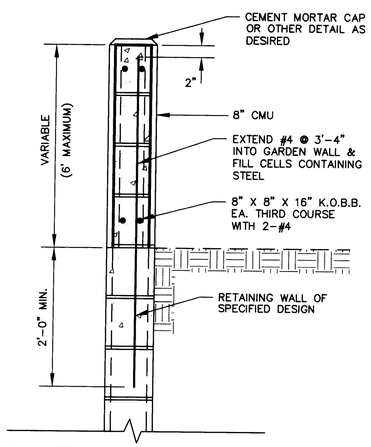
H	a	b	t	U	V	W	DOWELS
1'-6" - 2'-6"	12"	3'-4"	10"	#5 @ 10"	#4 @ 12"	#4 @ 8"	–
2'-6" - 3'-6"	12"	3'-10"	10"	#4 @ 8"	#4 @ 12"	#5 @ 8"	#4 @ 24"
3'-6" - 4'-6"	12"	4'-4"	10"	#5 @ 6"	#4 @ 12"	#5 @ 8"	#4 @ 16"
4'-6" - 5'-6"	12"	4'-8"	10"	#5 @ 6"	#4 @ 10"	#5 @ 8"	#4 @ 16"
5'-6" - 6'-6"	15"	5'-6"	12"	#5 @ 6"	#4 @ 8"	#6 @ 8"	#4 @ 8"

CMU RETAINING

NTS

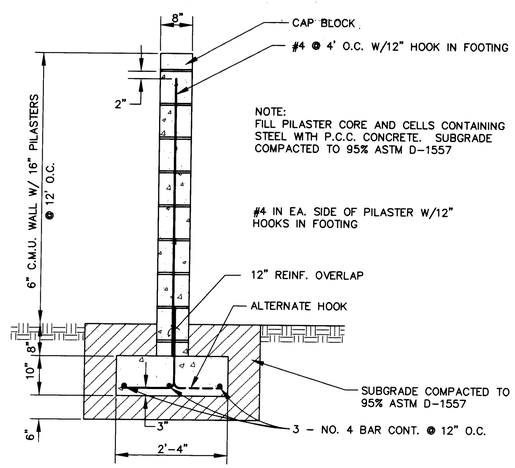
GRADING CERTIFICATION

I, Rick Beltramo, having conducted a site inspection and directed the collection of as-built survey information, certify the site grading and drainage improvements are substantially complete and in accordance with the approved drainage reports and approved construction plans. This certification does not address construction methods, techniques, performance, or compliance to plan specifications.



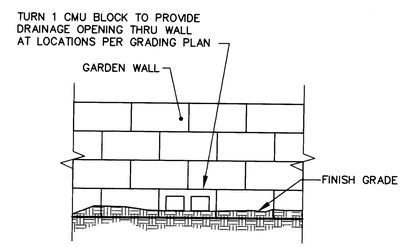
GARDEN WALL EXTENSION

NTS



CMU WALL

NTS



CMU WALL DRAIN DETAIL

NTS

GENERAL NOTES FOR RETAINING WALL

1. REINFORCE CLEARANCE IN ALL CMU = 2-3/4" MAX.
2. REINFORCE CLEARANCE IN ALL CONCRETE = 2" MIN., UNLESS OTHERWISE NOTED.
3. REINFORCE STEEL YIELD STRENGTH = 60 KSI.
4. CONCRETE COMP. STRENGTH @ 28 DAYS = 4000 PSI.
5. 1/2" FELT EXPANSION JOINT TO BE PROVIDED EVERY 16 FT. IN CMU AND CONCRETE AND AT TRANSITIONS IN SECTIONS.
6. USE DUR-O-WAL 9 GA. DIAG. EVERY OTHER COURSE, ON 1'-6" TO 6'-6" CMU RETAINING WALL.
7. ALL CMU RETAING WALL CELLS SHALL BE FILLED WITH CONCRETE.
8. ALL FOOTING COMPACTION SHALL BE 95% MODIFIED PROCTOR PER ASTM D-1557.
9. TWO (2) WORKING DAYS BEFORE CONSTRUCTION, CONTRACTOR SHALL NOTIFY LINE LOCATING SERVICE, 765-1234, FOR UTILITY LOCATIONS. CONTRACTOR SHALL COORDINATE ANY ADJUSTMENTS TO UTILITIES WITH THE UTILITIES COMPANIES.
10. KNOCK OUT BOND BEAMS TO BE INSTALLED EVERY OTHER COURSE UNLESS OTHERWISE NOTED
11. MOISTURE BARRIER COATING SHALL BE APPLIED TO ALL BURIED CMU SURFACES.
12. BACK FILLING AGAINST REINFORCED CONCRETE MASONRY RETAINING WALL SHOULD NOT BE PERMITTED UNTIL AT LEAST 7 DAYS AFTER PLACING THE CORE FILL CONCRETE OR GROUT. WHERE HEAVY EQUIPMENT IS USED IN BACK FILLING WALLS DESIGNED TO RESIST EARTH PRESSURE ONLY, SUCH EQUIPMENT SHOULD NOT APPROACH CLOSER TO THE TOP OF THE WALL THAN A DISTANCE EQUAL TO THE HEIGHT OF THE WALL. CARE SHOULD ALSO BE TAKEN TO AVOID EXERTING LARGE IMPACT FORCES ON THE WALL AS COULD BE CAUSED BY A LARGE MASS OF MOVING EARTH.

AS BUILT INFORMATION

CONTRACTOR SPARLING & CONSTRUCTION
WORK STAKED BY SPARLING DATE 8-93
INSPECTED & ACCEPTANCE BY CGA DATE 8-93
FIELD FABRICATION BY CGA DATE 8-93
DRAWINGS CORRECTED BY AVID ENG. DATE 10-93
MICRO-FILM INFORMATION
RECORDED BY AVID ENG DATE 8-93
NO.

BENCH MARKS

THE STATION IS LOCATED 9.4 MILES NE OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM THE INTERSECTION OF TRAMWAY BLVD. AND SPAIN RD., GO WEST ON SPAIN RD., AND TRAVEL 0.5 MILES TO LOWELL. TURN NORTH AND TRAVEL 0.25 MILES TO SAN VICTORIO. THE STATION IS IN THE LOWELL MEDIAN NOSE NORTH OF THE INTERSECTION APPROXIMATELY 40.3' NORTH OF THE CENTERLINE OF SAN VICTORIO. THE STATION IS A 3 1/4" ALUMINUM CAP SET FLUSH IN THE TOP OF THE CURB AND IS STAMPED "ACS 3-E22A 1985. SLD 1929 ELEVATION = 5891.17

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY

DESIGN

DESIGNED BY E.T.S. DATE 3/93
DRAWN BY RAYJ DATE 3/93
CHECKED BY C.G.P. DATE 3/93

AVID ENGINEERING, INC.
Civil • Structural • Transportation
6100 Seagull St. NE - Suite 102
Albuquerque, NM 87109 - (505) 881-5357

26 4663.900994

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

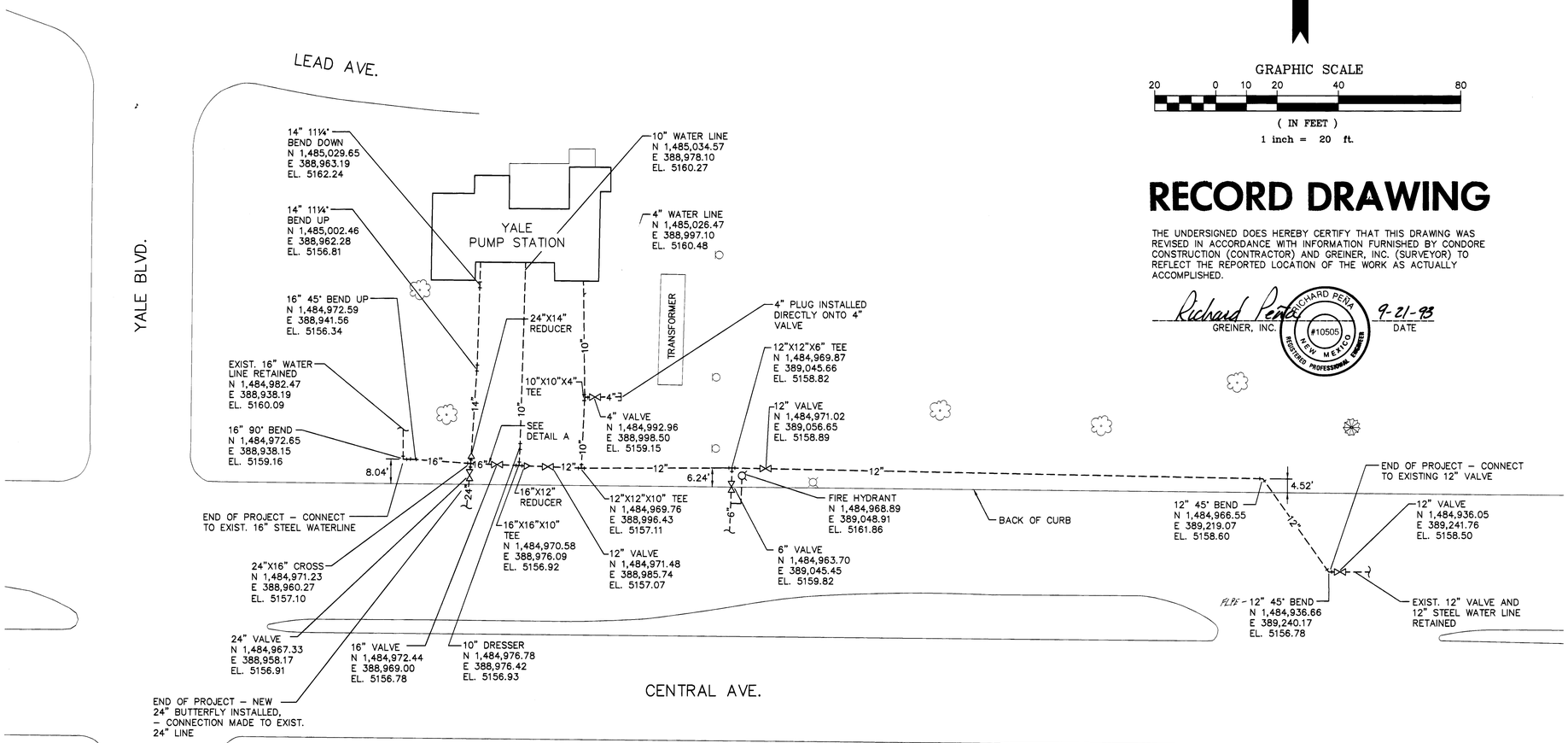
TITLE: SUN TERRACE AT PEPPERTREE WALL DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair		5-13-93	Water	N/A RWK	4-26-93
Transportation	N/A	4-29-93	Waste Water	N/A RWK	4-26-93
Hydrology	N/A HPC	4-29-93			

DRAWING NO.	MAP NO.	SHEET	OF
4663.90	E-22-Z	9	9

SCANNED BY BY LASON

2129.WLDETAIL



GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)

1 inch = 20 ft.

RECORD DRAWING

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS DRAWING WAS REVISED IN ACCORDANCE WITH INFORMATION FURNISHED BY CONDORE CONSTRUCTION (CONTRACTOR) AND GREINER, INC. (SURVEYOR) TO REFLECT THE REPORTED LOCATION OF THE WORK AS ACTUALLY ACCOMPLISHED.

Richard Peña — GREINER, INC. — 9-21-93 DATE

RICHARD PEÑA #10505 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

NOTES:

1. THE STATE PLANE COORDINATES SHOWN AT ALL BENDS AND FITTINGS ARE INITIATED FROM ACS STATIONS "16–K–16" AND "6–K–15". BEARINGS SHOWN ARE GRID BEARINGS, DISTANCES ARE GROUND DISTANCES. (USE ACS STATION ELEVATIONS FOR BENCHMARKS).
2. ALL EXISTING STEEL WATER LINES BETWEEN THE PUMP STATION AND CENTRAL AVENUE WERE REMOVED AND DISPOSED OF IN THIS PROJECT.
3. THIS RECORD DRAWING WAS COMPLETED UNDER A/E CONTRACT NO. 4335.

AS BUILT INFORMATION

CONTRACTOR CONDORE CONST. DATE 8/93
WORK STAKED BY N/A
INSPECTOR'S ACCEPTANCE BY A. OSTAPACK DATE 5/93
FIELD VERIFICATION BY P. CHANG DATE 5/93
DRAWINGS CORRECTED BY GREINER, INC. DATE 7/93

MICRO–FILM INFORMATION

RECORDED BY DATE

BENCH MARKS

ACS 16–K–16 1001
ELEV. 5160.668 FEET
ACS 6–K–15 1000
ELEV. 5160.768 FEET

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1909	W. MARQUIS	4/26/93
1909	K. YOUNG	4/27/93
1909	K. YOUNG	4/29/93
1909	W. MARQUIS	5/3/93
1909	W. MARQUIS	5/4/93
1909	K. YOUNG	5/5/93
1909	D. O'DANIEL	5/10/93

ENGINEER'S SEAL

RICHARD PEÑA #10505 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY: N/A DATE
DRAWN BY: JAK DATE 9/93
CHECKED BY: RP/MSH DATE 9/93
PROJECT NO.

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Russell B. Hecht
DATE 10-29-93

Greiner, Inc.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

TITLE: YALE PUMP STATION
WATER LINE REPLACEMENT

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC Chairman			Water		
Transportation			Waste Water		
Hydrology					

DRAWING NO. 4652.90 | MAP NO. K–16N | SHEET 1 OF 1

26 4652.900193

SCANNED BY BY LASON

E2520C1.DWG