

CONSTRUCTION PLANS
FOR
HIGH DESERT SUBDIVISION
PHASE I-C-1
(MASTERPLAN WATERLINE EXTENSIONS)
ALBUQUERQUE, NEW MEXICO

INDEX	
SHEET NUMBER	DESCRIPTION
1	TITLE SHEET
2-6	PLAT
7	GENERAL NOTES
8	KEY MAP AND WATER SHUT-OFF PLAN
	WATERLINE PLAN AND PROFILE
9	IMPERATA ST. WATERLINE STA. 27+50 TO 36+00
10	IMPERATA ST. WATERLINE STA. 36+00 TO 48+24.58
11	WATERLINE STA. 1+00 TO 13+00
12	WATERLINE STA. 13+00 TO 24+00
13	WATERLINE STA. 24+00 TO 36+00
14	WATERLINE (10") STA. 3+81.32 TO 11+98.65
15	WATERLINE DETAILS

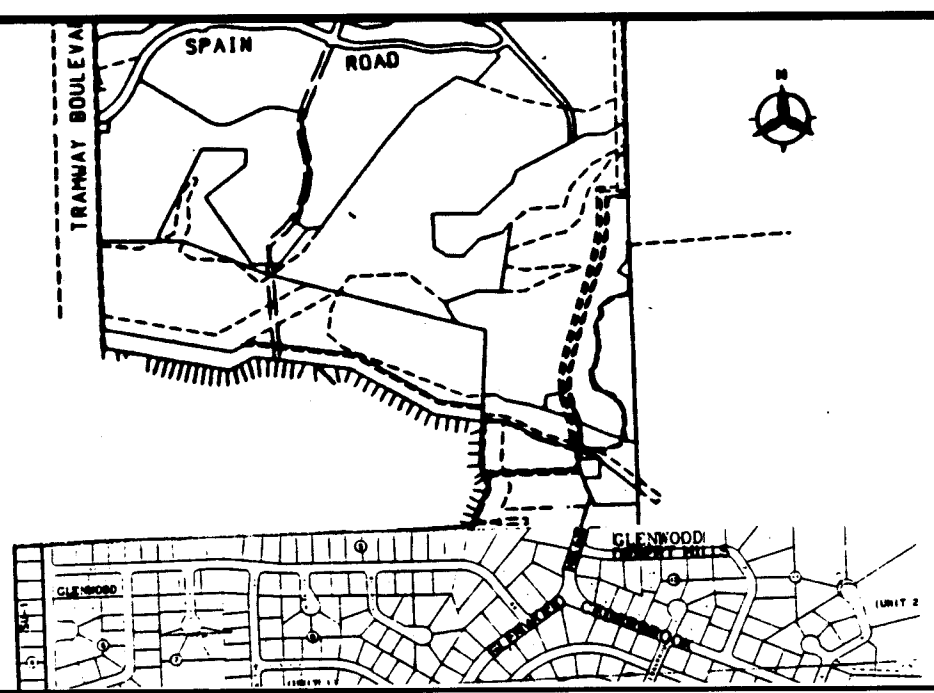
RECORD DRAWING

I, Harvey P. Phillips, Registered Professional Land Surveyor in the State of New Mexico, do hereby certify that this "as-built" information was obtained by me or under my supervision and represents the "as-built" conditions of this project, and is true and correct to the best of my knowledge and belief. All vertical and horizontal dimensions should be field verified prior to use on future projects.

Harvey P. Phillips 12/2/94
Harvey P. Phillips
LS No. 4767 Date



BHI JOB NO. 93127-42



VICINITY MAP
NOT TO SCALE
E-23 & F-23

NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AND SHALL INCLUDE UPDATE No. 4 REVISIONS, DELETIONS, AND ADDITIONS DATED JAN. 28, 1993.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Date 1-10-95

REV	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
APPROVAL OF REVISIONS							

BOHANNAN HUSTON INC.
ALBUQUERQUE, NEW MEXICO
ENGINEERS PLANNERS PHOTOGRAMMETRISTS

PROJECT NUMBER 4809.92

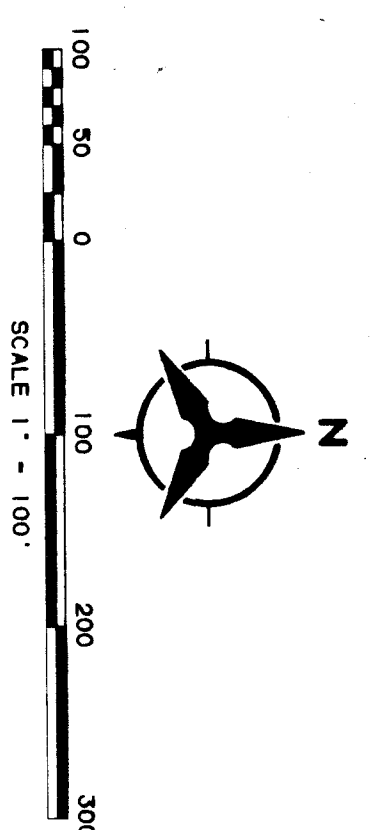
APPROVED FOR CONSTRUCTION

SHEET 1 OF 15

93133004 PLAT OF
HIGH DESERT
ALBUQUERQUE
NEW MEXICO
JUNE, 1993

U.S. FOREST SERVICE LAND
FILED: JUNE 29, 1993 (C19-183)
COUNTY OF BERNILLO, N.M.
This instrument was filed for record on
JUNE 29, 1993 at 2:12 P.M. in Book 93-17, Page 2845-2853
of records of said County Clerk
Clerk & Recorder
Deputy Clerk

PLAT OF THE CITY OF ALBUQUERQUE
DEDICATED TO THE CITY OF ALBUQUERQUE AS OPEN SPACE
WITH THE FILING OF THIS PLAT
FILED: JUNE 30, 1993
BOOK 93-17, PAGES 2845-2853



NOTE:
SEE SHEET 1 OF THIS PLAT FOR NOTICE OF
SUBDIVISION PLAT CONDITIONS. (PERTAINS
TO ALL TRACTS SUBDIVIDED HEREIN.)

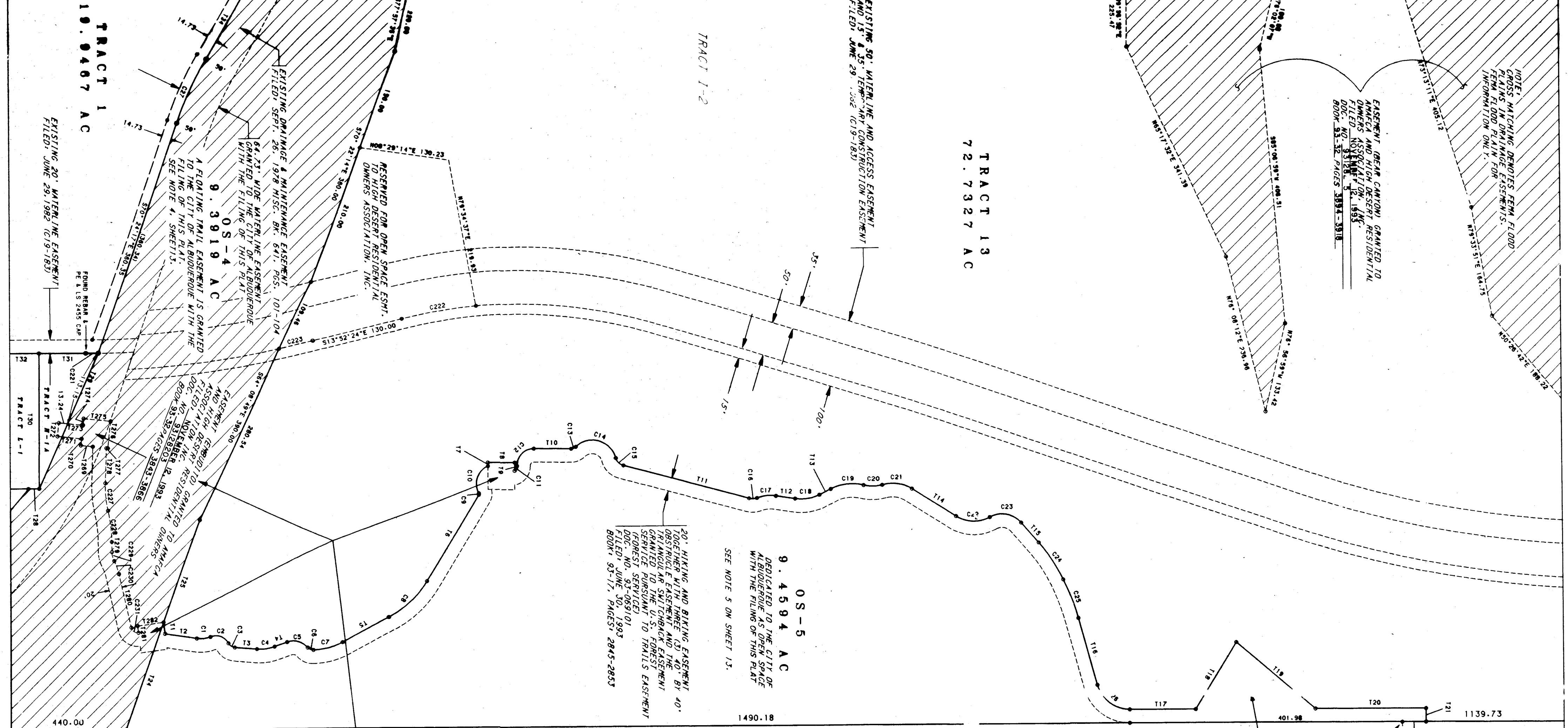
NOTE:
SEE SHEETS 11 AND 12 FOR
TANGENT AND CURVE DATA.

OS-5
9.4594 AC
DEDICATED TO THE CITY OF
ALBUQUERQUE AS OPEN SPACE
WITH THE FILING OF THIS PLAT
FILED: JUNE 30, 1993
BOOK 93-17, PAGES 2845-2853

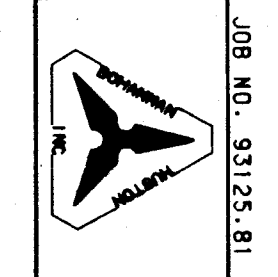
OS-4
9.3919 AC
EASEMENT (EMBRUITO) GRANTED TO AMAFCA AND
HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION, INC.
FILED: NOVEMBER 1, 1991
DOC. NO. 93-069101
FILED: JUNE 30, 1993
BOOK 93-17, PAGES 2845-2853

40' BY 40' OBSTACLE EASEMENT
GRANTED TO THE U.S. FOREST
SERVICE PURSUANT TO TRAILS EASEMENT
(FOREST SERVICE)
DOC. NO. 93-069101
FILED: JUNE 30, 1993
BOOK 93-17, PAGES 2845-2853

PROJECTED SECTION LINE
S00° 03' 21" W 2670.40

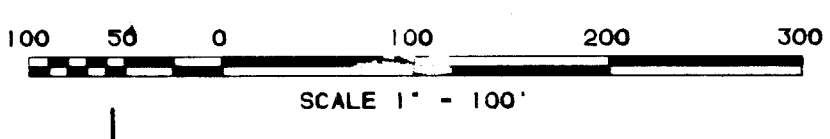


1954(4)
SHEET 4 OF 13 SHEETS



93133004 PLAT OF
HIGH DESERT
ALBUQUERQUE
NEW MEXICO
JUNE, 1993

State of New Mexico } SS
County of Bernillo }
This instrument was filed for record on
JUNE 29, 1993 at 2:12 P.M. in Book 93-17, Page 2845-2853
of records of said County Clerk
Clerk & Recorder
Deputy Clerk



SANDIA MOUNTAIN WILDERNESS
BOUNDARY (AS ESTABLISHED BY
PUBLIC LAW 96-248, ACT OF
MAY 23, 1980, 94 STAT. 355)

OS-5
9.4594 AC
DEDICATED TO THE CITY OF
ALBUQUERQUE AS OPEN SPACE
WITH THE FILING OF THIS PLAT
FILED: JUNE 30, 1993
BOOK 93-17, PAGES 2845-2853

20' HIKING AND BIKING
EASEMENT GRANTED TO U.S.
FOREST SERVICE WITH THE
PURSUANT TO TRAILS EASEMENT
(FOREST SERVICE)
DOC. NO. 93-069101
FILED: JUNE 30, 1993
BOOK 93-17, PAGES 2845-2853

40' BY 40' OBSTACLE
EASEMENT GRANTED TO U.S.
FOREST SERVICE PURSUANT TO TRAILS
EASEMENT (FOREST SERVICE)
DOC. NO. 93-069101
FILED: JUNE 30, 1993
BOOK 93-17, PAGES 2845-2853

TRACT 13
72.7327 AC
TRACT 1-2

EXISTING 50' WATERLINE AND ACCESS
ROAD EASEMENT AND 15' & 35'
TEMPORARY CONSTRUCTION EASEMENT
FILED: JUNE 29, 1992 (C19-183)

OS-4
9.3919 AC
EASEMENT (EMBRUITO) GRANTED TO AMAFCA AND
HIGH DESERT RESIDENTIAL OWNERS ASSOCIATION, INC.
FILED: NOVEMBER 1, 1991
DOC. NO. 93-069101
FILED: JUNE 30, 1993
BOOK 93-17, PAGES 2845-2853

A FLOATING TRAIL EASEMENT IS GRANTED
TO THE CITY OF ALBUQUERQUE WITH
THE FILING OF THIS PLAT.
SEE NOTE 4, SHEET 13.

50' WIDE PUBLIC ACCESS EASEMENT
ROADWAY FENCING & PEDESTALIAN
PATH TO BE MAINTAINED BY THE
CITY OF ALBUQUERQUE PUBLIC WORKS
DEPARTMENT. ACCESS EASEMENT RIGHTS
APPLY TO CITY OF ALBUQUERQUE PARKS &
RECREATION-OPEN SPACE DIVISION, PUBLIC
WORKS DEPARTMENT AND THE U.S. FOREST SERVICE.
FILED: APRIL 2, 1990 (190C-96)

EXISTING 20' UTILITY & ACCESS EASEMENT
CITY OF ALBUQUERQUE
FILED: JAN 9, 1975 BK. 401, PGS. 957-959

30' PUBLIC ACCESS EASEMENT
FILED: APRIL 2, 1990 (190C-96)

TRACT 1
19.9467 AC

EXISTING TRAILHEAD PARKING LOT AND
ACCESS EASEMENT GRANTED TO U.S.D.A.
FOREST SERVICE BY DOC. NO. 92-54612,
FILED: DECEMBER 12, 1990 IN BOOK 90-19,
PAGES 8439-8446.

TRACT OS-7
61.8483 AC
SEE NOTE 7 ON SHEET 13

FIFTY (50') FOOT WIDE WATERLINE EASEMENT
GRANTED TO THE CITY OF ALBUQUERQUE WITH
THE FILING OF THIS PLAT.

EXISTING DRAINAGE & MAINTENANCE EASEMENT
FILED: SEPT. 28, 1978 MISC. BK. 641, PGS. 101-104

64.73' WIDE WATERLINE EASEMENT
GRANTED TO THE CITY OF ALBUQUERQUE
WITH THE FILING OF THIS PLAT.

EXISTING 5' DRAINAGE EASEMENT
FILED: APRIL 3, 1979 (109-93)

EXISTING 50' STREET R.O.W.

EXISTING 50' STREET R.O.W.

EXISTING 50' STREET R.O.W.

EXISTING 50' STREET R.O.W.

EXISTING 50' STREET R.O.W.

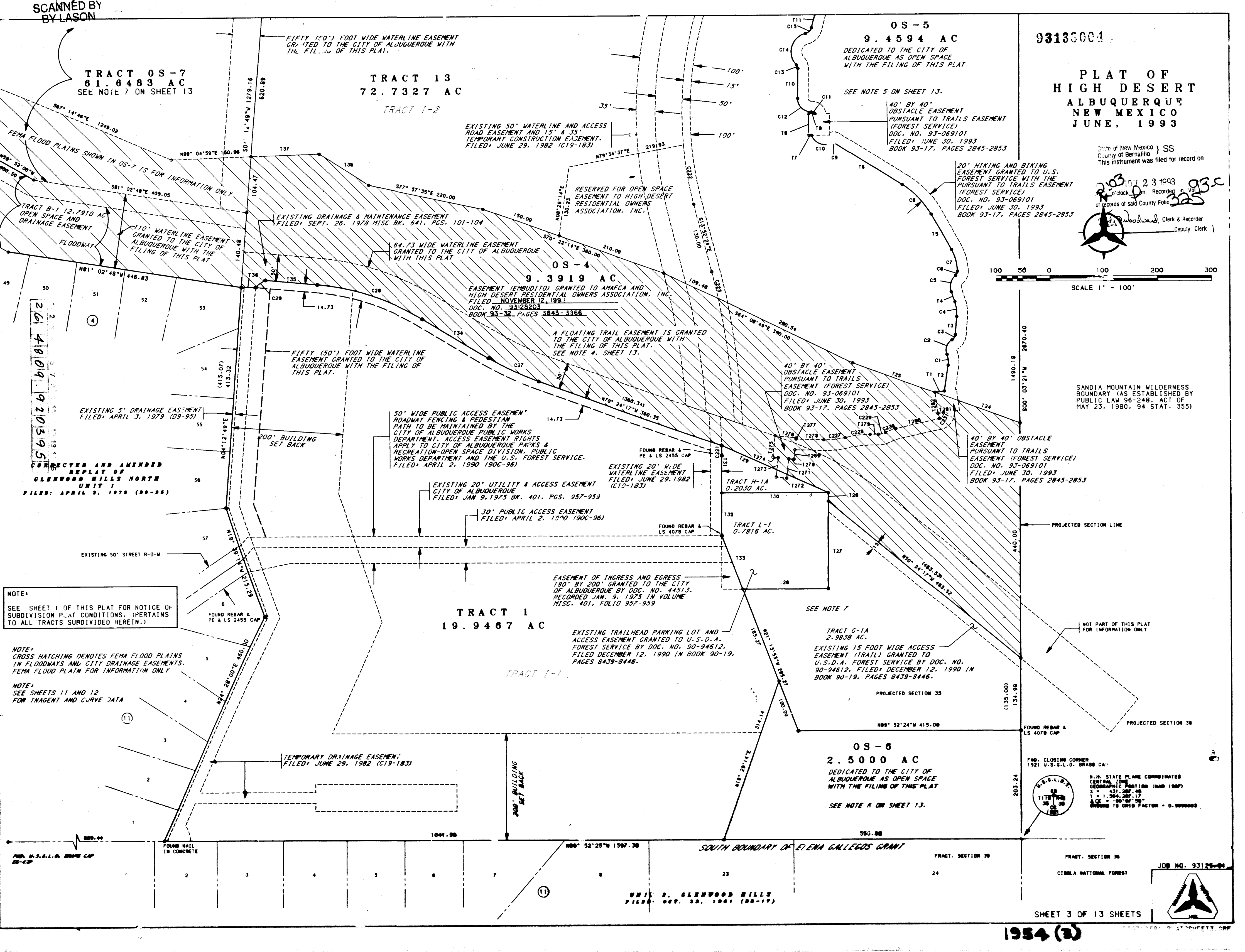
EXISTING 50' STREET R.O.W.

EXISTING 50' STREET R.O.W.

EXISTING 50' STREET R.O.W.

EXISTING 50' STREET R.O.W.

EXISTING 50' STREET R.O.W.



NOTE:
SEE SHEET 1 OF THIS PLAT FOR NOTICE OF
SUBDIVISION PLAT CONDITIONS. (PERTAINS
TO ALL TRACTS SUBDIVIDED HEREIN.)

NOTE:
CROSS HATCHING DENOTES FEMA FLOOD PLAINS
IN FLOODWAYS AND CITY DRAINAGE EASEMENTS.
FEMA FLOOD PLAIN FOR INFORMATION ONLY

NOTE:
SEE SHEETS 11 AND 12
FOR TANGENT AND CURVE DATA

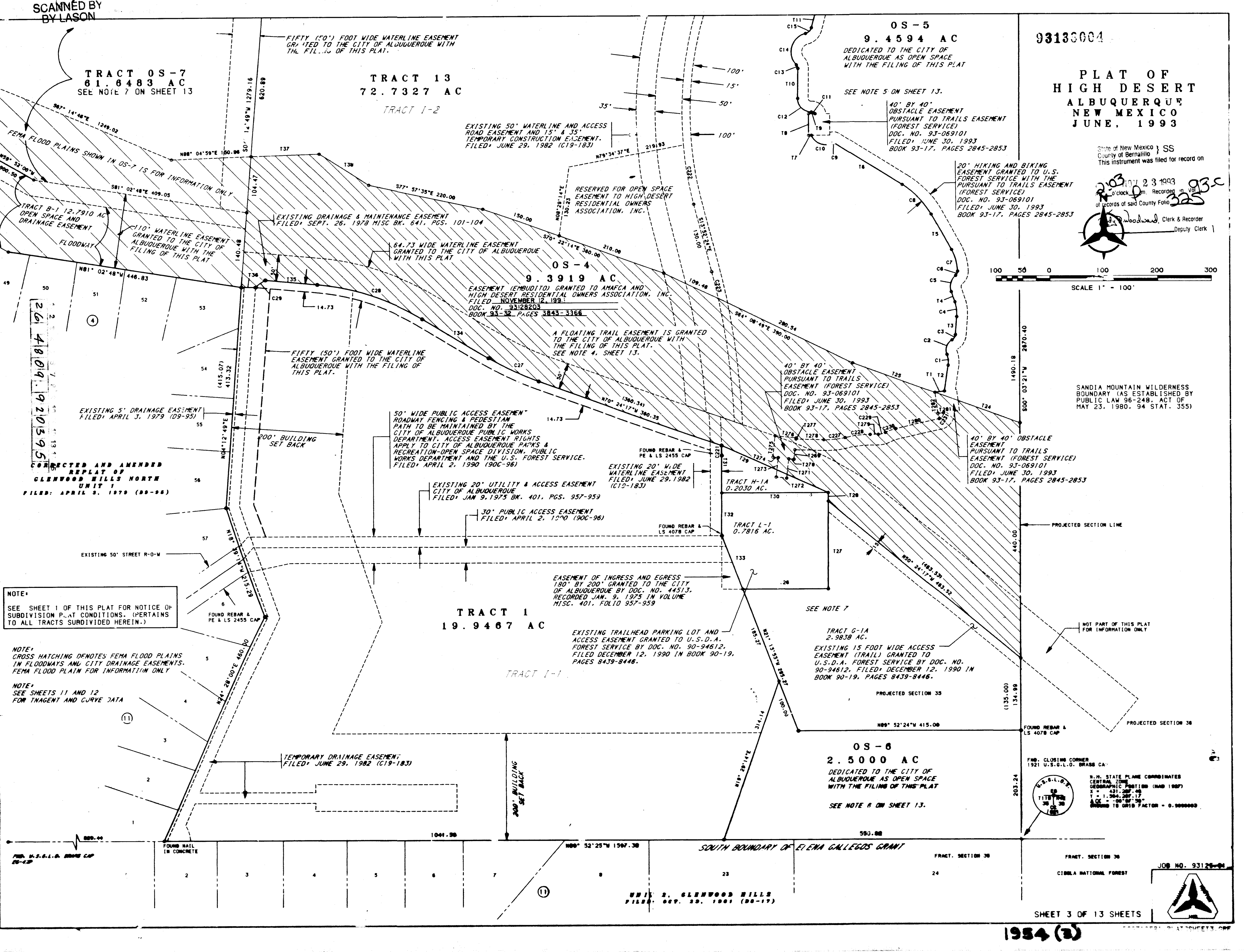
NOTE:
SEE SHEETS 11 AND 12
FOR TANGENT AND CURVE DATA

NOTE:
SEE SHEETS 11 AND 12
FOR TANGENT AND CURVE DATA

SCANNED BY
BY LASON

UNIT 2, GLENWOOD HILLS
FILED: SEP. 29, 1993 (88-117)

UNIT 2, GLENWOOD HILLS
FILED: SEP. 29, 1993 (88-117)



UNIT 2, GLENWOOD HILLS
FILED: SEP. 29, 1993 (88-117)

UNIT 2, GLENWOOD HILLS
FILED: SEP. 29, 1993 (88-117)

93133004

PLAT OF
HIGH DESERT
ALBUQUERQUE
NEW MEXICO
JUNE, 1993

TANGENT DATA		
NUMBER	BEARING	DISTANCE
T1	N07°30'46"E	17.03
T2	N08°28'09"E	48.69
T3	N08°33'17"E	34.00
T4	N18°57'31"E	20.00
T5	N28°46'57"E	75.78
T6	N58°18'48"E	150.64
T7	S90°00'00"E	5.30
T8	N00°00'00"E	40.00
T9	S90°00'00"E	12.11
T10	N00°38'15"E	56.00
T11	N15°03'35"E	193.94
T12	N08°40'08"E	29.00
T13	N26°23'17"E	19.00
T14	N32°31'54"E	76.82
T15	N48°55'19"E	39.54
T16	N74°20'39"E	102.62
T17	N00°03'21"E	95.53
T18	N58°31'43"E	115.44
T19	N40°15'01"E	160.90
T20	N00°03'21"E	164.69
T21	S89°56'39"E	20.00
T22	S00°03'21"E	101.98
T23	S00°03'21"E	168.09
T24	S69°56'26"E	161.91
T25	S89°52'21"E	160.90
T26	N00°07'36"E	163.96
T27	N00°07'36"E	16.04
T28	N68°01'15"E	218.81
T29	N00°07'36"E	200.00
T30	N00°07'36"E	80.00
T31	N21°13'53"E	107.37
T32	N59°05'41"E	143.76
T33	N84°29'34"E	93.10
T34	N89°47'16"E	25.06
T35	S89°47'11"E	125.06
T36	N88°04'59"E	120.69
T37	S57°39'22"E	109.22
T38	S44°10'41"E	150.21
T39	N08°04'11"E	150.21
T40	N57°11'44"E	140.00
T41	N20°02'20"E	117.05
T42	N64°02'12"E	62.36
T43	S64°02'12"E	109.08
T44	N00°08'24"E	118.23
T45	N00°08'24"E	145.66
T46	N17°10'20"E	66.22
T47	S76°25'25"E	68.85
T48	N83°59'34"E	176.82
T49	S07°00'00"E	190.79
T50	N84°53'07"E	198.16
T51	N82°57'50"E	39.25
T52	S73°29'10"E	15.38
T53	N82°25'23"E	55.79
T54	N82°25'23"E	58.00
T55	N82°25'23"E	11.93
T56	S25°33'09"E	128.59
T57	N25°33'09"E	95.00
T58	N89°56'38"E	81.09
T59	S89°56'38"E	36.51
T60	N00°01'06"E	86.00
T61	N89°56'38"E	117.60
T62	N89°36'22"E	70.00
T63	S73°12'48"E	48.73
T64	N55°23'31"E	86.85
T65	N55°23'31"E	132.15
T66	S11°00'19"E	80.20
T67	N81°23'20"E	140.02
T68	S89°00'50"E	91.84
T69	S89°00'50"E	165.16
T70	N64°10'25"E	63.12
T71	N31°27'18"E	120.64
T72	S55°04'00"E	99.93
T73	N68°40'37"E	153.57
T74	S74°45'46"E	190.04
T75	N00°00'00"E	75.66
T76	S01°31'12"E	90.91
T77	S84°57'02"E	40.63
T78	N89°40'21"E	61.93
T79	N00°00'18"E	85.00
T80	S00°00'18"E	16.96
T81	S00°00'00"E	66.74
T82	N22°37'09"E	65.00
T83	N00°49'20"E	58.65
T84	N03°08'16"E	107.84
T85	N06°08'16"E	87.44
T86	S07°34'37"E	73.47
T87	N82°25'23"E	39.25
T88	N81°15'10"E	188.24
T89	S82°57'10"E	124.83
T90	S52°03'36"E	50.04
T91	S24°02'36"E	16.50
T92	S18°43'23"E	93.56
T93	S18°43'23"E	135.08
T94	S31°27'11"E	35.85
T95	S58°30'23"E	12.69

TANGENT DATA		
NUMBER	BEARING	DISTANCE
T106	N64°44'50"E	103.06
T107	S74°45'09"E	110.95
T108	N06°47'43"E	82.88
T109	N62°13'57"E	79.58
T110	N24°00'36"E	23.70
T111	S86°18'04"E	39.41
T112	N76°20'10"E	190.79
T113	S83°59'34"E	176.82
T114	S40°13'26"E	29.11
T115	S64°10'25"E	51.86
T116	N77°29'51"E	46.04
T117	S64°10'25"E	111.26
T118	N58°30'23"E	55.1
T119	N31°27'18"E	35.77
T120	N01°31'32"E	101.94
T121	S62°13'57"E	79.58
T122	N74°45'09"E	110.95
T123	S64°44'50"E	103.06
T124	N58°30'23"E	120.01
T125	S31°27'18"E	144.60
T126	S55°04'00"E	107.42
T127	N01°31'32"E	11.67
T128	N74°45'09"E	19.04
T129	N00°00'00"E	75.66
T130	N69°43'39"E	98.50
T131	N05°41'47"E	15.00
T132	N69°43'39"E	16.00
T133	S25°33'09"E	2.00
T134	N64°26'07"E	121.80
T135	N01°08'18"E	2.00
T136	S59°53'21"E	99.15
T137	S30°06'39"E	8.00
T138	N11°21'32"E	8.00
T139	S35°31'52"E	8.00
T140	N43°02'09"E	8.00
T141	S87°07'40"E	65.23
T142	S02°52'10"E	2.00
T143	N00°17'49"E	2.00
T144	N06°44'39"E	2.00
T145	N11°21'32"E	2.00
T146	N14°52'41"E	2.00
T147	S75°07'19"E	80.00
T148	S00°44'22"E	34.39
T149	N64°02'12"E	60.58
T150	N25°15'00"E	16.00
T151	S09°22'00"E	13.79
T152	N00°00'00"E	10.00
T153	N64°45'00"E	410.00
T154	N75°07'19"E	24.80
T155	S00°44'22"E	105.96
T156	N89°59'52"E	150.6
T157	N75°07'19"E	37.39
T158	N87°07'50"E	65.23
T159	N87°07'50"E	65.23
T160	S59°53'21"E	98.15
T161	S64°26'07"E	121.80
T162	N64°26'07"E	121.80
T163	S90°00'00"E	66.61
T164	S90°00'00"E	59.35
T165	S69°48'39"E	98.50
T166	N73°32'24"E	74.38
T167	S69°48'39"E	98.50
T168	N43°33'53"E	33.20
T169	N42°03'50"E	58.72
T170	N06°47'43"E	56.32
T171	N89°26'36"E	44.82
T172	S35°00'20"E	146.51
T173	S89°59'41"E	150.06
T174	S89°59'41"E	150.06
T175	S00°00'19"E	150.00
T176	S00°00'19"E	52.63
T177	N00°00'19"E	52.64
T178	S74°45'46"E	190.04
T179	S89°49'38"E	150.06
T180	S81°15'10"E	188.24
T181	S89°58'35"E	48.85
T182	N47°37'15"E	53.20
T183	S89°59'52"E	50.00
T184	N85°55'00"E	126.92
T185	N71°17'10"E	108.81
T186	S20°57'04"E	85.81
T187	N85°43'07"E	74.57
T188	S82°25'23"E	39.25
T189	S82°04'50"E	123.41
T190	S77°16'40"E	183.40
T191	N77°22'57"E	202.71
T192	N72°45'27"E	193.5
T193	N72°45'27"E	73.77
T194	N55°33'04"E	120.33
T195	S11°27'11"E	198.6
T196	S46°59'09"E	85.85
T197	S46°59'09"E	30.69
T198	S14°57'41"E	87.04

TANGENT DATA		
NUMBER	BEARING	DISTANCE
T200	S77°17'03"E	59.06
T201	S79°49'39"E	86.00
T202	N86°40'37"E	51.49
T203	N84°38'28"E	45.45
T204	N89°37'28"E	205.88
T205	S88°11'52"E	80.27
T206	N78°15'45"E	120.97
T207	N31°57'19"E	79.67
T208	N00°00'00"E	16.17
T209	S85°52'13"E	78.43
T210	S64°24'55"E	115.58
T211	N85°45'11"E	151.26
T212	N77°49'05"E	156.53
T213	N84°38'02"E	135.57
T214	N57°25'19"E	52.81
T215	N89°59'52"E	100.00
T216	N58°30'23"E	55.39
T217	S48°28'25"E	40.67
T218	N01°31'12"E	21.24
T219	N31°27'18"E	27.19
T220	S62°09'29"E	112.49
T221	N31°27'18"E	33.09
T222	S31°27'18"E	36.25
T223	S31°27'18"E	180.85
T224	S71°19'19"E	22.80
T225	N31°27'18"E	180.93
T226	N06°47'43"E	26.57
T227	N86°38'28"E	29.51
T228	N30°44'12"E	117.38
T229	N38°27'54"E	95.79
T230	N64°26'39"E	117.62
T231	N64°49'29"E	52.81
T232	S66°42'18"E	155.48
T233	S37°18'27"E	141.77
T234	S86°23'10"E	76.88
T235	S89°58'54"E	95.00
T236	N07°34'37"E	13.95
T237	N00°00'23"E	45.44
T238	S40°32'21"E	32.31
T239	S29°34'53"E	69.97
T240	S55°04'00"E	7.49
T241	N00°00'00"E	3.53
T242	S05°41'47"E	50.02
T243	S59°53'21"E	99.15
T244	N64°24'55"E	31.47
T245	N64°24'55"E	37.65
T246	N82°04'52"E	77.06
T247	S24°02'36"E	69.27
T248	S73°29'10"E	32.28
T249	S73°29'10"E	26.23
T250	N07°34'37"E	87.42
T251	N76°25'25"E	68.85
T252	N82°25'23"E	26.00
T253	N82°25'23"E	32.00
T254	N64°02'12"E	34.52
T255	N64°02'12"E	27.84
T256	S07°34'37"E	25.50
T257	S23°40'00"E	88.00
T258	S11°00'19"E	80.20
T259	S50°47'00"E	153.07
T260	N85°43'31"E	101.00
T261	S06°03'20"E	17.74
T262	N83°56'40"E	101.51
T263	N06°03'20"E	36.42
T264	N83°56'40"E	20.00
T265	N06°03'20"E	36.42
T266	N83°56'40"E	30.00
T267	N06°03'20"E	40.00
T268	S83°56'40"E	40.00
T269	S07°34'37"E	26.21
T270	S88°10'28"E	52.24
T271	N89°21'47"E	14.97
T272	N76°58'52"E	81.40
T273	S82°00'49"E	103.00
T274	N01°31'12"E	123.17

TANGENT DATA

NUMBER	BEARING	DISTANCE
T284	N89°20'50"E	274.41
T285	N89°20'50"E	60.14
T286	N62°13'57"E	79.58
T287	N62°13'57"E	286.13
T288	S74°45'09"E	110.95
T289	N64°45'09"E	103.08
T290	S58°30'23"E	78.65
T291	S58°30'23"E	110.36
T292	S17°44'10"E	210.01
T293	S03°17'31"E	232.40
T294	S64°10'25"E	163.12
T295	S03°17'31"E	82.90
T296	S40°13'26"E	276.42
T297	N26°42'12"E	223.47
T298	N82°25'23"E	62.93
T299	N82°25'23"E	112.79
T300	N81°15'10"E	198.24
T301	N89°31'57"E	216.48
T302	S65°57'24"E	285.21
T303	S65°57'24"E	14.26
T304	N84°53'07"E	237.86
T305	S76°20'11"E	190.79
T306	N83°59'34"E	176.82
T307	N76°25'25"E	68.85
T308	N49°46'4"E	22.60
T309	N07°34'37"E	154.92
T310	N01°31'12"E	189.71
T311	N59°00'01"E	126.37
T312	N00°00'00"E	75.66
T313	N74°45'09"E	199.04
T314	N86°40'37"E	224.63
T315	S55°04'00"E	107.42
T316	S16°26'49"E	265.65
T317	S31°27'18"E	235.89
T318	S31°27'18"E	101.40
T319	S18°43'23"E	228.64
T320	S13°03'51"E	224.63
T321	S24°02'36"E	84.00
T322	S00°08'24"E	130.47

UTILITY EASEMENTS

Public Utility Easements and Easements for Public Service Company of New Mexico (PSCNM) shown on this plat are for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.

Included is the right to build, rebuild, reconstruct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purpose described above, together with free access to, from and over said easements, including sufficient working area, space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owner shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking or any structures adjacent to, within or near easements shown on this plat.

JOB NO. 93125.81



SHEET 12 OF 13 SHEETS

1954 (12)

CS9312581-PLAT12SHEET12.GRF

SCANNED BY
BY LASON

93133004

PLAT OF
HIGH DESERT
ALBUQUERQUE
NEW MEXICO
JUNE, 1993

CURVE DATA						
NUMBER	ARC	RADIUS	DELTA	CHORD	CHORD BEARING	TANGENT
C1	20.58	40.00	29°28'47"	20.35	N06°16'14"W	10.52
C2	31.44	22.00	81°52'22"	28.83	N19°55'33"E	19.08
C3	11.79	12.00	56°18'27"	11.32	N32°42'30"E	6.42
C4	27.91	20.00	27°11'18"	27.71	N07°10'49"E	19.13
C5	35.26	28.00	68°40'35"	31.59	N15°22'44"E	19.15
C6	9.00	10.00	51°35'27"	8.70	N23°55'18"E	4.83
C7	42.32	90.00	22°07'51"	42.31	N03°15'42"E	25.45
C8	77.22	150.00	29°29'51"	76.37	N43°33'53"W	39.49
C9	2.15	7.00	61°33'35"	2.05	N89°05'36"W	1.19
C10	48.69	28.32	99°30'31"E	42.91	N70°11'15"E	32.87
C11	8.04	8.00	87°35'08"E	8.04	N87°35'08"E	8.04
C12	40.34	25.00	92°27'07"	36.10	N45°35'18"W	26.09
C13	7.73	10.00	44°16'50"	7.54	N21°30'10"W	4.07
C14	75.74	50.00	48°57'41"	72.93	N42°51'42"E	45.45
C15	16.15	15.00	61°41'18"	15.38	N45°54'14"E	8.96
C16	12.22	20.00	35°00'27"	12.03	N02°26'39"W	6.31
C17	29.97	60.00	29°36'22"	29.66	N08°51'35"E	15.30
C18	36.71	60.00	15°03'25"	36.14	N08°51'35"E	15.30
C19	50.04	70.00	40°57'20"	48.99	N05°54'37"W	26.14
C20	26.68	50.00	30°34'32"	26.37	N02°43'14"W	13.67
C21	44.05	52.00	48°57'41"	41.75	N45°54'14"E	26.45
C22	53.03	50.00	60°45'58"	50.58	N00°48'55"E	29.31
C23	51.17	38.00	77°09'15"	47.39	N10°20'35"E	30.31
C24	56.49	61.62	14°32'37"	56.61	N51°12'02"E	33.42
C25	61.72	325.52	10°51'46"	61.32	N68°54'46"E	30.35
C26	64.83	50.00	74°17'18"	60.38	N37°12'40"E	37.88
C27	104.23	528.00	11°18'36"	104.06	S64°44'04"E	52.28
C28	104.23	1008.00	11°18'36"	104.06	S64°44'04"E	52.28
C29	209.23	472.00	25°23'53"	207.52	N71°47'37"W	106.36
C30	21.51	50.00	24°39'10"	21.35	S51°52'37"W	10.93
C31	21.53	50.00	24°39'10"	21.35	N71°47'37"W	10.93
C32	426.98	688.12	35°33'07"	420.16	N43°30'44"E	220.61
C33	49.9	360.25	7°49'17"	49.14	N59°18'10"W	24.63
C34	608.36	626.50	55°38'11"	584.73	N54°36'17"E	330.57
C35	39.27	25.00	90°00'01"	39.27	S90°00'01"E	25.00
C36	39.27	25.00	90°00'00"	35.36	N37°25'23"E	25.00
C37	102.84	360.94	16°19'27"	102.49	S89°24'54"E	51.77
C38	110.33	368.04	16°19'27"	110.23	N11°03'31"E	51.77
C39	223.91	523.40	24°30'38"	222.20	S78°12'43"E	113.69
C40	39.27	25.00	90°00'01"	35.36	S20°57'24"E	25.00
C41	39.785	25.00	86°44'34"	34.34	N67°24'54"E	23.62
C42	280.64	580.50	5°23'37"	277.97	S03°37'24"E	25.00
C43	122.03	372.31	18°46'43"	121.48	S85°43'31"E	61.56
C44	122.03	434.31	19°40'16"	148.38	S86°10'18"E	75.30
C45	27.28	39.27	31°22'31"	27.28	S86°10'18"E	61.56
C46	177.64	331.00	30°44'55"	175.51	N88°12'06"E	91.01
C47	35.54	25.00	81°27'40"	32.63	S82°51'49"E	21.53
C48	198.38	423.42	26°45'48"	194.60	S13°14'49"E	100.01
C49	78.90	367.42	42°00'32"	78.90	S80°00'00"E	61.56
C50	139.23	419.30	19°01'32"	138.59	N49°44'12"W	70.26
C51	497.62	337.68	67°27'56"	375.04	N30°28'27"E	225.48
C52	110.33	567.12	11°03'21"	110.33	S80°00'00"E	51.77
C53	39.25	25.00	89°57'41"	35.34	N13°31'32"W	24.98
C54	484.91	580.00	47°54'07"	470.91	N07°30'14"E	257.03
C55	303.62	580.00	29°00'01"	303.62	N04°33'51"E	150.64
C56	220.34	330.00	18°28'23"	216.27	N74°47'22"E	114.45
C57	105.85	320.00	19°18'39"	107.34	N83°40'04"W	54.44
C58	464.23	580.00	40°51'33"	451.94	S83°03'29"W	245.36
C59	107.27	207.00	22°05'12"	107.27	N83°03'29"E	245.36
C60	151.45	380.00	22°50'09"	150.45	S63°20'10"E	75.81
C61	260.87	380.00	39°20'01"	255.78	S19°40'00"E	136.74
C62	291.63	580.00	22°05'12"	286.00	N83°03'29"E	245.36
C63	46.85	144.00	18°38'25"	46.64	S02°08'28"W	23.63
C64	35.34	156.00	12°58'53"	35.27	S04°58'14"W	17.75
C65	39.65	25.00	90°52'02"	35.62	S43°54'49"E	25.38
C66	216.49	682.50	10°51'46"	215.61	S80°00'00"E	109.26
C67	132.94	391.00	20°12'47"	137.23	S81°32'30"E	69.68
C68	14.32	122.50	6°41'51"	14.31	S88°17'58"W	7.17
C69	54.98	586.00	14°32'37"	54.98	S87°38'15"E	25.52
C70	104.64	100.00	59°57'21"	99.93	S59°41'50"E	57.68
C71	46.02	166.00	15°53'08"	45.88	S14°05'12"W	23.16
C72	22.40	595.00	2°09'25"	22.40	S63°16'54"W	11.20
C73	28.23	310.00	2°09'25"	28.23	S63°16'54"W	11.20
C74	152.45	391.00	22°20'24"	151.49	S56°15'02"W	77.21
C75	193.97	607.50	18°17'38"	193.15	S35°56'01"W	97.82
C76	22.31	717.50	2°09'25"	22.31	S63°16'54"W	11.20
C77	39.12	25.00	89°38'51"	35.25	S37°14'48"E	24.85
C78	457.48	916.43	28°36'04"	452.73	S06°43'25"W	233.60
C79	304.32	773.43	22°32'39"	302.36	S09°45'07"E	154.15
C80	18.89	89.00	87°35'08"	18.89	N87°35'08"E	8.04
C81	188.04	601.50	17°54'43"	187.28	N80°23'28"E	94.79
C82	39.27	25.00	90°00'00"	35.36	S52°34'37"W	25.00
C83	181.76	611.94	23°31'27"	181.33	N38°31'32"E	94.79
C84	95.70	595.04	9°12'52"	95.59	N85°51'37"W	47.95
C85	177.84	614.40	16°35'02"	177.22	N74°14'56"W	89.54
C86	39.27	25.00	89°59'58"	35.36	S69°02'37"E	25.00
C87	259.97	777.91	17°54'43"	259.97	N80°23'28"E	94.79
C88	365.41	483.40	43°18'41"	356.77	N00°35'29"W	79.20
C89	155.87	774.98	11°31'26"	155.61	S24°29'06"E	181.33
C90	350.68	601.50	23°31'27"	350.68	N38°31'32"E	94.79
C91	131.27	670.85	11°12'53"	131.06	S37°03'45"E	65.84
C92	39.25	25.00	89°57'41"	35.34	S13°31'32"E	24.98
C93	188.18	360.72	22°05'12"	188.18	S63°20'10"E	75.81
C94	241.04	341.00	40°30'01"	236.05	N84°51'51"E	125.80
C95	339.22	580.00	38°11'04"	332.90	N06°08'19"E	178.18
C96	286.33	596.50	25°47'02"	287.07	N75°07'28"E	136.99
C97	39.07	25.00	89°57'41"	35.34	S13°31'32"E	24.98
C98	322.02	864.43	21°20'38"	320.16	N10°21'07"E	162.90
C99	412.04	825.43	28°36'04"	407.77	N06°43'25"E	210.41
C100	240.38	355.96	28°36'04"	239.13	N06°43'25"E	210.41
C101	240.38	513.50	28°19'16"	238.19	N79°44'30"E	122.43

93133004

PLAT OF
HIGH DESERT
ALBUQUERQUE
NEW MEXICO
JUNE, 1993

State of New Mexico) SS
County of Bernalillo
This instrument was filed for record on

20 JUN 23 1993
200 checked in Records in the
of records of said County Folio 363
J. J. Woodard, Clerk & Recorder
Deputy Clerk

NOTES

NOTES

- OS-1 is dedicated to the City of Albuquerque in fee simple, as Public Open Space with the filing of this plat. The City of Albuquerque, its successors and assigns, will not develop this property. This property will remain in a natural and open condition with natural vegetation except for a non-motorized vehicular, pedestrian and equestrian trail and a parking lot whose extent and design shall be limited to a maximum of 20 vehicles and except as otherwise provided in the Bernalillo County/Albuquerque Comprehensive Plan, Trails and Bikeway Facilities Plan, applicable Arroyo Plans and any Open Space Facility Plan adopted and/or amended from time to time by the City. This property is subject to an existing drainage easement held by AMAFCA, Albuquerque Academy, Inc., or its successors and assigns, will have the right to injunctive relief if this property is used by the City of Albuquerque, or its successors or assigns, contrary to the uses provided by this plat.
- A floating trail easement for a non-motorized vehicular and pedestrian trail is granted to the City of Albuquerque with the filing of this plat. The location of the trail easement will be within OS-2. If and when the City of Albuquerque desires to locate a trail within OS-2, the design and improvement by the City of Albuquerque, location, trail width, buffer width and other terms of this trail easement will be determined at a later date by agreement among and between the City of Albuquerque, AMAFCA and Albuquerque Academy, Inc., or its successors and assigns. The parties will consider the City of Albuquerque's (I) design standards for comparable trails, including, without limitation, buffer width and relevant topography, (II) the use or potential use of the property by the underlying landowner, and (III) the cost of construction of the trail. If after determination of the terms of the trail, including the location of the trail, there exists a need for relocation of the trail, the City of Albuquerque, AMAFCA and Albuquerque Academy, Inc., or its successors or assigns, will mutually agree on a new location for the trail easement.
- A floating trail easement for a non-motorized vehicular and pedestrian trail and a floating parking lot easement (not to exceed twenty (20) vehicles) are granted to the USDA Forest Service with the filing of this plat. The location of the trail easement and the parking lot easement will be within OS-3. If and when the USDA Forest Service desires to locate a trail within OS-3, the design and improvement by the USDA Forest Service, location, trail width, buffer width, parking lot design and other terms of this trail and parking lot easement will be determined at a later date by agreement among and between the USDA Forest Service, AMAFCA and Albuquerque Academy, Inc., or its successors and assigns. The parties will consider the USDA Forest Service's (I) design standards for comparable trails, including, without limitation, buffer width and relevant topography, (II) the use or potential use of the property by the underlying landowner, and (III) the cost of construction of the trail and parking lot. If after determination of the terms of the trail and the parking lot, including the location of the trail or the parking lot, there exists a need for relocation of the trail or the parking lot, the USDA Forest Service, AMAFCA, and Albuquerque Academy, Inc., or its successors or assigns, will mutually agree on a new location for the trail easement or the parking lot easement.

- A floating trail easement for a non-motorized vehicular, pedestrian and equestrian trail is granted to the City of Albuquerque with the filing of this plat. The location of the trail easement will be within OS-4. If and when the City of Albuquerque desires to locate a trail within OS-4, the design and improvement by the City of Albuquerque, location, trail width, buffer width and other terms of this trail easement will be determined at a later date by agreement among and between the City of Albuquerque, AMAFCA and Albuquerque Academy, Inc., or its successors and assigns. The parties will consider the City of Albuquerque's (I) design standards for comparable trails, including, without limitation, buffer width, relevant topography, (II) the use or potential use of the property by the underlying landowner, and (III) the cost of construction of the trail. If after determination of the terms of the trail, including the location of the trail, there exists a need for relocation of the trail, the City of Albuquerque, AMAFCA and Albuquerque Academy, Inc., or its successors or assigns, will mutually agree on a new location for the trail easement.
- OS-5 is dedicated to the City of Albuquerque in fee simple, as Public Open Space with the filing of this plat. The City of Albuquerque, its successors and assigns, will not develop this property and this property will remain in a natural and open condition with natural vegetation, except as otherwise provided in the Bernalillo County/Albuquerque Comprehensive Plan, Trails and Bikeway Facilities Plan, applicable Arroyo Plans and any Open Space Facility Plan adopted and/or amended from time to time by the City. Albuquerque Academy, Inc., or its successors and assigns, will have the right to injunctive relief if this property is used by the City of Albuquerque, or its successors and assigns, contrary to the uses provided by this plat.
- OS-6 is dedicated by the City of Albuquerque in fee simple, as Public Open Space with the filing of this plat. The City of Albuquerque, its successors and assigns, will not develop this property and this property will remain in a natural and open condition with natural vegetation, except as otherwise provided in the Bernalillo County/Albuquerque Comprehensive Plan, Trails and Bikeway Facilities Plan, applicable Arroyo Plans and any Open Space Facility Plan adopted and/or amended from time to time by the City. Albuquerque Academy, Inc., or its successors and assigns, will have the right to injunctive relief if this property is used by the City of Albuquerque, or its successors and assigns, contrary to the uses provided by this plat.
- OS-7 is existing Public Open Space owned by the City of Albuquerque. Any trail located within OS-7 will be a non-motorized vehicular, pedestrian and equestrian trail. If and when the City of Albuquerque desires to locate a trail within OS-7, the design and improvement by the City of Albuquerque, location, trail width, buffer width and other features and terms of the trail will be determined by agreement among and between the City of Albuquerque, AMAFCA and Albuquerque Academy, Inc., or its successors and assigns. The parties will consider the City of Albuquerque's (I) design standards for comparable trails, including, without limitation, buffer width, and relevant topography, (II) the use or potential use of the property by the underlying landowner, (III) the cost of construction of the trail, (IV) Bernalillo County/Albuquerque Comprehensive Plan, Trail and Bikeway Facilities Plan, applicable Arroyo Plans, and any Open Space Facility Plan adopted and/or amended from time to time by the City and (V) the timing, consistency, continuity, and compatibility of trails within the trails system within property on this plat. If after determination of the terms of the trail, including the location of the trail, there exists a need for relocation of the trail, the City of Albuquerque, AMAFCA and Albuquerque Academy, Inc., or its successors and assigns, will mutually agree on a new location for the trail easement.

SCANNED BY
BY LASON

1 2 3 4 5 6 7 8 9 10 11 12
26 48091920645

JOB NO. 93125.01



SHEET 13 OF 13 SHEETS

1954 (13)

[S9312501-PLAT] SHEET 13 OF 13

SURV. F. S9312501-PLAT] SHEET 13 OF 13, DARRYL

GENERAL NOTES

1. WHEN CONFLICTS EXIST BETWEEN THE "STANDARD SPECIFICATIONS" AND THE "PLANS" ("PLANS" SHALL MEAN THE SHEETS NUMBERED 1 OF 19 THROUGH 19 OF 19 ENTITLED "CONSTRUCTION PLANS FOR HIGH DESERT SUBDIVISION, PHASE I-C"), THE CONSTRUCTION OBSERVER SHALL BE NOTIFIED IMMEDIATELY FOR RESOLUTION. IN GENERAL, THE PLANS SHALL GOVERN.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS GOVERNING CONSTRUCTION SAFETY AND HEALTH.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS.
6. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN IN SERVICE, ALL EXISTING UTILITIES.
7. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. THE CONTRACTOR SHALL BE REQUIRED TO CONFINЕ ITS WORK WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION AND PRIVATE PROPERTY. THE CONTRACTOR SHALL AT ALL TIMES TRY TO MINIMIZE THE DISTURBANCE TO THE EXISTING VEGETATION.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE AND EXCAVATION PERMITS, ETC.)
10. ALL TRENCHES AND EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED ACCORDING TO OSHA CONSTRUCTION SAFETY AND HEALTH STANDARDS. JOB SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. BLASTING USING EXPLOSIVES SHALL NOT BE PERMITTED. THE USE OF OTHER TECHNIQUES SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER AND THE COUNTY OF BERNALILLO.
12. CONTRACTOR SHALL OBTAIN A COPY OF SOILS REPORT FROM THE CONSTRUCTION OBSERVER PRIOR TO BEGINNING CONSTRUCTION.
13. ALL STATIONING IS BASED ON STREET CENTERLINE, UNLESS OTHERWISE NOTED.
14. ALL UTILITIES AND UTILITY SERVICE LINES OR SLEEVES SHALL BE INSTALLED PRIOR TO PAVING.
15. THE CITY OPEN SPACE PEDESTRIAN TRAIL RUNNING ALONG THE NORTH BOUNDARY OF GLENWOOD HILLS NORTH, FROM TRAMWAY BOULEVARD TO THE SIMS RESERVOIR TRAILHEAD SHALL REMAIN OPEN AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE TEMPORARY UNPAVED MARKED (SIGNED) DETOURS AROUND CONSTRUCTION AS NECESSARY TO MAINTAIN THE INTEGRITY OF THE TRAIL. COST OF DETOURS ARE INCIDENTAL TO THE PROJECT.
16. THE CONTRACTOR SHALL LIMIT PAVEMENT REMOVAL IN GLENWOOD HILLS DR. AND CEDAR BROOK AVE. TO HALF OF THE STREET AT A TIME. TEMPORARY ACCESS TO ALL IMPACTED DRIVEWAYS SHALL BE PROVIDED BY THE CONTRACTOR. COST OF TEMPORARY ACCESS SHALL INCIDENTAL TO THE PROJECT.

EARTHWORK:

1. SITE STRIPPINGS SHALL BE WINDROWED ADJACENT TO WATERLINE TRENCH EXCAVATIONS AS DIRECTED BY THE CONSTRUCTION OBSERVER. STRIPPINGS SHALL BE PLACED OVER THE BACKFILLED WATERLINE TRENCHES.

WATERLINES AND WATERSERVICE REQUIREMENTS

1. DISTRIBUTION OF WATER SERVICE TO EXISTING HOMES IN GLENWOOD HILLS NORTH SHALL BE LIMITED TO A MAXIMUM OF 4 HOURS.
2. TEMPORARY WATER SERVICES SHALL BE CONSTRUCTED AS NECESSARY TO SATSFY THE WATER SERVICE REQUIREMENTS OF NOTE 1. COST IS INCIDENTAL TO PROJECT.
3. WATERLINE CROSSINGS OF THE BEAR CANYON ARROYO AND EMBUDITO ARROYO SHALL INCLUDE A CONCRETE BLANKET ABOVE THE WATERLINE FROM PRUDENT LINE TO PRUDENT LINE AS SPECIFIED IN THE PLANS.
4. TEMPORARY WATERLINE CONNECTIONS FOR CONSTRUCTION PURPOSES SHALL BE INCIDENTAL TO THE PROJECT.
5. THE CONTRACTOR SHALL RETURN ALL REMOVED WATERLINES AND FITTINGS TO THE CITY WATER UTILITIES DEPARTMENT (PINO YARDS).

CONSTRUCTION SIGNING: UNLESS GOVERNED BY A SPECIFIC PLAN, THE FOLLOWING NOTES APPLY:

- A. ALL BARRICADES AND SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST DIVISION EDITION.
- B. CONTRACTOR SHALL PREPARE A CONSTRUCTION SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC DIVISION, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- C. CONTRACTOR SHALL MAINTAIN ALL BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.

SPECIAL NOTES FOR CONTRACTOR - CORPS 404 PERMIT REQUIREMENTS:

THE FOLLOWING CONDITIONS WERE PLACED ON THE PROJECT BY THE CORP OF ENGINEERS, SECTION 404, NATIONWIDE PERMIT:

1. AVOID DISTURBANCE TO THE GRAMA GRASS CACTUS WHEREVER POSSIBLE.
2. PROTECT FISH AND WILDLIFE RESOURCES

A. STORE FUELS, LUBRICANTS, HYDRAULIC FLUIDS AND OTHER PETROCHEMICALS OUTSIDE THE 100-YEAR FLOODPLAIN.

B. INSPECT CONSTRUCTION EQUIPMENT DAILY TO ENSURE THAT NO LEAKS OR DISCHARGES OR LUBRICANTS, HYDRAULIC FLUIDS OR FUELS OCCUR IN THE AQUATIC OR RIPARIAN ECOSYSTEM, AND

C. CONTAIN PETROCHEMICAL SPILLS, INCLUDING CONTAMINATED SOIL, AND DISPOSE AT AN UPLAND SITE.
3. CONSTRUCTION WITHIN 200 FEET OF ARCHEOLOGICAL SITES ELIGIBLE FOR THE NATIONAL REGISTER OF HISTORIC PLACES (LA 86078, LA 86079, LA 99727) WILL NOT BEGIN UNTIL AFTER THE CROPS HAS NOTIFIED YOU THAT COORDINATION WITH THE NEW MEXICO STATE HISTORIC PRESERVATION OFFICER IS COMPLETE.
4. THE CORPS WILL BE NOTIFIED IMMEDIATELY IF ANY PREVIOUSLY UNDISCOVERED CULTURAL RESOURCES ARE ENCOUNTERED DURING ANY CONSTRUCTION OPERATIONS. CONSTRUCTION WILL CEASE IN THE IMMEDIATE VICINITY OF THE RESOURCE UNTIL THE SIGNIFICANCE AND DISPOSITION OF THE RESOURCE HAS BEEN EVALUATED IN ACCORDANCE WITH CODE OF FEDERAL REGULATIONS 36 (CFR) 800.11.

MISCELLANEOUS NOTES:

1. ALL BOULDERS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION SHALL BE PRESERVED AND PLACED LINEARLY (DO NOT "PILE") ALONG THE ADJACENT RIGHT-OF-WAY FOR LATER USE IN LANDSCAPING WORK.
2. CONTRACTOR SHALL MAINTAIN IN PLACE ALL EXISTING FENCES AND KEEP ALL GATES LOCKED AT NIGHT AND WHEN NOT PRESENT ON SITE.

WATERLINE RECLAMATION NOTES

1. SEE SUPPLEMENT SPECIFICATION BOOKLET ENTITLED "HIGH DESERT SUBDIVISION PHASE I-C RESTORATION AND ENHANCEMENT PLAN" FOR RESTORATION AND ENHANCEMENT PLAN SPECIFICATIONS.
2. ALL DISTURBED AREAS SHALL BE RESTORED IN ACCORDANCE WITH THE SPECIFICATIONS PROVIDED IN THE ABOVE MENTIONED SPECIFICATION BOOKLET. IF THE SOIL IMPRINTING METHOD IS NOT POSSIBLE DUE TO SLOPE CONSTRAINTS, RESTORATION SHOULD BE COMPLETED IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATION FOR SEEDING.

3. WORK AREAS SHALL BE LIMITED TO DESIGNATED ROAD RIGHT-OF-WAY AND WATERLINE EASEMENTS AS SHOWN ON THE PLANS. WORK OUTSIDE OF THE RIGHT-OF-WAY OR WATERLINE EASEMENTS IN EITHER CITY OPEN SPACE OR HIGH DESERT PROPERTY IS NOT ALLOWED WITHOUT WRITTEN CONSENT FROM CITY OPEN SPACE DIVISION AND HIGH DESERT INVESMENT CORPORATION.
4. COMMENTS OR QUESTIONS CONCERNING THE RESTORATION SPECIFICATIONS SHALL BE DIRECTED TO EITHER THE CONSTRUCTION OBSERVER OR THE LANDSCAPE ARCHITECT.
5. ANY SUBSTITUTION OF PLANT SEED MATERIAL MUST BE APPROVED BY THE CONSTRUCTION OBSERVER. ADDITIONALLY, IF THE SUBSTITUTE MATERIAL IS TO BE USED IN CITY OPEN SPACE IT MUST BE APPROVED BY CITY OPEN SPACE DIVISION.
6. THE CONTRACTOR SHALL WARRANTY THE RECLAMATION WORK FOR A PERIOD OF TWO (2) GROWING SEASONS, CONTINGENT UPON ACCEPTANCE BY HIGH DESERT AND THE CITY OPEN SPACE DIVISION.

CONSTRUCTION ACCESS:

1. THE PHASE I-C CONTRACTOR SHALL TAKE ACCESS ONLY FROM THE SPAIN /TRAMWAY INTERSECTION, AND GLENWOOD HILLS, NORTH SUBDIVISION.

EXISTING UTILITIES

THESE DRAWINGS REFLECT INFORMATION ON UTILITIES GATHERED BY SITE INSPECTION, DISCUSSIONS WITH LOCAL UTILITIES, ENGINEERING OFFICIALS, AND PREVIOUS CONSTRUCTION DRAWINGS PROVIDED TO OR OBTAINED BY THE ENGINEER. IT IS POSSIBLE THAT THE EXACT LOCATION OF LINES IN THE IMMEDIATE VICINITY OF THE PROJECT MAY BE SLIGHTLY DIFFERENT FROM THE LOCATION SHOWN ON THIS DRAWING. IF ADDITIONAL LINES ARE ENCOUNTERED, THEY SHALL BE EXPOSED AND IDENTIFIED BY THIS CONTRACTOR. WHERE ADDITIONAL LINES AND/OR DIFFERING LOCATIONS ARE ENCOUNTERED, THIS CONTRACTOR SHALL REQUEST THAT THE ENGINEER MAKE A RULING AS TO ANY NECESSARY CHANGE OF MATERIALS, RE-ROUTING, ABANDONING OR RELOCATING OF SUCH LINES. GAS COMPANY, PNM, US WEST AND/OR CABLE TV SHALL BE THE SOLE AUTHORITY IN RULING ON THE DISPOSITION OF THEIR EXISTING LINES. ALL LINES ENCOUNTERED THAT INTERFERE WITH CONSTRUCTION SHALL BE RELOCATED TO CLEAR CONSTRUCTION (IF ACTIVE) AND SHALL BE REMOVED (IF INACTIVE) BY THIS CONTRACTOR UNDER THIS CONTRACT. ALL BIDDERS ARE CAUTIONED TO INVESTIGATE SITE CONDITIONS BEFORE SUBMITTING THEIR BIDS. ALL EXISTING PIPING SHALL HAVE A MINIMUM EARTH COVERAGE AND DEPTHS SHALL BE ADJUSTED AS REQUIRED TO PROVIDE MINIMUM COVERAGE DUE TO NEW GRADES OR CONSTRUCTION. CONTRACTOR SHALL PAY FOR ANY AND ALL COSTS OF PERMITS, LINE EXTENSIONS, FIRELINES, METER INSTALLATION, ETC., AS REQUIRED BY LOCAL GOVERNING UTILITIES ENGINEERING OFFICIALS.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY. THIS MAY BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE CONSTRUCTION LIMITS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. THE COST OF REQUIRED EROSION CONTROL MEASURES SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT COST.
4. DURING THE MONTHS OF JULY, AUGUST, OR SEPTEMBER, ANY GRADING WITHIN OR ADJACENT OF A WATERCOURSE DEFINED AS A MAJOR FACILITY SHALL PROVIDE FOR EROSION CONTROL AND THE SAFE PASSAGE OF THE 10-YEAR DESIGN STORM RUNOFF DURING THE CONSTRUCTION PHASE.

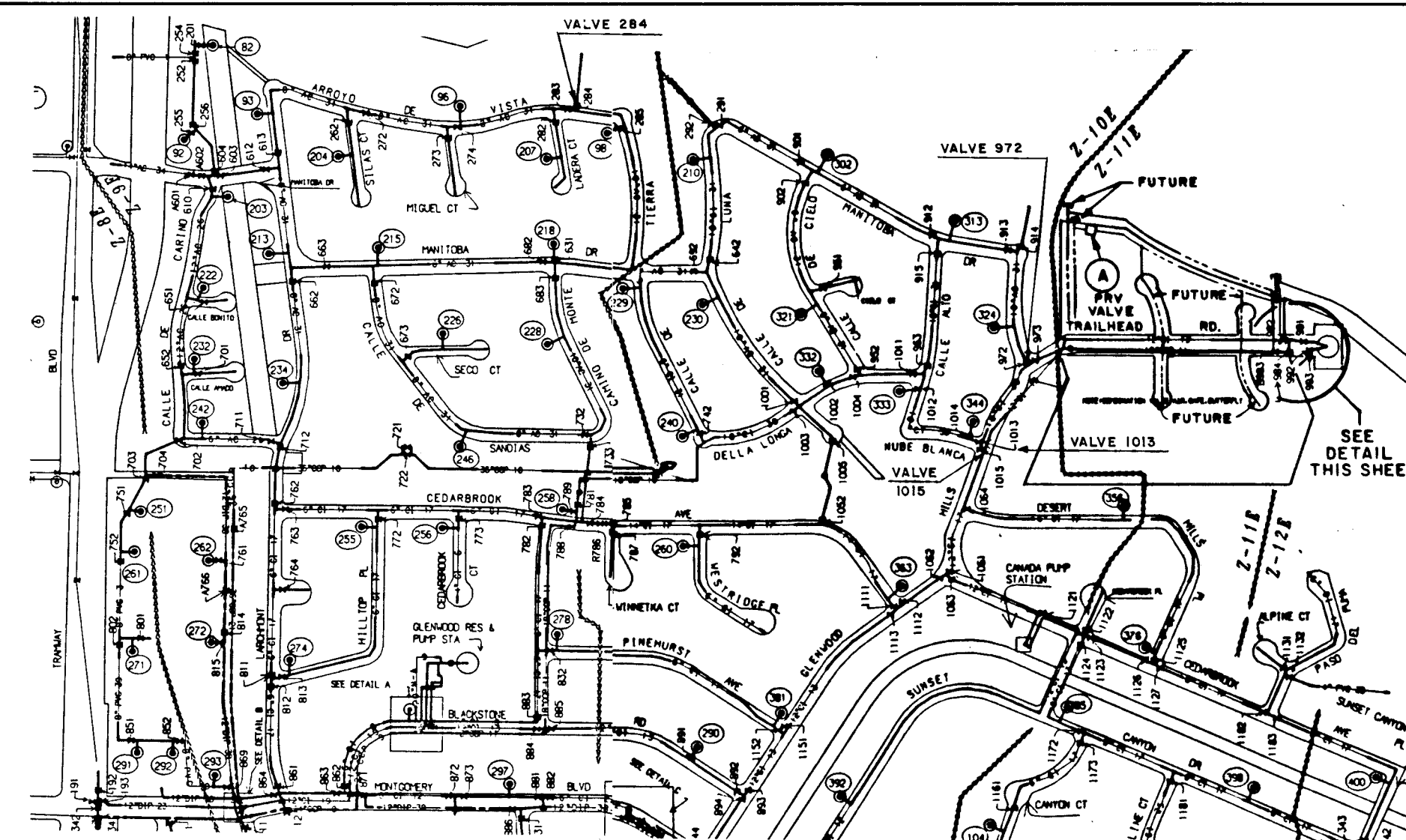
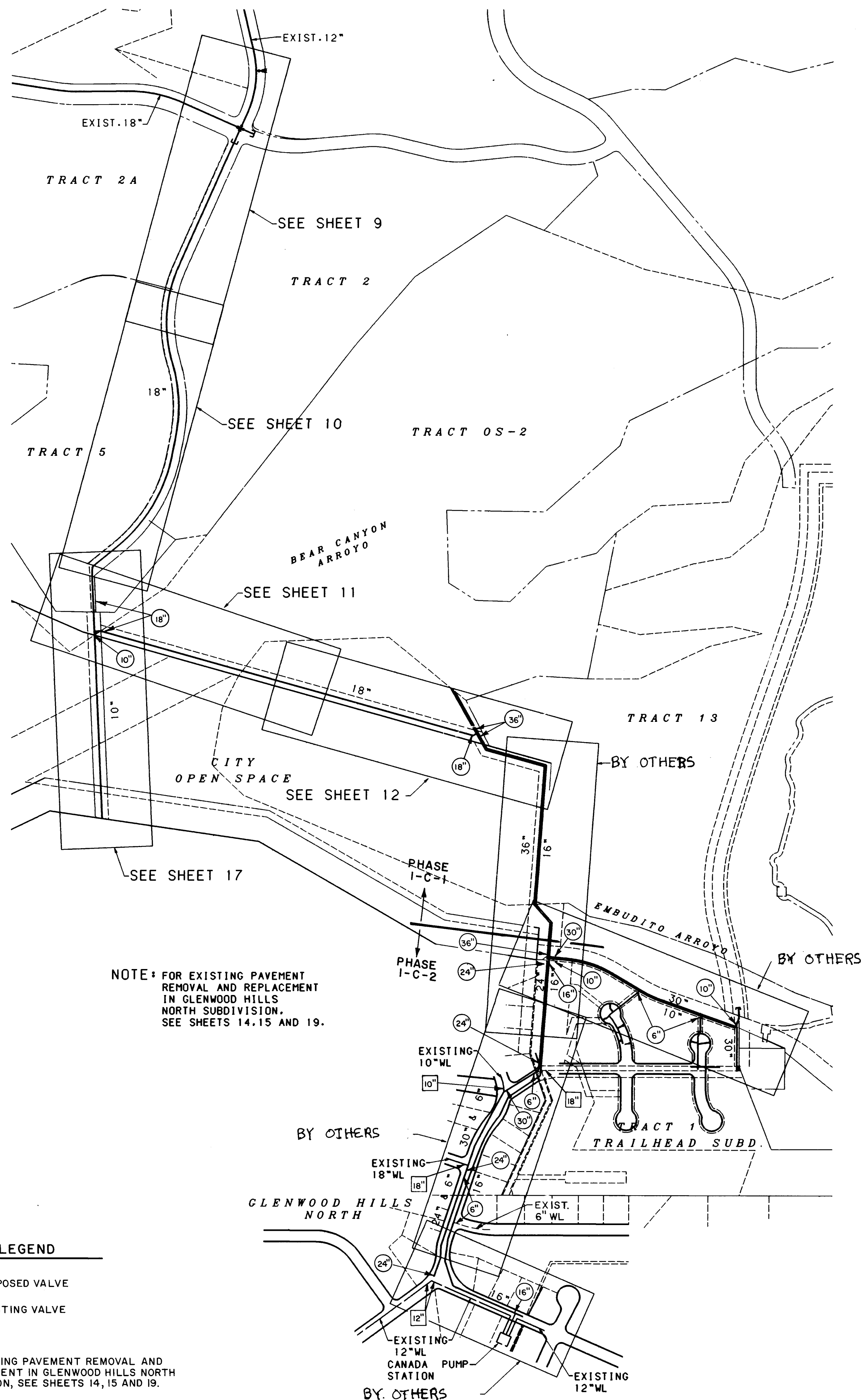
1 2 3 4 5 6 7 8 9 10 11 12
26 4809 1919 2079 5

4/14/94

SCANNED BY
BY LASON

BHI JOB NO. 93127.42

	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP				
HIGH DESERT SUBDIVISION PHASE I-C-1 GENERAL NOTES					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRG. CHAIRMAN	<i>B. G. B.</i>	5/18/94	WATER		
TRANSPORTATION	<i>Blum</i>	5-27-94	WASTE WATER	<i>E. G. Neiderhiser</i>	
HYDROLOGY	<i>Blum</i>	5-11-94	OPEN SPACE		
DRAWING NO.	4809.92	MAP NO. E23.F23	SHEET 7 OF 15		



WATER VALVE SHUT-OFF PLAN
NO SCALE F-23

WATER VALVE SHUT-OFF REQUIREMENTS:

CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMING AND COORDINATION OF THE WATER SHUT-OFF REQUIREMENTS IN CONJUNCTION WITH THE COMPLETION OF THE PROJECT.

AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PWD/WATER SYSTEMS DIVISION (857-8200) TO INITIATE IMPLEMENTATION OF THIS WATER SHUT-OFF PLAN.

* WATER SHUT-OFF FOR PROPOSED
CONSRTUCTION AT:

CLOSE VALVE:

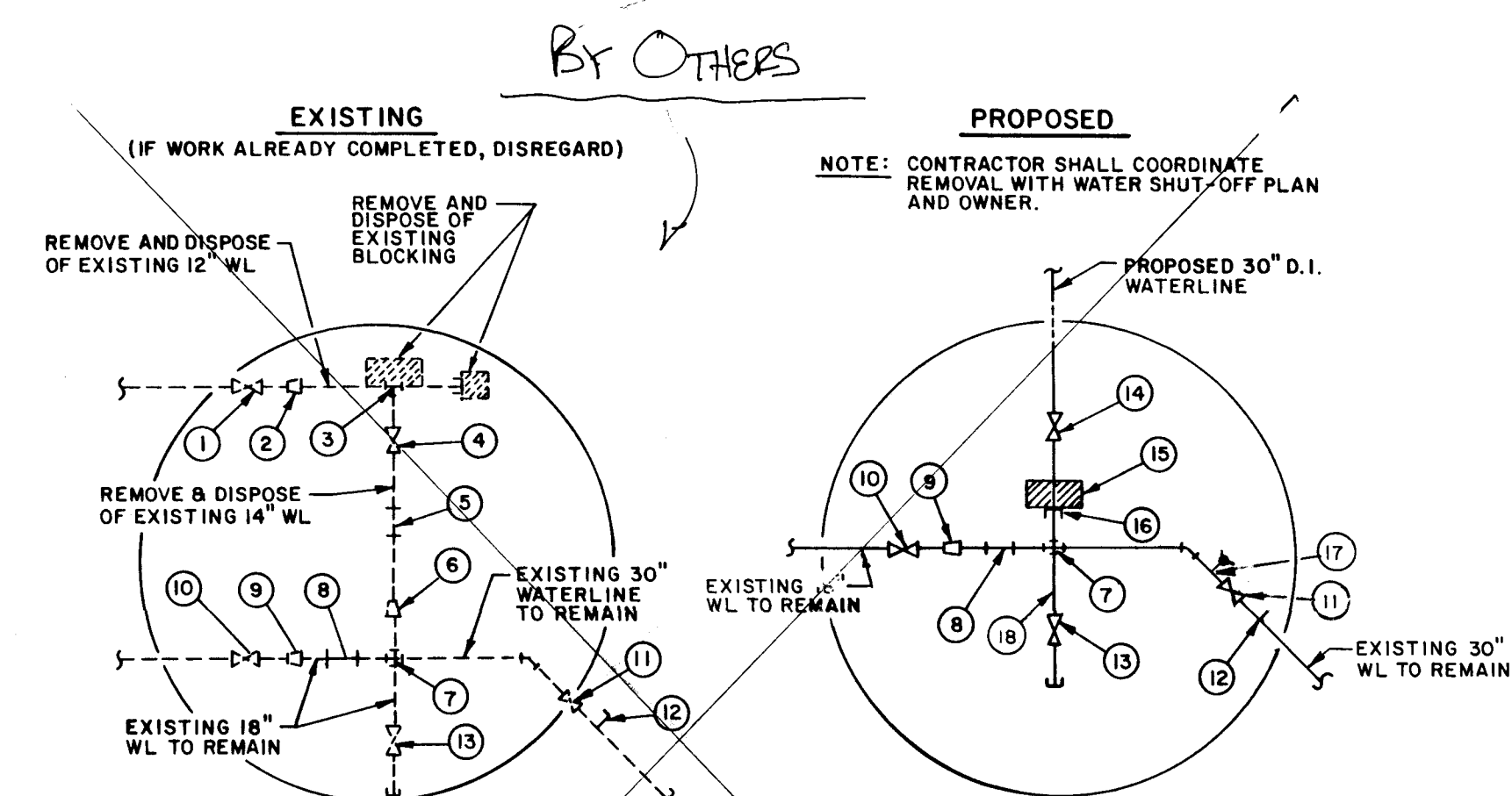
A. 10" WATERLINE ACROSS THE BEAR CANYON ARROYO TO CONNECTION WITH 18" WATERLINE IN TRACT OS-2

284

~~B. 30" WATERLINE FROM NUBE BLANCA TO TRAILHEAD RD.~~

~~1015~~
1013,972

C. 30" WATERLINE FROM EAST END OF TRAILHEAD RD. TO W. SIDE OF TRACT 1 (SEE DETAIL THIS SHEET)



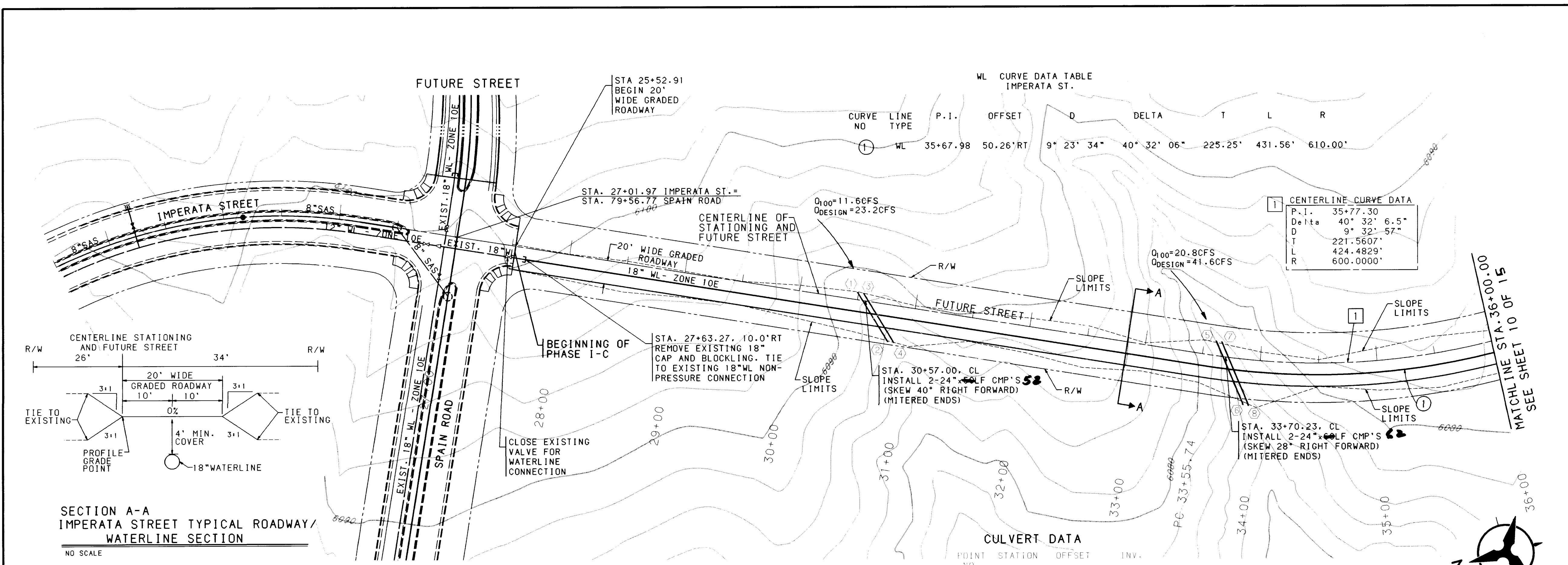
**WATERLINE CONNECTION AT EAST END OF TRAILHEAD ROAD
(SEE SHEET 16 FOR ADDITIONAL INFORMATION)**

KEYED NOTES

- (1) EXISTING 12" BUTTERFLY VALVE (REMOVE & DISPOSE BY OTHERS)
 - (2) EXISTING 12" X 14" REDUCER (REMOVE & DISPOSE BY OTHERS)
 - (3) EXISTING 14" X 14" TEE (REMOVE & DISPOSE BY OTHERS)
 - (4) EXISTING 14" BUTTERFLY VALVE (REMOVE & DISPOSE BY OTHERS)
 - (5) EXISTING 14" MJ SPOOL (REMOVE & DISPOSE BY OTHERS)
 - (6) EXISTING 14" X 18" REDUCER (REMOVE & DISPOSE BY OTHERS)
 - (7) EXISTING 18" X 30" CROSS (REM. & RET.) INSTALL 1-30" X 30" CROSS
 - (8) EXISTING 30" MJ SPOOL (TO REMAIN)
 - (9) EXISTING 30" X 18" REDUCER (TO REMAIN)
 - (10) EXISTING 18" BUTTERFLY VALVE (TO REMAIN)
 - (11) EXISTING 30" BUTTERFLY VALVE (TO REMAIN)
 - (12) EXISTING AIR RELEASE VALVE (REMOVE & RETURN)
 - (13) EXISTING 18" BUTTERFLY VALVE (REM. & RET.)
 - (14) INSTALL 30" BUTTERFLY VALVE
 - (15) REMOVE BLOCKING
 - (16) REMOVE 18" CAP
 - (17) INSTALL 1-30" X 6" TAPPING SLEEVE, (PRESSURE CONNECTION), 5LF - 6" PVC AND 1-4" FIRE HYDRANT
 - (18) EXISTING 18" WL AND 18" CAP (REMOVE & RETURN)

BHI JOB NO. 93127.42

SCANNED BY
BY LASON



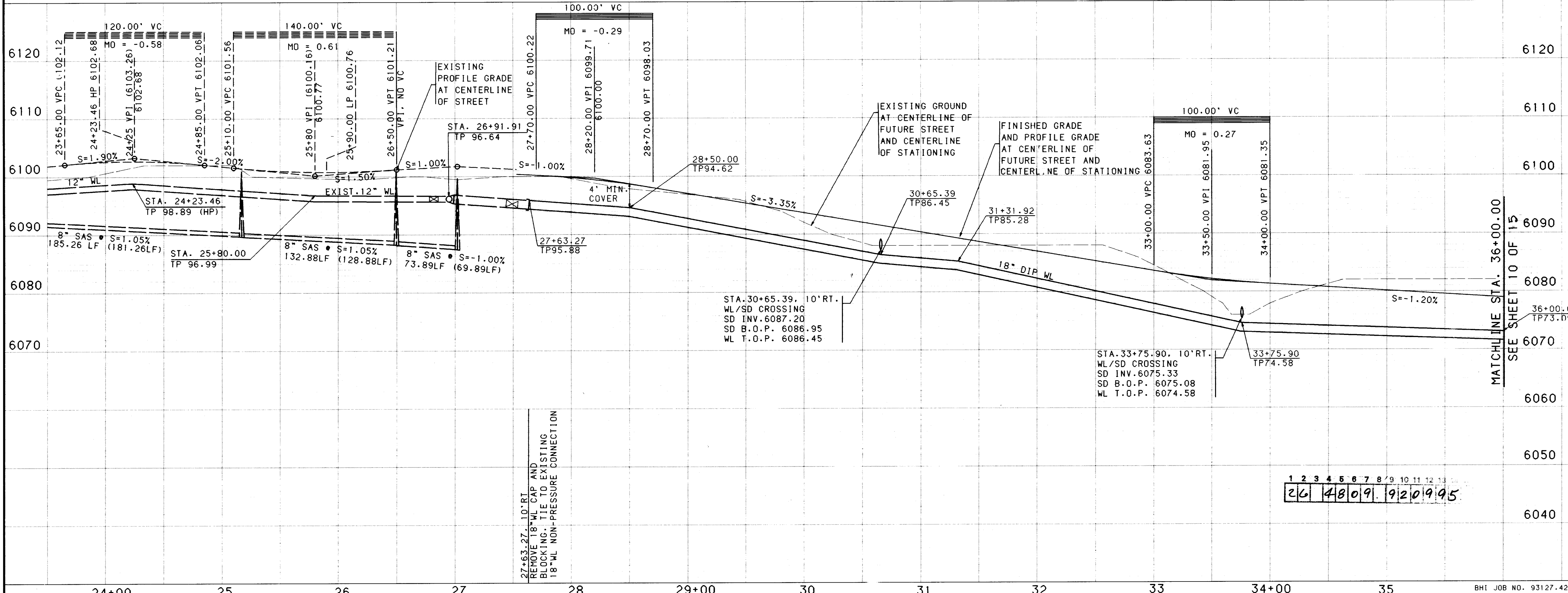
LEGEND

- 1 CENTERLINE CURVE DATA
- 1 WATERLINE CURVE DATA
- 1 STORM DRAIN CULVERT

PHASE I-C-1 IMPERATA STREET

CULVERT DATA

POINT NO.	STATION	OFFSET	INV.
1	30+48.94	6.50' LT.	6088.00
2	30+81.07	31.80' RT.	6086.15
3	30+54.16	6.50' LT.	6088.00
4	30+86.29	31.80' RT.	6086.15
5	31+60.11	12.87' LT.	6076.40
6	33+89.29	39.22' RT.	6074.00
7	33+64.91	12.81' LT.	6076.40
8	33+93.69	39.50' RT.	6074.00



NOTES

1. ALL CURB DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
2. GRADE ELEVATIONS, WHERE NOTED, ARE FOR TOP OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
3. CONTRACTOR IS TO INSTALL A 4" X 4" X 5" POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
4. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
5. CONTRACTOR SHALL PROVIDE THE INSPECTORS (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
6. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
7. ANY DAMAGE TO THE EXISTING FACILITIES (CURB AND GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
9. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
10. CONTRACTOR SHALL HAVE PROPOSED CURB STAKED PRIOR TO SETTING FINAL FIRE HYDRANT LOCATION. ANY SUBSEQUENT RELOCATION OF A FIRE HYDRANT TO CONFORM TO ACTUAL CURB LOCATIONS AND CITY OF ALBUQUERQUE STANDARD DETAILS SHALL BE MADE AT CONTRACTOR'S EXPENSE.
11. ALL WORK DETAILED UNDER THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS AMENDED WITH UPDATE #4.

RECORD DRAWING

I, Harvey P. Phillips, Registered Professional Land Surveyor in the State of New Mexico, do hereby certify that this "as-built" information was obtained by me or under my supervision and represents the "as-built" conditions of this project, and is true and correct to the best of my knowledge and belief. All vertical and horizontal dimensions should be field verified prior to use on future projects.

Harvey P. Phillips
LS No. 4767

13/2/94

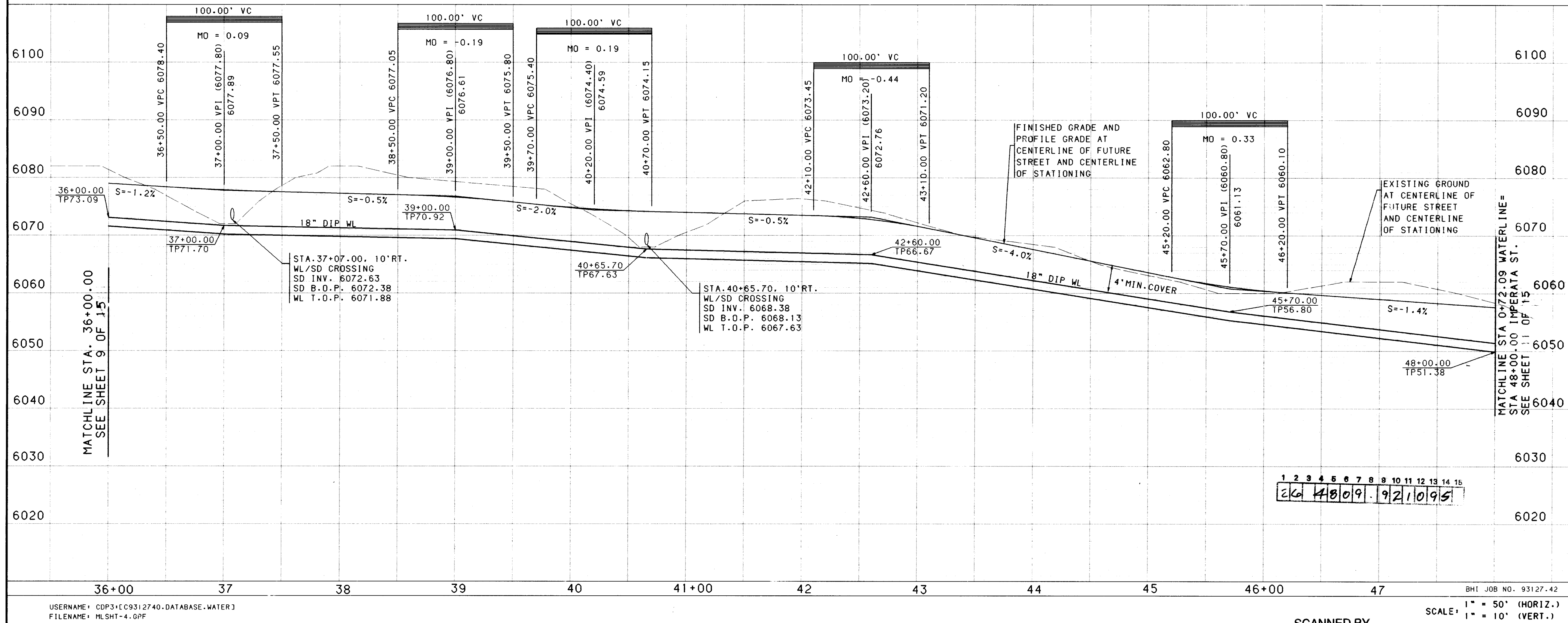
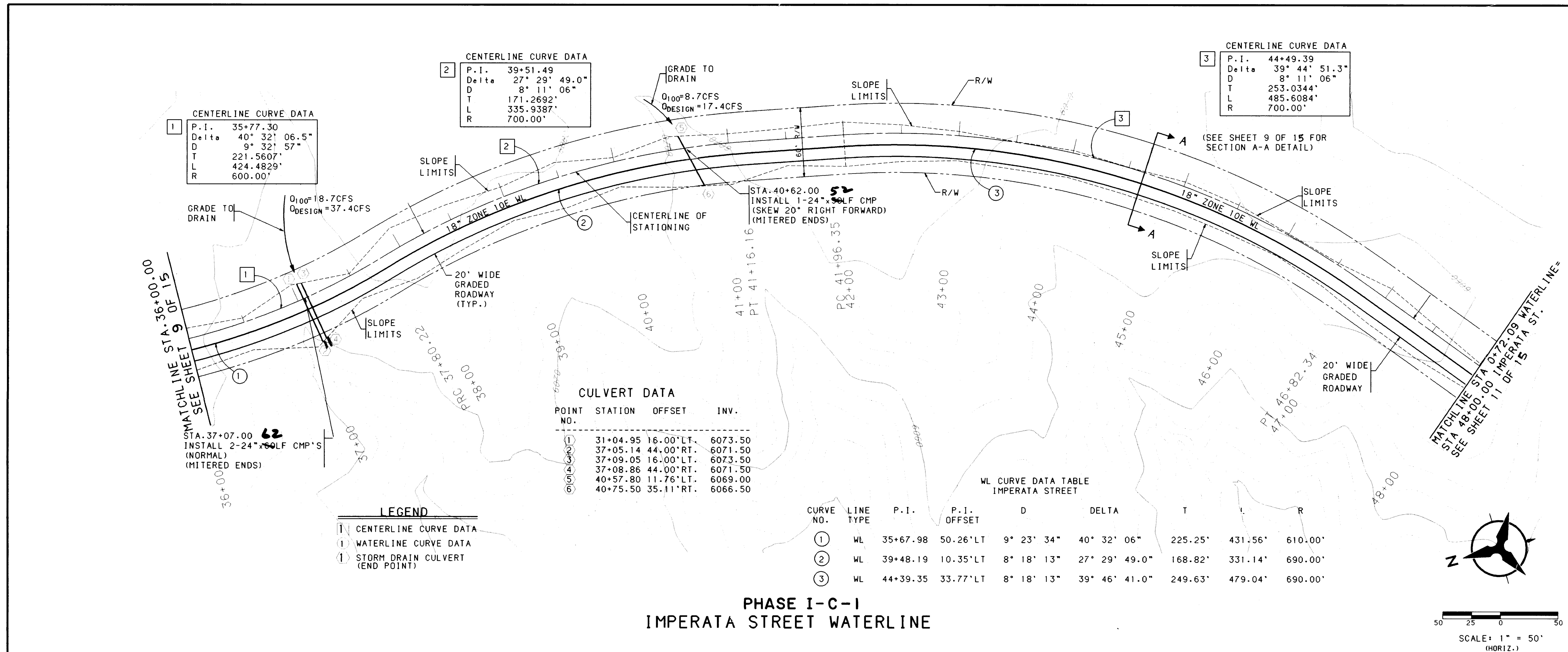
DESIGNED BY CHW DATE 4/94
DRAWN BY PL - JAO DATE 4/94
CHECKED BY JBT DATE 4/94

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

HIGH DESERT SUBDIVISION PHASE I-C-1
WATERLINE PLAN & PROFILE
IMPERATA ST. STA. 27+50 TO 36+00

APPROVALS ENGINEER DATE APPROVALS ENGINEER DATE
DRC CHAIRMAN DATE 5-18-94 WATER
TRANSPORTATION DATE 5-22-94 WASTE WATER
HYDROLOGY DATE 5-11-94

DRAWING NO. 4809.92 MAP NO. E23 F23 SHEET 9 OF 15

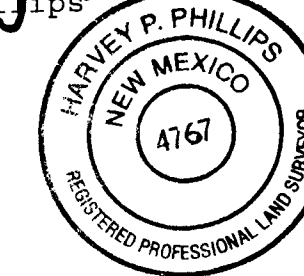


- NOTES
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURB RETURN RADII SHALL BE 25' TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 4. GRADE ELEVATIONS, WHERE NOTED, ARE FOR TOP OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
 5. CONTRACTOR IS TO INSTALL A 4"x4"x5" POST AND EMD AT THE END OF EACH SANITARY SEWER SERVICE.
 6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
 9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB AND GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
 12. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.

RECORD DRAWING

I, Harvey P. Phillips, Registered Professional Land Surveyor in the State of New Mexico, do hereby certify that this "as-built" information was obtained by me or under my supervision and represents the "as-built" conditions of this project, and is true and correct to the best of my knowledge and belief. All vertical and horizontal dimensions should be field verified prior to use on future projects.

Harvey P. Phillips
LS No. 4767

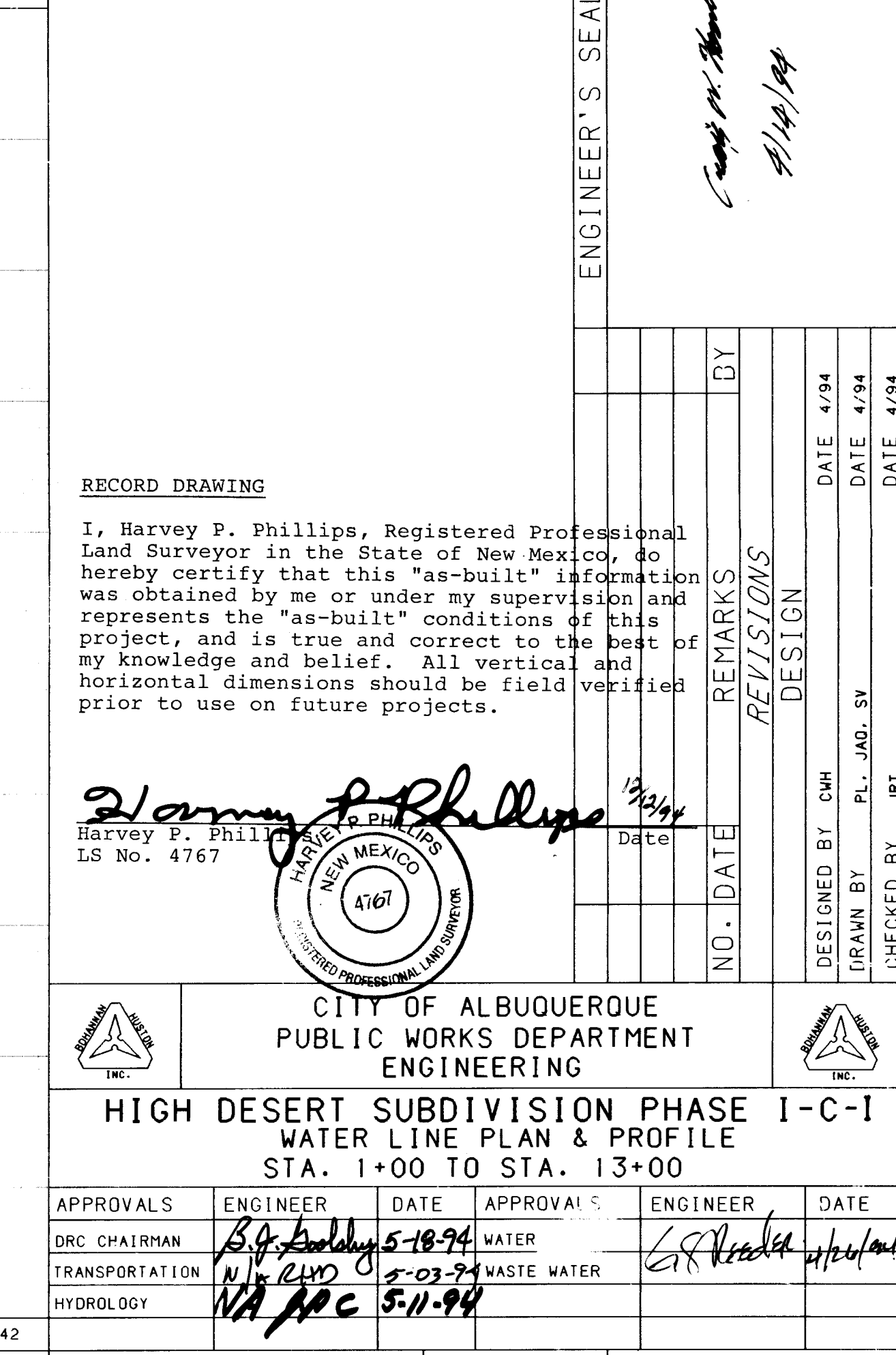
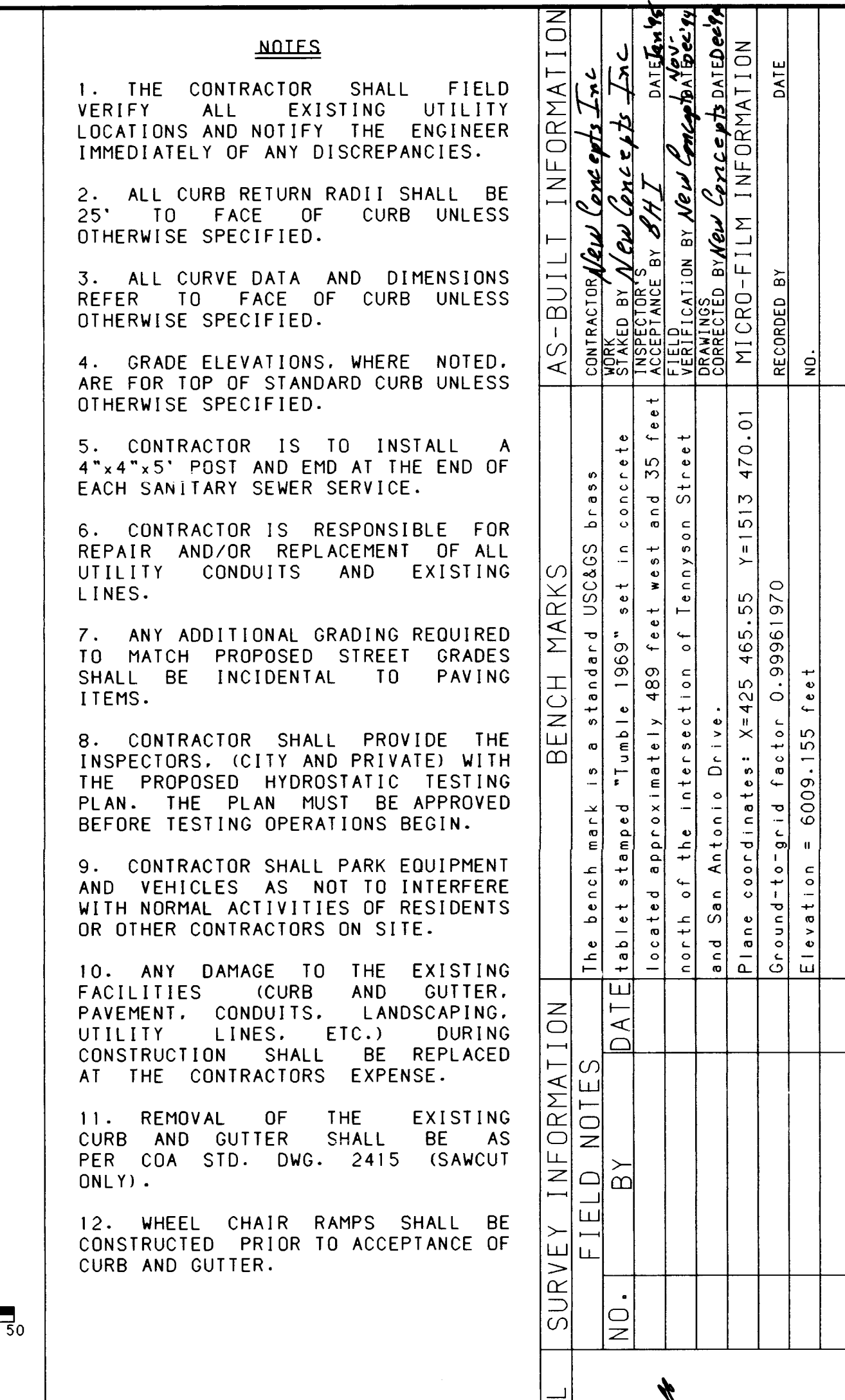


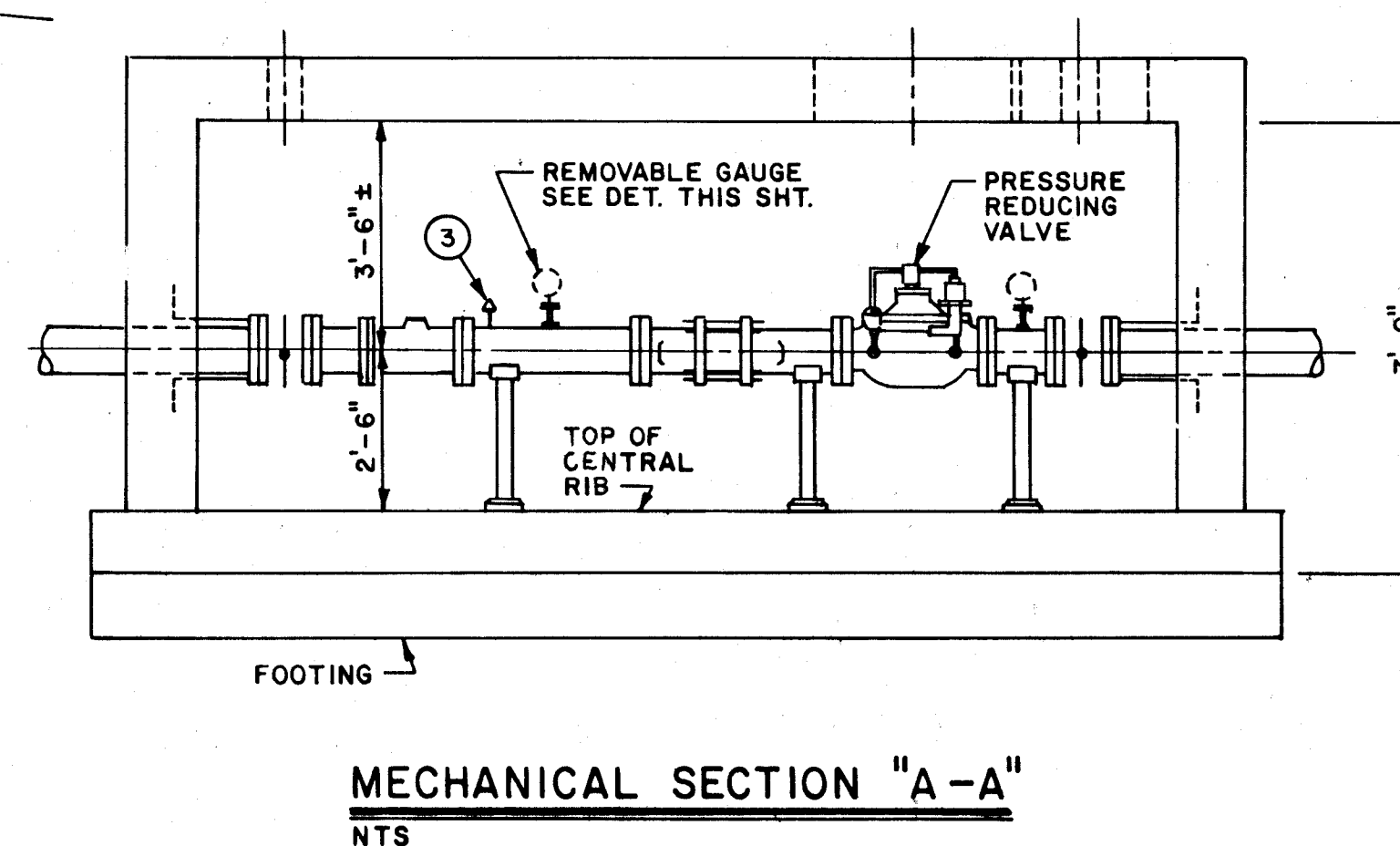
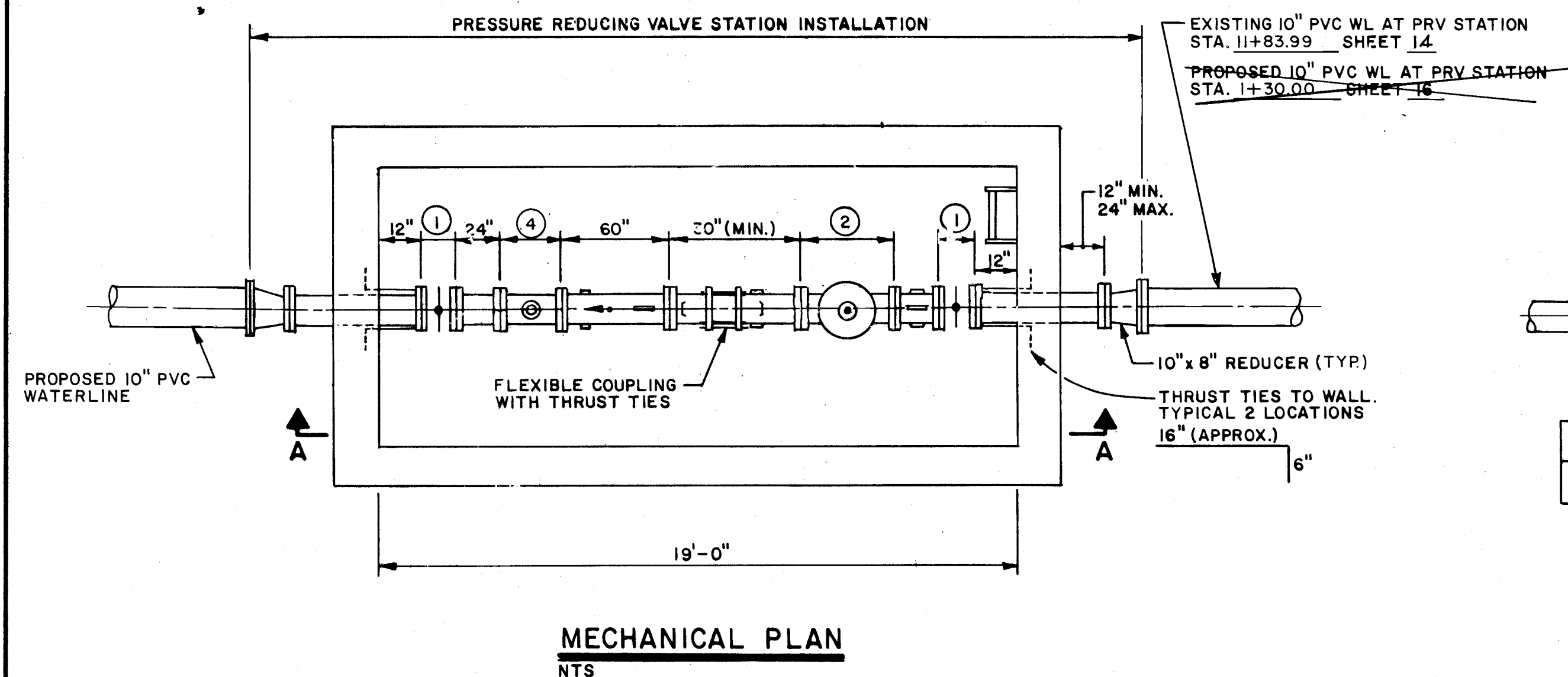
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING

HIGH DESERT SUBDIVISION I-C-1
WATERLINE PLAN & PROFILE
IMPERATA ST. STA. 36+00 TO 48+24.58

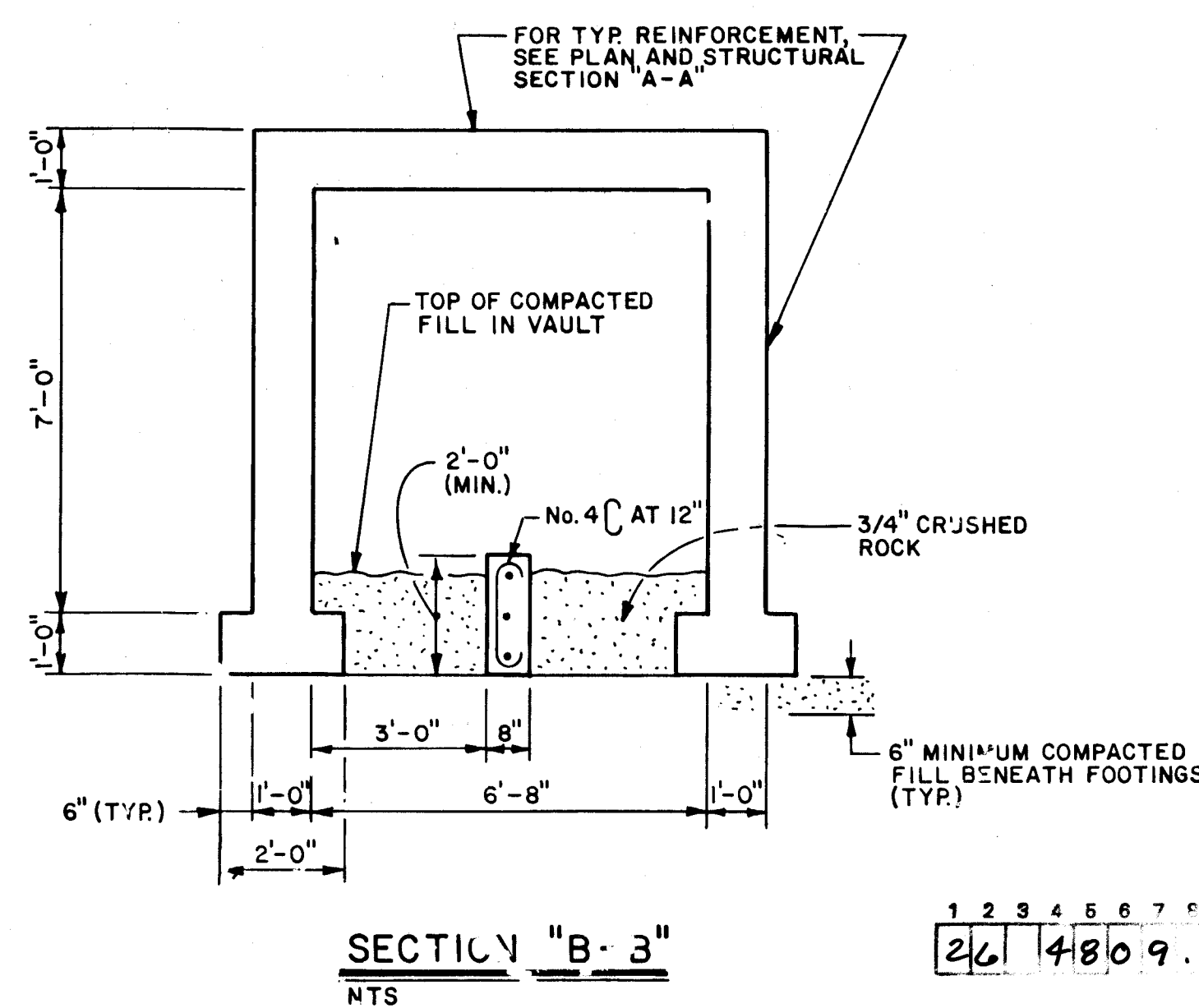
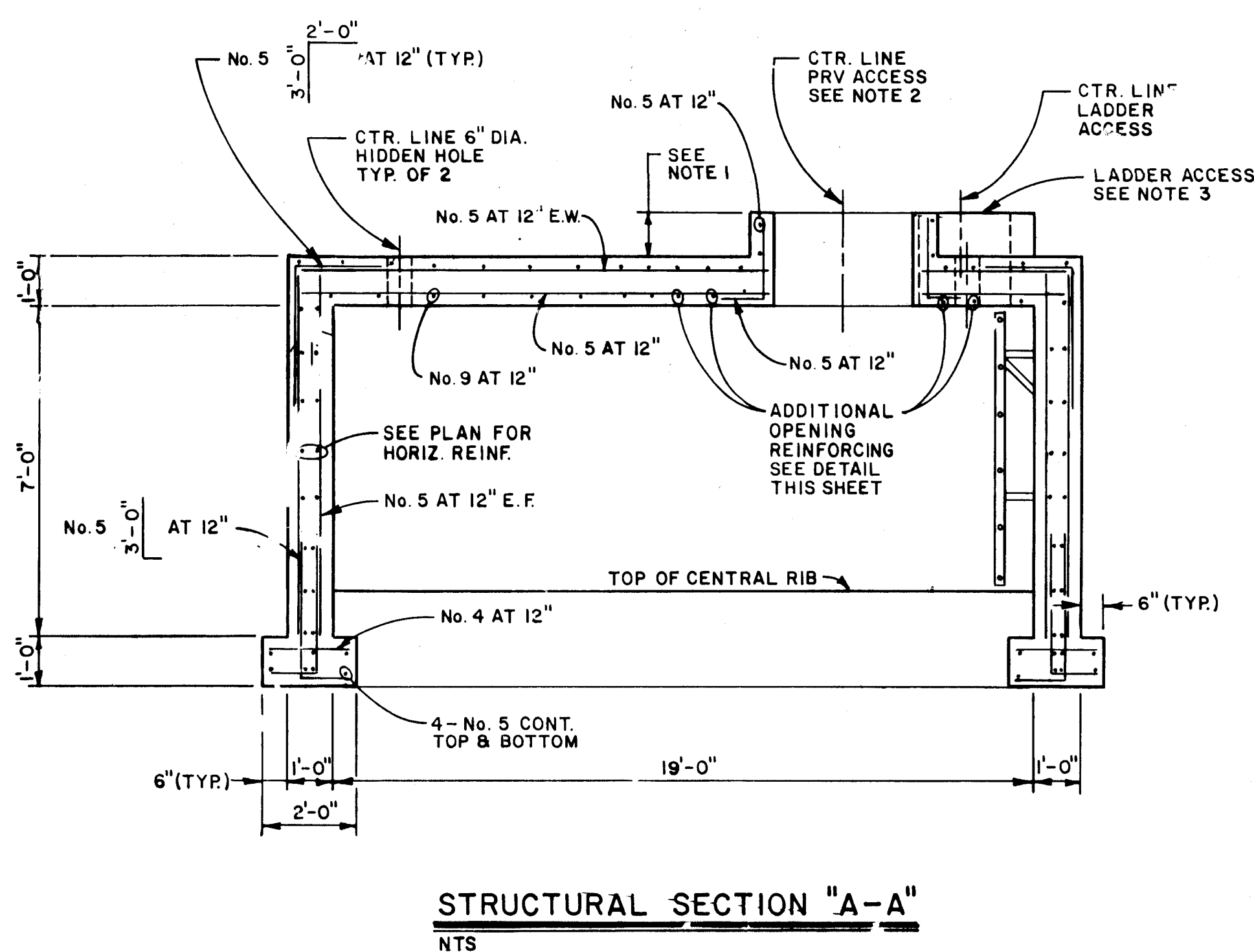
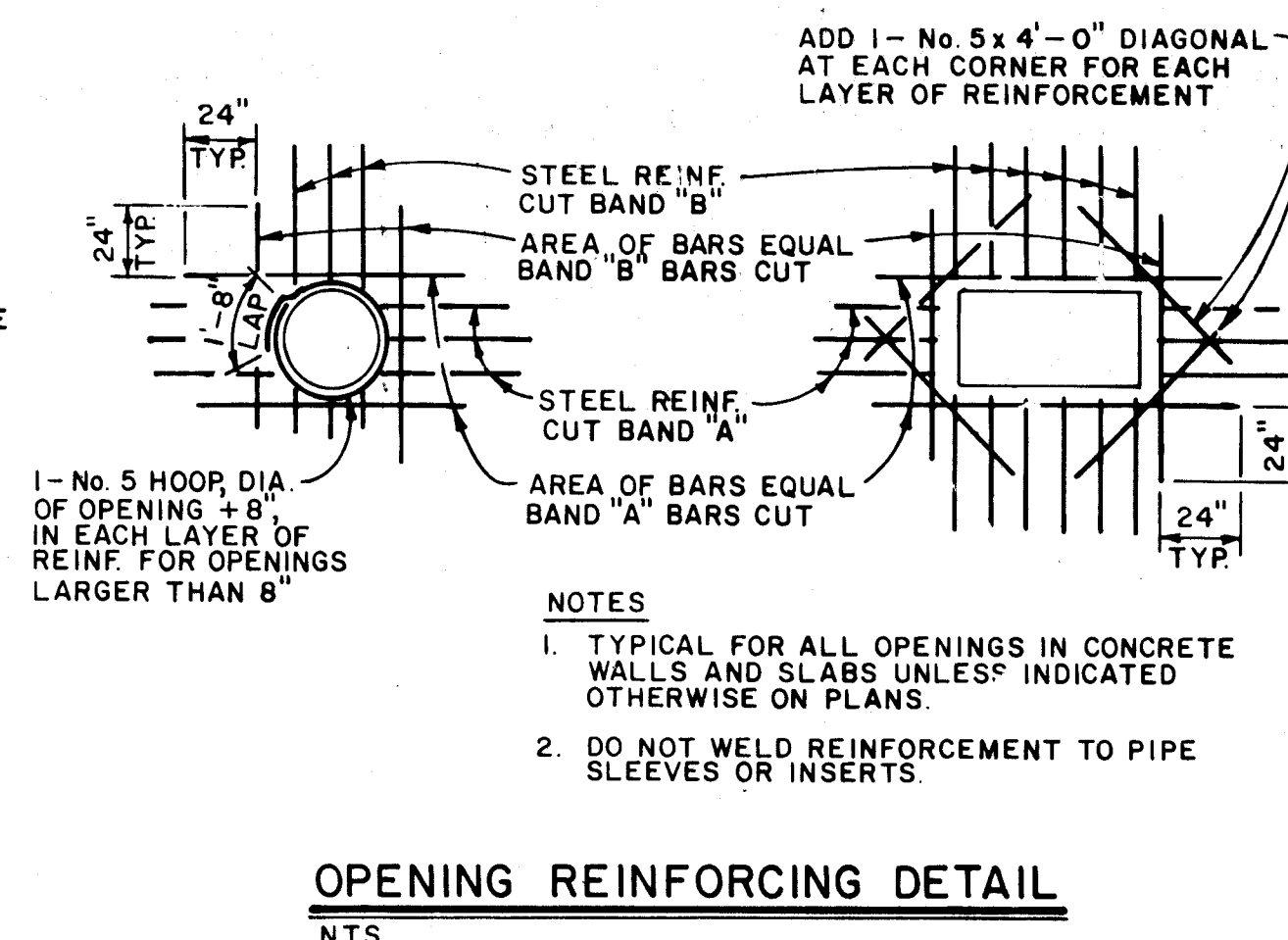
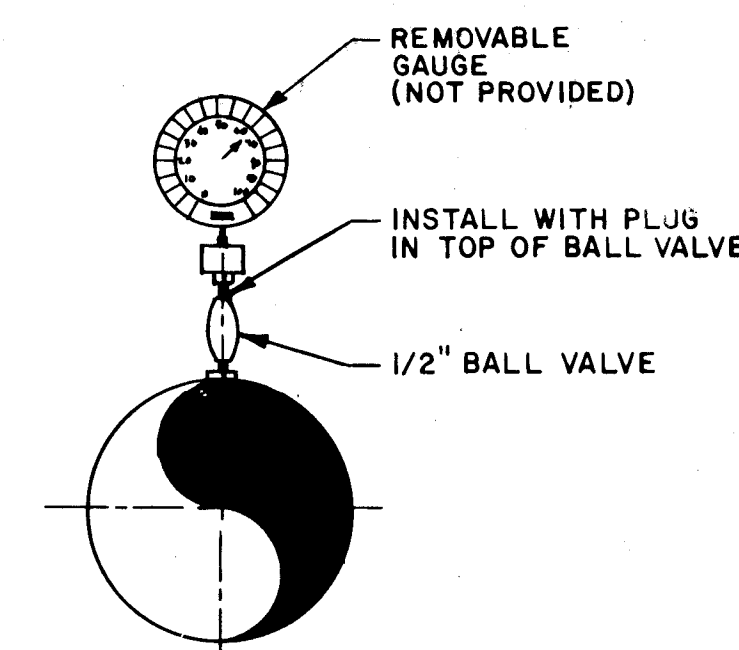
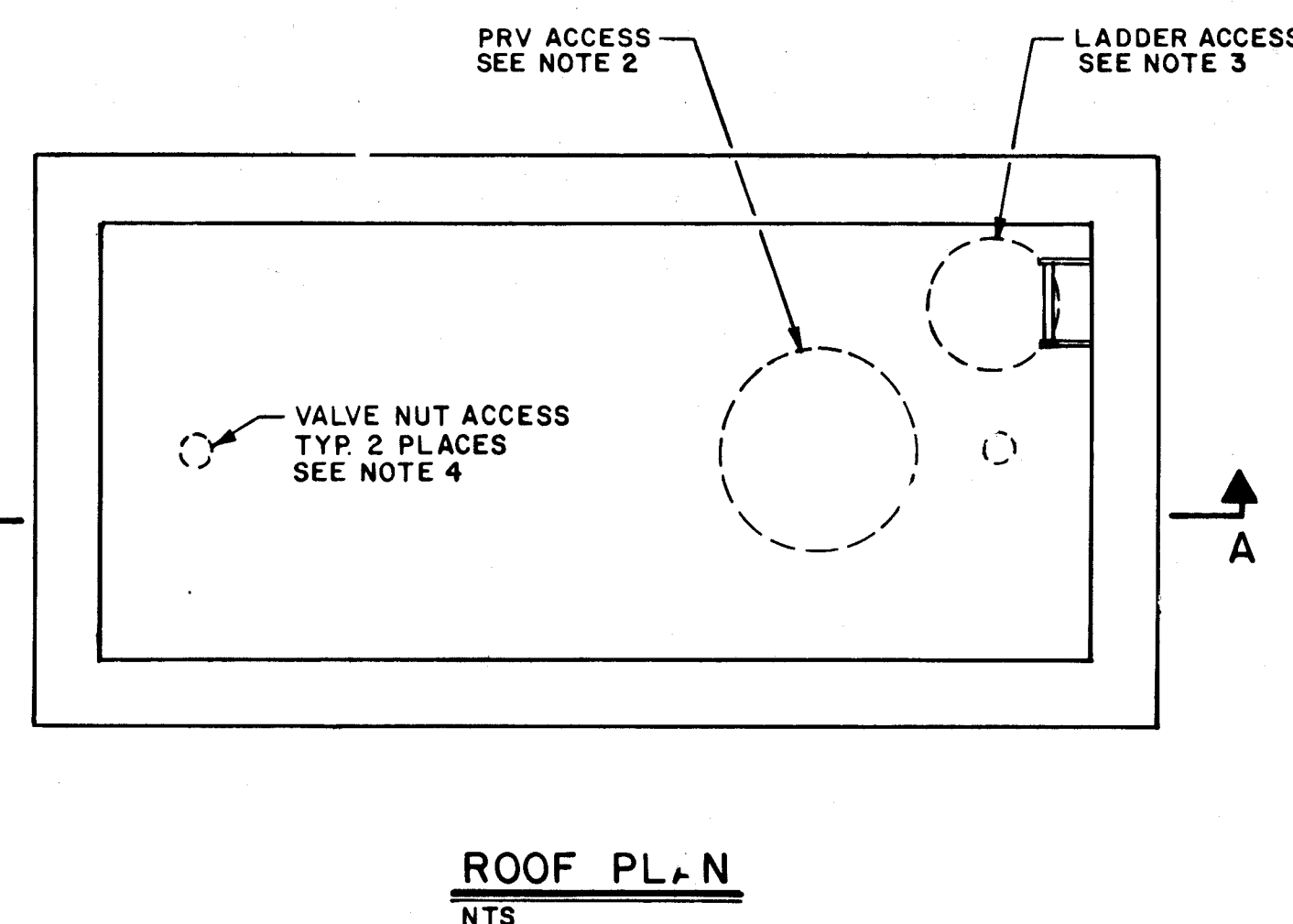
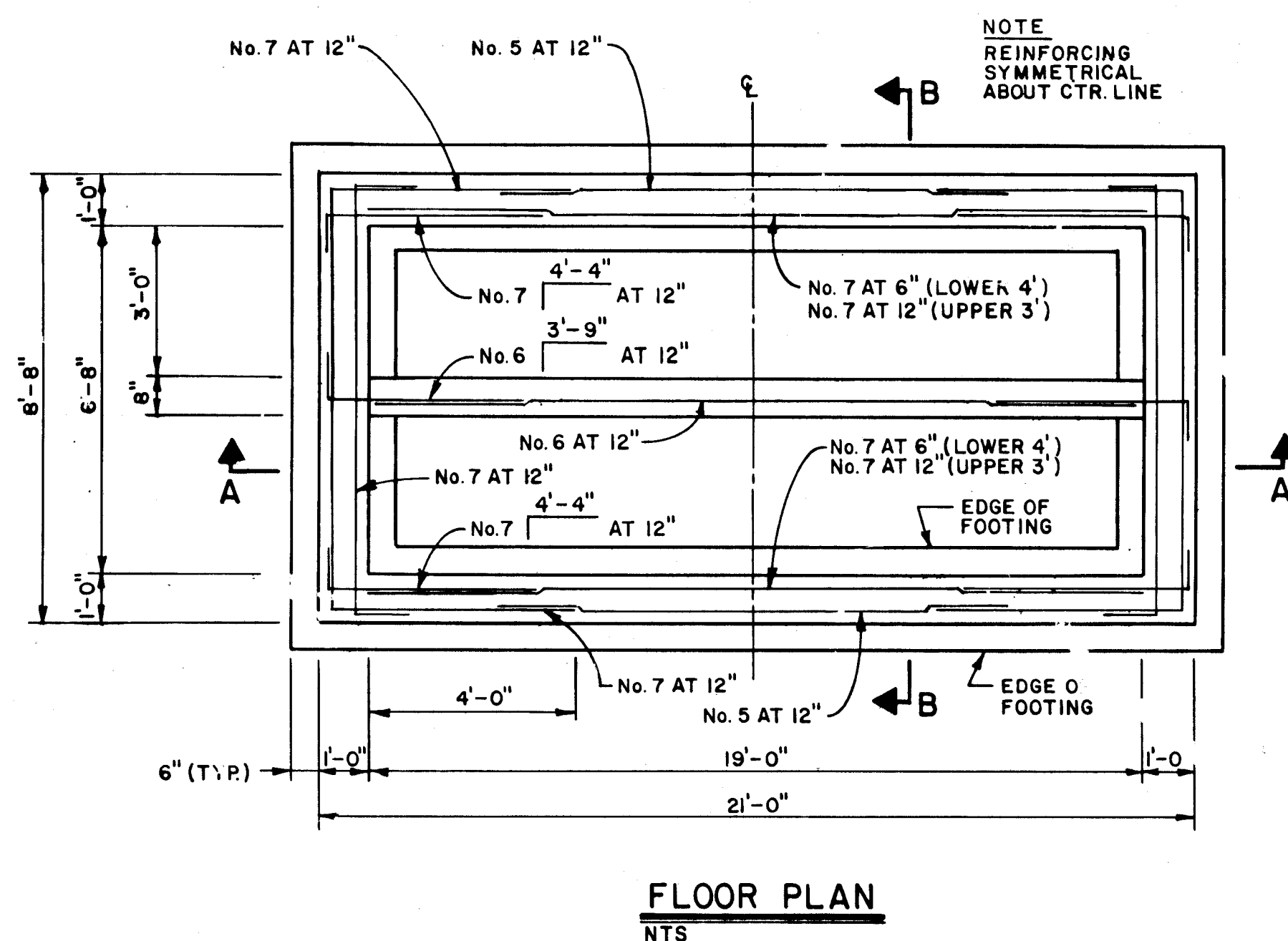
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRG CHAIRMAN	30.00.00	5-18-94	WATER		
TRANSPORTATION	30.00.00	5-18-94	WASTE WATER		
HYDROLOGY	30.00.00	5-18-94			

DRAWING NO. 4809.92 MAP NO. 0000 SHEET 10 OF 15





- ## KEYED MECHANICAL NOTES
- ① VALVE DIMENSIONS AS REQUIRED BY MANUFACTURER. PRATT
BFV: 8". LAYING LENGTH SHALL BE ACCORDING TO AWWA
STANDARDS.
 - ② PRV DIMENSIONS AS REQUIRED BY MANUFACTURER.
SPRINGER MODEL 106 PR. LAYING LENGTH 26".
 - ③ AIR/VAC VALVE SHALL BE ATTACHED TO HIGHEST POINT IN PIPE
PROFILE.
 - ④ FLOWMETERS SHALL BE FLANGED TUBE, PROPELLER TYPE
LIQUID FLOWMETERS, AND SHALL INCLUDE INTEGRALLY
MOUNTED SIX - (OR MORE) DIGIT TOTALING REGISTERS
READING IN GALLONS. METER ACCURACY SHALL BE PLUS
OR MINUS 2 PERCENT OF FLOW, MINIMUM, OVER A 10:1
FLOW RANGE. MINIMUM
METER DIMENSION AS REQUIRED BY MANUFACTURER.
SPARLING MODEL PDS - 102: LAYING LENGTH 28".



- ## STRUCTURAL NOTES

1. CONTRACTOR SHALL SET VAULT ROOF ELEVATION SUCH THAT
WHEN USING PRECAST CONCRETE MANHOLE RINGS, THE
MANHOLE COVER MATCH EXISTING PAVEMENT GRADE.
2. PRIV ACCESS OPENING SHALL BE 36" WITH PRECAST
CONCRETE MANHOLE RINGS AND NEENAH R-1795 H MANHOLE
BASE AND LID, OR EQUAL. INSTALLATION OF ADJUST ENT
RINGS AND COLLAR SHALL BE SIMILAR TO CITY STD. DHW. 2101,
MANHOLE TYPE "C". OPE NG SHALL BE DIRECTLY OVER
CENTER OF PRIV.
3. LADDER ACCESS OPENING SHALL BE 24" WITH NEENAH R-1795-
H MANHOLE BASE AND LID OR EQUAL. INSTALL ACCORDING TO
NOTE 2.
4. VALVE NUT ACCESS SHALL CONSIST OF CITY STD. VALVE BOX
AND RING, MATCHING FIN. GRADE, MOUNTED ON 12" DIA.
OF RUGATED GALV. PIPE. EXTENDING TO TOP OF ROOF. 6"
D CORRUGATED GALV. PIPE TO BE EMBEDDED IN ROOF.
CENTER MATCHING CENT R OF 12" PIPE. OPENING SHALL BE
DIRECTLY OVER VALVE C RATING NUT.
5. CONTRACTOR AT HIS OPT ON, MAY EJECT TO USE PRECAST
CONCRETE ELEMENTS IN VAULT CONSTRUCTION. THESE
ELEMENTS SHALL BE DESIGNED FOR THE FOLLOWING
LOADS:

H-20 TRAFFIC LOADING AND 2 FT. OF SOIL LOAD ON
ROOF SLAB

72 PCF EQUIVALENT LOADING ON CENTRAL RIB

PIPE AND VALVING LOADING ON CENTRAL RIB

2000 PSF FOOTING LOAD

BEFORE FABRICATION, V. LT MFR. SHOP DRAWINGS WITH
COMPLETE STRUCTURAL ND FOUNDATION CALCULATIONS
SHALL BE SUBMITTED TO HE ENGINEER S S CIFIED IN THE
GENERAL CONDITIONS. \ULT DESIGN SHALL BE IN
ACCORDANCE WITH A C I COMMITTEE REPORT 350.

RECORD DRAWING

I, Harvey P. Phillips, Registered Professional Land Surveyor in the State of New Mexico, do hereby certify that this "as-built" information was obtained by me or under my supervision and represents the "as-built" conditions of this project, and is true and correct to the best of my knowledge and belief. All vertical and horizontal dimensions should be field verified prior to use on future projects.

Harvey P. Phillips
I.S. No. 4767

	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP				
HIGH DESERT SUBDIVISION PHASE I-C-F WATERLINE DETAILS					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DFC CHAIRMAN	<i>B.G. Bailey</i>	<i>5-18-94</i>	WATER	<i>[Signature]</i>	<i>5/18/94</i>
TRANSPORTATION	<i>N. J. H. H.</i>	<i>5-20-94</i>	WASTE WATER		
HYDROLOGY	<i>N.A. JOC</i>	<i>5-17-94</i>			
DRAWING NO.		MAP NO.		SHEET OF	
4809.92		E-23, F-23		15 15	