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VICINITY MAP ZONE ATLAS NO.

GENERAL NOTES

NOTICE TO CONTRACTORS

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL CONFLICTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTES. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIEDC. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF STANDARD SPECIFICATIONS.
6. THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION.
7. ALL STREET IMPROVEMENTS ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
8. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOURS CONSTRUCTION.
9. WATER SHUTOFF REQUIREMENTS:
   THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF. AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT THE WATER SYSTEM DIVISION, 857-8200, TO INITIATE IMPLEMENTATION OF THE NON-PRESSURIZED CONNECTION PLAN. IN ORDER TO COMPLETE THIS CONNECTION, THE FOLLOWING VALVES MUST BE CLOSED BY WATER SYSTEMS PERSONNEL;

RECORD DOCUMENTS FOR:

CLASS I CONSTRUCTION

JEANNE BELLAMAH SHELTER CENTER ADDITION

11516 SUMMER AVENUE N.E. **Albuquerque, New Mexico 87112**

PORTIONS OF FUNDING PROVIDED BY STATE GRANT # 94-L-NR-1-3-G-869

AND

HOLIDAY PARK SHELTER CENTER EXPANSION

11710 COMANCHE ROAD N.E. **Albuquerque, New Mexico 87111**

PORTIONS OF FUNDING PROVIDED BY STATE GRANT # 94-L-NR-1-3-G-107

CITY OF ALBUQUERQUE

PARKS & GENERAL SERVICES DEPARTMENT

DESIGN & DEVELOPMENT DIVISION

SANDERS ROGERS ARCHITECTS, P.C.

301 GOLD AVENUE S.W. SUITE 202 ALBUQUERQUE N.M. 87102 (505) 247-1168 FAX 247-0262

MAY 24, 1996

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
DATE 7-15-97

LIST OF CONSULTANTS:

CIVIL:
JEFF MORTENSEN & ASSOCIATES, INC.
6010-B Midway Park Blvd. N.E.
Albuquerque, New Mexico 87109
(505) 345-4250
Contact: Jeff Mortensen

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44 Cook Street Suite 200
Denver, Colorado 80206
(303) 377-2732
Contact: Stan Neujahr

MECHANICAL/ PLUMBING:
BANDI ENGINEERING COMPANY INC.
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Albuquerque, New Mexico 87102
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Contact: Said Bandi

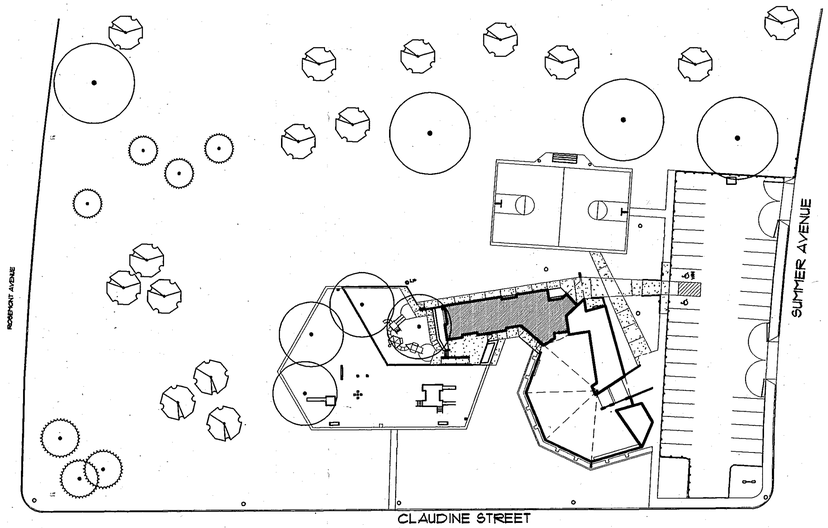
ELECTRICAL:
ALLIED ENGINEERING
8000 Pennsylvania Circle N.E. Suite B
Albuquerque, New Mexico 87110
(505) 262-1766 Fax 262-1766
Contact: Dennis M. Scarcell, P.E.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	
	DRC Chairman			APPROVED FOR CONSTRUCTION
	Transportation			
	Water/ Wastewater			
	Hydrology			
	Parks			City Engineer Date
	Constr. Mngmt.			
	City Project No. 4754.92			Sheet 1 of 56 G-1

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 07 97

CODE INFORMATION



USABLE BUILDING AREA SUMMARY

EXISTING ENCLOSED SPACE	1180 S.F.	TOTAL ENCLOSED SPACE	2900 S.F.
NEW BUILDING STRUCTURE (PROVIDING ENCLOSED SPACE)	1720 S.F.	EXISTING ROOFED OPEN SHELTER	3675 S.F.
		TOTAL USABLE SHELTER CENTER	6575 S.F.

KEY PLAN

NOT TO SCALE

NORTH

INDEX OF DRAWINGS

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SITE LOCATION MAP J-22

NORTH

1991 UNIFORM BUILDING CODE ANALYSIS

A. OCCUPANCY GROUP:

1. EXISTING BUILDIING: A-3
2. ADDITION: MIXED OCCUPANCY
   A-3, GAME ROOM
   E-3, DAY CARE
   REQUIRED SEPARATION: NONE

B. CONSTRUCTION TYPE:

1. EXISTING BUILDING: V - N (No requirements for fire resistance)
2. ADDITION: V - N (No requirements for fire resistance)

REQUIRED SEPARATION: NONE

C. LOCATION ON PROPERTY

ALL EXTERIOR WALLS OF THE EXISTING BUILDING AND THE ADDITION ARE MORE THAN 10' FROM THE PROPERTY BOUNDARY AND THEREFORE DO NOT REQUIRE RATED OPENINGS.

ALL EXTERIOR WALLS OF THE EXISTING BUILDING AND THE ADDITION FRONT ON OR HAVE ACCESS TO A PUBLIC STREET WITH A MINIMUM OF 20' RIGHT-OF-WAY.

D. ALLOWABLE FLOOR AREA

1. EXISTING BUILDING: 4855 SF + ADDITION: 1720 SF = 6575 SF

BASE AREA TYPE V-N A-3 TABLE 5C = 6,000 SF

100% AREA INCREASE FOR (60' MINIMUM) SEPARATION ON THREE SIDES = 6,000 SF

ACTUAL 6575 SF < 12,000 SF ALLOWABLE TOTAL

2. ADDITION: GAME ROOM, 960 SF & PRE-SCHOOL, 760 SF

BASE AREA TYPE V-N A-3 TABLE 5C = 6,000 SF
BASE AREA TYPE V-N E-3 TABLE 5C = 9,100 SF

MIXED OCCUPANCY: SUM OF THE RATIOS OF EACH USE TO ITS BASE AREA MUST BE LESS THAN 1. SEC.505(c)

$$\frac{960\ SF\ (A\text{-}3\ ACTUAL)}{6{,}000\ SF\ (A\text{-}3\ BASE)} + \frac{760\ SF\ (E\text{-}3\ ACTUAL)}{9{,}100\ SF\ (E\text{-}3\ BASE)} = 0.25 < 1.00$$

3. EXISTING BUILDING AND ADDITION COMBINED:

TOTAL: A-3 USE, 5815 SF & PRE-SCHOOL, 760 SF

MIXED OCCUPANCY: SUM OF THE RATIOS OF EACH USE TO ITS BASE AREA MUST BE LESS THAN 1. SEC.505(c)

$$\frac{5815\ SF}{12{,}000\ SF} + \frac{760\ SF}{9{,}100\ SF} = 0.57 < 1.00$$

E. HEIGHT AND NUMBER OF STORIES:

EXISTING BUILDING AND ADDITION 1 STORY
16'-4", TOP OF PARAPET

TABLE 5-D A-3, E-3 TYPE V-N 1 STORY
MOST RESTRICTIVE CASE 40'-0", MAXIMUM

F. EXITING:

OCCUPANT LOAD FOR EXPANDED CENTER: (TABLE 33-A)

GAME ROOM	885 N.S.F. @ 1 PERSON / 15 SF	=	59
PRE-SCHOOL	760 N.S.F. @ 1 PERSON / 35 SF	=	22
KITCHEN	240 N.S.F. @ 1 PERSON / 100 SF	=	3
OFFICE	168 N.S.F. @ 1 PERSON / 100 SF	=	2
	TOTAL NUMBER OF PEOPLE		86

MINIMUM NUMBER OF EXITS: 2 REQUIRED

ACCESSIBILITY NOTES

1. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90°, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12° WILL BE 5 SECONDS MINIMUM. THE MAXIMUM OPENING FORCE ON ALL DOORS SHALL NOT EXCEED 5 POUNDS (222 N) OF FORCE.
2. ALL EXISTING FLOORING TO REMAIN IS STABLE, FIRM AND SLIP-RESISTANT.
3. BATHROOM ACCESSIBILITY HAS BEEN DESIGNED TO PARAMETERS SET FORTH IN THE AMERICAN NATIONAL STANDARDS INSTITUTE REVISION A117.1-1992, AND THE AMERICANS WITH DISABILITIES ACT (ADA).
4. HOT WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES OR SINKS SHALL BE INSULATED.
5. HEIGHT OF SWITCHES, RECEPTACLES, JACKS, FIRE EQUIPMENT AND CONTROLS TO BE 15" - 48" A.F.F.
6. A.D.A. STANDARD INSTALLATION FOR SIGNAGE: THE SIGN SHOULD BE MOUNTED SIXTY INCHES (60") FROM THE FLOOR TO THE CENTER OF THE SIGN, ON THE LATCH SIDE. THE DISTANCE BETWEEN THE DOOR FRAME AND THE SIGN SHOULD BE TWO INCHES (2").

FUTURE PRE-SCHOOL LICENSING CONSIDERATIONS

FROM NEW MEXICO REGULATIONS GOVERNING FACILITIES PROVIDING DAY/NIGHT CARE TO CHILDREN.

1. CAPACITY IS BASED ON 35 SF OF USEABLE SPACE PER CHILD IN THE ACTIVITY AREA. (MEASURED FROM WALL TO WALL, DEDUCTING OFFSETS AND BUILT IN FIXTURES)
2. ACTIVITY AREA SHALL HAVE WINDOWS/SKYLIGHTS OF AT LEAST 1/20 OF FLOOR AREA. THE ACTIVITY AREA SHALL HAVE AN IMMEDIATE EXIT DOOR OR 5.7 SF NET CLEAR OPENABLE WINDOW. (THERE SHALL BE TWO EXITS REMOTE FROM EACH OTHER.)
3. OUTSIDE ACTIVITY AREA: 60 SF PER CHILD FOR 20% OF CAPACITY. OUTSIDE ACITVITY AREA SHALL BE FENCED WITH AT LEAST ONE LATCHED GATE AS AN EMERGENCY EXIT.
4. ONE TOILET AND LAVATORY REQUIRED FOR 1-12 CHILDREN. TWO TOILETS AND LAVATORIES REQUIRED FOR 13-25 CHILDREN. (LOCKS AND LATCHES ON BATHROOMS AND CLOSETS SHALL BE RELEASEABLE ON OUTSIDE.)
5. THERE SHALL BE MANUALLY OPERATED FIRE ALARM SYSTEM, SMOKE DETECTORS AND TWO FIRE EXTINGUISHERS. (ELECTRICAL OUTLETS WITHIN REACH OF CHILDREN SHALL BE SAFETY OR HAVE PROTECTIVE COVERS.)

CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE

ADDRESS: 11516 SUMMER AVENUE N.E.
LEGAL DESCRIPTION: LOCATED WITHIN JEANNE BELLAMAH PARK
ZONED: R-1 W/ CONDITIONAL USE FOR COMMUNITY CENTER
MAXIMUM HEIGHT ALLOWED: 26'-0"
PARK AREA: 7.52 ACRES
PARKING REQUIRED:

OFFICES	168 NET S.F. @ 1:200	=	1
PRE-SCHOOL	760 NET S.F. IS 2 PLUS 1	=	3
ACTIVITY AREAS (ENCLOSED)	4560 NET S.F. @ 1:200	=	23
REQUIRED TOTAL			27 SPACES

BREAKDOWN
25 REGULAR CARS
1 HANDICAPPED ACCESSIBLE
1 VAN SPACE (HANDICAPPED ACCESSIBLE)
27 TOTAL REQUIRED

PARKING PROVIDED:
29 REGULAR CAR SPACES
1 HANDICAPPED ACCESSIBLE SPACE
1 VAN SPACE (HANDICAPPED ACCESSIBLE)
31 TOTAL

ARCHITECT:

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168

LIST OF CONSULTANTS

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Contact: Said Bandi

ELECTRICAL:

ALLIED ENGINEERING
8000 Pennsylvania Circle N.E. Suite B
Albuquerque, New Mexico 87110
(505) 262-1766 Fax 262-1766
Contact: Dennis M. Scarcell, P.E.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 0297

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: Ch DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

DRAWN BY: JPG DATE: 5-15-96
FILE NAME: B-G2 SCALE: FULL

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: COVER SHEET
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	2 Of 56 B-G2

LEGAL DESCRIPTION

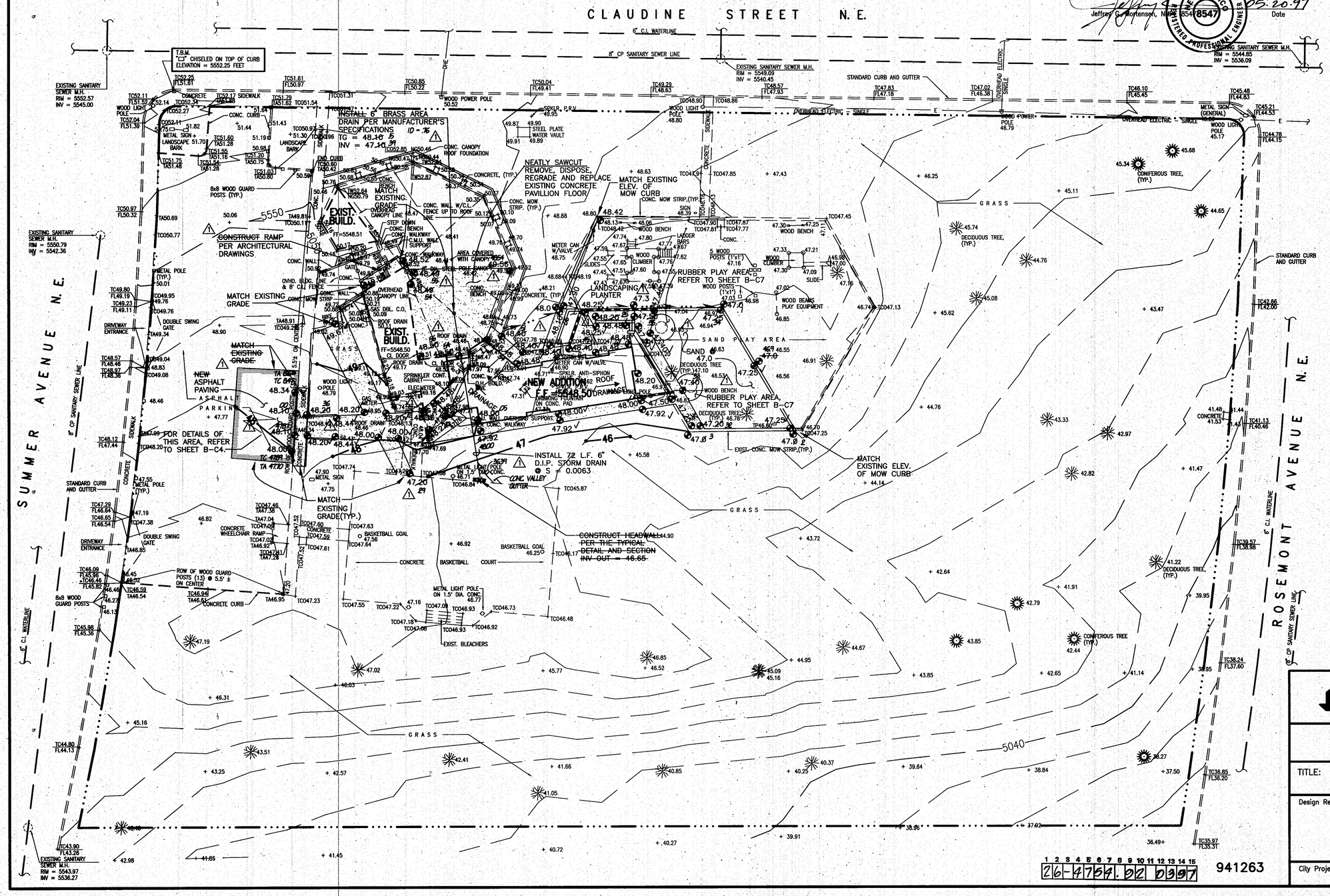
JEANNE BELLAMAH PARK, LANDS OF CITY OF ALBUQUERQUE.

LEGEND

+ 46.03	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
TCO	TOP OF CONCRETE
TC	TOP OF CURB
TA	TOP OF ASPHALT
NG	NATURAL GROUND
TW	TOP OF WALL
FL	FLOW LINE
TP	TELEPHONE PEDESTAL
C.L.	CHAINLINK
	DECIDUOUS TREE
	CONIFEROUS TREE
	PROJECT BOUNDARY
50.00	PROPOSED SPOT ELEVATION
49	PROPOSED CONTOUR
	PROPOSED CONCRETE
	PROPOSED RETAINING WALL
	DIRECTION OF FLOW
	FLOWLINE
TC	TOP OF CURB
48.50	AS BUILT ELEVATION
✓	AS BUILT = AS-DESIGNED

SCALE: 1" = 20'

NOTE: WATER AND SANITARY SEWER LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY FROM INFORMATION TAKEN FROM CITY OF ALBUQUERQUE WATER AND SANITARY SEWER DISTRIBUTION MAPS.



DRAINAGE CERTIFICATION

As indicated by the as-built information shown hereon, the majority of the Jeanne Bellamah Shelter Center Addition has been graded and drained in substantial compliance with the approved Grading and Drainage Plan. Several exceptions, however, are noted: 1) the asphalt paving in and around the new handicapped spaces has not been constructed per plan; 2) the headwall at the downstream end of the 6" storm drain has been constructed in a different location and configuration than the approved plan. The deviations in the asphalt paving at the handicapped parking spaces will not have an adverse affect on the manner in which the site drains. The changes may or may not satisfy ADA requirements which are not evaluated as part of this certification. The deviations in the configuration and location of the 6" storm drain outlet satisfy the general intent of the approved design. It is based upon the above evaluation that issuance of a Permanent Certificate of Occupancy for this project is hereby recommended. The information shown hereon has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge.

Jeffrey G. Mortensen, N.M. 8547 — 05.20.97 Date

JEFFREY G. MORTENSEN — NEW MEXICO — 8547 — REGISTERED PROFESSIONAL ENGINEER

Construction Notes:

1. Two (2) working days prior to any excavation, contractor must contact New Mexico One Call System 260-1990, for location of existing utilities.
2. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential obstructions. Should a conflict exist, the contractor shall notify the engineer in writing so that the conflict can be resolved with a minimum amount of delay.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. All construction within public right-of-way shall be performed in accordance with applicable City of Albuquerque Standards and Procedures.
5. If any utility lines, pipelines, or underground utility lines are shown on these drawings, they are shown in an approximate manner only, and such lines may exist where none are shown. If any such existing lines are shown, the location is based upon information provided by the owner of said utility, and the information may be incomplete, or may be obsolete by the time construction commences. The engineer has conducted only preliminary investigation of the location, depth, size, or type of existing utility lines, pipelines, or underground utility lines. This investigation is not conclusive, and may not be complete, therefore, makes no representation pertaining thereto, and assumes no responsibility or liability therefor. The contractor shall inform itself of the location of any utility line, pipeline, or underground utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify and preserve any and all existing utilities, pipelines, and underground utility lines. In planning and conducting excavation, the contractor shall comply with state statutes, municipal and local ordinances, rules and regulations, if any, pertaining to the location of these lines and facilities.
6. The design of planters and landscaped areas is not part of this plan. All planters and landscaped areas adjacent to the building(s) shall be provided with positive drainage to avoid any ponding adjacent to the structure. For construction details, refer to landscaping plan.

Erosion Control Measures:

1. The contractor shall ensure that no soil erodes from the site into public right-of-way or onto private property.
2. The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
3. The contractor shall secure "Topsoil Disturbance Permit" prior to beginning construction.

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6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 343-4250

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: **GRADING PLAN**
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	3-25-96

City Project No.	Zone Map No.	Sheet
4754.92	J-21	3 Of 56 B-C1

26-4754.92 0397 941263

AS BUILT INFORMATION — CONTRACTOR / WORK STAKED BY / INSPECTOR'S ACCEPTANCE / FIELD VERIFICATION BY / DATE / CORRECTED BY — MICRO-FILM INFORMATION — RECORDED BY / DATE / NO.

BENCH MARKS: CITY OF ALBUQUERQUE BENCHMARK "4-121" A CHISELED "X" ON TOP OF CONCRETE CURB AT THE MIDPOINT OF THE CURVE, LOCATED IN THE S.W. QUADRANT OF THE ELEVATION = 5561.99' (N.G.S.D.)

T.B.M. = A CHISELED "□" AT TOP OF CURB, LOCATED NEAR THE INTER. SECTION OF SUMMER AVE. N.E. AND CLAUDINE ST. N.E. AS SHOWN. ELEVATION = 5552.25' (N.G.S.D.)

SURVEY INFORMATION — FIELD NOTES — NO. — BY — DATE

ENGINEERS SEAL — JEFFREY G. MORTENSEN — NEW MEXICO — 8547 — REGISTERED PROFESSIONAL ENGINEER — 05-15-96 07-03-96

NO.	DATE	REMARKS	BY
1	4/97	AS-BUILT AND CERTIFY	JGM

Revisions	Date	
DESIGN		
Designed By	M.E.D./G.R.B.	Date 05-95
Drawn By	C.J.H./J.Y.R.	Date 05-95
Checked By	J.G.M.	Date 05-95

C:\DATA\ACADWG\941263 Tue May 20 11:26:08 1997 -JYR

DRAINAGE PLAN

The following items concerning the Jeanne Bellamah Drainage Plan are contained hereon:

1. Vicinity Map
2. Grading Plan
3. Calculations
4. F.I.R.M.

As shown by the Vicinity Map, the site is located at the southwest corner of Summer Avenue N.E. and Claudine Street N.E. At present, the site consists of two buildings and associated landscaping.

As shown by Panel 31 of 50 of the National Flood Insurance Program, Flood Insurance Rate Maps published by F.E.M.A. for the City of Albuquerque, New Mexico dated October 14, 1983, this site does not lie in a designated flood hazard area. Further review of the mapping does not reveal any apparent downstream flooding hazards.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1'0" intervals, 2) the limit and character of the existing improvements, 3) the limit and character of the proposed improvements, and 4) continuity between existing and proposed grades. As shown by the grading plan, the improvements to the site will consist of the addition of a new building with associated landscaping and concrete walkways. A new play area is to be constructed directly south of the building addition. The site is located in a developed residential area making the building addition a modification to an infill site.

As for offsite flows, none encroach the site since it is completely surrounded by developed paved streets which lie topographically lower than the site.

The Calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Procedure for 40-acre and Smaller Basins, as set forth in the Revision of Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, dated January, 1993, has been used to quantify the peak rate of discharge and volume of runoff generated. As shown by the calculations, a slight increase in the runoff discharge rate and volume is expected.

CALCULATIONS

Site Characteristics

1. Precipitation Zone = 4
2. $P_{6,100} = P_{360} = 2.90$ in.
3. Total Area (A_T) = 3.13 ac.
4. Existing Land Treatment

Treatment	Area (sf/ac)	%
B	111,290/2.55	81.6
D	25,170/0.58	18.4

5. Developed Land Treatment

Treatment	Area (sf/ac)	%
B	106,890/2.45	78.3
D	29,570/0.68	21.7

Existing Condition

1. Volume

$E_W = (E_A A_A + E_B + E_C A_C + E_D A_D)/A_T$

$E_W = [(1.08)(2.55) + (2.64)(0.58)]/(3.13) = 1.37$ in.

$V_{100} = (E_W/12)A_T$

$V_{100} = (1.37/12)(3.13) = 0.3571$ ac.ft. = 15,555 cf

2. Peak Discharge

$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$

$Q_p = Q_{100} = (2.92)(2.55) + (5.25)(0.58) = 10.5$ cfs

Developed Condition

1. Volume

$E_W = (E_A A_A + E_B + E_C A_C + E_D A_D)/A_T$

$E_W = [(1.08)(2.45) + (2.64)(0.68)]/(3.13) = 1.42$ in.

$V_{100} = (E_W/12)A_T$

$V_{100} = (1.42/12)(3.13) = 0.3701$ ac.ft. = 16,120 cf

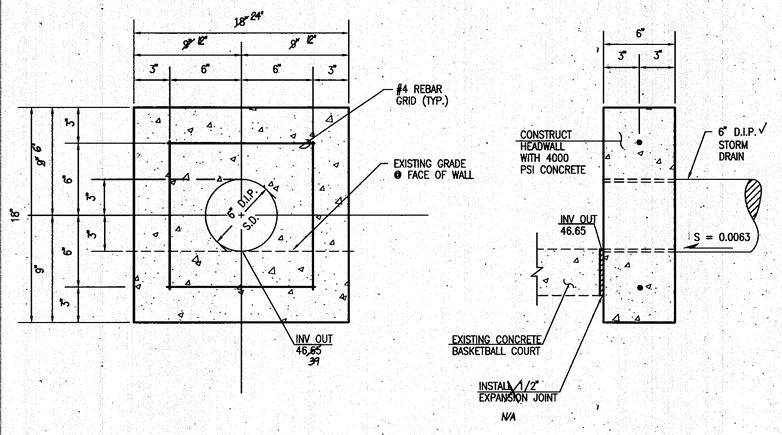
2. Peak Discharge

$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$

$Q_p = Q_{100} = (2.92)(2.45) + (5.25)(0.68) = 10.7$ cfs

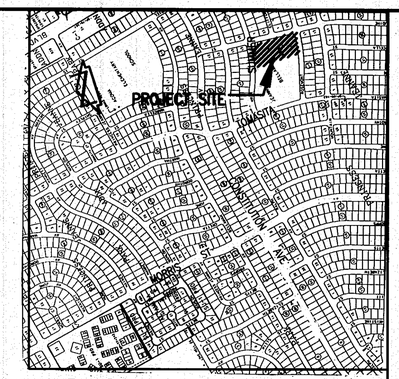
Comparison

1. $\Delta V_{100} = 16{,}120 - 15{,}555 = 565$ cf (increase)
2. $\Delta Q_{100} = 10.7 - 10.5 = 0.2$ cfs (increase)



⚠ ~~TYPICAL~~ HEADWALL DETAIL AND SECTION

SCALE: 1" = 6"



VICINITY MAP J-21

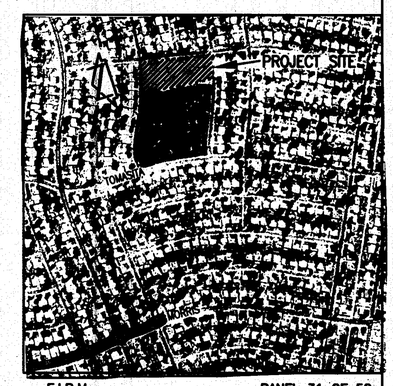
SCALE: 1" = 750'

⚠ DRAINAGE CERTIFICATION

As indicated by the as-built information shown hereon, the majority of the Jeanne Bellamah Shelter Center Addition has been graded and drained in substantial compliance with the approved Grading and Drainage Plan. Several exceptions, however, are noted: 1) the asphalt paving in and around the new handicapped spaces has not been constructed per plan; 2) the headwall at the downstream end of the 6" storm drain has been constructed in a different location and configuration than the approved plan. The deviations in the asphalt paving at the handicapped parking spaces will not have an adverse affect on the manner in which the site drains. The changes may or may not satisfy ADA requirements which are not evaluated as part of this certification. The deviations in the configuration and location of the 6" storm drain outlet satisfy the general intent of the approved design. It is based upon the above evaluation that issuance of a Permanent Certificate of Occupancy for this project is hereby recommended. The information shown hereon has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief.

Jeffrey G. Mortensen, NMPE 8547 — Date 5-20-97

JEFFREY G. MORTENSEN NEW MEXICO 8547 REGISTERED PROFESSIONAL ENGINEER



F.I.R.M. PANEL 31 OF 50

SCALE: 1" = 500' Approx.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 0497

941263

SANDERS ROGERS ARCHITECTS, P.C.
301 GOLD AVENUE S.W. SUITE 202
ALBUQUERQUE, NEW MEXICO 87102
(505) 247-1168, FAX: 247-0262

JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: **DRAINAGE PLAN, CALCULATIONS, MAPS AND SECTIONS**
JEANNE BELLAMAH SHELTER CENTER ADDITION

Designed By	M.F.D./G.R.B.	Date 05-95
Drawn By	C.J.H.	Date 05-95
Checked By	J.G.M.	Date 05-95

NO.	DATE	REMARKS	BY
1	4-97	AS-BUILT NO CERTIFY	JGM

Revisions
Design

SURVEY INFORMATION — FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL: JEFFREY G. MORTENSEN NEW MEXICO 8547 REGISTERED PROFESSIONAL ENGINEER 05-15-97 07-0896

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAKED BY	
CONSTRUCTION ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY DATE
NO.

BENCH MARKS

CITY OF ALBUQUERQUE BENCHMARK "4-J21". A CHISELED "X" ON TOP OF CONCRETE CURB AT THE MIDPOINT OF THE CURVE LOCATED IN THE S.W. QUADRANT OF THE
ELEVATION = 5561.99' (M.S.L.D.)

T.B.M.= A CHISELED "□" AT TOP OF CURB LOCATED NEAR THE INTERSECTION OF SUMMER AVE. N.E. AND CLAUDINE ST. N.E. AS SHOWN.
ELEVATION = 5552.25' (M.S.L.D.)

City Project No.	Zone Map No.	Sheet
4754.92	J-21	4 Of 56

Last Design Update: 3-25-96

B-C2

C:\DATA\ACADDNG\941263C Tue May 20 11:15:59 1997 -JVR

ROSEMONT AVENUE

CLAUDINE STREET

SUMMER AVENUE

NEW LOCATION FOR BABY SWING. PROVIDE NEW POSTS REQUIRED FOR NEW INSTALLATION TO MATCH EXISTING. FIELD VERIFY POSTS AND MATCH POSTS IN HEIGHT AND MATERIAL AND MOUNT SWINGS AT SAME HEIGHT AS EXISTING

PRE-SCHOOL SAND PLAY AREA

FENCING & CURB

EXISTING BENCH TO BE REMOVED

PLANTING AREA

CONC. WALK

ADDITION

PATIO

BENCH

PLANTER

EXISTING SWINGSET TO BE REMOVED

EXISTING PLAY EQUIPMENT

EXISTING PLAY EQUIPMENT TO BE REMOVED

EXISTING PLAY EQUIPMENT

EXISTING SAND PLAY AREA

EXIST. BENCH

EXIST. BENCH

H.C. RAMP

NEW MOW CURB

REMOVE EXISTING MOW CURB

WATER METER

EXISTING MOW CURB

REMOVE AND RELOCATE EXISTING BABY SWING (APPROX. 11'-0" LONG)

EXISTING BASKETBALL COURTS

EXIST STRUCT.

EXISTING SHELTER

EXIST STRUCT.

CONC. WALK

CONCRETE RAMP @ 1:20

8'-6"

8'-6"

8'-6"

20'-0"

NEW STRIPING

EXISTING PARKING

RESTRIPE EXISTING PARKING LOT PER CITY OF ALBUQUERQUE STANDARDS

EXISTING SIDEWALK TO REMAIN

EXISTING BOLLARDS TYPICAL

EXISTING SIGN

NOTHING NEW SHALL OBSTRUCT THE CLEAR SITE TRIANGLE

IF EXISTING CURB CUTS ARE DAMAGED AS A RESULT OF ACTION BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS, THEY WILL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE PER CITY STANDARDS.

APPROXIMATE LIMITS OF CONSTRUCTION: CONTRACTOR TO SUPPLY DIAGRAM OF CONSTRUCTION FENCING. ALL FENCING LAYOUT MUST BE APPROVED IN ADVANCE BY PARK LAND MANAGEMENT.

NEW POLE

LEGEND

- T — TRASH CAN
- P — UTILITY POLE
- LP — LIGHT POLE
- D — REFUSE DUMPSTER
- COTTONWOOD TREE
- LOCUST TREE
- PINE TREE

SITE PLAN

SCALE: 1" = 20'-0"

NORTH

SURVEY INFORMATION			BENCH MARK	AS BUILT INFORMATION	
FIELD NOTES			CITY OF ALBUQUERQUE BENCHMARK '14-J-21' A CHISELED 'X'	CONTRACTOR	DATE:
NO.	BY	DATE	ON TOP OF CONCRETE CURB AT THE MIDPOINT OF THE CURVE	WORK STAKED BY	DATE:
			LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF	INSPECTOR'S APPROVAL	DATE:
			CONSTITUTION AND CLAUDINE STREET N.E.	FIELD VERIFICATION BY	DATE:
			ELEVATION = 5561.993' (MSL.D.)	DRAWING CORRECTED BY MSH DATE: 6-20-97	
				MICRO-FILM INFORMATION	
			T.B.M. = A CHISELED ☐ AT TOP OF CURB LOCATED NEAR THE	RECORDED BY	DATE:
			INTERSECTION OF SUMMER AVE. N.E. AND CLAUDINE ST. N.E. AS	NO.	
			SHOWN. ELEVATION = 5552.25' (MSL.D.)		

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: SITE PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	5 of 56 B-C3

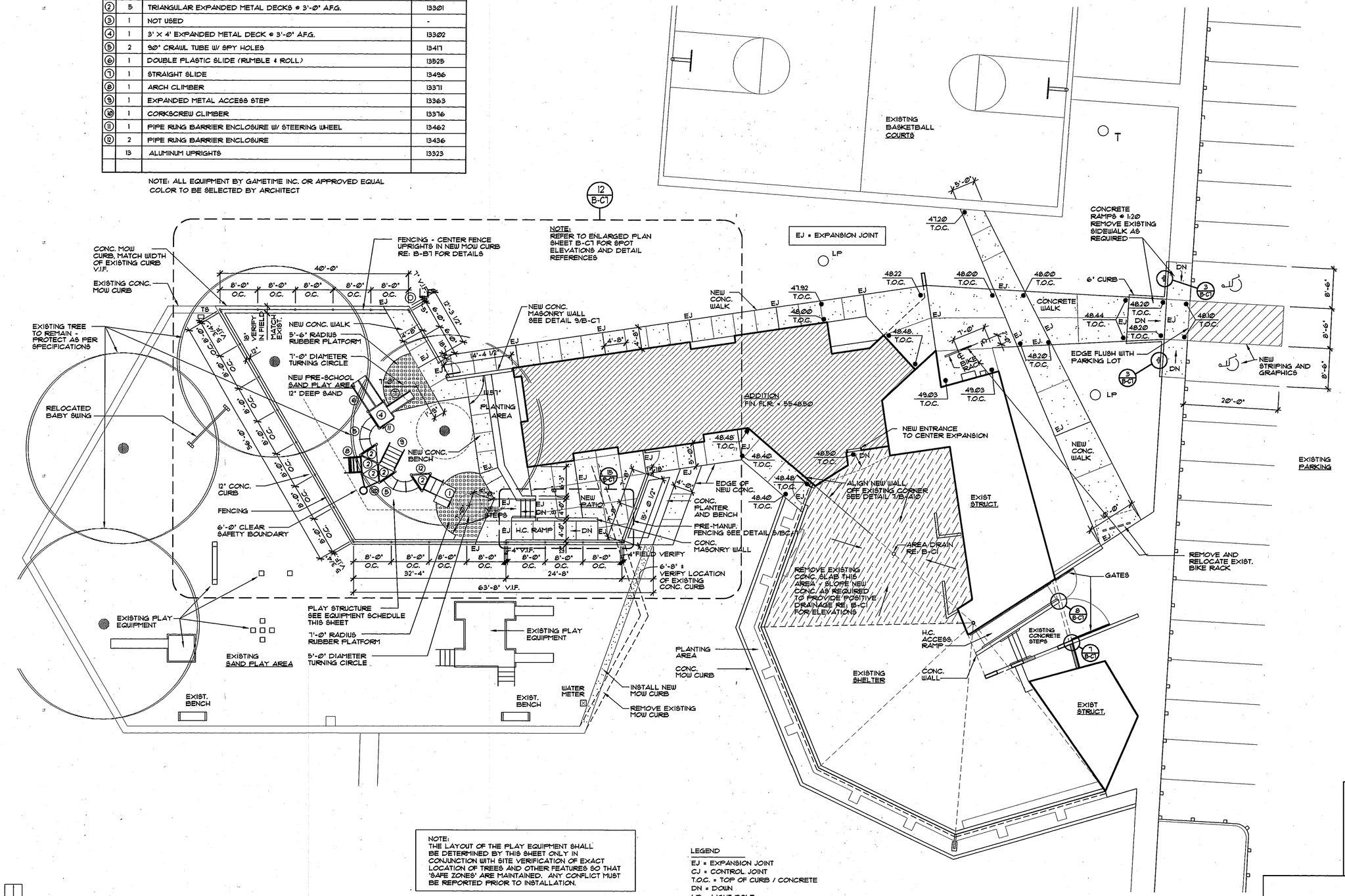
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
2	6	-	4	7	5	4	.	9	2		0	5	9	7

DRAWN BY: JPC
FILE NAME: RC3-SITE
DATE: 6-12-97
SCALE: 1"=20'

PLAYGROUND EQUIPMENT SCHEDULE

NO	QUAN.	DESCRIPTION	GameTime No.
1	1	EXPANDED METAL TRANSFER PLATFORM @ 1'-4" A.F.G.	13364
2	5	TRIANGULAR EXPANDED METAL DECKS @ 3'-0" A.F.G.	13301
3	1	NOT USED	-
4	1	3' X 4' EXPANDED METAL DECK @ 3'-0" A.F.G.	13302
5	2	90° CRAWL TUBE W/ SPY HOLES	13417
6	1	DOUBLE PLASTIC SLIDE (RUMBLE & ROLL)	13525
7	1	STRAIGHT SLIDE	13496
8	1	ARCH CLIMBER	13371
9	1	EXPANDED METAL ACCESS STEP	13363
10	1	CORKSCREW CLIMBER	13376
11	1	PIPE RING BARRIER ENCLOSURE W/ STEERING WHEEL	13462
12	2	PIPE RING BARRIER ENCLOSURE	13436
	13	ALUMINUM UPRIGHTS	13323

NOTE: ALL EQUIPMENT BY GAMETIME INC. OR APPROVED EQUAL COLOR TO BE SELECTED BY ARCHITECT



NOTE:
THE LAYOUT OF THE PLAY EQUIPMENT SHALL BE DETERMINED BY THIS SHEET ONLY IN CONJUNCTION WITH SITE VERIFICATION OF EXACT LOCATION OF TREES AND OTHER FEATURES SO THAT 'SAFE ZONES' ARE MAINTAINED. ANY CONFLICT MUST BE REPORTED PRIOR TO INSTALLATION.

LEGEND
EJ = EXPANSION JOINT
CJ = CONTROL JOINT
T.O.C. = TOP OF CURB / CONCRETE
DN = DOWN
LP = LIGHT POLE

1 ENLARGED SITE PLAN

SCALE: 1" = 10'-0"

SURVEY INFORMATION			
FIELD NOTES			
NO.	BY	DATE	

BENCH MARK	
CITY OF ALBUQUERQUE BENCHMARK "4-J1", A CHISLED "X" CURVE LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF CONSTITUTION & CLAUDINE ST. N.E. ELEVATION = 5561.99' (M.S.L.D.)	
T.B.M. = A CHISLED "D" AT TOP OF CURB LOCATED NEAR THE INTERSECTION OF SUMMER AVE. N.E. AND CLAUDINE ST. N.E. AS SHOWN. ELEVATION = 5592.25' (M.S.L.D.)	

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: ENLARGED SITE PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	6 Of 56 B-C4

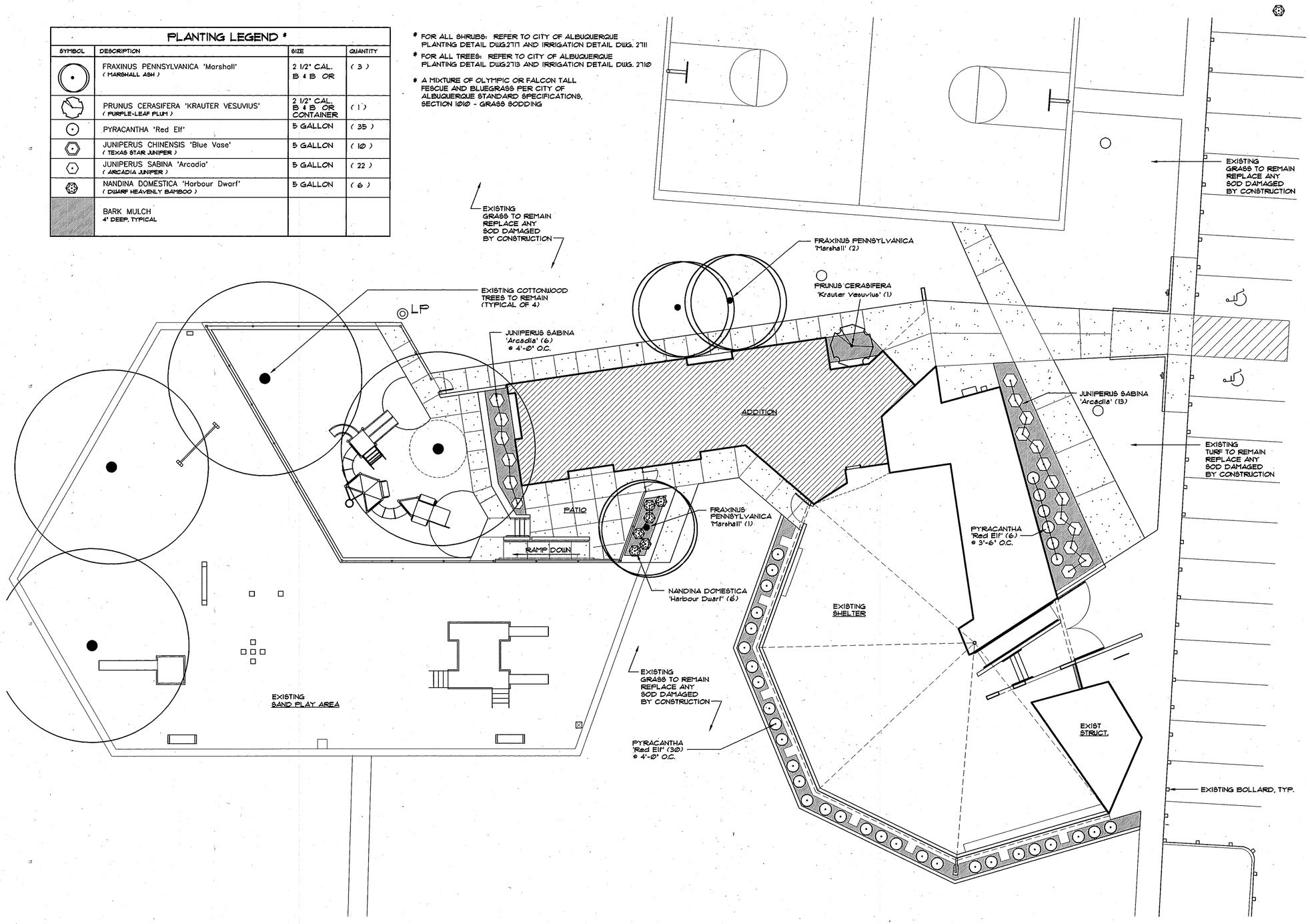
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 0697

DRAWN BY: JPG DATE: 7-12-97
FILE NAME: RC4-SITE SCALE: 1"=10'

PLANTING LEGEND *

SYMBOL	DESCRIPTION	SIZE	QUANTITY
	FRAXINUS PENNSYLVANICA 'Marshall' (MARSHALL ASH)	2 1/2" CAL. B & B OR	(3)
	PRUNUS CERASIFERA 'KRAUTER VESUVIUS' (PURPLE-LEAF PLUM)	2 1/2" CAL. B & B OR CONTAINER	(1)
	PYRACANTHA 'Red Elf'	5 GALLON	(35)
	JUNIPERUS CHINENSIS 'Blue Vase' (TEXAS STAR JUNIPER)	5 GALLON	(10)
	JUNIPERUS SABINA 'Arcadia' (ARCADIA JUNIPER)	5 GALLON	(22)
	NANDINA DOMESTICA 'Harbour Dwarf' (DWARF HEAVENLY BAMBOO)	5 GALLON	(6)
	BARK MULCH 4" DEEP, TYPICAL		

* FOR ALL SHRUBS: REFER TO CITY OF ALBUQUERQUE PLANTING DETAIL DWG.2711 AND IRRIGATION DETAIL DWG. 2711
* FOR ALL TREES: REFER TO CITY OF ALBUQUERQUE PLANTING DETAIL DWG.2713 AND IRRIGATION DETAIL DWG. 2710
* A MIXTURE OF OLYMPIC OR FALCON TALL FESCUE AND BLUEGRASS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, SECTION 1010 - GRASS SODDING



1 LANDSCAPING PLAN

SCALE: 1" = 10'-0"

NORTH

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
26-	4	7	5	4.	9	2		0	7	0	7			

DRAWN BY: JPG	DATE: 6-12-97
FILE NAME: RCS-LAND	SCALE: 1"=10'

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: LANDSCAPING PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

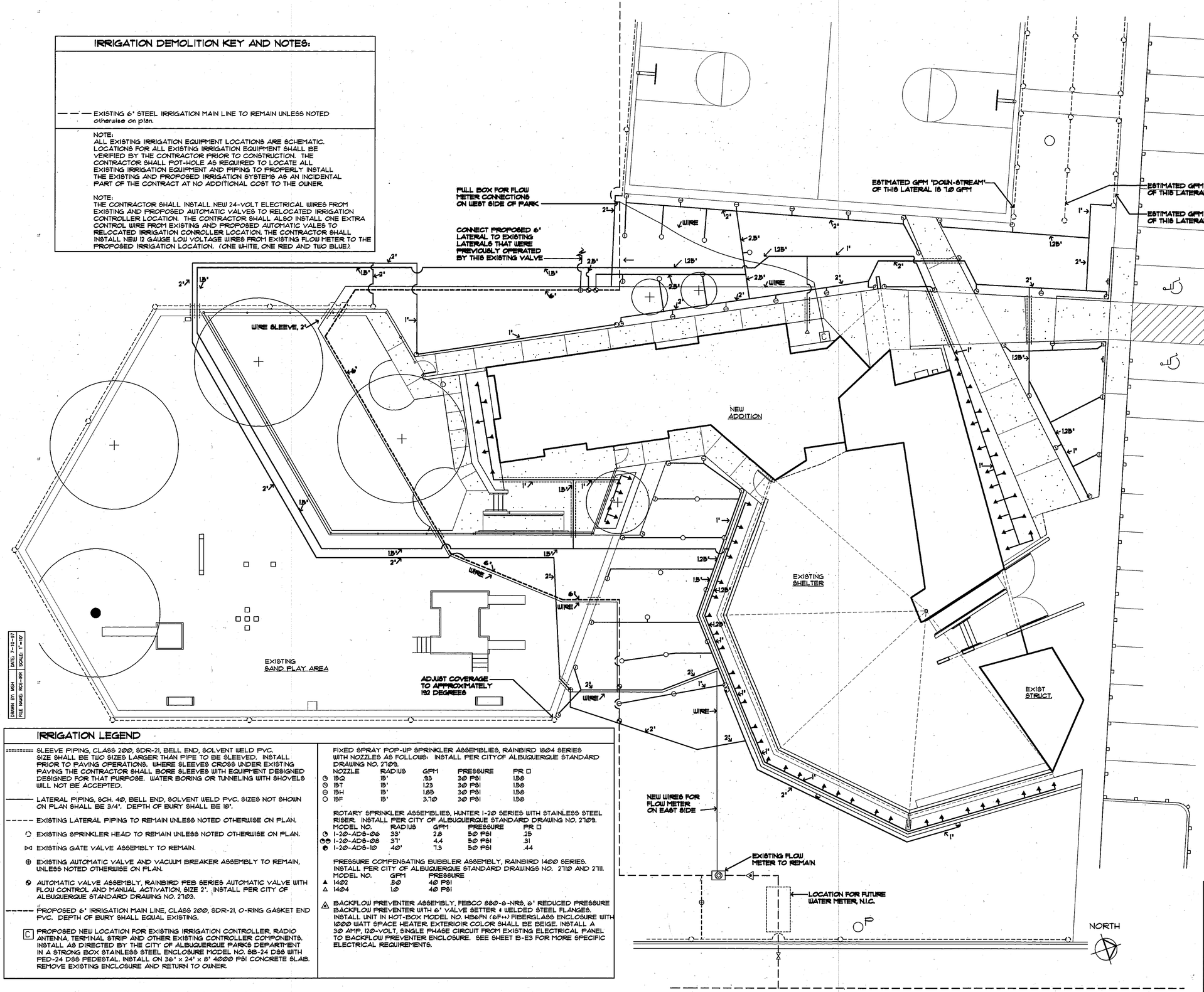
City Project No.	Zone Map No.	Sheet
4754.92	J-21	7 Of 56 B-C5

IRRIGATION DEMOLITION KEY AND NOTES:

— — — EXISTING 6" STEEL IRRIGATION MAIN LINE TO REMAIN UNLESS NOTED otherwise on plan.

NOTE:
ALL EXISTING IRRIGATION EQUIPMENT LOCATIONS ARE SCHEMATIC. LOCATIONS FOR ALL EXISTING IRRIGATION EQUIPMENT SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POT-HOLE AS REQUIRED TO LOCATE ALL EXISTING IRRIGATION EQUIPMENT AND PIPING TO PROPERLY INSTALL THE EXISTING AND PROPOSED IRRIGATION SYSTEMS AS AN INCIDENTAL PART OF THE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.

NOTE:
THE CONTRACTOR SHALL INSTALL NEW 24-VOLT ELECTRICAL WIRES FROM EXISTING AND PROPOSED AUTOMATIC VALVES TO RELOCATED IRRIGATION CONTROLLER LOCATION. THE CONTRACTOR SHALL ALSO INSTALL ONE EXTRA CONTROL WIRE FROM EXISTING AND PROPOSED AUTOMATIC VALES TO RELOCATED IRRIGATION CONROLLER LOCATION. THE CONTRACTOR SHALL INSTALL NEW 12 GAUGE LOW VOLTAGE WIRES FROM EXISTING FLOW METER TO THE PROPOSED IRRIGATION LOCATION. (ONE WHITE, ONE RED AND TWO BLUE).



IRRIGATION LEGEND

SLEEVE PIPING, CLASS 200, SDR-21, BELL END, SOLVENT WELD PVC. SIZE SHALL BE TWO SIZES LARGER THAN PIPE TO BE SLEEVED. INSTALL PRIOR TO PAVING OPERATIONS. WHERE SLEEVES CROSS UNDER EXISTING PAVING THE CONTRACTOR SHALL BORE SLEEVES WITH EQUIPMENT DESIGNED DESIGNED FOR THAT PURPOSE. WATER BORING OR TUNNELING WITH SHOVELS WILL NOT BE ACCEPTED.

LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC. SIZES NOT SHOWN ON PLAN SHALL BE 3/4". DEPTH OF BURY SHALL BE 18".

EXISTING LATERAL PIPING TO REMAIN UNLESS NOTED OTHERWISE ON PLAN.

EXISTING SPRINKLER HEAD TO REMAIN UNLESS NOTED OTHERWISE ON PLAN.

EXISTING GATE VALVE ASSEMBLY TO REMAIN.

EXISTING AUTOMATIC VALVE AND VACUUM BREAKER ASSEMBLY TO REMAIN, UNLESS NOTED OTHERWISE ON PLAN.

AUTOMATIC VALVE ASSEMBLY, RAINBIRD PEB SERIES AUTOMATIC VALVE WITH FLOW CONTROL AND MANUAL ACTIVATION, SIZE 2". INSTALL PER CITY OF ALBUQUERQUE STANDARD DRAWING NO. 2103.

PROPOSED 6" IRRIGATION MAIN LINE, CLASS 200, SDR-21, O-RING GASKET END PVC. DEPTH OF BURY SHALL EQUAL EXISTING.

C PROPOSED NEW LOCATION FOR EXISTING IRRIGATION CONTROLLER, RADIO ANTENNA, TERMINAL STRIP AND OTHER EXISTING CONTROLLER COMPONENTS. INSTALL AS DIRECTED BY THE CITY OF ALBUQUERQUE PARKS DEPARTMENT IN A STRONG BOX STAINLESS STEEL ENCLOSURE MODEL NO. SB-24 D96 WITH PED-24 D96 PEDESTAL. INSTALL ON 36" x 24" x 8" 4000 PSI CONCRETE SLAB. REMOVE EXISTING ENCLOSURE AND RETURN TO OWNER.

FIXED SPRAY POP-UP SPRINKLER ASSEMBLIES, RAINBIRD 1804 SERIES WITH NOZZLES AS FOLLOWS: INSTALL PER CITYOF ALBUQUERQUE STANDARD DRAWING NO. 2109.

NOZZLE	RADIUS	GPM	PRESSURE	PR □
15Q	15'	.93	30 PSI	1.58
15T	15'	1.23	30 PSI	1.58
15H	15'	1.85	30 PSI	1.58
15F	15'	3.10	30 PSI	1.58

ROTARY SPRINKLER ASSEMBLIES, HUNTER I-20 SERIES WITH STAINLESS STEEL RISER. INSTALL PER CITY OF ALBUQUERQUE STANDARD DRAWING NO. 2109.

MODEL NO.	RADIUS	GPM	PRESSURE	PR □
I-20-ADS-06	33'	2.8	50 PSI	.25
I-20-ADS-08	37'	4.4	50 PSI	.31
I-20-ADS-10	40'	7.3	50 PSI	.44

PRESSURE COMPENSATING BUBBLER ASSEMBLY, RAINBIRD 1400 SERIES. INSTALL PER CITY OF ALBUQUERQUE STANDARD DRAWINGS NO. 2710 AND 2711.

MODEL NO.	GPM	PRESSURE
▲ 1402	.50	40 PSI
△ 1404	1.0	40 PSI

BACKFLOW PREVENTER ASSEMBLY, FEBCO 880-6-NRS, 6" REDUCED PRESSURE BACKFLOW PREVENTER WITH 6" VALVE SETTER & WELDED STEEL FLANGES. INSTALL UNIT IN HOT-BOX MODEL NO. HB6FN (6F++) FIBERGLASS ENCLOSURE WITH 1000 WATT SPACE HEATER. EXTERIOIR COLOR SHALL BE BEIGE. INSTALL A 30 AMP, 120-VOLT, SINGLE PHASE CIRCUIT FROM EXISTING ELECTRICAL PANEL TO BACKFLOW PREVENTER ENCLOSURE. SEE SHEET B-E3 FOR MORE SPECIFIC ELECTRICAL REQUIREMENTS.

1. IRRIGATION PLAN
SCALE: 1" = 10'-0"

DRAWN BY: MSH | DATE: 7-10-97
FILE NAME: R05-IRR | SCALE: 1"=10'

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 6-20-97

MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK
CITY OF ALBQ. BENCHMARK "4-J21", A CHISELED "X" ON TOP OF CONC. CURB AT THE MIDPOINT OF THE CURVE LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF CONSTITUTION AND CLAUDINE STREET N.E. ELEVATION = 5561.99' (M.S.L.D.)

T.B.M. = A CHISELED "□" AT TOP OF CURB LOCATED NEAR THE INTERSECTION OF SUMMER AVE. N.E. & CLAUDINE ST. N.E. AS SHOWN. ELEVATION = 5552.25' (M.S.L.D.)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: ARU DATE: 5-24-96
DRAWN BY: ARU DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
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(505) 247-1168, Fax: 247-0262

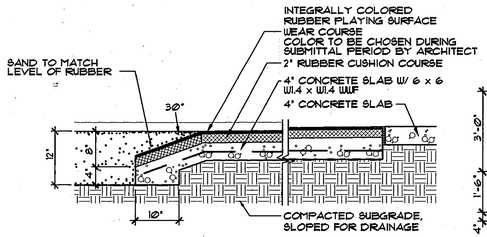
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: IRRIGATION PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

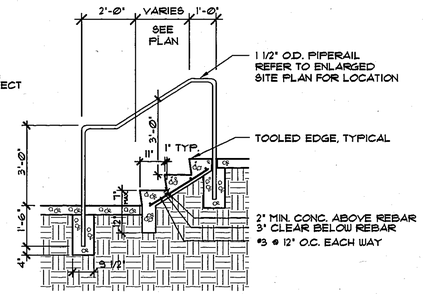
Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet	Of
4754.92	J-21	8 (B-C6)	56

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 0697



1 RUBBER PLATFORM
SCALE: 3/4" = 1'-0"



2 TYP. STAIR SECTION
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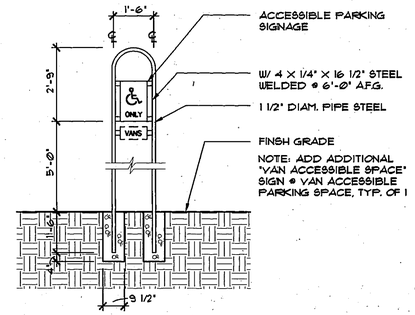

3 SIGN DETAIL
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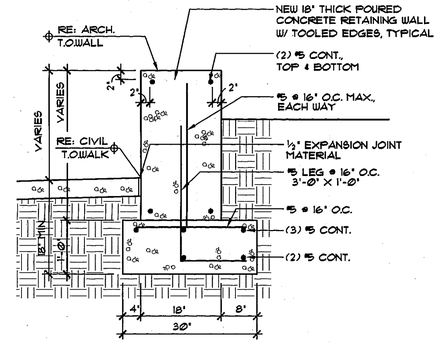

4 CONC. RETAINING WALL
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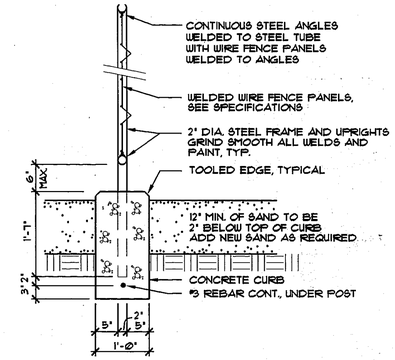
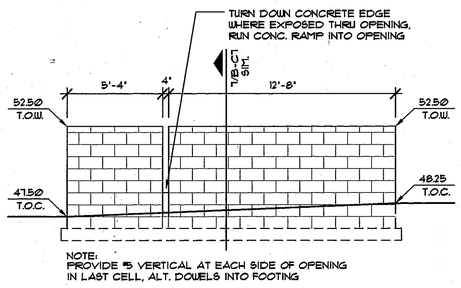


5 FENCE/CURB DETAILS
SCALE : 3/4" = 1'-0"



6 ELEVATION
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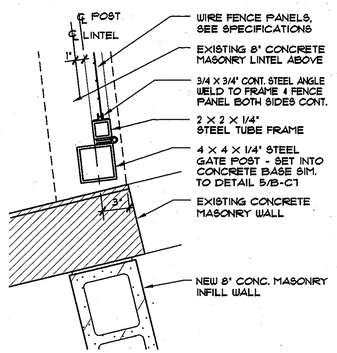
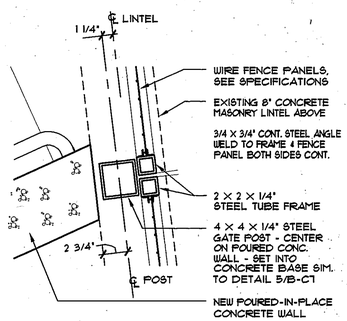
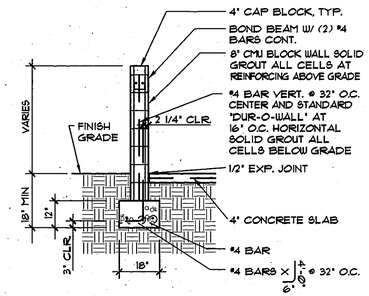


7 GATE DETAIL
SCALE : 1 1/2" = 1'-0"



8 GATE DETAIL
SCALE : 1 1/2" = 1'-0"



9 CMU WALL SECTION
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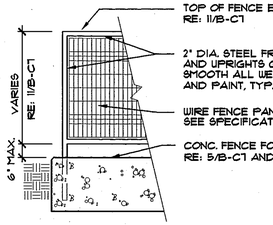

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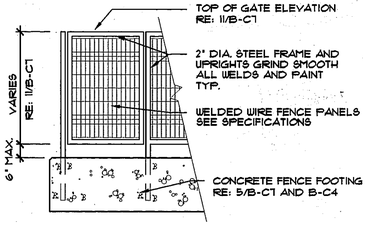
SCALE : 3/8" = 1'-0"



11 GATE ELEVATION
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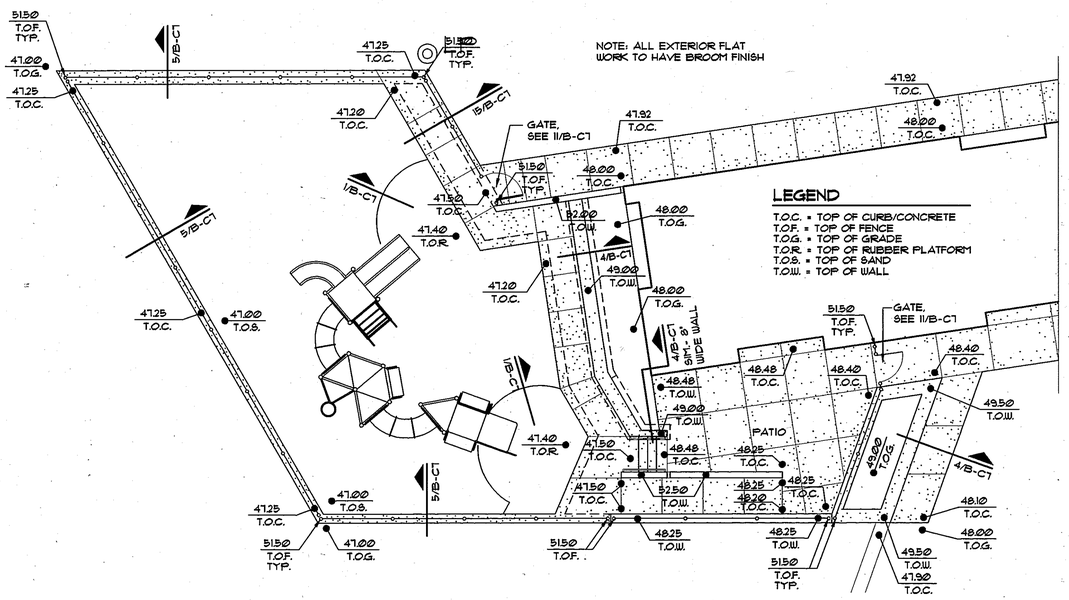
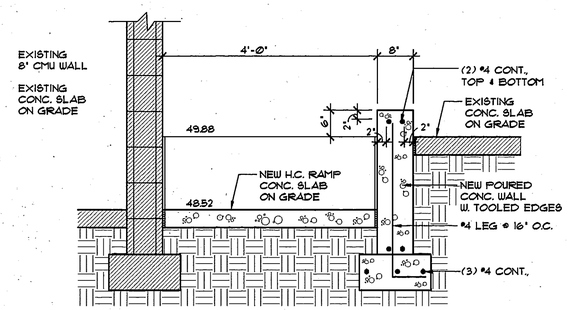
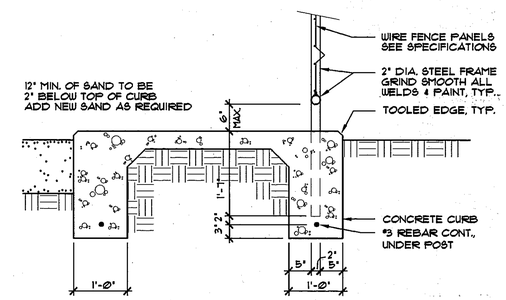


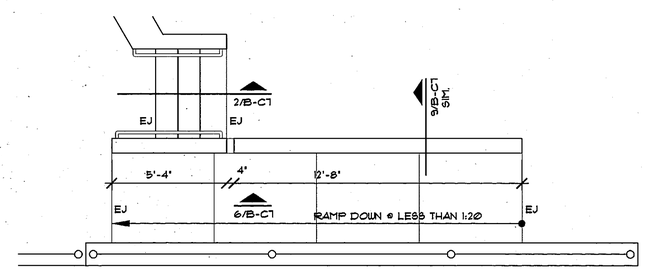
12 PARTIAL ENLARGED SITE PLAN for SPOT ELEVATIONS
SCALE: 1/8" = 1'-0"



13 CONC. RETAINING WALL
SCALE : 3/4" = 1'-0"



14 CURB / SIDEWALK / FENCE
SCALE : 3/4" = 1'-0"



15 ENLARGED STAIR/RAMP PLAN
SCALE: 1/4" = 1'-0"

NORTH

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 0907

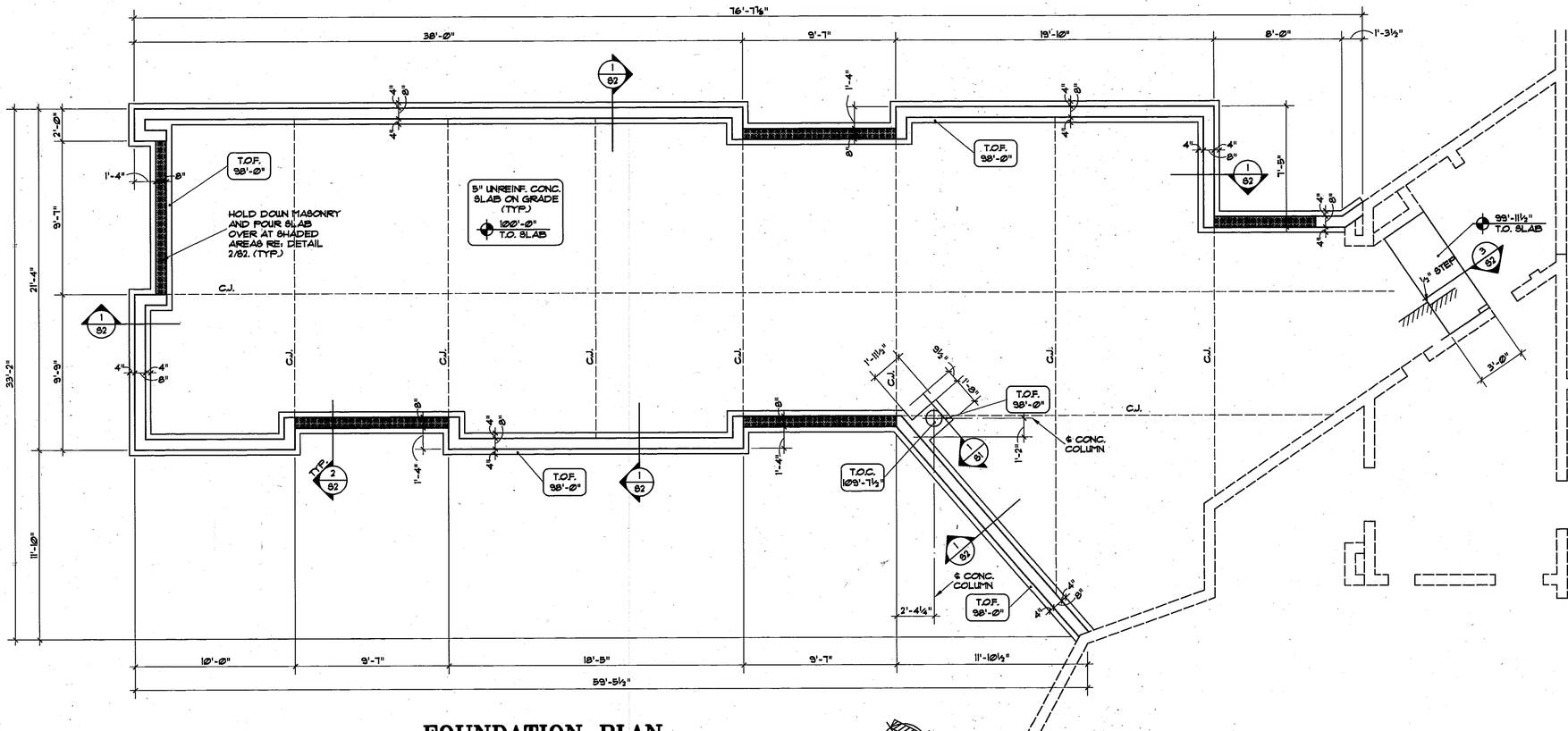
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: SITE DETAILS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

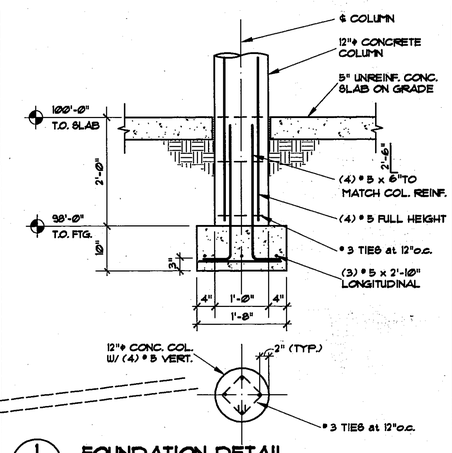
City Project No.	Zone Map No.	Sheet
4754.92	J-21	9 Of 56 B-C7

DRAWN BY: JPG DATE: 6-12-97
FILE NAME: RCT-DTLS SCALE: 3/4" = 1'

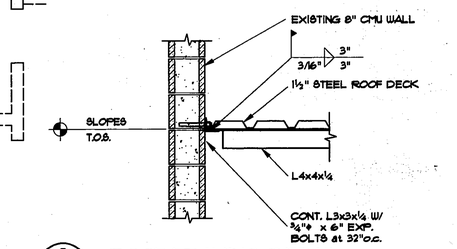


FOUNDATION PLAN

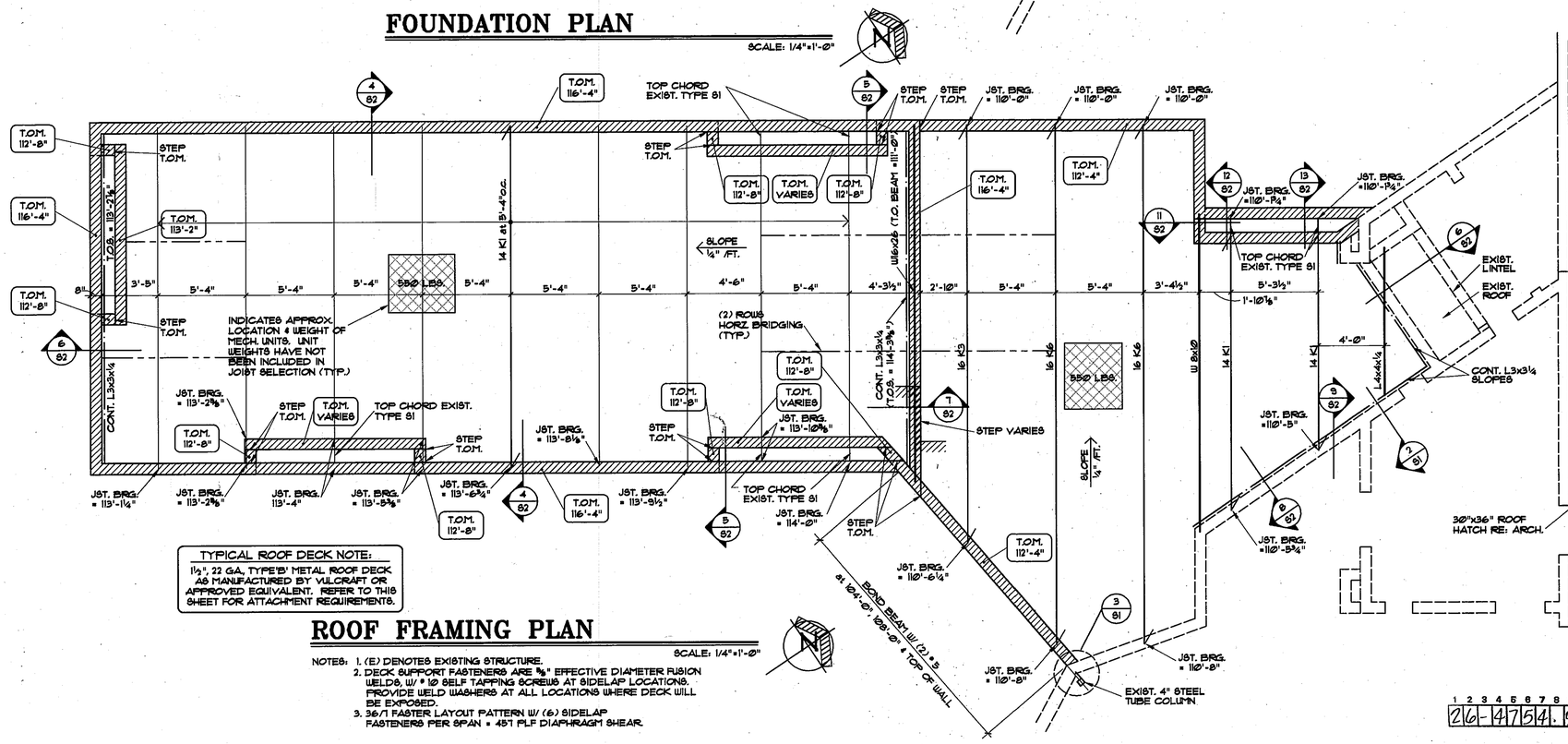
SCALE: 1/4"=1'-0"



1/S1 FOUNDATION DETAIL
3/4"=1'-0"



2/S1 ROOF FRAMING DETAIL
3/4"=1'-0"

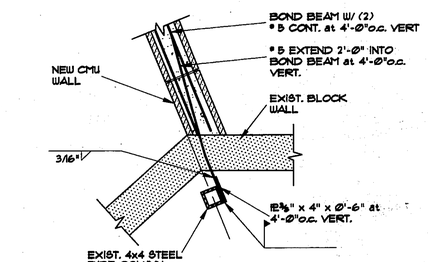


ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

TYPICAL ROOF DECK NOTE:
1½", 22 GA., TYPE 'B' METAL ROOF DECK AS MANUFACTURED BY VULCRAFT OR APPROVED EQUIVALENT. REFER TO THIS SHEET FOR ATTACHMENT REQUIREMENTS.

NOTES:
1. (E) DENOTES EXISTING STRUCTURE.
2. DECK SUPPORT FASTENERS ARE ⅝" EFFECTIVE DIAMETER FUSION WELDS, W/ #10 SELF TAPPING SCREWS AT SIDELAP LOCATIONS. PROVIDE WELD WASHERS AT ALL LOCATIONS WHERE DECK WILL BE EXPOSED.
3. 36/7 FASTER LAYOUT PATTERN W/ (6) SIDELAP FASTENERS PER SPAN = 457 PLF DIAPHRAGM SHEAR.



3/S1 FRAMING DETAIL
3/4"=1'-0"

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-91	AS-BUILTS	MCJ

DESIGNED BY: M.C.J. DATE: 5-24-96
DRAWN BY: R.C.B. DATE: 5-24-96
CHECKED BY: M.C.J. DATE: 5-24-96

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY M.C.J. DATE: 6-20-91
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

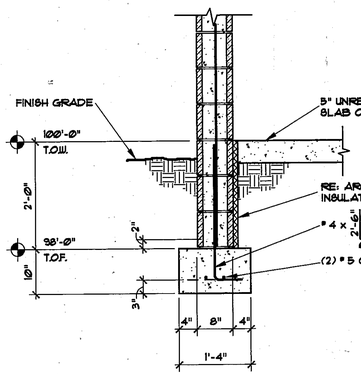
TITLE: FOUNDATION AND FLOOR PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

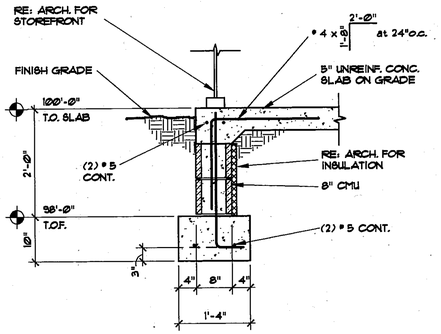
City Project No.	Zone Map No.	Sheet 10 Of 56
4754.92	G-22	B-S1

26-47541.92 1.097

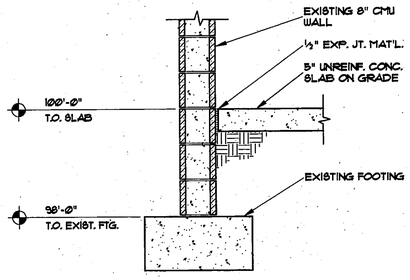
Project: BELLAMAH SHELTER | No. 95103 | Date Started: 3/13/96 | Plot Files: 95103-S1
Engineer: SGN | Draftsman: RJB | Date Completed:



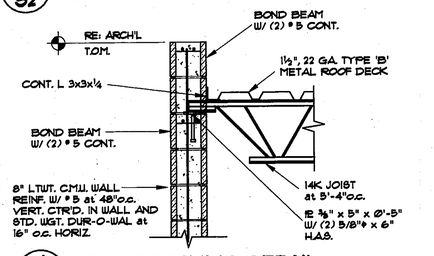
1 / S2 FOUNDATION DETAIL
3/4"=1'-0"



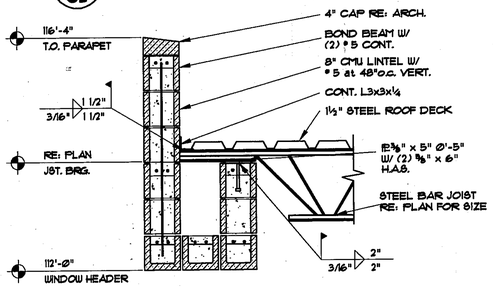
2 / S2 FOUNDATION DETAIL
3/4"=1'-0"



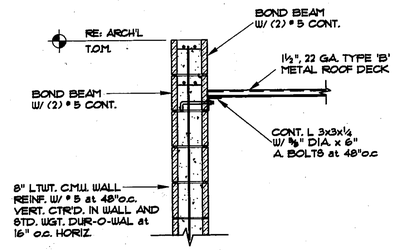
3 / S2 FOUNDATION DETAIL
3/4"=1'-0"



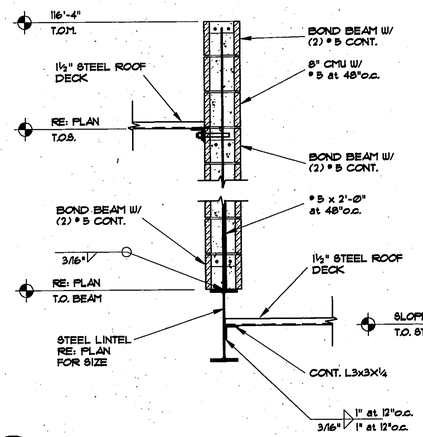
4 / S2 ROOF FRAMING DETAIL
3/4" = 1'-0"



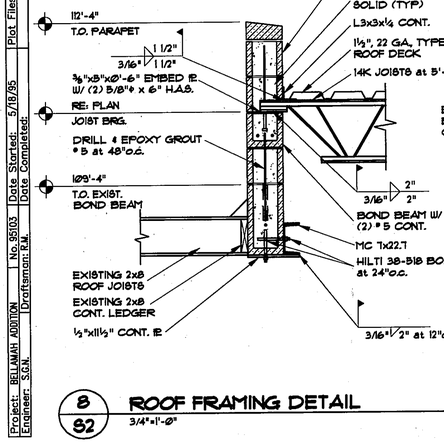
5 / S2 ROOF FRAMING DETAIL
3/4" = 1'-0"



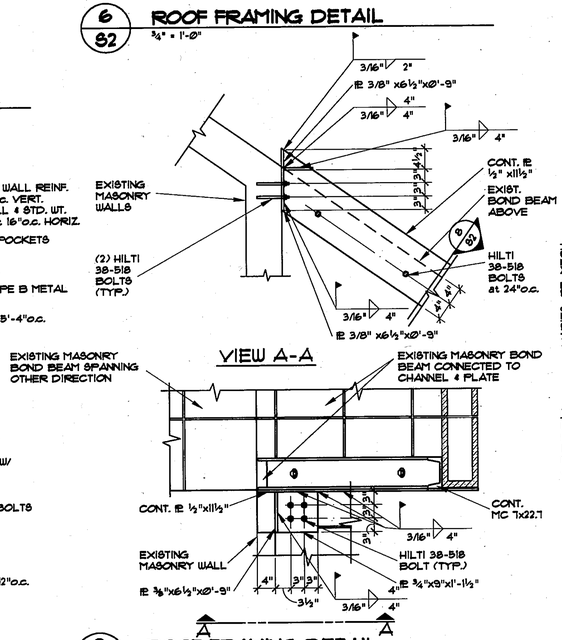
6 / S2 ROOF FRAMING DETAIL
3/4" = 1'-0"



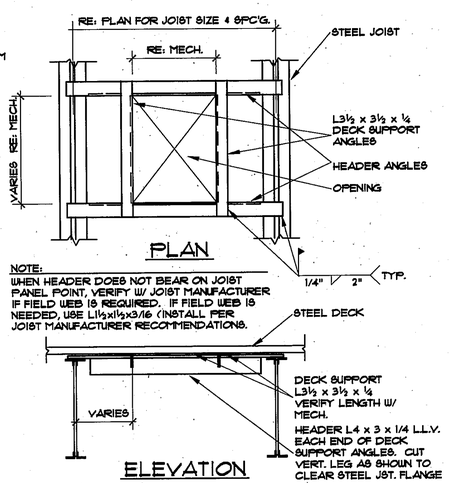
7 / S2 ROOF FRAMING DETAIL
3/4" = 1'-0"



8 / S2 ROOF FRAMING DETAIL
3/4"=1'-0"

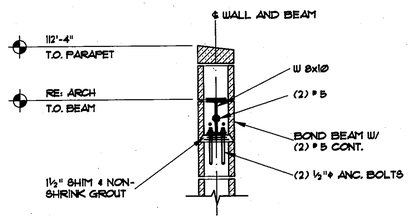


9 / S2 ROOF FRAMING DETAIL
3/4"=1'-0"

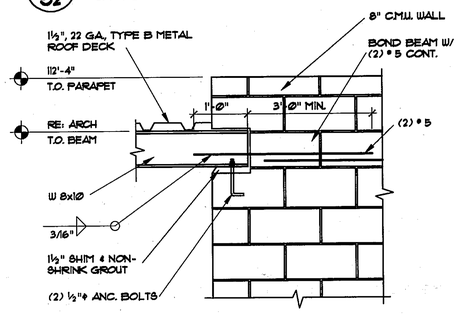


NOTE:
WHEN HEADER DOES NOT BEAR ON JOIST PANEL POINT, VERIFY W/ JOIST MANUFACTURER IF FIELD WEB IS REQUIRED. IF FIELD WEB IS NEEDED, USE L1½x1½x3/16 (INSTALL PER JOIST MANUFACTURER RECOMMENDATIONS.

10 / S2 TYPICAL OPENING FRAMING
3/4"=1'-0"



11 / S2 ROOF FRAMING DETAIL
3/4"=1'-0"



12 / S2 ROOF FRAMING DETAIL
3/4"=1'-0"

GENERAL NOTES

1. These general notes apply to all structural drawings and supplement the project specifications which shall be referred to for additional requirements. This project is designed in accordance with the (Uniform) (Denver) Building Code 1991 Edition.

2. Live Loads Used in design:
   A. Roof: . . . . . 20 psf (not reduced) or drift provisions of 1991 UBC Appendix 23.
   B. Wind: Basic Wind Speed . . . . 75 mph
      Exposure . . . . . 'C'
   C. Seismic Zone . . . . . 2B (UBC)

3. Concrete:
   A. Concrete has been designed and shall be constructed in accordance with the American Concrete Institute "Building Code Requirements, Reinforced Concrete" (A.C.I. 318–89) and (A.C.I. 301–89) "Specifications for Structural Concrete for Buildings." Section 1.3 "Inspection" of A.C.I. 318–89 is deleted in its entirety, see "Field Observations" paragraph of these general notes. All concrete shall be of stone aggregate, unless noted otherwise. Minimum 28–day compressive strength shall be 3000 psi.
   B. Reinforcing is to be new billet steel A.S.T.M. A615, grade 60, except ties and bars to be bent or welded in the field shall be grade 40. Provide corner bars to match all horizontal reinforcing in cast–in–place walls. Provide not less than 2–#5 around all sides of all openings in concrete and extend 2'–0" past edges of openings. No splices of reinforcement are permitted except as detailed or authorized by Structural Engineer. Where permitted, use contact lap splices, 36 bar diameters minimum. Welded wire fabric shall be in accordance with A.S.T.M. A185. Lap (1) full mesh–minimum at splices. No welding of reinforcement permitted unless detailed.
   C. Placing of Reinforcement: Provide chairs, bolsters, additional reinforcement, and accessories necessary to support reinforcement at position shown on drawings. Support of reinforcement on form ties; wood, brick, or other unacceptable material, will not be permitted.
   D. The following minimum concrete cover over reinforcing shall be provided unless detailed otherwise:
      (1) Concrete cast against and permanently exposed to earth . . . . . 3 in.
      (2) Concrete exposed to earth or weather
         a. #6 bars and larger . . . . . 2 in.
         b. #5 bars and smaller . . . . . 1–1/2 in.
      (3) Concrete not exposed to earth or weather 3/4 in.

4. Steel:
   A. Structural steel, including cast in angles, plates or other sections shall be detailed and erected in accordance with the American Institute of Steel Construction (A.I.S.C.) Specifications and Code of Standard Practice. Minimum yield strength 35 ksi for pipes, 46 ksi for tubes, 36 ksi for all others.
   B. Connections:
      (1) Use standard framed beam connections meeting requirements of "Manual of Steel Construction" Ninth Edition. Use 3/4" diameter minimum A307 bolts (or welded equivalent).
      (2) Minimum welds per A.I.S.C. Specification, not less than 3/16" fillet, continuous, using E70XX electrodes, unless noted otherwise. Welding of rebar anchors to angles or plates shall be done to develop 1.5 times the yield strength of the reinforcing bar.
      (3) Delete the sentence in Section 4.2.1 of the "AISC Code of Standard Practice for Steel Buildings and Bridges" which reads "This approval constitutes the owner's acceptance of all responsibility for the design adequacy of any detail configuration of connections developed by the fabricator as part of his preparation of these shop drawings."
   C. Headed Stud Connectors:
      (1) Conform to AWS D1.1. Headed connectors shall be automatically end welded. All studs are to be shop welded. See specifications for testing requirements.

5. Open Web Steel Joists and Joist Girders:
   A. Design, fabrication and erection shall be in conformance with the specifications of the Steel Joist Institute.

6. Steel Deck:
   A. Steel deck shall be erected in accordance with manufacturer's suggested specifications.
   B. Steel deck shall be 1 1/2", type B, wide rib. Provide Vulcraft 1.5B or approved equivalent.
   C. Deck panels are to be 36" wide and have a minimum length of (3) spans.
   D. Weld deck to all supports as indicated in the metal deck schedule. Deck must be capable of withstanding diaphragm shears listed in the schedule. Submit test data from deck manufacturer for deck selected to substantiate that deck will meet or exceed required diaphragm shear and stiffness requirements.
   E. Form deck with interlocking side laps with standing seam allowing top seam weld connection.
   F. Provide 3x3x1/4 angle framing around opening larger than 6".
   G. Deck for concrete form shall be Vulcraft .6C26 galvanized Conform or approved equivalent. Attach to supports with 5/8" diameter puddle welds at 2'–0"o.c. maximum.

7. Masonry:
   A. Concrete block walls shall have a minimum ultimate design strength f'm of 1500 psi. Concrete masonry units shall conform to ASTM C90 Grade N made with lightweight aggregates. Mortar shall conform to ASTM C270 Type S. Grout shall conform to ASTM C476 with a minimum compressive strength of 3,000 psi in 28 days.
   B. Vertical reinforcement shall conform to ASTM A615 Grade 60. Where splices are required, provide min. 40 bar diameter lap. Horizontal joint reinforcing shall be standard weight "Dur–O–Wal" at 16" o.c. maximum. Provide prefabricated corner and tee sections at wall corners and intersections.
   C. Special inspection and testing shall be required in accordance with sections 306, 2405 and 2411 of the 1991 Uniform Building Code.
   D. Provide cleanouts at the bottom of grouted cells and use high–lift grouting procedures where possible. Mechanical vibrators shall be used to consolidate grout and reconsolidate grout 15 minutes after the initial consolidation.

8. Foundations:
   A. The structure shall be founded on spread footings placed on undisturbed natural soils or compacted fill with a maximum allowable bearing pressure of 2000 psf and a minimum dead load bearing pressure of 1000 psf.
   B. Refer to soil report #95 1–75, dated 4–17–95, prepared by Vinyard & Associates, Albuquerque, New Mexico, for other pertinent soils information. The contractor shall be fully familiar with all aspects of the soil report before beginning construction.

9. Field Observations:
   A. The contractor shall inform the Structural Engineer at least 48 hours prior to casting any concrete so as to allow the Structural Engineer the opportunity to review the placement of reinforcement and embedments.
   B. Contact Neujahr & Gorman, Inc. 1–303–377–2732.

10. Coordination:
   A. All dimensions on structural drawings shall be checked against architectural drawings and any discrepancies shall be brought to the attention of the architect immediately. Refer to mechanical, electrical and architectural drawings for openings not shown on structural drawings.
   B. Shop drawings shall be prepared by the fabricator. Copying of these construction documents for use as shop drawings will not be permitted.

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY M.C.J. DATE: 6-28-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-28-97	AS-BUILTS	MCJ

DESIGNED BY: M.C.J. DATE: 5-24-96
DRAWN BY: R.C.B. DATE: 5-24-96
CHECKED BY: M.C.J. DATE: 5-24-96

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Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

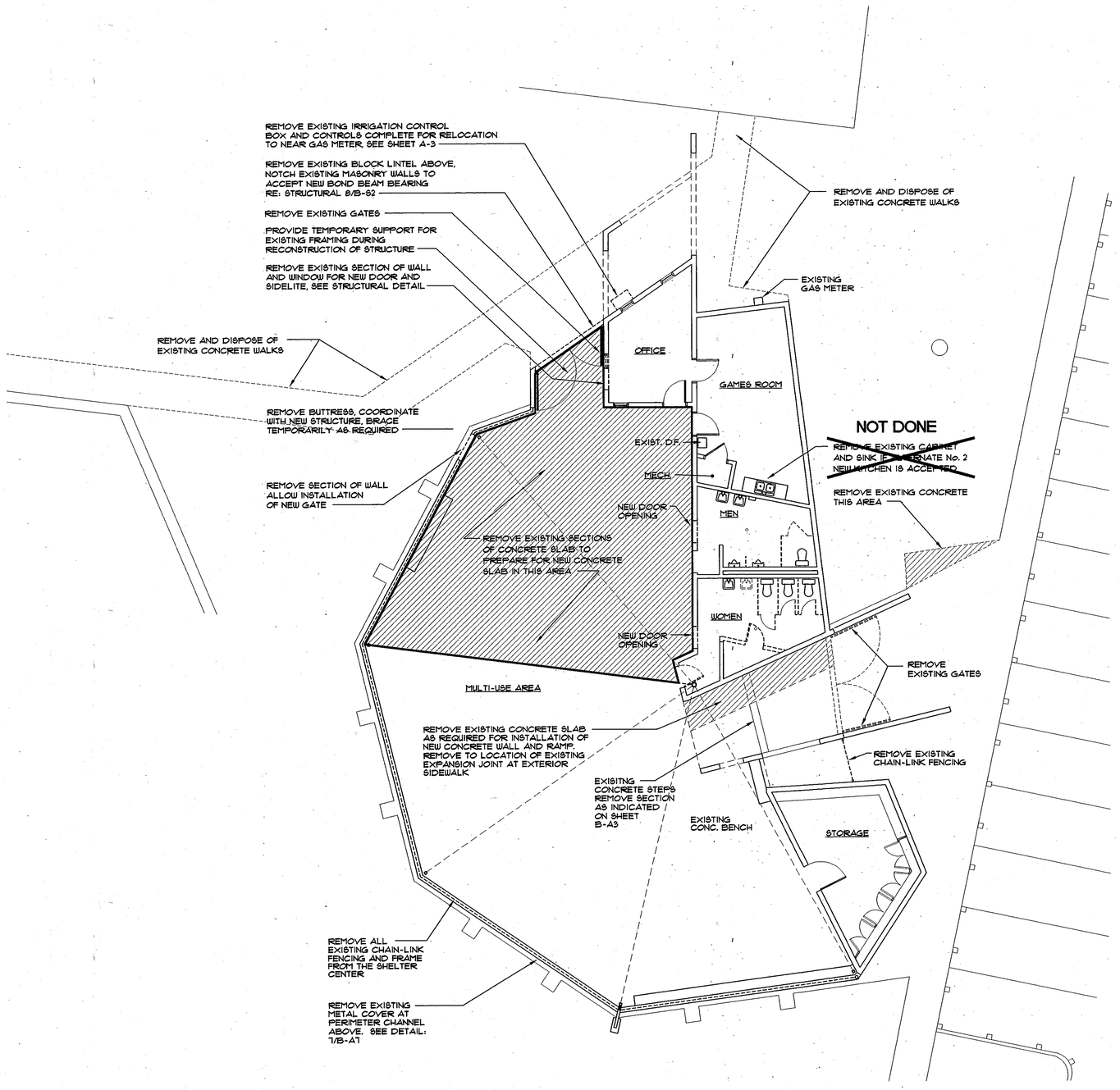
TITLE: FOUNDATION AND FRAMING DETAILS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet 11 Of 56
4754.92	G-22	B-52

26-4754.92 1/1/97

Project: BELLAMAH ADDITION | No. 95103 | Date Started: 5/15/95 | Plot Files: 95103-S2
Engineer: S.G.R. | Draftsman: R.M. | Date Completed:



1 DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR SHALL CAREFULLY COORDINATE ALL EXISTING CONSTRUCTION SLATED FOR REMOVAL WITH THE PLAN FOR NEW CONSTRUCTION TO ENSURE ALL EXISTING CONSTRUCTION INTENDED TO REMAIN IS MAINTAINED INTACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FULL EXTENT OF ALL EXISTING CONSTRUCTION TO BE REMOVED. DEMOLITION PLANS ARE INTENDED AS A REFERENCE ONLY FOR PURPOSES OF IDENTIFYING PORTIONS OF EXISTING BUILDING AND SITE AREAS AFFECTED BY NEW CONSTRUCTION.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING CONSTRUCTION TO REMAIN FROM ANY DAMAGE DURING THE DEMOLITION PROCESS.
3. ALL DEMOLISHED MATERIALS SHALL BE LEGALLY DISPOSED OF IN AN APPROVED OFF-SITE LOCATION.
4. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR UNFORESEEN CONFLICTS BETWEEN THE PROPOSED WORK AND THE ACTUAL JOB CONDITIONS PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK IN QUESTION.
5. ALL DOORS AND DOOR FRAMES SCHEDULED FOR REMOVAL AND REINSTALLATION UNDER THIS CONTRACT SHALL BE CAREFULLY REMOVED AND PROTECTIVELY STORED UNTIL REINSTALLATION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY DATE:
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: DEMOLITION PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	12 Of 56 B-A1

NORTH

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 7297

DRAWN BY: JPG DATE: 4-3-96
FILE NAME: A1-ASBLT SCALE: 1 = 8'

ROOM FINISH SCHEDULE

NO.	NAME	FLOOR: EXISTING TO REMAIN	FLOOR: CARPET	FLOOR: MUD MAT	FLOOR: V.C.T.	FLOOR: CONCRETE			BASE: EXISTING TO REMAIN	BASE: 4" VINYL COVE			WALLS: EXISTING TO REMAIN	WALLS: SEMI-GLOSS LATEX			CEILING: REPAINT EXISTING	CEILING: CEILING HEIGHT	CEILING: EXISTING TO REMAIN	CEILING: CEILING HEIGHT	CEILING: GYPSUM BOARD - PAINT	CEILING: CEILING HEIGHT	CEILING: EXP. STRUCTURE - PAINT	CEILING: CEILING HEIGHT
101	PRE-SCHOOL		●	●	●					●				●									●	VARIES- SEE R.C.P.
102	GAMES ROOM				●					●				●							●	8'-0"	●	VARIES- SEE R.C.P.
103	TOILET				●					●				●							●	8'-0"		
104	OFFICE				●					●				●			●	EXIST.						
105	STORAGE				●					●				●			●	EXIST.						
106	KITCHEN				●					●				●			●	EXIST.						
107	MECHANICAL				●				●				●						●	EXIST.				
108	MEN				●					●				●			●	EXIST.						
109	JANITOR				●					●				●			●	EXIST.						
110	WOMEN				●					●				●			●	EXIST.						
111	STORAGE	●								●				●			●	EXIST.						
112	MULTI-USE					●				●				●					●	EXIST.				
113	STORAGE	●							●				●						●	EXIST.				

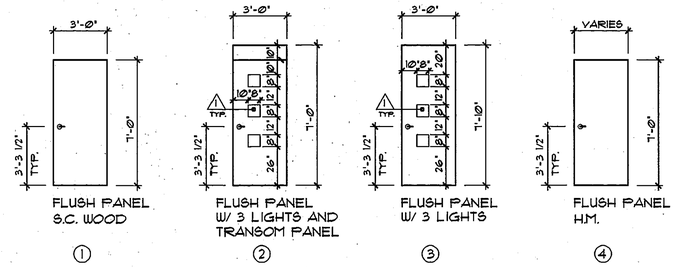
DOOR SCHEDULE

DOOR: NO.	DOOR: FR	DOOR: SIZE	DOOR: MATERIAL	DOOR: TYPE	FRAME: TYPE	FRAME: MATERIAL	FIRE RATING	HARDWARE: HDW SET	BUTTS	LOCK-SET	DEAD BOLT	CYL-INDER	EXIT DEVICE	STOP	SWEEP	THRESH-HOLD	WEATHER STRIP	O/H STOP	CLOSER	KICK-PLATE	PUSH & PULL PLATES	LOCK ASTRAGAL	PRIVACY LATCH	SILENCER	SMOKE SEAL	DOOR BOTTOM	REMARKS
1		3'-0" X 7'-0" X 1 3/4"	H.M.	3	4	H.M.		B1	●			●	●	●	●	●	●		●	●							DOOR POSITION SWITCH
2		3'-0" X 7'-0" X 1 3/4"	H.M.	3	2	H.M.		B2	●	●					●	●	●		●	●		●					DOOR POSITION SWITCH
3		3'-0" X 7'-0" X 1 3/4"	S.C.WOOD	1	A	H.M.		B3	●									●					●	●			
4		3'-0" X 7'-0" X 1 3/4"	H.M.	2	9	H.M.		B4	●	●				●					●						●		
5		3'-0" X 7'-0" X 1 3/4"	H.M.	3	B	H.M.	1½ HR	B1	●			●	●	●	●	●	●		●	●							DOOR POSITION SWITCH
6		3'-0" X 7'-0" X 1 3/4"	H.M.	2	B	H.M.	1½ HR	B6	●	●				●										●			
7	●	6'-0" X 7'-0" X 1 3/4"	H.M.	3	C	H.M.		B5	●			●	●	●	●	●	●		●	●							DOOR POSITION SWITCH
8		3'-0" X 7'-0" X 1 3/4"	S.C.WOOD	1	A	H.M.	1 HR	B7	●	●									●						●		
9		3'-0" X 7'-0" X 1 3/4"	H.M.	4	B	H.M.		B8	●		●			●		●	●		●	●	●					●	
10		3'-0" X 7'-0" X 1 3/4"	H.M.	4	B	H.M.		B9	●	●					●	●	●		●			●					
11		3'-0" X 7'-0" X 1 3/4"	H.M.	4	B	H.M.		B8	●		●			●		●	●		●	●	●					●	
12		3'-0" X 7'-0" X 1 3/4"	H.M.	4	B	H.M.	1 HR	B9	●	●					●	●	●		●			●					

NOTE: ADD PANIC HARDWARE TO NEW APPROX. 4'-0" WIDE GATES EXITING THE MULTI-USE AREA

GLASS TYPES

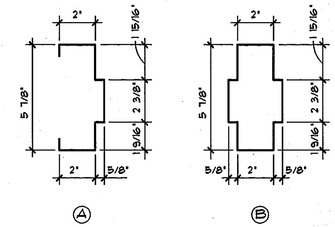
1. 1/4" LAMINATED GLASS (CORRESPONDS TO TYPE S-1 IN SPEC.)
2. 1/4" WIRE GLASS (CORRESPONDS TO TYPE S-2 IN SPEC.)



FLUSH PANEL S.C. WOOD ① — FLUSH PANEL W/ 3 LIGHTS AND TRANSOM PANEL ② — FLUSH PANEL W/ 3 LIGHTS ③ — FLUSH PANEL H.M. ④

DOOR TYPES

SCALE: 1/4" = 1'-0"



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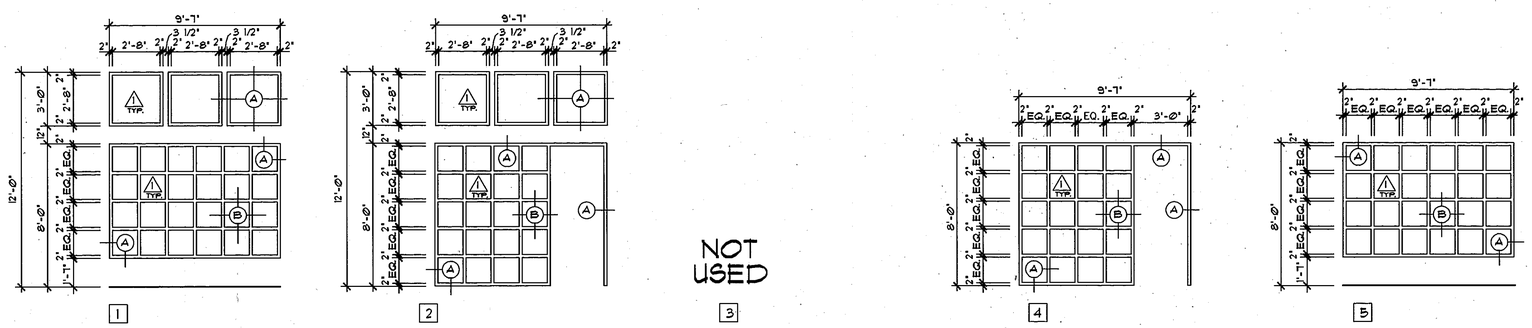
FRAME PROFILES

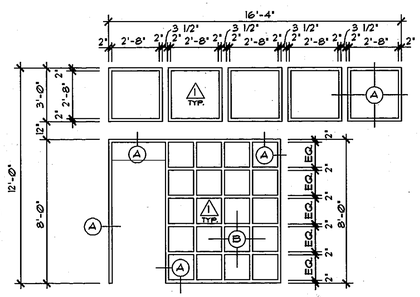
SCALE: 3" = 1'-0"



1 2 3 4 5 6 7

EXTERIOR OPENING TYPES

SCALE: 1/4" = 1'-0"



NOT USED 8 — 9

INTERIOR OPENING TYPES

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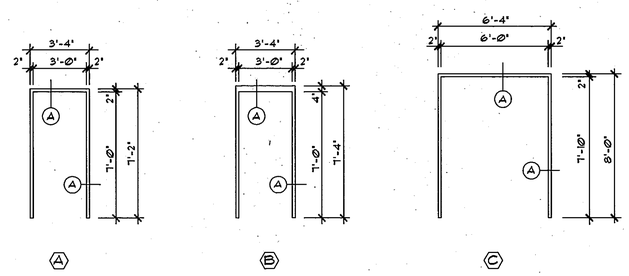

Ⓐ Ⓑ Ⓒ

DOOR FRAME TYPES

SCALE: 1/4" = 1'-0"

DRAWN BY: JPG	DATE: 6-13-97	
FILE NAME: R2C-SCHD	SCALE: 1=4'	

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(505) 247-1168, Fax: 247-0262

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

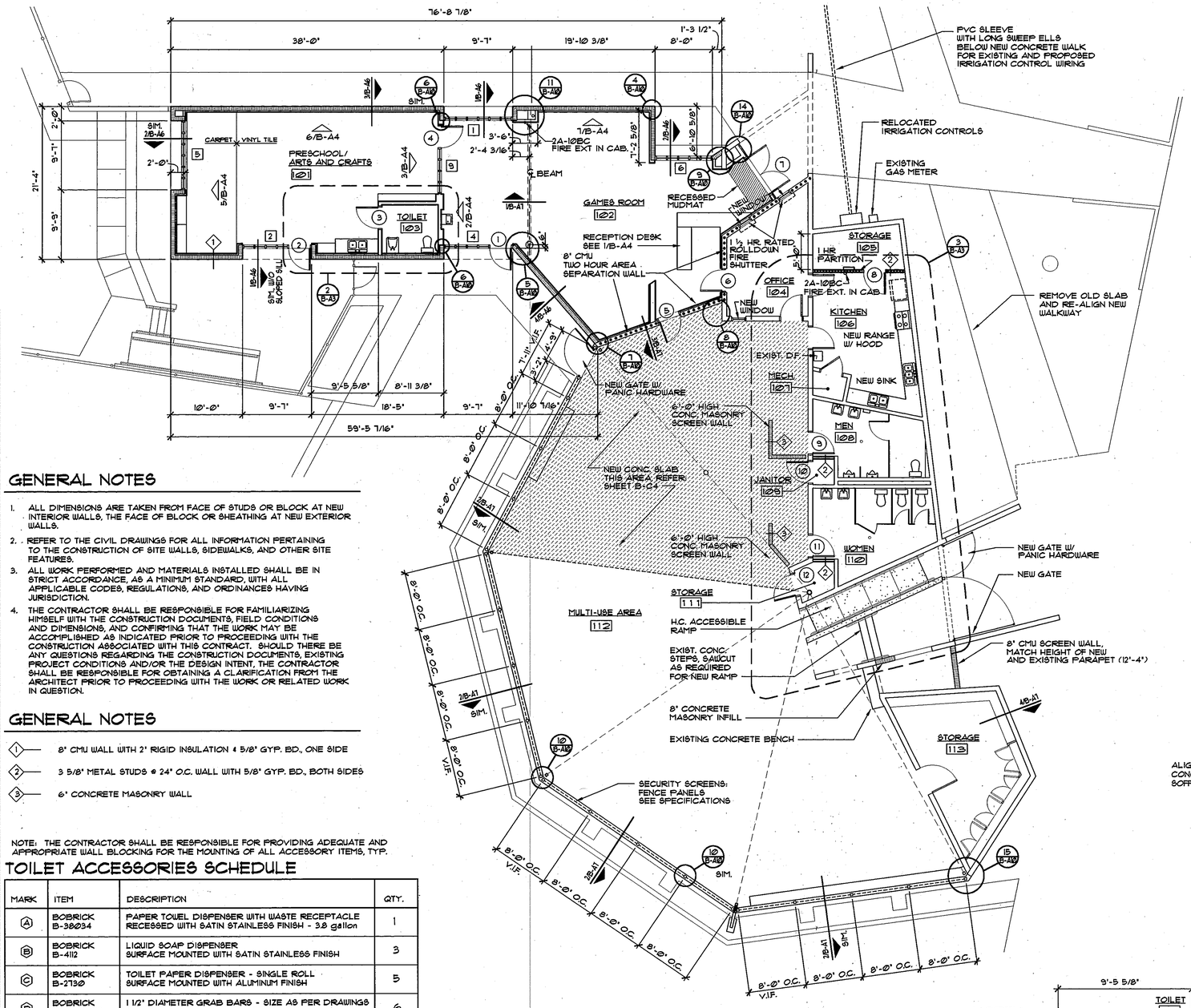
TITLE: DOOR AND ROOM FINISH SCHEDULE
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	13 Of 56 B-A2

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 1397

◎LP



1 FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS OR BLOCK AT NEW INTERIOR WALLS, THE FACE OF BLOCK OR SHEATHING AT NEW EXTERIOR WALLS.
2. REFER TO THE CIVIL DRAWINGS FOR ALL INFORMATION PERTAINING TO THE CONSTRUCTION OF SITE WALLS, SIDEWALKS, AND OTHER SITE FEATURES.
3. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE, AS A MINIMUM STANDARD, WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE CONSTRUCTION DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS INDICATED PRIOR TO PROCEEDING WITH THE CONSTRUCTION ASSOCIATED WITH THIS CONTRACT. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONSTRUCTION DOCUMENTS, EXISTING PROJECT CONDITIONS AND/OR THE DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK IN QUESTION.

GENERAL NOTES

1 — 8" CMU WALL WITH 2" RIGID INSULATION & 5/8" GYP. BD., ONE SIDE

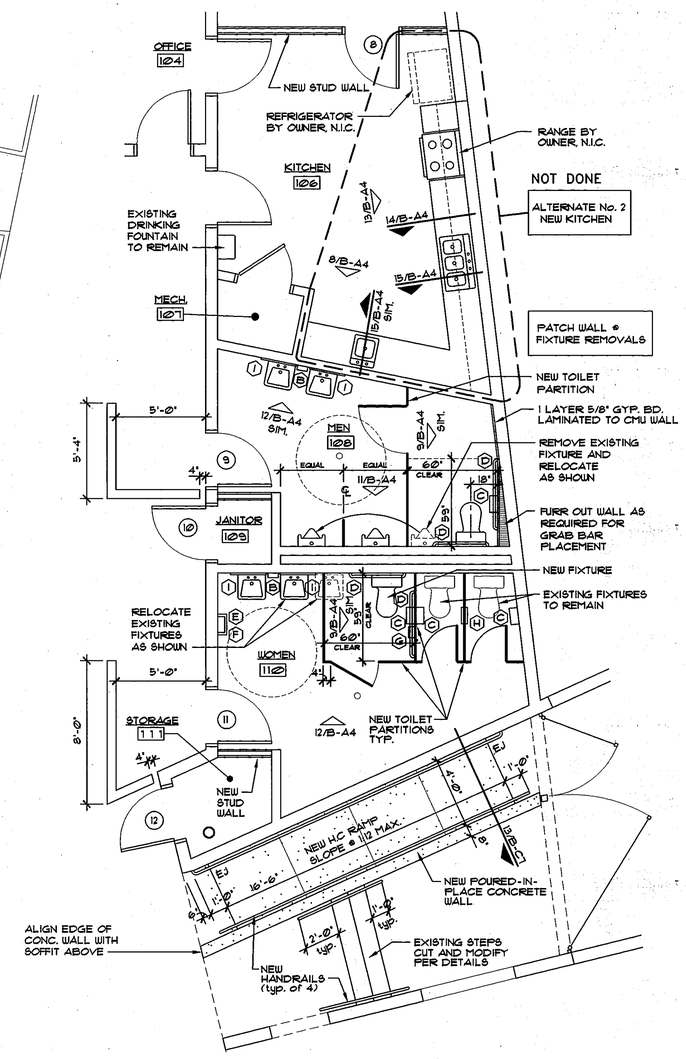
2 — 3 5/8" METAL STUDS @ 24" O.C. WALL WITH 5/8" GYP. BD., BOTH SIDES

3 — 6" CONCRETE MASONRY WALL

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE AND APPROPRIATE WALL BLOCKING FOR THE MOUNTING OF ALL ACCESSORY ITEMS, TYP.

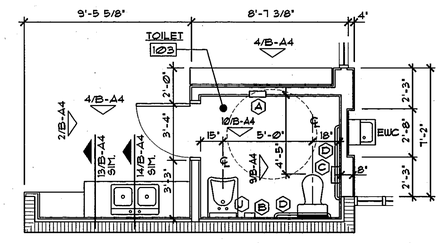
TOILET ACCESSORIES SCHEDULE

MARK	ITEM	DESCRIPTION	QTY.
A	BOBRICK B-38034	PAPER TOWEL DISPENSER WITH WASTE RECEPTACLE RECESSED WITH SATIN STAINLESS FINISH - 3.8 gallon	1
B	BOBRICK B-4112	LIQUID SOAP DISPENSER SURFACE MOUNTED WITH SATIN STAINLESS FINISH	3
C	BOBRICK B-2730	TOILET PAPER DISPENSER - SINGLE ROLL SURFACE MOUNTED WITH ALUMINUM FINISH	5
D	BOBRICK B-6206-99	1 1/2" DIAMETER GRAB BARS - SIZE AS PER DRAWINGS SATIN STAINLESS FINISH W/ PEENED GRIP	6
E	BOBRICK B-279	SURFACE MOUNTED WASTE RECEPTACLE 6.4 gallon capacity	2
F	BOBRICK B-4262	SURFACE MOUNTED PAPER TOWEL DISPENSER 400 C-fold capacity	2
G	BOBRICK B-270	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	1
H	BOBRICK B-4354	PARTITION MOUNTED SANITARY NAPKIN DISPOSAL	1
I	BOBRICK B-1556-2436	FRAMELESS POLISHED STAINLESS STEEL MIRROR	4
J	BOBRICK B-293-1830	1/4" FRAMED MIRROR GLASS	1



3 ENLARGED PLAN

SCALE : 1/4" = 1'-0"



2 ENLARGED PLAN

SCALE: 1/4" = 1'-0"

NORTH

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 6-20-97
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

BENCH MARK	

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: FLOOR PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	14 Of 56 B-A3

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 1407

DRAWN BY: JPG DATE: 6-12-97
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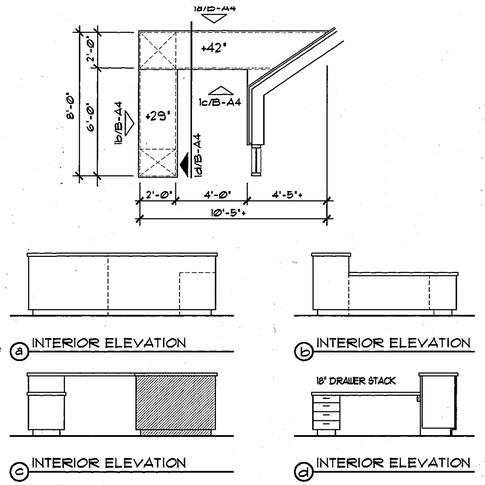
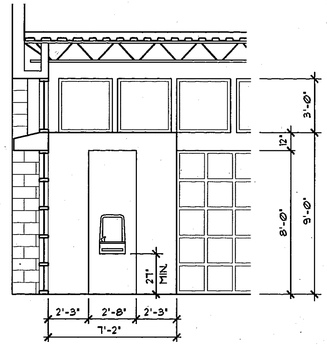


RECEPTION DESK
ENLARGED PLAN & INTERIOR ELEVATIONS
1 SCALE: 1/4" = 1'-0"



2 INTERIOR ELEVATION
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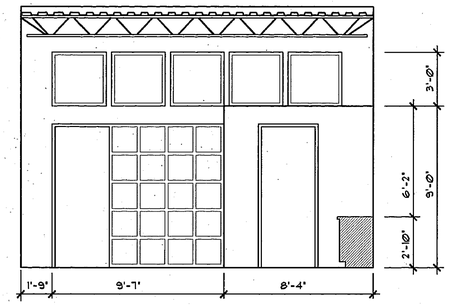

3 INTERIOR ELEVATION
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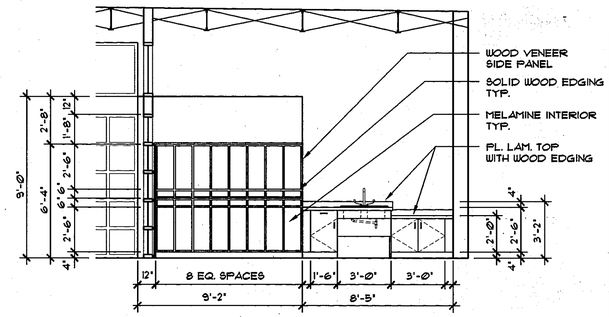

4 INTERIOR ELEVATION
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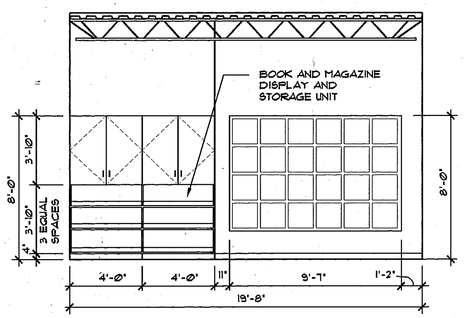

5 INTERIOR ELEVATION
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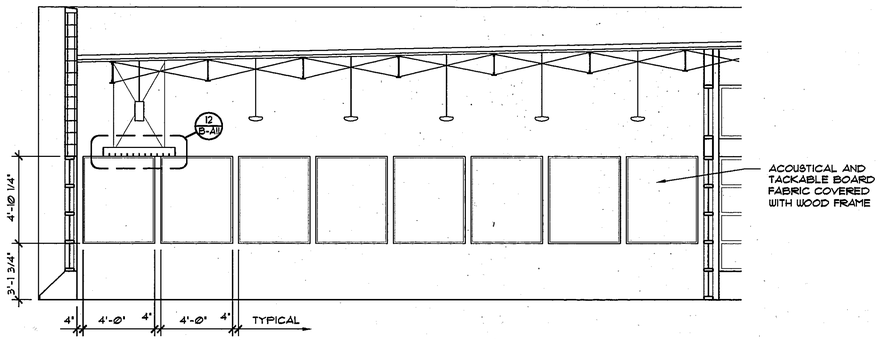

6 INTERIOR ELEVATION
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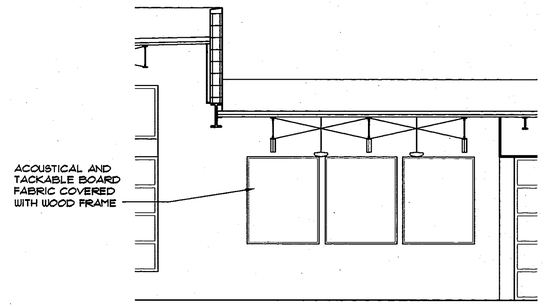
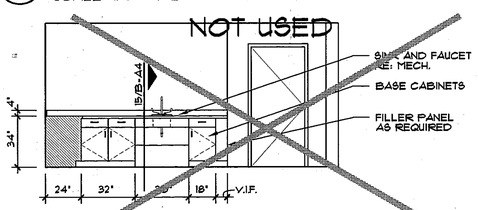
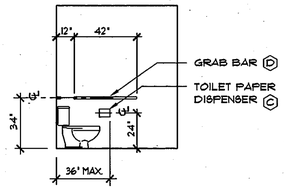


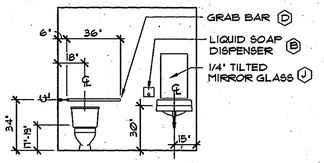
7 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



8 INTERIOR ELEVATION - ALT. 1
SCALE: 1/4" = 1'-0"



9 INT. ELEVATION
SCALE: 1/4" = 1'-0"



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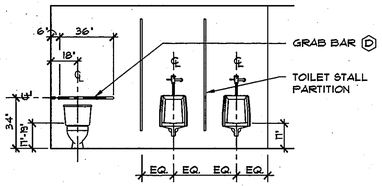

11 INTERIOR ELEVATION
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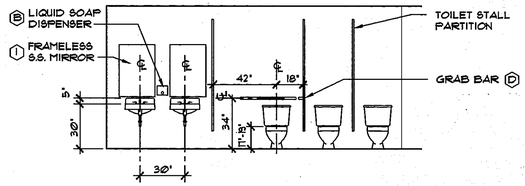
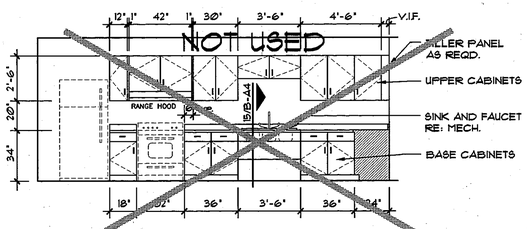
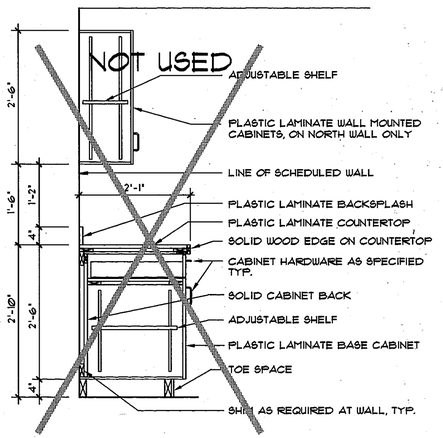


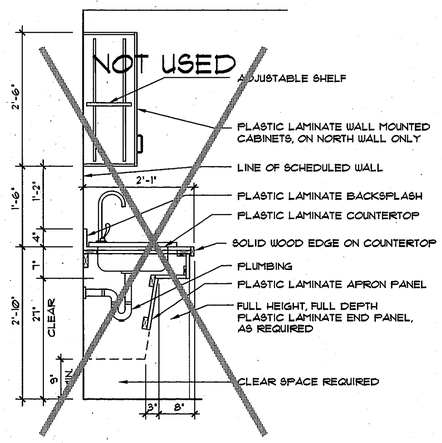
12 INTERIOR ELEVATION
SCALE : 1/4" = 1'-0"



13 INTERIOR ELEVATION - ALT. 1
SCALE: 1/4" = 1'-0"



14 CASEWORK SECTION
SCALE : 3/4" = 1'-0"



15 SECTION AT SINK
SCALE : 3/4" = 1'-0"

REMARKS:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE AND APPROPRIATE WALL BLOCKING FOR THE MOUNTING OF ALL ACCESSORY ITEMS, TYP.

SANDERS ROGERS ARCHITECTS, P.C.
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(505) 247-1168, Fax: 247-0262

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES:

NO.	BY	DATE

REVISIONS/REMARKS

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

DRAWN BY: JPC
DATE: 6-12-97
FILE NAME: RM4-DPL
SCALE: 1" = 4'

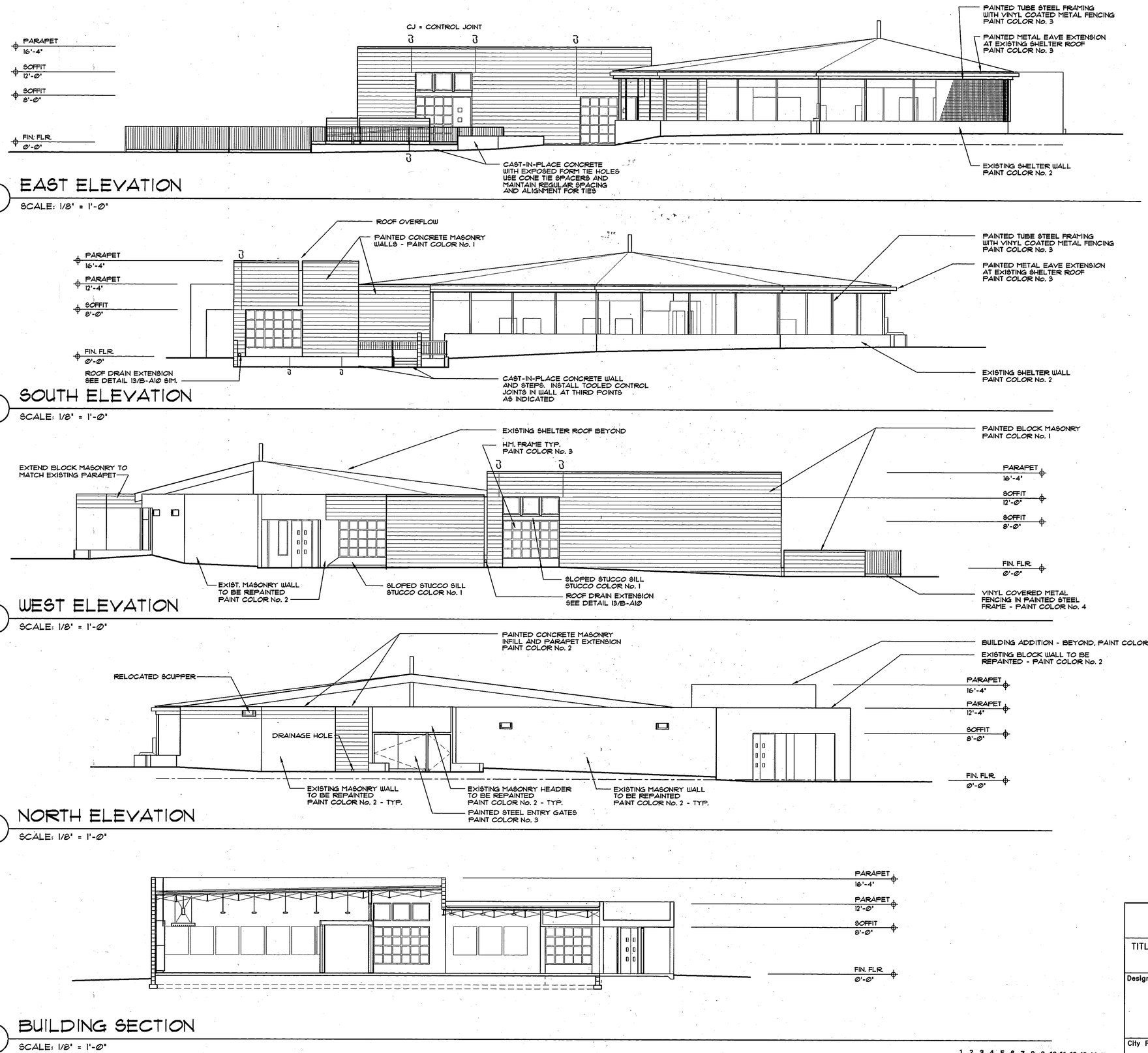
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: ENLARGED PLANS AND INTERIOR ELEVATIONS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	15 Of 56 B-A4

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 1597



AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 6-20-97
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

BENCH MARK
CITY OF ALBUQUERQUE BENCHMARK "4-121", A CHISELED "X" ON TOP OF CONCRETE CURB AT THE MIDPOINT OF THE CURVE LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF CONSTITUTION AND CLAUDINE STREET N.E.
ELEVATION = 5561.99' (M.S.L.D.)

T.B.M. = A CHISELED "□" AT TOP OF CURB LOCATED NEAR THE INTERSECTION OF SUMMER AVE. N.E. & CLAUDINE N.E.
AS SHOWN. ELEVATION = 5552.25' (M.S.L.D.)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

DRAWN BY: JPG
FILE NAME: BAS-ELEV
DATE: 6-12-97
SCALE: 1" = 8'

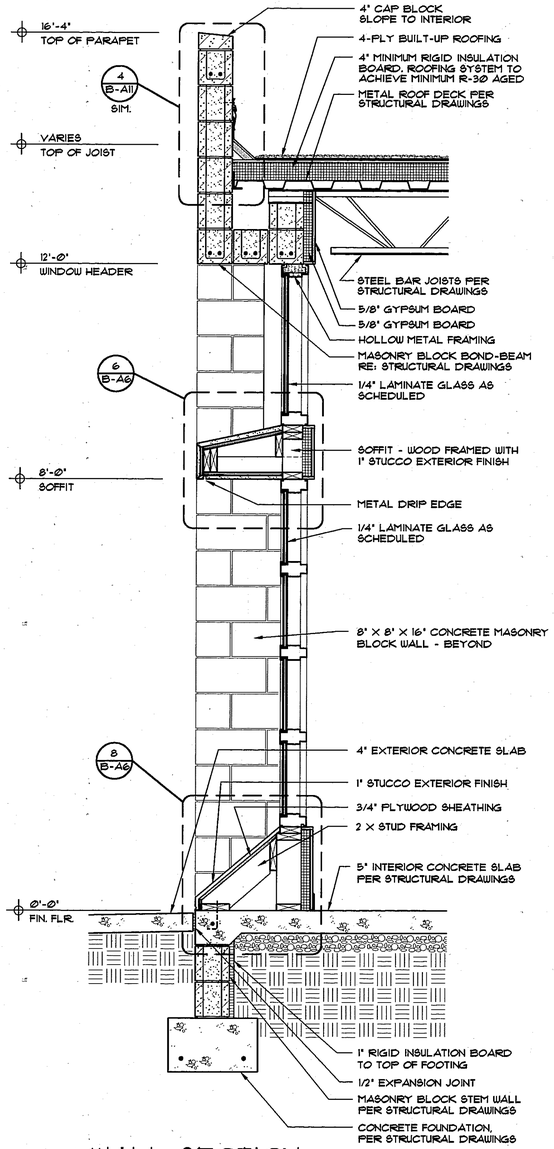
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: BUILDING ELEVATIONS AND SECTIONS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

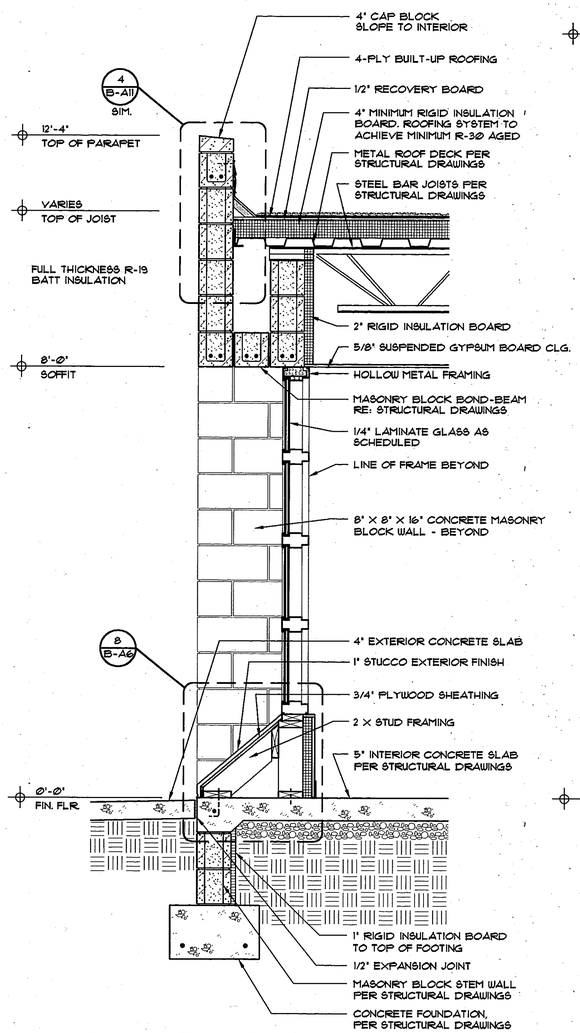
City Project No.	Zone Map No.	Sheet
4754.92	J-21	16 Of 56 B-A5

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 1697



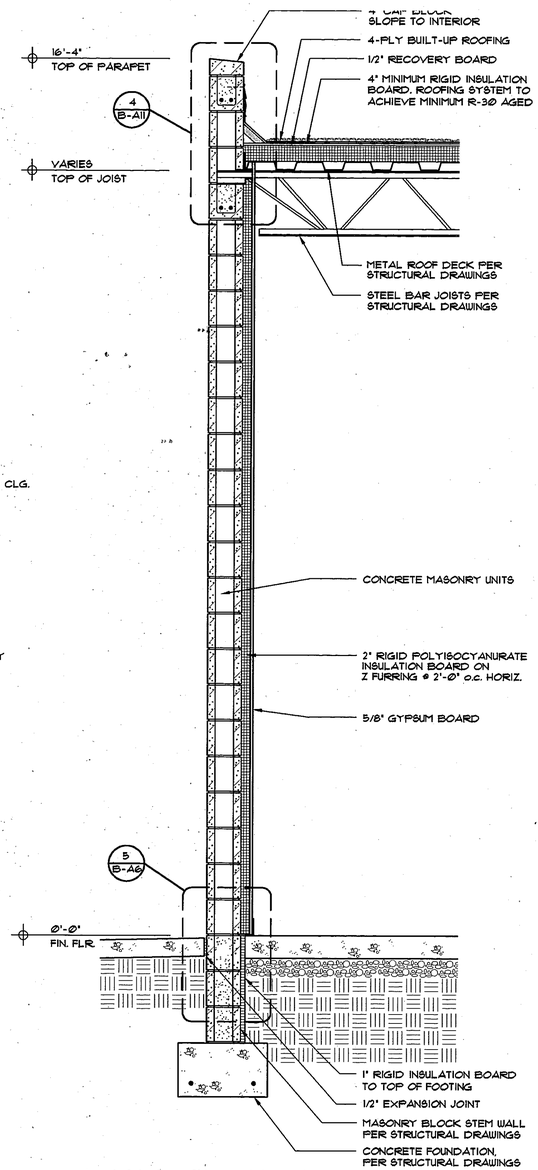
1 WALL SECTION

SCALE: 3/4" = 1'-0"



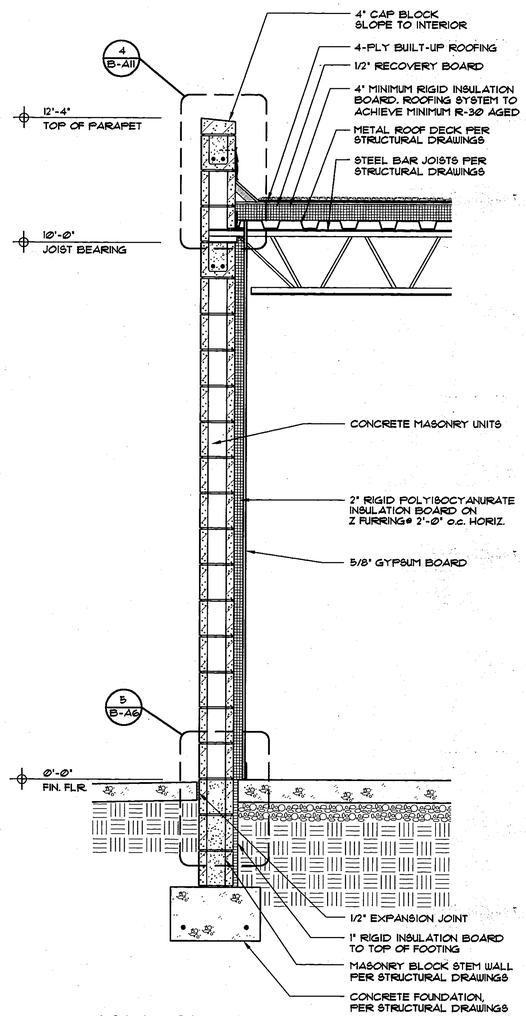
2 WALL SECTION

SCALE: 3/4" = 1'-0"



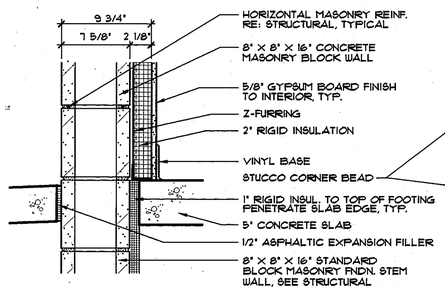
3 WALL SECTION

SCALE: 3/4" = 1'-0"



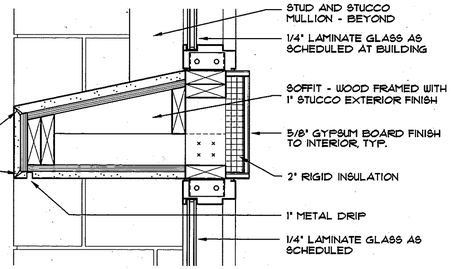
4 WALL SECTION

SCALE: 3/4" = 1'-0"



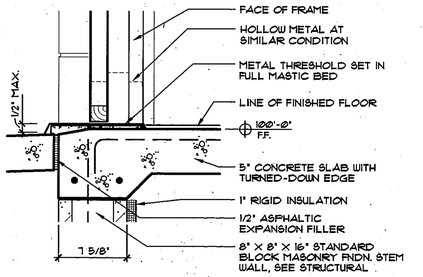
5 SECTION DETAIL

SCALE : 1 1/2" = 1'-0"



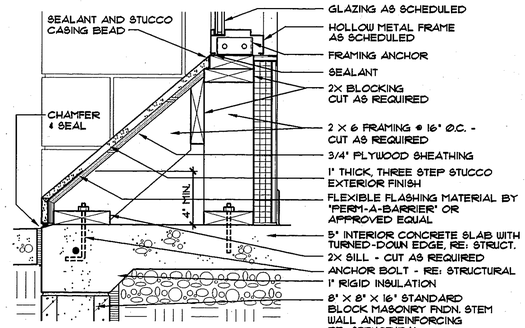
6 SECTION DETAIL

SCALE : 1 1/2" = 1'-0"



7 THRESHOLD

SCALE : 1 1/2" = 1'-0"



8 SECTION DETAIL

SCALE : 1 1/2" = 1'-0"

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	

MICRO-FILM INFORMATION

RECORDED BY:	DATE:
NO.	

BENCH MARK	
CITY OF ALBQ. BENCHMARK "4-J21", A CHISELED "X" ON TOP OF CONCRETE CURB AT THE MIDPOINT OF THE CURVE LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF CONSTITUTION AND CLAUDINE STREET N.E. ELEVATION = 5561.99' (M.S.L.D.)	
T.B.M. = A CHISELED " " AT TOP OF CURB LOCATED NEAR THE INTERSECTION OF SUMMER AVE. N.E. AND CLAUDINE ST. N.E. ELEVATION = 5552.25' (M.S.L.D.)	

SURVEY INFORMATION FIELD NOTES		
NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

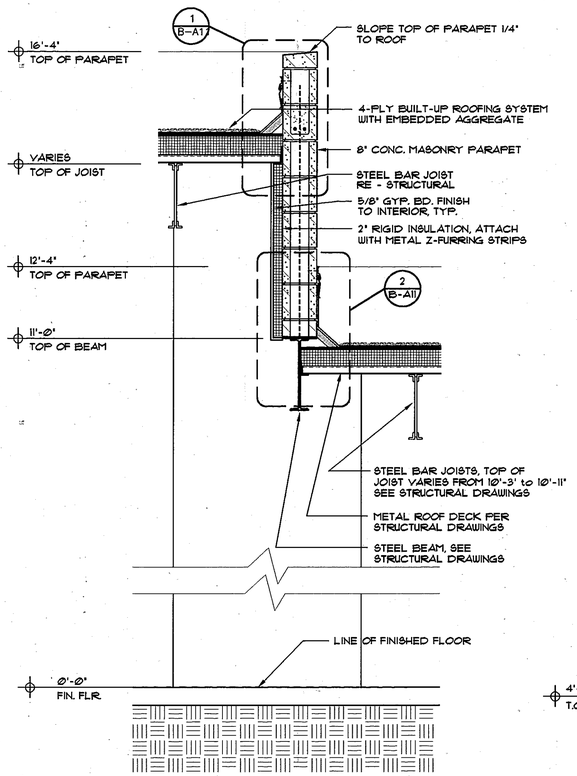
TITLE: WALL SECTIONS & DETAILS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	17 Of 56 B-A6

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 1797

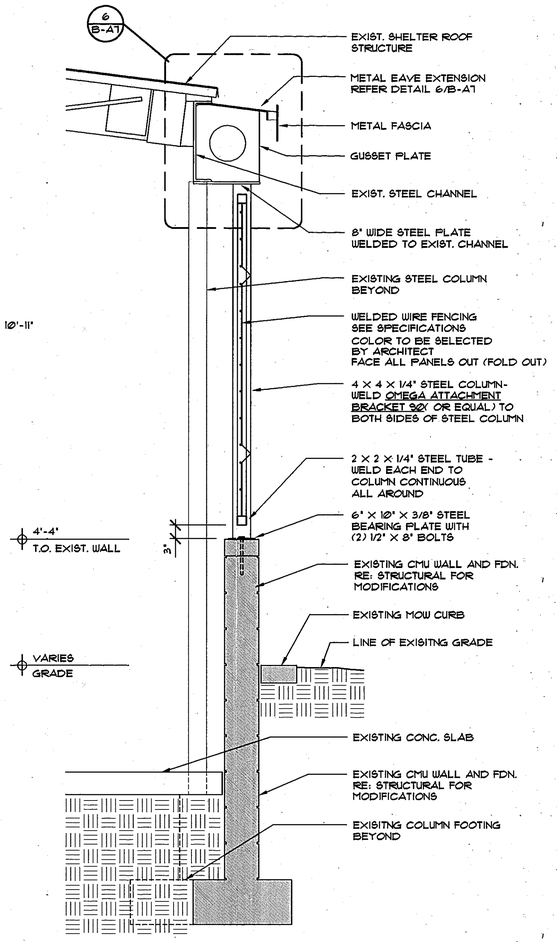
DRAWN BY: JPG
FILE NAME: RAG-WALL
DATE: 6-12-97
SCALE: 3/4" = 1"



1 WALL SECTION

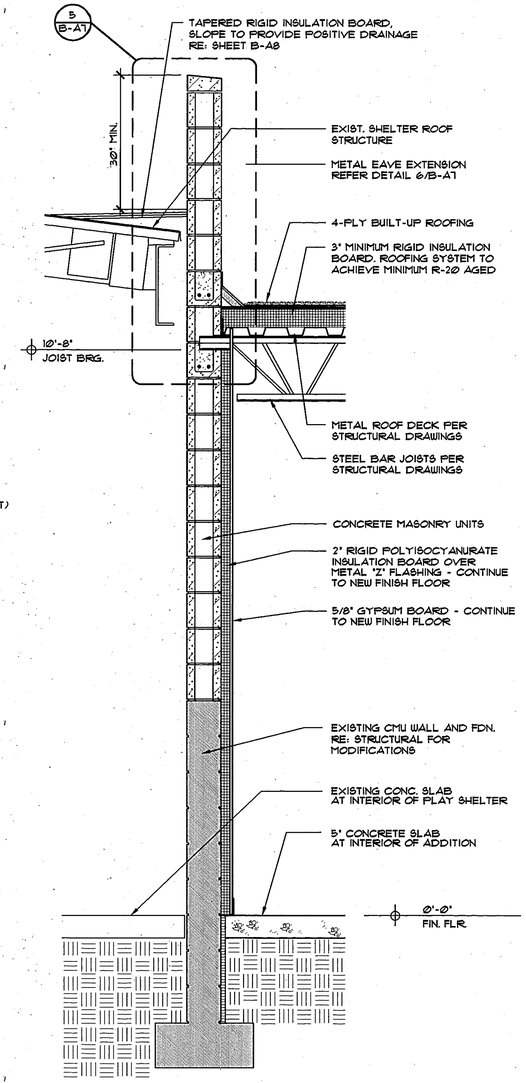
SCALE: 3/4" = 1'-0"

NOTE:
ALL STEEL - NEW AND EXISTING TO BE PAINTED, COLORS TO BE SELECTED BY ARCHITECT



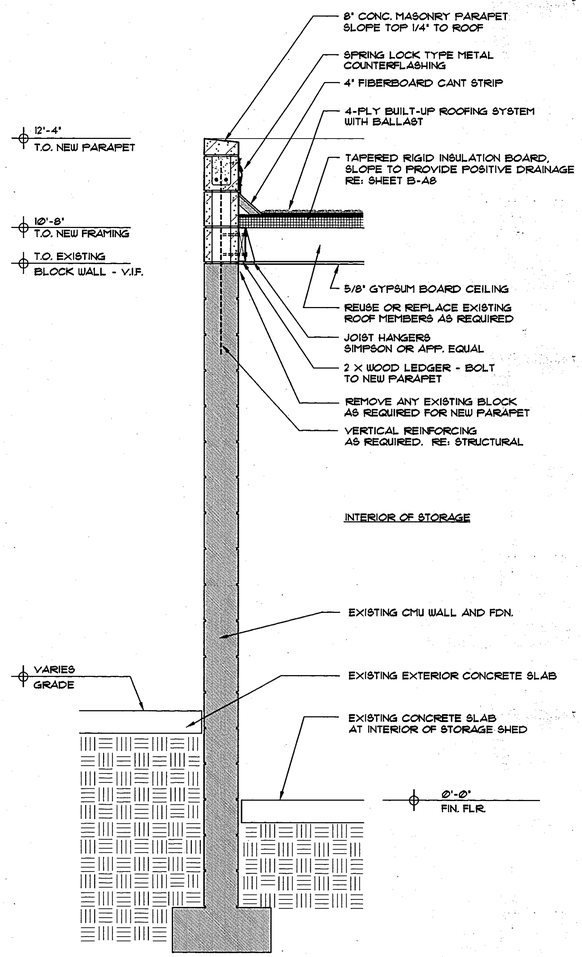
2 WALL SECTION

SCALE: 3/4" = 1'-0"



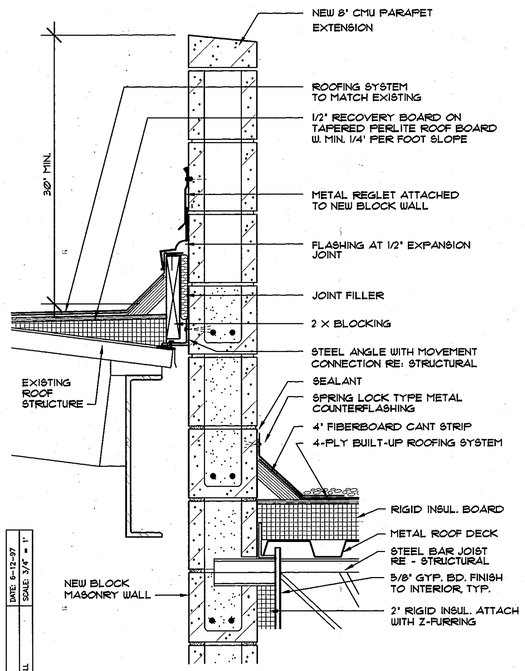
3 WALL SECTION

SCALE: 3/4" = 1'-0"



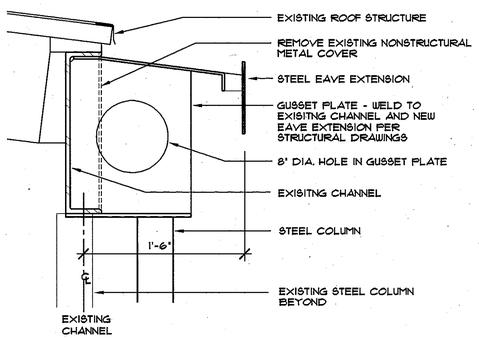
4 WALL SECTION

SCALE: 3/4" = 1'-0"



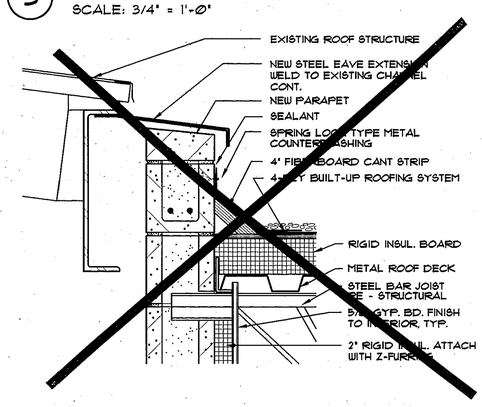
5 EAVE DETAIL

SCALE : 1 1/2" = 1'-0"



6 EAVE DETAIL

SCALE : 1 1/2" = 1'-0"



7 EAVE DETAIL

NOT USED

SCALE : 1 1/2" = 1'-0"

SURVEY INFORMATION			
FIELD NOTES			
NO.	BY	DATE	

BENCH MARK	
CITY OF ALBUQUERQUE BENCHMARK "4-121", A CHISELED "X" ON TOP OF CONCRETE CURB AT THE MIDPOINT OF THE CURVE LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF CONSTITUTION AND CLAUDINE ST. N.E. ELEVATION = 5561.99' (M.S.L.D.)	
T.B.M. = A CHISELED "D" AT TOP OF CURB LOCATED NEAR THE INTERSECTION OF SUMMER AVE. N.E. AND CLAUDINE ST. N.E. AS SHOWN. ELEVATION = 5552.25' (M.S.L.D.)	

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
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Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

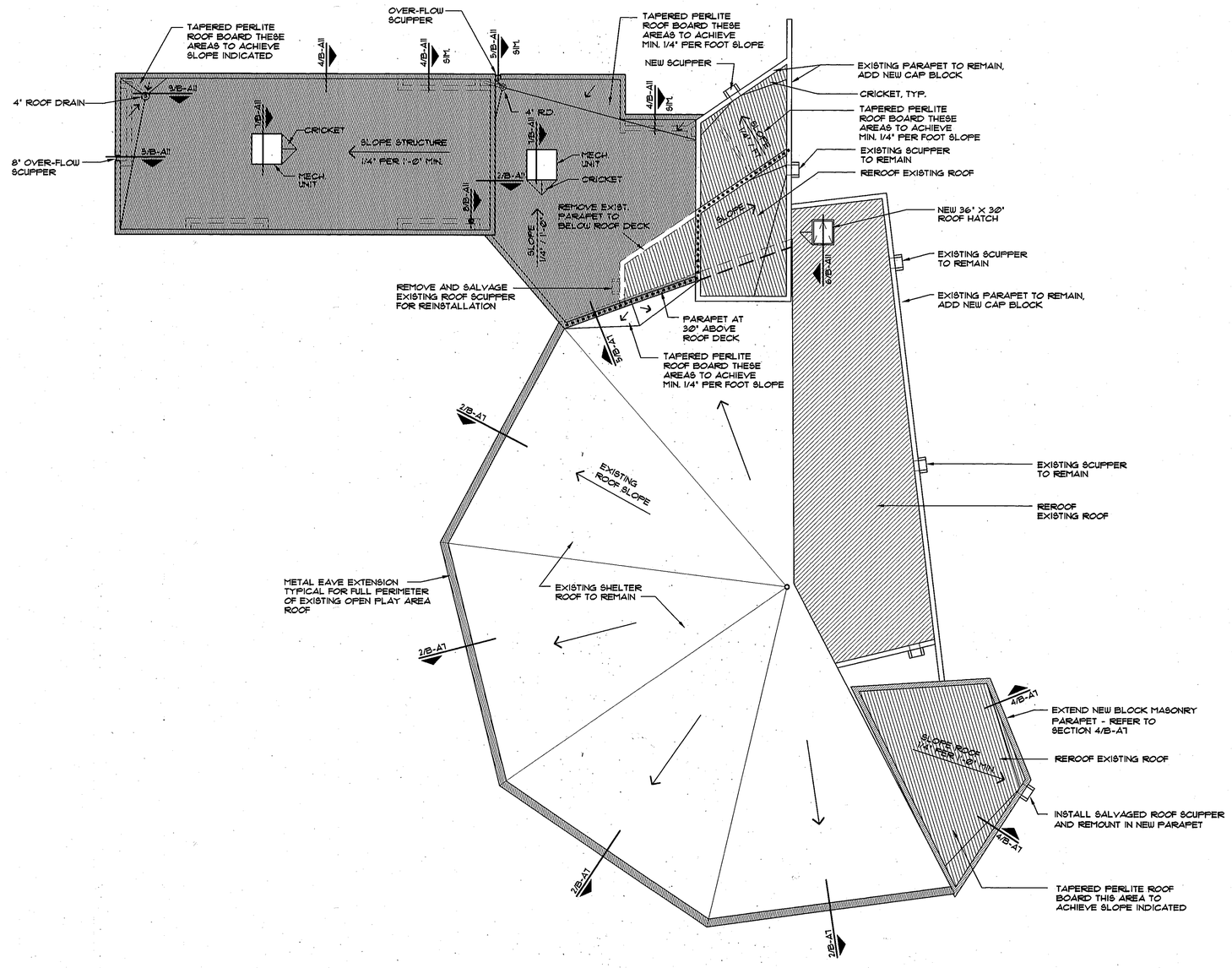
TITLE: WALL SECTIONS & DETAILS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	18 Of 56 B-A7

DRAWN BY: JPG
FILE NAME: 8A7-WALL
DATE: 6-12-97
SCALE: 3/4" = 1"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 1/8/97



1 ROOF PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY: JPG	DATE: 6-12-97
FILE NAME: RAB-ROOF	SCALE: 1" = 8'

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

BENCH MARK

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

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Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: ROOF PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	19 Of 56 B-A8

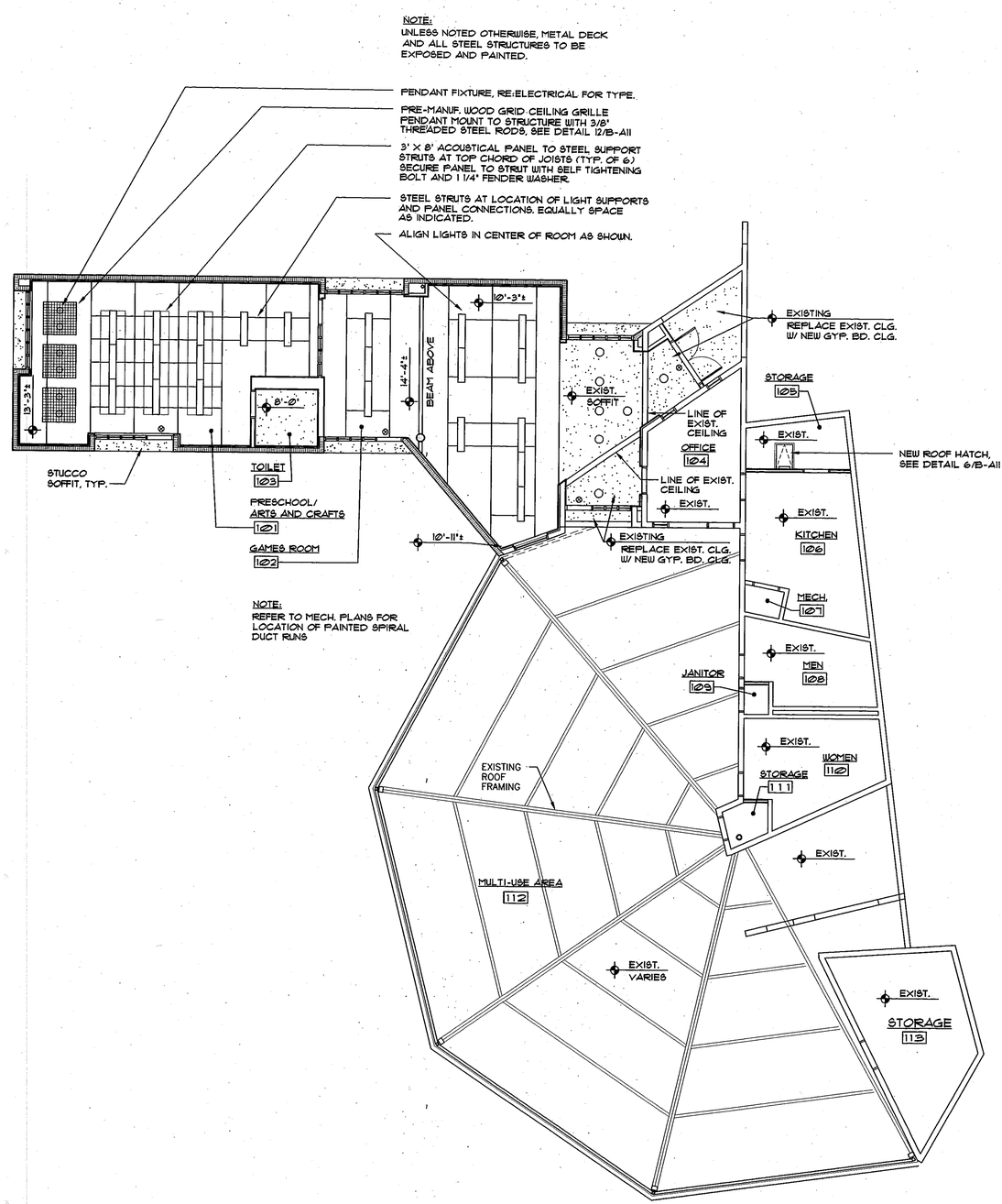
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 1997

SYMBOL LEGEND

- SUSPENDED GYPSUM BOARD CEILING
- 4' X 4' SKYLIGHT
- ROOF HATCH
- 2' X 2' SUPPLY AIR GRILLE
- 1' X 1' SUPPLY AIR GRILLE
- 2' X 2' RETURN AIR GRILLE
- 1' X 1' RETURN AIR GRILLE
- FLUORESCENT DOWN LIGHT
- EXIT LIGHT
- 4'-2' PENDANT FIXTURE
- INCANDESCENT FIXTURE

GENERAL NOTES

1. THE REFLECTED CEILING PLAN IS FOR REFERENCE OF DESIGN INTENT AND LAYOUT PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND THAT THE CEILING AND LIGHTING PATTERNS SHOWN ON THE PLAN CAN BE ACHIEVED AS INDICATED.
2. REFER TO THE ELECTRICAL DRAWINGS FOR ALL SWITCH LOCATIONS AND WIRING CONFIGURATIONS TYPICALLY.
3. UNLESS SPECIFICALLY INDICATED ON THE DRAWING, ALL CEILING HEIGHTS ARE INDICATED ON THE ROOM FINISH SCHEDULE.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, SALVAGE, AND OR REINSTALLATION OF ALL EXISTING MECHANICAL DUCTS, GRILLES, AND LOUVERS IN ALL REMODELED AREAS.
5. ALL EXISTING CEILING MOUNTED EQUIPMENT WILL BE MAINTAINED OR REINSTALLED IN ITS PRESENT LOCATION AND MOUNTING HEIGHT.
6. ALL PENDANT LIGHT FIXTURES TO BE 10'-0" AFF. @ BOTTOM OF FIXTURE.



1 REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

NORTH

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 6-20-97
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

BENCH MARK

SURVEY INFORMATION FIELD NOTES		
NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY:	G.S.	DATE: 5-24-96
DRAWN BY:	J.G.	DATE: 5-24-96
CHECKED BY:	G.S.	DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
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(505) 247-1168, Fax: 247-0262

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

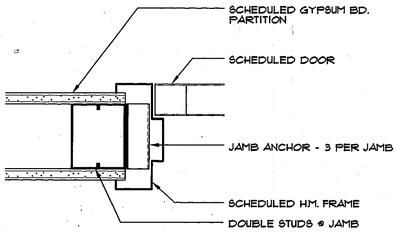
TITLE: REFLECTED CEILING PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

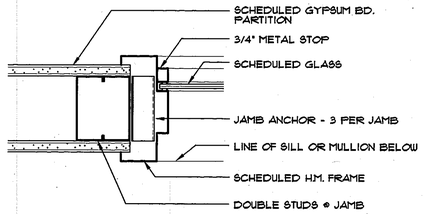
City Project No.	Zone Map No.	Sheet
4754.92	J-21	20 Of 56 B-A9

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 2097

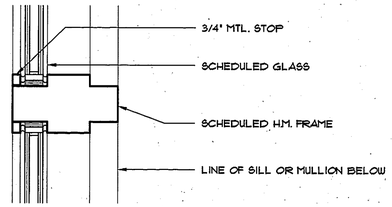
DRAWN BY: JPG | DATE: 6-12-97
FILE NAME: RAB-RCP | SCALE: 1" = 8'



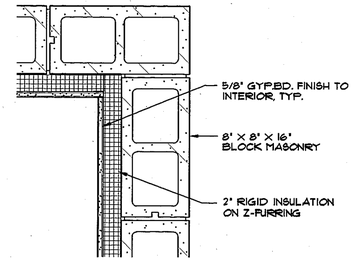
1 JAMB- HEAD SIM.
SCALE : 3" = 1'-0"



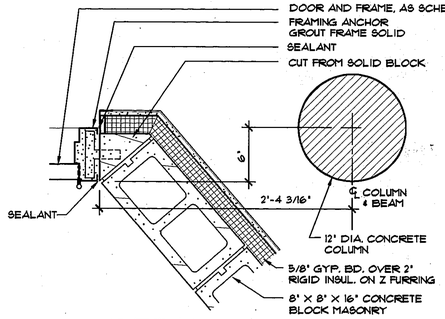
2 JAMB
SCALE : 3" = 1'-0"



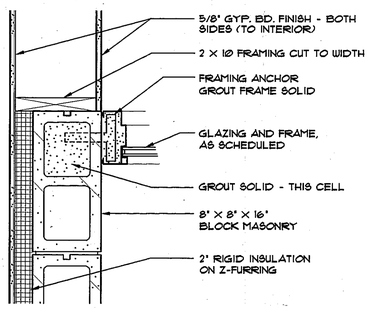
3 MULLION
SCALE : 3" = 1'-0"



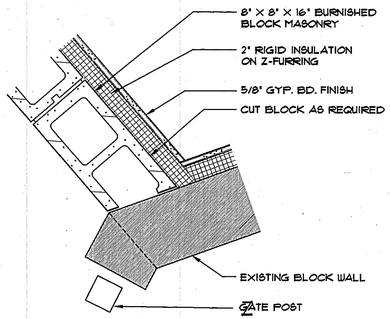
4 DETAIL
SCALE : 1 1/2" = 1'-0"



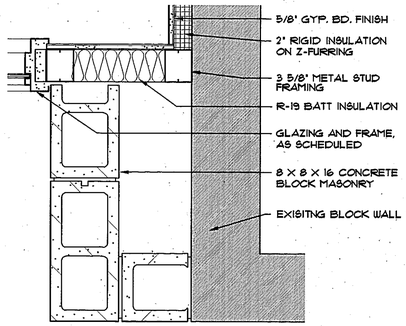
5 DETAIL
SCALE : 1 1/2" = 1'-0"



6 DETAIL
SCALE : 1 1/2" = 1'-0"



7 DETAIL
SCALE : 1 1/2" = 1'-0"



8 DETAIL
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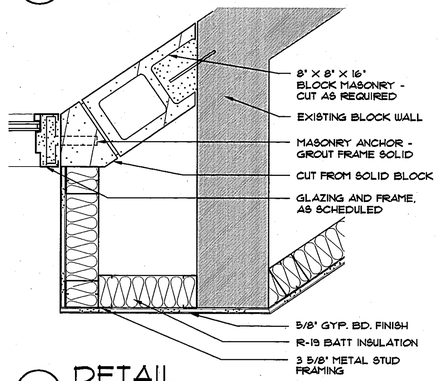
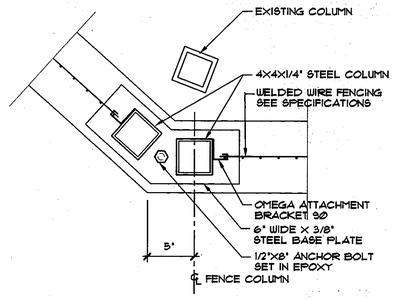


9 DETAIL
SCALE : 1 1/2" = 1'-0"



10 DETAIL
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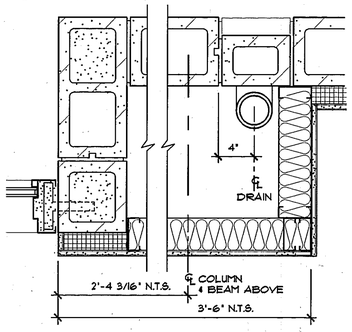

11 DETAIL
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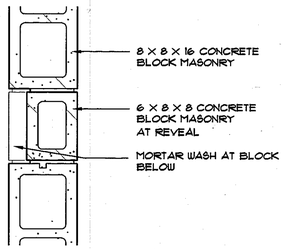

12 DETAIL
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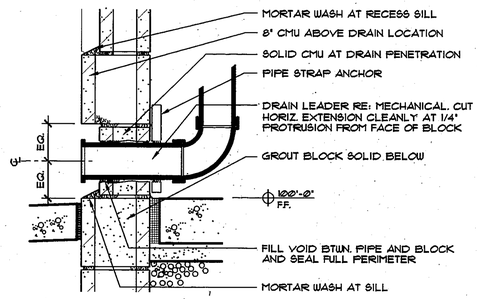
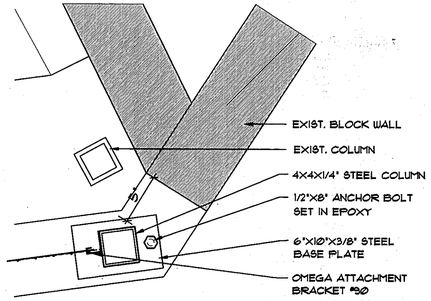


13 DETAIL
SCALE : 1 1/2" = 1'-0"

NOT USED

14 DETAIL
SCALE : 1 1/2" = 1'-0"



15 DETAIL
SCALE : 1 1/2" = 1'-0"

GENERAL NOTES

A. ALL HOLLOW METAL DOOR FRAMES TO BE GROUT FILLED SOLID.

SANDERS ROGERS ARCHITECTS, P.C.
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(505) 247-1168, Fax: 247-0262

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

AS-BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: DETAILS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	21 Of 56 B-A10

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-47541.92 2/97

DRAWN BY: CHRIS DATE: 6-13-97
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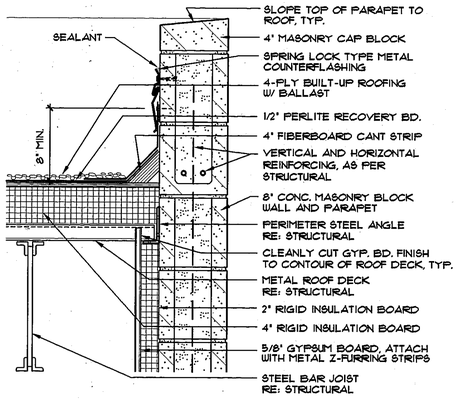

1 PARAPET
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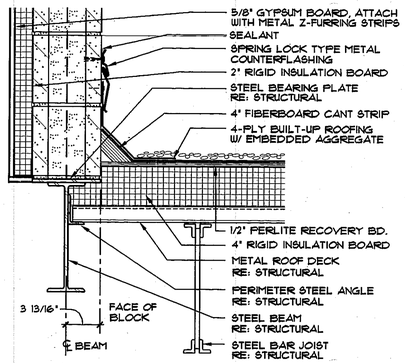

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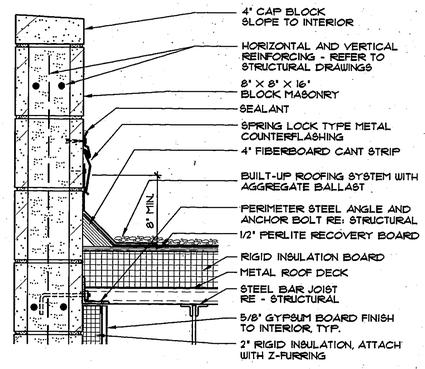

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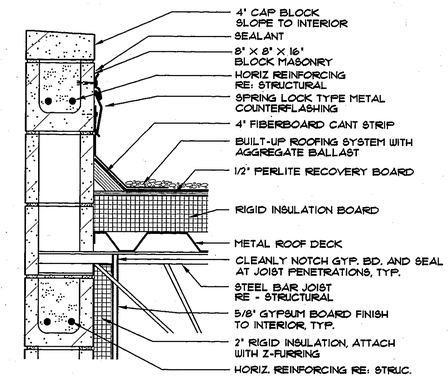

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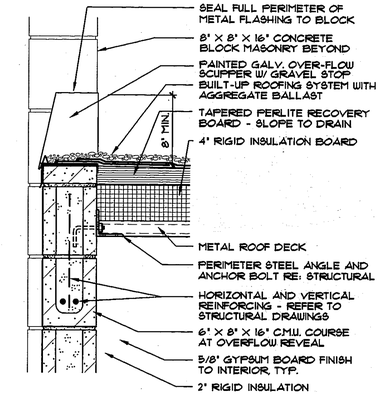
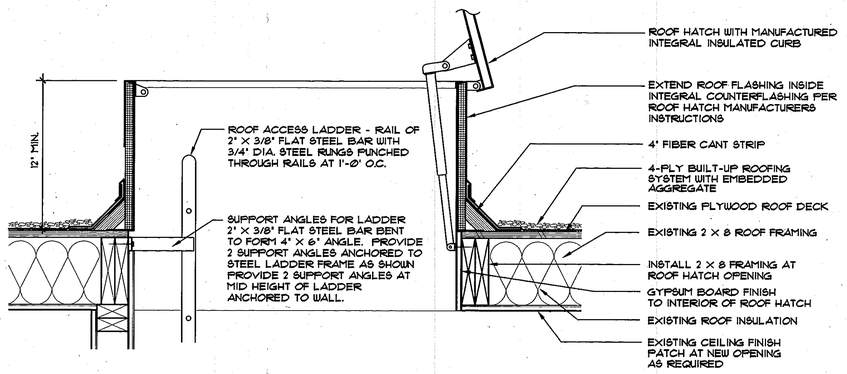
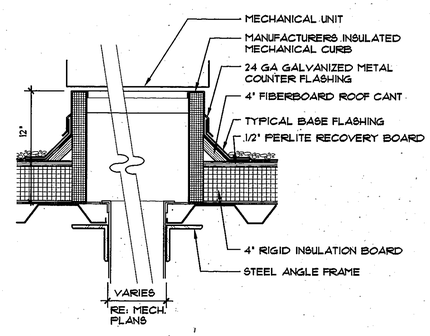


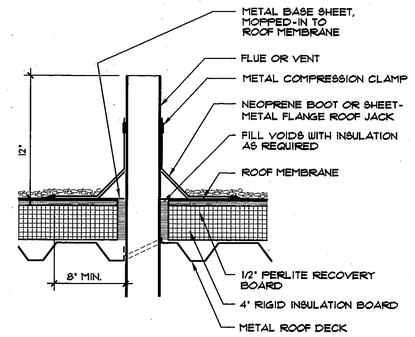
5 PARAPET
SCALE : 1 1/2" = 1'-0"



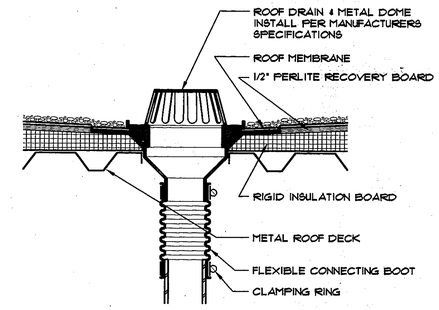
6 ROOF HATCH DETAIL
SCALE : 1 1/2" = 1'-0"



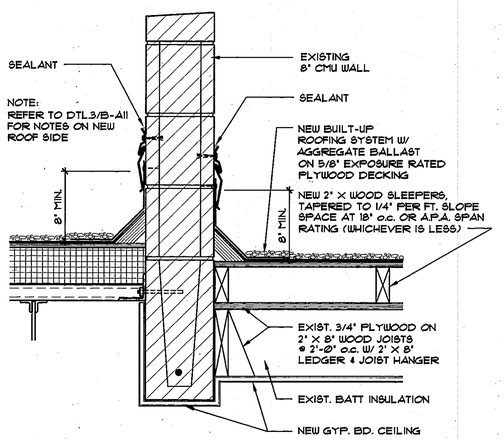
7 MECHANICAL CURB
SCALE : 1 1/2" = 1'-0"



8 ROOF VENT
SCALE : 1 1/2" = 1'-0"



9 ROOF DRAIN
SCALE : 1 1/2" = 1'-0"



10 PARAPET
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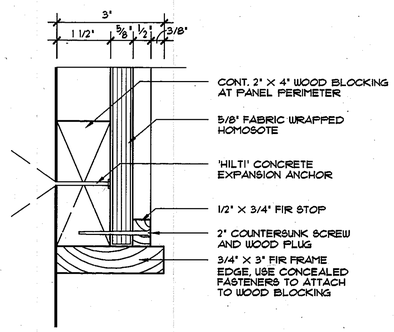

11 DETAIL
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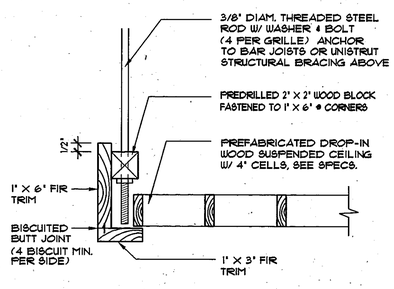
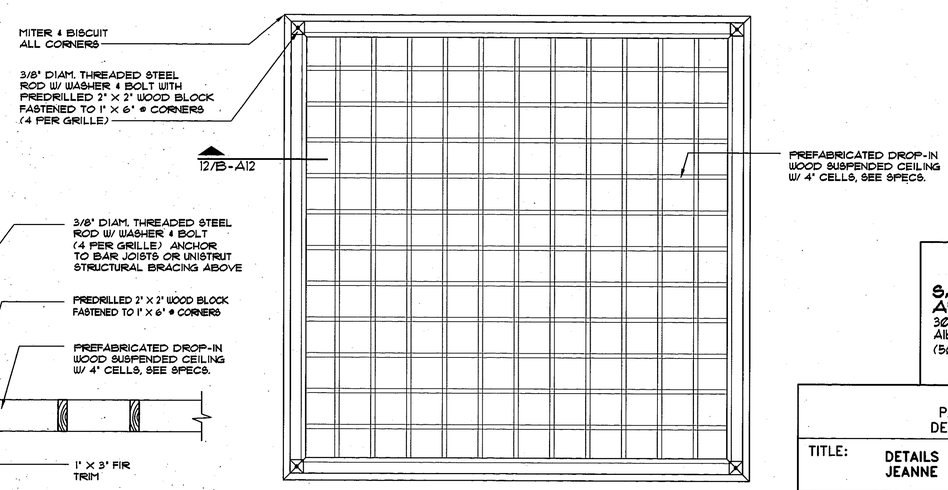


12 WOOD GRID CEILING
SCALE : 3" = 1'-0"



TOP VIEW OF LAY-IN
13 4' X 4' WOOD GRID CEILING
SCALE : 1 1/2" = 1'-0"

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 5-20-97	
MICRO-FILM INFORMATION	
RECORDED BY:	DATE:
NO.	

BENCH MARK			
SURVEY INFORMATION FIELD NOTES			
NO.	BY	DATE	

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: DETAILS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet	
4754.92	J-21	22 Of 56	B-A11

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 2297

DRAWN BY: JPG DATE: 6-13-97
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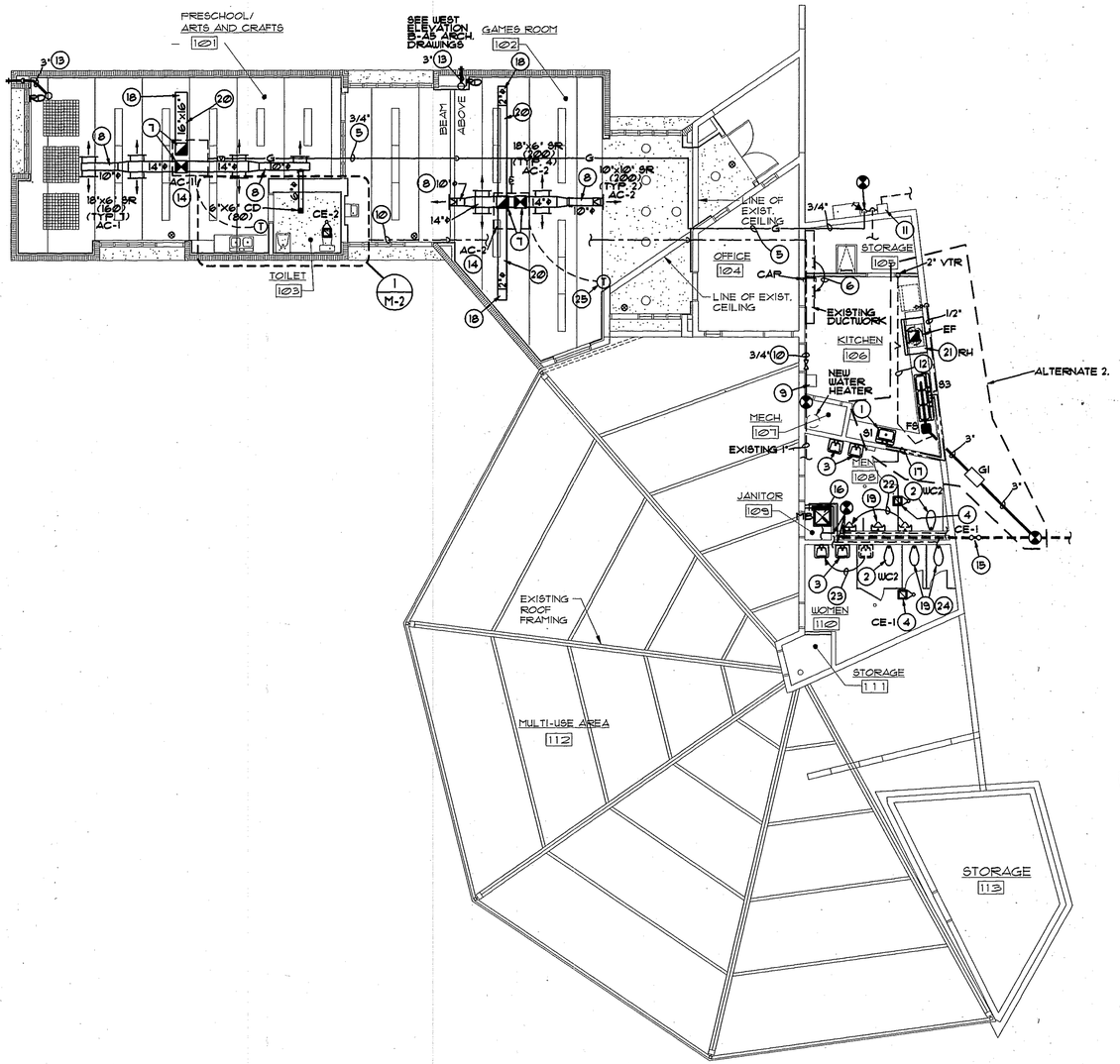


1 MECHANICAL PLAN

SCALE: 1/8" = 1'-0"

ENERGY CONSERVATION CODE

HEATING DEGREE DAYS 4350

WALL	AREA SF.		U		AXU
GROSS WALL	3358.0				
WINDOW	362.0	X	0.58	=	209.96
DOOR	96.0	X	0.60	=	57.60
OTHER	0.0	X	0.00	=	0.0
OPAQUE WALL	2900	X	0.055	=	159.50
			TOTAL		427.06

WALL $U_o = \frac{\text{AXU TOTAL}}{\text{GROSS WALL}}$ $U_o = \frac{427.06}{3358.00}$

WALL $U_o = 0.1271$ CODE REQUIRED MIN.: 0.30

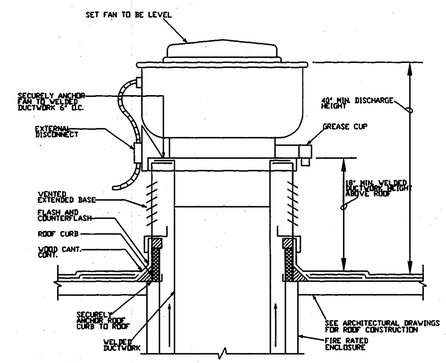
ROOF	AREA SF.		U		AXU
GROSS ROOF	1805.0				
OPAQUE ROOF	1805.0	X	0.05	=	90.25
			TOTAL		90.25

ROOF $U_o = \frac{\text{AXU TOTAL}}{\text{GROSS ROOF}}$ $U_o = \frac{90.25}{1805.00}$

ROOF $U_o = 0.05$ CODE REQUIRED MIN.: 0.09

NOTES:

COORDINATE WITH G.C. FOR PATCHING AND PAINTING OF CONCRETE BLOCK PLUMBING CHASE DUE TO RELOCATION/REINSTALLATION OF PLUMBING FIXTURES IN EXISTING BATHROOM.



KITCHEN HOOD EXHAUST FAN

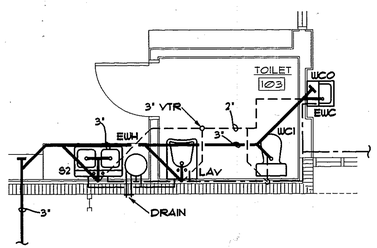
NTS

KEYED NOTES:

1. REMOVE EXISTING 2 COMP. SINK AND REPLACE WITH NEW SINGLE COMP. SINK, RECONNECT HW, CW, SEWER AND VENT.
2. REMOVE EXISTING FLOOR MOUNT FLUSH VALVE WATER CLOSET AND REPLACE WITH NEW WC2. RE-INSTALL PER ARCHITECTURAL PLAN. RECONNECT 1 1/2" WATER, 3" WASTE.
3. WRAP HW, CW AND P TRAP WITH ARMAFLEX ON EXISTING WALL HUNG LAVATORY.
4. REPLACE EXISTING CEILING CABINET EXHAUST FAN WITH NEW. RECONNECT TO EXISTING DUCTWORK.
5. GAS PIPE ON ROOF, SEE DETAIL.
6. RELOCATE EXISTING 6"X16" DUCT MOUNTED SA DIFFUSER TO NEW LOCATION, CAP 12"X6" DUCT AND REMOVE UNUSED PORTION.
7. 16"X16" UP THRU ROOF CONNECT TO AC SA AND RA OPENING INSIDE ROOF CURB.
8. EXPOSED SPIRAL DUCT TIGHT TO THE BOTTOM OF JOIST AT LOWEST POINT OF ROOF STRUCTURE. SEE ARCH. DRAWINGS.
9. EXISTING ELECTRIC WATER COOLER TO REMAIN.
10. NEW INSULATED CW LINE EXPOSED SECURELY ANCHORED TO THE WALL OR BOTTOM OF ROOF JOISTS.
11. EXISTING GAS METER RESET FOR ADDITIONAL 160 CFH.
12. VENT PIPING UNDER SLAB.
13. 3" ROOF DRAIN LEADER TO BE INSULATED PER SPEC.
14. NEW AC UNIT ON ROOF CURB.
15. EXISTING TWO-WAY C.O. TO REMAIN.
16. NEW MOP BASIN, CONNECT TO EXISTING CW, HW, SEWER AND VENT LINE INSIDE EXISTING PLUMBING CHASE.
17. CONNECT TO EXISTING HW & CW AT EXISTING SINK UNDER THE COUNTER. 1/2" HW AND CW.
18. OPEN END DUCT, PAINT INSIDE WITH FLAT BLACK PAINT.
19. EXISTING PLUMBING FIXTURE TO REMAIN. REPLACE FLUSH VALVES.
20. DUCTWORK BETWEEN JOISTS TIGHT TO THE BOTTOM OF THE ROOF DECK.
21. 14"X14" ROOF OPENING, MAKER TRANSITION TO HOOD EXHAUST OPENING.
22. RELOCATE EXISTING URINAL AND REINSTALL AT NEW LOCATION SHOWN. RECONNECT WATER, SEWER AND VENT. SEE ARCH. PLANS FOR EXACT LOCATION AND HEIGHT.
23. REMOVE AND RELOCATE EXISTING LAVATORY TO NEW LOCATION SHOWN, RECONNECT 1/2" HW AND CW, 2" SEWER AND 1 1/2" VENT. SEE ARCH. PLANS FOR EXACT LOCATION AND HEIGHT. WRAP HW AND P-TRAP WITH ARMAFLEX.
24. REPLACE TOILET SEATS WITH NEW.
25. T-STAT SET WHERE ELECTRICIAN ROUGHED IN.

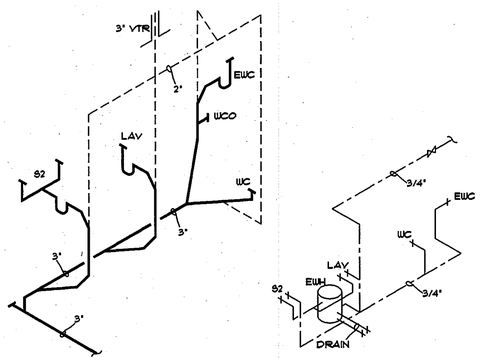
GENERAL NOTES:

A. COORDINATE EXACT LOCATION OF THE T-STATS WITH TENANTS.
B. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND INSTALLATION HEIGHT OF ALL PLUMBING FIXTURES & EXACT BUILDING DIMENSIONS.
C. THE LOCATION OF EXISTING SEWER LINE SHOWN OUTSIDE THE BUILDING ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITY LINES AND INVERTS, PRIOR TO ANY OUTSIDE UTILITY CONNECTION WORK AND ANY SEWER LINE INSTALLATION.
D. SEE PLUMBING EQUIPMENT SCHEDULE FOR SERVICE CONNECTION SIZES TO ALL FIXTURES.
E. PRIOR TO ANY ROOF CUTTING, COORDINATE EXACT LOCATION OF ROOFTOP UNITS WITH ROOF JOISTS AND OTHER EQUIPMENT ON THE ROOF OR ABOVE CEILING. RE-ROUT DUCTWORK (IF NECESSARY) TO ACCOMMODATE AN AIR DISTRIBUTION SYSTEM AS INTENDED.
F. COORDINATE WITH BUILDING USERS AND MANAGERS FOR ANY SERVICE UTILITY SHUT DOWNS.
G. SA AND RA GRILLES SHALL HAVE THE CORRECT TYPE FRAMES FOR THE CEILING.
H. COORDINATE WITH ELECTRICAL CONTRACTOR FOR ELECTRICAL REQUIREMENTS OF THE NEW MECHANICAL UNITS.
I. ALL UTILITY WORK SHALL BE PERFORMED PER REQUIREMENTS OF THE CITY OF ALBUQUERQUE.
J. ALL GAS CONNECTIONS TO ROOFTOP AC UNITS SHALL BE 3/4" WITH FLEXIBLE CONNECTION AND GAS COCK.
K. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL SUPPLY AND RETURN GRILLES.
L. THE FINAL LOCATIONS AND DIMENSIONS OF ALL RA AND SA ROOF OPENINGS SHALL BE DETERMINED UPON APPROVAL OF PRODUCT SUBMITTED BY THE CONTRACTOR.
M. SEE ARCHITECTURAL SITE PLAN FOR EXACT LOCATION OF ALL CURBS, FENCES, PARKING SPACES, STAIRS, RAMPS, SIDEWALKS AND ALL BUILDING DIMENSIONS.
N. ALL STREET UTILITY EASEMENT CROSSING SHALL BE PER REQUIREMENTS OF CITY OF ALBUQUERQUE COORDINATE WITH PNM FOR LOCATION OF UNDERGROUND ELECTRICAL CABLES PRIOR TO TRENCH CUTTINGS.
O. CAULK PIPE PENETRATIONS THRU EXTERIOR WALLS IN PIPE SLEEVE.
P. MAKE TRANSITION FROM SUPPLY AIR DUCT RISER THROUGH ROOF TO SA OPENING OF AC UNITS WITH FLEXIBLE CONNECTION.
Q. MANIFOLD ALL PLUMBING VENTS ABOVE FLOOD LEVEL OF PLUMBING FIXTURE.
R. PROVIDE CHROME-PLATED STEEL ESCUTCHEONS FOR PIPES AT WALL PENETRATIONS.
S. INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS



1/M-2 ENLARGED PLUMBING PLAN

SCALE: 1/4" = 1'-0"



1/M-2 WASTE, VENT, CW & HW ISOMETRICS

SCALE: NTS

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue SW. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	AM

DESIGNED BY: S.A.B. DATE: 5-24-96
DRAWN BY: A.M. DATE: 5-24-96
CHECKED BY: S.A.B. DATE: 5-24-96

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY AM DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: MECHANICAL PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

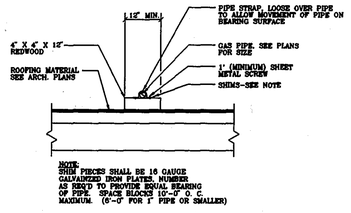
Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	J-21	23 Of 56 B-M1

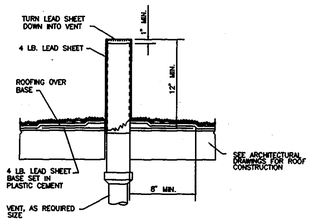
BANDI ENGINEERING COMPANY, INC. ALBUQUERQUE NEW MEXICO

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-14754.92 2397

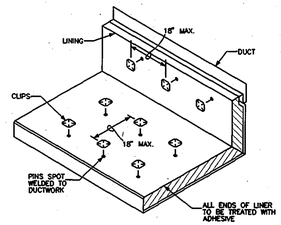
C:\BELLA\MECHBEL2 Wed Jun 18 13:55:26 1997



GAS PIPE SUPPORT DETAIL
NTS

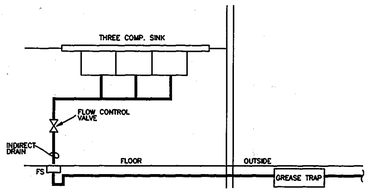


VENT THRU ROOF DETAIL
NTS

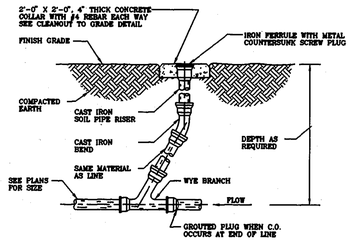


NOTE: DUCT LINERS ARE REQUIRED ON RECTANGULAR DUCT RISERS TO MECHANICAL UNIT AND RETURN AIR DUCT.

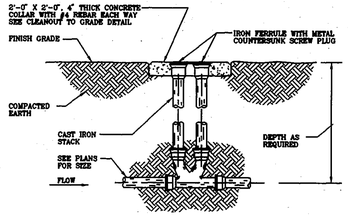
DUCT LINING DETAIL
NTS



PIPING DIAGRAM
NTS



ONE-WAY CLEANOUT DETAIL
NTS



TWO-WAY CLEANOUT DETAIL
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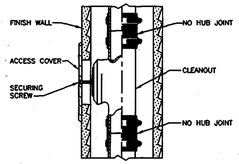
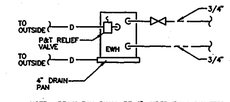
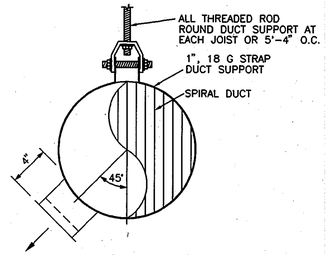


WALL CLEANOUT
NTS

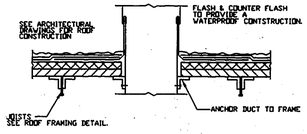


NOTE: DRAIN PAN SHALL BE 6" WIDER THAN DIAMETER OF WATER HEATER, 4" DEEP, GALVANIZED, WITH DRAIN PIPE EXTENDING FROM BOTTOM CORNER.

ELECTRIC WATER HEATER DETAIL
NTS



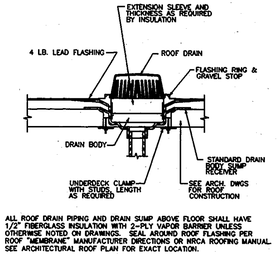
EXPOSED ROUND DUCT SUPPORT DETAIL
NTS



DUCT THRU ROOF PENETRATION
NTS

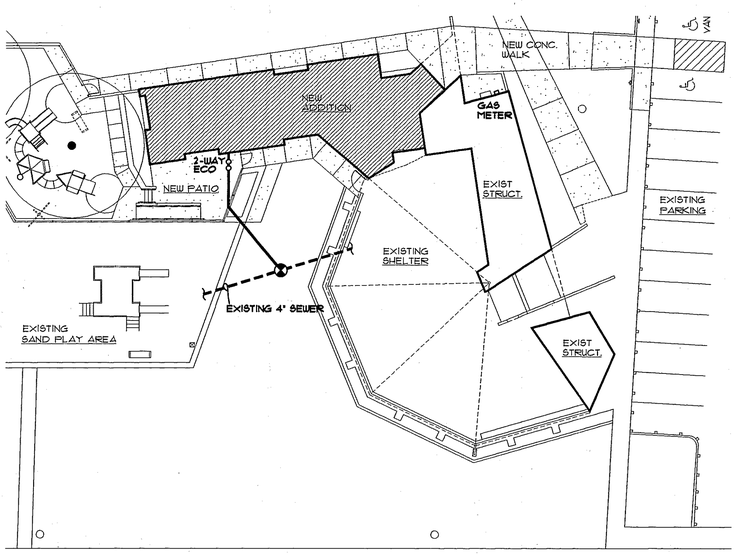
ROOF DRAIN: JOSAM 21004 SERIES COATED CAST IRON LEVEL ROOF DRAIN, POLYPROPYLENE LOCKING DOME, WEALOC NONPUNCTURING CLAMP RING, INTEGRAL GRAVEL STOP, ADJUSTABLE TOP WITH WIDE ROOF FLANGE, LARGE SUMP WITH ANCHOR FLANGE AND 4" PIPE CONNECTION, BOTTOM OUTLET. JOSAM SERIES 26200 EXPANSION JOINT.

PIPING AND FITTINGS SHALL BE STANDARD WEIGHT CAST IRON BELL AND SPIGOT FITTINGS OR SCHEDULE 40 BLACK STEEL (WELD FITTINGS). SUBSTITUTION OF OTHER MATERIALS IS OPTIONAL SUBJECT TO APPROVAL OF THE ENGINEER.



ALL ROOF DRAIN PIPING AND DRAIN SUMP ABOVE FLOOR SHALL HAVE 1/2" FIBERGLASS INSULATION WITH 2-PLY VAPOR BARRIER UNLESS OTHERWISE NOTED ON DRAWINGS. SEAL AROUND ROOF FLASHING PER ROOF "MEMBRANE" MANUFACTURER DIRECTIONS OR NRCA ROOFING MANUAL. SEE ARCHITECTURAL ROOF PLAN FOR EXACT LOCATION.

ROOF DRAIN & OVERFLOW DETAIL
NTS



1 UTILITY SITE PLAN
SCALE: 1" = 20'-0"

EQUIPMENT SCHEDULE:

SYMB.	DESCRIPTION
LAV	LAVATORY: WALL MOUNTED "KOHLER" K-2032 GREENWICH (OR APPROVED EQUAL) VITREOUS CHINA LAVATORY WITH 4" FAUCET CENTERS, DRILLED FOR CONCEALED ARM CARRIER. 20" X 18" SIZE, K-7118 LAVATORY DRAIN WITH PERFORATED GRATE, 1-1/4" TAILPIECE, K-7601 ANGLE SUPPLIES WITH LOOSE KEY STOP, K-9000 "P" TRAP AND WALL CARRIER. COLOR: WHITE. MOUNTING HEIGHT SHALL BE 27" TO UNDERSIDE OR APRON. INSULATE HOT AND COLD WATER SUPPLY AND "P" TRAP WITH TRAP WRAP BY BROCCAR. LAVATORY FAUCET SHALL BE A CHICAGO FAUCET MODEL NO. 802A-317-1020-VPG (OR APPROVED EQUAL) WITH 1020 1.6 GPM STEDI-FLOW AND COMPLETELY VANDAL RESISTANT. 2" WASTE, 1-1/2" VENT, 1/2" HW, AND 1/2" CW CONNECTIONS.
WC1	HANDICAPPED WATER CLOSET: SHALL BE "KOHLER" K-3527-EB HIGHLINE WATER GUARD (OR APPROVED EQUAL) VITREOUS CHINA CLOSE-COUPLED SIPHON JET ELONGATED FLOOR MOUNTED TANK TYPE TOILET WITH 18" HIGH BOWL, K-4670-C LUSTRA SOLID PLASTIC OPEN FRONT SEAT AND K-7636 3/8" ANGLE SUPPLY WITH ANNEALED VERTICAL TUBE AND STOP, LEVER ON WIDE SIDE. COLOR: WHITE, 3" WASTE, 2" VENT, 1/2" CW CONNECTIONS.
S1	COUNTERTOP SINK: ELKAY MODEL NO. GECR-2521 OR APPROVED EQUAL. SINK BOWL TYPE 302 NICKEL BEARING STAINLESS STEEL. BOWL DEPTH: 5-3/8" WITH 3 INCH RADIUS VERTICAL COVED CORNERS, 21" LENGTH X 15-3/4" WIDTH. SELF RIM. EXPOSED SURFACES ARE HAND BLENDED TO A HIGHLIGHTED LK-4K-H BRIGHT FINISH. UNDERSIDE IS FULLY UNDERCOATED. COMPARTMENT IS RECESSED 3/16 INCH BELOW OUTSIDE EDGE OF SINK. DRAIN OPENING IS 3-1/2 INCHES. ELKAY MODE NO. LK 2088-8 (OR APPROVED EQUAL) FAUCET. LK-35 DRAIN OUTLET WITH STRAINER, "P" TRAP WITH CLEANOUT, TAILPIECE AND STOPS. INSULATE CW, HW SUPPLY AND "P" TRAP. 1/2" HW, 1/2" CW, 2" WASTE AND 1-1/2" VENT CONNECTION.
MB	MOP SERVICE BASIN: FIAT MOLDED STONE MOP SERVICE BASIN MODEL NO. MSB-2424 - 24"x24"x10" SIZE. THE DRAIN BODY SHALL BE FACTORY INSTALLED STAINLESS STEEL #302 WITH COMBINATION DOME STRAINER AND LINT BASKET. THE DRAIN BODY SHALL PROVIDE FOR A LEAD CAULKED JOINT TO A 3" I.P.S. 830-AA SERVICE FAUCET WITH VACUUM BREAKER, E-711-AA VINYL BUMPER GUARD, MOP HANGER, MSG-2424 WALL GUARD, 832 AA HOSE AND 888-CC HOSE BRACKET. COLOR: #219 WHITE WITH BLACK ACCENTS, 1/2" H & CW, 3" WASTE AND 1-1/2" VENT CONNECTION.
WCO	WALL CLEANOUT: ZURN Z-1445 (OR APPROVED EQUAL) "SUPREMO DURA-COATED CAST IRON CLEANOUT TEE WITH CADMIUM PLATED CAST IRON COUNTERSUNK PLUG. SIZE SAME AS WASTE LINE SERVED BY CLEANOUT.
ECO	EXTERIOR CLEANOUT: ZURN Z-1420-23 (OR APPROVED EQUAL) "SUPREMO HEAVY TRAFFIC DUTY" DURA COATED CAST IRON CLEANOUT WITH ROUND SCORIATED CAST IRON TOP, ADJUSTABLE TO FINISH FLOOR. SIZE SAME AS WASTE LINE SERVED BY C.O.
WC2	HANDICAPPED WATER CLOSET: SHALL BE "KOHLER" K-4268-ET HIGHCLIFF WATER-GUARD (OR APPROVED EQUAL) FLOOR MOUNTED FLUSH VALVE TYPE WATER CLOSET WITH 18" HIGH BOWL. VITREOUS CHINA SIPHON JET ELONGATED TOILET WITH 2-1/4" PASSAGEWAY, 1-1/2" TOP SPUD AND 2 K-4562 BOLT CAPS, K-4670-C LUSTRA SOLID PLASTIC OPEN FRONT SEAT FOR ELONGATED BOWL AND ELOAN 110-3 FLUSH VALVE WITH REDUCED PRESSURE LEVER. LEVER ON WIDE SIDE. COLOR: WHITE, 3" WASTE, 2" VENT AND 1-1/2" CW CONNECTIONS.
SR	SIDE WALL REGISTER: STEEL CONSTRUCTION, OBD, ADJUSTABLE HORIZONTAL FRONT BARS SET AT 45 DEG ANGLE AND 3/4" ON CENTER. COLOR AS SELECTED BY ARCHITECT, KRUEGER 800H3.2
EWH	ELECTRIC WATER HEATER: SHALL BE COMPACT 25"H X 18"D, 10 GAL. STORAGE CAPACITY, 2000W, 115V, P AND T VALVE, 3/4" HW, CW.
AC-1 & AC-2	ROOFTOP PACKAGED HEATING/AIR CONDITIONING UNIT: NATURAL GAS HEAT. BOTTOM SUPPLY AND RETURN, FREEZESTAT, FIRESTAT, MIN. OA DAMPER, 208V, 1PH. INTERMITTENT ELECTRONIC SPARK IGNITION, AGA CERTIFIED, 6000 FT ELEVATION, ROOF CURB, PRESSURE RELIEF DAMPER, TA FILTER, BELT DRIVE INDOOR BLOWER, MANUFACTURED BY CARRIER 48 SERIES, 36,000 BTUH TOTAL COOLING, 80 MBH INPUT, 4.2 KW TOTAL, 1200 CFM AT .5" ESP, 515 LBS. 150 CFM OA MIN.
EWC	ELECTRIC WATER COOLER: "ELKAY" MODEL NO. EHF5-8 (OR APPROVED EQUAL) WHEELCHAIR LEVEL WATER COOLER WITH REFRIGERATION SYSTEM, FRONT PUSH BAR, 7.6 GAL. CAPACITY AT 80 DEGREES F. INLET WATER TEMP. 90 DEGREES F. ROOM TEMPERATURE AND 50 DEGREES F. DRINKING WATER TEMPERATURE. COLOR AS SELECTED BY ARCHITECT. ELEC: 115V., 4.8 F.L.A., 390 RATED WATTS AND 1/5 H.P. COMPRESSOR. MOUNTING HEIGHT SHALL BE 36" TO SPOUT WITH (27" MINIMUM CLEARANCE UNDER APRON). 1/2" CW, 1-1/2" VENT AND 1-1/2" WASTE CONNECTION.
RD	ROOF DRAIN: SEE ROOF DRAIN & OVERFLOW DETAIL.
CD	CEILING DIFFUSER: STEEL CONSTRUCTION, OBD, ADJUSTABLE HORIZONTAL FRONT BARS SET AT 0 DEG ANGLE AND 3/4" ON CENTER. COLOR AS SELECTED BY ARCHITECT, KRUEGER 800H FOR GYP. BOARD CEILING INSTALLATION.
CE-1	CEILING CABINET EXHAUST FAN: THE DISCHARGE DUCT SHALL BE VERTICAL, THE MOTOR DISCONNECT SHALL BE INTERNAL AND OF THE PLUG IN TYPE. SWITCH WITH LIGHTS, BACKDRAFT DAMPER, ROOF CAP AS SHOWN ON PLAN WITH INTEGRAL BIRDSCREEN AND 6" ROUND DUCT TO EXHAUST FAN. FAN SHALL BE ZEPHYR AS MANUFACTURED BY PENN VENTILATOR. MODEL Z-8, SINGLE SPEED, 190 CFM AT .25" ESP, 3.2 SONES, 115V, 38W.
CE-2	CEILING CABINET EXHAUST FAN: THE DISCHARGE DUCT SHALL BE VERTICAL, THE MOTOR DISCONNECT SHALL BE INTERNAL AND OF THE PLUG IN TYPE. SWITCH WITH LIGHTS, BACKDRAFT DAMPER, ROOF CAP AS SHOWN ON PLAN WITH INTAGRAL BIRDSCREEN AND 6" ROUND DUCT TO EXHAUST FAN. FAN SHALL BE ZEPHYR AS MANUFACTURED BY PENN VENTILATOR. MODEL ZT, 85 CFM, 45W, 5"ø DUCT.
FS	FLOOR SINK: ZURN ZN-1900, 12" X 12" CAST IRON SANI-FLOR RECEPTOR, WITH WHITE ACID RESISTING EPOXY BODY INTERIOR, ZURN NICKEL BRONZE SQUARE, SANIFLO FRAME PITCHED 1/16" TO SQUARE-HOLE, 3/4 LOOSE-SET GRATE, AND ALUMINUM ANTI-SPLASH INTERIOR DOME STRAINER. 2" OR 3" WASTE AS SHOWN ON PLAN AND 1-1/2" VENT CONNECTION.
S3	SINK: ELKAY LTR-6322-10 TRIPLE COMPARTMENT SINK OR APPROVED EQUAL. SINK BOWLS SEAMLESSLY DRAWN OF #18 GAUGE, TYPE 302 NICKEL BEARING STAINLESS STEEL. STANDARD DEPTH: 10"-INCHES WITH 1-3/4-INCH RADIUS COVED CORNERS. SELF RIM. EXPOSED SURFACES ARE HAND BLENDED TO A HIGHLIGHTED SATIN FINISH. UNDERSIDE IS FULLY UNDERCOATED. SINK SHALL BE TRIPLE COMPARTMENT (63" X 22" SIZE) WITH 6 FAUCET HOLES. SINK SHALL BE COMPLETE WITH (2) JUST MODEL NO. JV-1122A (OR APPROVED EQUAL) DECK MOUNTED MIXING FAUCET, 8" CHROME PLATED BRASS SPOUT WITH AERATOR. CHROME PLATED CAST BRASS BODY WITH LEVER HANDLES. LK-93 DRAIN OUTLET WITH STRAINER, "P" TRAP WITH CLEANOUT, TAILPIECE AND ANGLE SUPPLIES STOPS. (2) 1/2" HW, CW, 2" WASTE AND 1-1/2" VENT CONNECTION.
G1	GREASE INTERCEPTOR: RECESSED INSTALLATION, P.D.I. RATED AT 20 GPM AND 40 POUNDS GREASE CAPACITY WITH 2 1/2 INCH THREADED LOW INLET AND 2 1/2 INCH HIGH OUTLET, INTERNAL AIR RELIEF BY-PASS, BRONZE CLEANOUT PLUG AND VISIBLE DOUBLE WALL TRAP SEAL, WITH REMOVABLE PRESSURE EQUALIZING/FLOW DIFFUSING BAFFLE AND SEDIMENT CONTAINER. GAS AND WATERTIGHT GASKETED NON-SKID COVER SECURED WITH RECESSED AND COVERED CENTER SECURING HANDLE, ENZYME PORT OPENING HAVING BRONZE PLUG, AND FLOW CONTROL FITTING. EXTENSION HEIGHT AS REQUIRED TO PROVIDE 1/4"/FT. SLOPE ON PIPING. FLOW CONTROL FITTING SHALL BE A ZURN Z-1408. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

MECHANICAL SYMBOL LEGEND

T	THERMOSTAT @ 4'-0" A.F.F., WITH PROTECTIVE CLEAR PLASTIC GUARD & LOCK
	POINT OF CONNECTION FROM EXISTING TO NEW
8"ø	NEW DUCTWORK
8"ø	EXISTING DUCTWORK
	RETURN/EXHAUST DUCT SECTION
	SUPPLY DUCT SECTION
CW	COLD WATER
CW	EXISTING COLD WATER
HW	HOT WATER
HW	EXISTING HOT WATER
S	SANITARY SEWER LINE
S	EXISTING SANITARY SEWER LINE
V	VENT LINE
D	DRAIN LINE
G	GAS LINE
RDL	ROOF DRAIN LEADER
CO	CLEAN OUT
FS	FLOOR SINK
G	DROP IN PIPING
O	RISE IN PIPING
	VALVE ON RISER
	GATE VALVE
	GAS COCK
A.F.F.	ABOVE FINISHED FLOOR
CO	CLEAN OUT
ECO	EXTERNAL CLEAN OUT
NTS	NOT TO SCALE
OA	OUTSIDE AIR
RA	RETURN AIR
SA	SUPPLY AIR
RD	ROOF DRAIN
VTR	VENT THROUGH ROOF
WCO	WALL CLEAN OUT

SYMB.	DESCRIPTION
RH	RANGE HOOD 48"X30" EXHAUST ONLY, 18" GALVANIZED STEEL FILTER HOUSING, ALUMINUM GREASE FILTER, GREASE TROUGH WITH REMOVABLE GREASE CONTAINER, EXHAUST DUCT COLLAR, INCAND. VAPERPROOF LIGHT FIXTURE PER NEC, UL LISTED, APPROVED BY NFPA 96 AND NATIONAL SANITATION. GREENHECK GHS SERIES, 120V, COMPLETE WITH ANSUL FIRE PROTECTION SYSTEM WITH PRESSURIZED TANK APPROVED FOR RESTAURANT HOODS AND CONTROLS.
EF	DIRECT DRIVE UPBLAST ROOFTOP EXHAUST FAN: ROOF MOUNTED UPBLASTEXHAUST FANS SHALL BE OF THE CENTRIFUGAL, DIRECT DRIVEN TYPE. ALUMINUM CONSTRUCTION ALUMINUM BACKWARD CURVED. VIBRATION ISOLATORS. MOTORS SHALL BE ISOLATED FROM THE EXHAUST AIRSTREAM. AIR FOR COOLING THE MOTOR SHALL BE TAKEN INTO THE MOTOR COMPARTMENT FROM A LOCATION FREE FROM CONTAMINANTS. MOTORS SHALL BE READILY ACCESSIBLE FOR MAINTENANCE. DISCONNECT SWITCH BY FACTORY. AMCA CERTIFIED. RPM, MOTOR HORSEPOWER AS LISTED BELOW. CONTROLLED BY TIMER. SEE ELECTRICAL PLAN. FAN SHALL BE MODEL G120 750 CFM AT .5" ESP, 120V 1/6 HP, WITH BDD AS MANUFACTURED BY GREENHECK EQUAL.
S2	SINK: ELKAY GECR-3321 DOUBLE COMPARTMENT SINK OR APPROVED EQUAL. SINK BOWLS SEAMLESSLY DRAWN OF #20 GAUGE, TYPE 302 NICKEL BEARING STAINLESS STEEL. STANDARD DEPTH: 5 3/8-INCHES WITH 3-INCH RADIUS COVED CORNERS. SELF RIM. EXPOSED SURFACES ARE HAND BLENDED TO A HIGHLIGHTED BRIGHT FINISH. UNDERSIDE IS FULLY UNDERCOATED. SINK SHALL BE DOUBLE COMPARTMENT (33" X 21" SIZE) WITH 4 FAUCET HOLES. SINK SHALL BE COMPLETE WITH A ELKAY MODEL NO. 2433 (OR APPROVED EQUAL) FAUCET WITH SPRAY, LK-76 DRAIN ASSEMBLY WITH LK-1 STRAINERS, "P" TRAP WITH CLEANOUT, TAILPIECE AND ANGLE SUPPLIES STOPS. 1/2" HW, CW, 2" WASTE AND 1-1/2" VENT CONNECTION.

BANDI ENGINEERING COMPANY, INC.
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AS BUILT INFORMATION
CONTRACTOR / DATE:
WORK STAKED BY / DATE:
INSPECTOR'S APPROVAL / DATE:
FIELD VERIFICATION BY / DATE:
DRAWING CORRECTED BY AM DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY / DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES
NO. / BY / DATE

REVISIONS/REMARKS

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	AM

DESIGNED BY: S.A.B. DATE: 5-24-96
DRAWN BY: A.M. DATE: 5-24-96
CHECKED BY: S.A.B. DATE: 5-24-96

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: SCHEDULES & DETAILS
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee | City Engineer Approval | Last Design Update | MO./DAY/YR. | MO./DAY/YR.

City Project No. 4754.92 | Zone Map No. J-21 | Sheet 24 Of 56 | B-M2

26-4754.92 2497

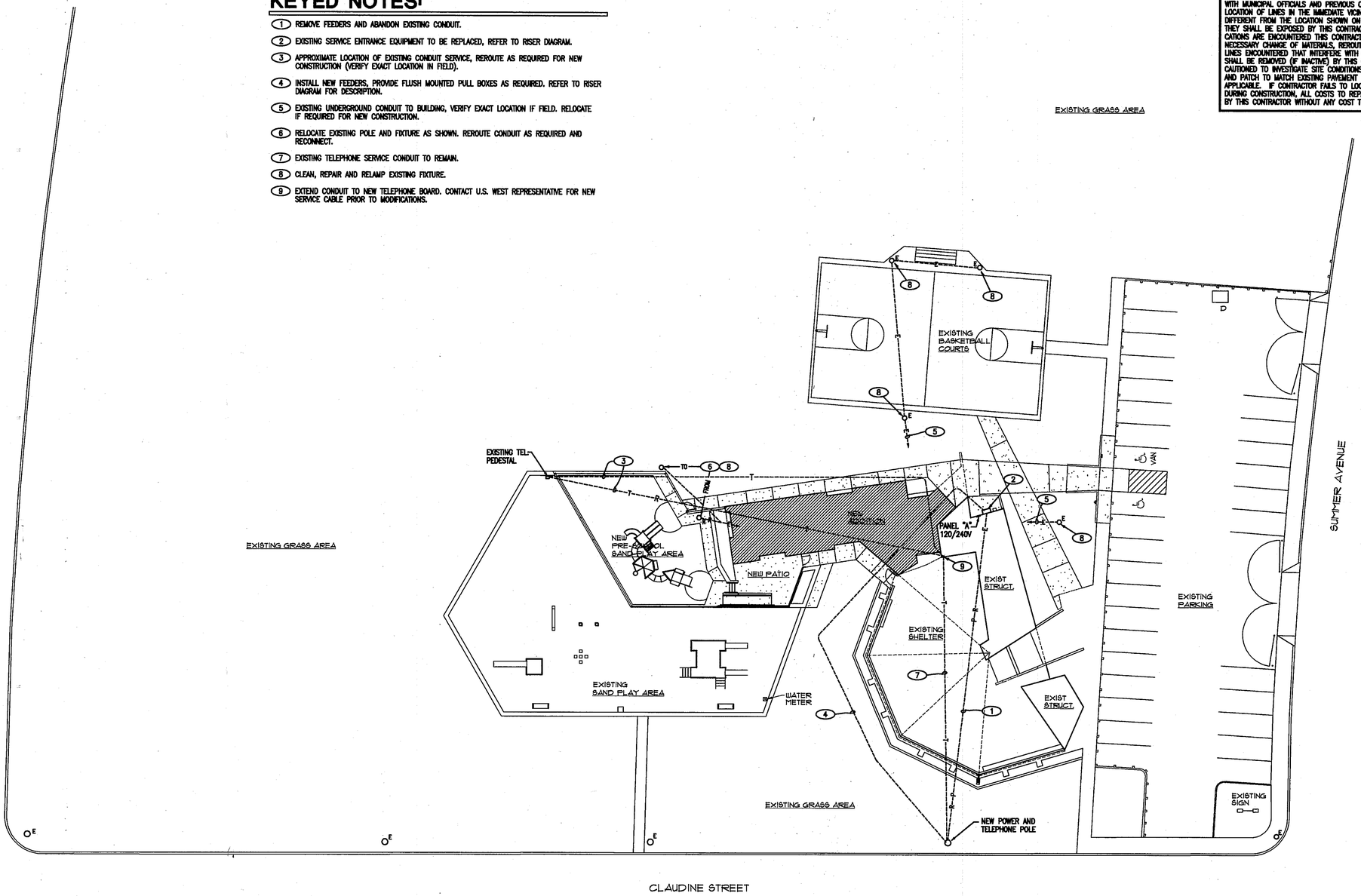
C:\BELLA\MECHBEL2 Wed Jun 18 14:09:37 1997

KEYED NOTES:

1. REMOVE FEEDERS AND ABANDON EXISTING CONDUIT.
2. EXISTING SERVICE ENTRANCE EQUIPMENT TO BE REPLACED, REFER TO RISER DIAGRAM.
3. APPROXIMATE LOCATION OF EXISTING CONDUIT SERVICE, REROUTE AS REQUIRED FOR NEW CONSTRUCTION (VERIFY EXACT LOCATION IN FIELD).
4. INSTALL NEW FEEDERS, PROVIDE FLUSH MOUNTED PULL BOXES AS REQUIRED. REFER TO RISER DIAGRAM FOR DESCRIPTION.
5. EXISTING UNDERGROUND CONDUIT TO BUILDING, VERIFY EXACT LOCATION IF FIELD. RELOCATE IF REQUIRED FOR NEW CONSTRUCTION.
6. RELOCATE EXISTING POLE AND FIXTURE AS SHOWN. REROUTE CONDUIT AS REQUIRED AND RECONNECT.
7. EXISTING TELEPHONE SERVICE CONDUIT TO REMAIN.
8. CLEAN, REPAIR AND RELAMP EXISTING FIXTURE.
9. EXTEND CONDUIT TO NEW TELEPHONE BOARD. CONTACT U.S. WEST REPRESENTATIVE FOR NEW SERVICE CABLE PRIOR TO MODIFICATIONS.

CONTRACTOR UTILITY NOTE

THESE DRAWINGS REFLECT INFORMATION ON UTILITIES GATHERED BY SITE INSPECTION, DISCUSSIONS WITH MUNICIPAL OFFICIALS AND PREVIOUS CONSTRUCTION DRAWINGS. IT IS POSSIBLE THAT THE EXACT LOCATION OF LINES IN THE IMMEDIATE VICINITY OF THE PROPOSED BUILDING(S) MAY BE SLIGHTLY DIFFERENT FROM THE LOCATION SHOWN ON THIS DRAWING. IF ADDITIONAL LINES ARE ENCOUNTERED, THEY SHALL BE EXPOSED BY THIS CONTRACTOR. WHERE ADDITIONAL LINES AND/OR DIFFERING LOCATIONS ARE ENCOUNTERED THIS CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS TO ANY NECESSARY CHANGE OF MATERIALS, REROUTING, ABANDONING OR RELOCATION OF SUCH LINES. ALL LINES ENCOUNTERED THAT INTERFERE WITH CONSTRUCTION SHALL BE RELOCATED (IF ACTIVE) AND SHALL BE REMOVED (IF INACTIVE) BY THIS CONTRACTOR UNDER THIS CONTRACT. ALL BIDDERS ARE CAUTIONED TO INVESTIGATE SITE CONDITIONS BEFORE SUBMITTING THEIR BIDS. CONTRACTOR TO CUT AND PATCH TO MATCH EXISTING PAVEMENT FOR ANY NEW ELECTRICAL CONSTRUCTION WHERE APPLICABLE. IF CONTRACTOR FAILS TO LOCATE AN EXISTING UTILITY AND DAMAGES THE UTILITY DURING CONSTRUCTION, ALL COSTS TO REPAIR OR REPLACE THE DAMAGED UTILITY WILL BE BORN BY THIS CONTRACTOR WITHOUT ANY COST TO THE OWNER.



1 ELECTRICAL SITE PLAN

SCALE: 1"=20'

NORTH

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
2	6	-	4	7	5	4	.	9	2		2	5	9	7

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY	DATE:
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

SURVEY INFORMATION FIELD NOTES		
NO.	BY	DATE

BENCH MARK

DENNIS M. SCARDELL, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 6858

NO.	DATE	REVISIONS/REMARKS	BY
1	6/20/97	ASBUILTS	AE

DESIGNED BY: A.E. DATE: 5-24-96
DRAWN BY: A.E. DATE: 5-24-96
CHECKED BY: DMS DATE: 5-24-96

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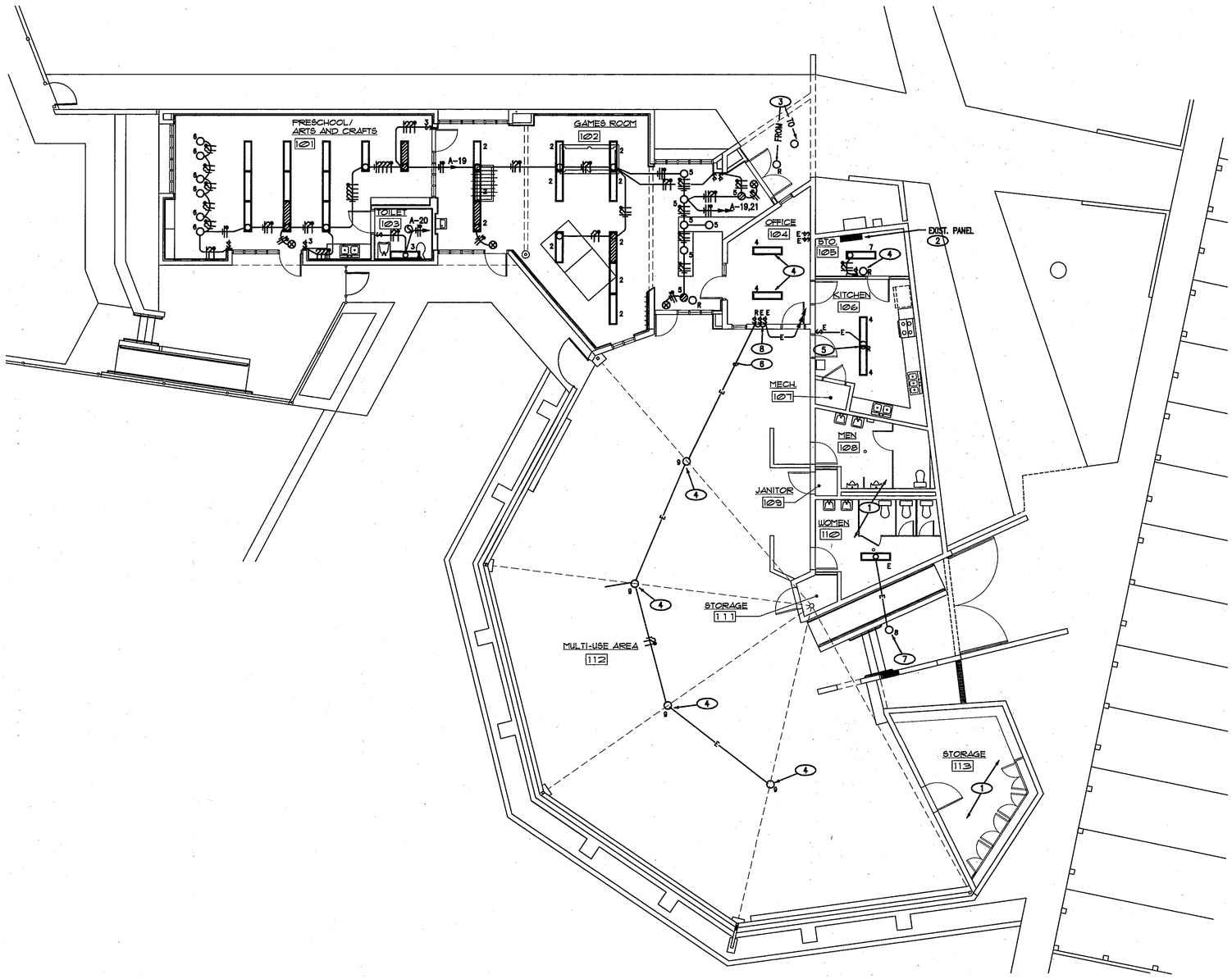
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: ELECTRICAL SITE PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	25 Of 56 B-E1



GENERAL NOTES:

1. ALL FIXTURES THIS SHEET TO BE TYPE #1 UNLESS NOTED OTHERWISE.
2. ALL WIRING TO BE #12 THHN/THWN CU. AND ALL CONDUIT TO BE 1/2" EMT MINIMUM UNLESS NOTED OTHERWISE.
3. EXISTING J-BOXES AND CONDUIT MAY BE REUSED WHERE APPLICABLE, HOWEVER, NO J-BOXES, CONDUIT OR DEVICES REMOVED SHALL BE REINSTALLED. ALL WIRING TO BE NEW.
4. EXISTING ELECTRICAL TAKEN FROM ORIGINAL DRAWINGS AND FIELD SURVEYS. ACTUAL LOCATIONS OF DEVICES AND EXACT ROUTING OF CONDUITS MAY VARY. CONTRACTOR TO MAY ANY NECESSARY ADJUSTMENTS TO PROVIDE REVISIONS AS SHOWN.
5. CONCEAL ALL CONDUIT AND FLUSH MOUNT ALL ELECTRICAL DEVICES WHERE POSSIBLE.
6. ALL EXISTING FIXTURES DESIGNATED TO REMAIN TO BE CLEANED, REPAIRED AND RELAMPED.
7. REFER TO SHEET B-E4 FOR FIXTURE SCHEDULE AND LEGEND.

KEYED NOTES:

1. EXISTING ELECTRICAL TO REMAIN IN THIS AREA UNLESS SPECIFICALLY NOTED OTHWISE.
2. REPLACE EXISTING PANEL WITH NEW PANEL "A", REFER TO POWER RISER DIAGRAM AND SCHEDULE.
3. RELOCATE EXISTING FIXTURE(S) AS SHOWN.
4. REMOVE EXISTING FIXTURE AND INSTALL NEW AS SHOWN.
5. REMOVE EXISTING FIXTURE AND INSTALL NEW AS SHOWN UNDER BASE BID.
6. EXTEND THRU TIMECLOCK TO PANEL AND CONNECT.
7. INSTALL NEW FIXTURE IN EXISTING OPENING AND PROVIDE PHOTOCELL FOR CONTROL OF THIS FIXTURE ONLY.
8. TOP TIME CLOCK CONTROLS LIGHTING CONTACTOR WHICH CONTROLS BASKETBALL COURT LIGHTING, AREA 112, FRONT ENTRY LIGHT AND POLE LIGHTS. BOTTOM TIMECLOCK CONTROLS OUTSIDE ENTRY LIGHT TO ROOM 102.

1 LIGHTING PLAN

SCALE: 1/8" = 1'-0"

NORTH

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 2697

AS BUILT INFORMATION

CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY	DATE:

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

DENNIS M. SCARDELL
NEW MEXICO
6855
REGISTERED PROFESSIONAL ENGINEER

REVISIONS/REMARKS

NO.	DATE		BY
1	6/20/97	ASBUILTS	AE

DESIGNED BY: A.E. DATE:5-24-96
DRAWN BY: A.E. DATE:5-24-96
CHECKED BY: DMS DATE:5-24-96

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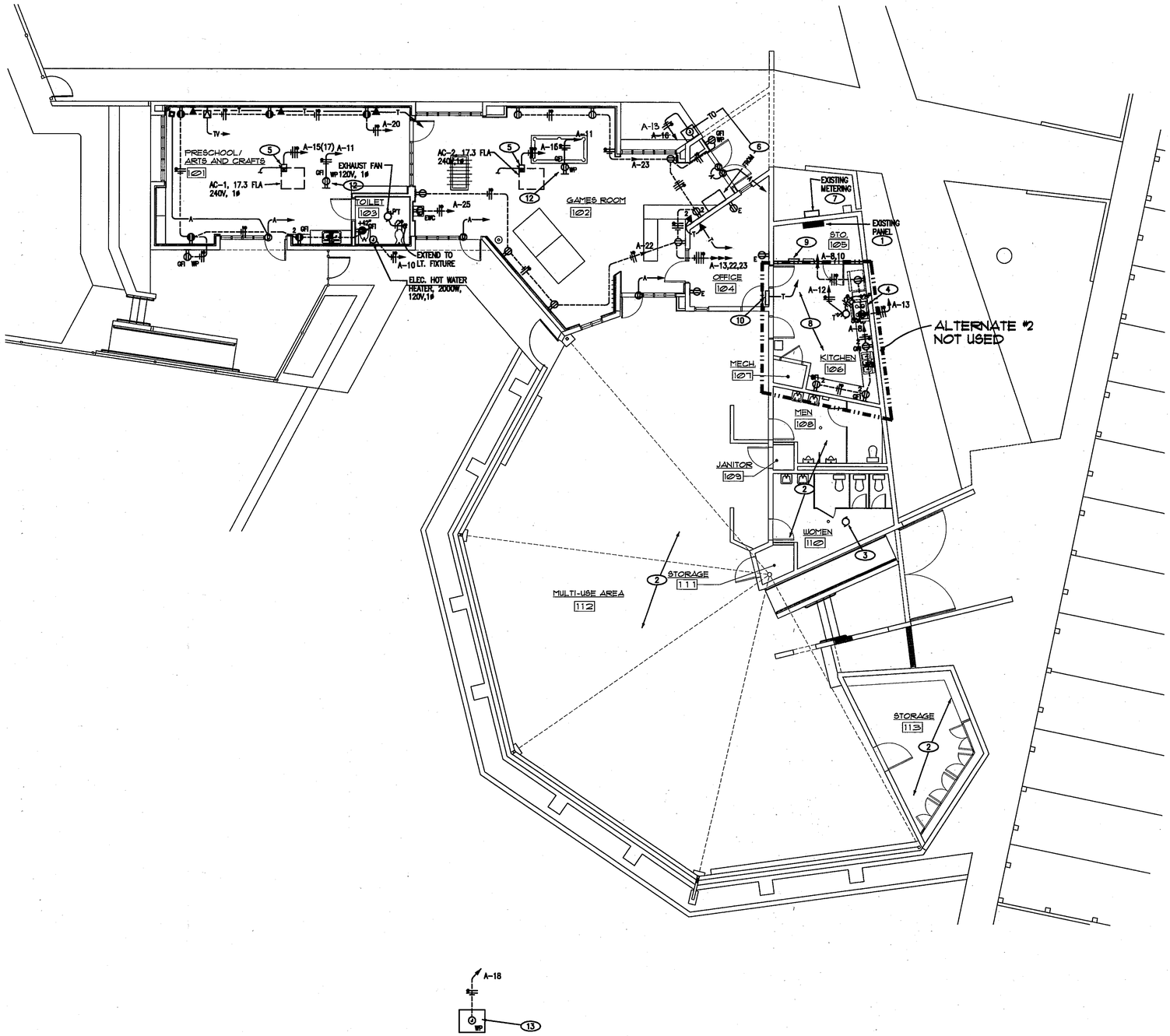
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: LIGHTING PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	26 Of 56 B-E2



GENERAL NOTES:

1. ALL WIRING TO BE #12 THHN/THWN CU. AND ALL CONDUIT TO BE 1/2" EMT MINIMUM UNLESS NOTED OTHERWISE.
2. EXISTING J-BOXES AND CONDUIT MAY BE REUSED WHERE APPLICABLE, HOWEVER, NO J-BOXES, CONDUIT OR DEVICES REMOVED SHALL BE REINSTALLED. ALL WIRING TO BE NEW.
3. EXISTING ELECTRICAL TAKEN FROM ORIGINAL DRAWINGS AND FIELD SURVEYS. ACTUAL LOCATIONS OF DEVICES AND EXACT ROUTING OF CONDUITS MAY VARY. CONTRACTOR TO MAY ANY NECESSARY ADJUSTMENTS TO PROVIDE REVISIONS AS SHOWN.
4. CONCEAL ALL CONDUIT AND FLUSH MOUNT ALL ELECTRICAL DEVICES WHERE POSSIBLE.
5. ALL EXISTING DEVICES THAT REMAIN THAT ARE DAMAGED ARE TO BE REPLACED AND NEW COVER PLATES PROVIDED.
6. REFER TO SHEET B-E4 FOR LEGEND AND SCHEDULES.

KEYED NOTES:

1. REPLACE EXISTING PANEL NEW PANEL "A", REFER TO RISER DIAGRAM AND SCHEDULE.
2. NO NEW ELECTRICAL WORK IN THIS AREA UNLESS SPECIFICALLY NOTED OTHERWISE.
3. DISCONNECT EXISTING EXHAUST FAN AND CONNECT NEW.
4. CONNECT HOOD LIGHTS TO ADJACENT RECEPTACLE.
5. FURNISH AND INSTALL 30A, 240V, 2P+SN FUSIBLE DISCONNECT SWITCH IN R.T. ENCLOSURE. FUSE TO SUIT WITH FUSETRONS.
6. EXISTING SPRINKLER CONTROLLER TO BE RELOCATED, PROVIDE 120V CONNECTION AT NEW LOCATION.
7. REFER TO POWER RISER DIAGRAM FOR MODIFICATIONS.
8. EXISTING ELECTRICAL IN THIS AREA TO REMAIN UNDER BASE BID UNLESS SPECIFICALLY NOTED OTHERWISE. PROVIDE ADDITIONAL ELECTRICAL AS SHOWN UNDER ALTERNATE #2. CONTRACTOR TO REPLACE ALL DAMAGED ELECTRICAL DEVICES UNDER BASE BID.
9. INSTALL 4'X4'X3/4" PLYWOOD TELEPHONE. PROVIDE #6 BARE CU. GROUND IN 3/4" CONDUIT TO NEAREST COLD WATER SERVICE.
10. EXISTING SECURITY ALARM CONTROL PANEL AND KEYPAD TO REMAIN. MODIFY AS REQUIRED FOR NEW ADDITION. EXTEND CONDUIT TO NEW LOCATION OF TELEPHONE SERVICE.
11. NOT USED.
12. INSTALL RECEPTACLE ABOVE ROOF ADJACENT TO MECHANICAL UNIT.
13. PROVIDE CONNECTION TO BACKFLOW PREVENTER, 1000W, 120V, 1ø,. EXTEND CONDUIT AND WIRING TO NEW PANEL AND CONNECT.

1 POWER AND SPECIAL SYSTEMS PLAN

SCALE: 1/8" = 1'-0"

NORTH

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 2797

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY DATE:
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

DENNIS M. SCARCELL NEW MEXICO 6855 REGISTERED PROFESSIONAL ENGINEER ELECTRICAL

REVISIONS/REMARKS

NO.	DATE	REMARKS	BY
1	6/20/97	ASBUILTS	AE

DESIGNED BY: A.E. DATE: 5-24-96
DRAWN BY: A.E. DATE: 5-24-96
CHECKED BY: DMS DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: POWER AND SPECIAL SYSTEMS PLAN
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	27 Of 56 B-E3

KEYED NOTES:

1. 3-#3/0 THW CU. AND 1-#6 GROUND IN 2" CONDUIT.
2. RECONNECT EXISTING TIMECLOCKS.
3. INSTALL 3-#3/0 THW CU. IN 2" CONDUIT, MINIMUM BURY 24".
4. 2" RIGID CONDUIT RISER WITH 3-#3/0 THW CU. PROVIDE SERVICE ATTACHMENT AND WEATHER HEAD PER P.S.C.N.M. STANDARD REQUIREMENTS.
5. INSTALL #2 THW CU. GROUND IN 3/4" CONDUIT. EXTEND 1 TO DRIVEN GROUND ROD AND 1 TO COLD WATER SERVICE PER ARTICLE 250 OF THE NEC.
6. FURNISH AND INSTALL 200A, 240V, 1ø, 3W FUSIBLE DISCONNECT SWITCH IN R.T. ENCLOSURE. FUSE @ 200A WITH LO-PEAK CURRENT LIMITING FUSES (10,000 AIC MINIMUM).
7. INSTALL NEW METERING PER P.S.C.N.M. STANDARD REQUIREMENTS.

FIXTURE SCHEDULE

NO.	DESCRIPTION	MOUNTING	LAMPS
1	"LEDALITE" #2603T01EN-04-1-1EC*, #260A3T481C2C* AND #2603EBNNC*	PENDANT SEE NOTE	1-F032/T8/35K
2	"LEDALITE" #2603T01EN-04-1-1EC*, #260A3T481C2C* AND #2603EBNNC*	PENDANT SEE NOTE	2-F032/T8/35K
3	"VERSATECH" #VWC-7124-W-B-120EB	SURFACE WALL AT CEILING	2-F032/T8/35K
4	"LITHONIA" #2AW332AR120GEB	SURFACE CEILING	2-F032/T8/35K
5	"GOTHAM" #AF2/26DTTBAR120EB	RECESSED CEILING	2-26W/DTT/35K
6	"GOTHAM" #CFV 8 32TRT 6AR PM**XYS*	PENDANT TO 2'-0" ABOVE WOOD PANELS	1-32W/TRT/35K
7	"LITHONIA" #C232120GEBWG4	SURFACE CEILING	2-F032/T8/35K
8	"LITHONIA" #VRR100M120	RECESSED CEILING	1-100W/MH
9	"BETA" #BEB410BO-DAFE120V W/ #BOSB-162 SURFACE BOX.	SURFACE ON BEAM	1-100W/MH
⊗-|	"LITHONIA" #LOMS1R120/277EL	SURFACE WALL OR CEILING	AS REQUIRED

* COLOR TO BE SELECTED BY ARCHITECT.
** LENGTH OF CABLES TO BE DETERMINED IN FIELD.

NOTE: ALL FIXTURES IN OPEN CEILING AREA TO BE MOUNTED AT THE SAME HEIGHT.

PANEL "A" *

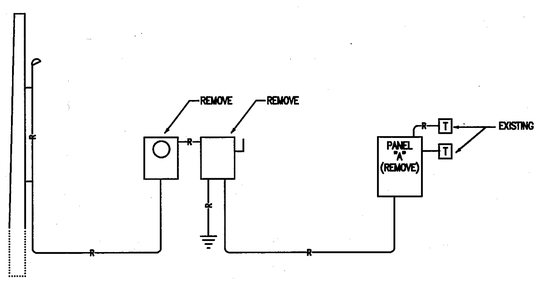
120/240V, 1 PHASE, 3W, 225A MAIN LUGS ONLY ,"WESTINGHOUSE" TYPE POW-R-LINE 1, SURFACE MOUNTED TOP AND BOTTOM SKIRTS, 10,000 AIC MINIMUM BREAKERS

CIRCUIT	BREAKER	WIRE	LOAD
1 THRU 5, 7 THRU 12,16,17,18	20A-1P	#12	LIGHTS, RECEPTACLES, EQUIPMENT
6	30A-1P	#10	HOT WATER HEATER
13	50A-2P	#6	RANGE
14,15	30A-2P	#10	MECHANICAL
19 THRU 25	20A-1P	----	SPARES
26 THRU 39	1P	----	SPACES

* RECONNECT EXISTING CIRCUITS THAT REMAIN TO NEW BREAKERS AS RE-NUMBER AS REQUIRED.

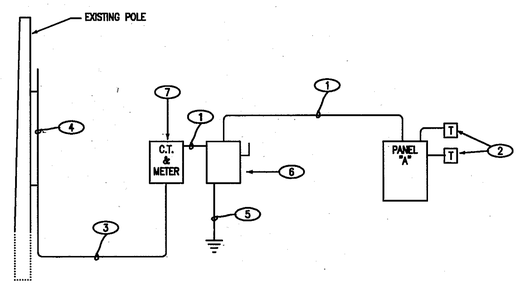
SYMBOL LEGEND

SYMBOL	DESCRIPTION
	BRACKET OUTLET AND FIXTURE.
	CEILING OUTLET AND FIXTURE.
	FLUORESCENT OUTLET AND FIXTURE.
	FLUORESCENT FIXTURE USED AS NIGHT LIGHT AND EMERGENCY LIGHT. PROVIDE INTEGRAL BATTERY PAC AND CHARGER FOR OPERATION OF 1 LAMP.
	SINGLE POLE WALL SWITCH, UP 44".
T	THERMAL SWITCH.
2	"2" BY ANY DEVICE INDICATES TO BE INSTALLED ABOVE COUNTER.
	DUPLEX CONVENIENCE OUTLET, UP 18" OR AS NOTED.
WP	WEATHERPROOF DUPLEX CONVENIENCE OUTLET, UP 12" OR AS NOTED.
GFI	GROUND FAULT INTERRUPTER TYPE RECEPTACLE, HEIGHT AS NOTED.
WP GFI	WEATHERPROOF DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER.
EWC	DUPLEX GROUNDING TYPE CONVENIENCE OUTLET UP 24" (INSIDE OF EWC CASE).
50A	220V RANGE TYPE OUTLET, UP 12" OR AS NOTED. AMPERAGE INDICATED.
	DUPLEX SAFETY TYPE RECEPTACLE, UP 18" OR AS NOTED.
	FLUSH FLOOR DUPLEX SAFETY TYPE RECEPTACLE WITH BRASS COVER.
	J-BOX ABOVE CEILING.
	JUNCTION BOX FLUSH IN WALL-HEIGHT AS NOTED OR REQUIRED WITH CONNECTION TO EQUIPMENT.
	THERMOSTAT OR CONTROL DEVICE, UP 5'-6" OR AS NOTED.
	TELEPHONE OUTLET ROUGH-IN, UP 18" OR AS NOTED.
	MAGNETIC DOOR CONTACT FOR SECURITY ALARM SYSTEM, MATCH EXISTING.
	QUAD PIR MOTION DETECTOR FOR SECURITY SYSTEM, MATCH EXISTING.
	TV OUTLET WITH JACK, UP 18" OR AS NOTED.
	CIRCUIT BREAKER PANELBOARD.
	SPECIAL CABINET AS NOTED, FLUSH MOUNTED, 18"X24"X4" OR AS NOTED, TELEPHONE TYPE WITH HINGED COVER, 3/4" PLYWOOD BACKBOARD AND TERMINAL STRIPS.
	MOTOR.
	MOTOR CONTROLLER.
	SAFETY SWITCH.
T	3/4" CONDUIT WITH PULL WIRE FOR TELEPHONE SYSTEM
T	1" CONDUIT WITH PULL WIRE TO TELEPHONE TERMINAL CABINET.
A	1/2" CONDUIT WITH WIRING AS REQUIRED TO SECURITY PANEL.
TV	3/4" CONDUIT WITH COAXIAL CABLE TO TELEPHONE TERMINAL BOARD.
	CONDUIT RUN IN WALLS OR CEILING.
	CONDUIT RUN IN WALLS OR UNDER FLOOR.
	HOMERUN.
#12	TIC MARKS REPRESENT NEUTRAL, HOT, SWITCH AND GROUND LEG CONDUCTORS RESPECTIVELY.



EXISTING POWER RISER DIAGRAM

SERVICE: 120/240V,1ø, 3W



REVISED POWER RISER DIAGRAM

SERVICE: 120/240V,1ø, 3W
CONNECTED LOAD = 35 KVA
ESTIMATED DEMAND = 25 KVA

AS BUILT INFORMATION
CONTRACTOR: DATE:
WORK STAKED BY: DATE:
INSPECTOR'S APPROVAL: DATE:
FIELD VERIFICATION BY: DATE:
DRAWING CORRECTED BY: DATE:
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NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES
NO. | BY | DATE

DENNIS M. SCARCELLI, NEW MEXICO, 9655, LICENSED PROFESSIONAL ENGINEER

NO.	DATE	REVISIONS/REMARKS	BY
1	6/20/97	ASBUILTS	AE

DESIGNED BY: A.E. DATE: 5-24-96
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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

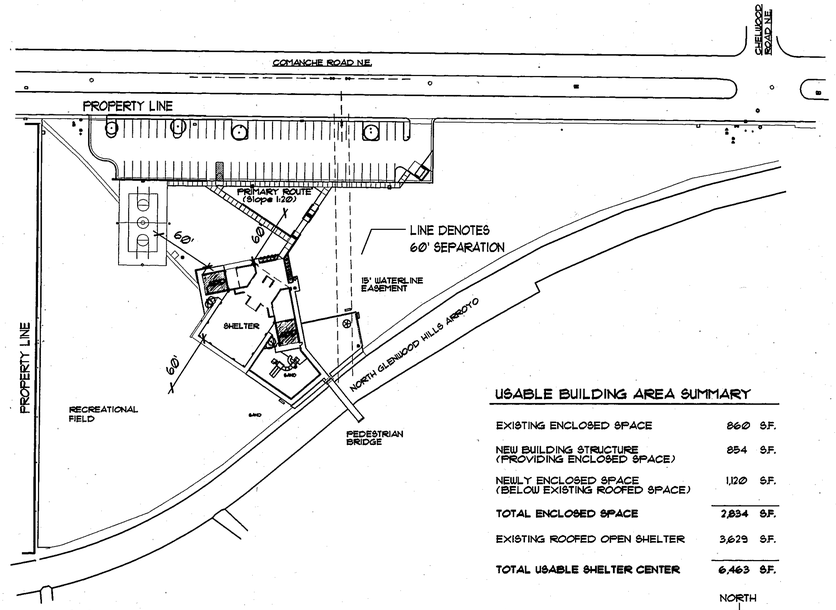
TITLE: LEGEND AND SCHEDULES
JEANNE BELLAMAH SHELTER CENTER ADDITION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No. 4754.92 | Zone Map No. G-22 | Sheet 28 Of 56 | B-E4

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 2897

CODE INFORMATION



KEY PLAN

NOT TO SCALE

NORTH

USABLE BUILDING AREA SUMMARY

EXISTING ENCLOSED SPACE	860 S.F.
NEW BUILDING STRUCTURE (PROVIDING ENCLOSED SPACE)	854 S.F.
NEWLY ENCLOSED SPACE (BELOW EXISTING ROOFED SPACE)	1,120 S.F.
TOTAL ENCLOSED SPACE	**2,834 S.F.**
EXISTING ROOFED OPEN SHELTER	3,629 S.F.
TOTAL USABLE SHELTER CENTER	**6,463 S.F.**

INDEX OF DRAWINGS

H-G2	CODE INFORMATION, INDEX OF DRAWINGS, SITE LOCATION MAP
H-C1	SITE GRADING PLAN
H-C2	SITE DRAINAGE PLAN AND CALCULATIONS
H-C3	LEFT TURN BAY PLAN - ALTERNATE NO. 1
H-C4	SITE PLAN
H-C5	ENLARGED SITE PLAN AND DEMOLITION PLAN
H-C6	LANDSCAPING PLAN
H-C7	IRRIGATION PLAN
H-C8	SITE DETAILS
H-S1	FOUNDATION AND ROOF FRAMING PLANS
H-S2	DETAILS
H-A1	DEMOLITION PLAN
H-A2	DOOR AND ROOM FINISH SCHEDULE
H-A3	FLOOR PLAN
H-A4	ENLARGED PLANS AND ELEVATIONS
H-A5	BUILDING ELEVATIONS AND SECTIONS
H-A6	WALL SECTIONS
H-A7	WALL SECTIONS
H-A8	ROOF PLAN
H-A9	DETAILS
H-A10	DETAILS
H-A11	REFLECTED CEILING PLAN
H-M1	MECHANICAL AND SITE UTILITY PLANS
H-P1	PLUMBING PLANS AND DIAGRAMS
H-E1	ELECTRICAL SITE PLAN
H-E2	LIGHTING PLAN
H-E3	POWER AND SPECIAL SYSTEMS PLANS
H-E4	LEGEND AND SCHEDULES

SITE LOCATION MAP G-22

NORTH

CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE

ADDRESS: 11710 COMANCHE ROAD N.E.

LEGAL DESCRIPTION: LOCATED WITHIN HOLIDAY PARK

ZONED: R-1 W/ CONDITIONAL USE FOR COMMUNITY CENTER

MAXIMUM HEIGHT ALLOWED: 26'-0"

PARK AREA: 3.7 ACRES

PARKING REQUIRED:

OFFICE	120 NET S.F. @ 1:200	=	1
PRE-SCHOOL	500 NET S.F. IS 2 PLUS 1	=	3
ACTIVITY AREAS	5,970 NET S.F. @ 1:200	=	30
REQUIRED TOTAL			34 SPACES

BREAKDOWN
32 REGULAR CARS
1 HANDICAPPED
1 VAN SPACE (HANDICAPPED)

34 TOTAL REQUIRED

PARKING PROVIDED:
37 REGULAR CAR SPACES
1 HANDICAPPED SPACE
1 VAN SPACE (HANDICAPPED)

39 TOTAL

BICYCLE PARKING: 1 PER REQUIRED 20 SPACES = 2 BICYCLES

1991 UNIFORM BUILDING CODE ANALYSIS

A. OCCUPANCY GROUP:

1. EXISTING BUILDIING: A-3
2. ADDITION: MIXED OCCUPANCY
A-3, GAME ROOM
E-3, DAY CARE
REQUIRED SEPARATION: NONE

B. CONSTRUCTION TYPE:

1. EXISTING BUILDING: V - N (No requirements for fire resistance)
2. ADDITION: V - N (No requirements for fire resistance)

REQUIRED SEPARATION: NONE

C. LOCATION ON PROPERTY

ALL EXTERIOR WALLS OF THE EXISTING BUILDING AND THE ADDITION ARE MORE THAN 10' FROM THE PROPERTY BOUNDARY AND THEREFORE DO NOT REQUIRE RATED OPENINGS.

ALL EXTERIOR WALLS OF THE EXISTING BUILDING AND THE ADDITION FRONT ON OR HAVE ACCESS TO A PUBLIC STREET WITH A MINIMUM OF 20' RIGHT-OF-WAY.

D. ALLOWABLE FLOOR AREA

1. EXISTING BUILDING: 5,730 SF

BASE AREA TYPE V-N A-3 TABLE 5C = 6,000 SF

100% AREA INCREASE FOR (60'MINIMUM) SEPARATION ON THREE SIDES = 6,000 SF

5,730 SF < 12,000 SF

2. ADDITION: GAME ROOM, 430 SF & PRE-SCHOOL, 430 SF

BASE AREA TYPE V-N A-3 TABLE 5C = 6,000 SF
BASE AREA TYPE V-N E-3 TABLE 5C = 9,100 SF

MIXED OCCUPANCY: SUM OF THE RATIOS OF EACH USE TO ITS BASE AREA MUST BE LESS THAN 1. SEC.505(c)

$$\frac{430\ SF\ (A\text{-}3\ ACTUAL)}{6{,}000\ SF\ (A\text{-}3\ BASE)} + \frac{430\ SF\ (E\text{-}3\ ACTUAL)}{9{,}100\ SF\ (E\text{-}3\ BASE)} = 0.12 < 1.00$$

3. EXISTING BUILDING AND ADDITION COMBINED:

TOTAL: A-3 USE, 6160 SF & PRE-SCHOOL, 430 SF

MIXED OCCUPANCY: SUM OF THE RATIOS OF EACH USE TO ITS BASE AREA MUST BE LESS THAN 1. SEC.505(c)

$$\frac{6{,}160\ SF}{12{,}000\ SF} + \frac{430\ SF}{9{,}100\ SF} = 0.56 < 1.00$$

E. HEIGHT AND NUMBER OF STORIES:

EXISTING BUILDING AND ADDITION 1 STORY
16'-6", TOP OF PARAPET

TABLE 5-D A-3, E-3 TYPE V-N 1 STORY
MOST RESTRICTIVE CASE 40'-0", MAXIMUM

F. EXITING:

OCCUPANT LOAD FOR EXPANDED CENTER: (TABLE 33-A)

MULTI-PURPOSE	627 N.S.F. @ 1 PERSON / 15 SF	=	42
OFFICE	120 N.S.F. @ 1 PERSON / 100 SF	=	2
HALL	90 N.S.F. @ 1 PERSON / 100 SF	=	1
MECHANICAL	48 N.S.F. @ 1 PERSON / 300 SF	=	1
PRE-SCHOOL	500 N.S.F. @ 1 PERSON / 35 SF	=	15
STORAGE	130 N.S.F. @ 1 PERSON / 300 SF	=	1
CLASSROOM	354 N.S.F. @ 1 PERSON / 20 SF	=	18
GAME ROOM	479 N.S.F. @ 1 PERSON / 15 SF	=	32
HALL	67 N.S.F. @ 1 PERSON / 100 SF	=	1
TOTAL NUMBER OF PEOPLE			113

MINIMUM NUMBER OF EXITS: 2 REQUIRED

ACCESSIBILITY NOTES

1. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90°, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12° WILL BE 5 SECONDS MINIMUM. THE MAXIMUM OPENING FORCE ON ALL DOORS SHALL NOT EXCEED 5 POUNDS (222 N) OF FORCE.
2. ALL EXISTING FLOORING TO REMAIN IS STABLE, FIRM AND SLIP-RESISTANT.
3. BATHROOM ACCESSIBILITY HAS BEEN DESIGNED TO PARAMETERS SET FORTH IN THE AMERICAN NATIONAL STANDARDS INSTITUTE REVISION A117.1-1992, AND THE AMERICANS WITH DISABILITIES ACT (ADA).
4. HOT WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES OR SINKS SHALL BE INSULATED.
5. HEIGHT OF SWITCHES, RECEPTACLES, JACKS, FIRE EQUIPMENT AND CONTROLS TO BE 15" - 48" A.F.F.
6. A.D.A. STANDARD INSTALLATION FOR SIGNAGE: THE SIGN SHOULD BE MOUNTED SIXTY INCHES (60") FROM THE FLOOR TO THE CENTER OF THE SIGN, ON THE LATCH SIDE. THE DISTANCE BETWEEN THE DOOR FRAME AND THE SIGN SHOULD BE TWO INCHES (2").

FUTURE PRE-SCHOOL LICENSING CONSIDERATIONS

FROM NEW MEXICO REGULATIONS GOVERNING FACILITIES PROVIDING DAY/NIGHT CARE TO CHILDREN.

1. CAPACITY IS BASED ON 35 SF OF USEABLE SPACE PER CHILD IN THE ACTIVITY AREA. (MEASURED FROM WALL TO WALL, DEDUCTING OFFSETS AND BUILT IN FIXTURES)
2. ACTIVITY AREA SHALL HAVE WINDOWS/SKYLIGHTS OF AT LEAST 1/20 OF FLOOR AREA. THE ACTIVITY AREA SHALL HAVE AN IMMEDIATE EXIT DOOR OR 5.7 SF NET CLEAR OPENABLE WINDOW. (THERE SHALL BE TWO EXITS REMOTE FROM EACH OTHER.)
3. OUTSIDE ACTIVITY AREA: 60 SF PER CHILD FOR 20% OF CAPACITY. OUTSIDE ACITVITY AREA SHALL BE FENCED WITH AT LEAST ONE LATCHED GATE AS AN EMERGENCY EXIT.
4. ONE TOILET AND LAVATORY REQUIRED FOR 1-12 CHILDREN. TWO TOILETS AND LAVATORIES REQUIRED FOR 13-25 CHILDREN. (LOCKS AND LATCHES ON BATHROOMS AND CLOSETS SHALL BE RELEASEABLE ON OUTSIDE.)
5. THERE SHALL BE MANUALLY OPERATED FIRE ALARM SYSTEM, SMOKE DETECTORS AND TWO FIRE EXTINGUISHERS. (ELECTRICAL OUTLETS WITHIN REACH OF CHILDREN SHALL BE SAFETY OR HAVE PROTECTIVE COVERS.)

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(505) 262-1766 Fax 262-1766
Contact: Dennis M. Scarcell, P.E.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4764.92 2997

SURVEY INFORMATION			
FIELD NOTES			
NO.	BY	DATE	

BENCH MARK	
THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-G22", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD. ABOUT 150' EAST OF THE JUNCTION WITH CHELWOOD. ELEVATION = 5750.35' (M.S.L.D.)	
T.B.M. A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)	

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

NO.	DATE	REVISIONS/REMARKS	BY:
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: Ch DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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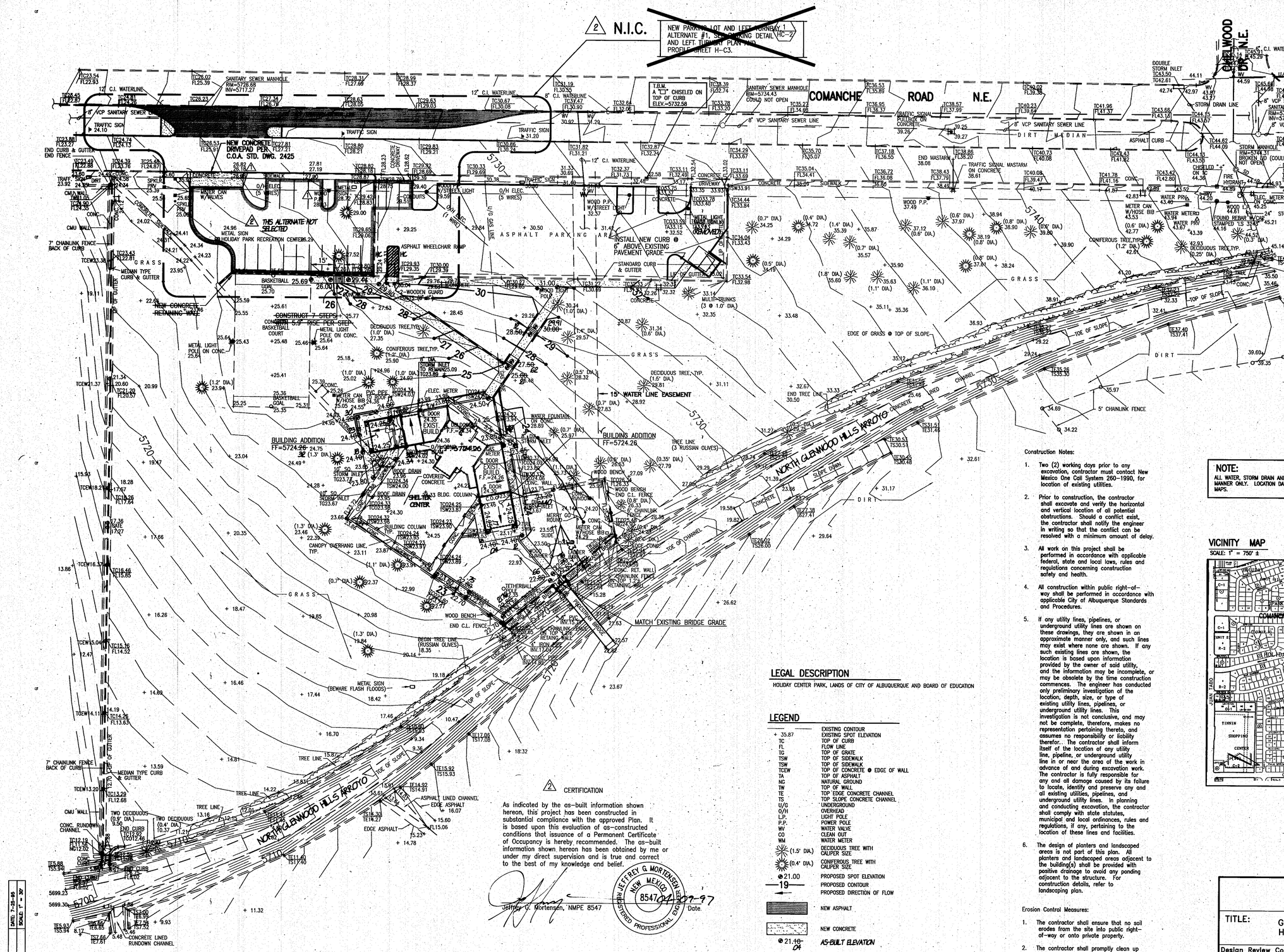
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: CODE INFORMATION, INDEX OF DRAWINGS
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	29 Of 56 H-G2

DRAWN BY: CHRIS DATE: 6-13-97
FILE NAME: R02-INDX SCALE: FULL



GRADING PLAN

SCALE: 1" = 30'

2 CERTIFICATION

As indicated by the as-built information shown hereon, this project has been constructed in substantial compliance with the approved Plan. It is based upon this evaluation of as-constructed conditions that issuance of a Permanent Certificate of Occupancy is hereby recommended. The as-built information shown hereon has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief.

Jeffrey G. Mortensen, NMPE 8547 — Date: 07-08-97

JEFFREY G. MORTENSEN — NEW MEXICO — 8547 — REGISTERED PROFESSIONAL ENGINEER

LEGAL DESCRIPTION

HOLIDAY CENTER PARK, LANDS OF CITY OF ALBUQUERQUE AND BOARD OF EDUCATION

LEGEND

———	EXISTING CONTOUR
+ 35.87	EXISTING SPOT ELEVATION
TC	TOP OF CURB
FL	FLOW LINE
TG	TOP OF GRATE
TSW	TOP OF SIDEWALK
TSW	TOP OF SIDEWALK
TCEW	TOP OF CONCRETE @ EDGE OF WALL
TA	TOP OF ASPHALT
NG	NATURAL GROUND
TW	TOP OF WALL
TE	TOP EDGE CONCRETE CHANNEL
TS	TOP SLOPE CONCRETE CHANNEL
U/G	UNDERGROUND
O/H	OVERHEAD
L.P.	LIGHT POLE
P.P.	POWER POLE
WV	WATER VALVE
CO	CLEAN OUT
WM	WATER METER
(1.5' DIA.)	DECIDUOUS TREE WITH CALIPER SIZE
(0.4' DIA.)	CONIFEROUS TREE WITH CALIPER SIZE
21.00	PROPOSED SPOT ELEVATION
19	PROPOSED CONTOUR
	PROPOSED DIRECTION OF FLOW
	NEW ASPHALT
	NEW CONCRETE
21.~~18~~ 04	AS-BUILT ELEVATION
22.65	AS-DESIGNED = AS-BUILT ELEVATION

JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6010-B MIDWAY PARK BLVD. N.E.
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 345-4250
JMA JOB NO. 950393

Construction Notes:

1. Two (2) working days prior to any excavation, contractor must contact New Mexico One Call System 260-1990, for location of existing utilities.
2. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential obstructions. Should a conflict exist, the contractor shall notify the engineer in writing so that the conflict can be resolved with a minimum amount of delay.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. All construction within public right-of-way shall be performed in accordance with applicable City of Albuquerque Standards and Procedures.
5. If any utility lines, pipelines, or underground utility lines are shown on these drawings, they are shown in an approximate manner only, and such lines may exist where none are shown. If any such existing lines are shown, the location is based upon information provided by the owner of said utility, and the information may be incomplete, or may be obsolete by the time construction commences. The engineer has conducted only preliminary investigation of the location, depth, size, or type of existing utility lines, pipelines, or underground utility lines. This investigation is not conclusive, and may not be complete, therefore, makes no representation pertaining thereto, and assumes no responsibility or liability therefor.. The contractor shall inform itself of the location of any utility line, pipeline, or underground utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify and preserve any and all existing utilities, pipelines, and underground utility lines. In planning and conducting excavation, the contractor shall comply with state statutes, municipal and local ordinances, rules and regulations, if any, pertaining to the location of these lines and facilities.
6. The design of planters and landscaped areas is not part of this plan. All planters and landscaped areas adjacent to the building(s) shall be provided with positive drainage to avoid any ponding adjacent to the structure. For construction details, refer to landscaping plan.

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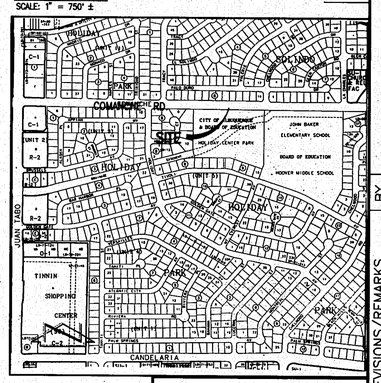
3. The contractor shall secure "Topsoil Disturbance Permit" prior to beginning construction.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 3097

NOTE:
ALL WATER, STORM DRAIN AND SANITARY SEWER LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY. LOCATION DATA WAS TAKEN FROM CITY OF ALBUQUERQUE DISTRIBUTION MAPS.

VICINITY MAP

SCALE: 1" = 750' ±



SANDERS ROGERS ARCHITECTS, P.C.
301 GOLD AVENUE S.W. SUITE 202
ALBUQUERQUE, NEW MEXICO 87102
(505) 247-1166 FAX: 247-0262

NO.	DATE	REVISIONS/REMARKS	BY
1	7/96	REVISE W. END OF PARKING LOT	JGM
2	3/97	AS-BUILT AND CERTIFY	JGM

DESIGNED BY: J.G.M. G.R.B. DATE: 4/96
DRAWN BY: S.G.H. DATE: 5/96
CHECKED BY: J.G.M. DATE: 5/96

SURVEY INFORMATION			
FIELD NOTES			
NO.	BY	DATE	
950393	JMA	05/96	THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-G22", SET IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE ROAD-ABOUT 150 FEET EAST OF THE JUNCTION WITH CHELWOOD. ELEVATION = 5750.35 FEET (M.S.L.D.)

BENCH MARK

AS BUILT INFORMATION
CONTRACTOR — DATE:
WORK STAKED BY — DATE:
INSPECTOR'S APPROVAL — DATE:
FIELD VERIFICATION BY — DATE:
DRAWING CORRECTED BY — DATE:
MICRO-FILM INFORMATION
RECORDED BY — DATE:
NO.

T.B.M.
A "T" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING.
ELEVATION = 5732.58 FEET (M.S.L.D.)

JEFFREY G. MORTENSEN — NEW MEXICO — 8547 — REGISTERED PROFESSIONAL ENGINEER — 07-08-97 — 05-15-96

G22

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

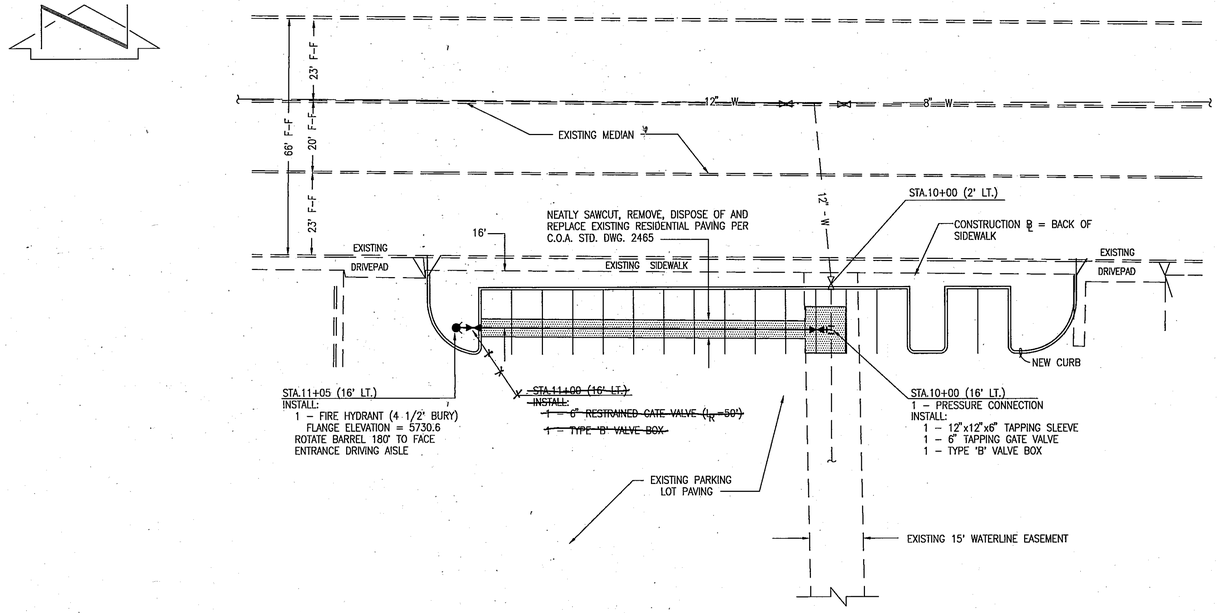
TITLE: GRADING PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	30 OF 56 H-C1

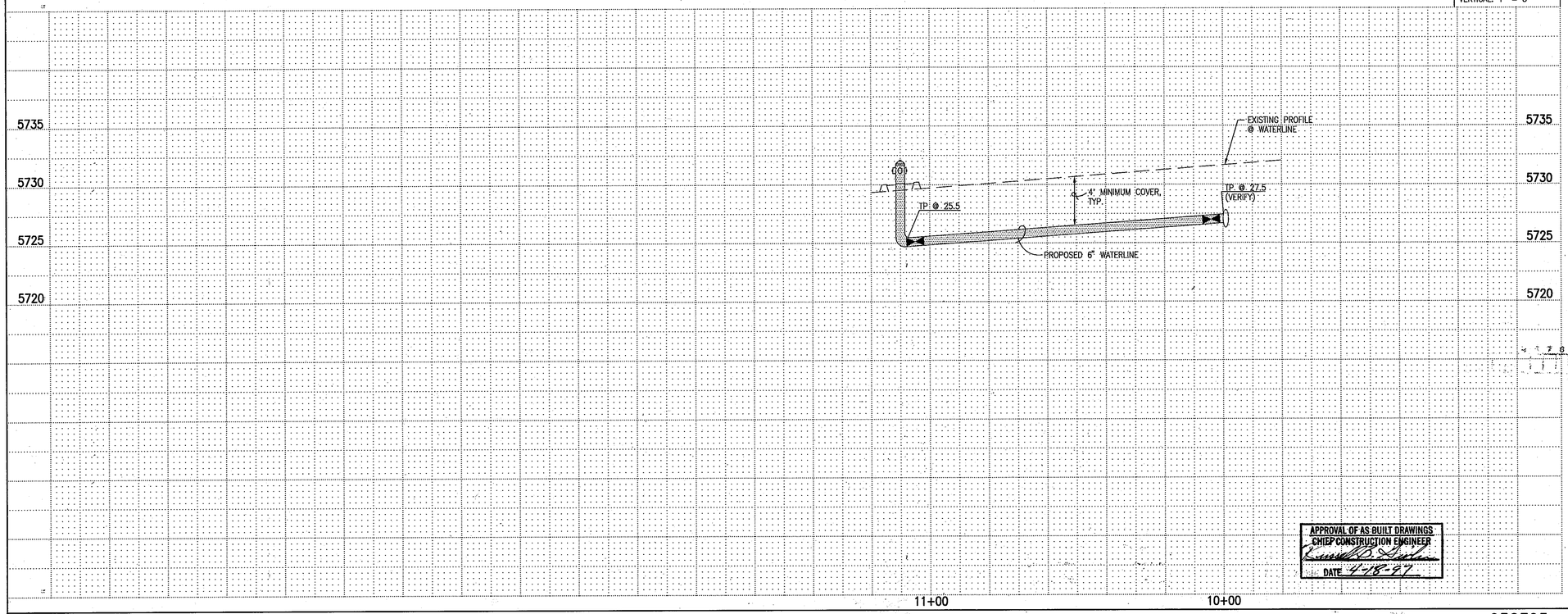
DRAWN BY: MORT/CHRIS — DATE: 7-25-96
FILE NAME: C3-SITE — SCALE: 1" = 30'

C:\DATA\ACCDOWN\950392 Wed Apr 9 11:24:00 1997 -SGH



COMANCHE ROAD N.E.

SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 5'



WATERLINE CONSTRUCTION NOTES:

1. ALL STATIONING IS BASED ON CONSTRUCTION BASELINE UNLESS INDICATED OTHERWISE.
2. FOR ALL LINES 12" AND SMALLER, WATER MAIN SHALL BE PVC C-900 PIPE OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. DUCTILE IRON IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF PVC.
3. FOR ALL LINES 14" AND LARGER, WATER MAIN SHALL BE DUCTILE IRON OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. CONCRETE CYLINDER IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF DUCTILE IRON.
4. WATERLINE SHALL HAVE A MINIMUM COVER OF 4'0" (FINISHED GRADE TO TOP OF PIPE). EXTRA DEPTH TRENCHING, IF REQUIRED, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
5. ELECTRONIC MARKER DISCS (EMD) SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
6. IN ACCORDANCE WITH SECTION 801 OF THE "STANDARD SPECIFICATIONS", METALIZED DETECTABLE WARNING TAPE SHALL BE INSTALLED 18" ABOVE ALL PVC PIPE INSTALLED ON THIS PROJECT.
7. VALVE STEM AND FIRE HYDRANT EXTENSIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THE COST OF EACH EXTENSION SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
8. JOINT RESTRAINT SHALL BE CONSIDERED INCIDENTAL TO WATERLINE CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
9. FOR THE PURPOSES OF THIS PROJECT, ALL RESTRAINED JOINTS AND JOINT RESTRAINT SHALL BE MECHANICALLY RESTRAINED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
11. IF 18 INCHES OF VERTICAL CLEARANCE DOES NOT EXIST WHERE WATER AND SANITARY LINES CROSS, THE SANITARY SEWER LINE SHALL BE CONCRETE ENCASED FOR A DISTANCE OF 10 FEET EACH SIDE OF THE CROSSING.
12. IF THE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ABUTTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED, OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

AS BUILT INFORMATION

		DATE
CONTRACTOR MARKED BY	M.C.C.	
INSPECTOR'S CHANGE BY	N/A	
FIELD VERIFICATION BY	M. Stephens	DATE 3/13/97
DRAWINGS CORRECTED BY	M. Stephens	DATE 3/14/97
MICRO-FILM INFORMATION	M. Sedillo	DATE 3/28/97
RECORDED BY		DATE
NO.		

BENCH MARKS

THE STATION IS A STANDARD ACS BRASS TABLET STAMPED, "1-G22" SET IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE ROAD N.E. ABOUT 150 FEET EAST OF THE JUNCTION WITH CHELWOOD.
ELEVATION = 5750.35 FEET (M.S.L.D.)

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
950391	JMA	05/96

ENGINEER'S SEAL

JEFF MORTENSEN ENGINEER NEW MEXICO 8547 REGISTERED PROFESSIONAL ENGINEER
01-28-97

NO.	DATE	REMARKS	BY
1	01-97	ADDED THIS SHEET BY CHANGE ORDER	J.G.M.

Revisions

DESIGN		
Designed By	J.G.M.	Date 01-97
Drawn By	S.G.H.	Date 01-97
Checked By	J.G.M.	Date 01-97

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 30A97

JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: FIRE HYDRANT INSTALLATION
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee: APPROVED JAN 23 1997 DESIGN REVIEW COMMITTEE

City Engineer Approval

Last Design Update — Mo./Day/Yr. — Mo./Day/Yr.

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
DATE 4-18-97

950395

City Project No. 4754.92 | Zone Map No. G-22 | Sheet 30A Of 56 | H-C1A

30A

C:\DATA\ACADDWG\950395 Wed Jan 8 12:22:45 1997 -SGH

DRAINAGE PLAN

The following items concerning the Holiday Park Recreation Center Drainage Plan are contained hereon:

1. Vicinity Map
2. Grading Plan
3. Calculations

As shown by the Vicinity Map, the site is located west of John Baker Elementary School, between Comanche Road N.E. and the North Glenwood Hills Arroyo. At present, the site consists of one building, a parking lot, a basketball court, and associated landscaping.

As shown by Panel 25 of 50 of the National Flood Insurance Program, Flood Insurance Rate Map published by F.E.M.A. for the City of Albuquerque, New Mexico dated October 14, 1983, this site does not lie in a designated flood hazard zone. A portion of this site contributes to a Flood Hazard Zone "A", which is confined within the North Glenwood Hills Arroyo, a fully developed City of Albuquerque concrete channel.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1'0" intervals, 2) the limit and character of the existing improvements, 3) the limit and character of the proposed improvements, and 4) continuity between existing and proposed grades. As shown by the grading plan, the improvements to the site will consist of additions to the west and south wings of the existing building with associated landscaping and concrete walkways, and an extension to the existing play area directly south of the main building. The site is located in a developed residential area making the construction a modification to an existing site within an infill area.

Existing onsite runoff from the major portion of the site (Basin 'A') drains by sheetflow to southwest corner to drain into the North Glenwood Hills Arroyo via a concrete rundown. Runoff from the parking lot (Basin 'B') drains north into Comanche Road N.E. over an existing drivepad. One small offsite basin impacts the site on the east from John Baker Elementary School. The small amount of runoff from this basin is accepted by this site in Basin "A", where it drains into the North Glenwood Hills Arroyo. No offsite flows impact the site from the west because the property is topographically lower.

The Base Bid includes: additions to the main building, expansion of the sand playground, and constructing concrete sidewalks. Alternative #1 is an extension to the parking lot. Runoff generated by construction will continue to drain by their respective historic patterns.

The Calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Procedure for 40-acre and Smaller Basins, as set forth in the Revision of Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, dated January, 1993, has been used to quantify the peak rate of discharge and volume of runoff generated. As shown by the calculations, a modest increase in the runoff discharge rate and volume is expected from the Base Bid construction. Because runoff from Basin "A" is freely discharged into an exiting concrete lined arroyo that is adjacent to the site, and development within this basin constitutes a modification to an existing site within an infill area, continued free discharge into public drainage facilities is appropriate.

If in addition to the Base Bid, Alternative #1 is chosen, the runoff from the parking lot will increase. However, there are no downstream flood hazard zones, and runoff traveling down Comanche Road is directed into Embudito Arroyo at Eubank Boulevard N.E. This development is a modification to an existing site within an infill area, runoff is currently freely discharged, this drainage basin does not contribute to a downstream flood hazard zone, and runoff is eventually discharged into the Embudo Arroyo, a fully developed City of Albuquerque concrete channel, therefore, continued free discharge from Basin "B" is appropriate.

CALCULATIONS

Site Characteristics

1. Precipitation Zone = 4
2. $P_{6,100} = P_{360} =$ 2.90
3. Total Area (A_T) = 168,040 sf/3.95 ac
4. Existing Land Treatment

A. Offsite Basin (A_T = 2,700 sf/0.06 Ac)

Treatment	Area (sf/ac)	%
B	2,700/0.06	100.0

B. Basin 'A' (A_{TA} = 144,425 sf/3.51 Ac)

Treatment	Area (sf/ac)	%
B	119,630/2.81	80.1
C	15,750/0.37	10.5
D	14,045/0.33	9.4

C. Basin 'B' (A_{TB} = 18,615 sf/0.44 Ac)

Treatment	Area (sf/ac)	%
B	3,575/0.09	19.2
D	15,040/0.35	80.8

5. Developed Land Treatment (Full Development)

A. Basin 'A' (A_{TA} = 141,595 sf/3.33 Ac)

Treatment	Area (sf/ac)	%
B	105,785/2.48	74.7
C	18,120/0.43	12.5
D	17,690/0.42	12.2

B. Basin 'B' (A_{TB} = 26,445 sf/0.62 Ac)

Treatment	Area (sf/ac)	%
B	2,535/0.06	9.6
D	23,910/0.56	90.4

6. Existing Conditions

A. Offsite Basin

I. Volume

$E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D)/A_T$

$E_W = [(1.08)(0.06)]/0.06 = 1.08$ in

$V_{100} = (E_W/12)A_T$

$V_{100} = (1.08/12)0.06 = 0.0054$ ac. ft. = 230 cf

II. Peak Discharge

$Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$

$Q_p = Q_{100} = (2.92)(0.06) = 0.2$ cfs

B. Basin A

I. Volume

$E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D)/A_T$

$E_W = [(1.08)(2.81)+(1.46)(0.37)+(2.64)(0.33)]/3.51 = 1.27$ in

$V_{100} = (E_W/12)A_T$

$V_{100} = (1.27/12)3.51 = 0.3705$ ac. ft. = 15,770 cf

II. Peak Discharge

$Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$

$Q_p = Q_{100} = (2.92)(2.81)+(3.73)(0.37)+(5.25)(0.33) = 11.3$ cfs

C. Basin B

I. Volume

$E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D)/A_T$

$E_W = [(1.08)(0.09)+(2.64)(0.35)]/0.44 = 2.32$ in

$V_{100} = (E_W/12)A_T$

$V_{100} = (2.32/12)0.44 = 0.0851$ ac. ft. = 3,620 cf

II. Peak Discharge

$Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$

$Q_p = Q_{100} = (2.92)(0.09)+(5.25)(0.35) = 2.1$ cfs

7. Developed Conditions

A. Basin A

I. Volume

$E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D)/A_T$

$E_W = [(1.08)(2.48)+(1.46)(0.43)+(2.64)(0.42)]/3.33 = 1.33$ in

$V_{100} = (E_W/12)A_T$

$V_{100} = (1.33/12)3.33 = 0.3649$ ac. ft. = 15,660 cf

II. Peak Discharge

$Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$

$Q_p = Q_{100} = (2.92)(2.48)+(3.73)(0.43)+(5.25)(0.42) = 11.1$ cfs

B. Basin B

I. Volume

$E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D)/A_T$

$E_W = [(1.08)(0.06)+(2.64)(0.56)]/0.62 = 2.49$ in

$V_{100} = (E_W/12)A_T$

$V_{100} = (2.49/12)0.62 = 0.1286$ ac. ft.= 5,475 cf

II. Peak Discharge

$Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$

$Q_p = Q_{100} = (2.92)(0.06)+(5.25)(0.56) = 3.1$ cfs

8. Comparison

A. Basin A

1. ΔV_{100} = 15,770 − 15,660 = 110 cf (decrease)
2. ΔQ_{100} = 11.3 − 11.3 = 0.0 cfs (no change)

B. Basin B

1. ΔV_{100} = 5,475 − 3,620 = 1,855 cf (increase)
2. ΔQ_{100} = 3.1 − 2.1 = 1.0 cfs (increase)

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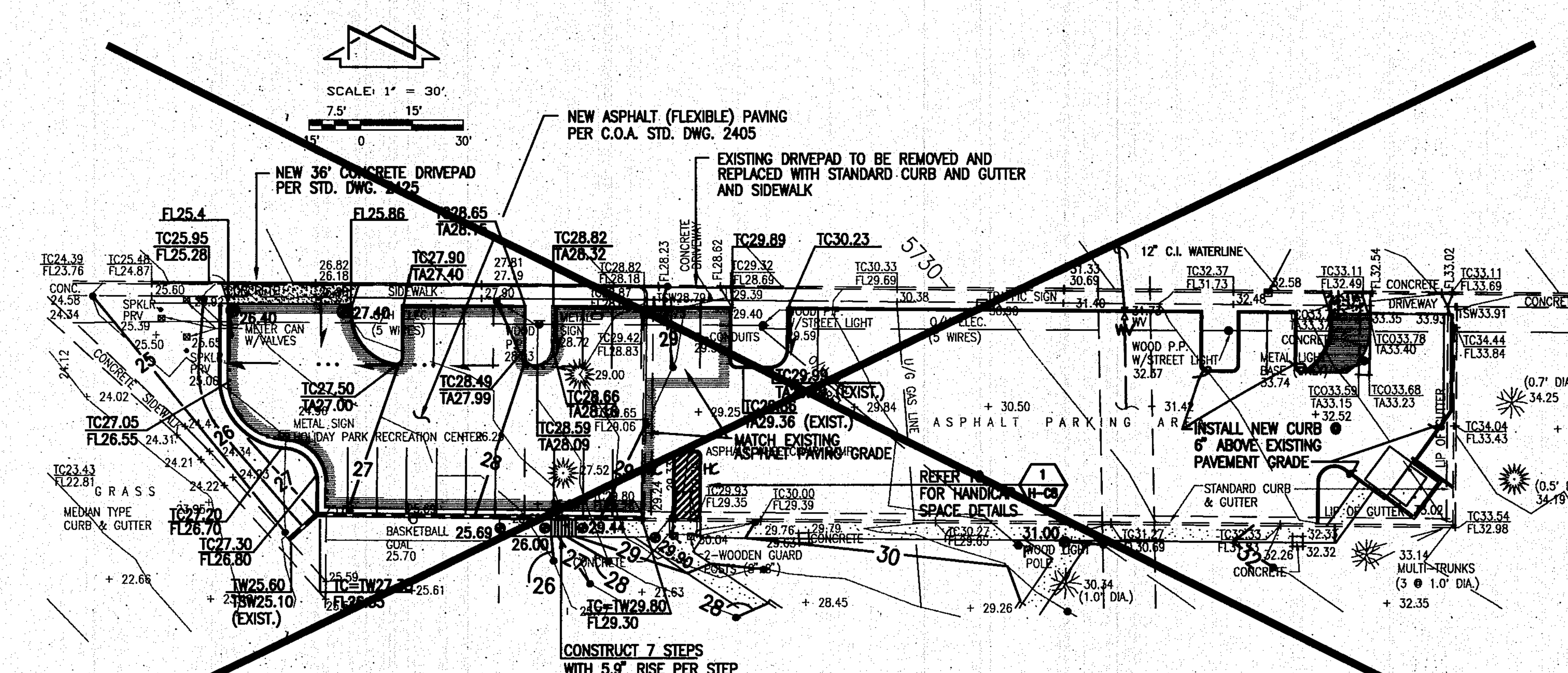


⚠1 (1) PARKING LOT EXPANSION DETAIL, ALTERNATE #1 (1 / H-C1)

SCALE: 1" = 30

⚠2 (DELETED FROM CONTRACT / NOT BUILT)

⚠2 CERTIFICATION

As indicated by the as-built information shown hereon, this project has been constructed in substantial compliance with the approved Plan. It is based upon this evaluation of as-constructed conditions that issuance of a Permanent Certificate of Occupancy is hereby recommended. The as-built information shown hereon has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief.

Jeffrey G. Mortensen, NMPE 8547 — JEFFREY G. MORTENSEN, NEW MEXICO, 8547, REGISTERED PROFESSIONAL ENGINEER — 04-09-97 Date

DRAINAGE PLAN, CALCULATIONS AND DETAILS

SCALE: 1" = 30'

DRAWN BY: MORT/CHRIS	DATE: 7-25-95
FILE NAME: C3-SITE	SCALE: 1" = 30'

C:\DATA\ACADDWG\950393DD Wed Apr 9 11:00:11 1997 -SGH

JMA

JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JMA JOB NO. 950394

AS BUILT INFORMATION

CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY	DATE:

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

BENCH MARK

THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-G22", SET IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE ROAD ABOUT 150 FEET EAST OF THE JUNCTION WITH CHELWOOD.
ELEVATION = 5750.35 FEET (M.S.L.D.)

T.B.M.
A "☐" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING.
ELEAVATION = 5732.58 FEET (M.S.L.D.)

SURVEY INFORMATION — FIELD NOTES

NO.	BY	DATE
950391	JMA	05/95

JEFFREY G. MORTENSEN, NEW MEXICO, 8547, REGISTERED PROFESSIONAL ENGINEER — 07-09-96 / 05-15-96

REVISIONS/REMARKS

NO.	DATE	REVISIONS/REMARKS	BY
⚠1	7/96	REVISE AND REGRADE WEST END OF ALT. #1 PARKING LOT.	JGM
⚠2	9/97	AS-BUILT	JGM

DESIGNED BY: J.G.M.\ G.R.B. DATE: 04/96
DRAWN BY: S.G.H. DATE: 05/96
CHECKED BY: J.G.M. DATE: 05/96

SANDERS ROGERS ARCHITECTS, P.C.
301 GOLD AVENUE S.W. SUITE 202
ALBUQUERQUE, NEW MEXICO 87102
(505) 247-1168, FAX: 247-0262

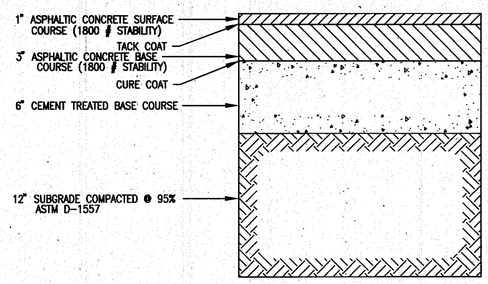
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: DRAINAGE PLAN, CALCULATIONS AND DETAILS
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	31 OF 56 H-C2

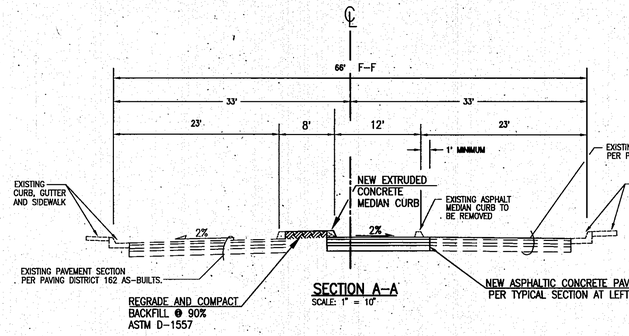
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 3197



NOTE: THE ABOVE SECTION MEETS OR EXCEEDS THE EXISTING SECTION AS SHOWN ON SHEET 21 OF 48, PAVING DISTRICT 162 AS-BUILTS

TYPICAL PAVING SECTION

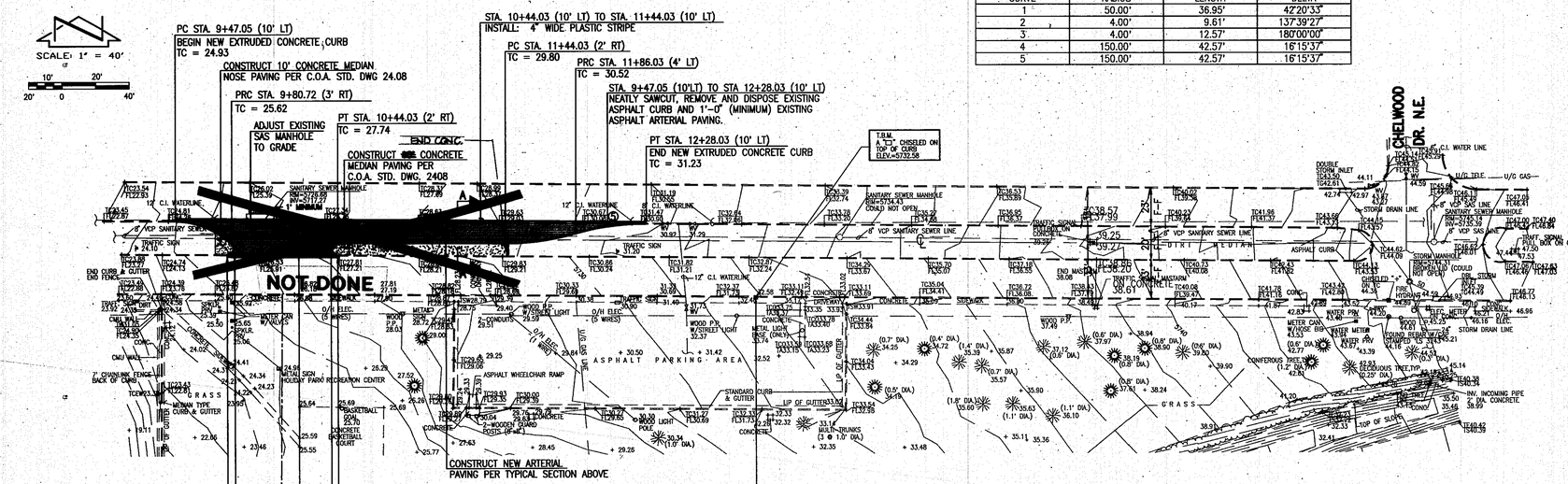
SCALE: 1" = 6'

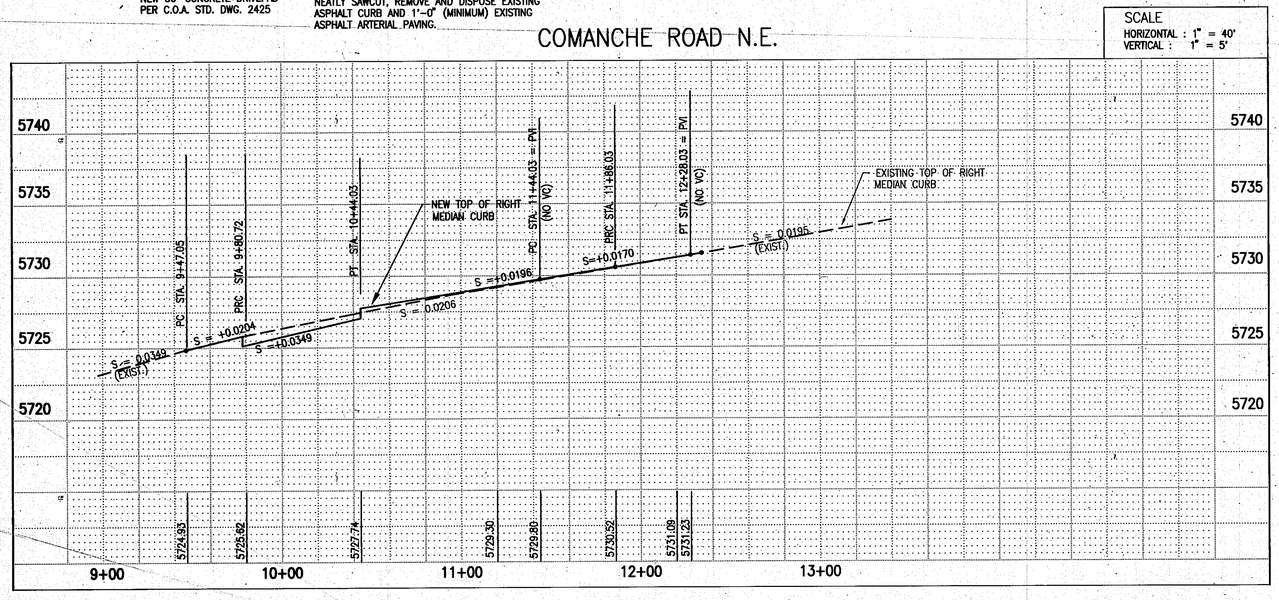


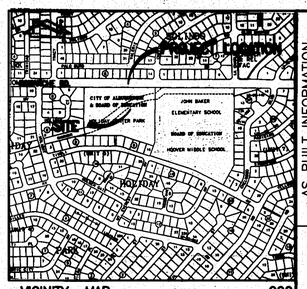
SECTION A-A

SCALE: 1" = 10'

CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
1	50.00'	36.95'	42°20'33"
2	4.00'	9.61'	137°39'27"
3	4.00'	12.57'	180°00'00"
4	150.00'	42.57'	16°15'37"
5	150.00'	42.57'	16°15'37"







VICINITY MAP

SCALE: 1" = 750' ±

G22

GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS–PUBLIC WORKS CONSTRUCTION–1986 – UPDATE NO. 6.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260–1990 (ALBUQUERQUE AREA); 1–800–321–ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
7. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
8. BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
9. TACK COAT REQUIREMENTS SHALL BE DETERMINED DURING CONSTRUCTION BY THE PROJECT ENGINEER.
10. SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
11. IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
12. ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
13. CONTRACTOR SHALL COORDINATE WITH THE WATER SYSTEM DIVISION FOR THE EXECUTION OF THE VALVE SHUT OFF PLAN, NOT LESS THAN THREE (3) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT THE EXISTING PUBLIC WATER UTILITIES. ONLY WATER SYSTEM DIVISION PERSONNEL SHALL OPERATE EXISTING VALVES. REFER TO SECTION 18 OF THE SPECIFICATION.
14. CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE SPECIFICATIONS.
15. THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO–ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO–ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768–2551) PRIOR TO OCCUPYING AN INTERSECTION. CONTRACTOR MUST REFER TO SECTION 19 OF THE STANDARD SPECIFICATION FOR TRAFFIC CONTROL.
16. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
17. **CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.**
18. ALL DIMENSIONS ARE SHOWN TO FACE OF CURB.
19. IF THE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ABUTTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
20. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
21. A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL B MADE.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
23. THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
24. ALL EXISTING UTILITIES ENCOUNTERED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO GRADE AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
25. EXTRUDED CONCRETE CURB SHALL CONFORM WITH C.O.A. STD. DWG. 2415 FOR PINNED CURB TYPE I, IN LIEU OF #4 REBAR PINS. CONTRACTOR MAY CHEMICALLY BOND CONCRETE CURB TO EXISTING/NEW ASPHALT PAVEMENT PER MANUFACTURERS DIRECTIONS EXCEPT FOR NOSES WHICH MUST BE PINNED.
26. ANY WORK OCCURING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY–FOUR HOUR CONSTRUCTION.
27. ALL SLOPES AS SHOWN ON PROFILES ARE BASED ON STREET CENTERLINE STATIONING.

AS BUILT INFORMATION

CONTRACTOR		DATE:
WORK STAKED BY		DATE:
INSPECTOR'S APPROVAL		DATE:
FIELD VERIFICATION BY		DATE:
DRAWING CORRECTED BY	MSH	DATE: 6/97

MICRO-FILM INFORMATION

RECORDED BY:	DATE:
NO.	

BENCH MARK

THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "I-022", SET IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE ROAD ABOUT 150 FEET EAST OF THE JUNCTION WITH CHELWOOD.

ELEVATION = 5730.35 FEET (M.S.L.D.)

T.B.M.

A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING.

ELEVATION = 5732.58 FEET (M.S.L.D.)

SURVEY INFORMATION

NO.	BY	DATE
950391	JMA	05/96

FIELD NOTES

REVISIONS/REMARKS

NO.	DATE		BY
1	6/97	AS-BUILTS	MSH

JEFFREY G. MORTENSEN ENGINEER NEW MEXICO 8542 REGISTERED PROFESSIONAL ENGINEER 07-03-96

DESIGNED BY: J.G.M. \ G.R.B. DATE: 4/96
DRAWN BY: C.J.H. DATE: 5/96
CHECKED BY: J.G.M. DATE: 5/96

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: LEFT TURNBAY
HOLIDAY PARK SHELTER CENTER EXPANSION
ADDITIVE ALTERNATE NO. 1

Design Review Committee | City Engineer Approval | Last Design Update | MO./DAY/YR. | MO./DAY/YR.

APPROVED JUL 23 1996 DESIGN REVIEW COMMITTEE

City Project No. 4754.92 | Zone Map No. G-22 | Sheet 32 OF 56 H-C3

26-4754.92 32 97

JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6010-B MIDWAY PARK BLVD. N.E.
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 345-4250
JMA JOB NO. 950392

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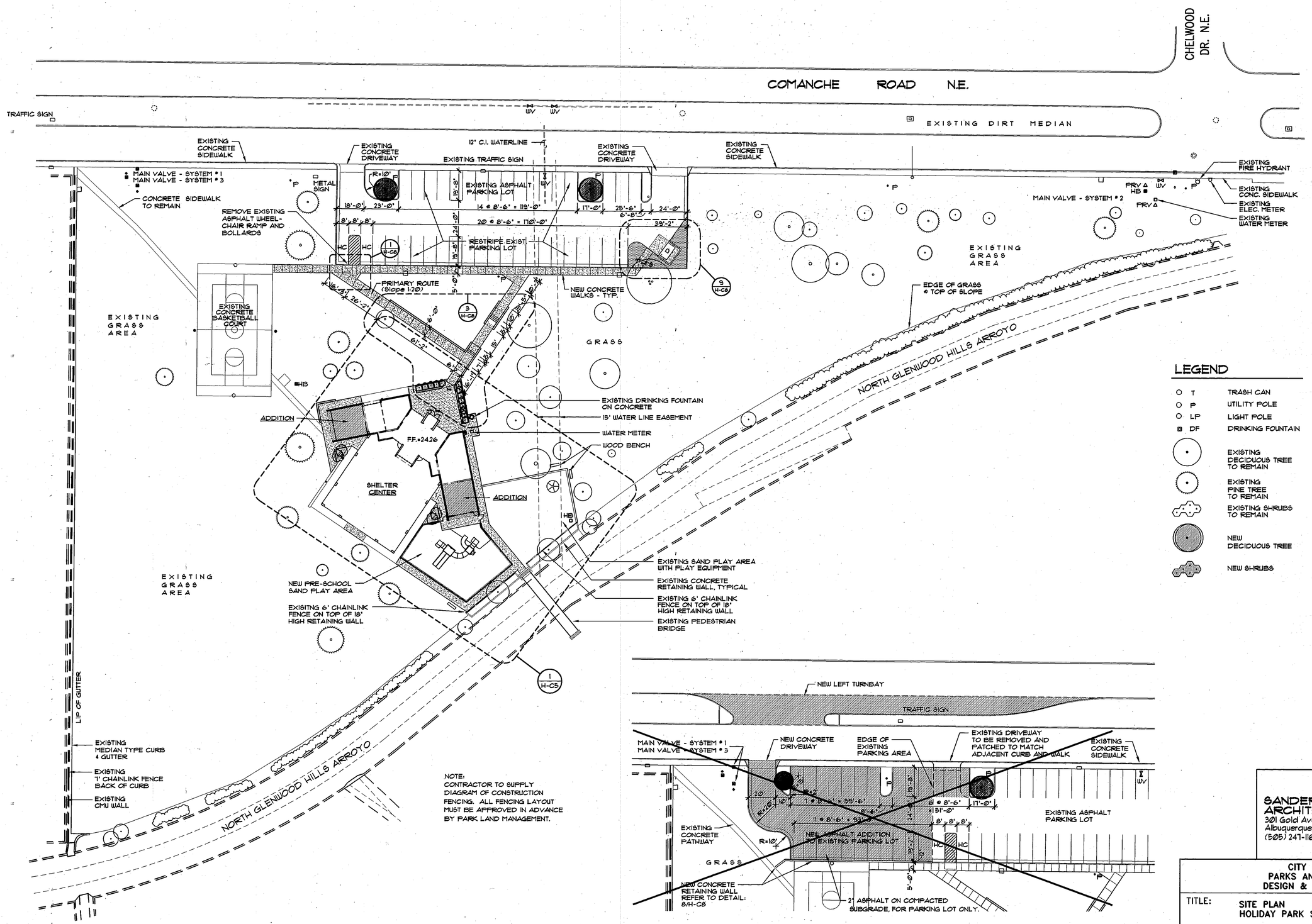

NOTE:
CONTRACTOR TO SUPPLY DIAGRAM OF CONSTRUCTION FENCING. ALL FENCING LAYOUT MUST BE APPROVED IN ADVANCE BY PARK LAND MANAGEMENT.

1 SITE PLAN
SCALE: 1" = 30'

NORTH

NOT DONE

2 LEFT TURNBAY AND ADDITIONAL PARKING PLAN - ALTERNATE # 1
SCALE: 1" = 30'

NORTH

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	
"MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

BENCH MARK

THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-G22", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD. ABOUT 150' EAST OF THE JUNCTION WITH CHELWOOD. ELEVATION = 5750.35' (M.S.L.D.)

T.B.M.
A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

SURVEY INFORMATION
FIELD NOTES

NO.	DATE	BY

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: CH\JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

DRAWN BY: CH\JPG DATE: 6-13-97
FILE NAME: RC4-SITE SCALE: 1" = 30'

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: SITE PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	33 Of 56 H-C4

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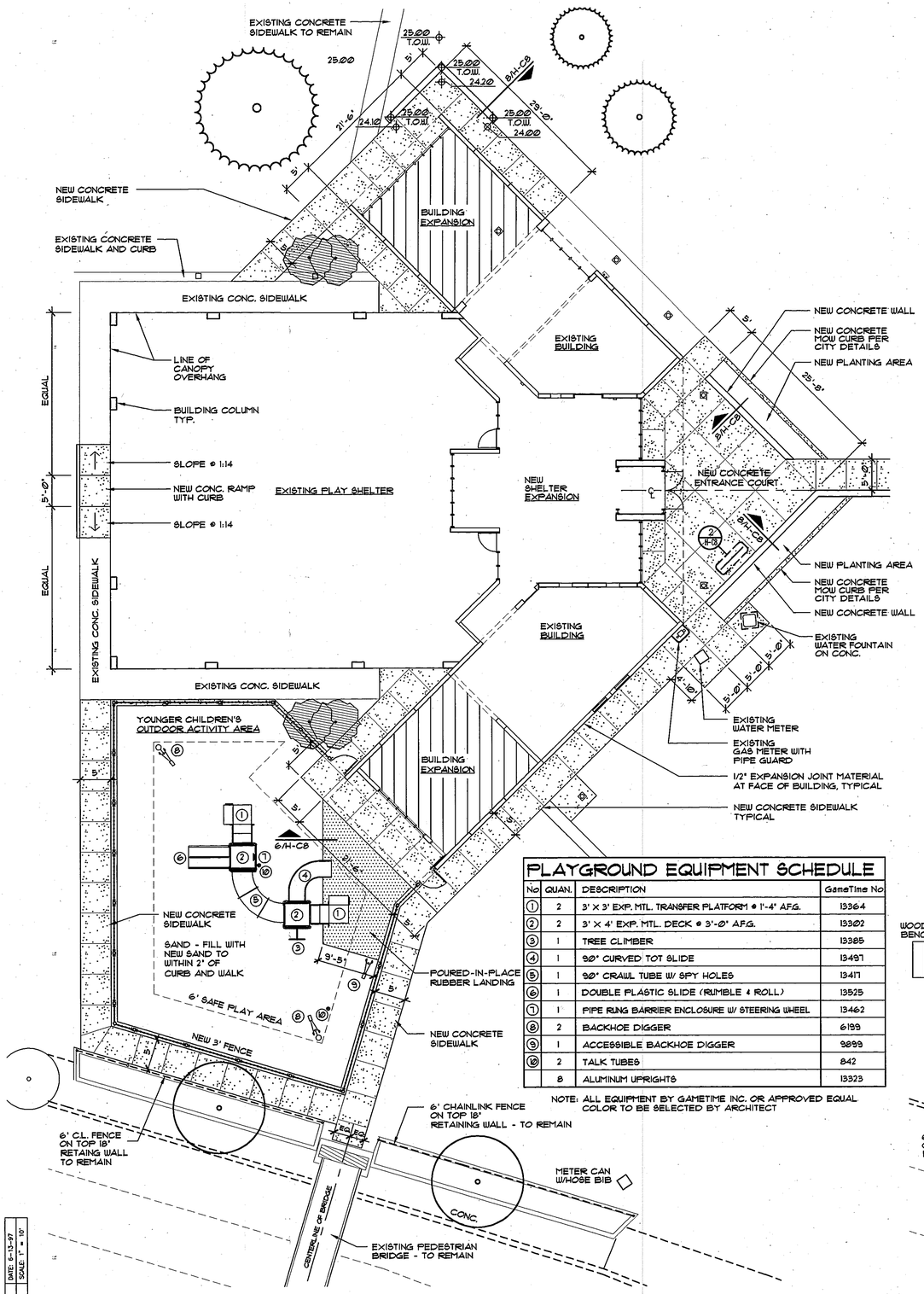


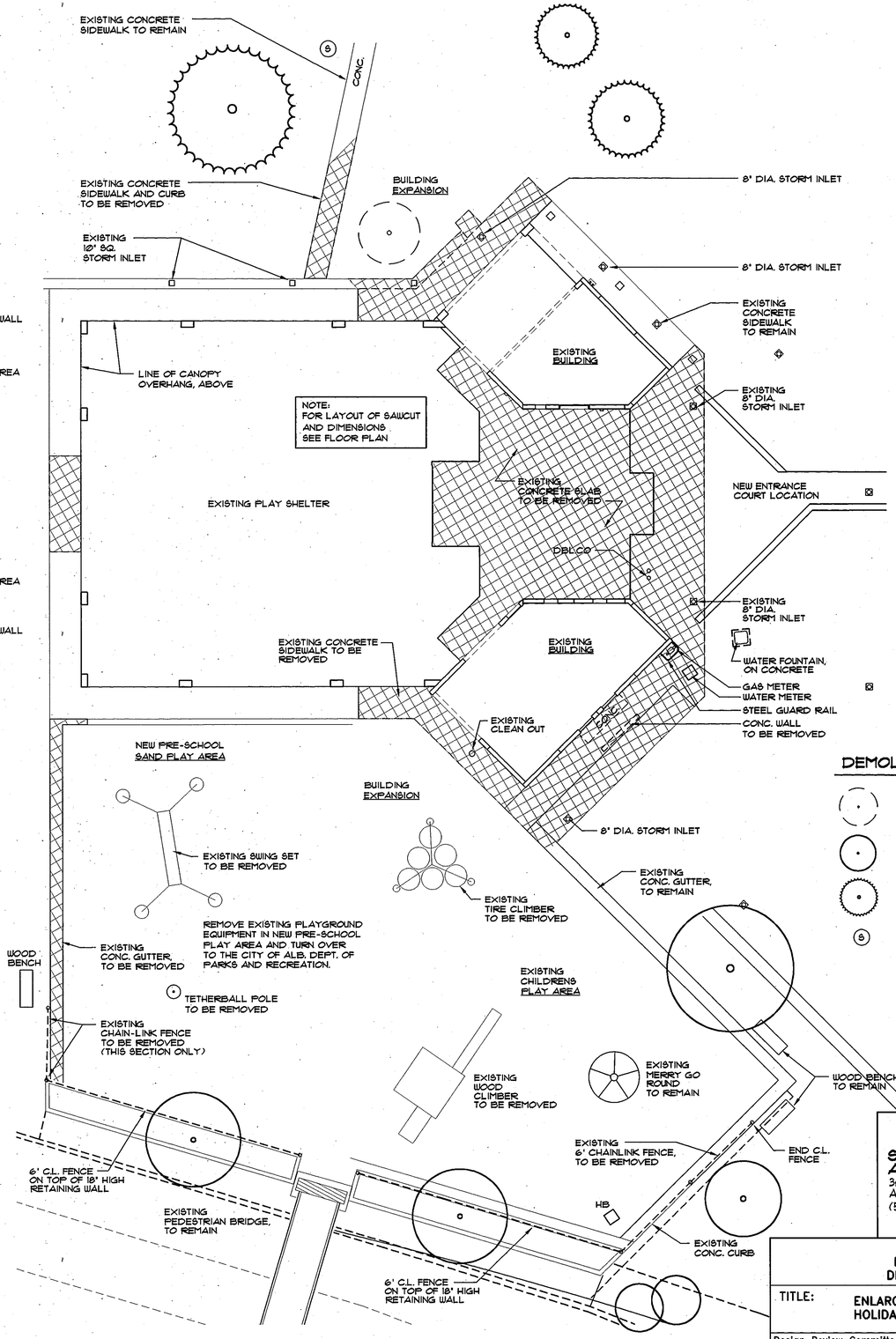
PLAYGROUND EQUIPMENT SCHEDULE

No	QUAN.	DESCRIPTION	GameTime No
1	2	3' X 3' EXP. MTL. TRANSFER PLATFORM @ 1'-4" A.F.G.	13364
2	2	3' X 4' EXP. MTL. DECK @ 3'-0" A.F.G.	13302
3	1	TREE CLIMBER	13385
4	1	90° CURVED TOT SLIDE	13497
5	1	90° CRAWL TUBE W/ 8PY HOLES	13417
6	1	DOUBLE PLASTIC SLIDE (RUMBLE & ROLL)	13525
7	1	PIPE RING BARRIER ENCLOSURE W/ STEERING WHEEL	13462
8	2	BACKHOE DIGGER	6199
9	1	ACCESSIBLE BACKHOE DIGGER	9899
10	2	TALK TUBES	842
	8	ALUMINUM UPRIGHTS	13323

NOTE: ALL EQUIPMENT BY GAMETIME INC. OR APPROVED EQUAL COLOR TO BE SELECTED BY ARCHITECT

1 ENLARGED SITE CONSTRUCTION PLAN

SCALE: 1" = 10'



DEMOLITION LEGEND

- EXISTING TREE TO BE REMOVED
- (DECIDUOUS)
- EXISTING TREE TO REMAIN PROTECT DURING CONSTRUCTION
- (EVERGREEN)
- EXISTING SPRAY HEAD W/ 30 FOOT RADIUS TO BE REMOVED

2 ENLARGED SITE DEMOLITION PLAN

SCALE: 1" = 10'

NORTH

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

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SURVEY INFORMATION FIELD NOTES		
NO.	BY	DATE

REVISIONS/REMARKS			
NO.	DATE	AS-BUILTS	BY
1	6-20-97		MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: Ch / JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

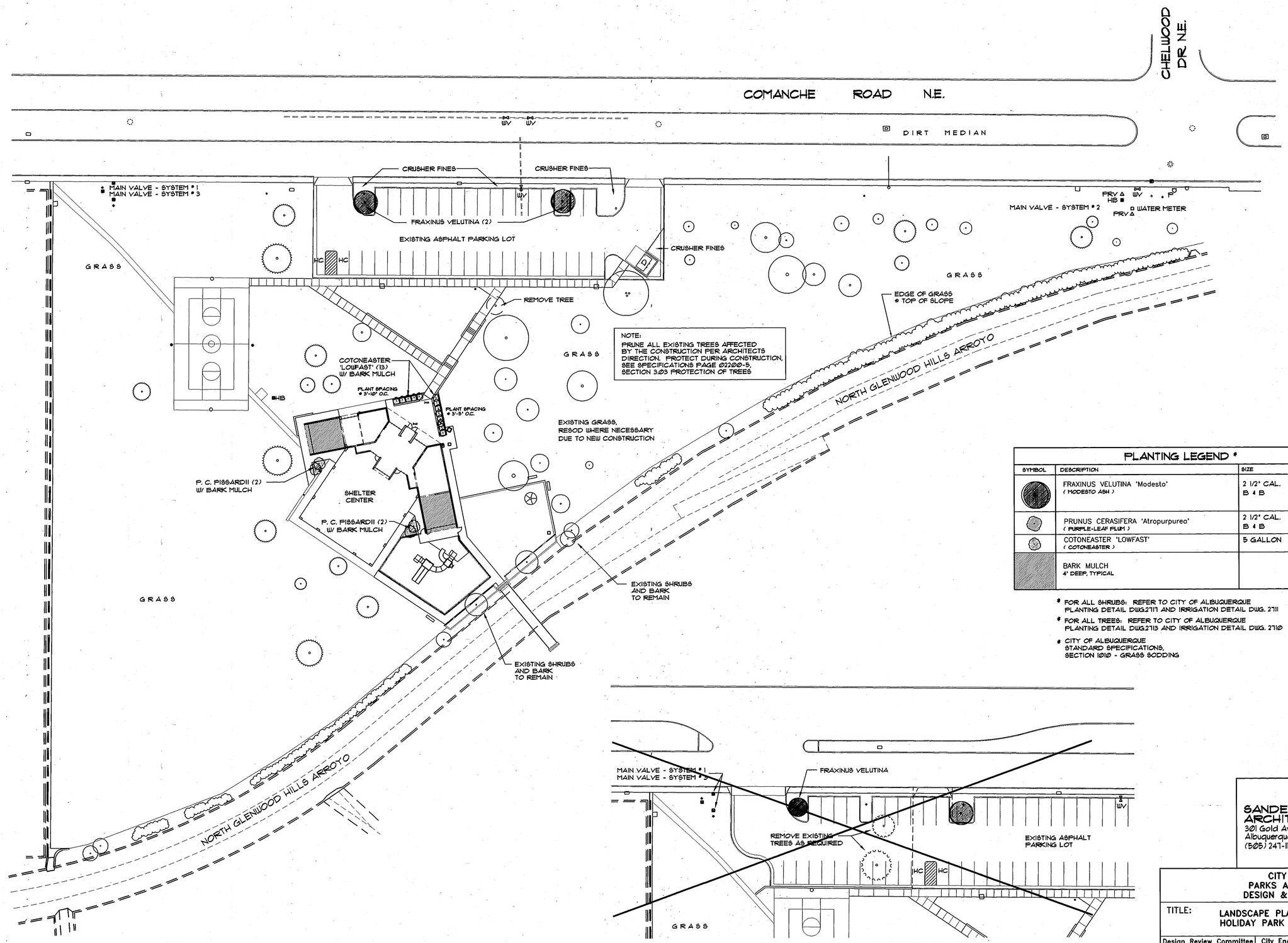
TITLE: ENLARGED SITE PLAN AND DEMOLITION PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	34 Of 56 H-C5

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 34 07

DRAWN BY: JPG DATE: 6-13-97
FILE NAME: RDS-CONS SCALE: 1" = 10'



PLANTING LEGEND *

SYMBOL	DESCRIPTION	SIZE	QUANTITY
	FRAXINUS VELUTINA 'Modesto' (MODESTO ASH)	2 1/2" CAL. B & B	(3)
	PRUNUS CERASIFERA 'Atropurpurea' (PURPLE-LEAF PLUM)	2 1/2" CAL. B & B	(4)
	COTONEASTER 'LOWFAST' (COTONEASTER)	5 GALLON	(13)
	BARK MULCH 4" DEEP, TYPICAL		

* FOR ALL SHRUBS: REFER TO CITY OF ALBUQUERQUE PLANTING DETAIL DWG.2717 AND IRRIGATION DETAIL DWG. 2711

* FOR ALL TREES: REFER TO CITY OF ALBUQUERQUE PLANTING DETAIL DWG.2713 AND IRRIGATION DETAIL DWG. 2710

\# CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, SECTION 1010 - GRASS SODDING

NOT DONE

1 SITE LANDSCAPE PLAN

SCALE: 1" = 30'

NORTH

2 LANDSCAPE PLAN - ALTERNATE #1

SCALE: 1" = 30'

NORTH

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-47541.92 3597

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

BENCH MARK

THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-022", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD. ABOUT 150' EAST OF THE JUNCTION WITH WHELWOOD.

ELEVATION = 5750.35' (M.S.L.D.)

T.B.M.

A " " CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

AS BUILT INFORMATION

CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: Ch/JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

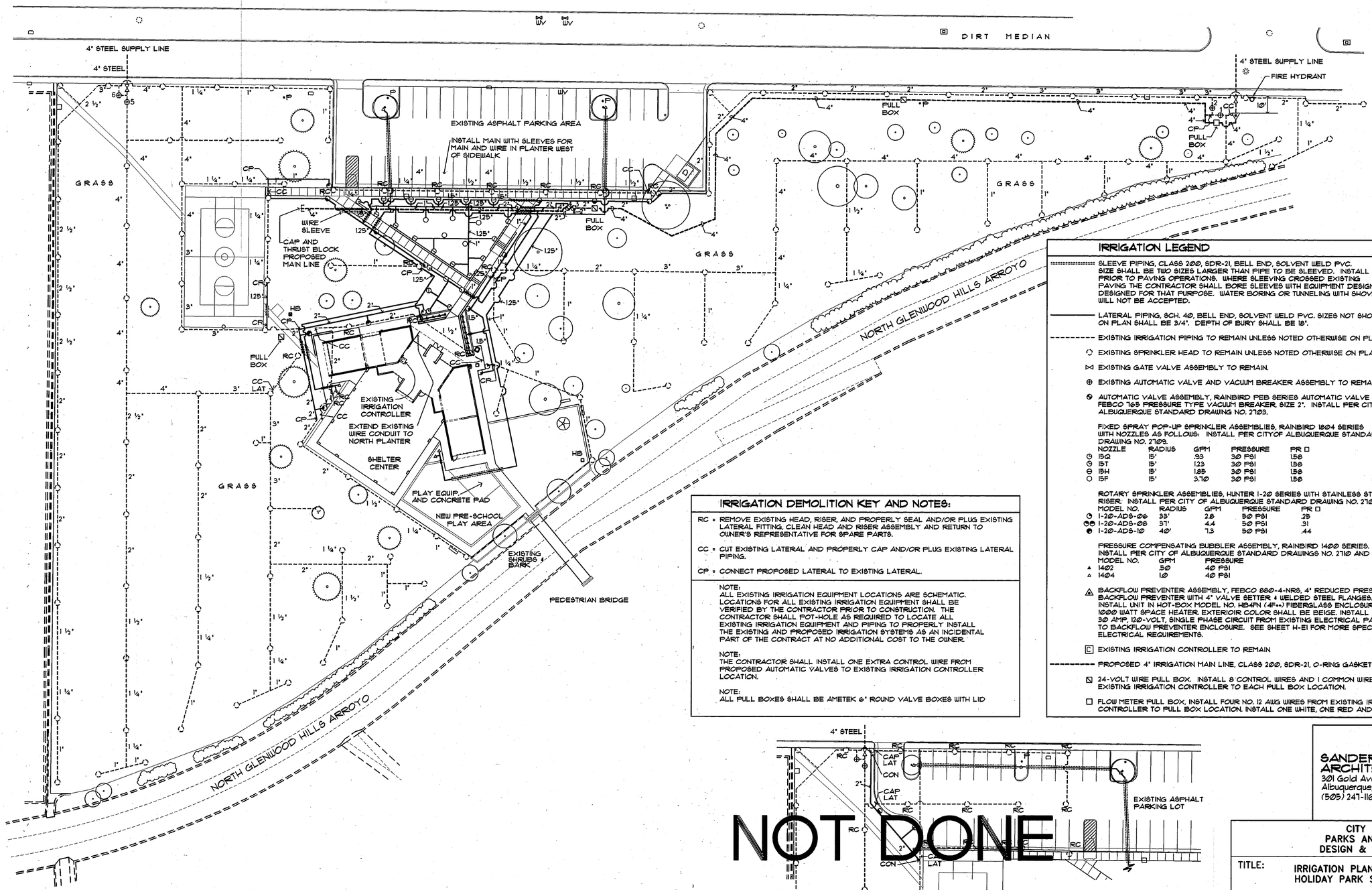
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: LANDSCAPE PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	35 Of 56 H-C6

DRAWN BY: CH/JPG
FILE NAME: RGS-LAND
DATE: 6-13-97
SCALE: 1" = 30'



IRRIGATION DEMOLITION KEY AND NOTES:

RC = REMOVE EXISTING HEAD, RISER, AND PROPERLY SEAL AND/OR PLUG EXISTING LATERAL FITTING. CLEAN HEAD AND RISER ASSEMBLY AND RETURN TO OWNER'S REPRESENTATIVE FOR SPARE PARTS.

CC = CUT EXISTING LATERAL AND PROPERLY CAP AND/OR PLUG EXISTING LATERAL PIPING.

CP = CONNECT PROPOSED LATERAL TO EXISTING LATERAL.

NOTE:
ALL EXISTING IRRIGATION EQUIPMENT LOCATIONS ARE SCHEMATIC. LOCATIONS FOR ALL EXISTING IRRIGATION EQUIPMENT SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POT-HOLE AS REQUIRED TO LOCATE ALL EXISTING IRRIGATION EQUIPMENT AND PIPING TO PROPERLY INSTALL THE EXISTING AND PROPOSED IRRIGATION SYSTEMS AS AN INCIDENTAL PART OF THE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.

NOTE:
THE CONTRACTOR SHALL INSTALL ONE EXTRA CONTROL WIRE FROM PROPOSED AUTOMATIC VALVES TO EXISTING IRRIGATION CONTROLLER LOCATION.

NOTE:
ALL PULL BOXES SHALL BE AMETEK 6" ROUND VALVE BOXES WITH LID

IRRIGATION LEGEND

SLEEVE PIPING, CLASS 200, SDR-21, BELL END, SOLVENT WELD PVC. SIZE SHALL BE TWO SIZES LARGER THAN PIPE TO BE SLEEVED. INSTALL PRIOR TO PAVING OPERATIONS. WHERE SLEEVING CROSSED EXISTING PAVING THE CONTRACTOR SHALL BORE SLEEVES WITH EQUIPMENT DESIGNED DESIGNED FOR THAT PURPOSE. WATER BORING OR TUNNELING WITH SHOVELS WILL NOT BE ACCEPTED.

LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC. SIZES NOT SHOWN ON PLAN SHALL BE 3/4". DEPTH OF BURY SHALL BE 18".

EXISTING IRRIGATION PIPING TO REMAIN UNLESS NOTED OTHERWISE ON PLAN.

EXISTING SPRINKLER HEAD TO REMAIN UNLESS NOTED OTHERWISE ON PLAN.

EXISTING GATE VALVE ASSEMBLY TO REMAIN.

EXISTING AUTOMATIC VALVE AND VACUUM BREAKER ASSEMBLY TO REMAIN.

AUTOMATIC VALVE ASSEMBLY, RAINBIRD PEB SERIES AUTOMATIC VALVE AND FEBCO 765 PRESSURE TYPE VACUUM BREAKER, SIZE 2". INSTALL PER CITY OF ALBUQUERQUE STANDARD DRAWING NO. 2703.

FIXED SPRAY POP-UP SPRINKLER ASSEMBLIES, RAINBIRD 1804 SERIES WITH NOZZLES AS FOLLOWS: INSTALL PER CITYOF ALBUQUERQUE STANDARD DRAWING NO. 2709.

	NOZZLE	RADIUS	GPM	PRESSURE	PR □
	15Q	15'	.93	30 PSI	1.58
	15T	15'	1.23	30 PSI	1.58
	15H	15'	1.85	30 PSI	1.58
	15F	15'	3.70	30 PSI	1.58

ROTARY SPRINKLER ASSEMBLIES, HUNTER I-20 SERIES WITH STAINLESS STEEL RISER. INSTALL PER CITY OF ALBUQUERQUE STANDARD DRAWING NO. 2709.

MODEL NO.	RADIUS	GPM	PRESSURE	PR □
I-20-ADS-06	33'	2.8	50 PSI	.25
I-20-ADS-08	37'	4.4	50 PSI	.31
I-20-ADS-10	40'	7.3	50 PSI	.44

PRESSURE COMPENSATING BUBBLER ASSEMBLY, RAINBIRD 1400 SERIES. INSTALL PER CITY OF ALBUQUERQUE STANDARD DRAWINGS NO. 2710 AND 2711

MODEL NO.	GPM	PRESSURE
1402	.50	40 PSI
1404	1.0	40 PSI

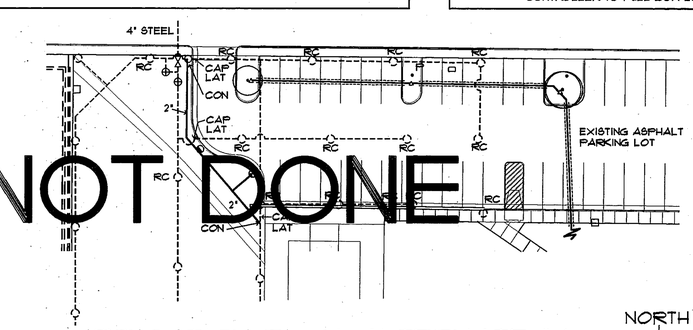
BACKFLOW PREVENTER ASSEMBLY, FEBCO 880-4-NRS, 4" REDUCED PRESSURE BACKFLOW PREVENTER WITH 4" VALVE SETTER & WELDED STEEL FLANGES. INSTALL UNIT IN HOT-BOX MODEL NO. HB4FN (4F++) FIBERGLASS ENCLOSURE WITH 1000 WATT SPACE HEATER. EXTERIOIR COLOR SHALL BE BEIGE. INSTALL A 30 AMP, 120-VOLT, SINGLE PHASE CIRCUIT FROM EXISTING ELECTRICAL PANEL TO BACKFLOW PREVENTER ENCLOSURE. SEE SHEET H-E1 FOR MORE SPECIFIC ELECTRICAL REQUIREMENTS.

C EXISTING IRRIGATION CONTROLLER TO REMAIN

PROPOSED 4" IRRIGATION MAIN LINE, CLASS 200, SDR-21, O-RING GASKET END PVC

24-VOLT WIRE PULL BOX. INSTALL 8 CONTROL WIRES AND 1 COMMON WIRE FROM EXISTING IRRIGATION CONTROLLER TO EACH PULL BOX LOCATION.

FLOW METER PULL BOX, INSTALL FOUR NO. 12 AWG WIRES FROM EXISTING IRRIGATION CONTROLLER TO PULL BOX LOCATION. INSTALL ONE WHITE, ONE RED AND TWO BLUE



1 SITE IRRIGATION PLAN
SCALE: 1" = 30'

NORTH

2 IRRIGATION PLAN, ALTERNATE # 1
SCALE: 1" = 30'

NORTH

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-47654.92 3697

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	
MICRO-FILM INFORMATION	
RECORDED BY:	DATE:
NO.	

BENCH MARK
THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "I-G22", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD. ABOUT 150' EAST OF THE JUNCTION WITH CHELWOOD.
ELEVATION = 5750.35' (M.S.L.D.)
T.B.M.
A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: ARU DATE: 4-5-96
DRAWN BY: ARU DATE: 4-5-96
CHECKED BY: G.S. DATE: 4-5-96

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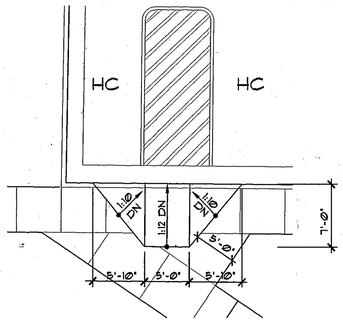
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: IRRIGATION PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

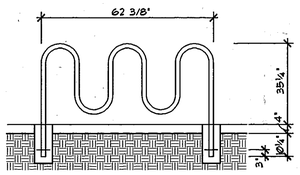
City Project No.	Zone Map No.	Sheet
4754.91	G-22	36 Of 56 H-C7

DRAWN BY: JPG \ ARU DATE: 6-13-97
FILE NAME: R27-IRR SCALE: 1" = 30'



1 H.C. CURB CUT

SCALE : 1/8" = 1'-0"



2 BIKE RACK

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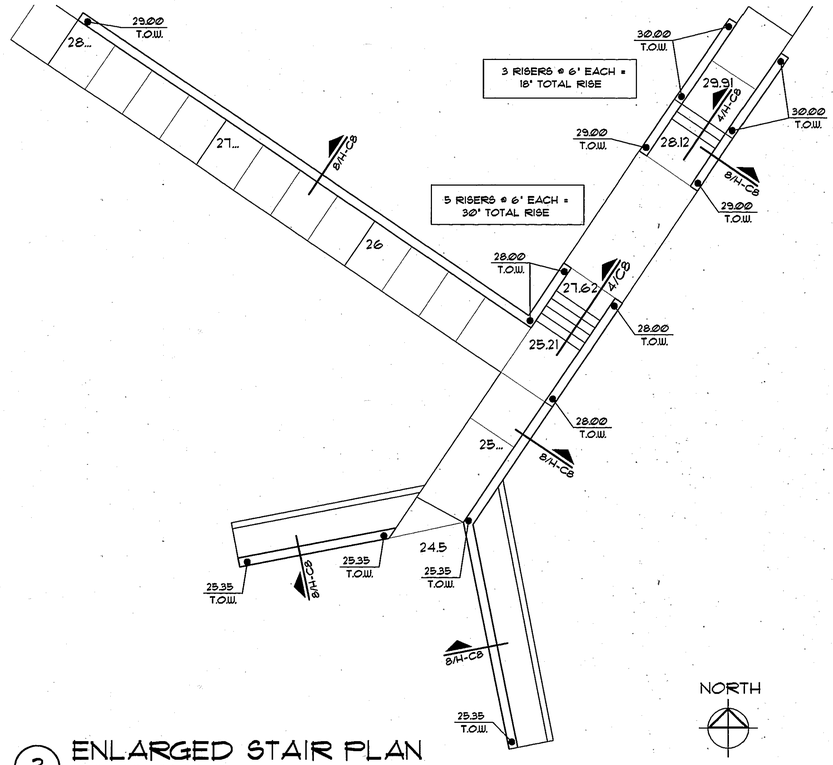
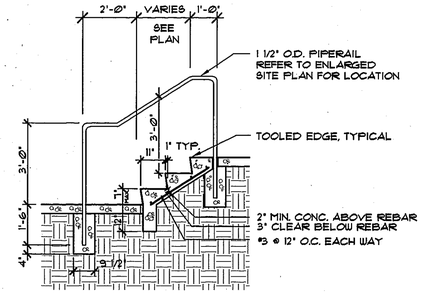


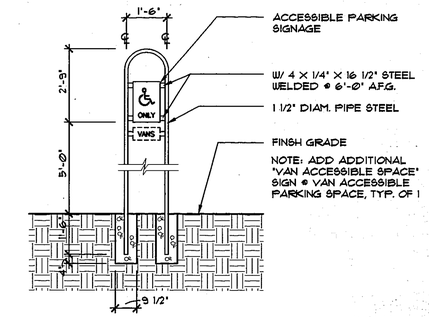
3 ENLARGED STAIR PLAN

SCALE : 1/8" = 1'-0"



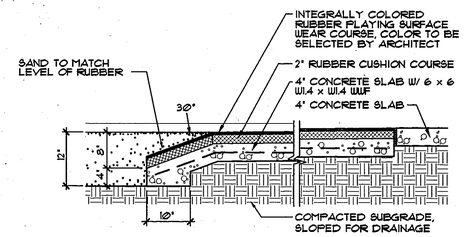
4 TYP. STAIR SECTION

SCALE : 3/8" = 1'-0"



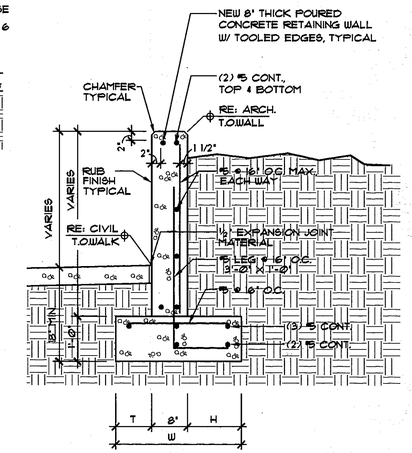
5 SIGN DETAIL

SCALE : 3/8" = 1'-0"



6 RUBBER PLATFORM

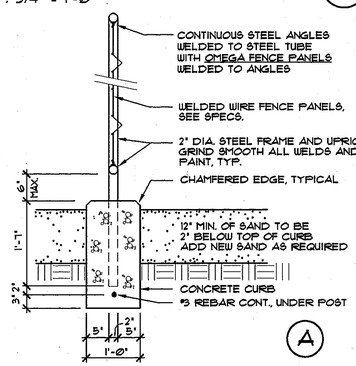
SCALE: 3/4" = 1'-0"



FOOTING SCHEDULE			
HEIGHT	'T'	'H'	'W'
0 - 2'-0"	4"	8"	1'-8"
2' - 4'-0"	8"	1'-8"	3'-0"

8 CONC. RETAINING WALL

SCALE : 3/4" = 1'-0"



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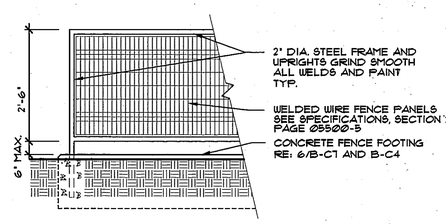
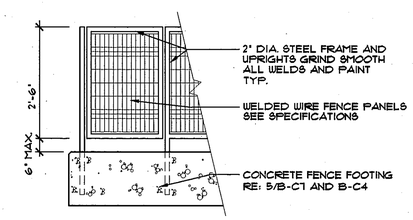


B

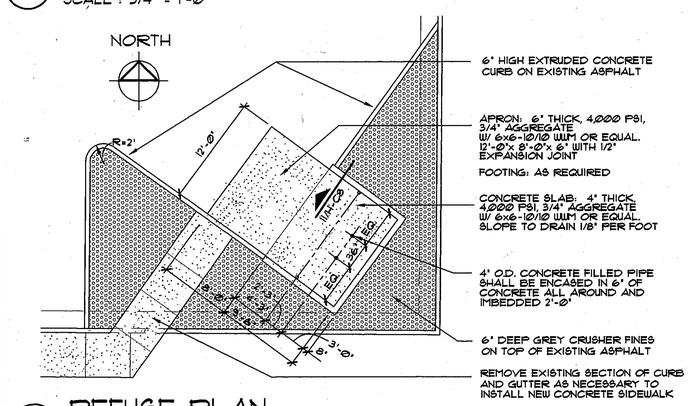
7 PLAY AREA FENCE SECTION AND DETAIL

SCALE : 3/4" = 1'-0"



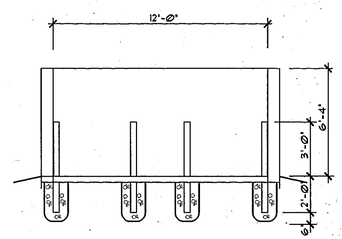
12 GATE ELEVATION

SCALE : 1 1/2" = 1'-0"



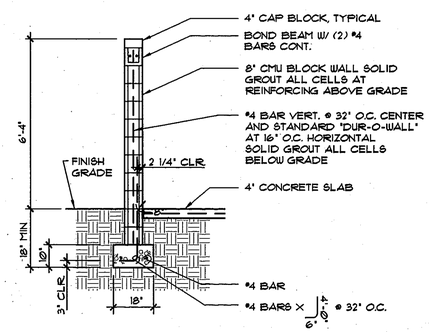
9 REFUSE PLAN

SCALE : 1/8" = 1'-0"



10 REFUSE SECTION

SCALE : 1/4" = 1'-0"



11 REFUSE SECTION

SCALE : 3/8" = 1'-0"

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 6-20-97
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

BENCH MARK

THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "I-G22", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD. ABOUT 150' EAST OF THE JUCNTION WITH CHELWOOD.

ELEVATION = 5750.35' (M.S.L.D.)

T.B.M.

A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

REVISIONS/REMARKS			BY
NO.	DATE	AS-BUILTS	MSH
1	6-20-97		

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: MSH/JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: SITE DETAILS
HOLIDAY PARK SHELTER CENTER EXPANSION

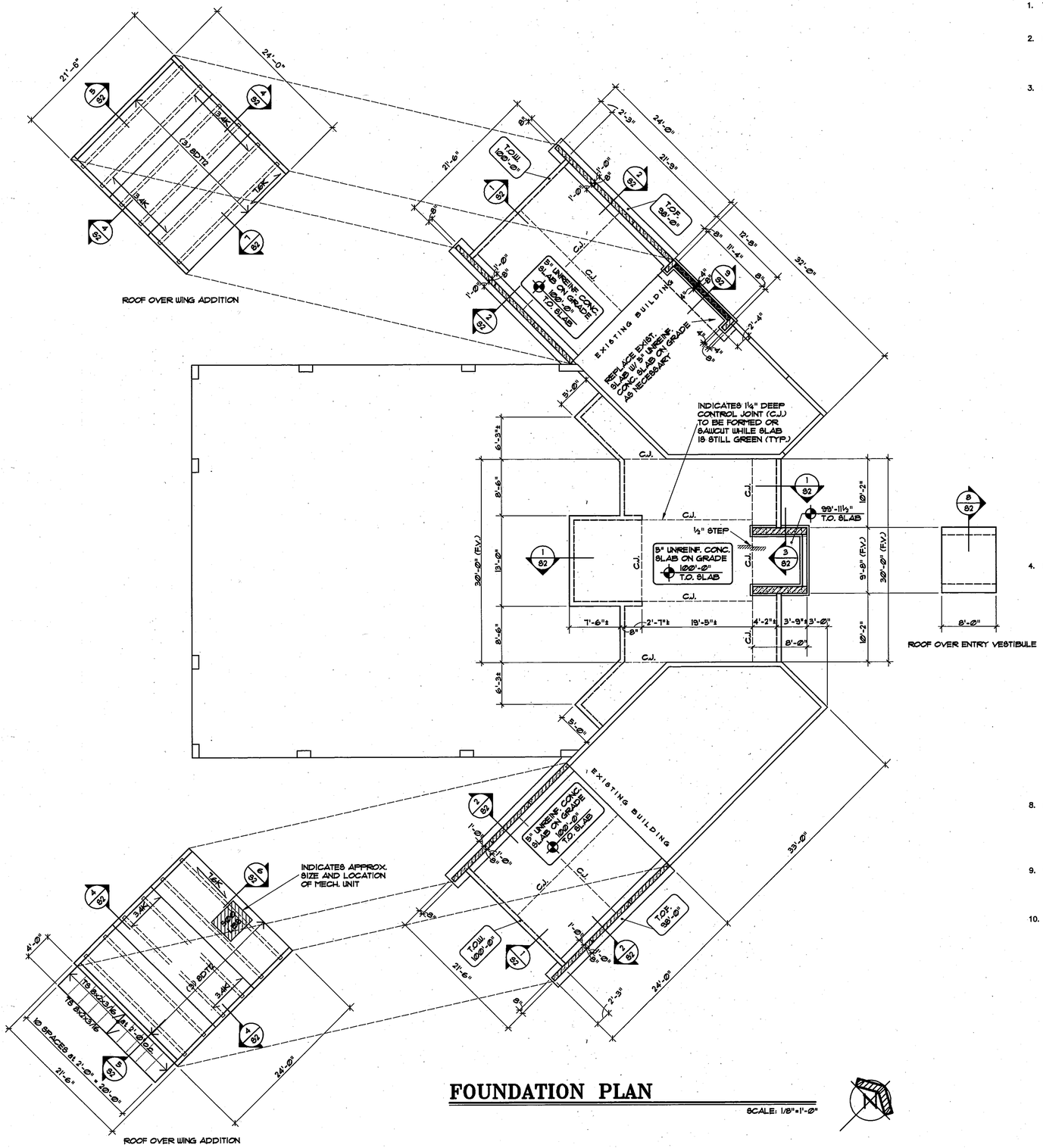
Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	37 Of 56

H-C8

DRAWN BY: MSH/JPG
DATE: 6-13-97
FILE NAME: RDS-DTLS
SCALE: 3/4" = 1'

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 3797



FOUNDATION PLAN

SCALE: 1/8"=1'-0"

GENERAL NOTES

1. These general notes apply to all structural drawings and supplement the project specifications which shall be referred to for additional requirements. This project is designed in accordance with the Uniform Building Code 1991 Edition.
2. Live Loads Used in design:
   A. Roof: . . . . . 20 psf
   B. Wind: Basic Wind Speed . . . . 75 mph
      Exposure . . . . . 'C'
   C. Seismic Zone . . . . . 2B (UBC)
3. Concrete:
   A. Concrete has been designed and shall be constructed in accordance with the American Concrete Institute "Building Code Requirements, Reinforced Concrete" (A.C.I. 318–89) and (A.C.I. 301–89) "Specifications for Structural Concrete for Buildings." Section 1.3 "Inspection" of A.C.I. 318–89 is deleted in its entirety, see "Field Observations" paragraph of these general notes. All concrete shall be of stone aggregate, unless noted otherwise. Minimum 28–day compressive strength shall be 3000 psi.
   See specifications for additional durability requirements.
   B. Reinforcing is to be new billet steel A.S.T.M. A615, grade 60, except bars to be bent or welded in the field shall be grade 40. Provide corner bars to match all horizontal reinforcing in cast–in–place walls. Provide not less than 2–#5 around all sides of all openings in concrete and extend 2'–0" past edges of openings. No splices of reinforcement are permitted except as detailed or authorized by Structural Engineer. Where permitted, use contact lap splices, 40 bar diameters minimum. Welded wire fabric shall be in accordance with A.S.T.M. A185. Lap (1) full mesh–minimum at splices. No welding of reinforcement permitted unless detailed.
   C. Placing of Reinforcement: Provide chairs, bolsters, additional reinforcement, and accessories necessary to support reinforcement at position shown on drawings. Support of reinforcement on form ties, wood, brick, or other unacceptable material, will not be permitted.
   D. The following minimum concrete cover over reinforcing shall be provided unless detailed otherwise:
      (1) Concrete cast against and permanently exposed to earth . . . . . 3 in.
      (2) Concrete exposed to earth or weather
         a. #6 bars and larger . . . . . 2 in.
         b. #5 bars and smaller . . . . 1–1/2 in.
      (3) Concrete not exposed to earth or weather
         a. #11 bars and smaller . . . . . 3/4 in.
      (4) Beams
         Ties, stirrups or primary reinforcement with ties stirrups or spirals . . . . . 1–1/2 in.
   E. Precast Prestressed Concrete:
      (1) Precast, prestressed concrete units shall be designed in accordance with the requirements of A.C.I. 318–89.
      (2) Minimum concrete strength at the time of transfer of prestress force to concrete shall be 3,500 psi
      (3) Wire strand for prestressing shall conform to ASTM A416, Grade 270K, low relaxation.
      (4) Prestressed units shall be designed by the manufacturer to meet the following criteria.
         (A) Superimposed Dead Loads . . . . . 25 psf
         (B) Superimposed Live Loads . . . . . 20 psf
         (C) Maximum bottom fiber tension 848 psi.
         (D) Normal weight aggregate.
         The design calculations and shop drawings shall be prepared under the supervision and bear the seal and signature of a professional engineer licensed to practice in the State of New Mexico and shall be submitted for review by the structural engineer.
4. Steel:
   A. Structural steel, including cast in angles, plates or other sections shall be detailed and erected in accordance with the American Institute of Steel Construction (A.I.S.C.) Specifications and Code of Standard Practice. Minimum yield strength 35 ksi for pipes, 46 ksi for tubes, 36 ksi for all others.
   B. Connections:
      (1) Use standard framed beam connections meeting requirements of "Manual of Steel Construction" Ninth Edition. Use 3/4" diameter minimum A307 bolts (or welded equivalent).
      (2) Minimum welds per A.I.S.C. Specification, not less than 3/16" fillet, continuous, using E70XX electrodes, unless noted otherwise. Welding of rebar anchors to angles or plates shall be done to develop 1.5 times the yield strength of the reinforcing bar.
      (3) Delete the sentence in Section 4.2.1 of the "AISC Code of Standard Practice for Steel Buildings and Bridges" which reads "This approval constitutes the owner's acceptance of all responsibility for the design adequacy of any detail configuration of connections developed by the fabricator as part of his preparation of these shop drawings."
   C. Headed Stud Connectors:
      (1) Conform to AWS D1.1. Headed connectors shall be automatically and welded. All studs are to be shop welded. See specifications for testing requirements.
8. Foundations:
   A. The structure shall be founded on spread footings placed on undisturbed natural soils or compacted fill with a maximum allowable bearing pressure of 1500 psf.
   B. Refer to soil report #95–1–109, dated 05–19–95, prepared by Vinyard & Assoc., Inc., Albuquerque, New Mexico for other pertinent soils information. The contractor shall be fully familiar with all aspects of the soil report before beginning construction.
9. Field Observations:
   A. The contractor shall inform the Structural Engineer at least 48 hours prior to casting any concrete so as to allow the Structural Engineer the opportunity to review the placement of reinforcement and embedments.
   B. Contact Neujahr & Gorman, Inc. 1–303–377–2732.
10. Coordination:
   A. All dimensions on structural drawings shall be checked against architectural drawings and any discrepancies shall be brought to the attention of the architect immediately. Refer to mechanical, electrical and architectural drawings for openings not shown on structural drawings.
   B. Shop drawings shall be prepared by the fabricator. Copying of these construction documents for use as shop drawings will not be permitted.

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(505) 247-1168, Fax: 247-0262

NO.	DATE	REVISIONS/REMARKS	BY
1	6-28-91	AS-BUILTS	MCJ

DESIGNED BY: M.C.J. DATE: 5-24-96
DRAWN BY: R.C.B. DATE: 5-24-96
CHECKED BY: M.C.J. DATE: 5-24-96

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY M.C.J. DATE: 6-28-91
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

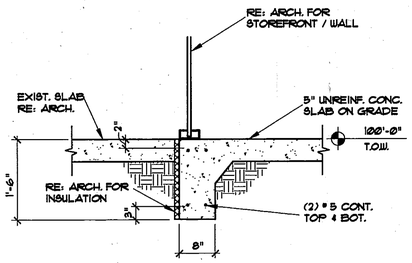
TITLE: FOUNDATION AND ROOF FRAMING PLANS
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

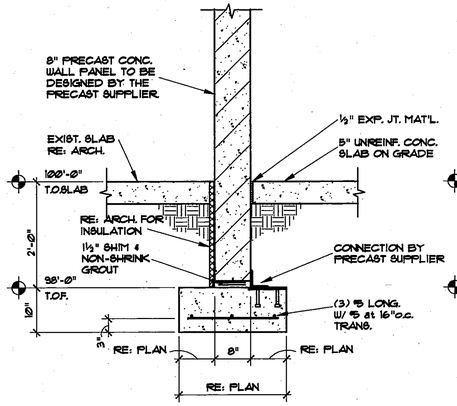
City Project No.	Zone Map No.	Sheet 38 Of 56
4754.92	G-22	H-S1

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92-3897

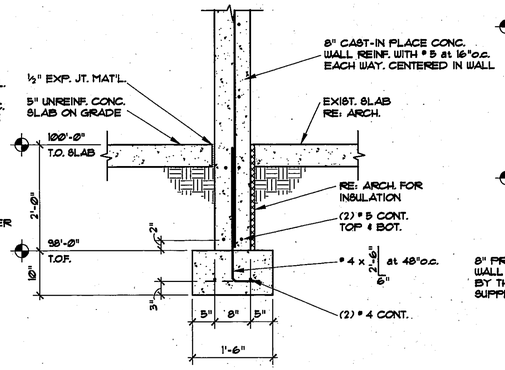
Project: HOLIDAY PARK	I.No.95140	Date Started: 5/30/95	Plot Files: 95140-S1
Engineer: S.G.N.	Draftsman: S.G.N.	Date Completed:	



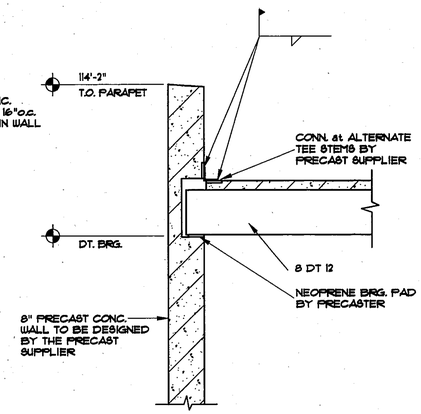
1 / S2 ALTERNATE FOUNDATION DETAIL
3/4"=1'-0"



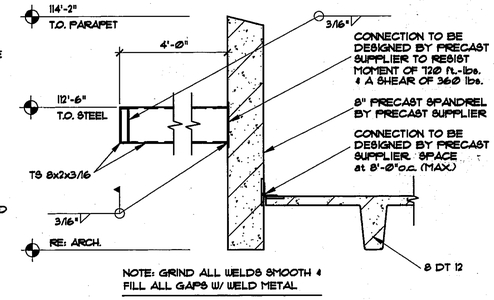
2 / S2 FOUNDATION DETAIL
3/4"=1'-0"



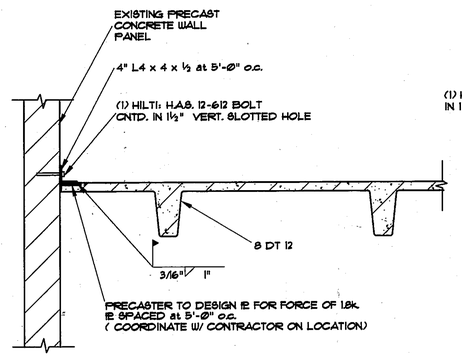
3 / S2 FOUNDATION DETAIL
3/4"=1'-0"



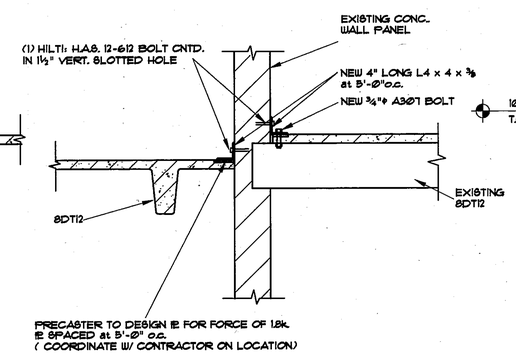
4 / S2 ROOF FRAMING DETAIL
3/4"=1'-0"



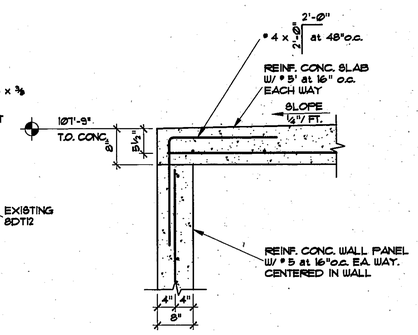
5 / S2 ROOF FRAMING DETAIL
3/4"=1'-0"



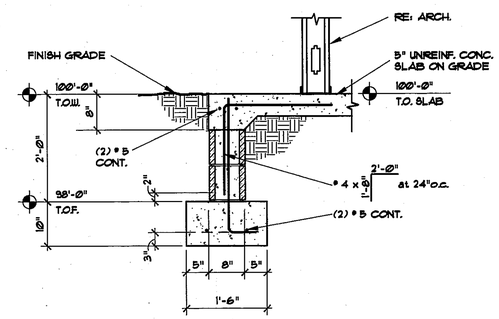
6 / S2 ROOF FRAMING DETAIL
3/4"=1'-0"



7 / S2 ROOF FRAMING DETAIL
3/4"=1'-0"



8 / S2 ENTRY ROOF DETAIL
3/4"=1'-0"



9 / S2 FOUNDATION DETAIL
3/4"=1'-0"

Project: HOLIDAY PARK	No. 95140	Date Started: 5/30/95	Plot Files: 95140-S2
Engineer: S.G.N.	Draftsman: S.G.N.	Date Completed:	

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY M.C.J. DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MCJ

DESIGNED BY: M.C.J. DATE: 5-24-96
DRAWN BY: R.C.B. DATE: 5-24-96
CHECKED BY: M.C.J. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: FOUNDATION AND FRAMING DETAILS
HOLIDAY PARK SHELTER CENTER EXPANSION

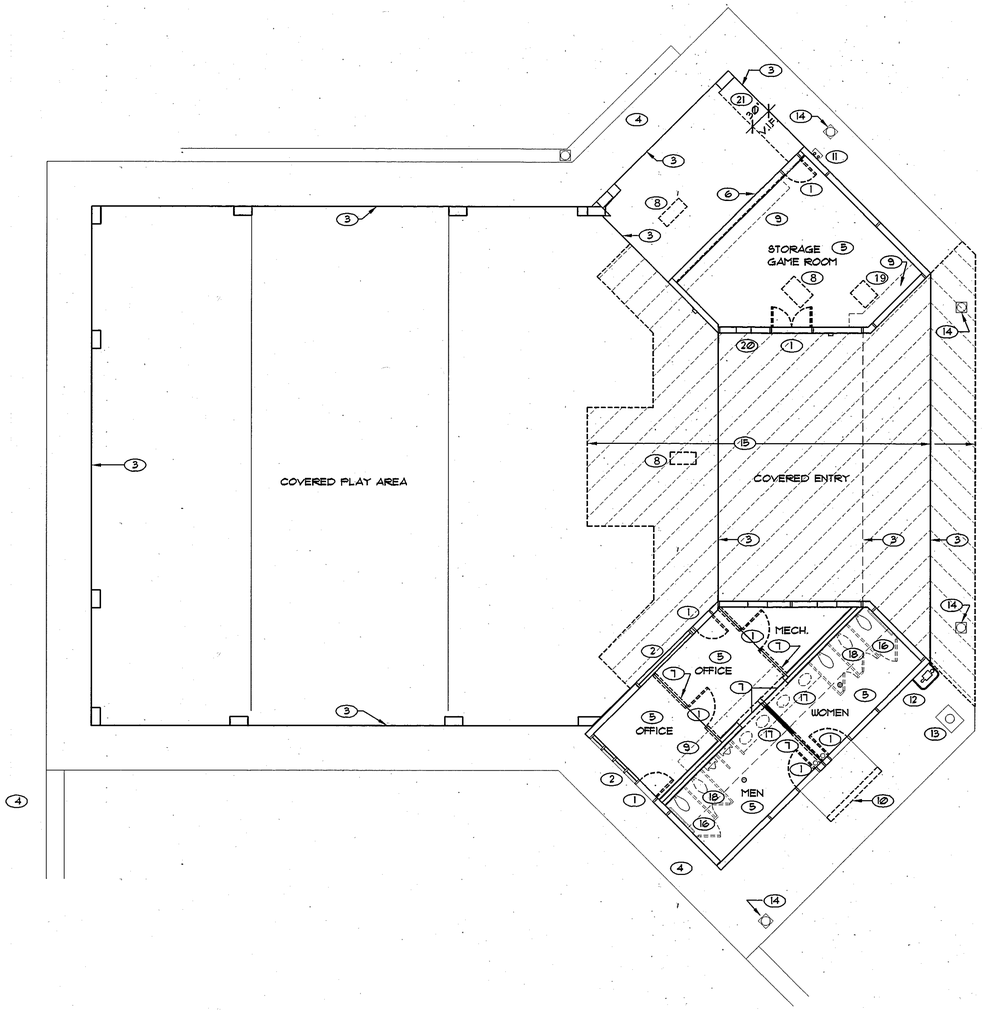
Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet 39 Of 56
4754.92	G-22	H-S2

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 3997

KEYED NOTES

1. REMOVE EXISTING DOOR AND FRAME (W/ SIDELITE WHERE APPLICABLE) AND SALVAGE FOR REUSE.
2. REMOVE EXISTING WINDOW AND FRAME.
3. ROOF LINE, ABOVE
4. REFER TO SITE DEMOLITION PLAN (SHEET H-C5) FOR REMOVALS OUTSIDE OF BUILDING.
5. REMOVE VINYL COMPOSITION TILE OR CARPET
6. REMOVE BLOCK MASONRY INFILL PARTITION.
7. REMOVE EXISTING PARTITION
8. CUT OPENING IN PRECAST CONCRETE ROOF DECK FOR ROOF ACCESS HATCH OR MECHANICAL DUCTS, VERIFY SIZE WITH ROOF HATCH AND MECH. SUBMITTALS PRIOR TO CUTTING OPENING
9. REMOVE STORAGE CABINETS
10. REMOVE CONCRETE PANEL COMPLETE (VERIFY IN FIELD)
11. EXISTING ELECTRIC METER
12. EXISTING GAS METER
13. EXISTING WATER METER
14. RUN-OFF DRAIN, TYPICAL
15. CUT AND REMOVE CONCRETE SLABS
16. REMOVE TOILET PARTITIONS AS SHOWN
17. REMOVE LAVATORIES FOR RELOCATION AND REUSE
18. ONE WATER CLOSET TO BE REMOVED FROM EACH RESTROOM
19. REMOVE HEATER ABOVE
20. SPRINKLER CONTROLS, TO BE RELOCATED OUTSIDE BUILDING
21. CUT AND REMOVE CONCRETE SLAB WITH TURN DOWN EDGE



1 DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

NORTH

GENERAL NOTES

1. THE CONTRACTOR SHALL CAREFULLY COORDINATE ALL EXISTING CONSTRUCTION SLATED FOR REMOVAL WITH THE PLAN FOR NEW CONSTRUCTION TO ENSURE ALL EXISTING CONSTRUCTION INTENDED TO REMAIN IS MAINTAINED INTACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FULL EXTENT OF ALL EXISTING CONSTRUCTION TO BE REMOVED. DEMOLITION PLANS ARE INTENDED AS A REFERENCE ONLY FOR PURPOSES OF IDENTIFYING PORTIONS OF EXISTING BUILDING AND SITE AREAS AFFECTED BY NEW CONSTRUCTION.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING CONSTRUCTION TO REMAIN FROM ANY DAMAGE DURING THE DEMOLITION PROCESS.
3. ALL DEMOLISHED MATERIALS SHALL BE LEGALLY DISPOSED OF IN AN APPROVED OFF-SITE LOCATION.
4. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR UNFORESEEN CONFLICTS BETWEEN THE PROPOSED WORK AND THE ACTUAL JOB CONDITIONS PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK IN QUESTION.
5. ALL DOORS AND DOOR FRAMES SCHEDULED FOR REMOVAL AND REINSTALLATION UNDER THIS CONTRACT SHALL BE CAREFULLY REMOVED AND PROTECTIVELY STORED UNTIL REINSTALLATION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

PARTITION TYPES ON SHEET A-3 (1)

1. NON-RATED 4 7/8"
   RATED 4 7/8" DENOTED BY HATCH PATTERN
   CONSTRUCTION: METAL STUD, GYPSUM WALLBOARD

   ONE LAYER 5/8" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES OR PARALLEL TO EACH SIDE OF 25 GAGE 3 5/8" METAL STUDS AT 24" O.C. WITH 1" TYPE 'S' DRYWALL SCREWS AT 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS. STAGGER ALL VERTICAL AND HORIZONTAL JOINTS. CONTINUE WALL ASSEMBLY TO UNDERSIDE OF STRUCTURAL DECK. CAULK ALL WALL PENETRATIONS AND PERIMETERS AT BOTH WALL FACES WITH ACOUSTICAL NON-SHRINK SEALANT.

2. NON-RATED 4 7/8"
   CONSTRUCTION: METAL STUD, GYPSUM WALLBOARD

   ONE LAYER 5/8" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES OR PARALLEL TO EACH SIDE OF 25 GAGE 3 5/8" METAL STUDS AT 24" O.C. WITH 1" TYPE 'S' DRYWALL SCREWS AT 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS. STAGGER ALL VERTICAL AND HORIZONTAL JOINTS. CONTINUE WALL ASSEMBLY TO UNDERSIDE OF CEILING, SOFFIT, OR EXISTING CONSTRUCTION ABOVE. CAULK ALL WALL PENETRATIONS AND PERIMETERS AT BOTH WALL FACES WITH ACOUSTICAL NON-SHRINK SEALANT.

3. NON-RATED 4 7/8"
   CONSTRUCTION: METAL STUD, GYPSUM WALLBOARD

   ONE LAYER 5/8" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES OR PARALLEL TO EACH SIDE OF 25 GAGE 3 5/8" METAL STUDS AT 24" O.C. WITH 1" TYPE 'S' DRYWALL SCREWS AT 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS. STAGGER ALL VERTICAL AND HORIZONTAL JOINTS. CONTINUE WALL ASSEMBLY TO 6" ABOVE PLANE OF CEILING. CAULK ALL WALL PENETRATIONS AND PERIMETERS AT BOTH WALL FACES WITH ACOUSTICAL NON-SHRINK SEALANT.

4. NON-RATED 4 1/4"
   CONSTRUCTION: METAL STUD, GYPSUM WALLBOARD

   ONE LAYER 5/8" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES OR PARALLEL TO ONE SIDE OF 25 GAGE 3 5/8" METAL STUDS AT 24" O.C. WITH 1" TYPE 'S' DRYWALL SCREWS AT 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS. STAGGER ALL VERTICAL AND HORIZONTAL JOINTS. CONTINUE WALL ASSEMBLY TO UNDERSIDE OF STRUCTURAL DECK. CAULK ALL WALL PENETRATIONS AND PERIMETERS WITH ACOUSTICAL NON-SHRINK SEALANT.

5. NON-RATED 4 1/4"
   CONSTRUCTION: METAL STUD, GYPSUM WALLBOARD

   ONE LAYER 5/8" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES OR PARALLEL TO ONE SIDE OF 25 GAGE 3 5/8" METAL STUDS AT 24" O.C. WITH 1" TYPE 'S' DRYWALL SCREWS AT 8" O.C. TO VERTICAL EDGES AND 12" O.C. TO TOP AND BOTTOM RUNNERS AND INTERMEDIATE STUDS. STAGGER ALL VERTICAL AND HORIZONTAL JOINTS. CONTINUE WALL ASSEMBLY TO UNDERSIDE OF CEILING OR SOFFIT. CAULK ALL WALL PENETRATIONS AND PERIMETERS WITH ACOUSTICAL NON-SHRINK SEALANT.

PARTITION NOTES

1. INSTALL FULL THICKNESS BATT SOUND ATTENUATION BLANKETS AT THE FULL PERIMETER OF THE TOILET ROOM. BUTT SOUND BLANKETS TIGHTLY TO AVOID GAPS AND EXTEND FOR FULL HEIGHT OF WALL TYPICALLY.
2. ALL TOILET ROOM AND SERVING AREA WALLS ADJACENT TO PLUMBING FIXTURES SHALL BE FINISHED IN WATER RESISTANT GYPSUM BOARD TYPICALLY.

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK
THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-G22", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD., ABOUT 150' EAST OF THE JUNCTION WITH CHELWOOD.
ELEVATION = 5750.35' (M.S.L.D.)
T.B.M.
A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: CH/JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: DEMOLITION PLAN AND PARTITION TYPES
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	40 Of 56 H-A1

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 40917

DRAWN BY: CH - JPG DATE: 6-13-97
FILE NAME: RJ1-ASBLT SCALE: 1 = 8'

ROOM FINISH SCHEDULE

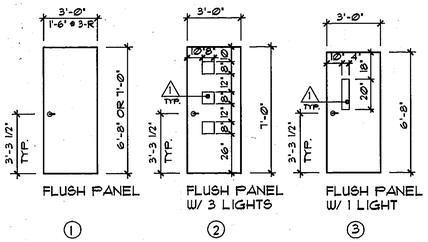
NO.	NAME	FLOOR: EXISTING TO REMAIN	FLOOR: V.C.T.	FLOOR: MUD MAT	BASE: EXISTING TO REMAIN	BASE: 4" VINYL COVE	BASE: NO BASE ON PRECAST	BASE: NONE	WALLS: EXISTING TO REMAIN	WALLS: EGGSHELL LATEX	WALLS: SEMI-GLOSS LATEX	CEILING: EXISTING TO REMAIN	CEILING: GYPSUM BOARD	CEILING: 2' X 4' LAY-IN ACOUST.	CEILING: EXP. STRUCTURE PAINT	CEILING: EXPOSED CONCRETE	CEILING HEIGHTS: GYP.BD.	CEILING HEIGHTS: EXPOSED
101	VESTIBULE			●				●		●						●	7'-2"	
102	MULTI-PURPOSE		●			●	●			●				●	●		8'-0"	13'-6" CLR.
103	OFFICE		●			●				●				●			8'-0"	
104	HALL		●			●				●					●			8'-0" CLR.
105	EQUIPMENT ROOM	●				●					●				●			8'-0" CLR.
106	WOMEN		●			●					●		●		●		6'-9"	8'-0" CLR.
107	MEN		●			●					●		●		●		6'-9"	8'-0" CLR.
108	JANITOR		●			●					●				●			8'-0" CLR.
109	TOILET		●			●					●		●		●		6'-9"	8'-0" CLR.
110	PRE-SCHOOL		●			●				●			●		●		6'-9"	8'-0" CLR.
111	STORAGE		●			●					●				●			8'-0" CLR.
112	CLASSROOM		●			●				●					●			8'-0" CLR.
113	GAME ROOM		●			●				●			●		●		7'-2"	8'-0" CLR.
114	HALL		●			●				●				●			8'-0"	

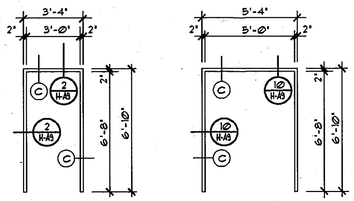
ROOM FINISH SCHEDULE REMARKS:

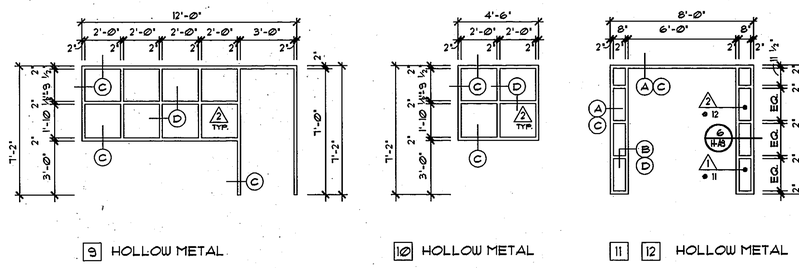
1. REPAIR CEILING AS REQUIRED FOR NEW WORK.

DOOR SCHEDULE

DOOR: NO.	DOOR: PR	DOOR: SIZE	DOOR: MATERIAL	DOOR: TYPE	FRAME: TYPE	FRAME: MATERIAL	FIRE RATING	HARDWARE: HDW SET	BUTTS	LOCK-SET	LATCH-SET	FLUSH-BOLT	MULLION	EXIT DEVICE	DOOR STOP	SWEEP	THRESH-HOLD	SMOKE OR WEATHER STRIP	ASTRA-GAL	CLOSER	KICK-PLATE	PUSH & PULL PLATES	REMARKS
1	●	3'0" X 7'0" X 1 3/4"	H.M.	2	12	H.M.		H1	●				●	●	●	●	●	●		●	●		
2	●	3'0" X 7'0" X 1 3/4"	H.M.	2	11	H.M.		H2	●						●					●	●	●	
3-L		3'0" X 6'8" X 1 3/4"	S.C.WOOD	1	B	H.M.	1 HR	H3	●	●					●			●	●	●	●		
3-R		1'6" X 6'8" X 1 3/4"	S.C.WOOD	1	-	-	1 HR	H3	●			●			●			●	●	●	●		
4		NOT USED																					
5		3'8" X 7'0" X 1 3/4"	H.M.	1	4	H.M.		H5	●					●	●	●	●	●		●	●		DOOR POSITION SWITCH (PREP. DOOR FRAME)
6		3'0" X 7'0" X 1 3/4"	S.C.WOOD	1	9	H.M.		H6	●	●					●								
7		3'0" X 7'0" X 1 3/4"	H.M.	1	6	H.M.		H5	●					●	●	●	●	●		●	●		DOOR POSITION SWITCH (PREP. DOOR FRAME)
8		3'0" X 6'8" X 1 3/4"	S.C.WOOD	3	A	H.M.		H4	●	●					●					●	●		
9		3'0" X 6'8" X 1 3/4"	S.C.WOOD	1	A	H.M.	1 HR	H11	●	●					●			●		●	●		
10		2'0" X 6'8" X 1 3/4"	S.C.WOOD	1	A	H.M.		H7	●						●					●	●	●	
11		3'0" X 6'8" X 1 3/4"	S.C.WOOD	1	A	H.M.		H7	●						●					●	●	●	
12		3'0" X 6'8" X 1 3/4"	S.C.WOOD	1	A	H.M.		H8	●	●					●			●		●			
13		3'0" X 6'8" X 1 3/4"	S.C.WOOD	1	A	H.M.		H9	●		●				●								
14		3'0" X 7'0" X 1 3/4"	H.M.	1	7	H.M.		H10	●	●					●	●	●	●	●	●	●		DOOR POSITION SWITCH (PREP. DOOR FRAME)
15		3'0" X 6'8" X 1 3/4"	S.C.WOOD	1	A	H.M.		H4	●	●					●					●	●		
16		3'0" X 6'8" X 1 3/4"	S.C.WOOD	1	A	H.M.		H4	●	●					●					●	●		







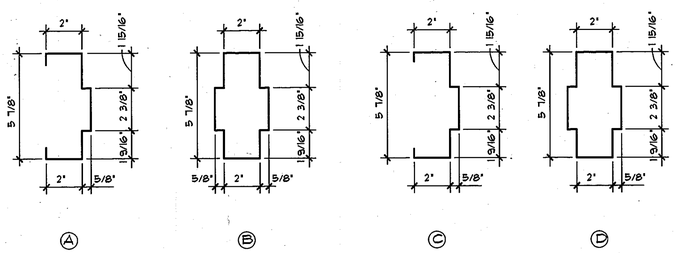
GLASS TYPES

1 1/4" LAMINATED GLASS (CORRESPONDS TO TYPE 8.1 IN SPEC.)

2 1/4" WIRED GLASS (CORRESPONDS TO TYPE 8.2 IN SPEC.)

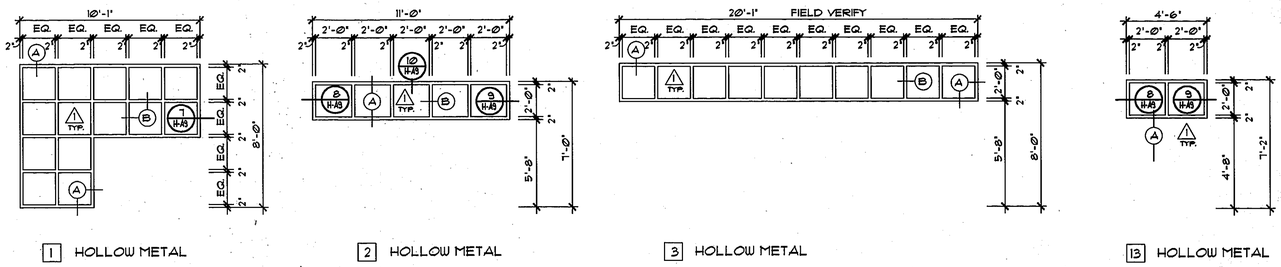
DOOR TYPES

SCALE: 1/4" = 1'-0"



DOOR FRAME TYPES

SCALE: 1/4" = 1'-0"

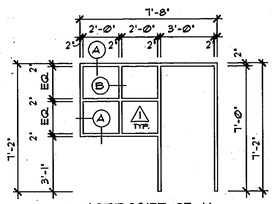


INTERIOR OPENING TYPES

SCALE: 1/4" = 1'-0"

EXTERIOR FRAMES

SCALE: 3" = 1'-0"

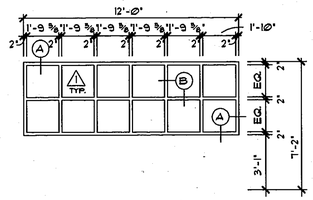


(OPPOSITE OF 4)

4 6 HOLLOW METAL

INTERIOR FRAMES

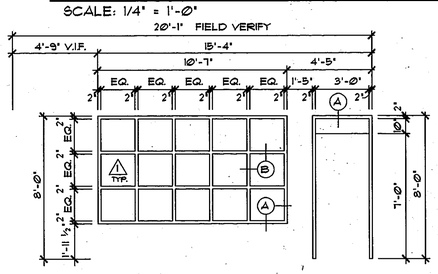
SCALE: 3" = 1'-0"



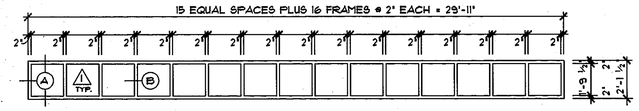
5 HOLLOW METAL

EXTERIOR OPENING TYPES

SCALE: 1/4" = 1'-0"



7 HOLLOW METAL



8 HOLLOW METAL

EXTERIOR OPENING TYPES

SCALE: 1/4" = 1'-0"

SURVEY INFORMATION	
FIELD NOTES	
NO.	BY

BENCH MARK	
THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED	
"1-G22", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND.	DATE
THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE	
RD. ABOUT 150' EAST OF THE JUNCTION WITH CHELWOOD.	
ELEVATION = 5750.35' (M.S.L.D.)	
A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE	
DRAWING. ELEVATION = 5732.58' (M.S.L.D.)	

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: Ch/JPG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: DOOR AND ROOM FINISH SCHEDULES
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

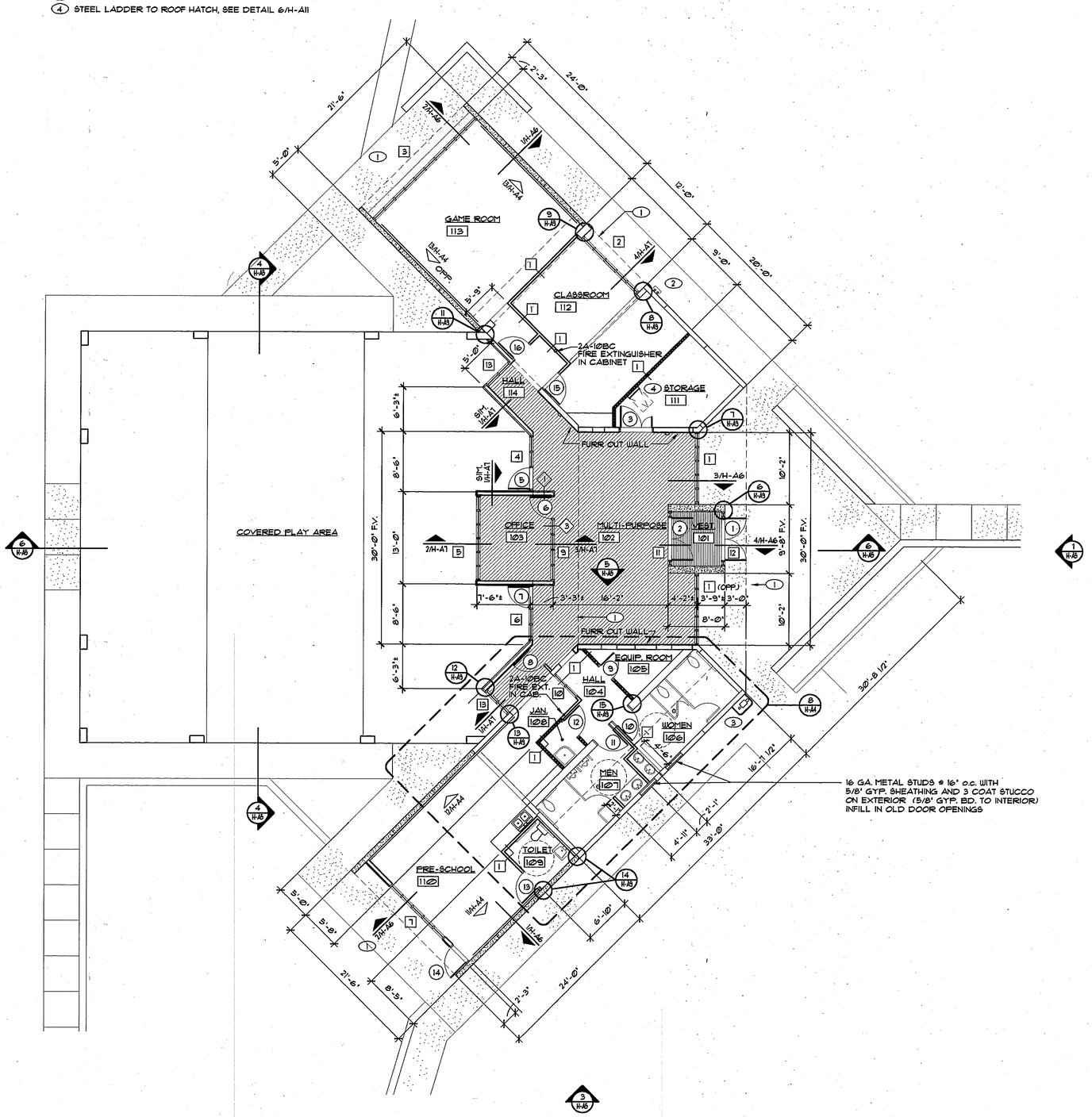
City Project No.	Zone Map No.	Sheet
4754.92	G-22	41 Of 56 H-A2

DRAWN BY: CHRIS DATE: 6-13-97
FILE NAME: R22-SCHD SCALE: 1" = 4"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-47544.92 4/1/97

KEYED NOTES

1. LINE OF WALL OR EXTERIOR SOFFIT ABOVE.
2. EXISTING ELECTRIC METER
3. EXISTING GAS METER
4. STEEL LADDER TO ROOF HATCH, SEE DETAIL 6/H-A11



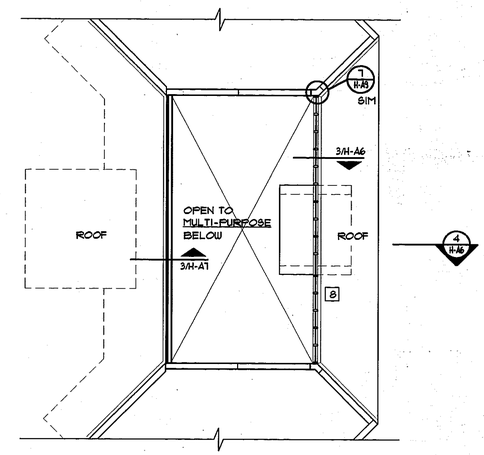
1 FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS AT NEW INTERIOR WALLS, THE FACE OF BLOCK OR SHEATHING AT NEW EXTERIOR WALLS, AND THE FACE OF FINISH AT EXISTING EXTERIOR WALLS.
2. REFER TO THE CIVIL DRAWINGS FOR ALL INFORMATION PERTAINING TO THE CONSTRUCTION OF SITE WALLS, SIDEWALKS, AND OTHER SITE FEATURES.
3. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE, AS A MINIMUM STANDARD, WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE CONSTRUCTION DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS INDICATED PRIOR TO PROCEEDING WITH THE CONSTRUCTION ASSOCIATED WITH THIS CONTRACT. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONSTRUCTION DOCUMENTS, EXISTING PROJECT CONDITIONS AND/OR THE DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK IN QUESTION.

1 PARTITION TYPE, SEE SHEET H-A1



2 CLERESTORY PLAN

SCALE: 1/8" = 1'-0"

NORTH

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

BENCH MARK

THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-622", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD. ABOUT 150' EAST OF THE JUNCTION WITH CHELWOOD.

ELEVATION = 5750.35' (M.S.L.D.)

T.B.M.

A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

AS BUILT INFORMATION

CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 6-20-97

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY:	G.S.	DATE: 5-24-96
DRAWN BY:	Ch/JG	DATE: 5-24-96
CHECKED BY:	G.S.	DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

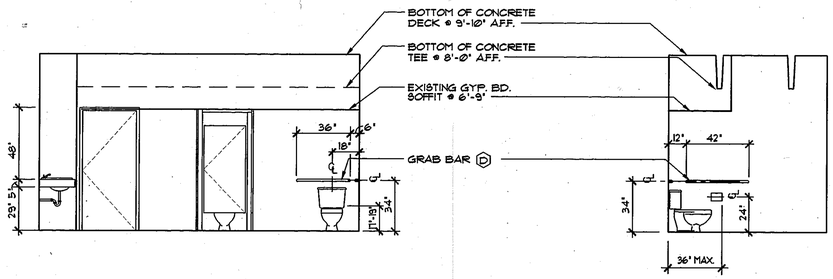
TITLE: FLOOR PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	42 Of 56 H-A3

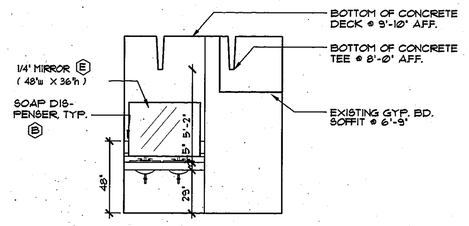
26-4754.92 4297

DRAWN BY: JPG/CHRIS
FILE NAME: RA3-PLAN
DATE: 6-20-97
SCALE: 1" = 8'



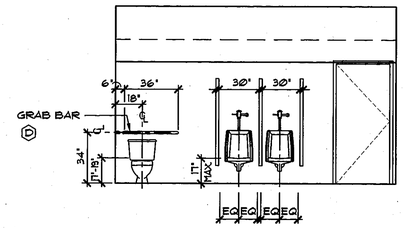
1 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



2 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



3 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

4 INTERIOR ELEVATION

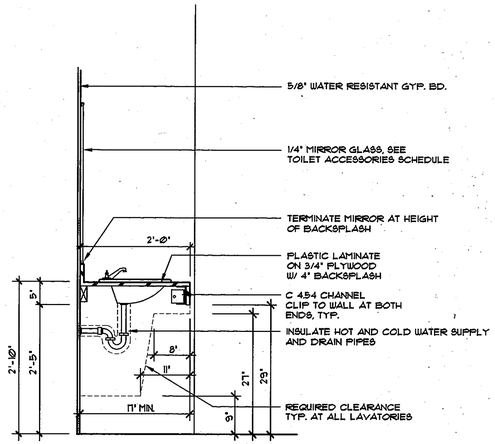
SCALE: 1/4" = 1'-0"

TOILET ACCESSORIES SCHEDULE

MARK	ITEM	DESCRIPTION		QTY.
(A)	BOBRICK B-36903	PAPER TOWEL DISPENSER WITH WASTE RECEPTACLE RECESSED WITH SATIN STAINLESS FINISH MOUNT TOP OF UNIT AT 50" A.F.F.		2
(B)	BOBRICK B-132	POWDERED SOAP DISPENSER SURFACE MOUNTED WITH SATIN STAINLESS FINISH		5
(C)	BOBRICK B-2130	TOILET PAPER DISPENSER - SINGLE ROLL SURFACE MOUNTED WITH ALUMINUM FINISH		4
(D)	BOBRICK B-6206-99	1 1/2" DIAMETER GRAB BARS - SIZE AS PER DRAWINGS SATIN STAINLESS FINISH W/ PEENED GRIP		6
(E)	BOBRICK B-290	STAINLESS STEEL FRAMED MIRROR	B-290-3636	1
			B-290-4836	2
(F)	BOBRICK B-3699	PAPER TOWEL DISPENSER WITH WASTE RECEPTACLE WALL MOUNTED WITH SATIN STAINLESS FINISH MOUNT TOP OF UNIT AT 50" A.F.F.		1

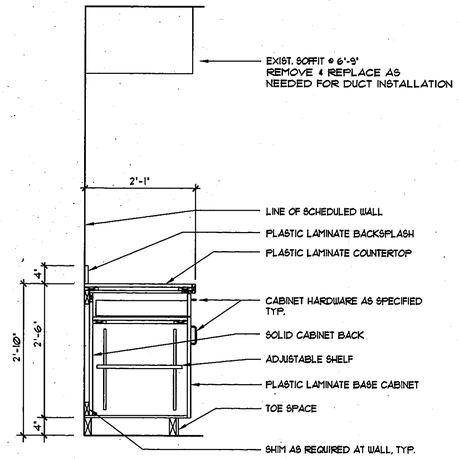
REMARKS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE AND APPROPRIATE WALL BLOCKING FOR THE MOUNTING OF ALL ACCESSORY ITEMS, TYPICALLY.



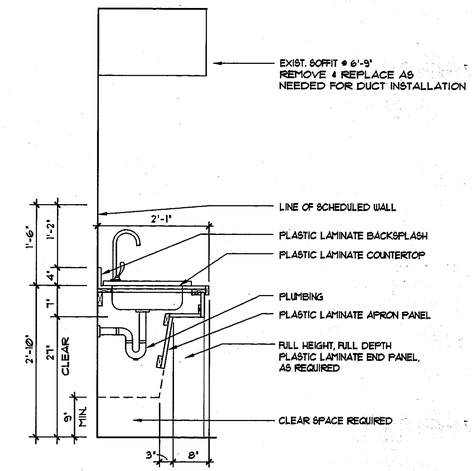
5 SECTION AT LAVATORY

SCALE : 3/4" = 1'-0"



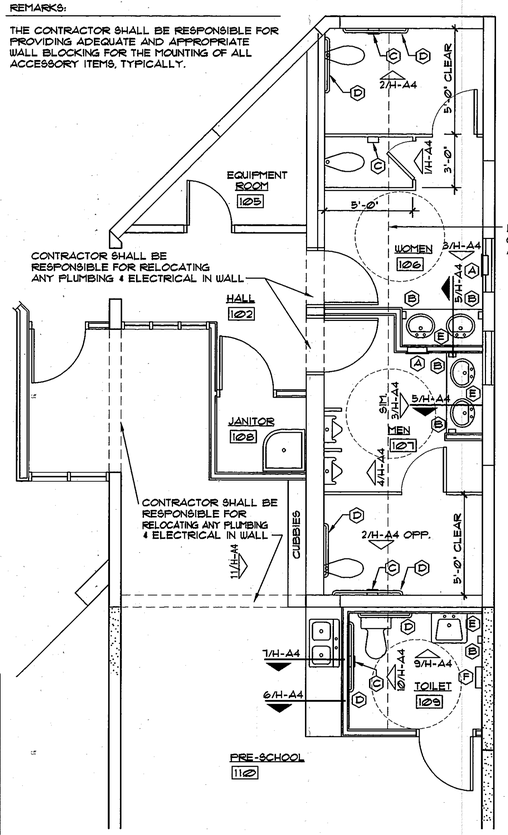
6 CASEWORK SECTION

SCALE : 3/4" = 1'-0"



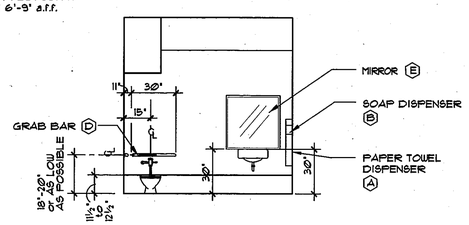
7 SECTION AT SINK

SCALE : 3/4" = 1'-0"



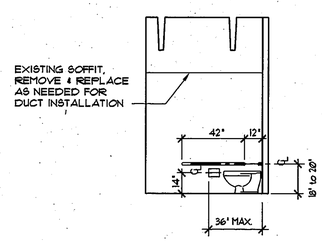
8 ENLARGED PLAN

SCALE : 1/4" = 1'-0"



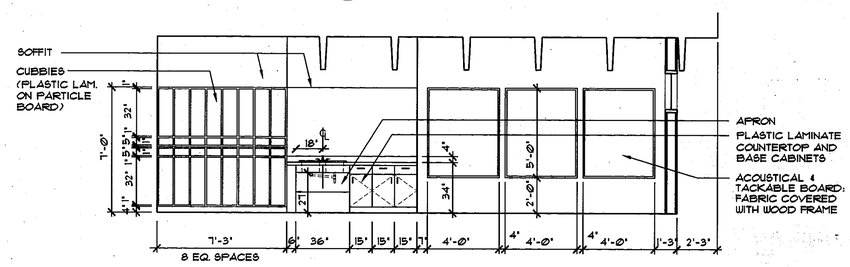
9 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



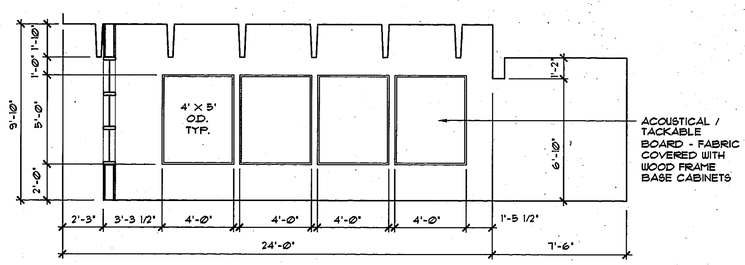
10 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



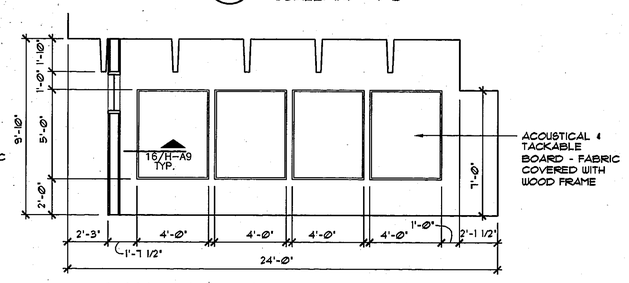
11 INT. ELEVATION

SCALE: 1/4" = 1'-0"



12 INTERIOR ELEVATION

SCALE : 1/4" = 1'-0"



13 INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.02 4307

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97

MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK
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ELEVATION = 5750.35' (M.S.L.D.)
T.B.M.
A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: CH / JG DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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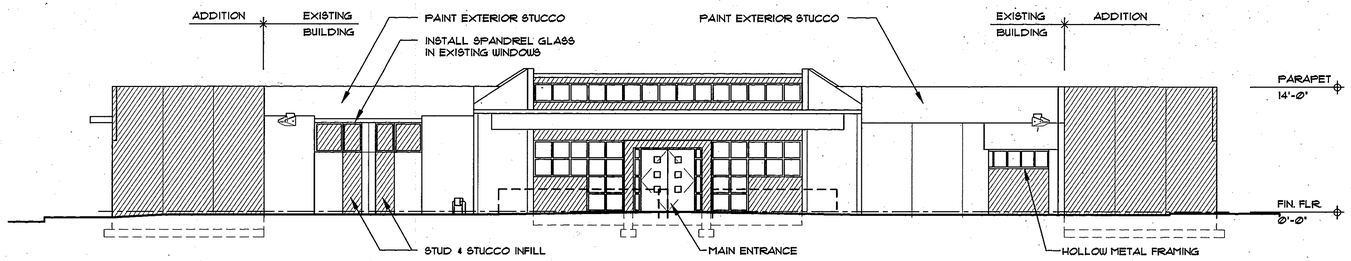
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: ENLARGED PLAN AND ELEVATIONS
HOLIDAY PARK SHELTER CENTER EXPANSION

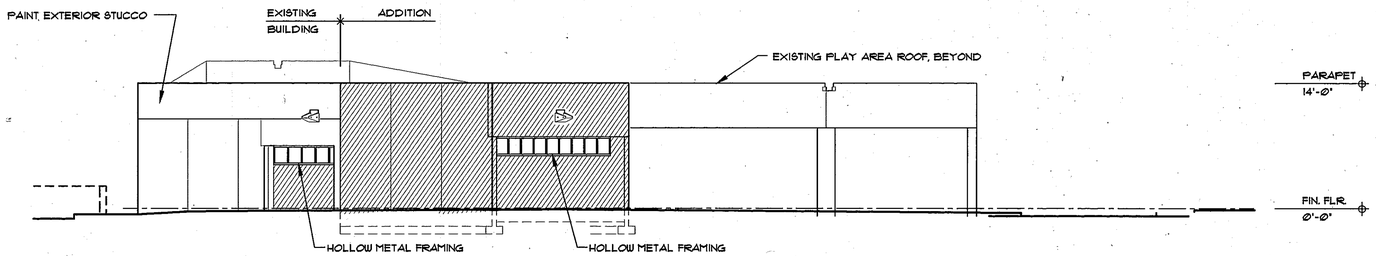
Design Review Committee | City Engineer Approval | Last Design Update | MO./DAY/YR. | MO./DAY/YR.

City Project No. 4754.92 | Zone Map No. G-22 | Sheet 43 Of 56 H-A4



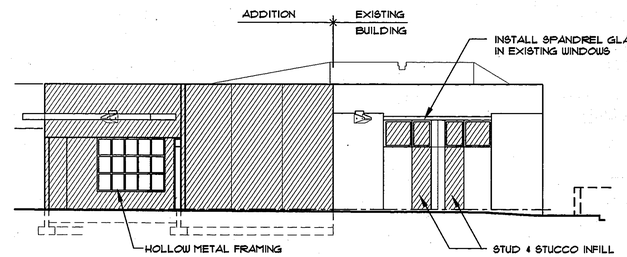
1 NORTHEAST ELEVATION

SCALE: 1/8" = 1'-0"



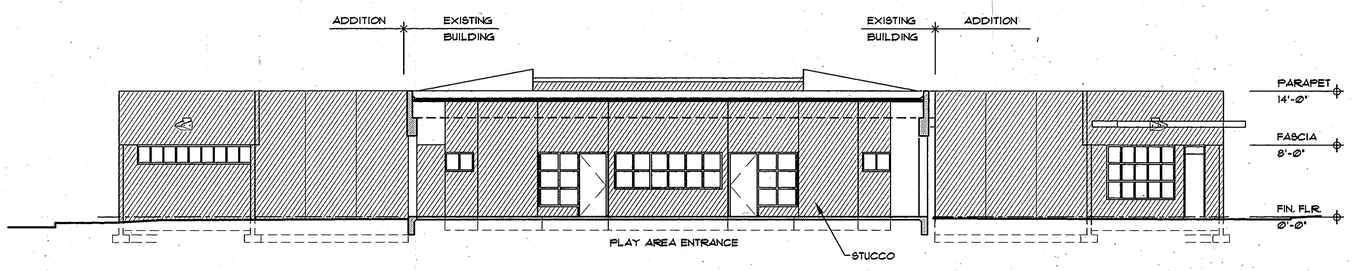
2 NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"



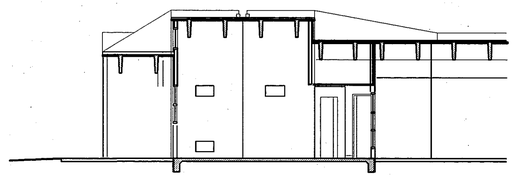
3 PARTIAL SOUTHEAST ELEVATION

SCALE: 1/8" = 1'-0"



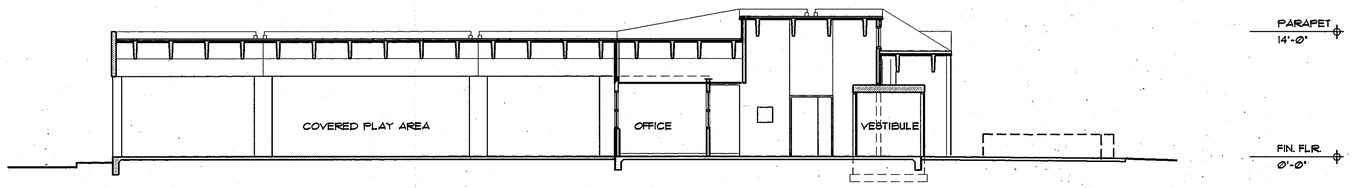
4 SOUTHWEST ELEVATION (SECTION THROUGH COVERED PLAY AREA)

SCALE: 1/8" = 1'-0"



5 INTERIOR ELEVATION (PARTIAL)

SCALE: 1/8" = 1'-0"



6 BUILDING SECTION

SCALE: 1/8" = 1'-0"

DRAWN BY: JRV / CH	DATE: 6-13-97
FILE NAME: RMS-ELEV	SCALE: 1" = 8'

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 6-20-97

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

BENCH MARK	
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SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY:	G.S.	DATE: 5-24-96
DRAWN BY:	J.G.	DATE: 5-24-96
CHECKED BY:	G.S.	DATE: 5-24-96

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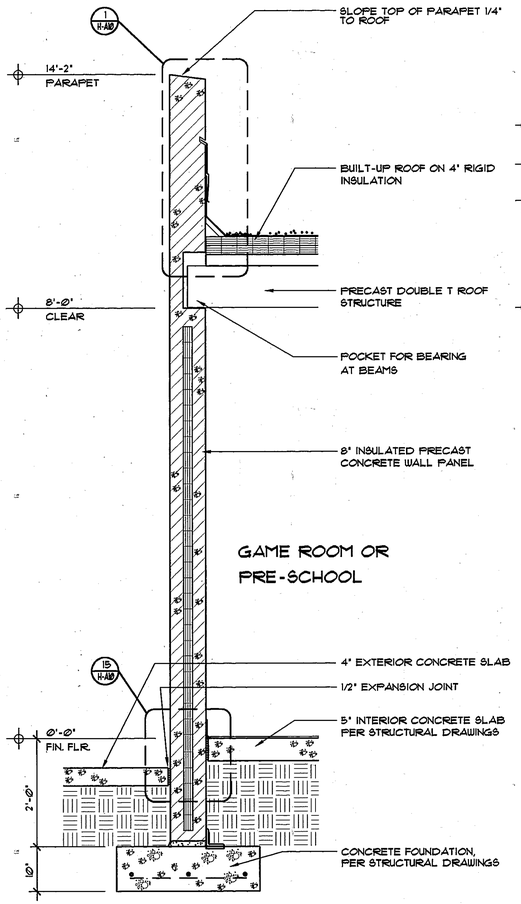
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: BUILDING ELEVATIONS AND SECTIONS
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

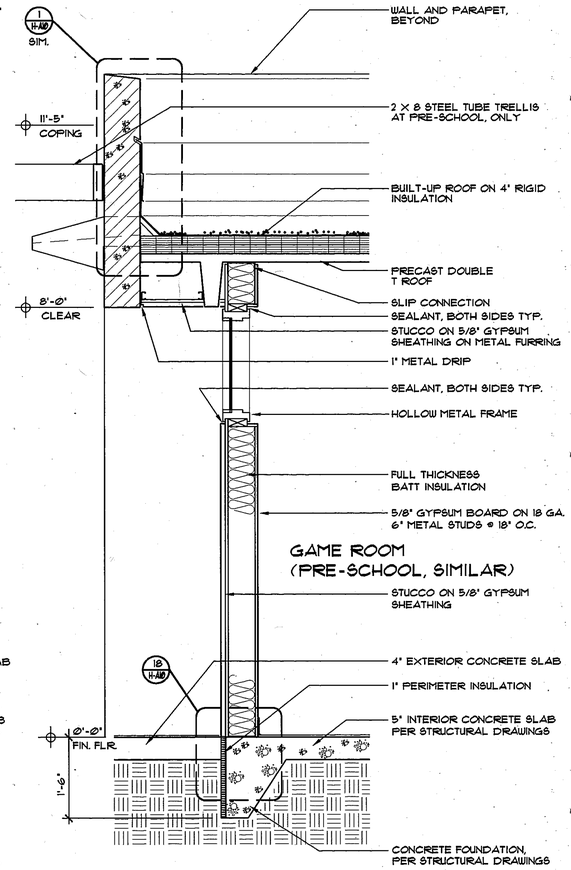
City Project No.	Zone Map No.	Sheet
4754.92	G-22	44 Of 56 H-A5

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
2 6 - 4 7 5 4 . 9 2 4 4 9 7



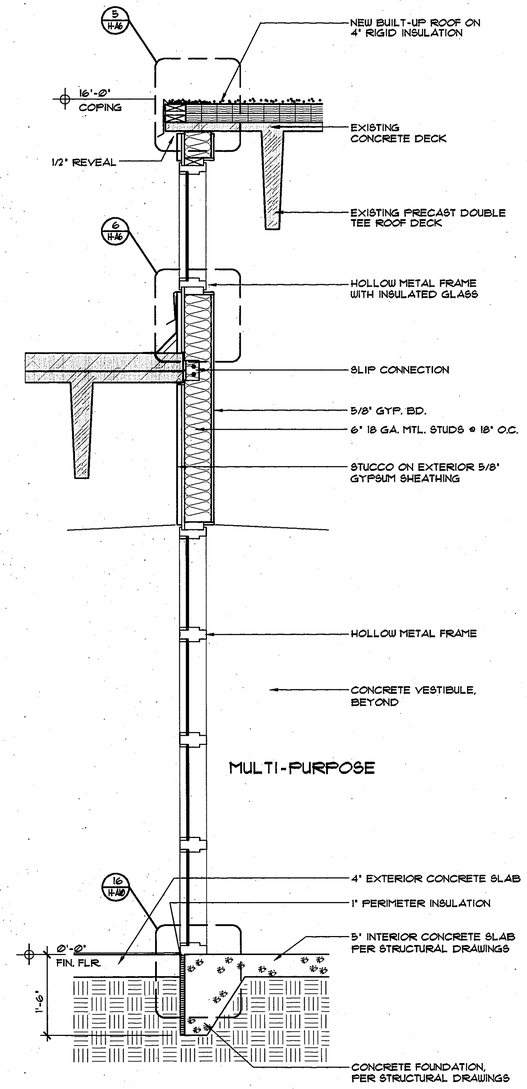
1 WALL SECTION

SCALE: 3/4" = 1'-0"



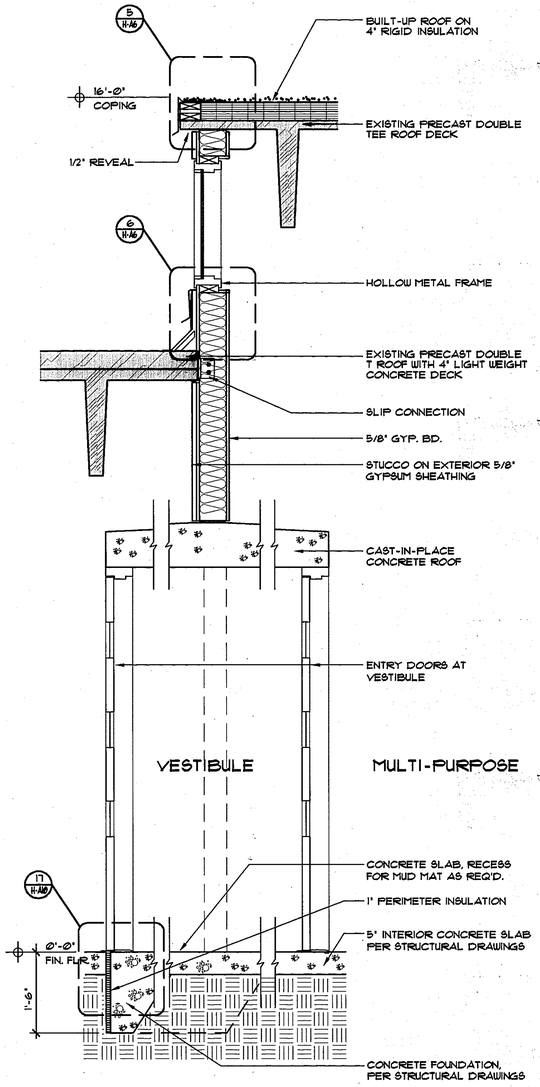
2 WALL SECTION

SCALE: 3/4" = 1'-0"



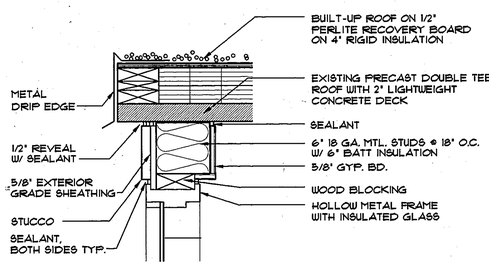
3 WALL SECTION

SCALE: 3/4" = 1'-0"



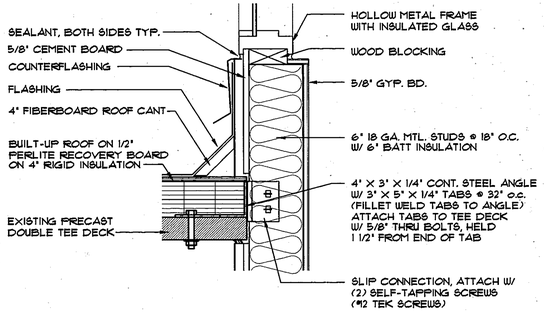
4 WALL SECTION

SCALE: 3/4" = 1'-0"



5 OVERHANG

SCALE: 1 1/2" = 1'-0"



6 SILL

SCALE: 1 1/2" = 1'-0"

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 6-20-97
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

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T. B. M.
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SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

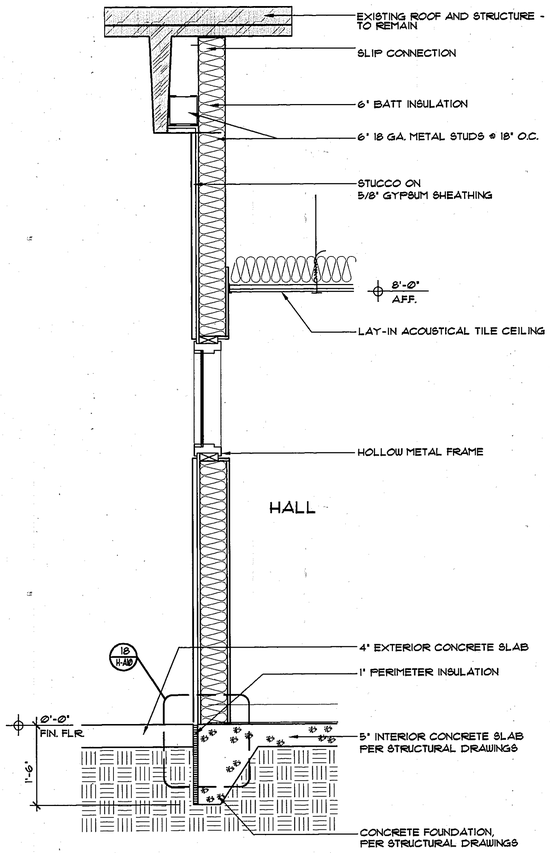
TITLE: WALL SECTIONS
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	45 Of 56 H-A6

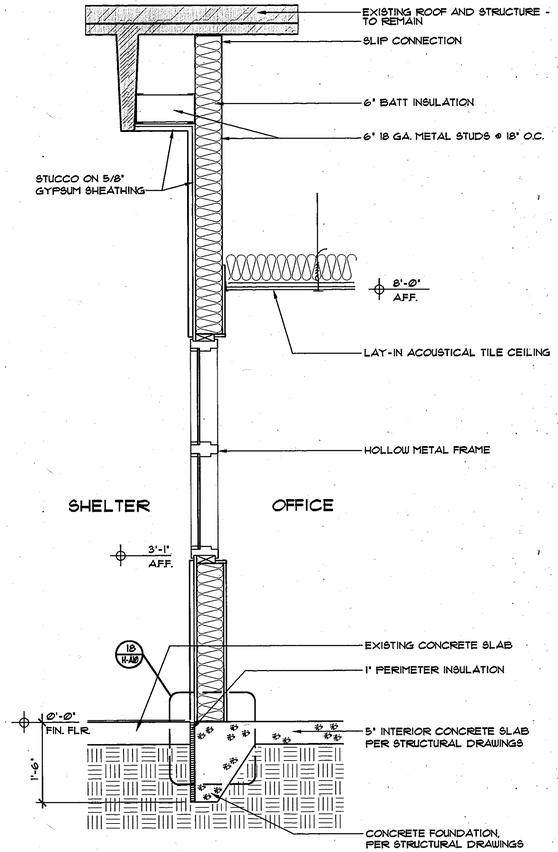
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 4597

DRAWN BY: JPC / CH
FILE NAME: BAR-WALL
DATE: 6-13-97
SCALE: 3/4" = 1'



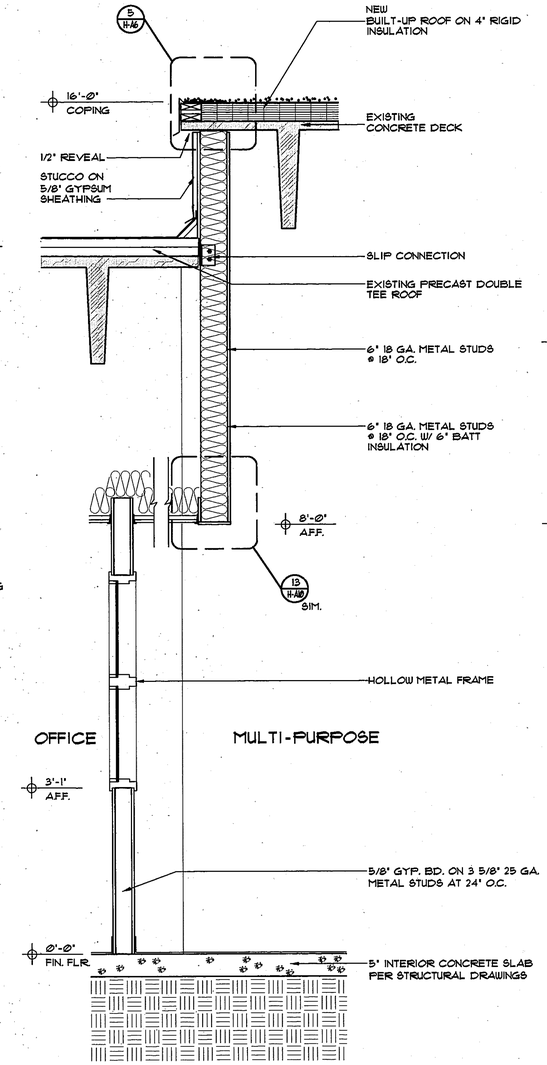
1 WALL SECTION

SCALE: 3/4" = 1'-0"



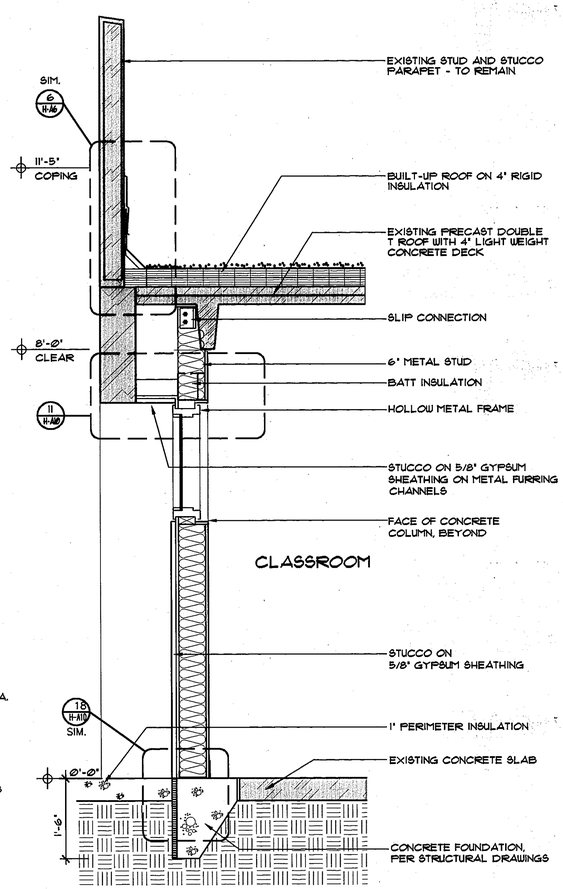
2 WALL SECTION

SCALE: 3/4" = 1'-0"



3 WALL SECTION

SCALE: 3/4" = 1'-0"



4 WALL SECTION

SCALE: 3/4" = 1'-0"

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

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SURVEY INFORMATION FIELD NOTES		
NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY:	G.S.	DATE: 5-24-96
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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

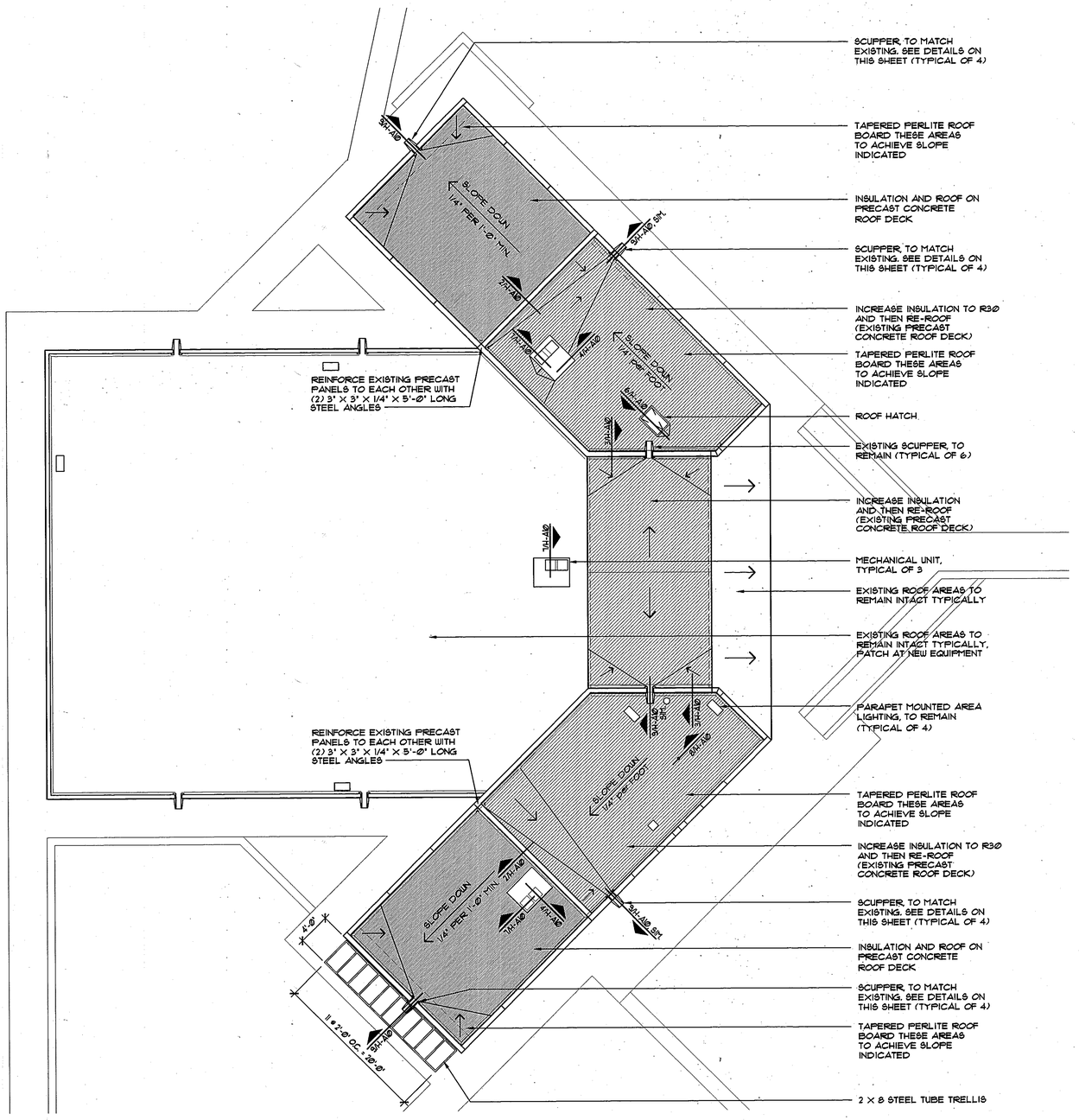
TITLE: WALL SECTIONS
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	46 Of 56 H-A7

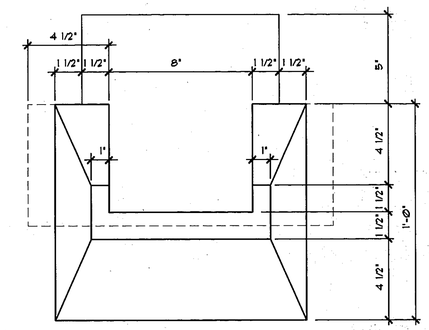
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 4697

DRAWN BY: JPG / CH	DATE: 6-13-97
FILE NAME: RAY-WALL	SCALE: 3/4" = 1"



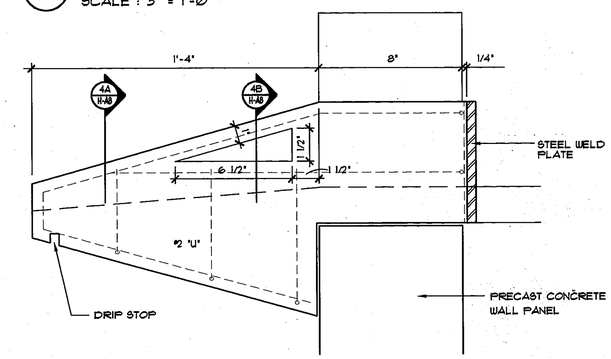
1 ROOF PLAN

SCALE: 1/8" = 1'-0"



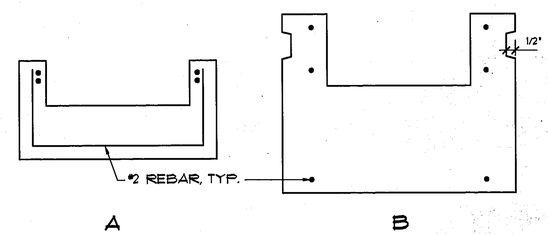
2 SCUPPER, FRONT

SCALE : 3" = 1'-0"



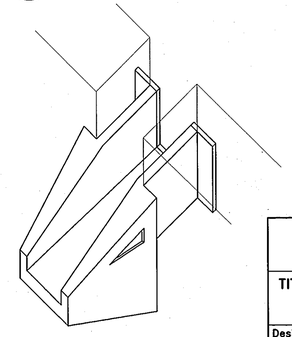
3 SCUPPER, SIDE

SCALE : 3" = 1'-0"



4 SCUPPER, SECTIONS

SCALE : 3" = 1'-0"



5 VIEW

SCALE : NONE

NORTH

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	

BENCH MARK	
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T.B.M. A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)	

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: ROOF PLAN AND DETAILS
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	47 Of 56 H-A8

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 4797

DRAWN BY: JPG / CH DATE: 6-13-97
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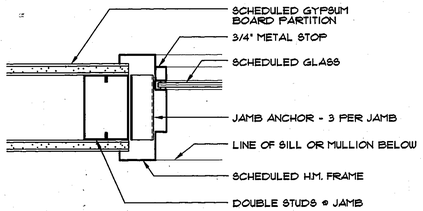

1 JAMB- HEAD SIM.
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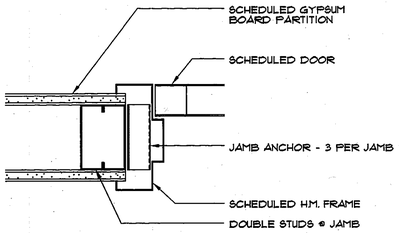

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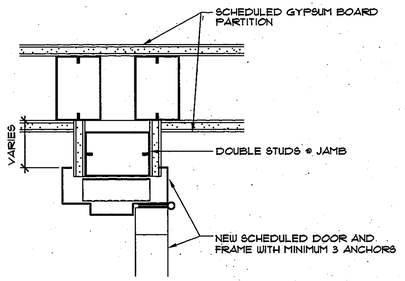

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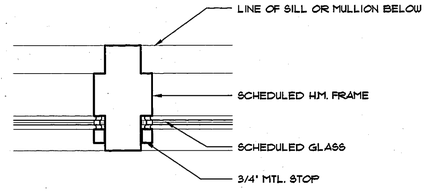
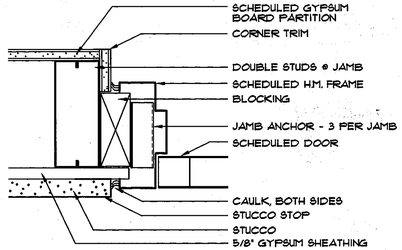


4 MULLION
SCALE : 1 1/2" = 1'-0"



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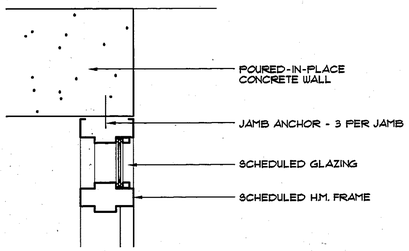
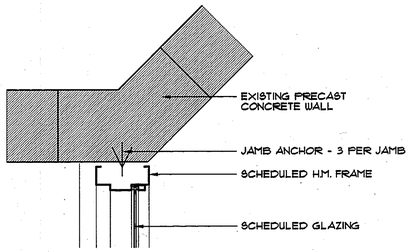
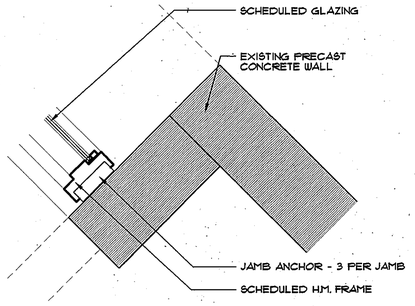


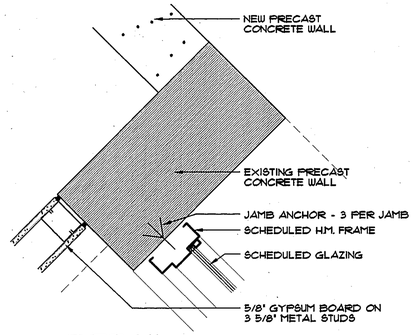
6 DETAIL
SCALE : 1 1/2" = 1'-0"



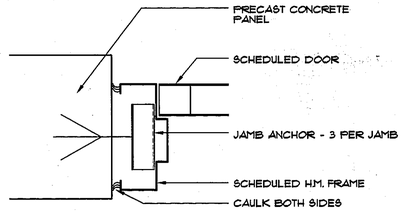
7 DETAIL
SCALE : 1 1/2" = 1'-0"



8 DETAIL
SCALE : 1 1/2" = 1'-0"



9 DETAIL
SCALE : 1 1/2" = 1'-0"



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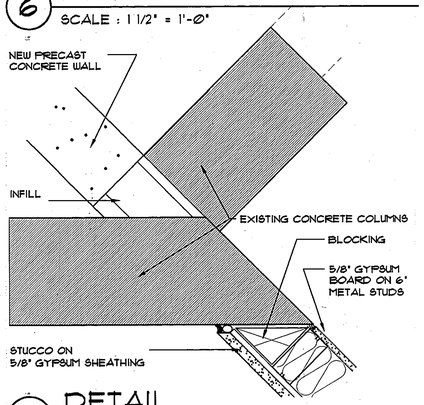
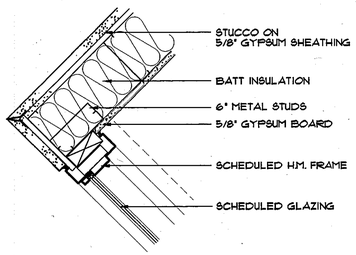
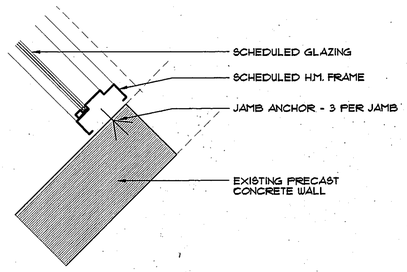
SCALE : 3" = 1'-0"



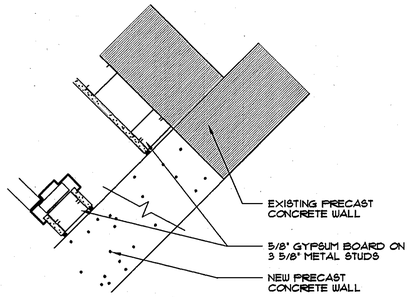
11 DETAIL
SCALE : 1 1/2" = 1'-0"



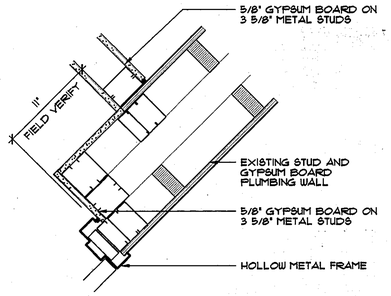
12 DETAIL
SCALE : 1 1/2" = 1'-0"



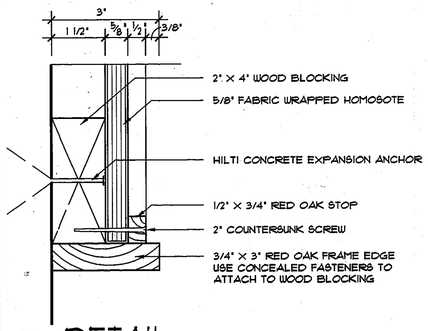
13 DETAIL
SCALE : 1 1/2" = 1'-0"



14 DETAIL
SCALE : 1 1/2" = 1'-0"



15 DETAIL
SCALE : 1 1/2" = 1'-0"



16 DETAIL
SCALE : 6" = 1'-0"

DRAWN BY: GWRS
FILE NAME: 964-DTL
DATE: 6-13-97
SCALE: 1.5 = 1'

DETAIL

A. ALL HOLLOW METAL DOOR FRAMES TO BE GROUT FILLED SOLID.

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH	DATE: 5-20-97
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

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T.B.M.
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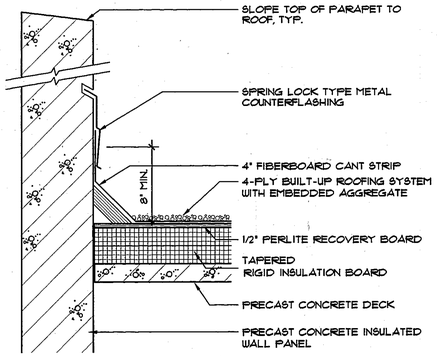
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: DETAILS
HOLIDAY PARK SHELTER CENTER EXPANSION

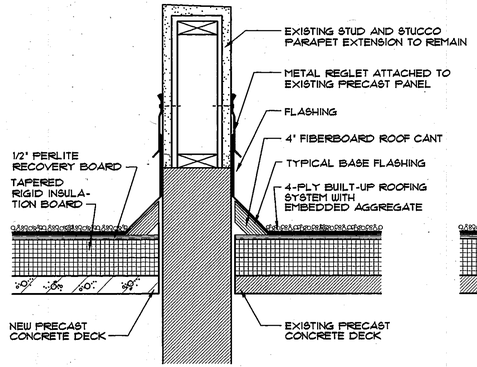
Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	48 Of 56 H-A9

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
2 6 - 4 7 5 4. 9 2 4 8 9 7



1 PARAPET
SCALE : 1 1/2" = 1'-0"



2 EXISTING PARAPET
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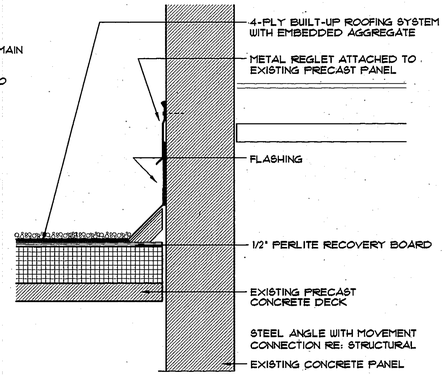

3 PARAPET
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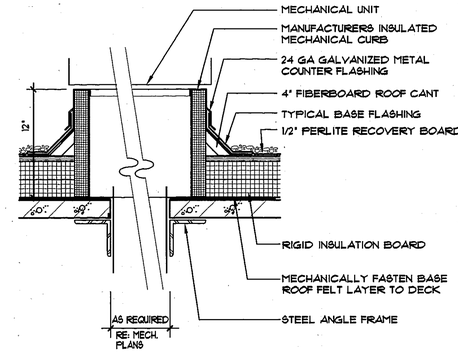

4 MECHANICAL CURB
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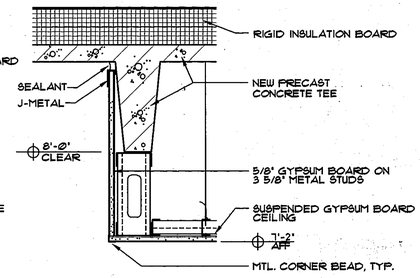
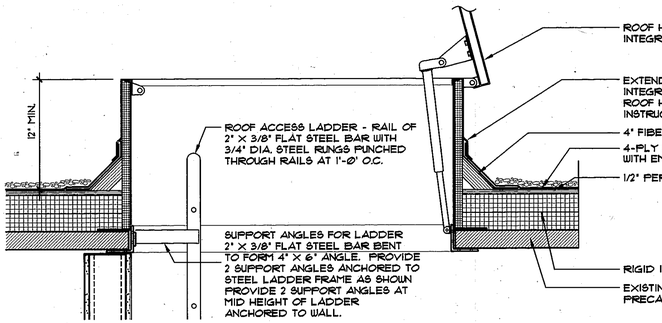
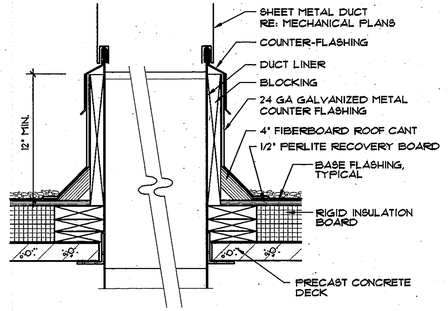


5 CEILING DETAIL
SCALE : 1 1/2" = 1'-0"



6 ROOF HATCH
SCALE : 1 1/2" = 1'-0"



7 DUCT PENETRATION
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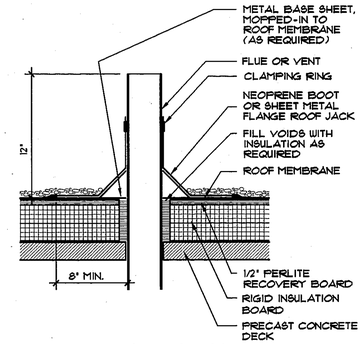

8 ROOF VENT
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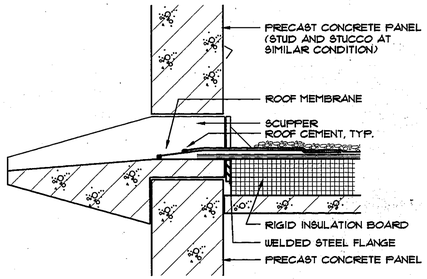
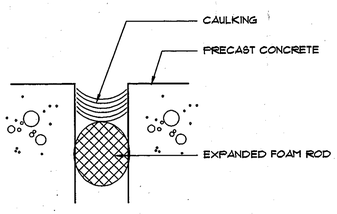


9 SCUPPER
SCALE : 1 1/2" = 1'-0"



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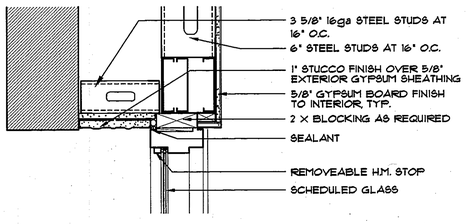
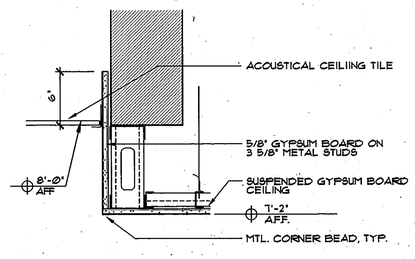
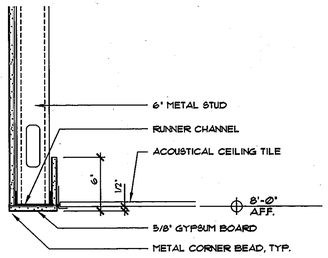
SCALE : NONE



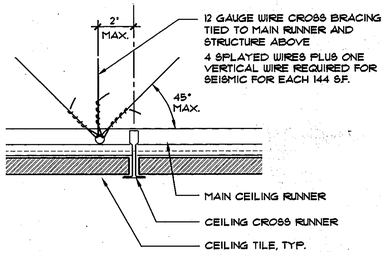
11 HEAD - JAMB SIM.
SCALE : 1 1/2" = 1'-0"



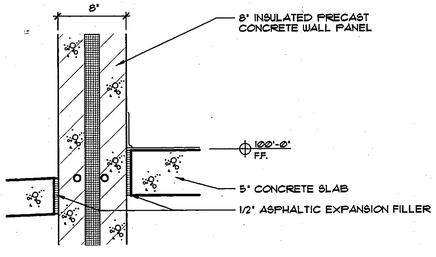
12 CEILING DETAIL
SCALE : 1 1/2" = 1'-0"



13 CEILING DETAIL
SCALE : 1 1/2" = 1'-0"



14 CEILING DETAIL
SCALE : 1" = 1/2"



15 SECTION DETAIL
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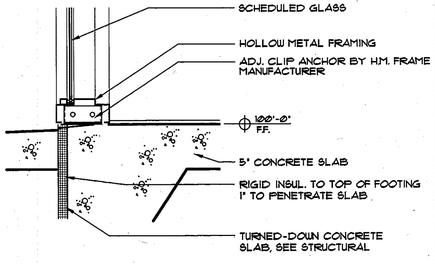
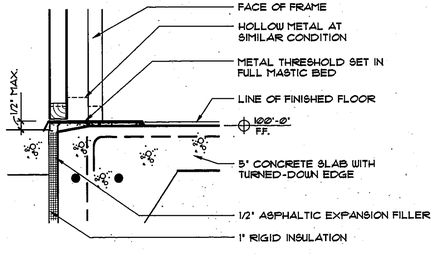
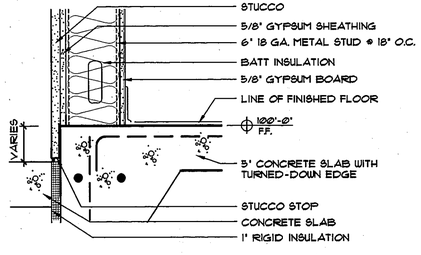


16 SILL
SCALE : 1 1/2" = 1'-0"



17 THRESHOLD
SCALE : 1 1/2" = 1'-0"



18 SECTION DETAIL
SCALE : 1 1/2" = 1'-0"

DRAWN BY: CHRIS
DATE: 6-13-97
FILE NAME: SH10-DETS
SCALE: 1 1/2" = 1'

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-47541.02 4997

SURVEY INFORMATION			
FIELD NOTES			
NO.	BY	DATE	
			THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-C22", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD. ABOUT 150' EAST OF THE JUNCTION WITH CHELWOOD. ELEVATION = 5750.35' (M.S.L.D.) T.B.M. A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
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REVISIONS/REMARKS			
NO.	DATE		BY
1	6-20-97	AS-BUILTS	MSH
DESIGNED BY:	G.S.	DATE: 5-24-96	
DRAWN BY:	J.G.	DATE: 5-24-96	
CHECKED BY:	G.S.	DATE: 5-24-96	

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
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TITLE: DETAILS
HOLIDAY PARK SHELTER CENTER EXPANSION

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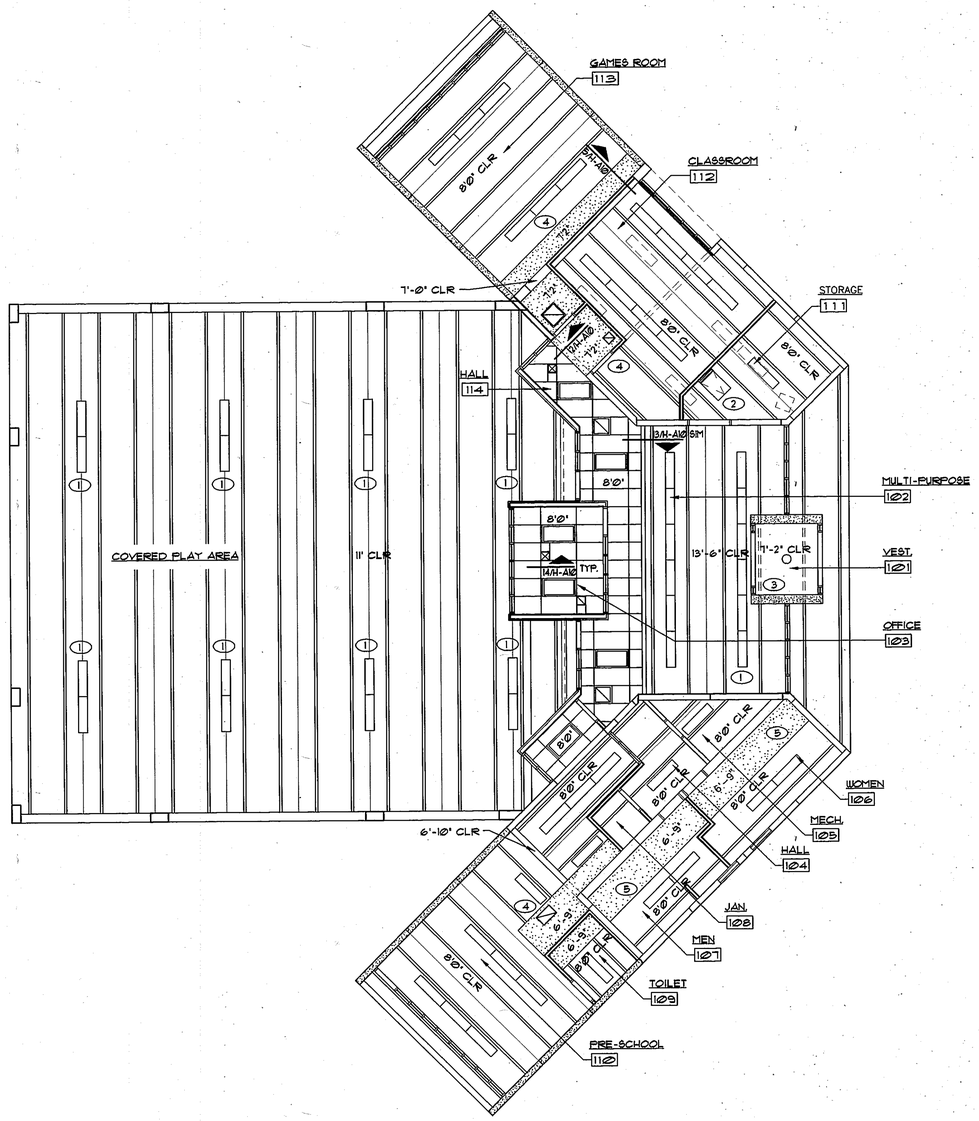
City Project No.	Zone Map No.	Sheet
4754.91	G-22	49 Of 56 H-A10



1 REFLECTED CEILING PLAN

SCALE: 1/8' = 1'-0'

NORTH

GENERAL NOTES

1. THE REFLECTED CEILING PLAN IS FOR REFERENCE OF DESIGN INTENT AND LAYOUT PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND THAT THE CEILING AND LIGHTING PATTERNS SHOWN ON THE PLAN CAN BE ACHIEVED AS INDICATED.
2. REFER TO THE ELECTRICAL DRAWINGS FOR ALL SWITCH LOCATIONS AND WIRING CONFIGURATIONS TYPICALLY.
3. UNLESS SPECIFICALLY INDICATED ON THE DRAWING, ALL CEILING HEIGHTS ARE INDICATED ON THE ROOM FINISH SCHEDULE.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, SALVAGE, AND OR REINSTALLATION OF ALL EXISTING MECHANICAL DUCTS, GRILLES, AND LOUVERS IN ALL REMODELED AREAS.
5. ALL EXISTING CEILING MOUNTED EQUIPMENT WILL BE MAINTAINED OR REINSTALLED IN ITS PRESENT LOCATION AND MOUNTING HEIGHT.

KEYED NOTES

1. EXISTING LIGHT FIXTURE, TYPICAL
2. ROOF HATCH
3. POURED-IN-PLACE CONCRETE, AS CEILING
4. NEW GYPSUM BOARD SOFFIT/CEILING
5. EXISTING GYPSUM BOARD SOFFIT

SYMBOL LEGEND

- SUSPENDED ACOUSTICAL TILE CEILING
- SUSPENDED GYPSUM BOARD CEILING
- 2' X 4' LAY-IN TROFFER
- 2' X 2' LAY-IN TROFFER
- 2' X 2' SUPPLY AIR GRILLE
- 1' X 1' SUPPLY AIR GRILLE
- 2' X 2' RETURN AIR GRILLE
- 1' X 1' RETURN AIR GRILLE
- FLUORESCENT DOWN LIGHT
- EXIT LIGHT
- 4'-0" STRIP FIXTURE
- INCANDESCENT FIXTURE

AS BUILT INFORMATION

CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY MSH DATE: 6-20-97	

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

BENCH MARK

THE STATION IS A STANDARD ACS BRASS TABLET, STAMPED "1-G22", SET IN TOP OF CONC. POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE SOUTH SIDE OF COMANCHE RD. ABOUT 150' EAST OF THE JUNCTION WITH CHELWOOD. ELEVATION = 5750.35' (M.S.L.D.)

T.B.M.

A "□" CHISELED ON TOP OF CURB AS SHOWN ON THE DRAWING. ELEVATION = 5732.58' (M.S.L.D.)

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

NO.	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	MSH

DESIGNED BY: G.S. DATE: 5-24-96
DRAWN BY: J.G. DATE: 5-24-96
CHECKED BY: G.S. DATE: 5-24-96

SANDERS ROGERS ARCHITECTS, P.C.
301 Gold Avenue S.W. Suite 202
Albuquerque, New Mexico 87102
(505) 247-1168, Fax: 247-0262

CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

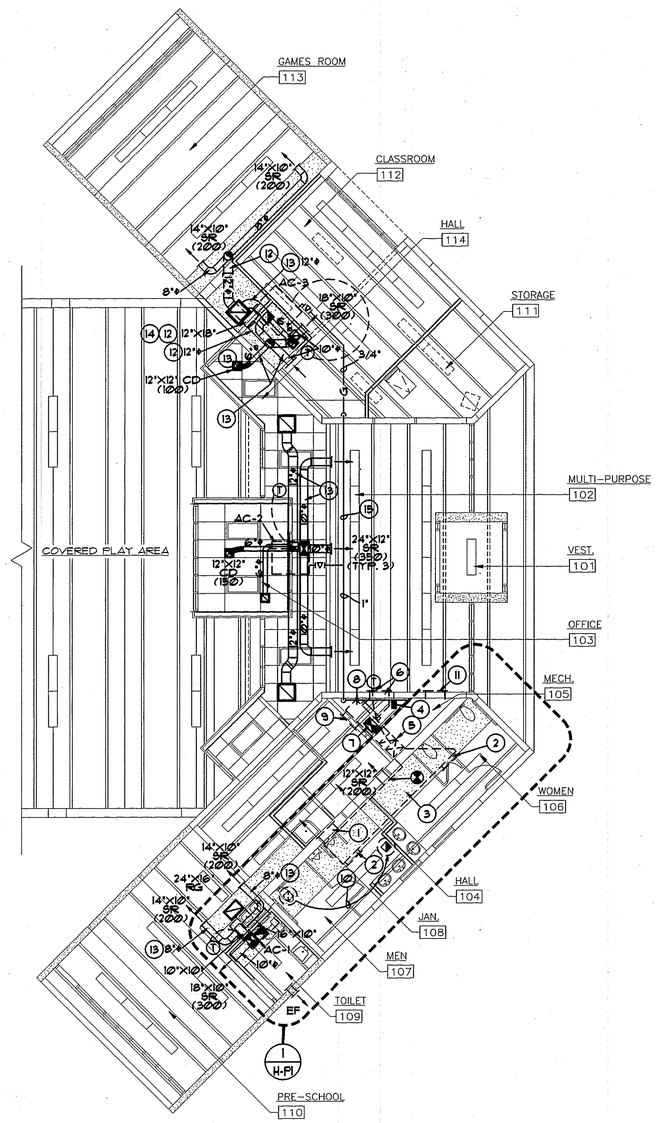
TITLE: REFLECTED CEILING PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	50 Of 56 H-A11

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 5097

DRAWN BY: JPG / CH
FILE NAME: 9411-CLG
DATE: 6-13-97
SCALE: 1" = 8'



1 MECHANICAL PLAN

SCALE: 1/8" = 1'-0"

NORTH

KEYED NOTES

1. REMOVE EXISTING 26"X12" SA GRILLE & CAP DUCT INSIDE SOFFIT. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING.
2. EXISTING SA GRILLES TO REMAIN.
3. EXISTING SA DUCT IN SOFFIT.
4. TWO(2) NEW 6"X4" LOW AND HIGH COMBUSTION AIR IN EXISTING MECHANICAL ROOM UP THROUGH ROOF TO GOOSENECK. SEE DETAIL.
5. EXISTING FURNACE WAS REPLACED BY CITY OF ALBUQUERQUE.
6. REMOVE 26"X12" OA INTAKE DUCT AND LOUVER, CAP DUCT INSIDE MECH. ROOM.
7. 12"X18" NEW OA DUCT UP THROUGH ROOF TO GOOSENECK, CONNECT TO TOP OF EXISTING RA DUCT.
8. EXISTING 20"X14" RA DUCT.
9. EXISTING RA GRILLE TO BE REINSTALLED ON NEW WALL.
10. REMOVE AND RELOCATE EXISTING ROOF MOUNTED EXHAUST FAN WITH ROOF CURB, EXHAUST DUCT AND CEILING GRILLE TO NEW LOCATION SHOWN. 12"X10" NEW ROOF OPENING. COORDINATE WITH G.C. FOR PATCH.
11. REMOVE TWO(2) HIGH & LOW COMBUSTION AIR LOUVER. COORDINATE WITH G.C. FOR WALL PATCH TO MATCH EXISTING.
12. DUCTWORK ON THE ROOF.
13. DUCTWORK ABOVE CEILING.
14. DISCHARGE AIR PLENUM ON ROOF.
15. GAS PIPE ON ROOF, SEE DETAIL.

GENERAL NOTES

A. COORDINATE EXACT LOCATION OF THE T-STATS WITH TENANTS.
B. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND INSTALLATION HEIGHT OF ALL PLUMBING FIXTURES & EXACT BUILDING DIMENSIONS.
C. INSTALL ALL MECHANICAL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
D. SEE PLUMBING EQUIPMENT SCHEDULE FOR SERVICE CONNECTION SIZES TO ALL FIXTURES.
E. PRIOR TO ANY ROOF CUTTING, COORDINATE EXACT LOCATION OF ROOFTOP UNITS WITH ROOF JOISTS AND OTHER EQUIPMENT ON THE ROOF OR ABOVE CEILING. RE-ROUT DUCTWORK (IF NECESSARY) TO ACCOMMODATE AN AIR DISTRIBUTION SYSTEM AS INTENDED.
F. COORDINATE WITH BUILDING USERS AND MANAGERS FOR ANY SERVICE UTILITY SHUT DOWNS.
G. SA AND RA GRILLES SHALL HAVE THE CORRECT TYPE FRAMES FOR THE CEILING.
H. COORDINATE WITH ELECTRICAL CONTRACTOR FOR ELECTRICAL REQUIREMENTS OF THE NEW MECHANICAL UNITS.
I. ALL PATCHINGS ON EXISTING WALLS AS A RESULT OF NEW MECHANICAL WORK SHALL BE PERFORMED BY G.C., M.C. TO COORDINATE WITH G.C. FOR THIS WORK.
J. ALL DUCTWORK ON THE ROOF SHALL BE INSULATED WITH 3/4" FIBERGLASS AND BE PROTECTED BY LIGHT GAUGE CORRUGATED ALUMINUM SHEATHING PINNED TO DUCTWORK.
K. ALL GAS CONNECTIONS TO ROOFTOP AC UNITS SHALL BE 3/4" WITH FLEXIBLE CONNECTION AND GAS COCK.
L. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL SUPPLY AND RETURN GRILLES & EXPOSED DUCTWORK.
M. THE FINAL LOCATIONS AND DIMENSIONS OF ALL RA AND SA ROOF OPENINGS SHALL BE DETERMINED UPON APPROVAL OF PRODUCT SUBMITTED BY THE CONTRACTOR.
N. SEE ARCHITECTURAL SITE PLAN FOR EXACT LOCATION OF ALL CURBS, FENCES, PARKING SPACES, STAIRS, RAMPS, SIDEWALKS AND ALL BUILDING DIMENSIONS.
O. MANIFOLD ALL PLUMBING VENTS ABOVE FLOOD LEVEL OF PLUMBING FIXTURE.
P. PROVIDE CHROME-PLATED STEEL ESCUTCHEONS FOR PIPES AT WALL PENETRATIONS.
Q. MAKE TRANSITION FROM SUPPLY AIR DUCT RISER THROUGH ROOF TO SA OPENING OF AC UNITS WITH FLEXIBLE CONNECTION.

ENERGY CONSERVATION CODE

HEATING DEGREE DAYS 4350

WALL	AREA SF.		U		AXU
GROSS WALL	4071.0				
WINDOW	838.0	X	0.58	=	486.04
DOOR	140.0	X	0.60	=	84.00
OTHER	0.0	X	0.00	=	0.00
OPAQUE WALL	3093.0	X	0.052	=	160.84
			TOTAL		730.88

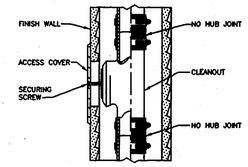
WALL $U_o = \frac{\text{AXU TOTAL}}{\text{GROSS WALL}}$ $U_o = \frac{730.88}{4071.00}$

WALL $U_o = 0.18$ CODE REQUIRED MIN.: 0.30

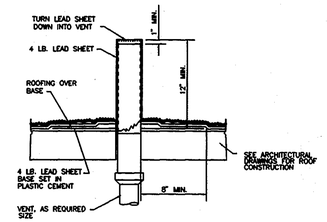
ROOF	AREA SF.		U		AXU
GROSS ROOF	2354.0				
SKYLIGHT	0.0	X	0.00	=	0.0
OTHER	0.0	X	0.00	=	0.0
OPAQUE ROOF	2354.0	X	0.05	=	117.7
				TOTAL	117.7

ROOF $U_o = \frac{\text{AXU TOTAL}}{\text{GROSS ROOF}}$ $U_o = \frac{117.7}{2354.0}$

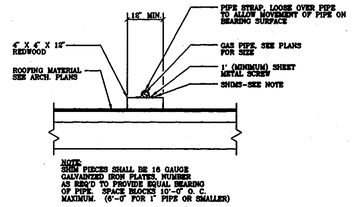
ROOF $U_o = 0.05$ CODE REQUIRED MIN.: 0.09



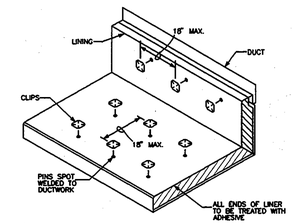
WALL CLEANOUT
NTS



VENT THRU ROOF DETAIL
NTS

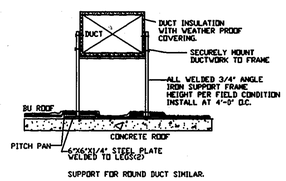


GAS PIPE SUPPORT DETAIL
NTS

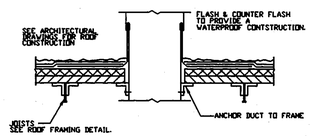


NOTE: DUCT LINERS ARE REQUIRED ON ALL RECTANGULAR DUCTS.

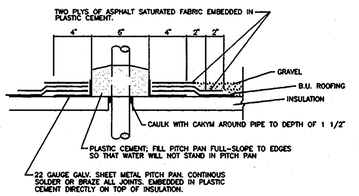
DUCT LINING DETAIL
NTS



DUCT SUPPORT ABOVE ROOF
NTS



DUCT THRU ROOF PENETRATION
NTS



PITCH PAN DETAIL
FOR PIPE THRU ROOF PENETRATION
NTS

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY AM DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

REVISIONS/REMARKS

NO.	DATE	AS-BUILTS	BY
1	6-20-97		AM

DESIGNED BY: S.A.B. DATE: 5-24-96
DRAWN BY: A.M. DATE: 5-24-96
CHECKED BY: S.A.B. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: MECHANICAL PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	HOL/DAY/YR.	HOL/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	51 Of 56 H-M1

BANDI ENGINEERING COMPANY, INC.
ALBUQUERQUE, NEW MEXICO
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.97 5/97

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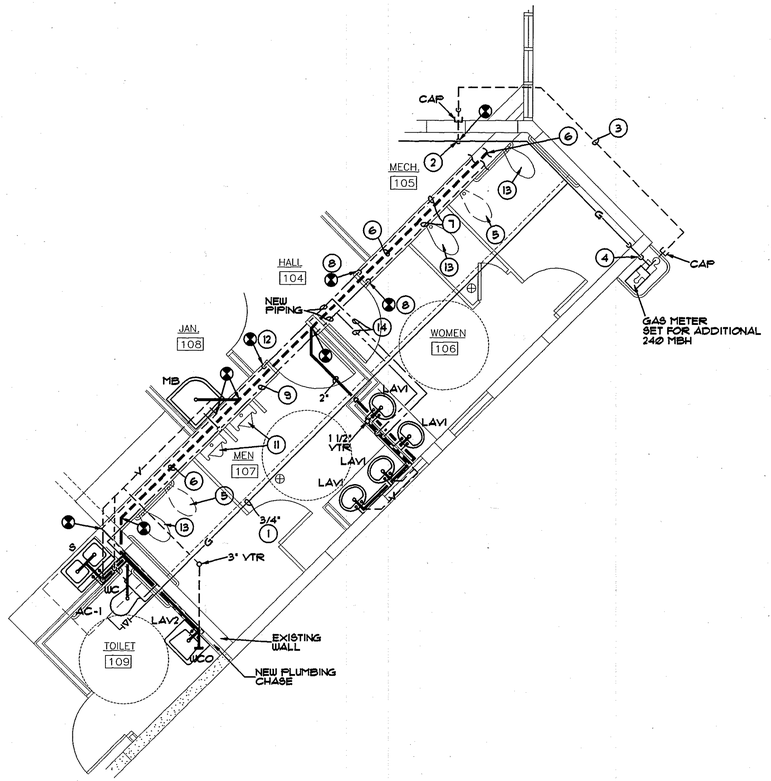
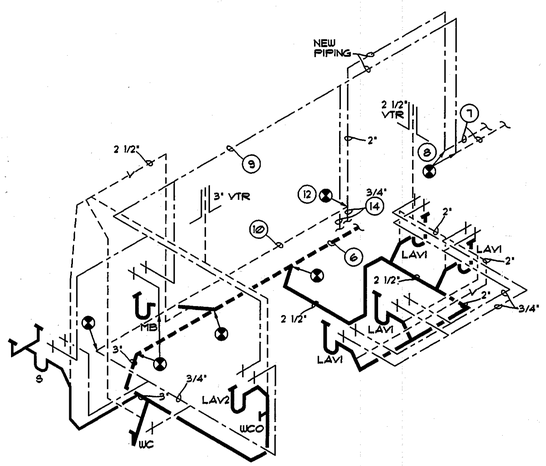


1 / H-P1 ENLARGED PLUMBING PLAN

SCALE: 1/4" = 1'-0"

NORTH



1 / H-P1 SEWER, VENT, CW AND HW ISOMETRICS

NTS

KEYED NOTES

1. GAS PIPE ON ROOF, SEE DETAIL.
2. 1" DOWN THROUGH ROOF IN PITCH PAN AND CONNECT TO EXISTING 1" IN MECH. ROOM.
3. ABANDON GAS LINE UNDERGROUND AND CAP AT LOCATION SHOWN.
4. NEW 1 1/2" GAS UP TO ROOF, LINE THRU WALL TO INSIDE OF BUILDING, UP THRU ROOF.
5. REMOVE EXISTING WALL HUNG, FLUSH VALVE WATER CLOSET AND CAP CW, SEWER AND VENT LINE.
6. EXISTING SEWER LINE.
7. EXISTING HW AND CW, INSIDE EXISTING CHASE.
8. EXTEND 3/4" HW AND 2" CW TO ABOVE CEILING FROM EXISTING CHASE, WHERE NEW DOORS ARE INSTALLED.
9. EXTEND NEW 3/4" HW TO ABOVE CEILING FROM EXISTING
10. EXISTING CW LINE INSIDE CHASE.
11. EXISTING PLUMBING FIXTURE TO REMAIN, ONE(1) URINAL LOWERED TO MEET ADA.
12. NEW 2" CW LINE CONNECTED TO EXISTING 2" CW LINE.
13. REPLACE TOILET AND SEATS WITH NEW.
14. HW/CW RAN UNDERGROUND (NO JOISTS), DUE TO SPACE CONFINEMENTS.

GENERAL NOTES

A. WC OF LOW FLUSH TYPE, AS 3.0 GPF NO LONGER MANUFACTURED.

EQUIPMENT SCHEDULE:

SYMB.	DESCRIPTION
LAV1	LAVATORY: OVAL COUNTERTOP 'KOHLER' K-2195 PENNINGTON SELF RIMMING VITREOUS CHINA LAVATORY WITH 4" FAUCET CENTERS. 20-1/4" X 17-1/4" OVAL SIZE. K-7404-T TRITON II WATER GUARD LAVATORY FAUCET WITH AERATOR, VALVET VALVE UNITS, HAND-TIGHTEN SHANK NUTS, K-7115 LAVATORY DRAIN WITH PERFORATED GRATE, 1-1/4" TAILPIECE, K-7601 ANGLE SUPPLIES WITH LOOSE KEY STOP AND K-8000 "P" TRAP. COLOR: WHITE, INSULATE HOT AND COLD WATER SUPPLY AND "P" TRAP WITH TRAP WRAP BY BROCAR. LAVATORY FAUCET SHALL BE A CHICAGO FAUCET MODEL NO. 802A-317-1010-VPC (OR APPROVED EQUAL) WITH 1010 1.6 GPM STEDI-FLO AND COMPLETELY VANDAL RESISTANT. 2" WASTE, 1-1/2" VENT 1/2" HW, AND 1/2" CW CONNECTIONS.
LAV2	LAVATORY: WALL MOUNTED 'KOHLER' K-2032 GREENWICH (OR APPROVED EQUAL) VITREOUS CHINA LAVATORY WITH 4" FAUCET CENTERS. DRILLED FOR CONCEALED ARM CARRIER. 20" X 18" SIZE, K-7115 LAVATORY DRAIN WITH PERFORATED GRATE, 1-1/4" TAILPIECE, K-7601 ANGLE SUPPLIES WITH LOOSE KEY STOP, K-8000 "P" TRAP AND WALL CARRIER. COLOR: WHITE, MOUNTING HEIGHT SHALL BE 27" TO UNDERSIDE OR APRON. INSULATE HOT AND COLD WATER SUPPLY AND "P" TRAP WITH TRAP WRAP BY BROCAR. LAVATORY FAUCET SHALL BE A CHICAGO FAUCET MODEL NO. 802A-317-1010-VPC (OR APPROVED EQUAL) WITH 1010 1.6 GPM STEDI-FLOW AND COMPLETELY VANDAL RESISTANT. 2" WASTE, 1-1/2" VENT, 1/2" HW, AND 1/2" CW CONNECTIONS.
S	SINK: ELKAY GECR-3321 DOUBLE COMPARTMENT SINK OR APPROVED EQUAL. SINK BOWLS SEAMLESSLY DRAWN OF #20 GAUGE, TYPE 302 NICKEL BEARING STAINLESS STEEL. STANDARD DEPTH: 5 3/8-INCHES WITH 3-INCH RADIUS COVED CORNERS. SELF RIM. EXPOSED SURFACES ARE HAND BLENDED TO A HIGHLIGHTED BRIGHT FINISH. UNDERSIDE IS FULLY UNDERCOATED. SINK SHALL BE DOUBLE COMPARTMENT (33" X 21" SIZE) WITH 4 FAUCET HOLES. SINK SHALL BE COMPLETE WITH A ELKAY MODEL NO. 2433 (OR APPROVED EQUAL) FAUCET WITH SPRAY, LK-16 DRAIN ASSEMBLY WITH LK-1 STRAINERS, "P" TRAP WITH CLEANOUT, TAILPIECE AND ANGLE SUPPLIES STOPS. 1/2" HW, CW, 2" WASTE AND 1-1/2" VENT CONNECTION.
WC	HANDICAPPED WATER CLOSET: SHALL BE 'KOHLER' K-3527-EB HIGHLINE WATER GUARD (OR APPROVED EQUAL) VITREOUS CHINA CLOSE-COUPLED SIPHON JET ELONGATED FLOOR MOUNTED TANK TYPE TOILET WITH 18" HIGH BOWL, K-4670-C LUSTRA SOLID PLASTIC OPEN FRONT SEAT AND K-1638 3/8" ANGLE SUPPLY WITH ANNEALED VERTICAL TUBE AND STOP, LEVER ON WIDE SIDE. COLOR: WHITE, 3" WASTE, 2" VENT, 1/2" CW CONNECTIONS.
MB	MOP SERVICE BASIN: FIAT MOLDED STONE MOP SERVICE BASIN MODEL NO. MSB-2424 - 24"x24"x10" SIZE. THE DRAIN BODY SHALL BE FACTORY INSTALLED STAINLESS STEEL #302 WITH COMBINATION DOME STRAINER AND LINT BASKET. THE DRAIN BODY SHALL PROVIDE FOR A LEAD CAULKED JOINT TO A 3" I.P.S. 830-AA SERVICE FAUCET WITH VACUUM BREAKER, E-77-AA VINYL BUMPER GUARD, MOP HANGER, MSG-2424 WALL GUARD, 832 AA HOSE AND 889-CC HOSE BRACKET. COLOR: #213 WHITE WITH BLACK ACCENTS, 1/2" H & C.W., 3" WASTE AND 1-1/2" VENT CONNECTION.
WCO	WALL CLEANOUT: ZURN Z-1445 (OR APPROVED EQUAL) 'SUPREMO DURA-COATED CAST IRON CLEANOUT TEE WITH CADMIUM PLATED CAST IRON COUNTERSUNK PLUG. SIZE SAME AS WASTE LINE SERVED BY CLEANOUT.
SR	SIDE WALL REGISTER: STEEL CONSTRUCTION, OBD, ADJUSTABLE HORIZONTAL FRONT BARS SET AT 45 DEG ANGLE AND 3/4" ON CENTER, OBD, COLOR AS SELECTED BY ARCHITECT, KRUEGER 800H-32
AC-1	ROOFTOP PACKAGED HEATING/AIR CONDITIONING UNIT: NATURAL GAS HEAT. BOTTOM SUPPLY AND RETURN, FREEZESTAT, FIRESTAT, 208V, 1Ø. INTERMITTENT ELECTRONIC SPARK IGNITION, AGA CERTIFIED, 6000 FT ELEVATION, ROOF CURB, TA FILTER, BELT DRIVE INDOOR BLOWER. MANUFACTURED BY CARRIER 48 SERIES, 24,000 BTUH TOTAL COOLING, 60 MBH INPUT, 3.0 KW TOTAL, 1100 CFM AT .4" ESP, COMPRESSOR RLA 12.4, BLOWER FCA 2.0, MCA 18.2, MODEL 48D0240C0, 466 LBS. MIN OA. DAMPER, 80 CFM OA.
AC-2	ROOFTOP PACKAGED HEATING/AIR CONDITIONING UNIT: NATURAL GAS HEAT. BOTTOM SUPPLY AND RETURN, FREEZESTAT, FIRESTAT, 208V, 1Ø. INTERMITTENT ELECTRONIC SPARK IGNITION, AGA CERTIFIED, 6000 FT ELEVATION, ROOF CURB, TA FILTER, BELT DRIVE INDOOR BLOWER. MANUFACTURED BY CARRIER 48 SERIES, 36,000 BTUH TOTAL COOLING, 100 MBH INPUT, 4 KW TOTAL, 1200 CFM AT .4" ESP, COMPRESSOR RLA 18.0, BLOWER FCA 2.8, MCA 26.1, MODEL 48D0361D0, 491 LBS. MIN. OA DAMPER 100 CFM OA.
AC-3	ROOFTOP PACKAGED HEATING/AIR CONDITIONING UNIT: NATURAL GAS HEAT. HORIZONTAL SUPPLY AND BOTTOM RETURN, FREEZESTAT, FIRESTAT, 208V, 1Ø. INTERMITTENT ELECTRONIC SPARK IGNITION, AGA CERTIFIED, 6000 FT ELEVATION, ROOF CURB, TA FILTER, BELT DRIVE INDOOR BLOWER, MANUFACTURED BY CARRIER 48 SERIES, 30,000 BTUH TOTAL COOLING, 80 MBH INPUT, 3.7 KW TOTAL, 920 CFM AT .4" ESP, COMPRESSOR RLA 14.7, BLOWER FCA 2.0, MCA 21.8, MODEL 48D030B0, 471 LBS. MIN. OA DAMPER 90 CFM OA.
CD	CEILING DIFFUSER: STEEL CONSTRUCTION, OBD, ADJUSTABLE HORIZONTAL FRONT BARS SET AT 0 DEG ANGLE AND 3/4" ON CENTER, COLOR AS SELECTED BY ARCHITECT, KRUEGER 800H FOR GYP. BOARD CEILING INSTALLATION.
EF	WALL VENTILATOR: ADJUSTABLE HOUSING TO FIT 8" WALL THICKNESS. SPRING LOADED BACKDRAFT DAMPER AND WEATHER RESISTANT HOOD. ALL METAL HOUSING. STEE GRILLE WITH BAKED ON WHITE ENAMEL FINISH. REQUIRES 9" ROUGH WALL OPENING. CONTROL WITH LIGHT SWITCH. 120V, 0.8A, INSTALL AT 8' A.F.F.

MECHANICAL SYMBOL LEGEND

- THERMOSTAT @ 4'-0" A.F.F., WITH CLEAR PLASTIC GUARD & LOCK
- POINT OF CONNECTION FROM EXISTING TO NEW
- NEW DUCTWORK
- EXISTING DUCTWORK
- RG, KRUEGER EGC5, 24"X24"
- RG, KRUEGER EGC5, 24"X12"
- RG, KRUEGER EGC5, 12"X12"
- RETURN/EXHAUST DUCT SECTION
- SUPPLY DUCT SECTION
- ROUND DUCT THROUGH ROOF
- CW — COLD WATER
- CW — EXISTING COLD WATER
- HW — HOT WATER
- HW — EXISTING HOT WATER
- S — SANITARY SEWER LINE
- S — EXISTING SANITARY SEWER LINE
- V — VENT LINE
- D — DRAIN LINE
- G — GAS LINE
- CO — CLEAN OUT
- G — DROP IN PIPING
- O — RISE IN PIPING
- VALVE ON RISER
- GATE VALVE
- GAS COCK
- A.F.F. — ABOVE FINISHED FLOOR
- CO — CLEAN OUT
- EC — ELECTRICAL CONTRACTOR
- ECO — EXTERNAL CLEAN OUT
- GC — GENERAL CONTRACTOR
- MC — MECHANICAL CONTRACTOR
- NTS — NOT TO SCALE
- OA — OUTSIDE AIR
- RA — RETURN AIR
- SA — SUPPLY AIR
- RD — ROOF DRAIN
- VTR — VENT THROUGH ROOF
- WCO — WALL CLEAN OUT

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY AM DATE: 6-20-97
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

NO	DATE	REVISIONS/REMARKS	BY
1	6-20-97	AS-BUILTS	AM

DESIGNED BY: S.A.B. DATE: 5-24-96
DRAWN BY: A.M. DATE: 5-24-96
CHECKED BY: S.A.B. DATE: 5-24-96

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

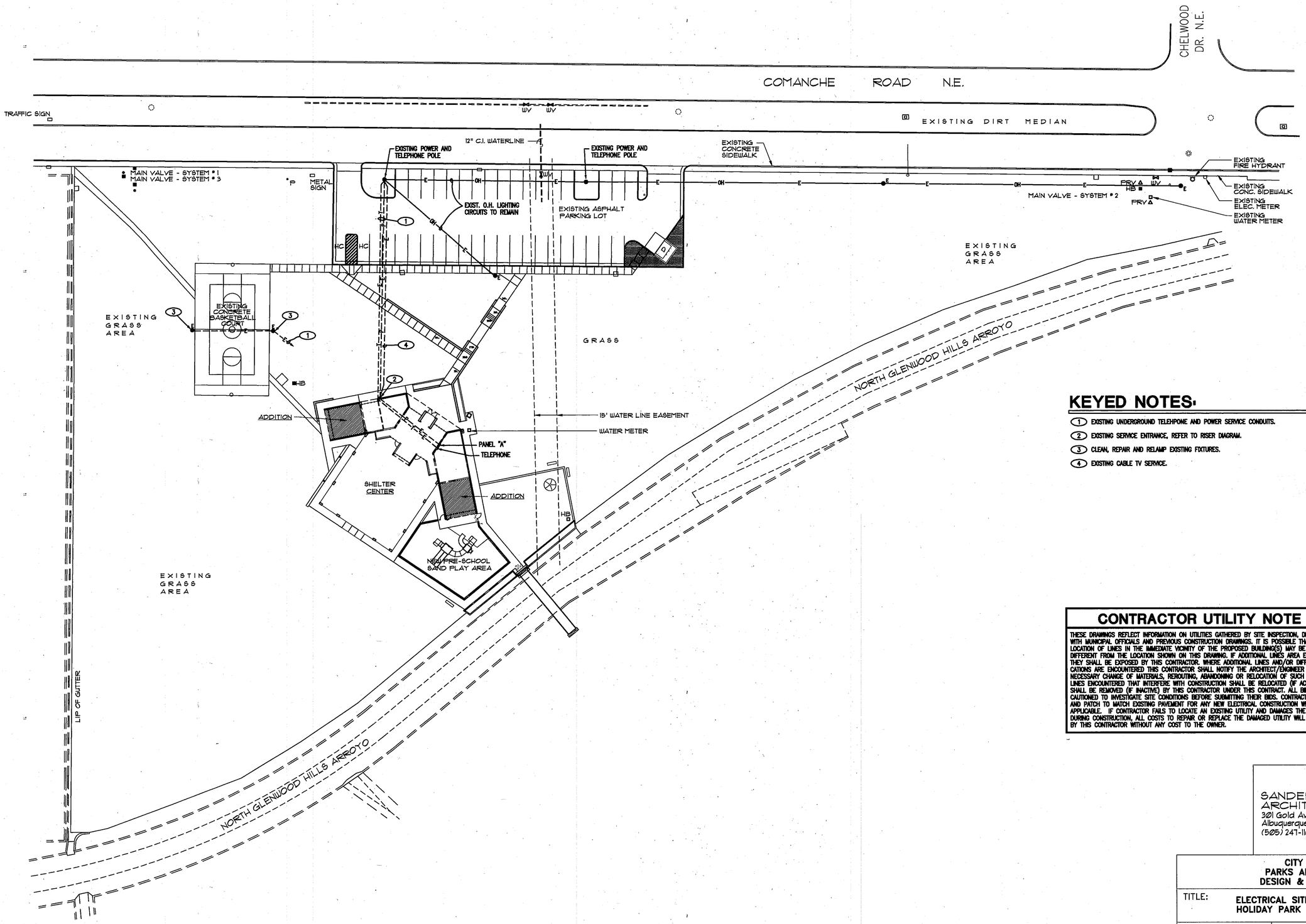
TITLE: PLUMBING PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	HOLIDAY7YR.	HOLIDAY7YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	52 Of 56 H-P1

BANDI ENGINEERING COMPANY, INC. ALBUQUERQUE NEW MEXICO
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 52 97

C:\HOLIDAY\MECHHLDY Thu Jun 19 10:49:08 1997



KEYED NOTES:

1. EXISTING UNDERGROUND TELEPHONE AND POWER SERVICE CONDUITS.
2. EXISTING SERVICE ENTRANCE, REFER TO RISER DIAGRAM.
3. CLEAN, REPAIR AND RELAMP EXISTING FIXTURES.
4. EXISTING CABLE TV SERVICE.

CONTRACTOR UTILITY NOTE

THESE DRAWINGS REFLECT INFORMATION ON UTILITIES GATHERED BY SITE INSPECTION, DISCUSSIONS WITH MUNICIPAL OFFICIALS AND PREVIOUS CONSTRUCTION DRAWINGS. IT IS POSSIBLE THAT THE EXACT LOCATION OF LINES IN THE IMMEDIATE VICINITY OF THE PROPOSED BUILDING(S) MAY BE SLIGHTLY DIFFERENT FROM THE LOCATION SHOWN ON THIS DRAWING. IF ADDITIONAL LINES AREA ENCOUNTERED, THEY SHALL BE EXPOSED BY THIS CONTRACTOR. WHERE ADDITIONAL LINES AND/OR DIFFERING LOCATIONS ARE ENCOUNTERED THIS CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS TO ANY NECESSARY CHANGE OF MATERIALS, REROUTING, ABANDONING OR RELOCATION OF SUCH LINES. ALL LINES ENCOUNTERED THAT INTERFERE WITH CONSTRUCTION SHALL BE RELOCATED (IF ACTIVE) AND SHALL BE REMOVED (IF INACTIVE) BY THIS CONTRACTOR UNDER THIS CONTRACT. ALL BIDDERS ARE CAUTIONED TO INVESTIGATE SITE CONDITIONS BEFORE SUBMITTING THEIR BIDS. CONTRACTOR TO CUT AND PATCH TO MATCH EXISTING PAVEMENT FOR ANY NEW ELECTRICAL CONSTRUCTION WHERE APPLICABLE. IF CONTRACTOR FAILS TO LOCATE AN EXISTING UTILITY AND DAMAGES THE UTILITY DURING CONSTRUCTION, ALL COSTS TO REPAIR OR REPLACE THE DAMAGED UTILITY WILL BE BORN BY THIS CONTRACTOR WITHOUT ANY COST TO THE OWNER.

1 ELECTRICAL SITE PLAN

SCALE: 1" = 30'

SANDERS ROGERS ARCHITECTS, P.C.
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(505) 247-1168, Fax: 247-0262

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1	6/20/97	AS-BUILTS	AE

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BENCH MARK

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

DENNIS M. SCARDELL NEW MEXICO 6855 REGISTERED PROFESSIONAL ENGINEER ALLIED ENGINEERING

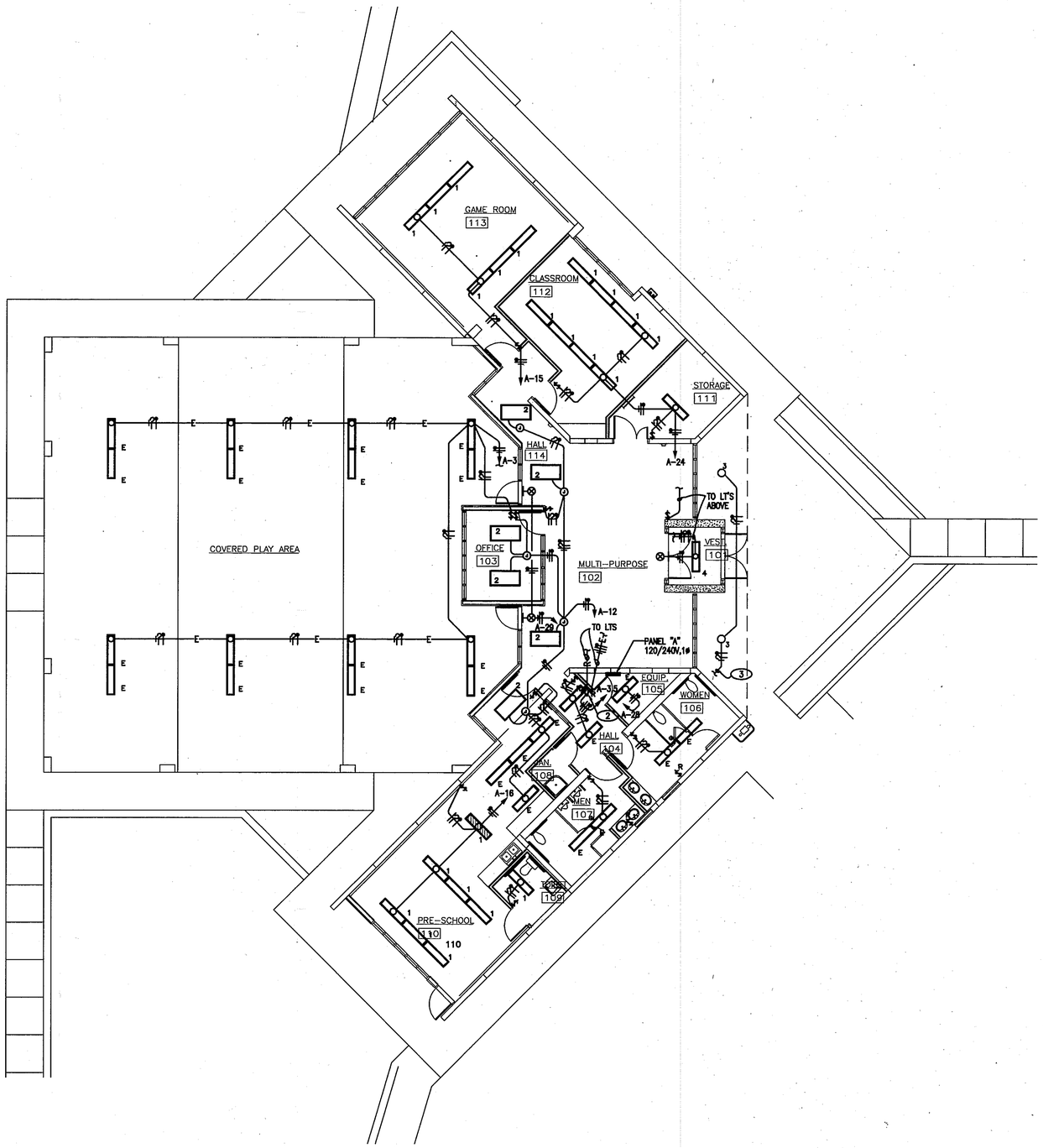
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: ELECTRICAL SITE PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	53 Of 56 H-E1

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92 53 97



1 LIGHTING PLAN

SCALE: 1/8" = 1'-0"

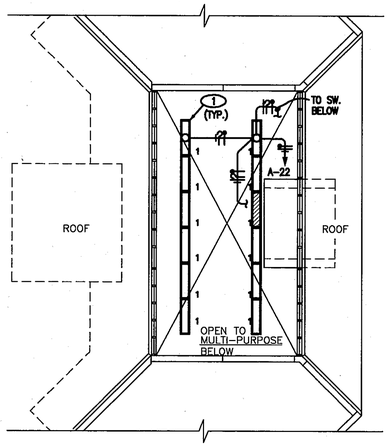
NORTH

GENERAL NOTES:

1. ALL WIRING TO BE #12 THHN/THWN CU. AND ALL CONDUIT TO BE 1/2" EMT MINIMUM UNLESS NOTED OTHERWISE.
2. EXISTING CONDUIT AND/OR J-BOXES MAY BE REUSED WHERE APPLICABLE, HOWEVER, NO CONDUIT, J-BOXES OR DEVICES REMOVED SHALL BE REINSTALLED. ALL WIRING TO BE NEW.
3. EXISTING ELECTRICAL TAKEN FROM ORIGINAL DRAWINGS AND FIELD SURVEYS. ACTUAL LOCATIONS OF DEVICES AND EXACT ROUTING OF CONDUITS MAY VARY. CONTRACTOR TO MAY ANY NECESSARY ADJUSTMENTS TO PROVIDE REVISIONS AS SHOWN.
4. CONCEAL ALL CONDUIT AND FLUSH MOUNT ALL ELECTRICAL DEVICES WHERE POSSIBLE.
5. ALL EXISTING DEVICES THAT REMAIN THAT ARE DAMAGED ARE TO BE REPLACED AND NEW COVER PLATES PROVIDED.
6. REFER TO SHEET H-E4 FOR FIXTURE SCHEDULE AND LEGEND.

KEYED NOTES:

1. REPLACE EXISTING FIXTURE WITH NEW AS SHOWN.
2. REMOVE EXISTING SWITCHES, LEAVE J-BOX AND INSTALL BLANK COVERPLATE.
3. EXTEND TO EXISTING EXTERIOR LIGHTING CIRCUIT THRU TIMECLOCK.



2 CLERESTORY LIGHTING PLAN

SCALE: 1/8" = 1'-0"

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY DATE:
MICRO-FILM INFORMATION
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NO.

BENCH MARK

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

DENNIS M. SCARCELL
NEW MEXICO
6855
REGISTERED PROFESSIONAL ENGINEER

REVISIONS/REMARKS

NO.	DATE	REMARKS	BY
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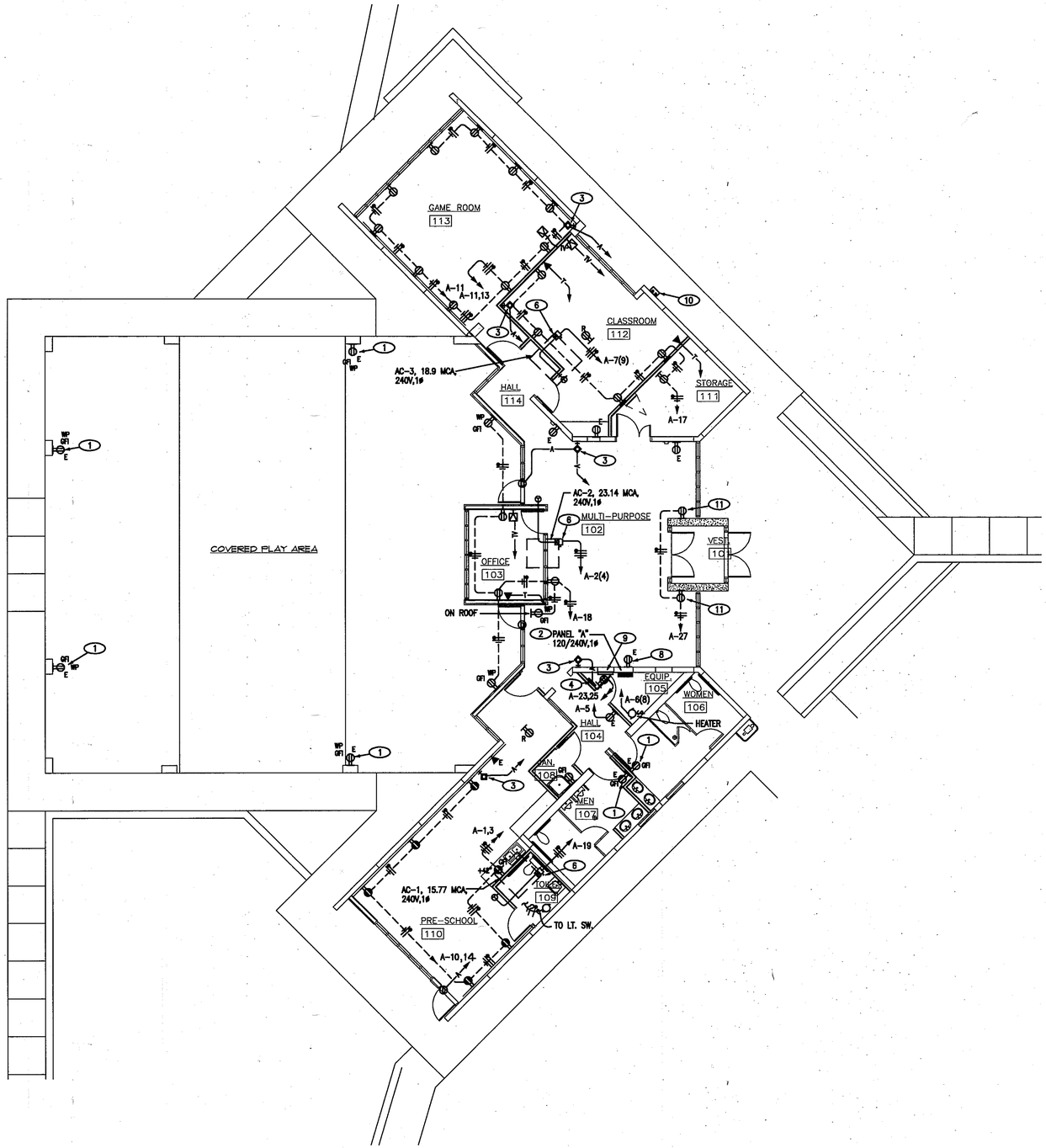
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: **LIGHTING PLAN**
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	54 Of 56 H-E2

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-4754.92-5497



3 POWER AND SPECIAL SYSTEMS PLAN

SCALE: 1/8" = 1'-0"

NORTH

GENERAL NOTES:

1. ALL WIRING TO BE #12 THHN/THWN CU. AND ALL CONDUIT TO BE 1/2" EMT MINIMUM UNLESS NOTED OTHERWISE.
2. EXISTING CONDUIT AND/OR J-BOXES MAY BE REUSED WHERE APPLICABLE, HOWEVER, NO CONDUIT, J-BOXES OR DEVICES REMOVED SHALL BE REINSTALLED. ALL WIRING TO BE NEW.
3. EXISTING ELECTRICAL TAKEN FROM ORIGINAL DRAWINGS AND FIELD SURVEYS. ACTUAL LOCATIONS OF DEVICES AND EXACT ROUTING OF CONDUITS MAY VARY. CONTRACTOR TO MAY ANY NECESSARY ADJUSTMENTS TO PROVIDE REVISIONS AS SHOWN.
4. CONCEAL ALL CONDUIT AND FLUSH MOUNT ALL ELECTRICAL DEVICES WHERE POSSIBLE.
5. ALL EXISTING DEVICES THAT REMAIN THAT ARE DAMAGED ARE TO BE REPLACED AND NEW COVER PLATES PROVIDED.
6. REFER TO SHEET H-E4 FOR LEGEND AND SCHEDULES.

KEYED NOTES:

1. REMOVE EXISTING RECEPTACLE AND INSTALL NEW AS SHOWN WITH TAMPER PROOF SCREWS.
2. REPLACE EXISTING PANEL WITH NEW, RECONNECT EXISTING CIRCUITS THAT REMAIN SAME AS BEFORE.
3. INSTALL MOTION SENSOR ON WALL 6" BELOW CEILING. EXTEND WIRING IN CONDUIT TO EXISTING PANEL IN ROOM 105 AND CONNECT.
4. REMOVE AND REINSTALL EXISTING SECURITY PANEL ON NEW WALL, MODIFY PANEL AS REQUIRED FOR NEW SENSORS.
5. REMOVE EXISTING METERING AND SERVICE, REFER TO RISER DIAGRAM.
6. FURNISH AND INSTALL 30A, 240V, 2P+SN FUSIBLE DISCONNECT SWITCH IN R.T. ENCLOSURE. FUSE TO SUIT WITH FUSETRONS. EXTEND 3/4" CONDUIT WITH WIRING AS REQUIRED TO CONTROL DEVICE.
7. NOT USED.
8. EXISTING OUTLETS DESIGNATED TO REMAIN ARE TO BE WITH NEW DEVICES AND COVER PLATES (TYPICAL).
9. INSTALL 3'X3'X3/4" PLYWOOD TELEPHONE BOARD. PROVIDE #6 BARE CU. GROUND TO NEAREST COLD WATER PIPE.
10. EXISTING SERVICE ENTRANCE, REFER TO RISER DIAGRAM.
11. OUTLET TO BE MOUNTED FLUSH IN CONCRETE AND ALL CONDUITS TO BE CONCEALED IN CAST IN PLACE CONCRETE OR UNDER FLOOR.

AS BUILT INFORMATION

CONTRACTOR	DATE:
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MICRO-FILM INFORMATION

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FIELD NOTES

NO.	BY	DATE

DENNIS M. SCARCELL, NEW MEXICO 6855, REGISTERED PROFESSIONAL ENGINEER, ALLIED ENGINEERING

REVISIONS/REMARKS

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: POWER AND SPECIAL SYSTEMS PLAN
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet
4754.92	G-22	55 Of 56 H-E3

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26-4754.92 5597

PANEL "A" *			
120/240V, 1 PHASE, 3W, 225A M.L.O., "WESTINGHOUSE" TYPE POW-R-LINE 2, SURFACE MOUNTED 10,000 AIC MINIMUM BREAKERS			
CIRCUIT	BREAKER	WIRE	LOAD
1 THRU 20	20A-1P	#12	LIGHTS, RECEPTACLES, EQUIPMENT, MECHANICAL
21,22	40A-2P	#8	MECHANICAL
23	30A-2P	#10	MECHANICAL
24 THRU 38	20A-1P	---	SPARES
* RECONNECT EXISTING CIRCUITS THAT REMAIN AND RE-NUMBER AS REQUIRED.			

FIXTURE SCHEDULE

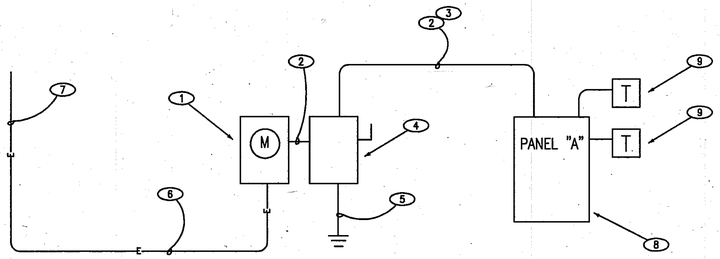
NO.	DESCRIPTION	MOUNTING	LAMPS
1	"LITHONIA" #DMA232AR120GEB	SURFACE CEILING	2-F032/TB/35K
2	"LITHONIA" #2SPG332RWA12125120GEB	RECESSED T-GRID	3-F032/TB/35K
3	"LITHONIA" #VR3C100M120SF	SURFACE CEILING	1-100W/MH
4	"LITHONIA" #VRR2/13TT120	RECESSED CONRETE *	2-13W/TT
⊗	"LITHONIA" #LQMS1R120/277EL	SURFACE WALL OR CEILING	AS REQUIRED
* PROVIDE 1/2" AIR GAP BETWEEN TOP OF FIXTURE HOUSING AND CONCRETE.			

LEGEND

SYMBOL	DESCRIPTION
	BRACKET OUTLET AND FIXTURE.
	CEILING OUTLET AND FIXTURE.
	FLUORESCENT OUTLET AND FIXTURE.
	LAY-IN FLUORESCENT FIXTURE WITH OUTLET ON STRUCTURE-FLEXIBLE CONDUIT TO TO FIXTURE.
	FLUORESCENT FIXTURE USED AS NIGHT LIGHT AND EMERGENCY LIGHT UNLESS NOTED OTHERWISE. FURNISHED WITH INTEGRAL BATTERY PAC AND CHARGER.
	SINGLE POLE WALL SWITCH, UP 48".
3	3-WAY WALL SWITCH, UP 48".
T	THERMAL SWITCH.
WP	WEATHERPROOF DUPLEX CONVENIENCE OUTLET, UP 12" OR AS NOTED.
GFI	GROUND FAULT INTERRUPTER TYPE RECEPTACLE, HEIGHT AS NOTED.
WP GFI	WEATHERPROOF DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER.
EWC	DUPLEX GROUNDING TYPE CONVENIENCE OUTLET UP 24" (INSIDE OF EWC CASE).
	DUPLEX CONVENIENCE OUTLET, UP 18" OR AS NOTED.
	DUPLEX CONVENIENCE OUTLET, UP 18" OR AS NOTED. (SAFETY TYPE)
	J-BOX ABOVE CEILING.
	JUNCTION BOX FLUSH IN WALL-HEIGHT AS NOTED OR REQUIRED WITH CONNECTION TO EQUIPMENT.
	THERMOSTAT OR CONTROL DEVICE, UP 5'-6" OR AS NOTED.
	TELEPHONE OUTLET, UP 18" OR AS NOTED
	TIMECLOCK, "PARAGON" #EC-7004-120 WITH BATTERY PAC EXCEPT AS NOTED.
	TV OUTLET WITH JACK, UP 18" OR AS NOTED.
	MAGNETIC DOOR CONTACT FOR SECURITY ALARM SYSTEM, MATCH EXISTING.
	QUAD PIR MOTION DETECTOR FOR SECURITY ALARM SYSTEM, MATCH EXISTING.
	CIRCUIT BREAKER PANELBOARD.
	SPECIAL CABINET AS NOTED, FLUSH MOUNTED, 18"X24"X4" OR AS NOTED, TELEPHONE TYPE WITH HINGED COVER, 3/4" PLYWOOD BACKBOARD AND TERMINAL STRIPS.
	MOTOR.
	MOTOR CONTROLLER.
	SAFETY SWITCH.
	CONDUIT RUN IN WALLS OR CEILING.
	CONDUIT RUN IN WALLS OR UNDER FLOOR.
T	3/4" CONDUIT WITH PULL WIRE FOR TELEPHONE SYSTEM.
T	1" CONDUIT WITH PULL WIRE TO TELEPHONE TERMINAL BOARD.
A	1/2" CONDUIT WITH WIRING AS REQUIRED FOR SECURITY CONTROL PANEL.
TV	3/4" CONDUIT WITH COAXIAL CABLE TO TELEPHONE BOARD.
	HOMERUN.
H2	TIC MARKS REPRESENT NEUTRAL, HOT, SWITCH AND GROUND LEG CONDUCTORS RESPECTIVELY.
"E" DESIGNATES EXISTING TO REMAIN, "R" DESIGNATES EXISTING TO BE REMOVED.	

KEYED NOTES:

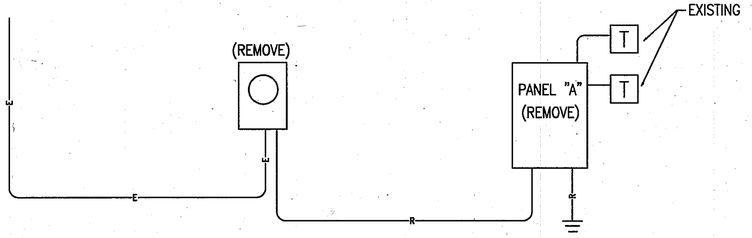
1. REPLACE EXISTING METER WITH NEW PER P.S.C.N.M. STANDARD DRAWINGS.
2. 3 #4/0 THWN COPPER AND 1 #6 GROUND IN 2" CONDUIT.
3. EXTEND UP WALL AND UP ROOF TO PANEL.
4. FURNISH AND INSTALL 200A, 2P+SN, 240V, FUSIBLE SWITCH IN R.T. ENCLOSURE. FUSE AT 200 AMPS, WITH LO PEAK C.L. FUSES. (10,000 MIN. AIC).
5. #2 COPPER GROUND IN 3/4" CONDUIT. EXTEND ONE (1) TO DRIVEN GROUND ROD, ONE (1) TO COLD WATER SERVICE PER ARTICLE 250 OF THE NEC.
6. EXISTING 2" CONDUIT, REMOVE EXISTING CONDUCTORS AND PULL IN 3 #4/0 THWN COPPER.
7. EXISTING RIGID CONDUIT RISER, REPLACE EXISTING CONDUCTORS WITH 3 #4/0 THWN COPPER.
8. NEW PANEL "A", REFER TO PANEL SCHEDULE FOR DESCRIPTION.
9. RECONNECT EXISTING TIME CLOCKS.



NEW POWER RISER DIAGRAM

SERVICE: 120/240V, 1ø, 3W

CONNECTED LOAD = 32 KVA
ESTIMATED DEMAND = 20 KVA



EXISTING POWER RISER DIAGRAM

SERVICE: 120/240V, 1ø, 3W

AS BUILT INFORMATION
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SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

DENNIS M. SCARGELL NEW MEXICO 6855 ENGINEERING ALLIED SCIENCES REGISTERED PROFESSIONAL

NO.	DATE	REVISIONS/REMARKS	BY
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PARKS AND GENERAL SERVICES
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TITLE: LEGEND AND SCHEDULES
HOLIDAY PARK SHELTER CENTER EXPANSION

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

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4754.92	G-22	56 Of 56 H-E4

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