

WATER AND SANITARY SEWER
LINE EXTENSIONS

FOR
NARA VISA COMMONS SUBDIVISION

VILLAGE OF LOS RANCHOS
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 1993

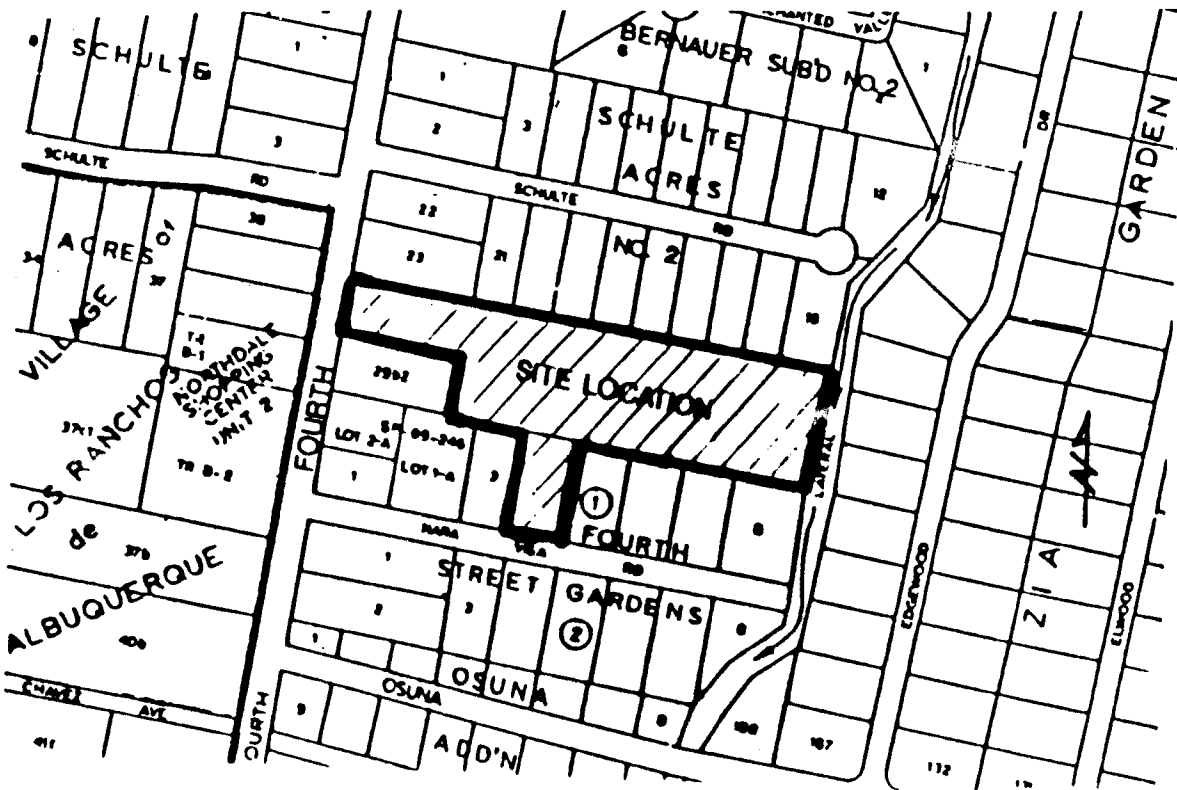
INDEX OF DRAWINGS

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1 of 4	TITLE SHEET
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4 of 4	PLAN & PROFILE

I ROBERT B. RYALS, A REGISTERED PROFESSIONAL ENGINEER, HEREBY
CERTIFY THAT THIS DRAWING SHOWS THE AS CONSTRUCTED LOCATION OF ALL
WATER AND SANITARY SEWER IMPROVEMENTS CONSTRUCTED WITH THIS
PROJECT.

ROBERT B. RYALS, P.E.
4/12/94

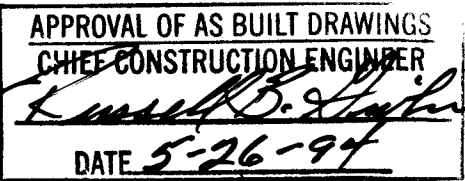
AS-BUILT



VICINITY MAP E-15-Z NO SCALE

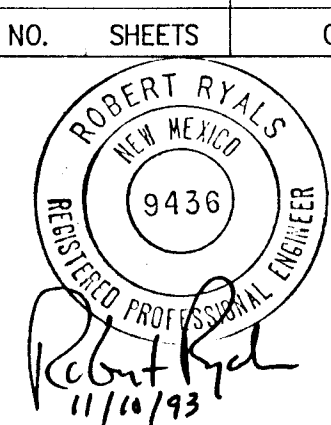
GENERAL NOTES

1. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction, most recent edition.
2. Prior to construction, Contractor shall (1) review the plans and specifications; (2) excavate and verify the horizontal and vertical locations of all obstructions; and (3) verify all flowline elevations and slopes. Should a conflict or discrepancy exist in any of these cases, Contractor shall consult with the Engineer before final layout or start of construction to determine the appropriate remedy.
3. Three working days prior to needing execution of the water shutoff plan, Contractor shall call City of Albuquerque Water Systems Division at 857-8200. Only Water Systems Personnel are authorized to operate valves.
4. Two working days prior to any excavation, Contractor shall contact Line Locating Service (260-1990) for location of existing utilities.
5. Two working days prior to construction in the public right-of-way, Contractor shall obtain a barricading plan and permit through the Village of Los Ranchos, 344-6582.
6. All utilities and utility service lines shall be installed prior to paving.
7. Backfill compaction shall be according to residential street use.
8. Tack coat requirements shall be determined by the Engineer.
9. All storm drainage facilities shall be completed prior to final acceptance.



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
20	48	13	90	01	94									

REVISIONS

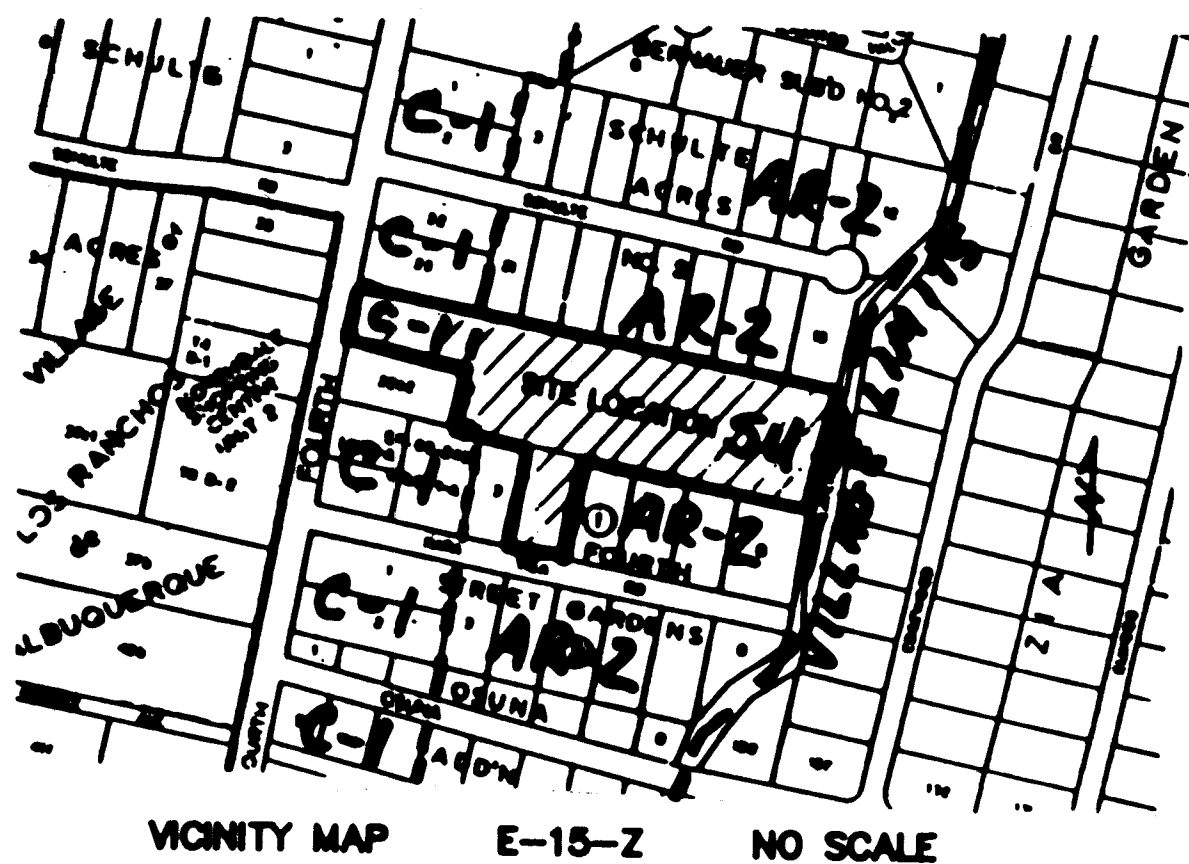


RYALS engineering &
construction services
4929 Idelwilde S.E. Albuquerque, NM 87108
(505) 265-8267 269-1142 mobile telephone

PROJECT NO. **4813.90**

APPROVED FOR
CONSTRUCTION
DATE 2/23/94

SHEET 1 OF 4



VICINITY MAP E-15-Z NO SCALE

SUBDIVISION DATA

- Zone Atlas Index No.: E-15
- Number of Lots Created: 10 Lots and 4 Tracts
- Gross Subdivision Acreage: 4.792 Acres
- Date of Survey:
- Talos Log No.:

PURPOSE OF THE PLAT

The purpose of this plat is to divide the site into having access from Fourth St. NW and 10 residential lots having access from Nara Vista Rd. NW and to grant easements.

NOTES

- All bearings shown are New Mexico State Plane Grid, Central Zone. Distances are ground. Delta Alpha = -01324" G.G. = 9906771
- All bearings and distances shown in parentheses are those of record.
- This property is currently zoned C-1 and SU.
- This plat shows existing easements which have been brought to the attention of the surveyor.
- Total number of Lots created: 10 Lots and 4 Tracts. 94-019317
- Refer to Restrictive Covenants filed as document No. 94-019317 for architectural and other controls or restrictions on individual lot development.
- This site is located within projected sections 28, Township 11 North, Range 3E, N.M.P.M.
- City of Albuquerque water and sanitary sewer service to NARA VISA COMMONS must be verified and coordinated with the Public Works Department, City of Albuquerque.
- All side lot lines are perpendicular/parallel to centerline of the access easement, unless otherwise indicated.
- All building within the subdivision must be in full compliance with the Village approved Site Development Plan and the Village approved Site Drainage and Grading Plan.

PUBLIC UTILITY EASEMENTS:

Public Utility Easements shown on this plat are not exclusive and are dedicated for the joint and common use of the use of the utilities designated on this plat, their successors and assigns, and for the use of any other public utilities whose use of said easements is deemed to be in the public interest by the Village of Los Ranchos de Albuquerque.

Specifically, but not exclusively, the Public Utility Easements shown on this plat are for the common and joint use of:

- The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles, and any other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves, and other equipment and facilities reasonably necessary to provide natural gas.
- U.S. West for installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Jones Interconnect for the installation, maintenance, and service of such lines, cables, and other related facilities reasonably necessary to provide Cable TV services.

Included is the right to build, rebuild, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities - whether under, on, or above the ground - for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs, or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

LEGAL DESCRIPTION

A certain parcel of land situated in Section 28, T.11 N., R.3 E., N.M.P.M., and comprising all of Lot numbered Four (4), Block numbered One (1) of AMENDED PLAT OF FOURTH STREET GARDENS, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 25, 1990, Vol. C1, Folio 50, together with a Ten(10') foot Ditch right of way contiguous to said Lot 4, Block 1, FOURTH STREET GARDENS, and together with Tract 29-B-1, of Map 28, M.L.G.C.D., and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone), and ground distances as follows:

BEGINNING at the southwest corner of the Parcel herein described, also being the southwest corner of said Lot 4, a found 5/8" rebar/cap, whence the A.C.S. Brass Cap 12-E15 bears S 63° 52' 32" W, 561.77 feet;

THENCE N 06° 57' 28" E, 195.99 feet, to a point on the northerly boundary of said 10' Ditch right of way, and the southerly boundary of said Tract 29-B-1;

THENCE N 81° 02' 32" W, 145.49 feet, to the southerly corner of said Tract 29-B-1, a found Iron Pipe;

THENCE N 08° 51' 51" E, 107.05 feet along the westerly boundary of said Tract 29-B-1, and the Parcel herein described to a found Iron Pipe;

THENCE N 80° 56' 27" W, 248.88 feet to the southwesterly corner of said Tract 29-B-1, and the Parcel herein described, being a found Iron Pipe on the Easterly right of way of Fourth Street N.W.;

THENCE N 08° 10' 24" E, 115.00 feet along said Easterly right of way of Fourth Street N.W., to the northeast corner of the Parcel herein described and said Tract 29-B-1, being a found Aluminum cap stamped L.S. 7428, said point also being the southwest corner of Lot 23 of SCHULTE ACRES NO.2, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo, New Mexico, on September 12, 1940, B-180;

THENCE S 80° 58' 37" E, 248.80 feet along the northerly boundary of said Tract 29-B-1, to a found Iron Pipe, said point being the south easterly corner of said Lot 23;

THENCE continuing along the northerly boundary of said Tract 29-B-1, S 80° 58' 27" E, 704.20 feet to the northeast corner, said point being a found Iron pipe on the westerly boundary of the Chemical Lateral;

THENCE S 08° 51' 19" W, 221.50 feet along said westerly boundary of the Chemical Lateral and the easterly boundary of said Tract 29-B-1, to the southeast corner, a found Iron Pipe;

THENCE N 81° 02' 32" W, 459.83 feet along the southerly boundary of said Tract 29-B-1, and along the northerly boundary of a 10 foot Ditch right of way;

THENCE S 08° 57' 28" E, 195.99 feet along the easterly boundary of and to the southeast corner of said Lot 4, Block 1, said point being a found Iron Pipe on the northerly right of way of Nara Vista Road;

THENCE N 81° 02' 32" W, 100.13 feet along the northerly right of way of said Nara Vista Road and the southerly boundary of said Lot 4, Block 1, to the point and place of beginning, and containing 4.8992 acres, more or less.

OWNERS FREE CONSENT AND DEDICATION

The subdivision herein described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant all access, utility, irrigation, and drainage easements shown herein. Said owner(s) and proprietor(s) acknowledge and agree that public utility easements are as further described under PUBLIC UTILITY EASEMENTS elsewhere on this page. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

NBJ Partnership, Terry Johnson, a General Partner, Owner
STATE OF NEW MEXICO
COUNTY OF BERNALILLO
On this day of January, 1994, the foregoing instrument was acknowledged before me. My commission expires
Notary Republic
North Valley Land Company, Inc., Developer
Marc McCormick, President
STATE OF NEW MEXICO
COUNTY OF BERNALILLO
On this day of January, 1994, the foregoing instrument was acknowledged before me. My commission expires
Notary Republic

SUE LUCERO
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on
FEB 18 1994
of records of said County Folio 50
Sue Lucero, Clerk & Recorder
Bernalillo County

9408383C

PLAT OF

LOTS 1 THROUGH 11
AND
TRACTS A, B & C

NARA VISA COMMONS SUBDIVISION

VILLAGE OF LOS RANCHOS DE ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 1993

APPROVED AND ACCEPTED BY

S. S. Glavin 2/18/94
Mayor of the Village of Los Ranchos de Albuquerque Date
Annelle Martin 2/18/94
Clerk of the Village of Los Ranchos de Albuquerque Date
John H. Shal 1/7/94
Middle Rio Grande Conservancy District Date
G. S. Steele 1/26/94
City of Albuquerque, N.M., Utility Development Division Date
Paul Phil 1/12/94
Public Service Company of New Mexico Date
Joe Dunlap 1-12-94
Gas Company of New Mexico Date
Mattie W. Warrandy 1-7-94
U.S. West Telecommunications Date
Walter Watson 1/12/94
Jones Interconnect, Inc. Date

DISCLAIMER

By approving this document, Public does NOT waive or release any easement or easements which may have been granted by prior plat, plat, or document

TAX CERTIFICATE

This is to certify that taxes are current and paid on UPC # 1-015-062-54946-20312
1-015-062-078329-20305

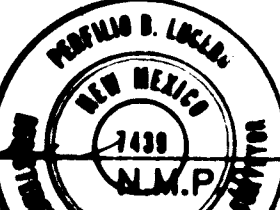
Property Owner of Record:
NBJ Partnership, Terry Johnson a general partner

L.O. Mesa 2-18-94
Bernalillo County Treasurer's Office Date

SURVEYOR'S CERTIFICATION

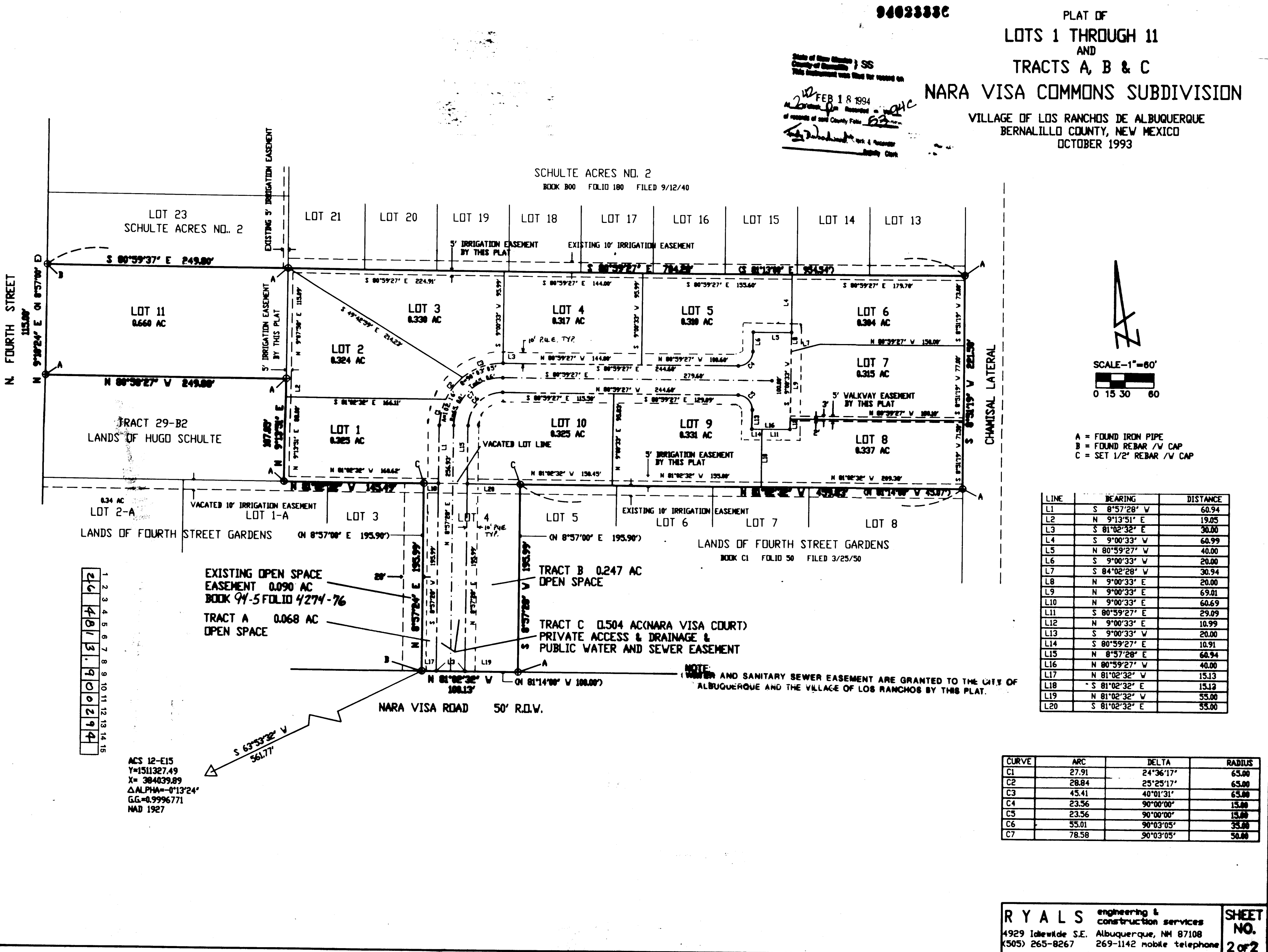
"I, Perfilo B. Lucero, a duly qualified Registered Professional Surveyor licensed under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, show all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown herein, utility companies, and other parties expressing an interest, and meet the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989) and is true and correct to the best of my knowledge and belief."

Perfilo B. Lucero 12/01/93
PERFILO B. LUCERO No. 7439 Date



RYALS engineering & construction services
4929 Idelwilde S.E. Albuquerque, NM 87108
(505) 265-8267 269-1142 mobile telephone

SHEET NO. 1 of 2



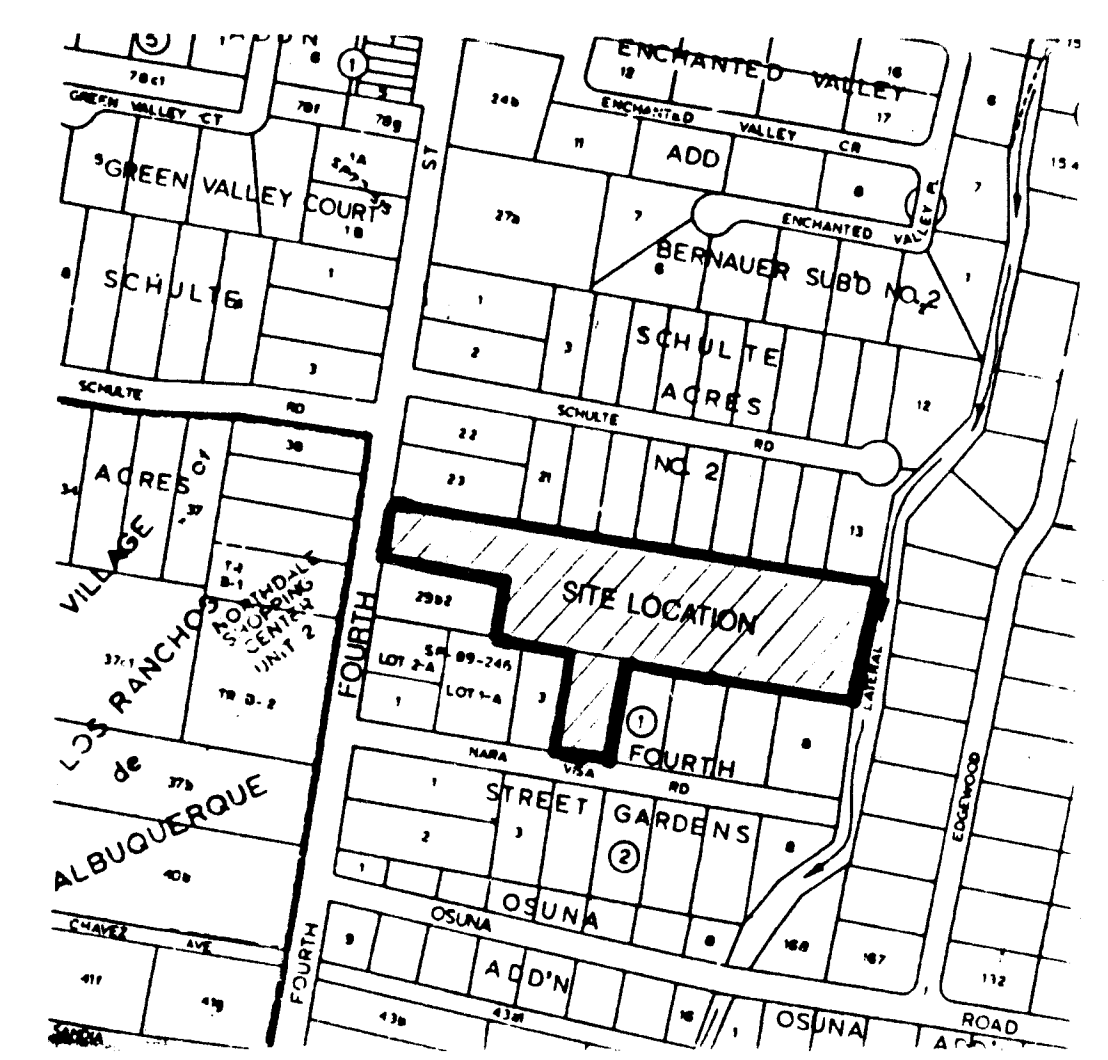
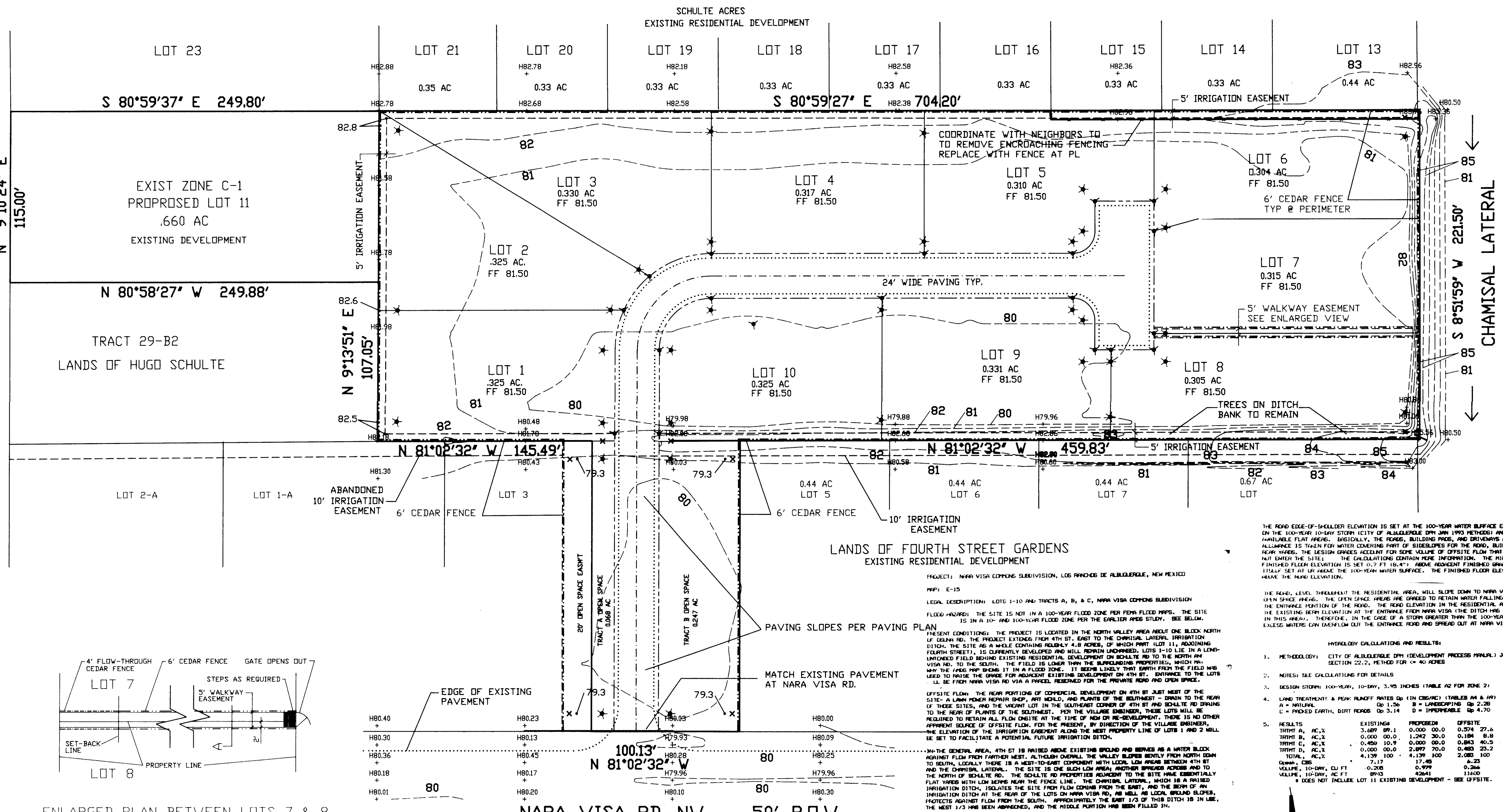
LINE	BEARING	DISTANCE
L1	S 8°57'28" W	60.94
L2	N 9°13'51" E	19.05
L3	S 81°02'32" E	36.00
L4	S 9°00'33" V	68.99
L5	N 80°59'27" E	40.00
L6	S 9°00'33" V	20.00
L7	S 84°02'28" V	30.94
L8	N 9°00'33" E	20.00
L9	N 9°00'33" E	69.01
L10	N 9°00'33" E	60.69
L11	S 80°59'27" E	29.09
L12	N 9°00'33" E	10.99
L13	S 9°00'33" V	20.00
L14	S 80°59'27" E	10.91
L15	N 8°57'28" V	66.94
L16	N 80°59'27" V	40.00
L17	N 81°02'32" V	15.13
L18	S 81°02'32" E	15.12
L19	N 81°02'32" V	55.00
L20	S 81°02'32" E	55.00

CURVE	ARC	DELTA	RADIUS
C1	27.91	24°36'17"	63.00
C2	28.84	25°25'17"	63.00
C3	45.41	40°01'31"	63.00
C4	23.36	90°00'00"	15.00
C5	23.36	90°00'00"	15.00
C6	35.01	90°03'05"	35.00
C7	78.58	90°03'05"	50.00

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SHEET NO. 2 of 2

FOURTH ST. NW 60' ROW
N 9°10'24" E 115.00'



VICINITY MAP (E-15) NO SCALE

DRAINAGE GENERAL NOTES

1. An excavation/construction permit will be required before beginning any work within the Nara Visa right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction, most recent edition.
3. Two working days prior to any excavation, contractor must contact Line Locating Service (260-1990) for location of existing utilities.
4. Prior to construction, the Contractor shall review the plans and shall excavate and verify the horizontal and vertical locations of all features obstructions. Verify all flowing elevations and slopes prior to construction. The Contractor shall consult with engineer regarding discrepancies or apparent oddities immediately, before final layout or start of construction.
5. Backfill compaction shall be according to residential street use unless specified otherwise.
6. Building pads are to be constructed by individual owners.
7. The Contractor shall conform to all City, County, State, and Federal dust and erosion control measures, and will be responsible for preparing and obtaining all necessary applications and approvals, including a Topsoil Disturbance Permit prior to construction.
8. The grading plan reflects a modified "flatland" drainage solution. Except for slopes up to the roadway, driveways, building pads, and irrigation easements, all yards are to be graded flat at the elevation shown on the plan, so that stormwaters (or waters from possible irrigation ditch breaks or overflows) spread out and are not concentrated. Stormwaters generated by the roadway within the project are allowed to discharge from the roadway onto the depressed yard areas of the adjacent lots.
9. On all lots, no flow-blocking fencing is permitted within 10 feet of the frontlot line. Chain link fencing is acceptable in this area.
10. Raising the specified yard grades, lowering the habitable finished floor elevation, or in any other way constructing or grading contrary to the approvedgrading and drainage plan is a violation of the plan and the subdivision covenants and is not permitted.
11. In exceptionally large storms (return period greater than 100-years), stormwaters will flow from the main residential area onto the open space area and thence toward Nara Visa Rd. The overflow elevation is the same as the edge of gravel shoulder elevation in the main residential area.

THE ROAD EDGE-OF-SHOULDER ELEVATION IS SET AT THE 100-YEAR WATER SURFACE ELEVATION BASED ON THE 100-YEAR 10-DAY STORM (CITY OF ALBUQUERQUE DPM JAN 1993 METHOD) AND EFFECTIVE AVAILABLE FLAT AREAS. EXISTINGLY, THE ROADS, BUILDING PADS, AND DRIVEWAYS ARE NOT CLEARLY ALLOWANCE IS TAKEN FOR WATER COVERING PART OF SIDEWALKS FOR THE ROAD, BUILDING PADS, AND DRIVEWAYS. THE DESIGN GRADIENTS ACCOUNT FOR SOME VOLUME OF OFFSITE FLOW THAT PROBABLY WILL NOT ENTER THE SITE. THE CALCULATIONS CONTAIN MORE INFORMATION. THE MINIMUM HABITABLE FINISHED FLOOR ELEVATION IS SET 0.7 FT (8.4") ABOVE ADJACENT FINISHED GRADE, WHICH IS 15.4" SET AT 15' FROM THE 100-YEAR WATER SURFACE. THE FINISHED FLOOR ELEVATION IS ALSO ABOVE THE ROAD ELEVATION.

THE ROAD, LEVEL, THROUGHOUT THE RESIDENTIAL AREA, WILL SLOPE DOWN TO NARA VISA RD. PRIOR TO THE ENTRANCE PORTION OF THE ROAD. THE ROAD ELEVATION IN THE RESIDENTIAL AREA IS LESS THAN THE EXISTING GROUND ELEVATION AT THE ENTRANCE FROM NARA VISA. THE DITCH HAS BEEN FILLED IN IN THIS AREA. THEREFORE, IN THE CASE OF A STORM GREATER THAN THE 100-YEAR STORM ANY EXCESS WATER CAN OVERFLOW OUT THE ENTRANCE ROAD AND SPREAD OUT AT NARA VISA RD.

HYDROLOGY CALCULATIONS AND RESULTS:

1. METHODOLOGY: CITY OF ALBUQUERQUE DPM (DEVELOPMENT PROCESS MANUAL) JANUARY, 1993 SECTION 22.2, METHOD FOR 10-40 ACRES
 2. NOTES: SEE CALCULATIONS FOR DETAILS
 3. DESIGN STORM: 100-YEAR, 10-DAY, 3.15 INCHES (TABLE A2 FOR ZONE 2)
 4. LAND TREATMENT: A. PEAK RAINFALL RATES (IN CHINCH) (TABLE A4 & A5)
10-40 ACRES: 1.50" B. UNIMPAVED: 0.20" C. PAVED: 0.14" D. IMPERMEABLE: 0.47"
 5. RESULTS
- | | EXISTING | PROPOSED | OFFSITE |
|-----------------------|----------|----------|---------|
| TRIBUTARY A, AC | 3,689 | 89.1 | 0.000 |
| TRIBUTARY B, AC | 0.000 | 0.000 | 0.000 |
| TRIBUTARY C, AC | 0.450 | 10.9 | 0.000 |
| TRIBUTARY D, AC | 0.000 | 0.000 | 0.000 |
| TOTAL, AC | 4,139 | 100 | 2,083 |
| DESIGN, CFS | 7.17 | 17.48 | 8.23 |
| VOLUME, 10-DAY, CU FT | 0.200 | 0.999 | 0.260 |
| VALUPE, 10-DAY, AC FT | 89.13 | 426.41 | 116.00 |
- 1 DOES NOT INCLUDE LOT 11 EXISTING DEVELOPMENT - SEE OFFSITE.



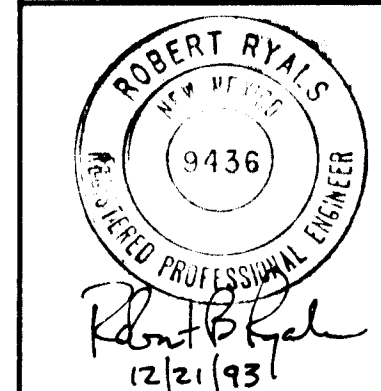
BENCH MARK: □ ON CONCRETE BASE OF ABANDONED SIGN, NSL ELEV 4984.02 SV CORNER 4TH ST. & SCHULTE
TBM-TOP OF WEST BONNET BOLT ON FIRE HYDRANT AT THE SE CORNER OF OPEN SPACE TRACT C, AT NARA VISA RD, NSL ELEV 4981.94

- LEGEND
- TA TOP OF ASPHALT
 - TP TOP OF PAVEMENT
 - EOP EDGE OF PAVEMENT
 - FL FLOW LINE
 - TC TOP OF CURB / CONCRETE SIDEWALK
 - SW SIDEWALK
 - HAB FF HABITABLE FINISHED FLOOR
 - FG FINISHED GRADE
 - EG EXISTING GRADE
 - X WATER VALVE
 - ED WATER METER
 - △ FIRE HYDRANT
 - TRAFFIC SIGNAL
 - TRAFFIC CONTROL BOX
 - 0.0 — NEW CONTOURS
 - 0.0 — EXISTING CONTOURS
 - 89.50 NEW SPOT ELEVATION
 - HAB 43 EXISTING SPOT ELEVATION
 - X — MAINTAIN EXISTING GRADE
 - ★ FINISH GRADE=79.80
 - ★ FINISH GRADE=80.80
 - 4" CEDAR FENCE
 - 6" CEDAR FENCE

AS-BUILT

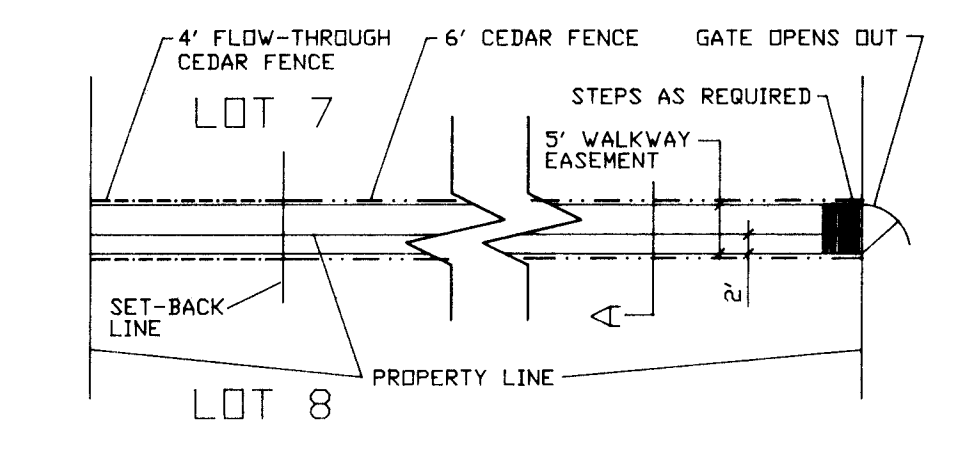
C.O.A. # 483.90

REVISED 12-21-93

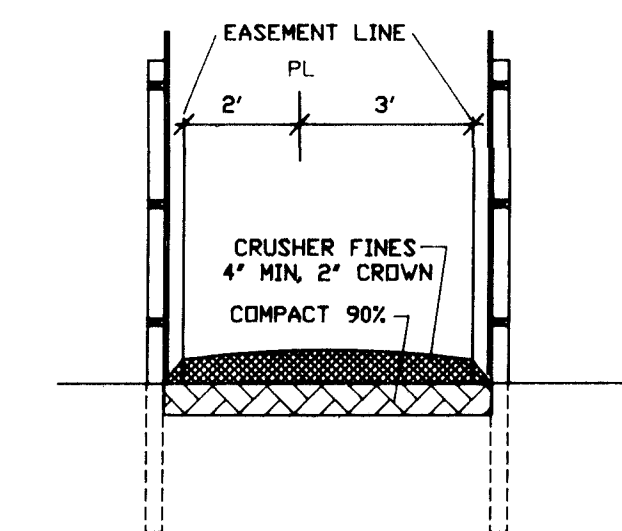


NARA VISA COMMONS SUBDIVISION
GRADING & DRAINAGE PLAN
R Y A L S engineering & construction services
4929 Idlewild S.E. Albuquerque, NM 87108
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SHEET NO. 3 OF 4

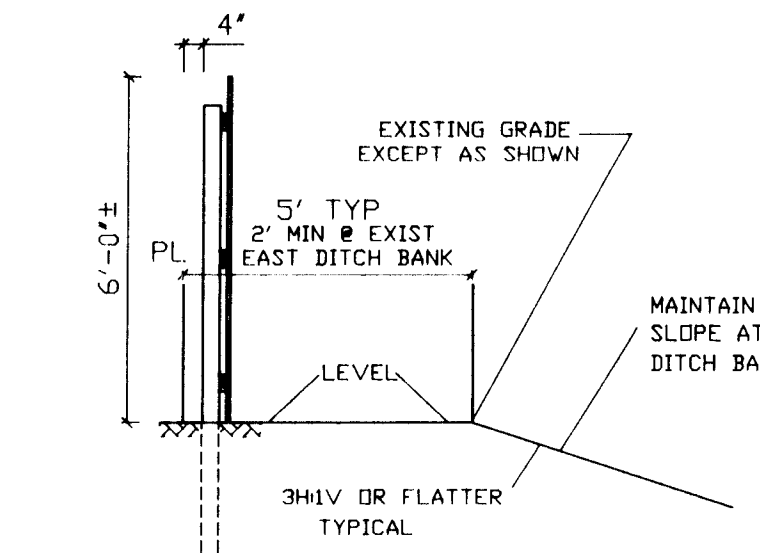
ENLARGED PLAN BETWEEN LOTS 7 & 8
NO SCALE



SECTION A @ WALKWAY

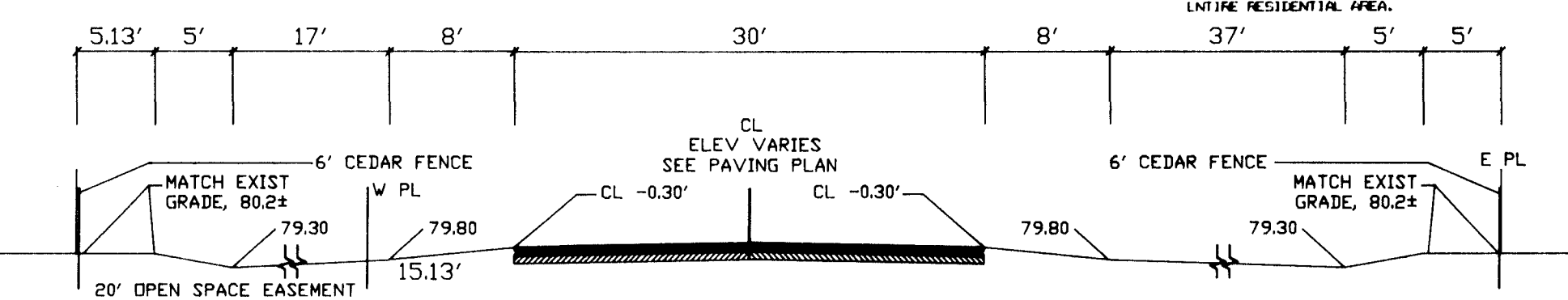
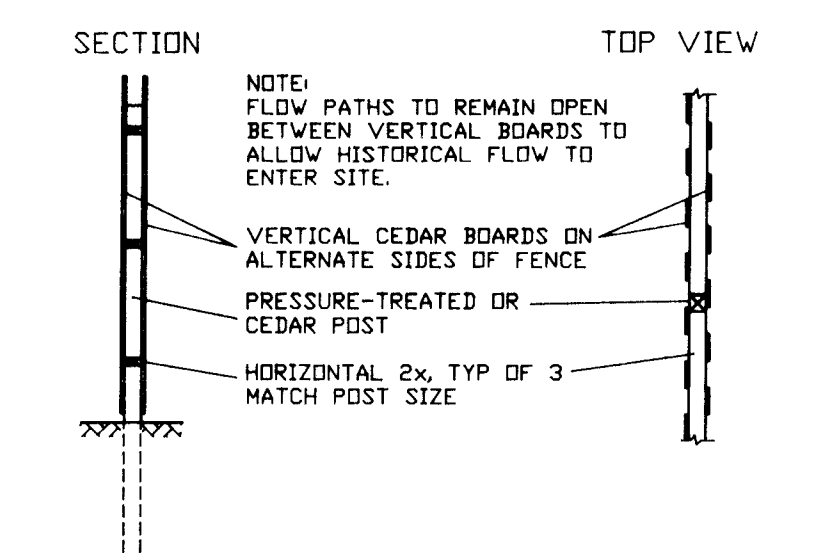


CEDAR FENCE
TYPICAL AT PERIMETER PROPERTY LINE
FLOW-THROUGH REQ'D NEAR FRONT LOT LINE



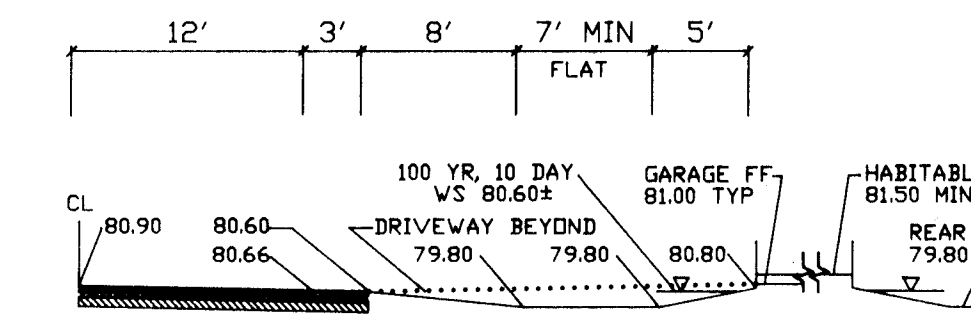
FENCE DETAILS NO SCALE

FLOW-THROUGH FENCE
OPTIONAL FOR SIDEYARD FENCES WITHIN 10' OF FRONT PL. CHAIN LINK ALSO ACCEPTABLE.



ROAD AND OPEN SPACE GRADING NEAR ENTRANCE

SCALE: 1" = 10'

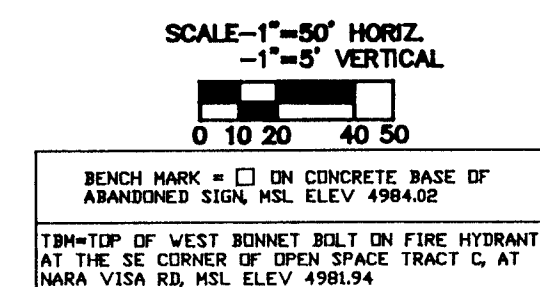
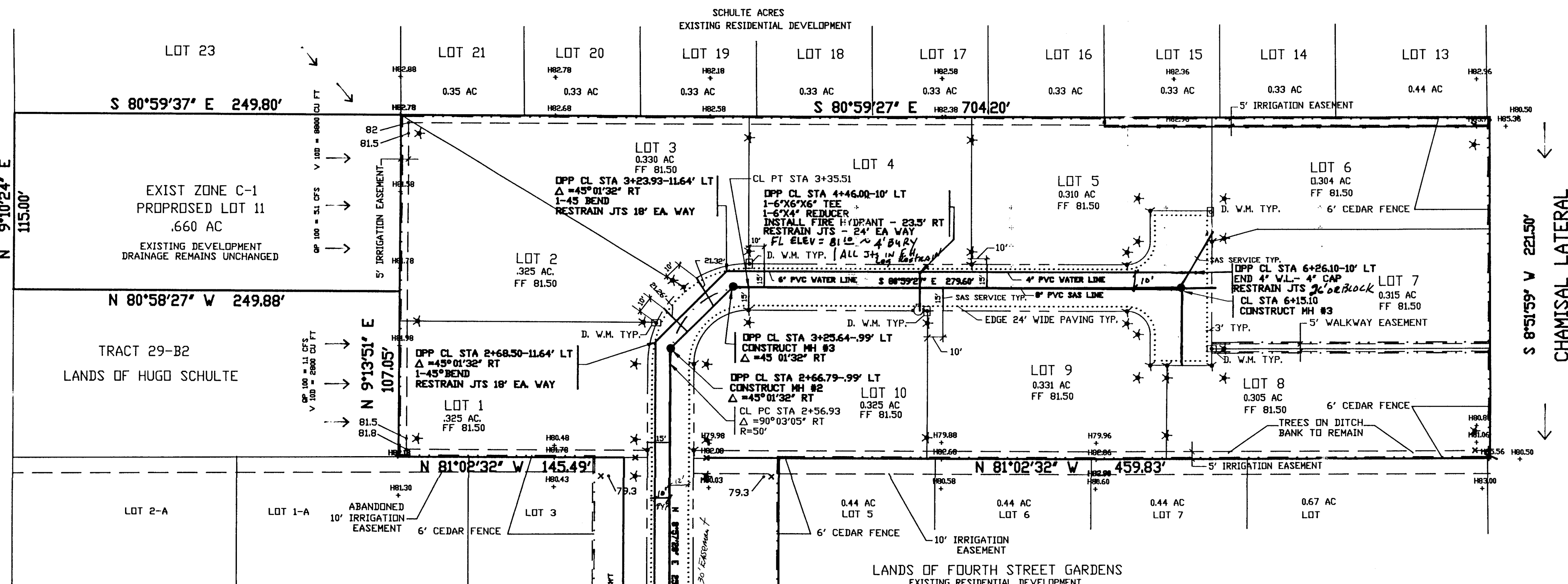


ROAD AND YARD GRADING
TYPICAL SECTION. SYMMETRIC ABOUT CL

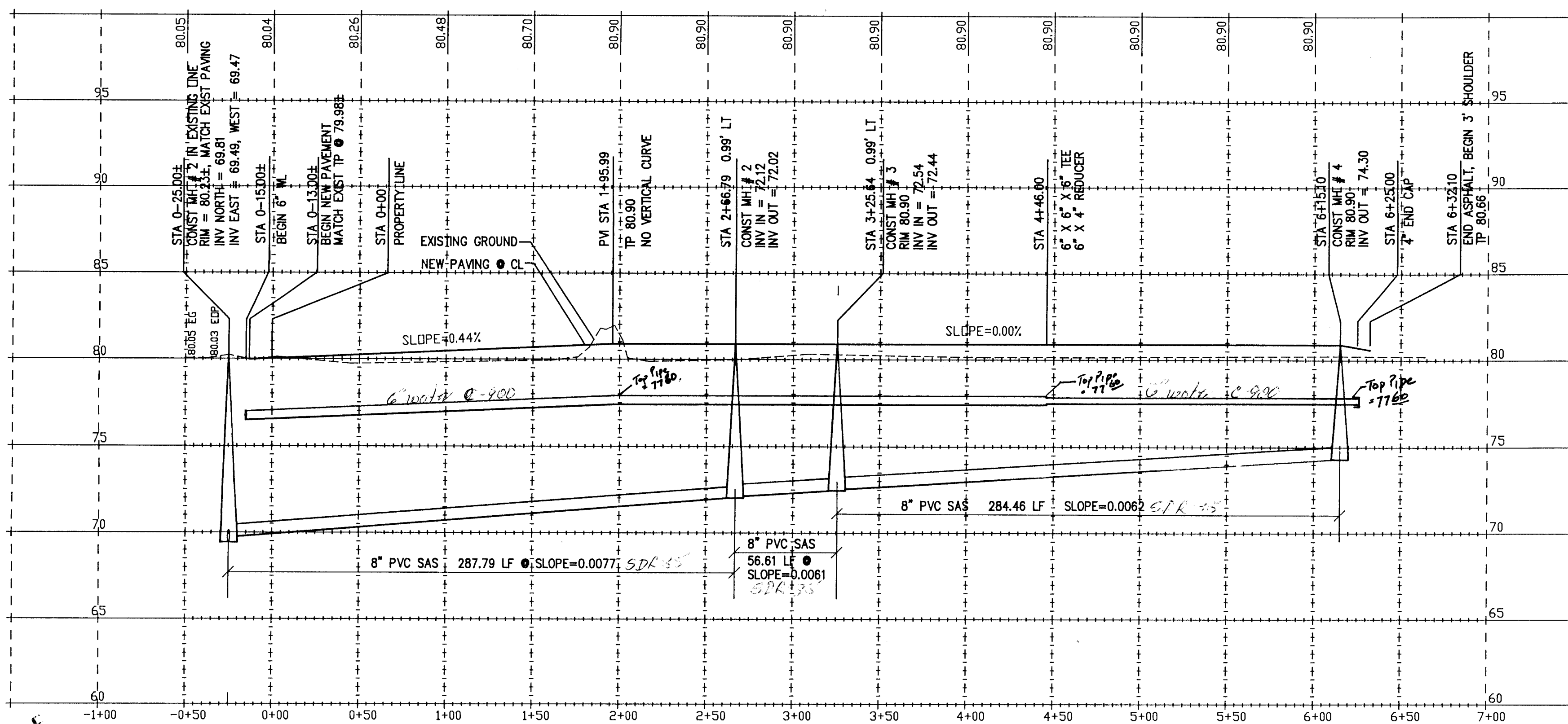
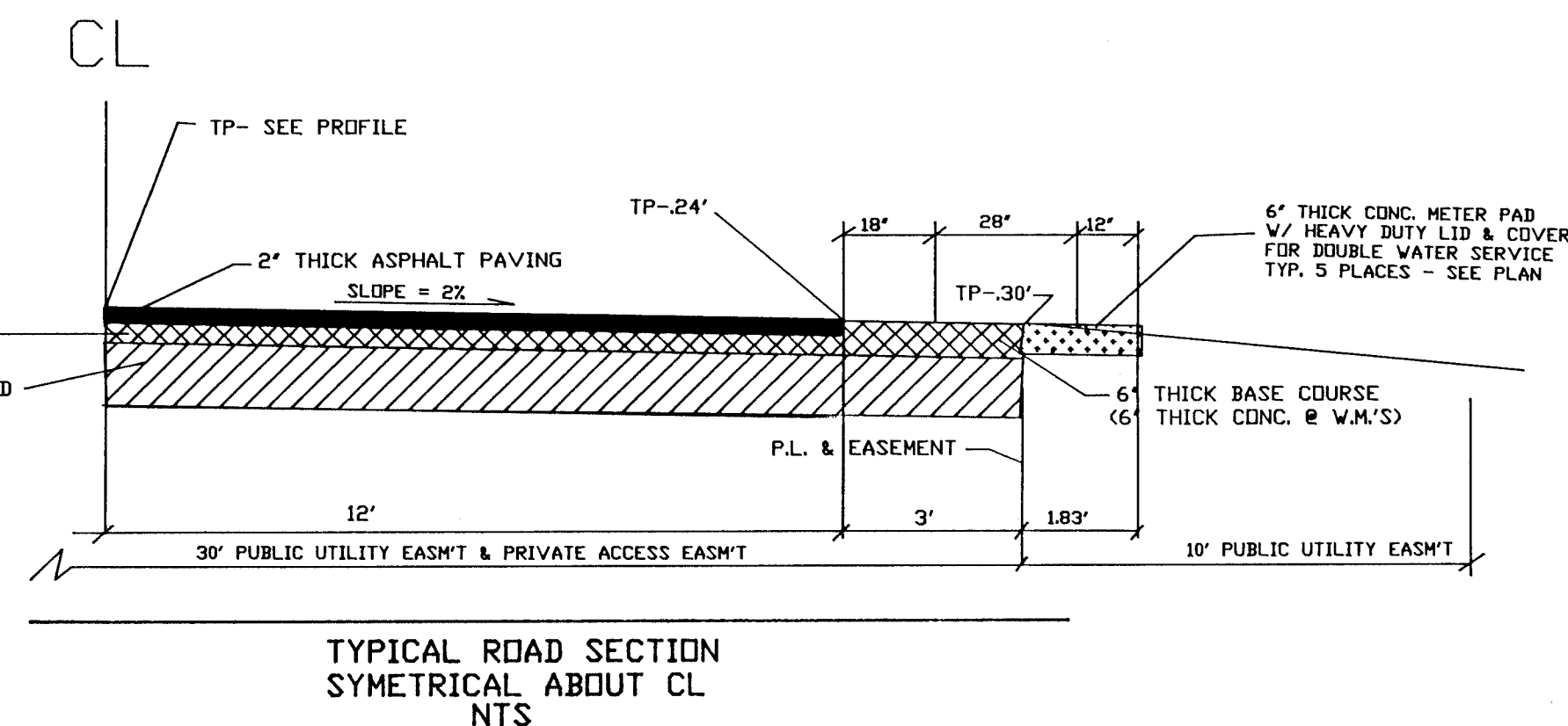
SCALE: 1" = 10'

SCANNED BY
BY LASER

FOURTH ST. NW 60' ROW
N 91°02'4" E 115.00'



- LEGEND
- TP TOP OF PAVEMENT
 - EOP EDGE OF PAVEMENT
 - FL FLOW LINE
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - NEW SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - MAINTAIN EXISTING GRADE
 - FINISH GRADE=79.80
 - FINISH GRADE=80.60
 - EDGE EX. ASPHALT
 - EDGE NEW PAVING



WATER SERVICE TABLE			SANITARY SEWER SERVICE TABLE		
LOT	STATION	OFFSET	LOT	STATION	INVERT
1,2	2+78.40	15' LT	1	2+05.99	71.58
3,4	3+35.51	15' LT	2	2+81.26	5.62' RT
5,6	6+20.00	50' RT	3	3+08.27	6.32' RT
7,8	6+20.00	39.01' RT	3	3+45.51	72.65
9,10	4+51.01	15' RT	5	4+61.01	73.51
			6	6+05.10	74.50
			7	6+15.10	74.50
			8	6+08.01	74.50
			9	4+61.01	73.34
			10	3+35.51	72.60

WATER SHUT OFF PLAN:
CLOSE VALVE #201 LOCATED NE RETURN
OF NARA VISA RD. AND 4TH STREET
SEE GENERAL NOTE #3 SHT. 10P4

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 48 13 . 90 0 4 9 4

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: WATER & SAS LINE EXTENSION NARA VISA COMMONS SUBDIVISION			
APPROVALS	ENGINEER	DATE	APPROVALS
HYDROLOGIST	12/13/93	DATE	ENGINEER
INSPECTOR	12/13/93	DATE	ENGINEER
DESIGNER	12/13/93	DATE	ENGINEER
PERMIT NO.	4813.90	MAP NO.	E-15
SHEET 4 OF 4		DATE: 11/93	

SCANNED BY LASON