

CONSTRUCTION PLANS
FOR
WORK IN THE PUBLIC RIGHT-OF-WAY

ON PITT ST. BETWEEN
LA GRIMA DE ORO RD. N.E. AND GUITERREZ RD. N.E.

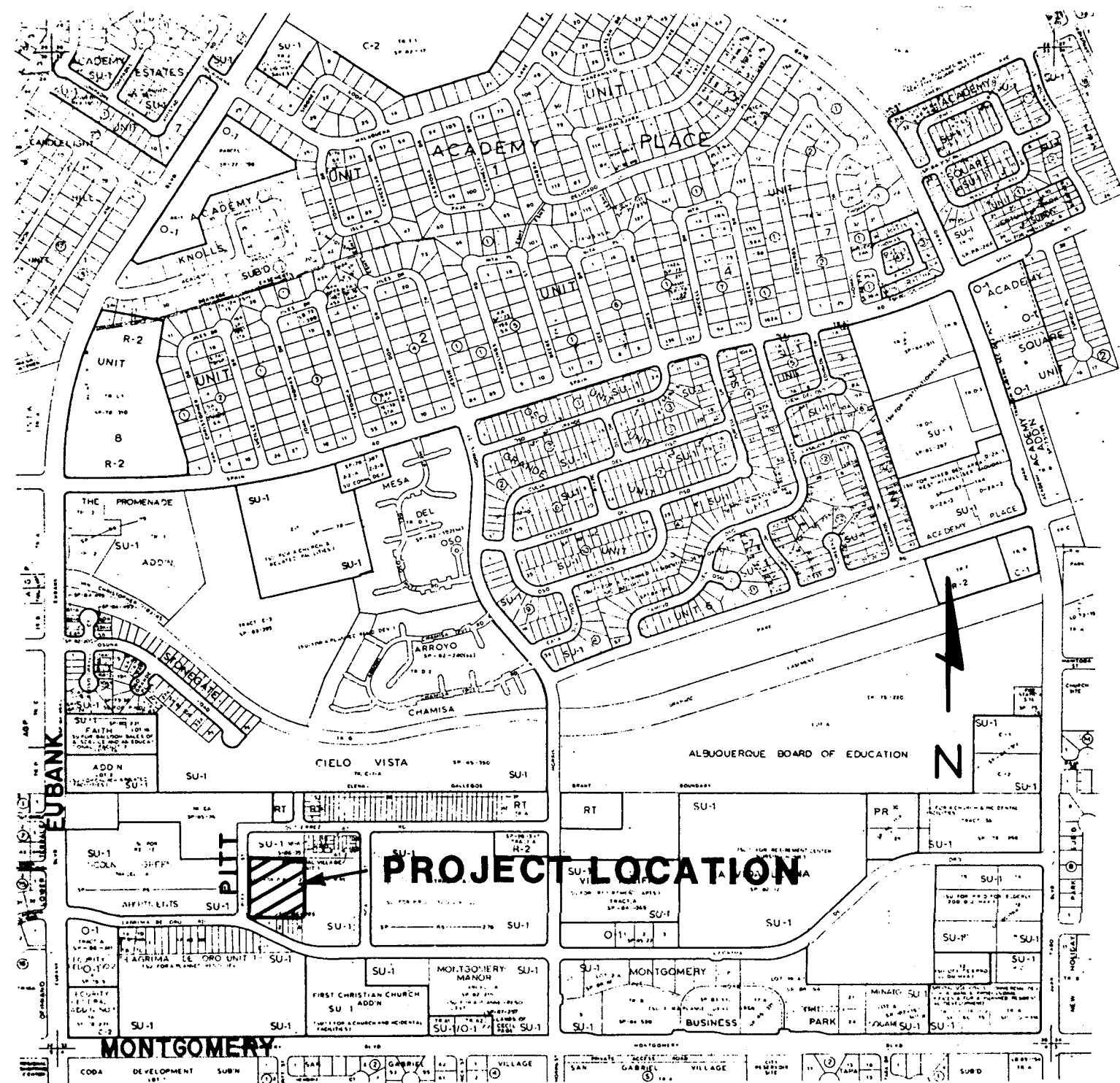
CHAPARRAL COURTYARDS

DEL CHAPARRAL PLACE N.E.
FOR
UTILITIES AND STORM DRAINS ONLY

PHASE I
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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4774.90 01 95



VICINITY MAP

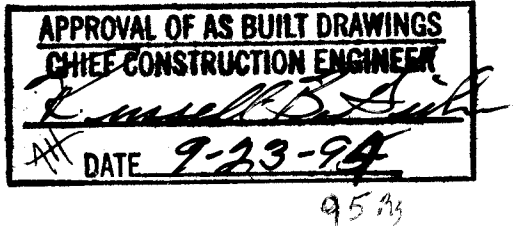
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N.T.S.

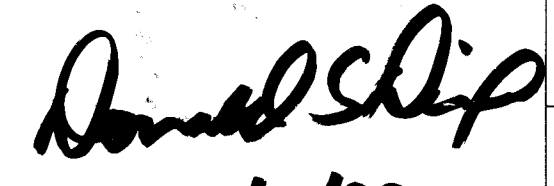
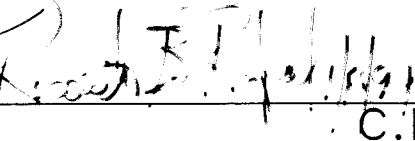
GENERAL NOTES

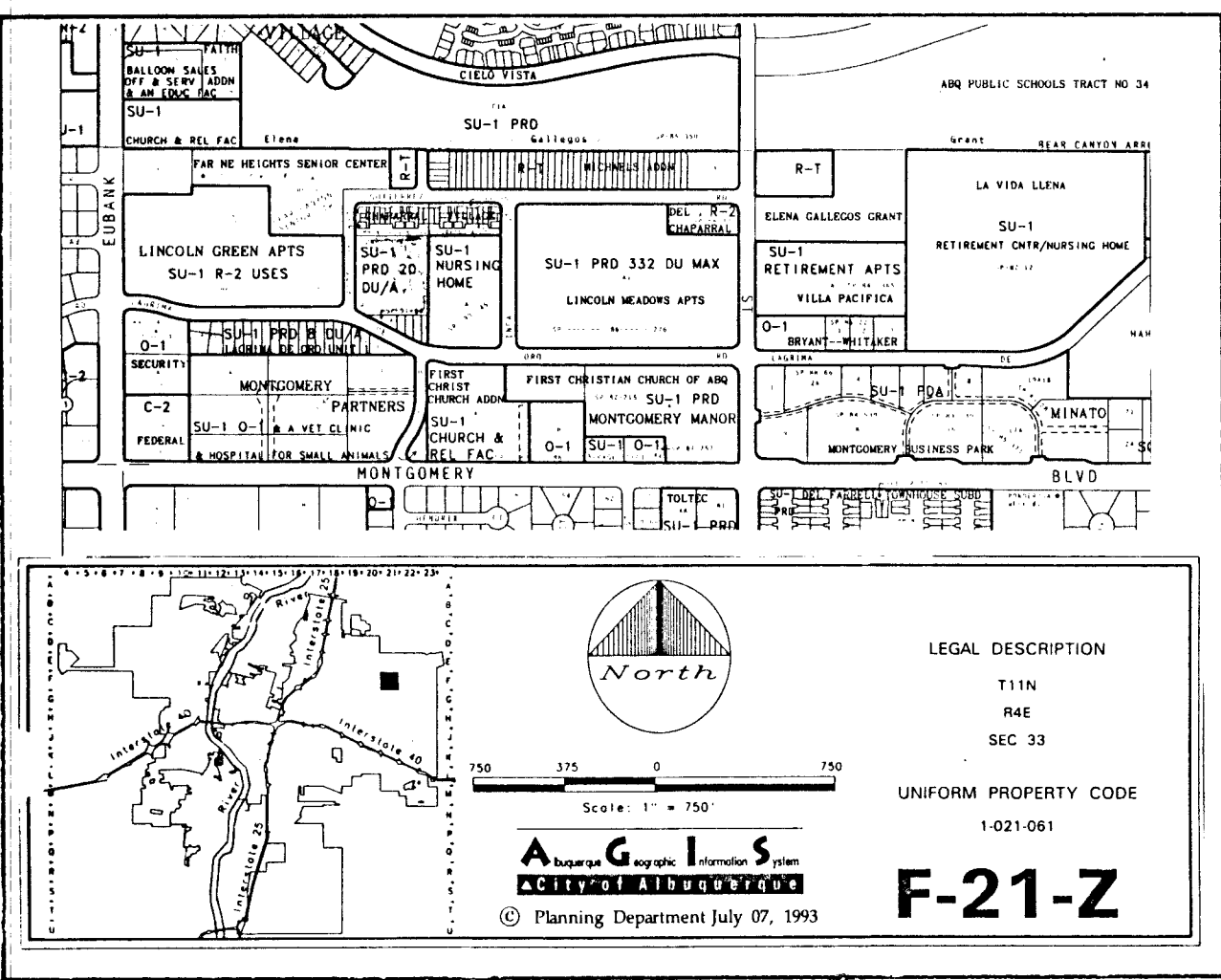
NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, 1986 Edition as amended with #4.
3. Two working days prior to any excavation, contractor must contact New Mexico One Call, 260-1990, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to RESIDENTIAL street use.
6. Three (3) working days prior to beginning construction the Contractor shall submit to the Construction Co-ordination Division a detailed construction schedule. Two (2) working days prior to construction the Contractor shall obtain a barricading permit from the Construction Co-ordination Division. Contractor shall notify Barricade Engineer (768-2551) prior to occupying an intersection. See section 19 of the specifications. All Street striping altered or destroyed shall be replaced in kind by Contractor to location and in kind as existing or as indicated by this plan set.



REV.	SHEETS	CITY ENGR.	DATE	USER DEPT.	DATE	USER DEPT.	DATE
APPROVAL OF REVISIONS							

 1/11/94 11/4/93 11/18/93	 ENGINEERS & ENVIRONMENTAL SCIENTISTS 2129 OSUNA NE - SUITE 200, ALBUQUERQUE, NEW MEXICO 87113 TELEPHONE - (505) 346-3115	APPROVED FOR CONSTRUCTION  C.E.
PROJECT NO. 4774.90	SHEET 1 OF 7	



VICINITY MAP

SUBDIVISION DATA / NOTES

- PLAT WAS COMPILED USING EXISTING RECORD DATA AND FIELD SURVEY.
- ALL PROPERTY CORNERS ARE SET WITH 1/2" REBAR AND CAP STAMPED "LS 6446", UNLESS OTHERWISE NOTED.
- ALL BEARINGS ARE GRID BEARINGS, NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE.
- DISTANCES ARE GROUND DISTANCES.
- ALL DISTANCES AND BEARINGS SHOWN IN PARENTHESIS ARE OF RECORD.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- GROSS ACREAGE: 2.3033 ACRES, MORE OR LESS
- NUMBER OF EXISTING TRACTS: 2
- NUMBER OF TRACTS/LOTS CREATED: 27
- MILEAGE OF STREETS CREATED: 0.0674 MI.
- CITY STANDARD UTILITY NOTE II:
"CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO CHAPARRAL COURTYARDS SUBDIVISION MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE."
- Δ = SET FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS#6446".

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE TWO (2) EXISTING TRACT INTO TWENTY-SEVEN (27) RESIDENTIAL LOTS, TO DEDICATE A PUBLIC ROADWAY, AND TO GRANT THOSE EASEMENTS NECESSARY TO SERVE THE RESIDENTIAL DEVELOPMENT.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #.

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE:

LEGAL DESCRIPTION

Certain tracts of unplatted lands situate within the Southwest One Quarter (SW/) of fractional Section 33, T. 11 N., R. 4 E., N.M.P.M., within the City limits of the City of Albuquerque, New Mexico and being more particularly described as follows: BEGINNING at the Southeast corner of said tract herein described, being the Northeast corner of the WEST 80 OF THE 160 ASSOCIATION, filed May 3, 1991 in Volume 91C, folio 90, whence A.C.S. Control Station 10-G21 bears S 61°06'33" E, 1470.46 feet distant; thence, from said point of beginning S 89°56'31" W, 266.20 feet to a point on a curve, being a point on the Northeastly right-of-way of Lagrima de Oro N.E. and also being the most Westerly corner of said WEST 80 OF THE 160 ASSOCIATION; thence Northwestly along said Northeastly right-of-way, along a curve to the left, through a central angle of 02°57'50", having a radius of 453.53 feet and an arc length of 23.46 feet, to a point of compound curvature; thence, Northwestly along a curve to the right, through a central angle of 70°58'19", having a radius of 25.00 feet and an arc length of 30.97 feet, to a point of tangency, being a point on the Easterly right-of-way of Pitt Street N.E.; thence, N 00°01'24" W along said Easterly right-of-way, 298.15 feet to the Northwest corner of said tract herein described; thence, leaving said right-of-way, N 89°56'31" E, 305.05 feet to the Northeast corner of said tract herein described; thence S 00°01'17" E, 330.00 feet to the point of beginning and containing 2.3033 acres, more or less.

FREE CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

Chaparral Corp.
Curtis Bryant 9/13/93
DATE
CURTIS BRYANT - PRES. CHAPARRAL CORP.

ACKNOWLEDGEMENT
STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 13 DAY OF September, 1993 BY: *Curtis Bryant* - Pres.

MY COMMISSION EXPIRES
Oct 24, 1994

NOTARY PUBLIC
Franklin E. Wilson

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C-1	75.00'	117.76'	106.03'	N 44°57'37" E	89°57'48"
C-2	75.00'	58.88'	57.38'	N 67°27'04" E	44°58'54"
C-3	75.00'	58.88'	57.38'	N 22°28'10" E	44°58'54"
C-4	25.00'	39.29'	35.37'	S 45°02'23" E	90°02'12"
C-5	53.00'	83.22'	74.93'	N 44°57'37" E	89°57'48"
C-6	53.00'	14.13'	14.09'	N 82°18'07" E	15°16'47"
C-7	53.00'	69.08'	64.30'	N 37°19'13" E	74°41'01"
C-8	25.00'	17.22'	16.88'	N 19°45'27" W	39°28'21"
C-9	32.00'	1.68'	1.68'	S 37°59'16" E	03°00'44"
C-10	32.00'	39.46'	37.01'	S 01°09'20" E	70°39'59"
C-11	32.00'	34.17'	32.57'	S 64°45'52" W	61°11'14"
C-12	32.00'	31.63'	30.36'	N 56°19'36" W	56°37'51"
C-13	32.00'	37.68'	35.54'	N 05°43'12" E	67°27'44"
C-14	32.00'	142.94'	50.46'	N 88°30'55" W	255°55'58"
C-15	25.00'	17.22'	16.88'	S 19°42'53" W	39°28'21"
C-16	25.00'	5.55'	5.54'	S 33°05'08" W	12°43'51"
C-17	25.00'	11.67'	11.56'	S 13°20'58" W	26°44'30"
C-18	25.00'	18.69'	18.26'	S 21°26'17" E	42°50'00"
C-19	35.00'	4.85'	4.85'	N 38°52'53" W	07°56'49"
C-20	35.00'	20.74'	20.44'	N 17°55'58" W	33°56'59"
C-21	35.00'	20.28'	20.00'	N 15°38'37" E	33°12'11"
C-22	35.00'	20.28'	20.00'	N 48°50'48" E	33°12'11"
C-23	35.00'	20.28'	20.00'	N 82°02'59" E	33°12'11"
C-24	35.00'	15.18'	15.06'	S 68°55'29" E	24°50'53"
C-25	35.00'	101.62'	69.50'	N 40°19'20" E	166°21'15"
C-26	25.00'	14.64'	14.43'	N 73°16'46" W	33°33'26"
C-27	25.00'	4.78'	4.77'	N 61°58'46" W	10°57'27"
C-28	25.00'	9.86'	9.80'	N 78°45'29" W	22°35'59"
C-29	25.00'	39.25'	35.34'	S 44°57'34" W	89°57'56"
C-30	52.18'	81.94'	73.78'	N 44°57'37" E	89°57'48"

PLAT OF
CHAPARRAL COURTYARDS SUBDIVISION
SITUATE WITHIN FRACTIONAL SECTION 33
T. 11 N., R. 4 E., N.M.P.M.
ALBUQUERQUE, NEW MEXICO
SEPTEMBER 1993
SHEET 1 OF 2

APPROVALS: S-93-34 DRB NO: 93-149

PUBLIC SERVICE COMPANY OF NEW MEXICO DATE
Joe Dunlop 10-29-93
GAS COMPANY OF NEW MEXICO DATE

U.S. WEST COMMUNICATIONS DATE

JONES INTERCABLE DATE
Joe Dunlop 10-29-93
CITY SURVEYOR, ENGR. DIV., P.U.D. DATE

TRAFFIC ENGINEERING, TRANS. DEV. DIV., P.W.D. DATE

PARKS & RECREATION DEPARTMENT DATE

UTILITY DEVELOPMENT DIV., P.W.D. DATE

REAL PROPERTY DIVISION, P.W.D. DATE

A.M.A.F.C.A. DATE

CITY ENGINEER, PUBLIC WORKS DEPT. DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF THE REVISED ORDINANCES OF ALBUQUERQUE, N.M.

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION DATE

SURVEYOR'S CERTIFICATION

I, FRANKLIN E. WILSON, A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FRANKLIN E. WILSON, N.M.L.S. NO. 6446 DATE

SOUTHWEST SURVEYING CO., INC.
333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 247-4444
FAX: (505) 242-8069

PLAT OF
CHAPARRAL COURTYARDS SUBDIVISION
SITUATE WITHIN FRACTIONAL SECTION 33
T. 11 N., R. 4 E., N.M.P.M.
ALBUQUERQUE, NEW MEXICO
SEPTEMBER 1993
SHEET 2 OF 2

PUBLIC UTILITY EASEMENTS

- The Public Service Company of New Mexico for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The Gas Company of New Mexico for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- U.S. West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Jones Intercable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool deck, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking or any structures adjacent to, within or near easements shown on this plat.

P.N.M. DISCLAIMER

By approving this document, PNM does NOT waive or release any easement or easement rights which may have been granted by prior plat, replat or document.

NOTE:

Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS#6446".

SURVEYOR'S CERTIFICATION

I, FRANKLIN E. WILSON, A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FRANKLIN E. WILSON, N.M.L.S. NO. 6446 DATE

SOUTHWEST SURVEYING CO., INC.
333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 247-4444
FAX: (505) 242-8069

A.C.S. Control Sta. 10-G21
X = 478,062.22
Y = 1,502,849.82
Ground-Grid = 0.9996381
Delta Alpha = -00°09'28"
New Mexico State Plane
Coordinate System
Central Zone
NAD 1927

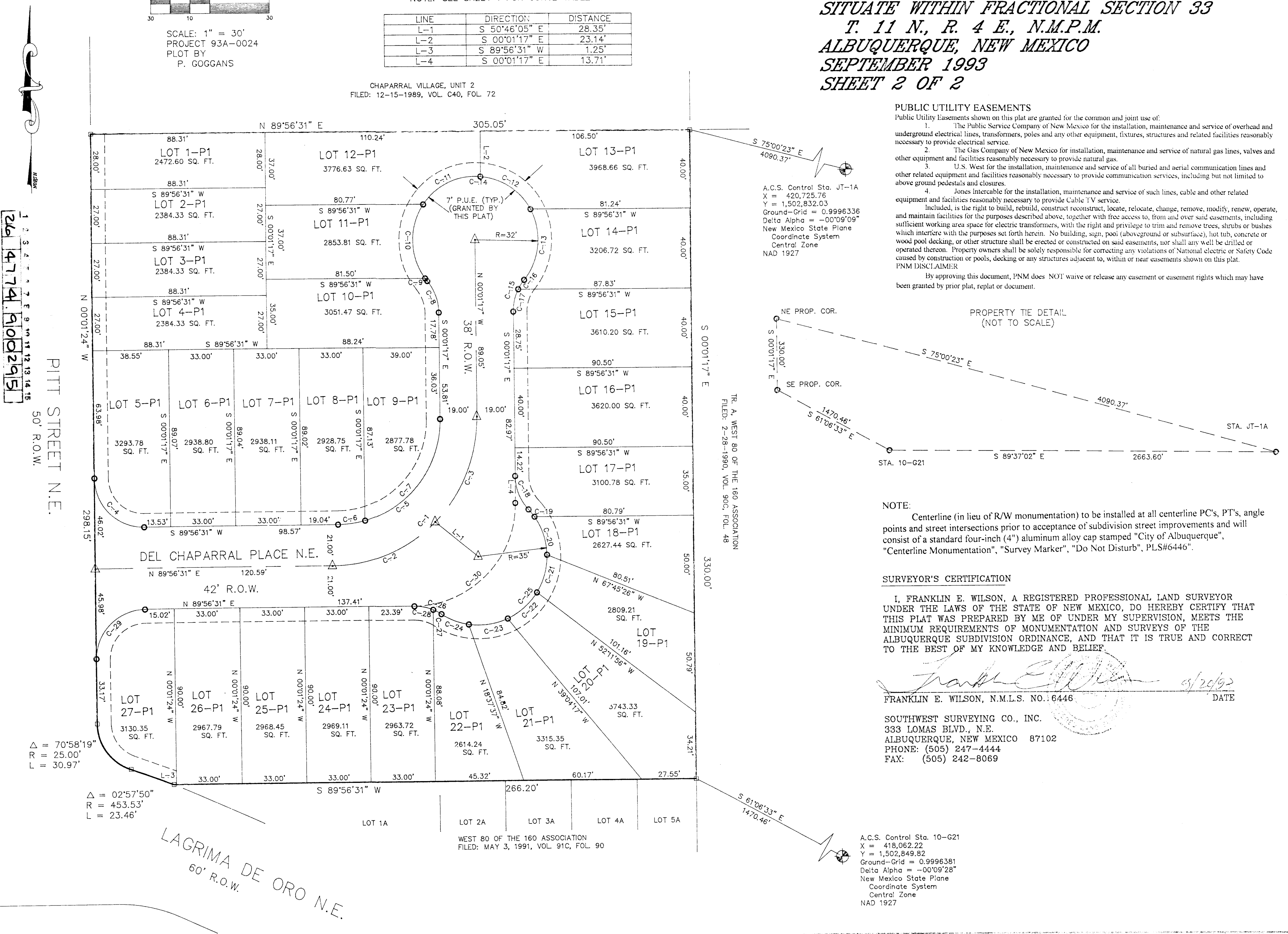


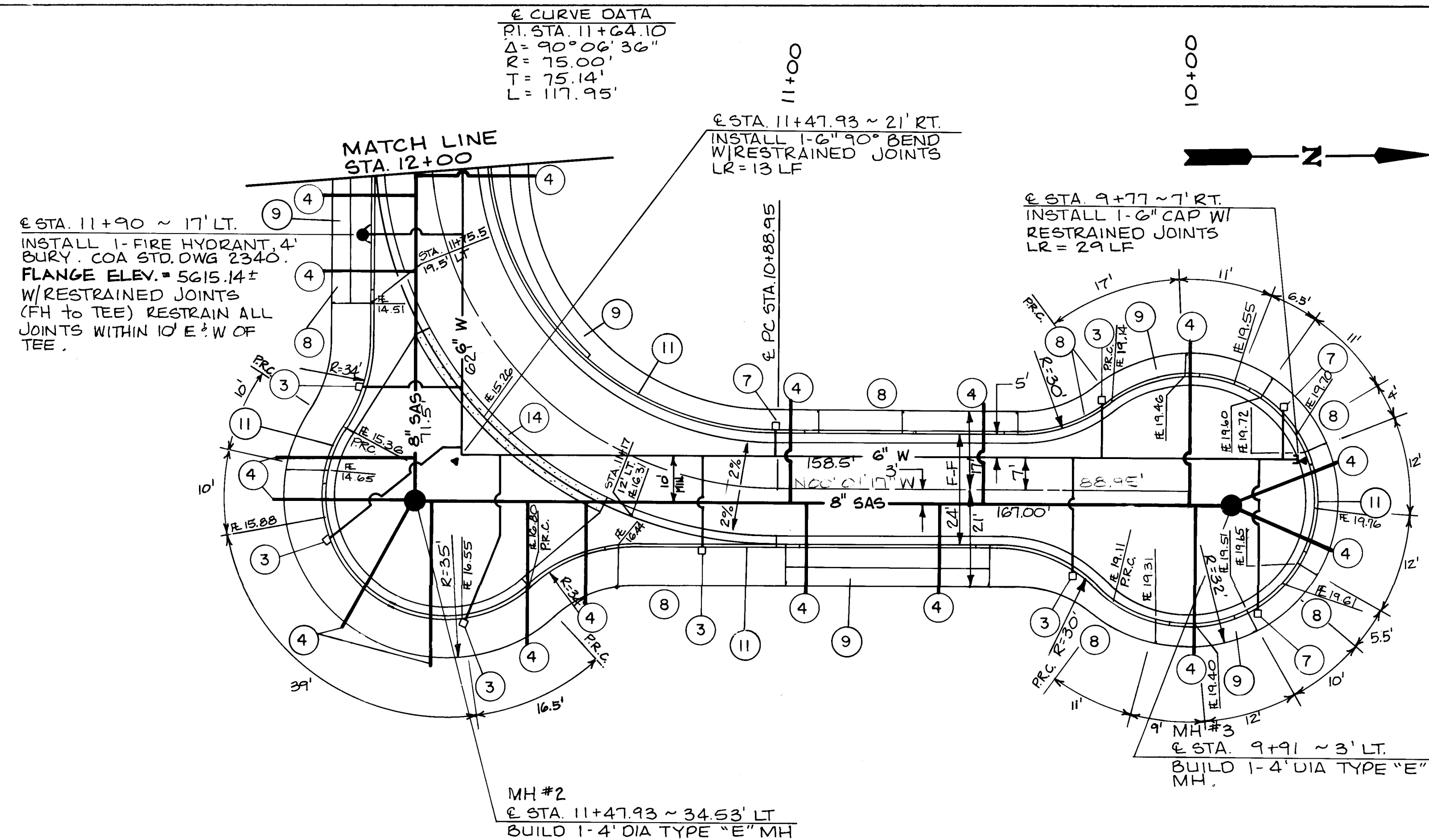
SCALE: 1" = 30'
PROJECT 93A-0024
PLOT BY
P. GOGGANS

NOTE: SEE SHEET 1 FOR CURVE TABLE.

LINE	DIRECTION	DISTANCE
L-1	S 50°46'17" E	28.35'
L-2	S 00°01'17" E	23.14'
L-3	S 89°56'31" W	1.25'
L-4	S 00°01'17" E	13.71'

CHAPARRAL VILLAGE, UNIT 2
FILED: 12-15-1989, VOL. C40, FOL. 72





KEY NOTES

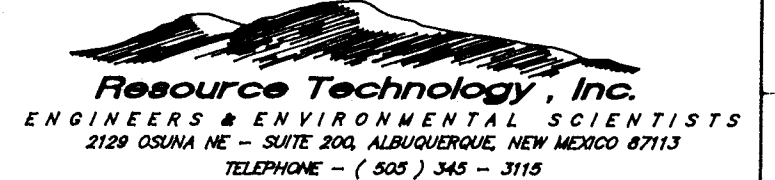
- (1) INSTALL SINGLE 3/4" METER BOX WITH CURB STOP CONNECT TO EXISTING 2" STUBOUT C.O.A. STD. DWG. 2362
- (2) INSTALL 4" PVC SANITARY SERVICE WITH CLEANOUTS, CONNECT TO 6" SANITARY STUBOUT
- (3) INSTALL DOUBLE 3/4" METER BOX WITH CURB STOP AND SERVICE LINE. C.O.A. STD. DWG. 2360.
- (4) INSTALL 4" PVC SANITARY SERVICE WITH CLEANOUTS C.O.A. STD. DWG. 2125
- (5) CONNECT 4" SANITARY SERVICE TO EXISTING 8" SAS C.O.A. STD. DWG. 2125
- (6) TAP TO EXISTING 10 INCH PVC WATER DISTRIBUTION LINE C.O.A. STD. DWG. 2301
- (7) INSTALL SINGLE 3/4" METER BOX WITH CURB STOP AND SERVICE LINE C.O.A. STD. DWG. 2360
- (8) BUILD CONCRETE DRIVEPAD PER C.O.A. STD. DWG. 2425.
- (9) BUILD SIDEWALK PER C.O.A. STD. DWG. 2430.
N.I.C.
- (10) BUILD STANDARD CURB AND GUTTER PER C.O.A. STD. DWG. 2415.
- (11) BUILD MOUNTABLE ROLL TYPE CURB AND GUTTER PER C.O.A. STD. DWG. 2415.
- (12) BUILD MOUNTABLE TO STANDARD CURB TRANSITION PER C.O.A. STD. DWG. 2418.
- (13) BUILD CONCRETE VALLEY GUTTER PER C.O.A. STD. DWG. 2420.
- (14) BUILD CONCRETE VALLEY GUTTER PER C.O.A. STD. DWG. 2421.
- (15) BUILD WHEELCHAIR RAMP TYPE I PER C.O.A. STD. DWG. 2440 AND 2441
- (16) BUILD TYPE "D" INLET PER C.O.A. STD. DWG. 2201 AND 2202. REMOVE TYPE "C" GRATE, INSTALL TYPE "D" INLET
- (17) REMOVE EXISTING CURB & GUTTER, 166" ± L.F.
- (18) INSTALL TYPE "A" SINGLE GRATE INLET PER C.O.A. STD. DWG. 2205.

NOTE :
SEE SHEET 4 FOR WATER SERVICE,
SANITARY SEWER SERVICE AND
DRIVEPAD LOCATION TABLES.

UTILITIES AND STORM DRAINS ONLY
I, Donald S. Dixon (N.M.P.E. 11043),
Certify that the drawing of the
"As-Built" Dimensions was done
under my supervision.

under my supervision
Donald Shipf
 3/31/94

SCALE 1" = 20' HORIZ.
1" = 5' VERT.



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

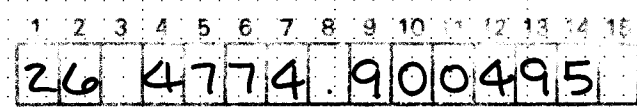
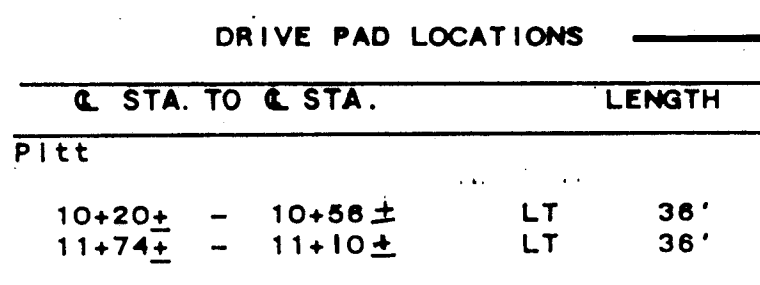
TITLE: **CHAPARRAL COURTYARDS**
UTILITY AND STREET PLAN AND PROFILE
DEL CHAPARRAL PLACE Phase I

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>S.F. Sashley</i>	<i>12-02-93</i>	WATER	<i>R.W. Kane</i>	<i>11-09-93</i>
TRANSPORTATION	<i>R. Kane</i>	<i>11-28-93</i>	WASTE WATER	<i>R.W. Kane</i>	<i>11-09-93</i>
HYDROLOGY	<i>R.C. N/A</i>	<i>11-21-93</i>			

PROJECT NO.	4774.90	MAP NO.	F-21	SHEET	3	OF	7
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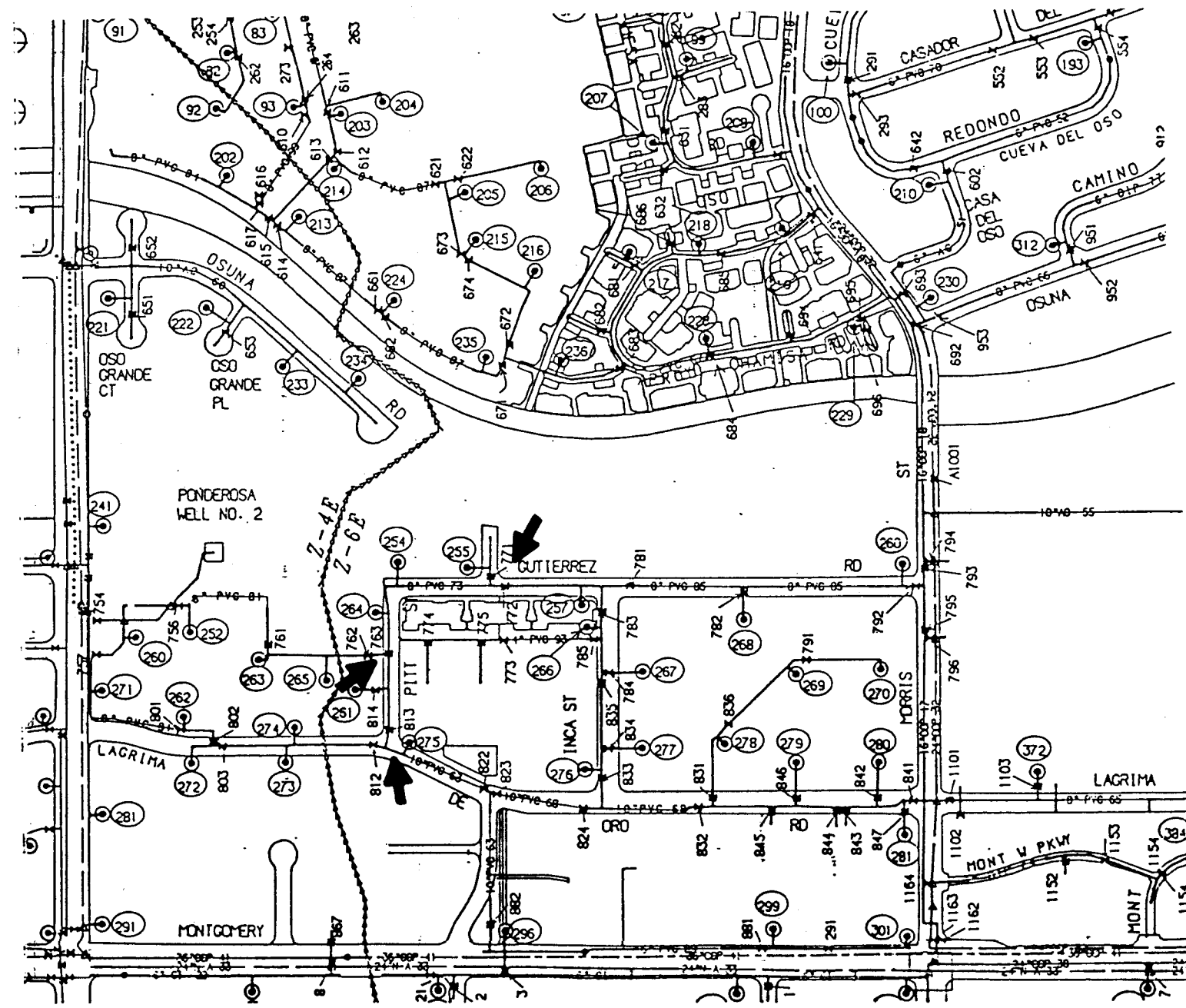
SCANNED BY
JY LASON

WATER SERVICE			
℥	Station	Offset From ℥	to Meter of Pipe
Del Chaparral Place			
9+80	LT	11.5'	LT
9+85	RT	34'	RT
10+19	LT	13'	LT
10+25	RT	26'	RT
10+89	LT	7'	LT
11+07	RT	21'	RT
11+44	RT	37'	RT
11+49	RT	35'	RT
11+57	RT	23'	RT
12+19	RT	21'	RT
12+21	LT	7'	RT
12+64	RT	21'	RT
12+64	LT	7'	LT
Pitt			
10+38	LT	38'	LT
10+92	LT	38'	LT
11+55	LT	38'	LT

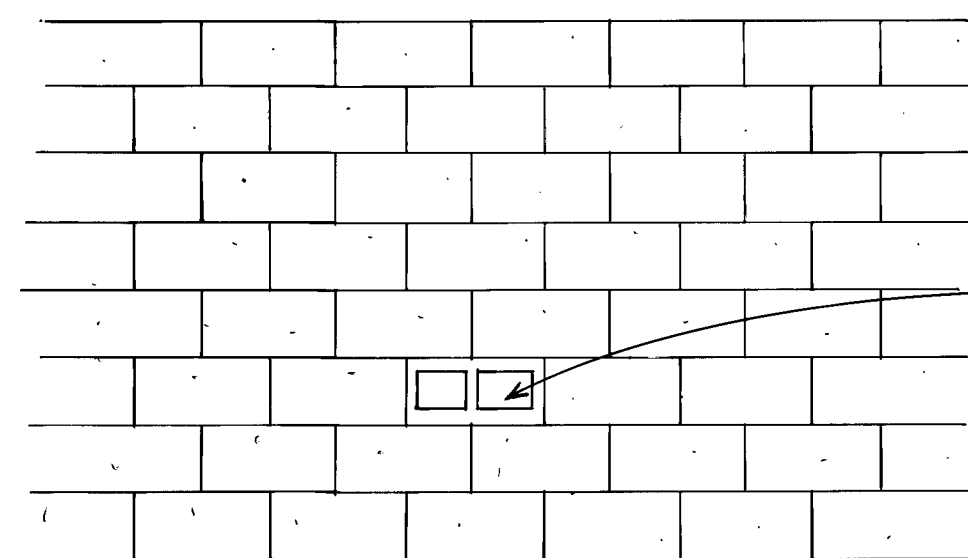


- UTILITIES AND STORM DRAINS ONLY.
- I, Donald S. Olson (N.M. P.E. 11043),
Certify that the drawing of the
"As-Built" Dimensions was done
under my supervision.
- Donald S. Olson*
3/31/94
- SCALE: 1"=20' HORIZ.
1"=5' VERT.
- 
Resource Technology, Inc.
ENGINEERS & ENVIRONMENTAL SCIENTISTS
2129 COUNWAY BL. SUITE 200 ALBUQUERQUE, NEW MEXICO 87113
TELEPHONE • (505) 345-3115

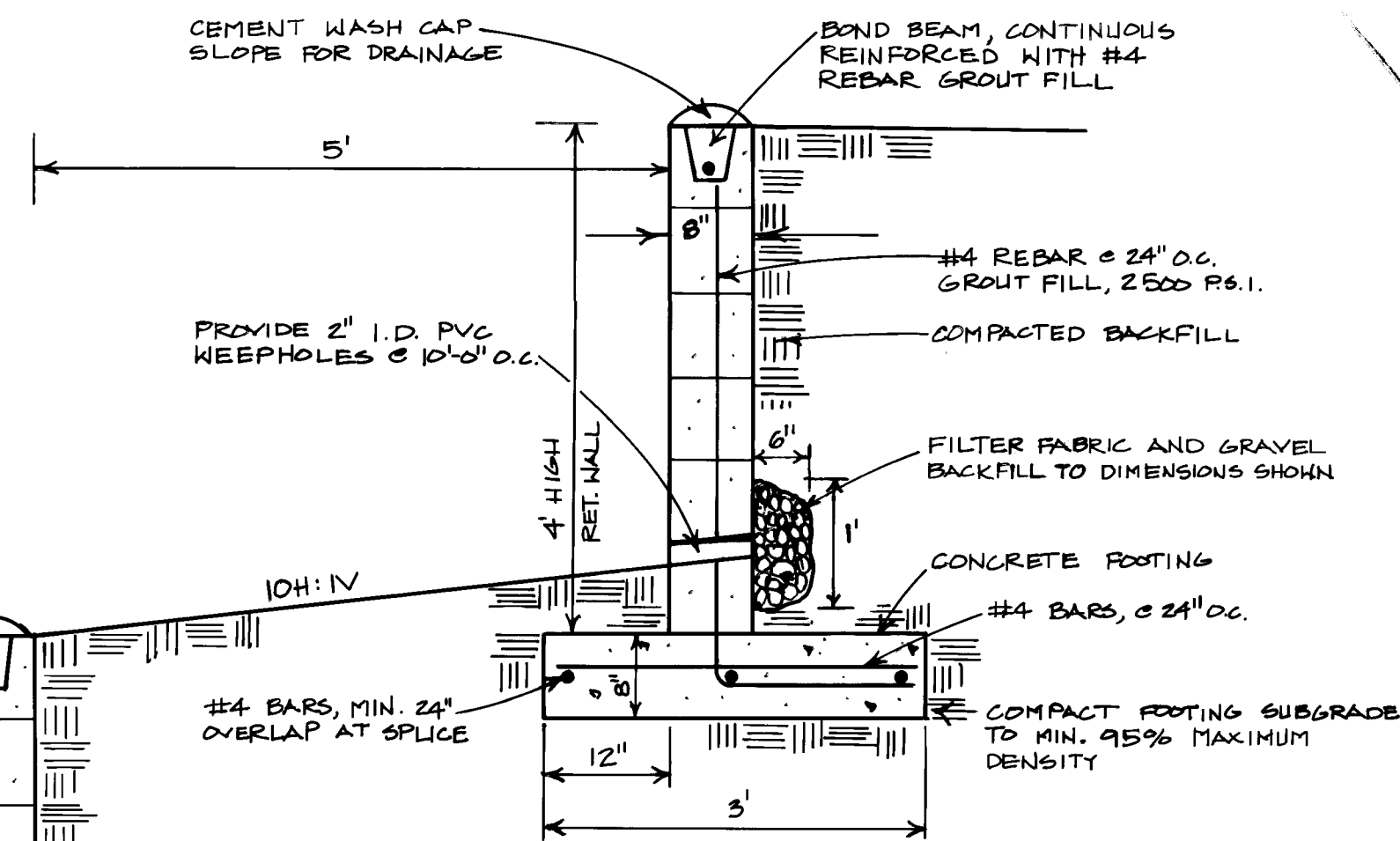
SCANNED BY
BY LASON



WATER SHUT-OFF PLAN



SURFACE DRAINAGE DETAIL
NOT TO SCALE

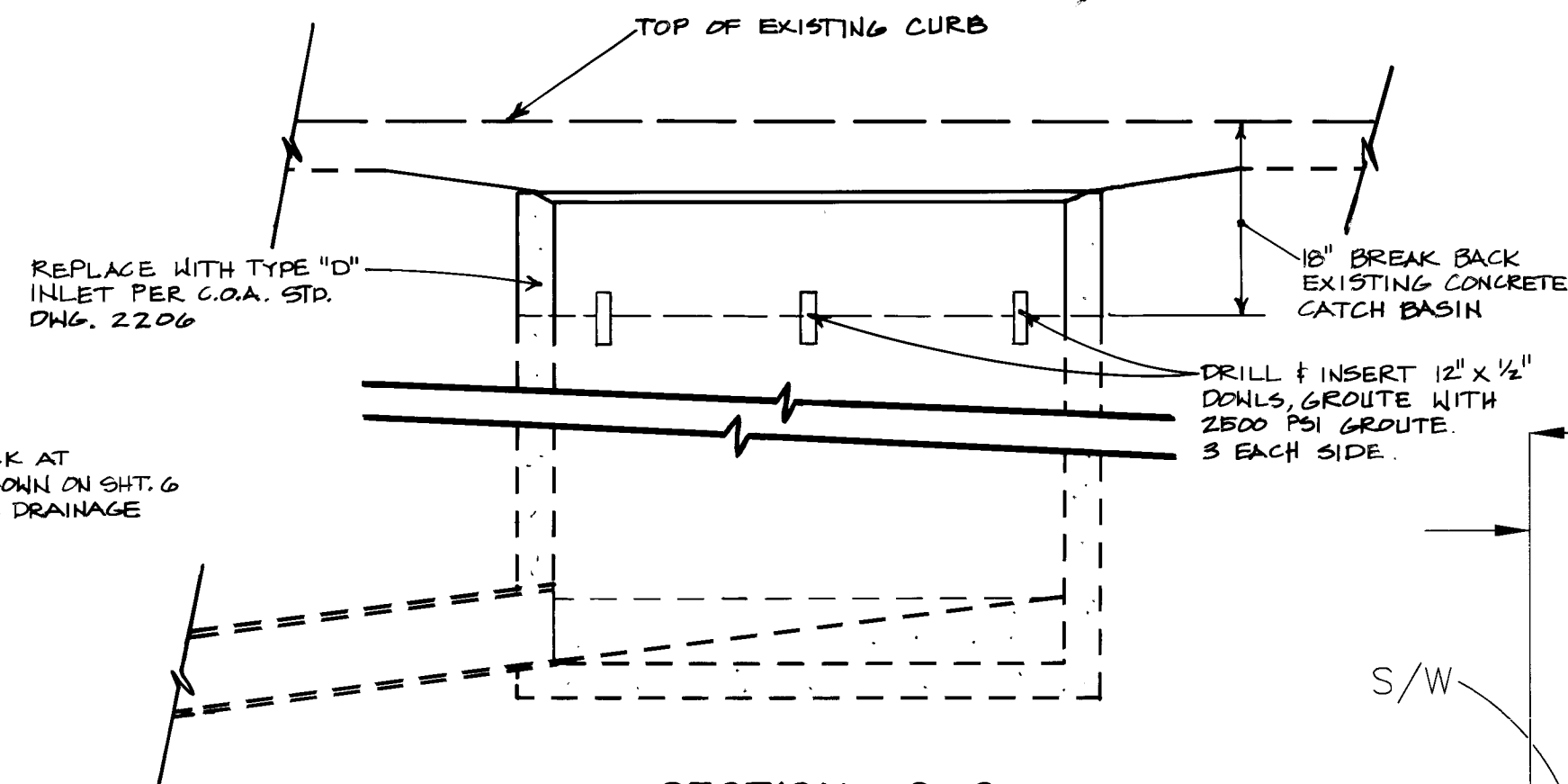


**SECTION A-A
TYPICAL DUAL RETAINING WALL**
NOT TO SCALE

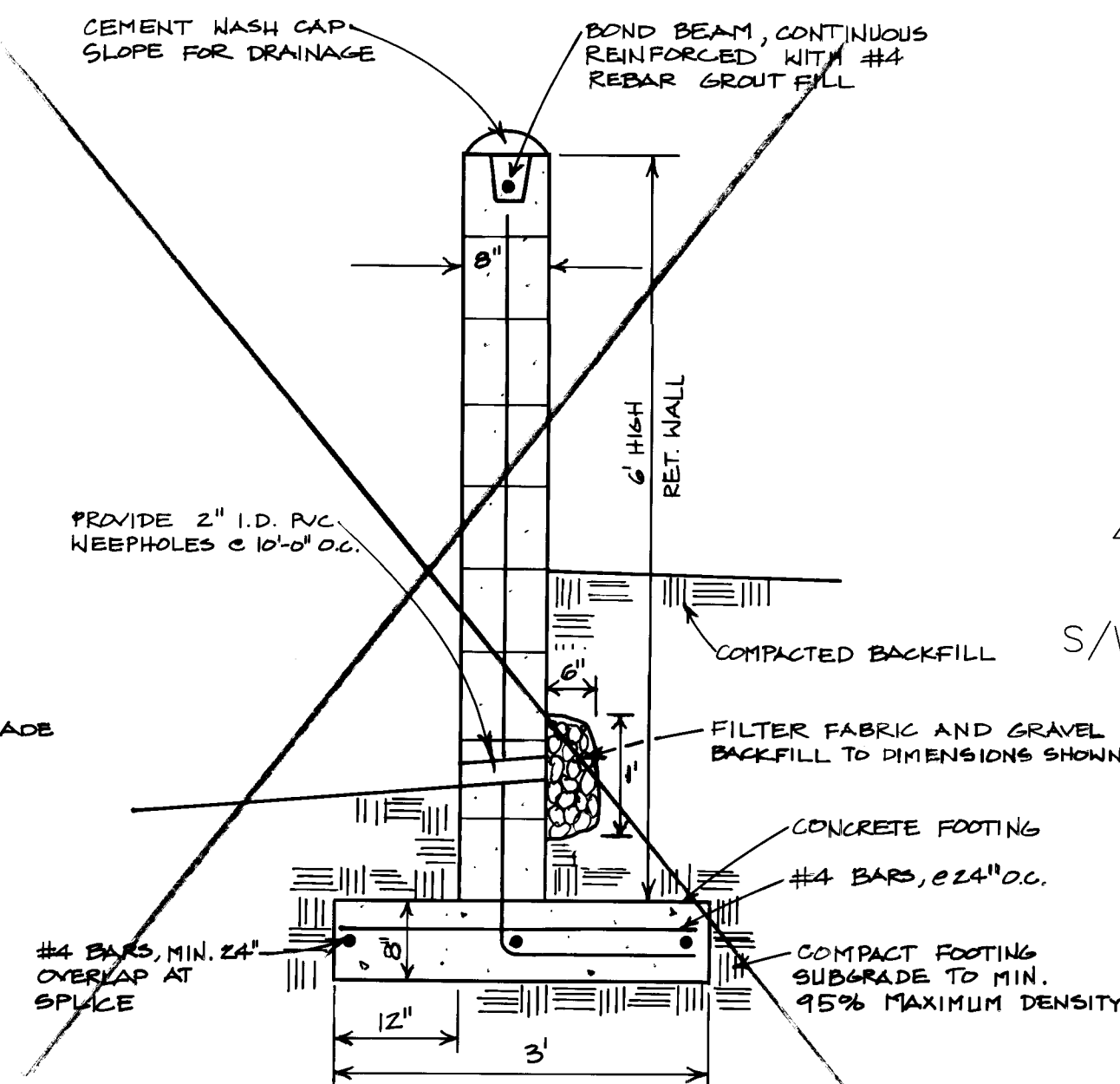
WATER SHUT-OFF

- CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF THE WATER SHUT-OFF REQUIREMENTS IN CONJUNCTION WITH COMPLETION OF THIS PROJECT
- AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT PWD/WATER SYSTEMS DIVISION (857-8200) TO INITIATE IMPLEMENTATION OF THIS WATER SHUT-OFF PLAN.
- TO COMPLETE NON-PRESSURE CONNECTION SHOWN, THE EXISTING VALVES LISTED BELOW AND MARKED WITH AN ARROW (→) ON THE ABOVE MAP MUST BE CLOSED BY PWD/WATER SYSTEMS PERSONNEL.

MAP #	VALVE #
F-21	813
F-21	763
F-21	772
F-21	771



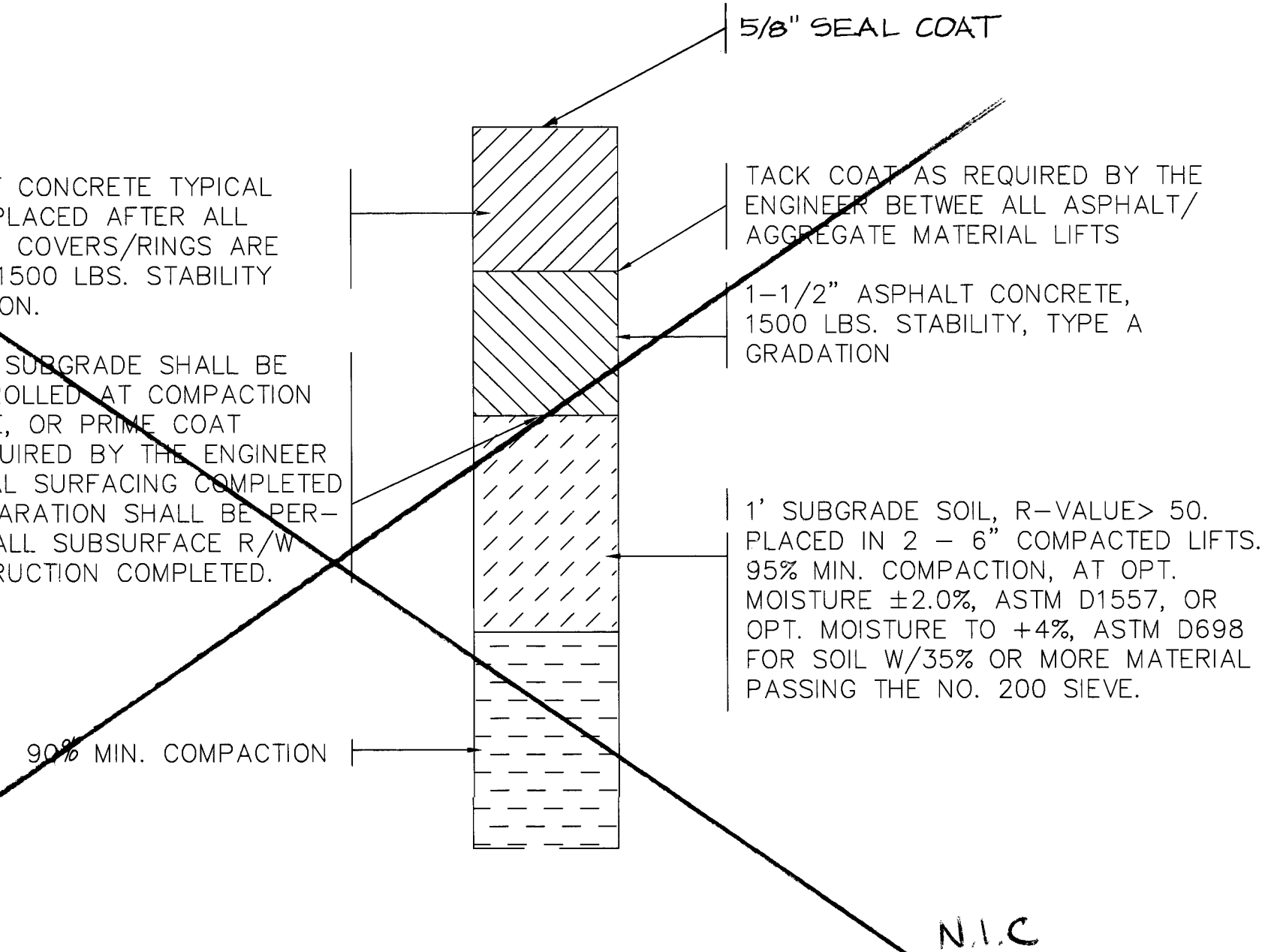
**SECTION C-C
INLET CONVERSION DETAIL**
NOT TO SCALE



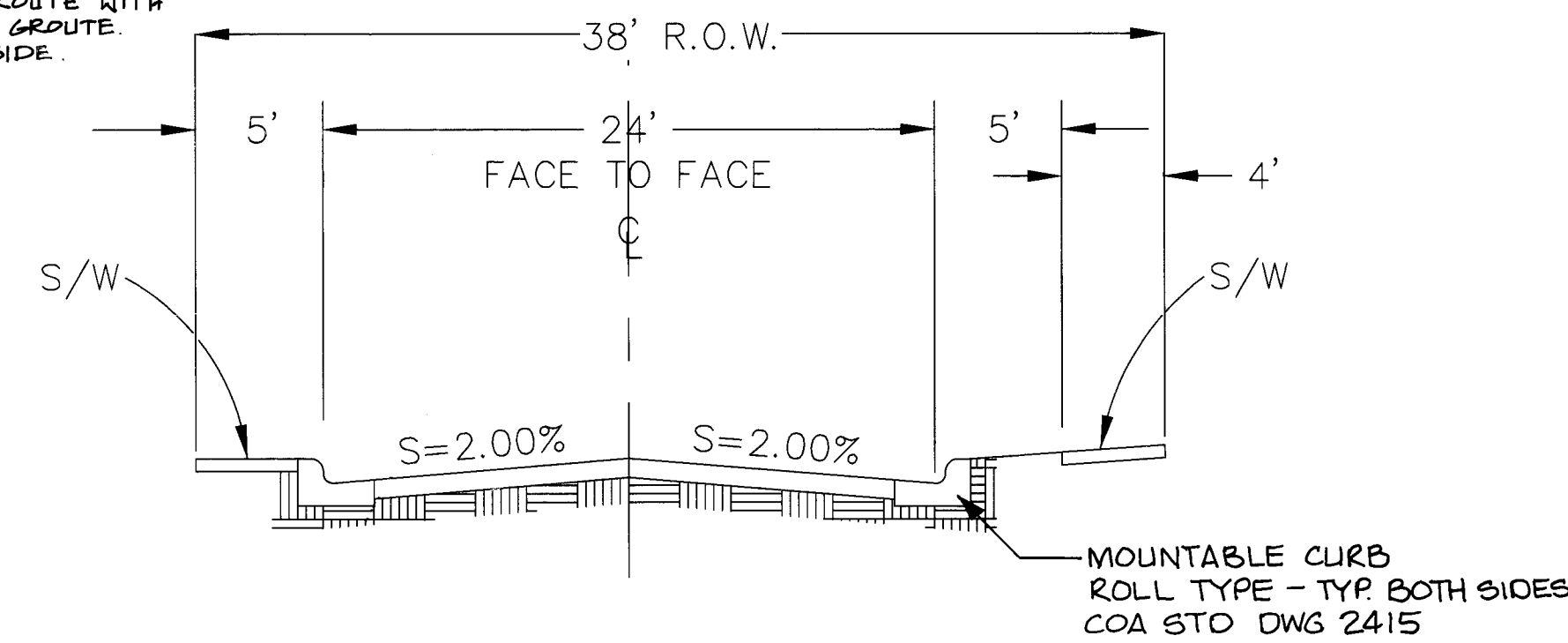
**SECTION B-B
TYPICAL CMU RETAINING WALL**
NOT TO SCALE

1-1/2" ASPHALT CONCRETE TYPICAL FINISH COURSE PLACED AFTER ALL MANHOLE VALVE COVERS/RINGS ARE SET TO GRADE, 1500 LBS. STABILITY TYPE B GRADATION.

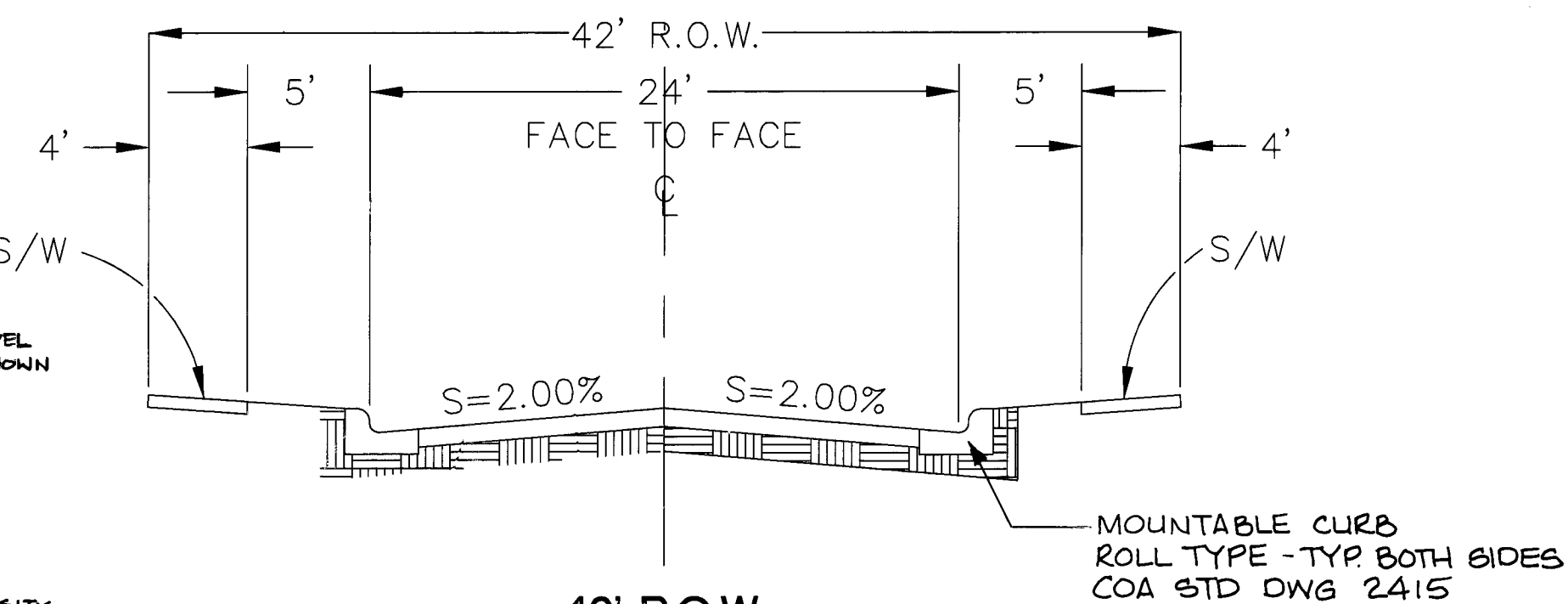
FINISH SURFACE SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACING COMPLETED SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION COMPLETED.



FLEXIBLE PAVEMENT SECTION
NOT TO SCALE
COA STD DWG. 2405



**38' R.O.W.
TYPICAL CROSS-SECTION**
NOT TO SCALE

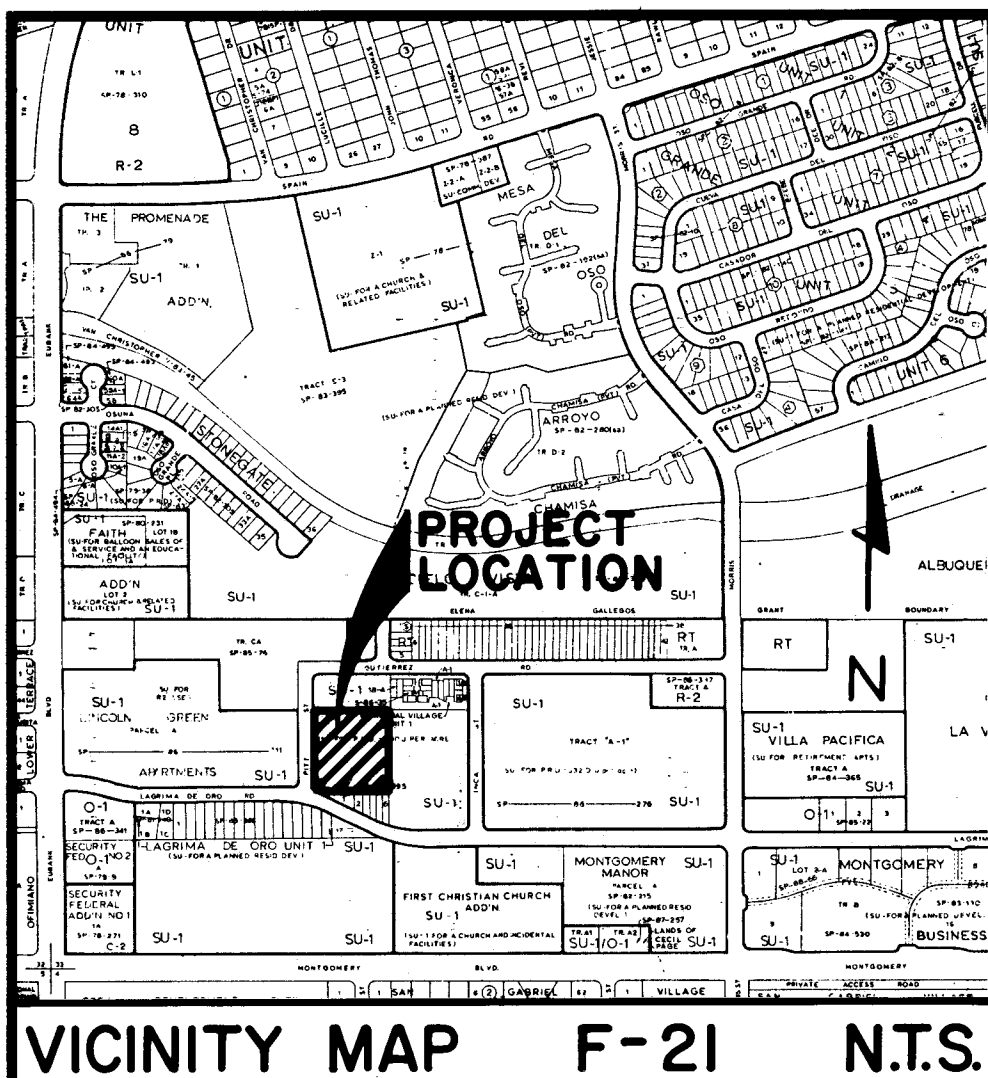


**42' R.O.W.
TYPICAL CROSS-SECTION**
NOT TO SCALE

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 47 774 910 595



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: CHAPARRAL COURTYARDS DETAIL SHEET AND WATER SHUT-OFF PLAN					
PHASE I					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair	B. P. Gaddy	12-02-93	WATER	R. W. Kane	11-19-93
TRANS. DEV.	N. R. H. 2	11-24-93	WASTE WATER	R. W. Kane	11-19-93
HYDROLOGY	plum	11-24-93	TRAF. OPER.		
OTHER			OTHER		
PROJECT NO.	4774.90	MAP NO.	F-21	SHEET	5 OF 7



VICINITY MAP F-21 N.T.S.

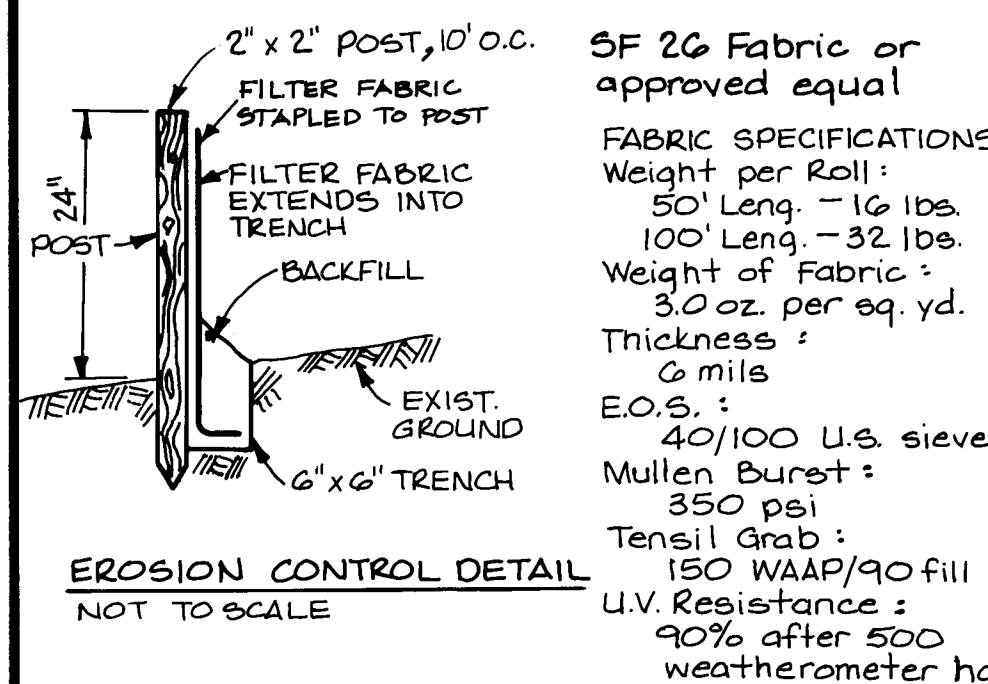
CATCH BASIN CAPACITY CALCULATIONS

THE METHODS PRESENTED IN FHWA "DRAINAGE OF HIGHWAY PAVEMENTS" (1984) WERE USED FOR CATCH BASIN CALCULATIONS. RESULTS ARE SUMMARIZED BELOW.

CB NO. & TYPE	D (CFS)	CAPACITY (CFS)	CARRYOVER (CFS)
EXISTING			
1, TYPE C	3.0*	2.37	.63
2, TYPE C	5.73	3.77	1.96
4, TYPE C	7.06	4.31	2.75
PROPOSED			
1, TYPE D	3.0*	1.54	1.46
2, TYPE C	2.48	2.06	.42
3, TYPE A	9.59	6.66	2.93
4, TYPE C	2.93	2.40	.53

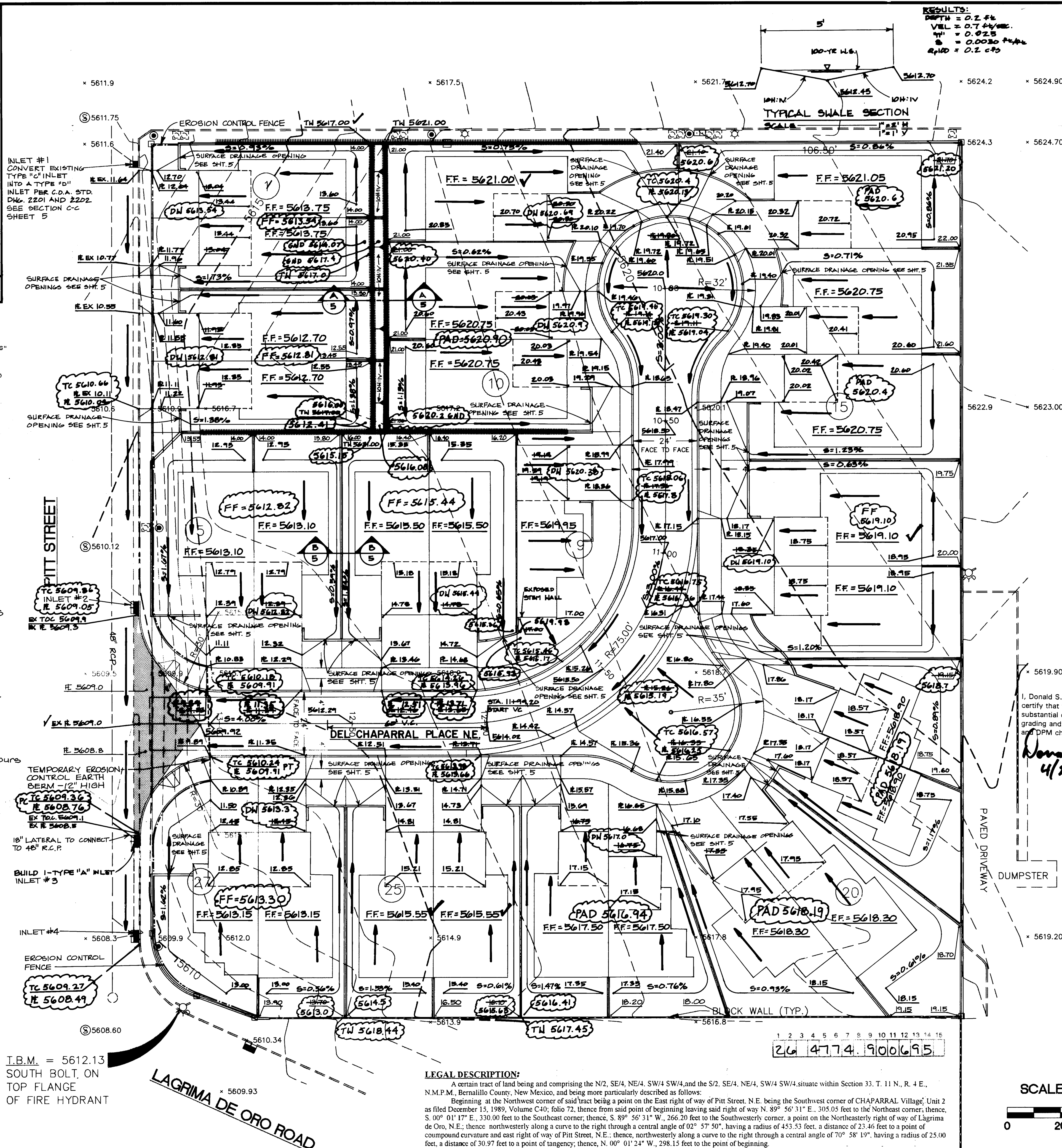
* ASSUMED OFFSITE STREET FLOW FROM UPSTREAM

TOTAL EXISTING CAPACITY: 10.45 CFS
 TOTAL PROPOSED CAPACITY: 12.66 CFS
 INCREASE +/- DECREASE: +2.21 CFS



BENCHMARK:
 T.B.M. IS TIED TO BENCHMARK "24" LOCATED AT THE NE CORNER OF THE INTERSECTION OF EUBANK BLVD. AND MONTGOMERY BLVD. N.E. ELEVATION = 5576.113, FIRST CLASS

- LEGEND**
- ⊙ = Fire Hydrant
 - ☆ = Light Pole
 - ⊙ = Manhole
 - ⊙ = Telephone Riser
 - ⊙ = Transformer
 - ⊙ = TV Riser
 - ⊙ = Water Meter
 - = Erosion Control Fence
 - - - = Temporary Erosion Control Earth Berm
 - ▬ = Retaining Wall
 - ▬ = Block Wall



RESULTS:
 DEPTH = 0.2 ft
 VEL = 0.74 ft/sec
 S = 0.025
 R₁₀₀ = 0.2 cfs

SITE DESCRIPTION
 Existing Condition: The property at the N.E. Quadrant of the intersection of Pitt Street & La Grima De Oro Road is currently undeveloped. The existing ground cover consists of native weeds with steep slopes. The site slopes from the northeast to the southwest with approximately 15 foot of relief across the extent of the property. The existing runoff discharges into Pitt Street and into an existing drop inlet downstream of this site.
 OFF-SITE FLOWS: None
 Future Condition: Future development will consist of a new 27 dwelling unit subdivision. There will be an asphalt residential street added with associated sidewalks and landscaping. There will also be a new 5'6" concrete masonry unit wall added along all property lines of the subdivision. The on-site flow on each of the lots will be intercepted by a sod lined swale draining through the new 5'6" C.M.U. wall and onto Chaparral Court Street NE. Chaparral Court Street is draining onto Pitt Street where a new Type "A" inlet will be constructed to intercept flows from this site. A Type D inlet will replace a Type C inlet on Pitt where the existing inlet conflicts with a proposed driveway. The new Type A inlet plus the Type D inlet will increase the total interception capacity of the storm drain by approximately 1.0 cfs. The total runoff from this site is within the limits anticipated by the SAD 204 storm drain project.
 Qp (SAD 204) = 9.57 cfs; Qp (this analysis) = 10.17 cfs. The slight increase in runoff will be accommodated by the additional inlet and will have computed effect on the hydraulic grade line.

DRAINAGE CALCULATIONS
 100 year P60 = 2.17 inches
 Area = 2.3 Acres
 Existing Conditions
 Off-site flow: 0 (approx.)
 On-site flow: Land Treatment Conditions
 50% A
 50% C
 Qp = 2.3 acres * (0.5(2.20 cfs/acre) + 0.5 (3.73 cfs/acre)) = 6.8 cfs
 Future Conditions
 Off-site flow: 0 (approx.)
 On-site flow: Land Treatment Conditions
 15% B
 15% C
 70% D

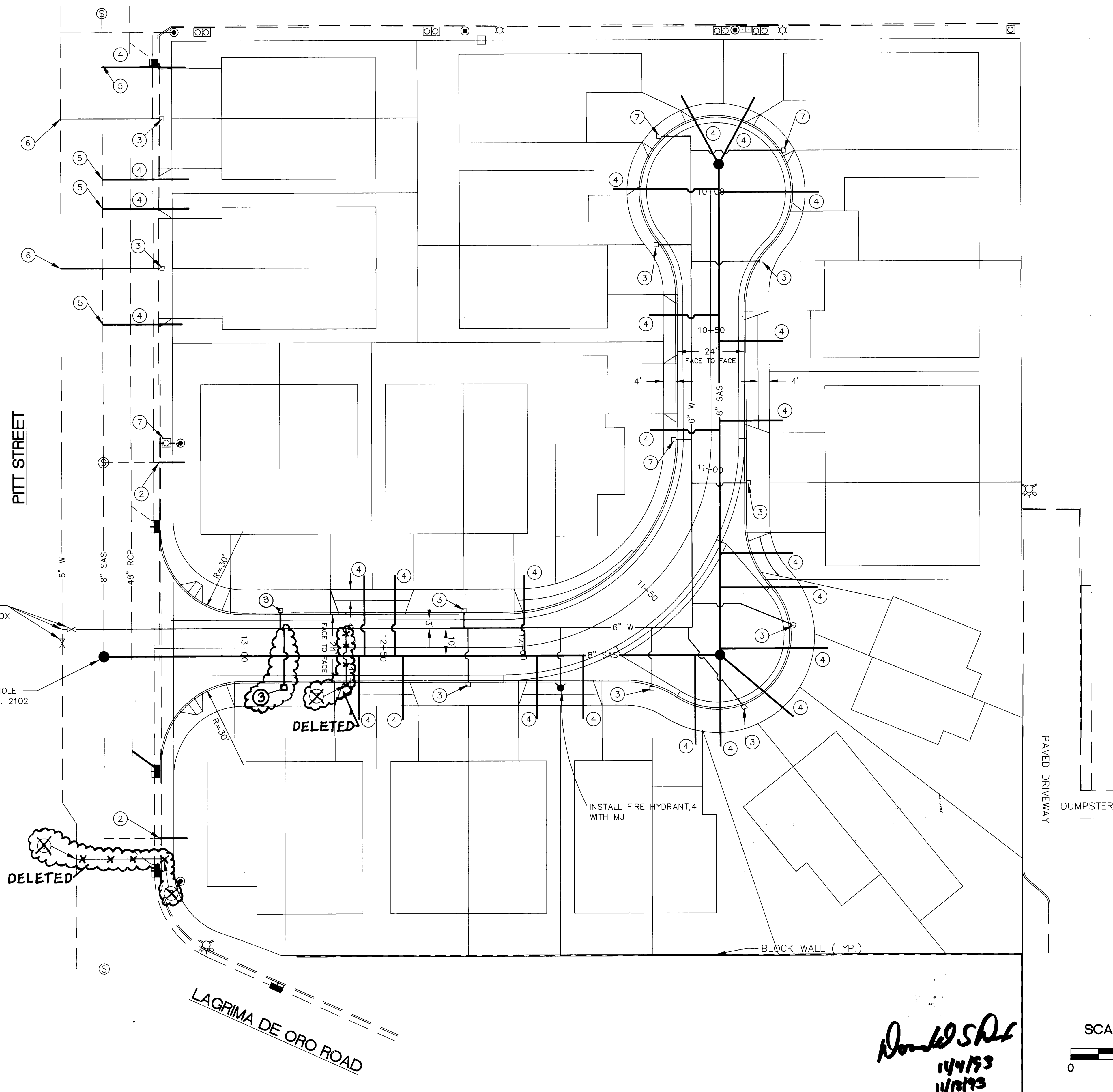
ANYMO SUMMARY TABLE
 ANYMO SUMMARY TABLE (ANYMO91) - ANYMO VERSION OF HYMO - SEPTEMBER, 1991
 INPUT FILE = C:\TEMP\CHAPARRAL
 RUN DATE (MM/DD/YY) = 06/09/1993
 USER NO. = RSTECNM.101
 COMMAND IDENTIFICATION NO. NO. AREA (SQ FT) PEAK DISCHARGE (CFS) RUNOFF VOLUME (AC-FT) TIME TO PEAK (HOURS) CFS PER ACRE NOTATION
 RAINFALL TYPE = 1 COMPUTE HYD 100.00 - 1 .00340 10.19 .384 1.99857 1.500 4.423 PER IMP 70.00

EROSION CONTROL PLAN
 1. Upon the completion of rough grading, erosion control fence and berms shall be maintained by the Contractor to control site runoff. The berm on Chaparral Court shall divert flows in unpaved street to areas behind erosion control fence. As site development takes place it may be necessary for the Contractor to modify fence/berm locations.
 2. Erosion control plan shall be maintained until all drainage improvements, grading, paving and landscape improvement have been made.

APPROVED FOR ROUGH GRADING
 John A. Curtis DATE 10-21-93
 Donald S. Dixon
 4/28/95
 9/15/93
 10/18/93
 11/18/93

UTILITIES AND STORM DRAIN ONLY
 I, Donald S. Dixon (N.M. P.E. 11043),
 Certify that the drawing of the
 "As-Built" Dimensions was done
 under my supervision.
 Daniel S. Dixon 3/31/94

CHAPARRAL COURTYARDS GRADING and DRAINAGE PLAN
 JOB NO. 93 - 160
 SHEET NO. 6 of 7
 DESIGNED BY: DD, QC DRAWN BY: QC CHECKED BY: DD DATE: SEPT. 1993



NOTES

1. TELEPHONE, CABLE, ELECTRIC, AND GAS UTILITIES BY OTHERS PER C.O.A. STANDARDS

KEY NOTES

1. INSTALL SINGLE 3/4" METER BOX WITH CURB STOP CONNECT TO EXISTING 2" STUBOUT C.O.A. STD. DWG. 2362
2. INSTALL 4" PVC SANITARY SERVICE WITH CLEANOUTS, CONNECT TO 6" SANITARY STUBOUT
3. INSTALL DOUBLE 3/4" METER BOX WITH CURB STOP AND SERVICE LINE C.O.A. STD. DWG. 2360
4. INSTALL 4" PVC SANITARY SERVICE WITH CLEANOUTS C.O.A. STD. DWG. 2125
5. CONNECT 4" SANITARY SERVICE TO EXISTING 8" SAS C.O.A. STD. DWG. 2125
6. TAP TO EXISTING 10 INCH PVC WATER DISTRIBUTION LINE C.O.A. STD. DWG. 2301
7. INSTALL SINGLE 3/4" METER BOX WITH CURB STOP AND SERVICE LINE C.O.A. STD. DWG. 2360

LEGEND

DESCRIPTION	NEW	EXISTING
SANITARY SEWER LINE	SAS 1/8"	SAS
ENCASEMENT	5/32"	
SANITARY SEWER MANHOLE		
SAS SERVICE CONNECTION		
STORM DRAIN LINE	SD 5/32"	SD
STORM DRAIN MANHOLE	1/16"	
STORM DRAIN INLETS		
WATER LINE	W 5/32"	W
GATE VALVE	5/64"	
BUTTERFLY VALVE		
FIRE HYDRANTS	1/8"	1/16"
REDUCERS		
WATER SERVICE CONNECTION	5/64"	
TEES		
CROSSES		
BENDS		
CAPS & PLUGS		
CURB & GUTTER	CURB TRANSITION	
SIDEWALKS	4" SW	4" SW
PRESSURE REDUCING STATION		

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 4774.900795

NO.	DATE	REVISIONS	BY	CHKD
CHAPARRAL HOMES UTILITY PLAN Resource Technology, Inc. ENGINEERS & ENVIRONMENTAL SCIENTISTS 2129 CEDAR AVE. - SUITE 200 ALBUQUERQUE, NEW MEXICO 87113 TELEPHONE - (505) 345-3115				
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	

FOR REFERENCE ONLY
BY LASON

Donald S. Rie
11/4/93
11/10/93

SCALE: 1" = 20'
0 20 40 60