

CONSTRUCTION PLANS

FOR

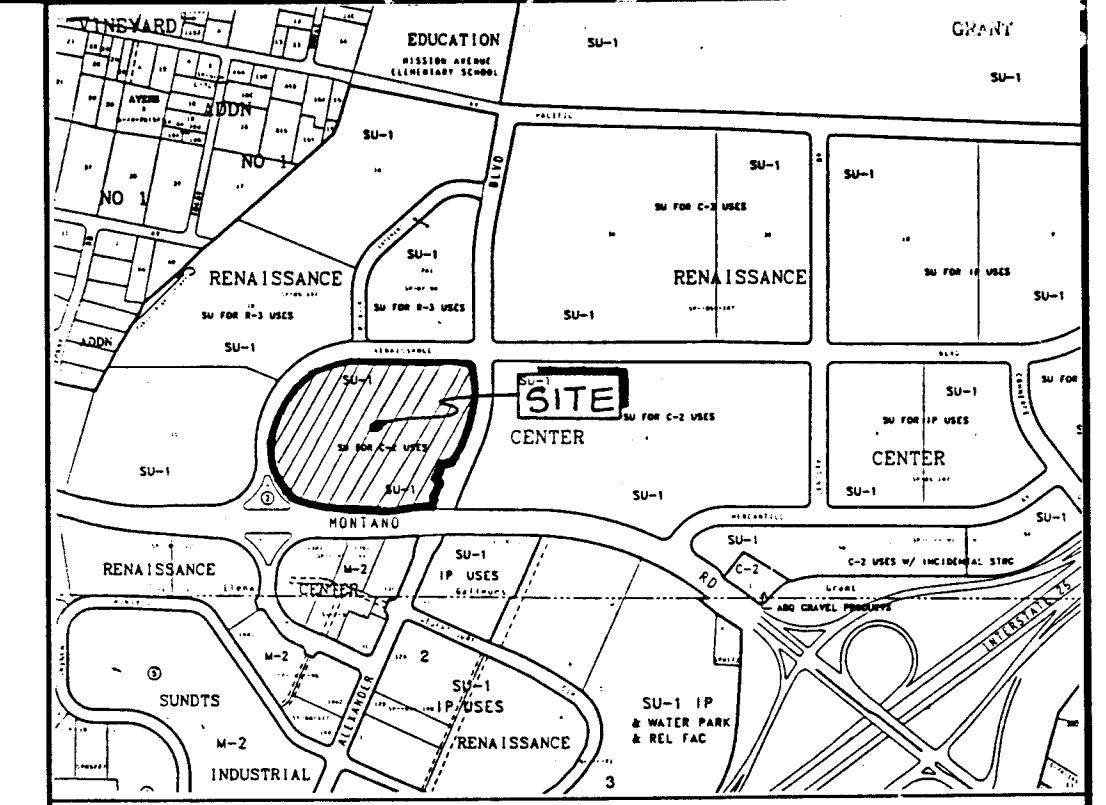
HOME DEPOT 1

~~DECEMBER 1993~~
MARCH 1994

TW

INDEX TO DRAWINGS

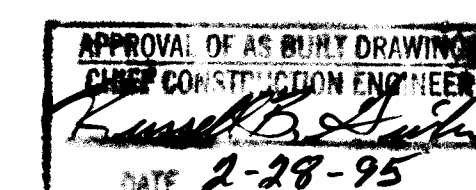
1. TITLE SHEET
2. SITE PLAN/DIMENSION PLAN
3. STORM SEWER WATER
PLAN & PROFILE (A, B)
4. DECELERATION LANE
PLAN & PROFILE
5. MASTER UTILITY PLAN



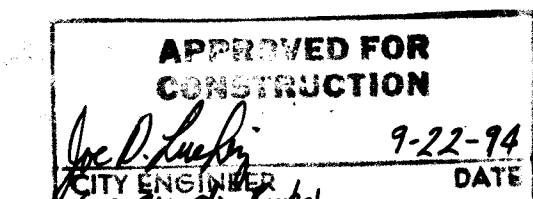
VICINITY MAP ZONE ATLAS F-16

SCALE NONE

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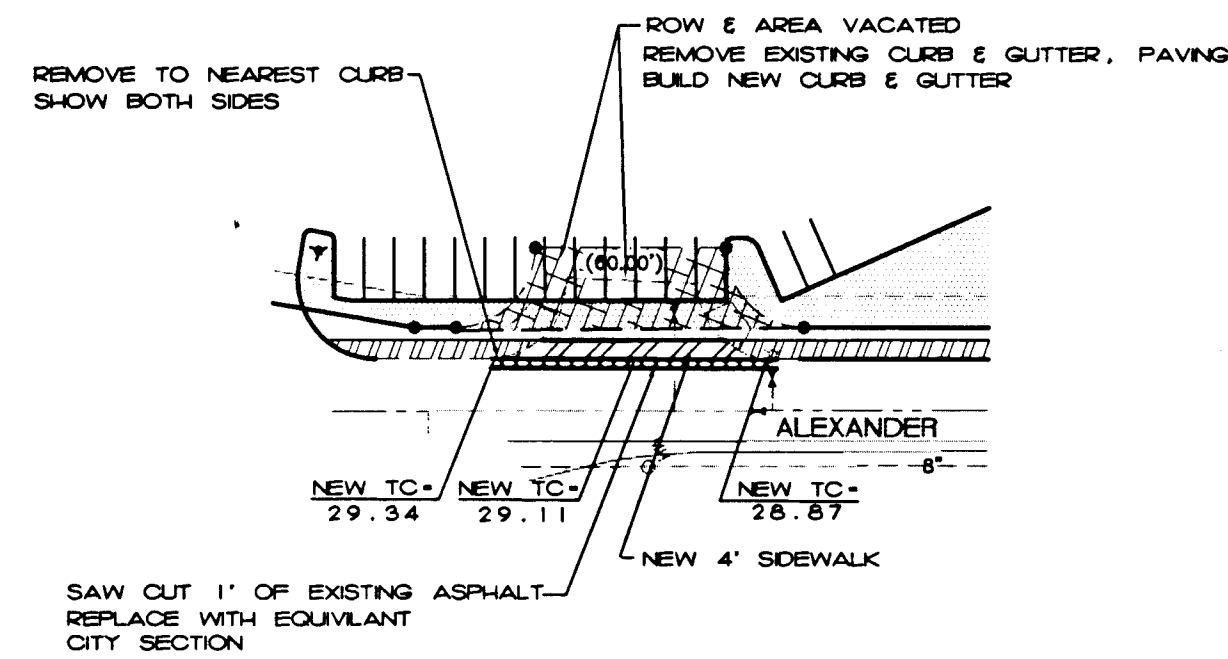
TERRA WEST DEVELOPMENT
MANAGEMENT SERVICES
4600 MONTGOMERY BLVD. N.E., SUITE 3
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592



SCANNED BY
RY LASON

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE

PROJECT NO. 4837.90

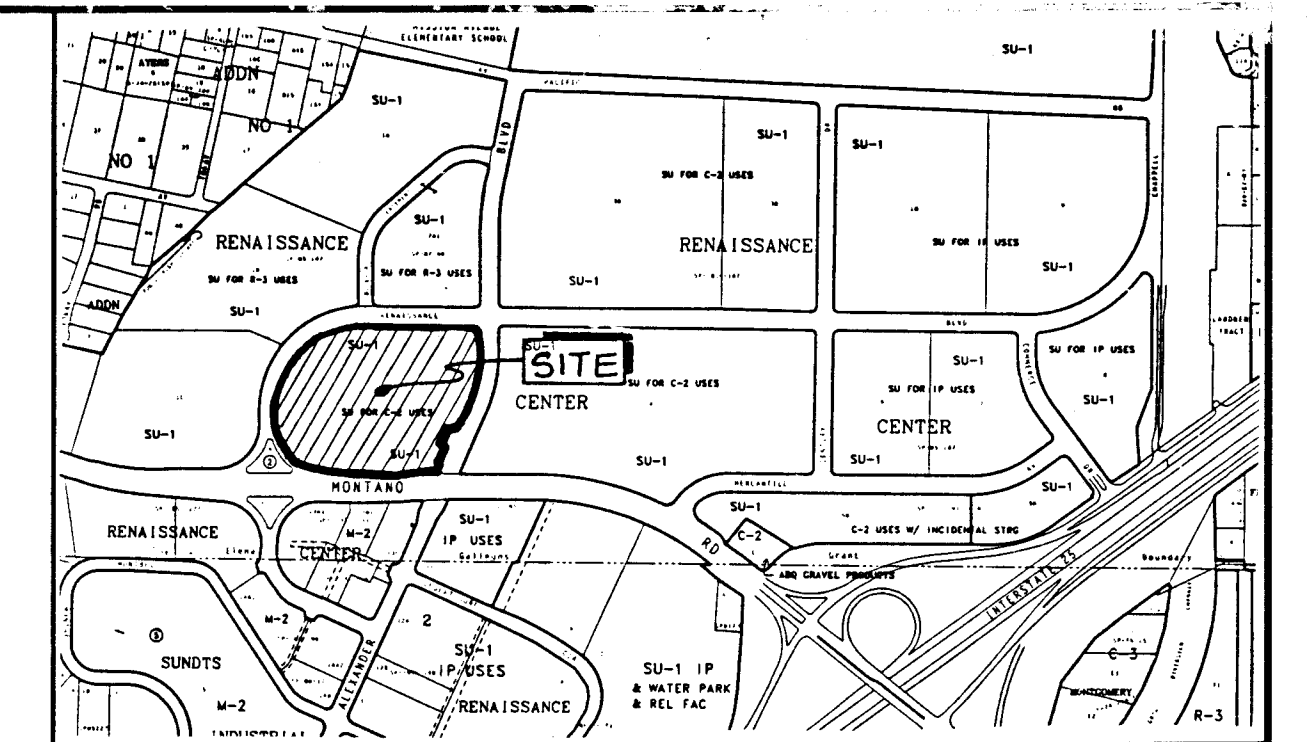


DETAIL 'A'
S.E. ENTRANCE

GENERAL NOTES

NOTICE TO CONTRACTORS

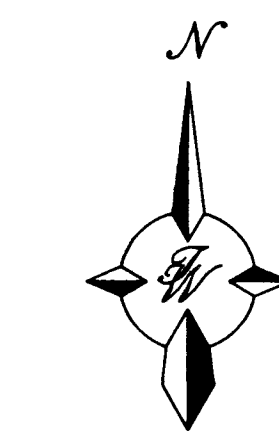
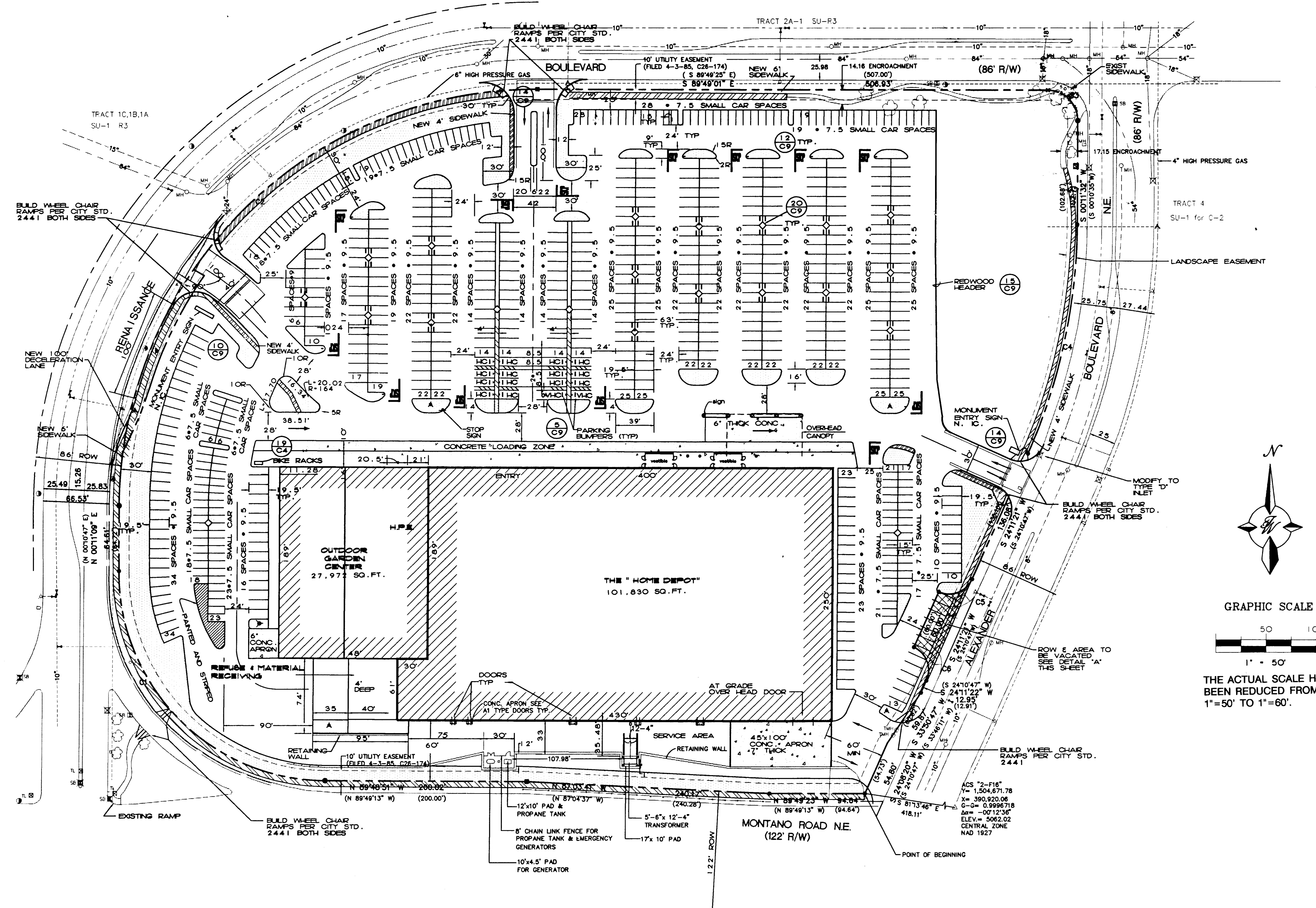
- CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH UPDATE #4 WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (800-980) AND DETERMINE LOCATION OF EXISTING UTILITIES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT ANY DELAY.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (788-2551) PRIOR TO OCCUPANCY AN INTERSECTION.



VICINITY MAP
ZONE ATLAS F-16

PROJECT INFORMATION

Project Title:	The Home Depot
Address:	1220 Renaissance Boulevard
Owner:	The Home Depot 601 Placencia Fullerton, California 92631
Zoning:	SU-1 for C2 Uses
Zone Atlas Page:	F-16-Z
Legal Description:	Tract 28 Renaissance Center Filed 4/15/85 Book C26 Folio 174
Construction Type:	VN Construction
Total Site Acreage:	12.8874 Acres
Parking Required:	709 spaces
Handicap Required:	16 spaces
Parking Provided:	Home Depot Regular 480 spaces Small 175 spaces 26.08% of Total Subtotal 655 spaces Handicap 16 spaces Total Spaces Provided 671
Site Specific Uses:	Commercial Retail Use: These uses include unloading merchandise off of flatbed trucks along the service area; unlimited delivery rights; the sale of seasonal items in the parking lot in front of the building, including the sale of Christmas trees in November and December; unlimited sales from an outdoor enclosed garden center; unlimited sales from the front perimeter sidewalk; the sale of food, outdoors or indoors, accompanied by tables and seating but in an area no larger than 2,000 square feet.
Building Pads:	Home Depot (C-2) 101,830 Garden Center (C-2) 27,972 Future (C-2) 1500 SqFt/Fast Food or Max 6000 Sq Ft Retail 6,000 Total 135,802
Landscaping Provided:	80,362.81 SQ FT
Required 15% of Paved Area:	50,452.80 SQ FT
Sidewalk:	8,320.16 SQ FT
Paving:	336,352.12 SQ FT



GRAPHIC SCALE

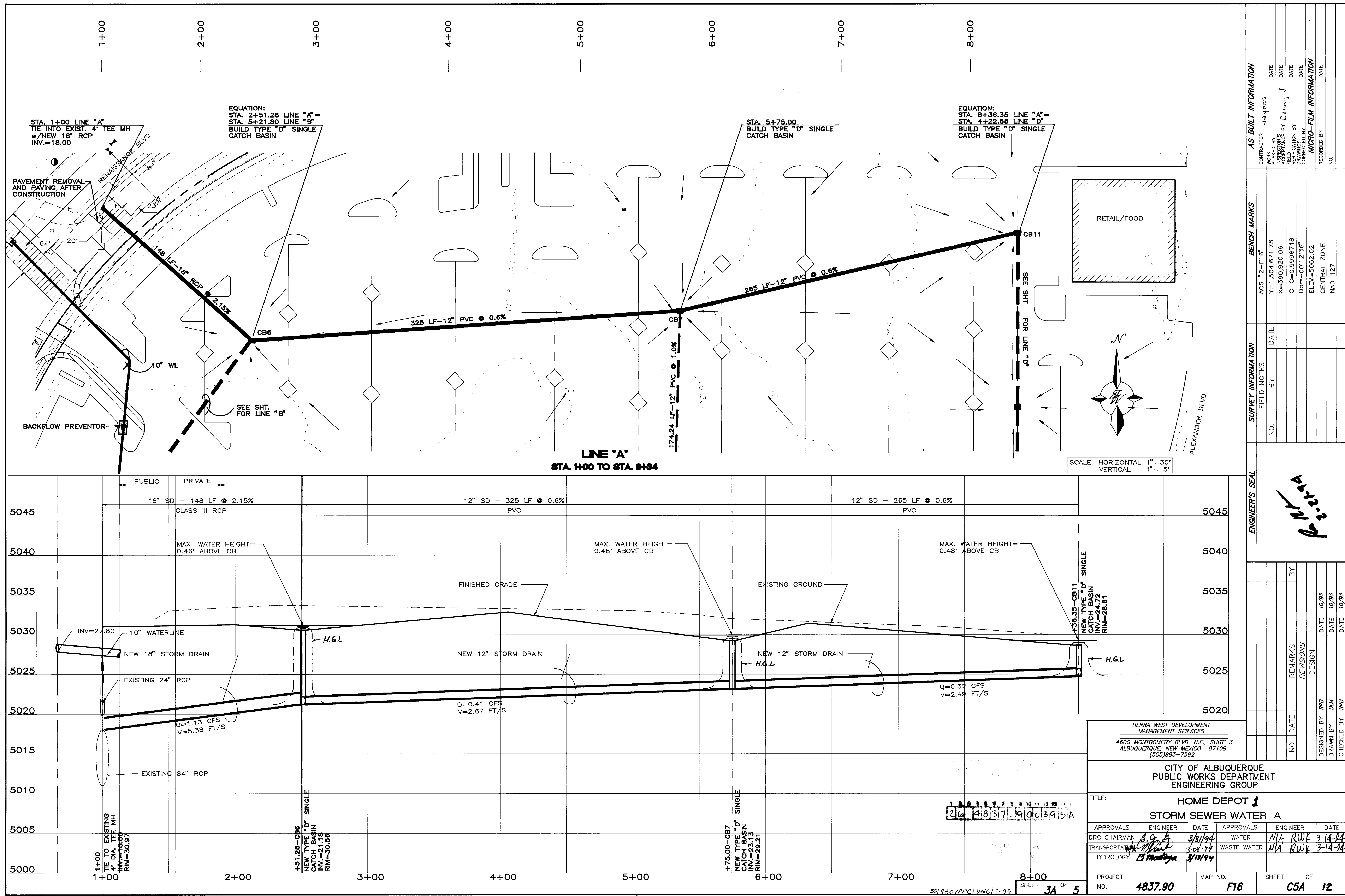
THE ACTUAL SCALE HAS BEEN REDUCED FROM 1"=50' TO 1"=60'.

CONTRACTOR IS RESPONSIBLE TO CHECK THE SITE FOR ANYTHING THAT NEEDS TO BE RELOCATED.

24 40371 9000295

SCANNED BY
BY: ASON

ENGINEER'S SEAL	THE HOME DEPOT	DRAWN BY: DLW
	SITE PLAN/ DIMENSION PLAN	DATE: 12-3-83
	TERRA WEST DEVELOPMENT MANAGEMENT SERVICES	9307.DWG
	4600 MONTGOMERY BLVD. N.E., SUITE 3 ALBUQUERQUE, NEW MEXICO 87109 (505) 881-7882	SHEET #
		C2 of 12
		JOB #
		830007



AS BUILT INFORMATION			BENCH MARKS			SURVEY INFORMATION			ENGINEER'S SEAL		
CONTRACTOR	Jaynes	DATE	ACS "2-FI6"	DATE	NO.	FIELD NOTES	BY	DATE		REMARKS	BY
STATIONED BY	Jaynes	DATE	Y=1,504.671.78	DATE							
INSPECTOR'S	By Danny J.	DATE	X=390.920.06	DATE							
FIELD VERIFICATION BY	Danny J.	DATE	G-G=0.9996718	DATE							
CORRECTED BY		DATE	Dd=-00'12'36"	DATE					NO.	DATE	DESIGN
MICRO-FILM INFORMATION			ELEV=5062.02	DATE					DESIGNED BY	DATE	10/83
RECORDED BY		DATE	CENTRAL ZONE	DATE					DRAWN BY	DATE	10/83
NO.		DATE	NAD 127	DATE					CHECKED BY	DATE	10/83

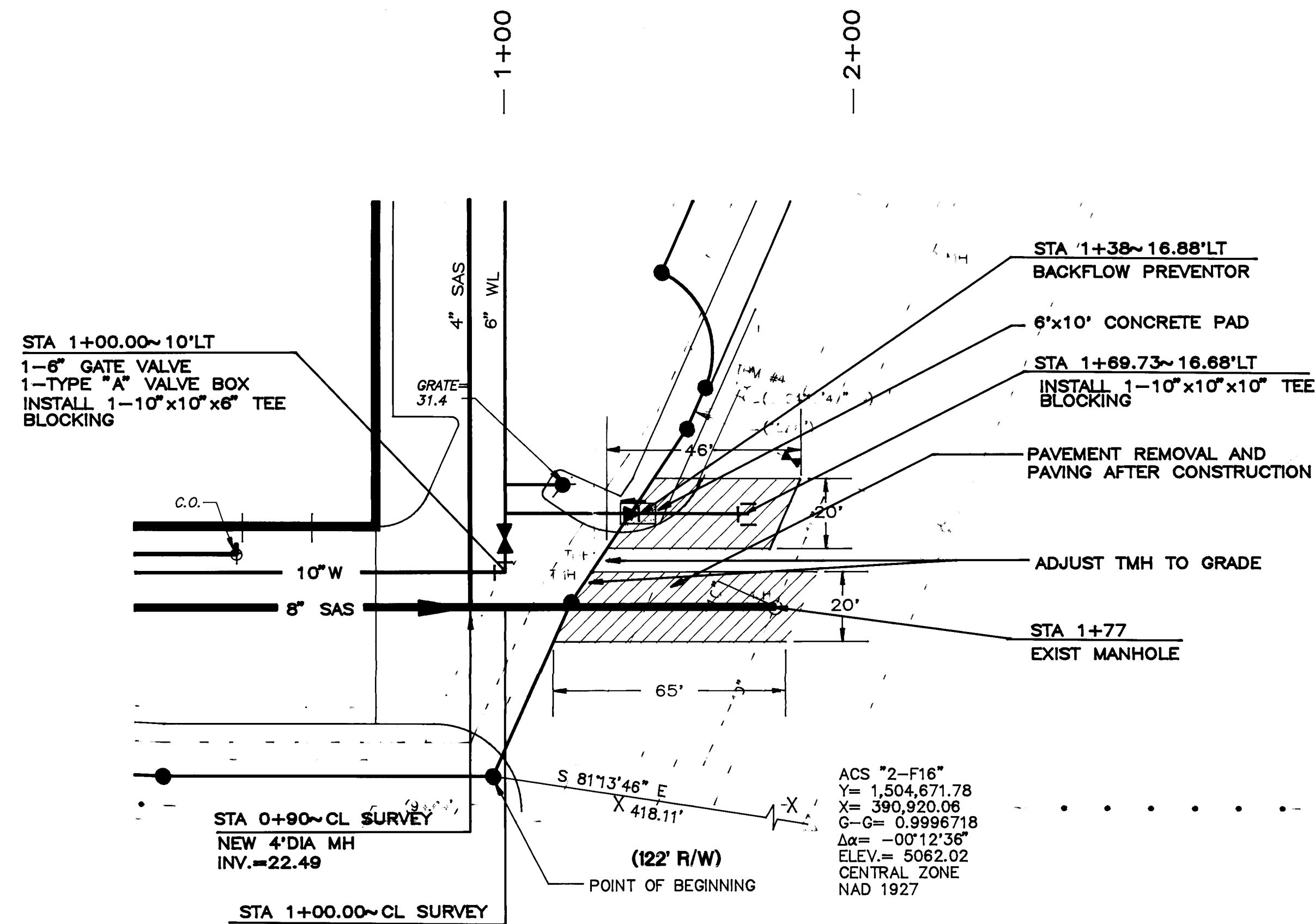
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ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: HOME DEPOT 1
STORM SEWER WATER A

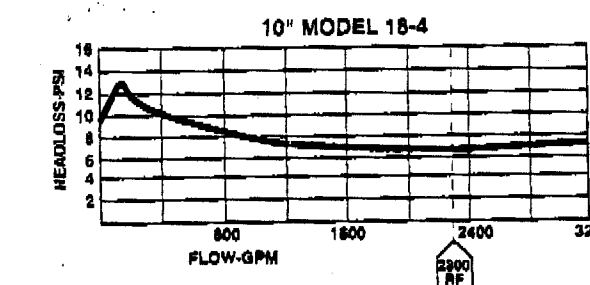
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>B.G.A.</i>	3/31/94	WATER	N/A RWK	3-14-94
TRANSPORTATION	<i>B. Montoya</i>	3-8-94	WASTE WATER	N/A RWK	3-14-94
HYDROLOGY	<i>B. Montoya</i>	3/15/94			

PROJECT NO.	4837.90	MAP NO.	F16	SHEET OF	C5A 12
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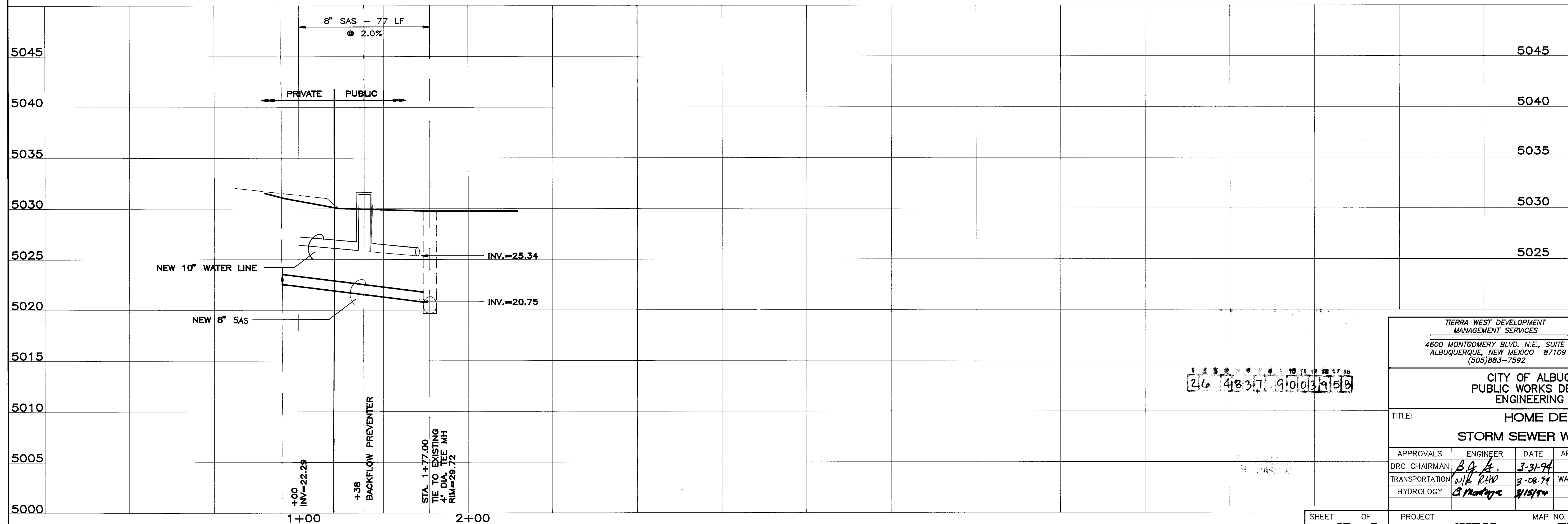
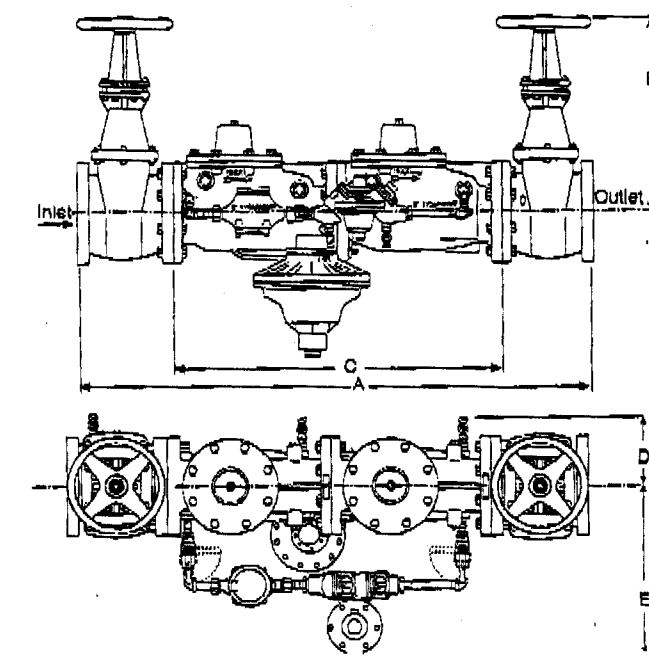
It is recommended that this unit be installed in a horizontal position and that provisions for adequate drainage be made. Right hand mount of relief valve is standard. Left hand mount is optional.

Model 18-4
Reduced Pressure Principle
Detector Check
Backflow Preventer



CLA-VAL MODEL 18-4
BACKFLOW PREVENTER
TO BE BUILT TO CITY STANDARD 2385

VALVE SIZE - 10"
A = 59.56 B = 15.75 C = 17.12 D = 11.38 E = 22.50 F = 85.69



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ENGINEERING GROUP

TITLE: HOME DEPOT 1
STORM SEWER WATER B

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	B.A. S.	3-31-94	WATER	N/A RWK	3-14-94
TRANSPORTATION	N/A RWD	3-08-94	WASTE WATER	N/A RWK	3-14-94
HYDROLOGY	B. Madrye	3/15/94			

PROJECT NO.	MAP NO.	SHEET OF
4837.90	F18	CSE 12

