

CONSTRUCTION PLANS
FOR
LAS GOLANDRINAS SUBDIVISION
LOTS 12A, 13A-1, AND 15A-1
NORTH FOURTH STREET
HOMESITE ADDITION

PAVING AND UTILITY
IMPROVEMENTS

CITY OF ALBUQUERQUE
NEW MEXICO
MAY 1998

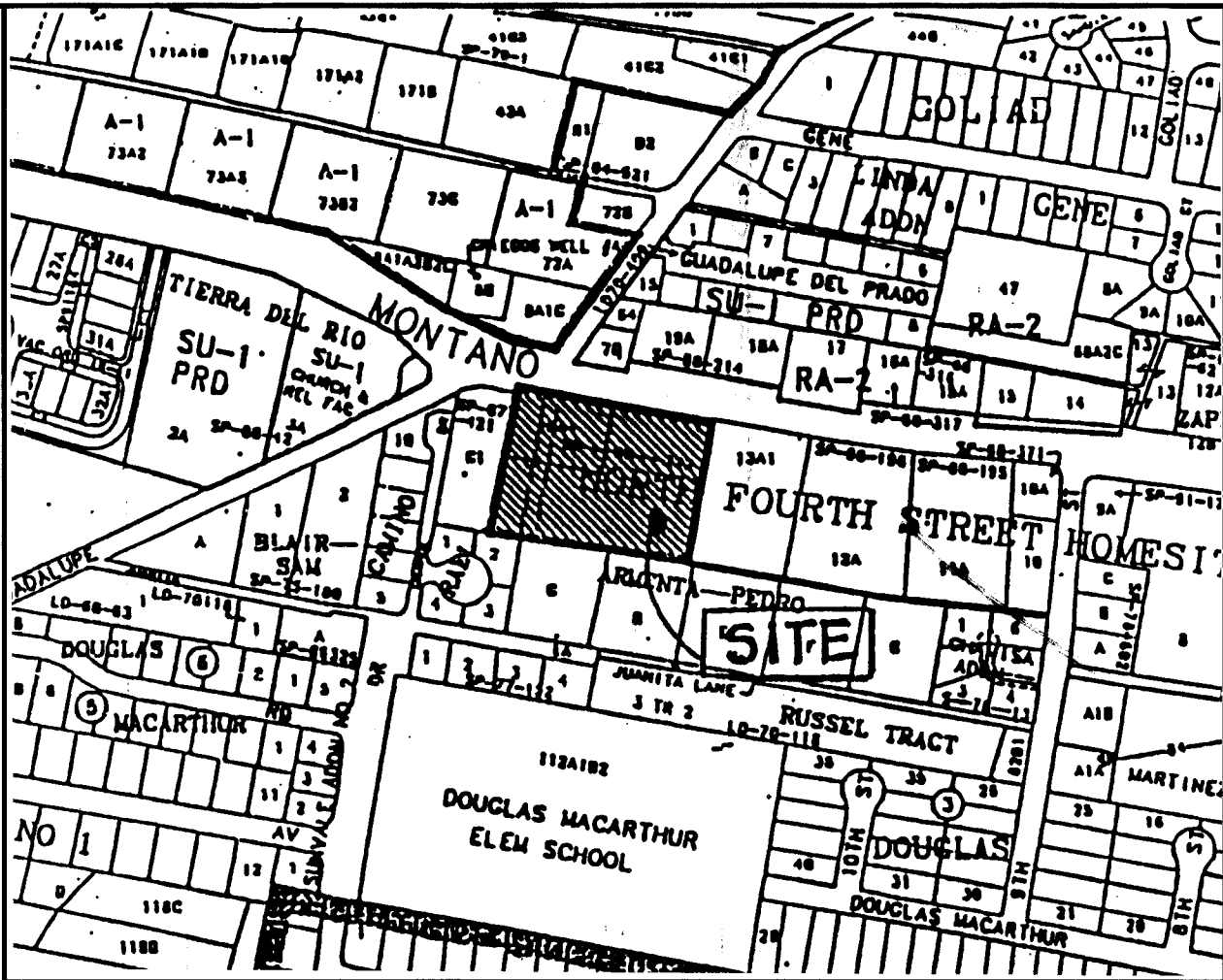
FW

INDEX TO DRAWINGS

- 1. TITLE SHEET
- 2. PLAT
- 3. GRADING AND DRAINAGE PLAN
- 4. PAVING IMPROVEMENTS—LAS GOLANDRINAS COURT
- 5. UTILITY IMPROVEMENTS—LAS GOLANDRINAS COURT
- 6. STORM SEWER IMPROVMENTS

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 49 33 90 98 114

DRB# 98-113



VICINITY MAP ZONE ATLAS F-14-Z

NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #6).
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1980) FOR LOCATION OF EXISTING UTILITIES.
- ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTOR PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNERS EXPENSE.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

RECORD DRAWING
DATE: 11/17/98 DRAFTED BY: R.W. TIERRA WEST DEV.
THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THE DOCUMENT AS A RESULT.

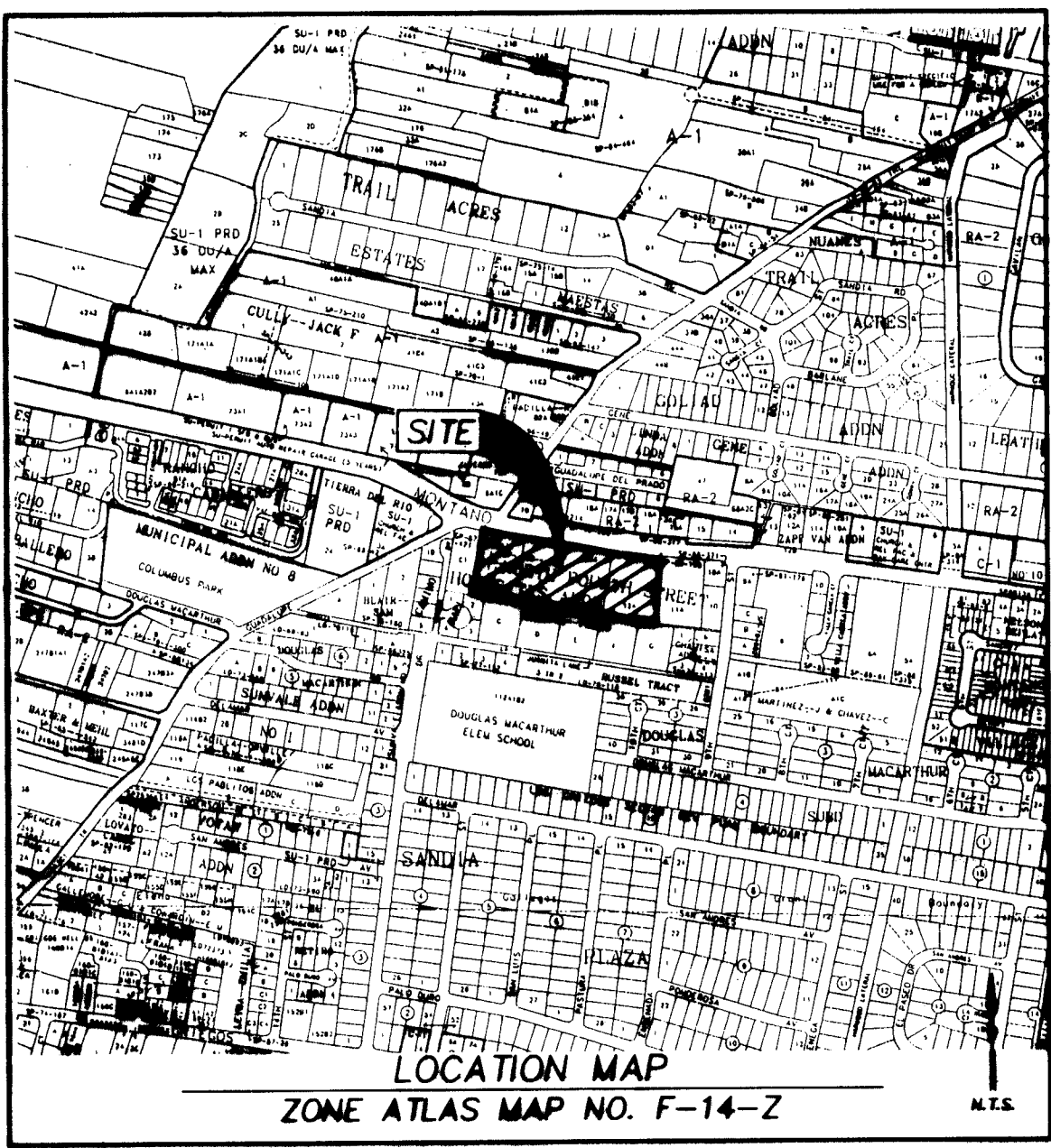
APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Ruben Ortega
DATE 12-31-98

COA RUBEN ORTEGA
INSPECTOR:

TIERRA WEST, LLC
EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES.

TIERRA WEST, LLC
4421 MCLEOD ROAD, N.E., SUITE D
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
		DRC Chairman	<i>Billie J. Antelmo</i>	7-24-98	<i>John P. Post</i> 7/24/98 City Engineer Date		
		Transportation	<i>R.W. Kane</i>	6-26-98			
		Water/Wastewater	<i>Jim J. Jarama</i>	6-25-98			
		Hydrology					
		C.I.P.					
		Constr. Mngmt.					
		Constr. Coord.					
		CITY PROJECT NO.	4973.90	SHEET		1 OF 6	



SUBDIVISION DATA:

GROSS SUBDIVISION ACREAGE: 5.467 ACRES±
ZONE ATLAS INDEX NO.: F-14-Z
NO. OF TRACTS CREATED: 2
NO. OF LOTS CREATED: 30
MILES OF FULL-WIDTH STREETS CREATED: 0.1357 MILE
DATE OF SURVEY: JANUARY 28, 1998

POND MAINTENANCE:

THE FOLLOWING IS A CONDITION OF PLAT APPROVAL:
INDIVIDUAL LOT OWNERS SHALL BE RESPONSIBLE FOR OPERATION, MAINTENANCE AND REPAIR OF THE TEMPORARY POND AREAS AND OPEN SPACE AND LANDSCAPE EASEMENTS PURSUANT TO RESTRICTIVE COVENANTS, BYLAWS AND ARTICLE OF INCORPORATION FILED FOR RECORD. (DATE) IN BOOK AT PAGE(S) AS DOCUMENT NO. IN THE RECORDS OF THE BERNALILLO COUNTY CLERK. THESE RESTRICTIONS PROVIDE FOR THE CITY OF ALBUQUERQUE TO LEND ALL INDIVIDUAL LOTS WITHIN THE SUBDIVISION IN THE EVENT OF DEFAULT OF THE MAINTENANCE OBLIGATIONS FOR THE TEMPORARY POND AREAS AND LANDSCAPE AND OPEN SPACE EASEMENTS.

NOTES:

- MISC. DATA: R-1 ZONING
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 32, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPEAT THE EXISTING THREE LOTS INTO TWO NEW TRACTS, THIRTY NEW LOTS, GRANT EASEMENTS AND DEDICATE RIGHT OF WAY.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 98040215360474

LEGAL DESCRIPTION

A TRACT OF LAND COMPRISING OF LOT NUMBERED 12A OF THE NORTH FOURTH STREET HOMESITES ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 6, 1988 IN VOLUME C36, FOLIO 192, AND LOTS 13A-1 AND 15A-1 OF THE NORTH FOURTH STREET HOMESITES ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 11, 1990 IN VOLUME 90C, FOLIO 286, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF MONTANO BOULEVARD, N.W., MARKED BY A FOUND NUMBER 4 REBAR WITH CAP "LS 6446", FROM WHENCE A ME TO ACS MONUMENT "15-F13" BEARS N 71°25'01" W, A DISTANCE OF 1880.63 FEET;

THENCE FROM SAID BEGINNING POINT, CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, THROUGH A CURVE TO THE LEFT HAVING A RADIUS OF 1167.04 FEET, AN ARC LENGTH OF 116.48 FEET, AND A CHORD OF S 77°45'19" E, A DISTANCE OF 116.43 FEET TO A POINT OF TANGENCY MARKED BY A FOUND NUMBER 4 REBAR;

THENCE S 80°34'39" E, A DISTANCE OF 522.94 FEET TO A POINT OF CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11893";

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2907.79 FEET, AN ARC LENGTH OF 163.80 FEET, AND A CHORD OF S 81°43'47" E, A DISTANCE OF 163.78 FEET TO THE NORTHEAST CORNER OF SAID TRACT MARKED BY A SET REBAR WITH CAP "PS 11893";

THENCE LEAVING SAID RIGHT OF WAY LINE, S 03°11'20" W, A DISTANCE OF 293.65 FEET TO THE SOUTHEAST CORNER OF SAID TRACT MARKED BY A FOUND 1 INCH IRON PIPE;

THENCE N 83°57'32" W, A DISTANCE OF 54.83 FEET TO AN ANGLE POINT MARKED BY A FOUND 1 INCH IRON PIPE;

THENCE N 79°53'36" W, A DISTANCE OF 180.79 FEET TO AN ANGLE POINT MARKED BY A FOUND NUMBER 4 REBAR WITH CAP "LS 6446";

THENCE N 80°33'50" W, A DISTANCE OF 601.20 FEET TO THE SOUTHWEST CORNER OF SAID TRACT MARKED BY A FOUND 1 1/2 INCH IRON PIPE WITH TAG "LS 6446";

THENCE N 09°46'55" E, A DISTANCE OF 295.29 FEET TO THE POINT OF BEGINNING, CONTAINING 5.467 ACRES (238,143 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS A AND B, AND LOTS 1 THROUGH 30, LAS GOLONDRINAS SUBDIVISION.

EASEMENTS

- THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

FREE CONSENT AND DEDICATION

THE REPEAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNERS AND/OR PROPRIETORS DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT EASEMENTS FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES. SAID OWNERS AND/OR PROPRIETORS DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

DAVE X. GONZALES, PRESIDENT
GONZALES PROPERTIES, INC.
5/6/98
DATE

MANUEL H. GONZALES, VICE-PRESIDENT
GONZALES PROPERTIES, INC.
5/6/98
DATE

ACKNOWLEDGEMENT

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF May, 1998
BY DAVE X. GONZALES, PRESIDENT, GONZALES PROPERTIES, INC.

BY Keli D. Cosper
NOTARY PUBLIC
MY COMMISSION EXPIRES: February 9, 1999

ACKNOWLEDGEMENT

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF May, 1998
BY MANUEL H. GONZALES, PRESIDENT, GONZALES PROPERTIES, INC.

BY Keli D. Cosper
NOTARY PUBLIC
MY COMMISSION EXPIRES: February 9, 1999

PLAT OF TRACTS A AND B AND LOTS 1 THRU 30 LAS GOLONDRINAS SUBDIVISION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MARCH 1998

APPROVALS

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
WATER RESOURCES DEPARTMENT	DATE
DESIGN AND DEVELOPMENT, CIP	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
U.S. WEST COMMUNICATIONS	DATE
JONES INTERCABLE, INC.	DATE

SURVEYOR'S CERTIFICATE

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE 4/3/98

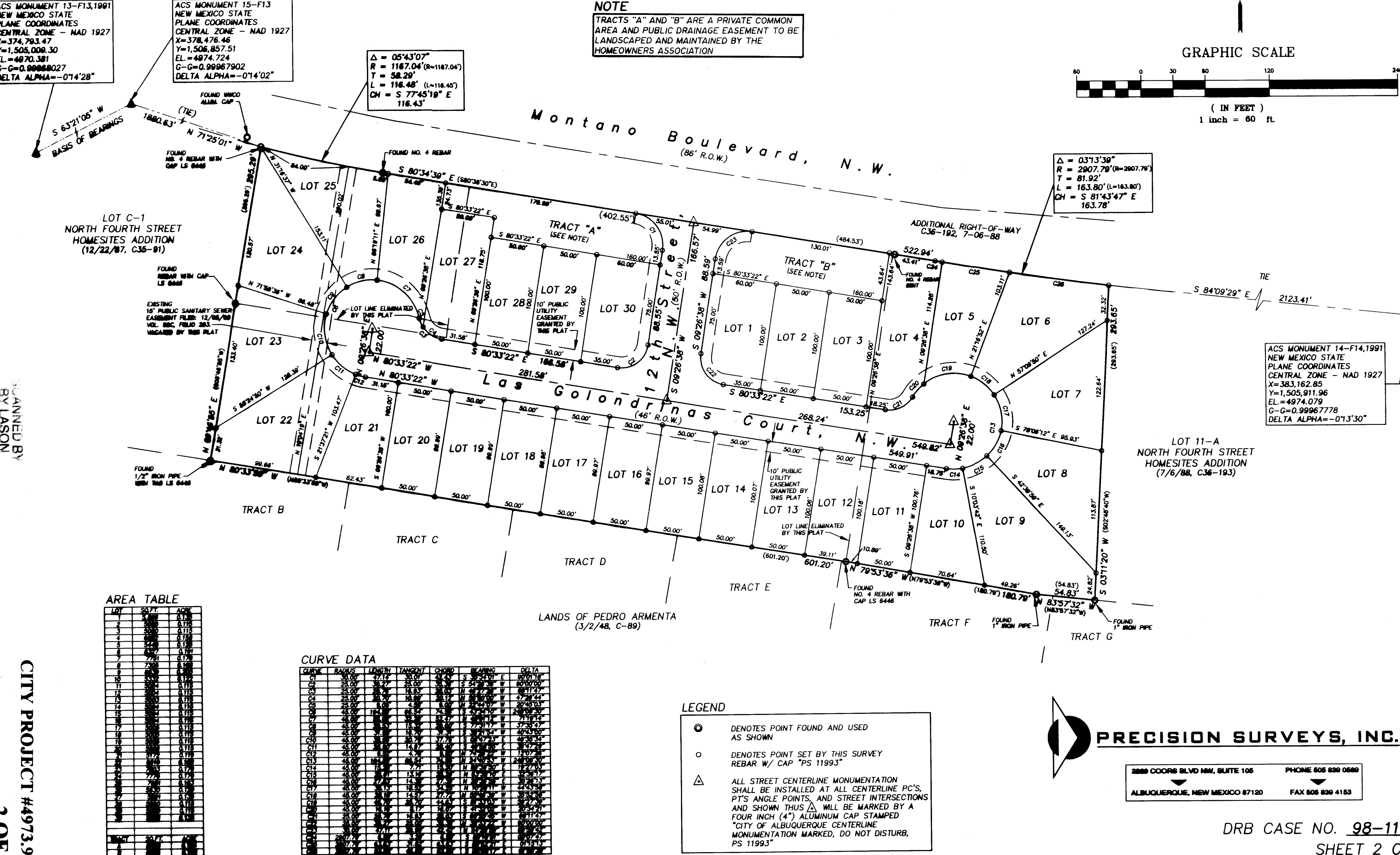
PRECISION SURVEYS, INC.

2888 COORS BLVD NW, SUITE 105
ALBUQUERQUE, NEW MEXICO 87120

PHONE 505 830 0580
FAX 505 830 4153

DRB CASE NO. 98-113
SHEET 1 OF 2

PLAT OF TRACTS A AND B AND LOTS 1 THRU 30 LAS GOLONDRINAS SUBDIVISION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MARCH 1998



AREA TABLE

LOT	AREA	TOTAL
1	1.00	1.00
2	1.00	2.00
3	1.00	3.00
4	1.00	4.00
5	1.00	5.00
6	1.00	6.00
7	1.00	7.00
8	1.00	8.00
9	1.00	9.00
10	1.00	10.00
11	1.00	11.00
12	1.00	12.00
13	1.00	13.00
14	1.00	14.00
15	1.00	15.00
16	1.00	16.00
17	1.00	17.00
18	1.00	18.00
19	1.00	19.00
20	1.00	20.00
21	1.00	21.00
22	1.00	22.00
23	1.00	23.00
24	1.00	24.00
25	1.00	25.00
26	1.00	26.00
27	1.00	27.00
28	1.00	28.00
29	1.00	29.00
30	1.00	30.00

CURVE DATA

STATION	BEARING	DISTANCE	ANGLE	CHORD	DELTA
1	S 77°45'19" E	116.43	116.43	116.43	0°00'00"
2	S 80°34'39" E	522.94	522.94	522.94	0°00'00"
3	S 81°43'47" E	163.78	163.78	163.78	0°00'00"
4	S 03°11'20" W	293.65	293.65	293.65	0°00'00"
5	N 83°57'32" W	54.83	54.83	54.83	0°00'00"
6	N 79°53'36" W	180.79	180.79	180.79	0°00'00"
7	N 80°33'50" W	601.20	601.20	601.20	0°00'00"
8	N 09°46'55" E	295.29	295.29	295.29	0°00'00"

LEGEND

- DENOTES POINT FOUND AND USED AS SHOWN
- DENOTES POINT SET BY THIS SURVEY REBAR W/ CAP "PS 11893"
- △ ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS △ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS 11893"

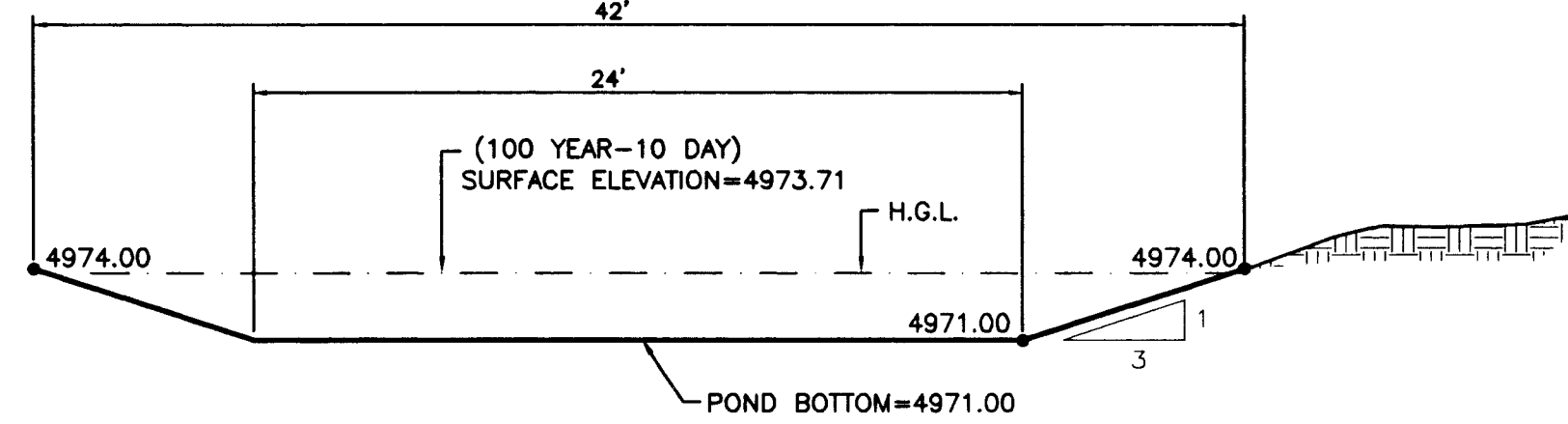
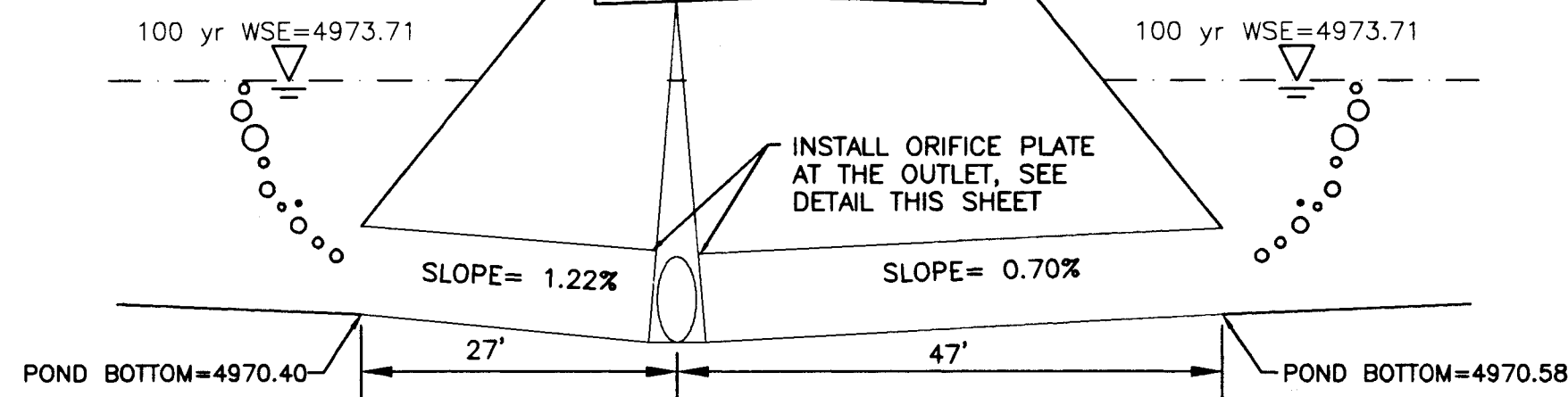
PRECISION SURVEYS, INC.

2888 COORS BLVD NW, SUITE 105
ALBUQUERQUE, NEW MEXICO 87120

PHONE 505 830 0580
FAX 505 830 4153

DRB CASE NO. 98-113
SHEET 2 OF 2

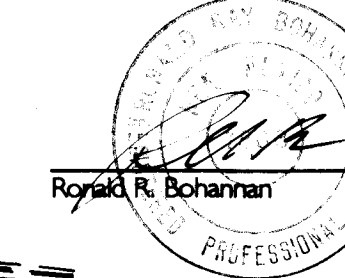
A.C.S. 13-F14
X=380217.80
Y=1506318.40
G.G. FACTOR=0.99967855
CENTRAL ZONE
7 = 301.350°
NAD 1927, NAVD 1929



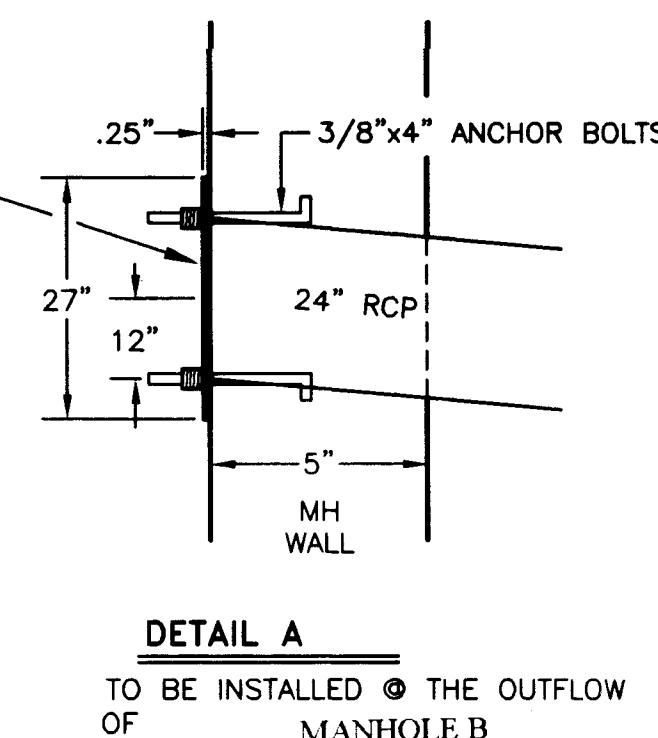
100-yr, 6-hr VOLUME=0.748 AC. FT.
TOTAL VOLUME=0.7516 AC. FT.
(POND 1 + POND 2)

SECTION A-A NTS

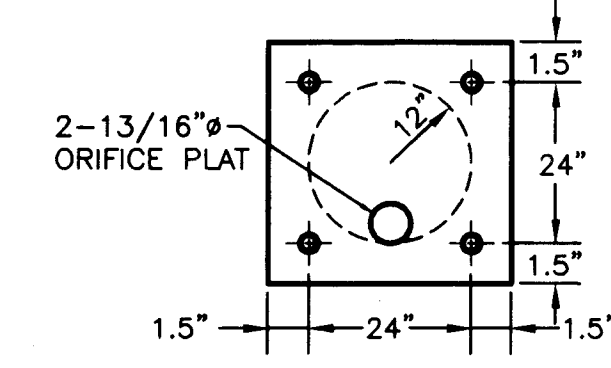
I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 5-1-83. Survey information was supplied by JOSEPH R. BOHANNAN in accordance with normal surveying practices.



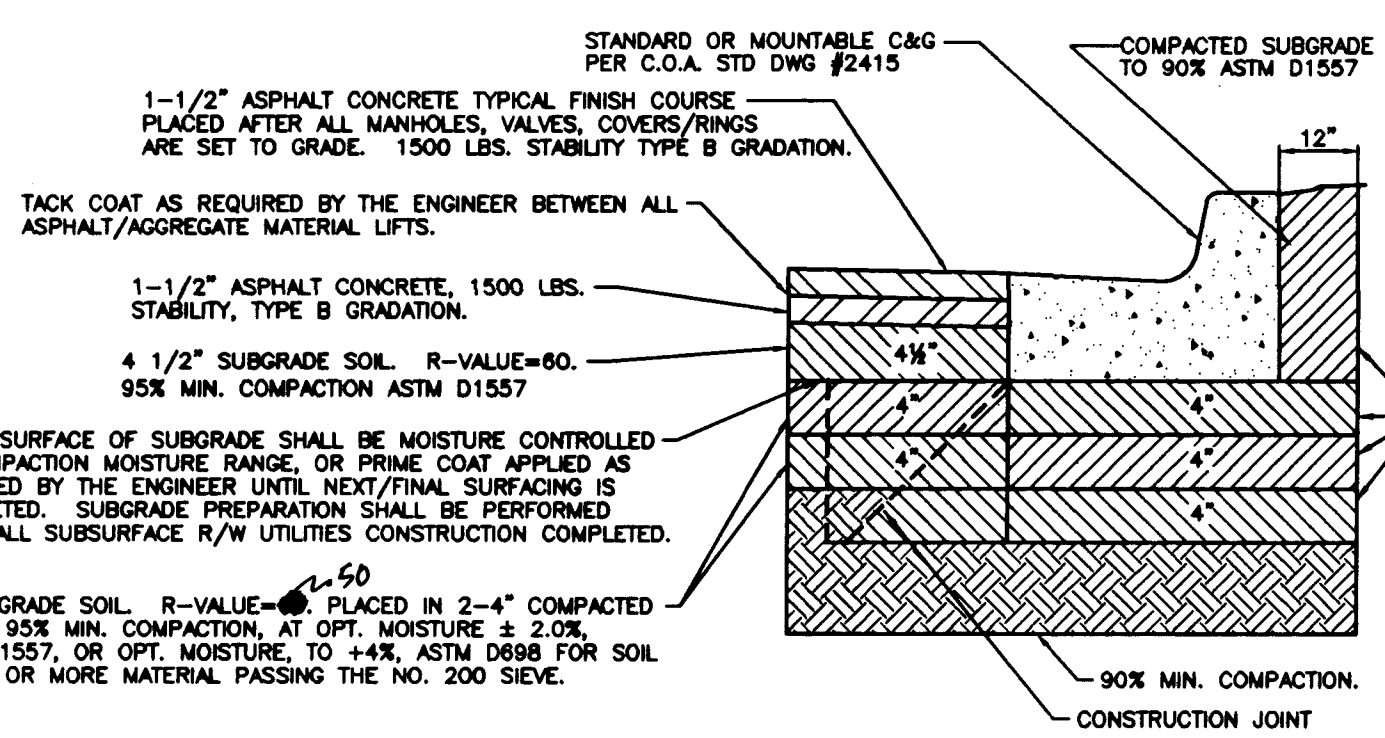
12/21/98
#7868



TO BE INSTALLED @ THE OUTFLOW OF MANHOLE B



NOTE: USE DETAIL AS SHOWN AFTER THE INSTALLATION OF THE FUTURE LIFT STATION IS INSTALLED. USE SOLID PLATE W/O ANY OPENING BEFORE THE INSTALLATION OF THE LIFT STATION.



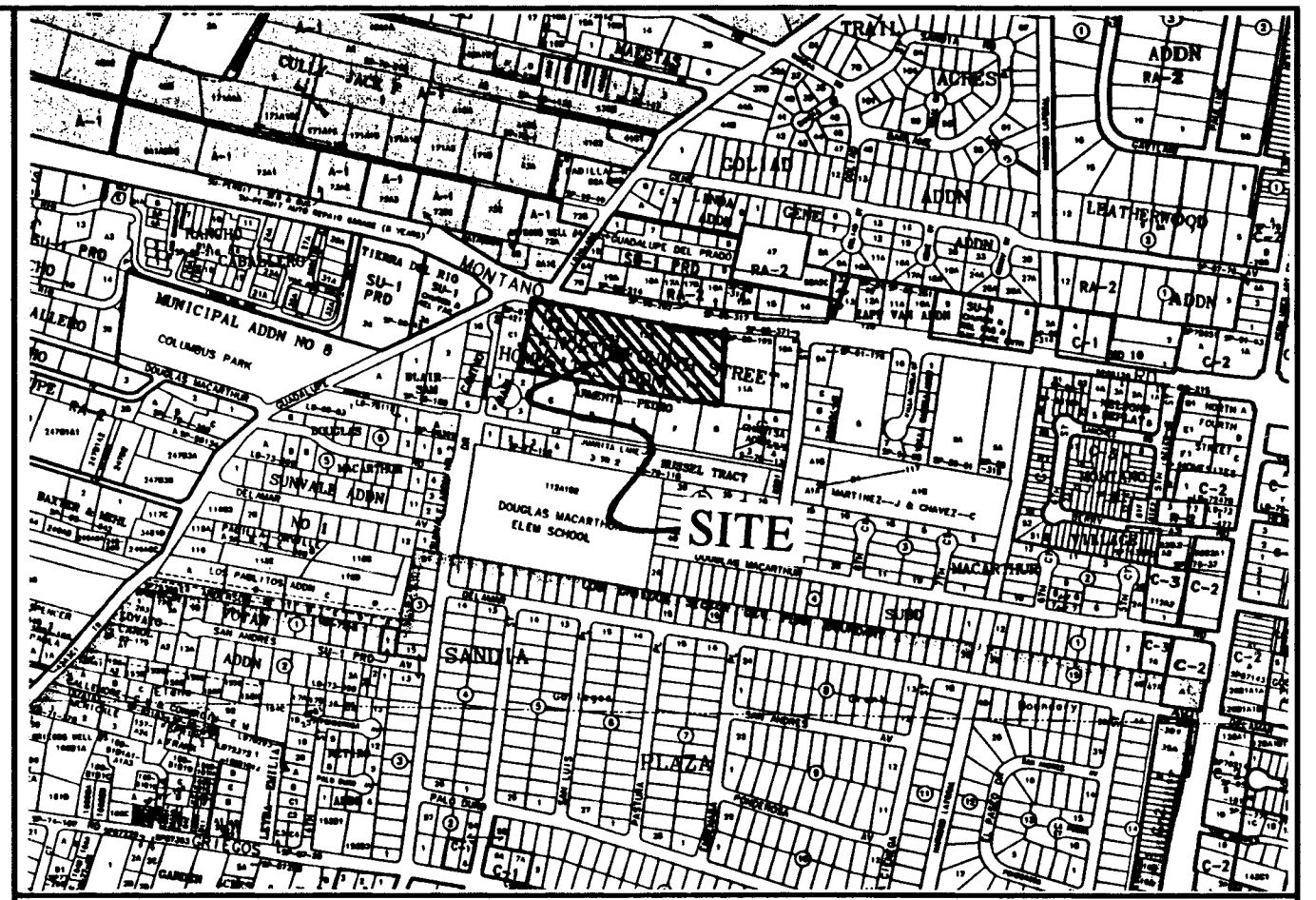
EROSION CONTROL PLAN NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

GRAPHIC SCALE



SCALE: 1"=50'



LOCAL MAP: F-14-7



FEMA MAP: 350002-0015C

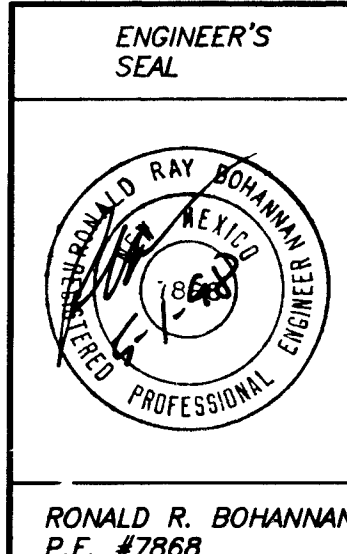
LEGAL DESCRIPTION: LOTS 12A, 13A-1 AND 15A-1 OF THE NORTH FOURTH STREET HOMESITES ADDITION

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- STORM SEWER MH
- DROP INLET
- EXISTING 8" SAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- 5000
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- RETAINING WALL
- PERIMETER WALL
- PROPOSED SIDEWALK

ROUGH GRADING APPROVAL

- NOTES:
- ALL CURB AND GUTTER IS MOUNTABLE UNLESS OTHERWISE NOTED.
 - 18" MAX. RETAINAGE ON THE PERIMETER WALL.
 - THE TOTAL WALL HEIGHT SHALL NOT EXCEED 8'.



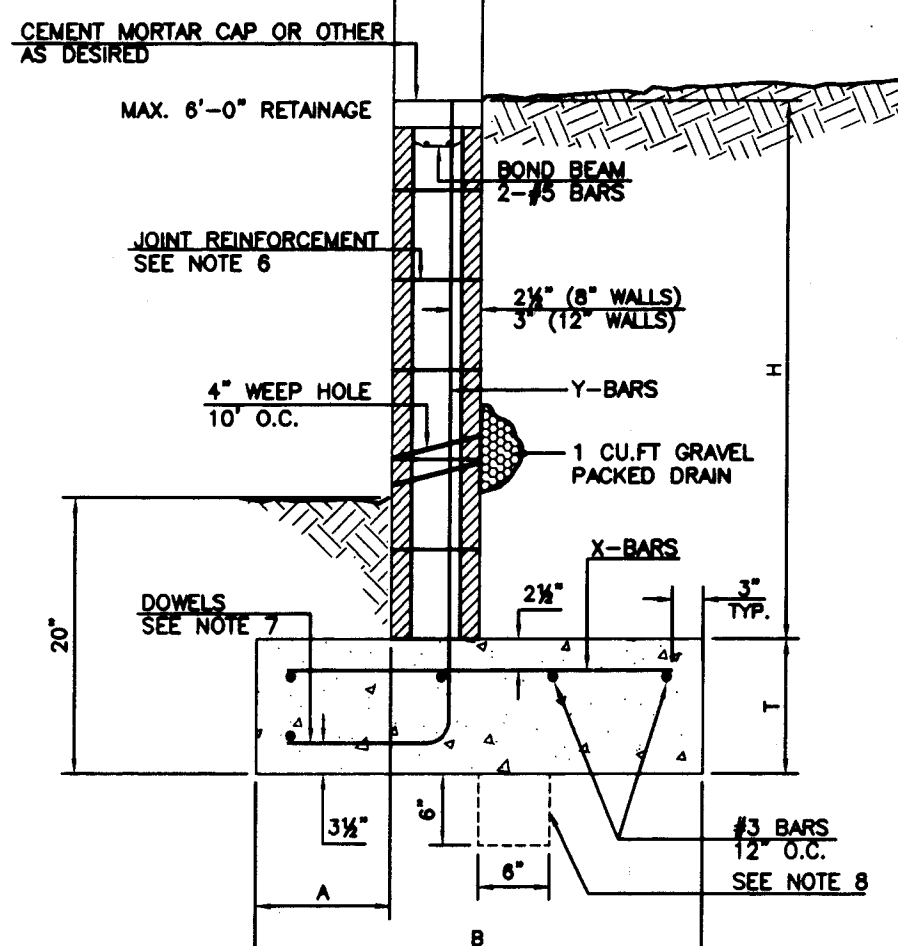
LAS GOLONDRINAS SUBDIVISION
SITE PLAN / GRADING AND DRAINAGE PLAN

TERRA WEST, LLC
4421 McLEOD ROAD, N.E., SUITE D
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

DRAWN BY JDN
DATE 03-27-98
9811GR1.DWG
SHEET # 3 OF 6
JOB # 980011

8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	14"	3'-8"	10"	#4 @18" O.C.	#4 @30" O.C.
6'-0"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

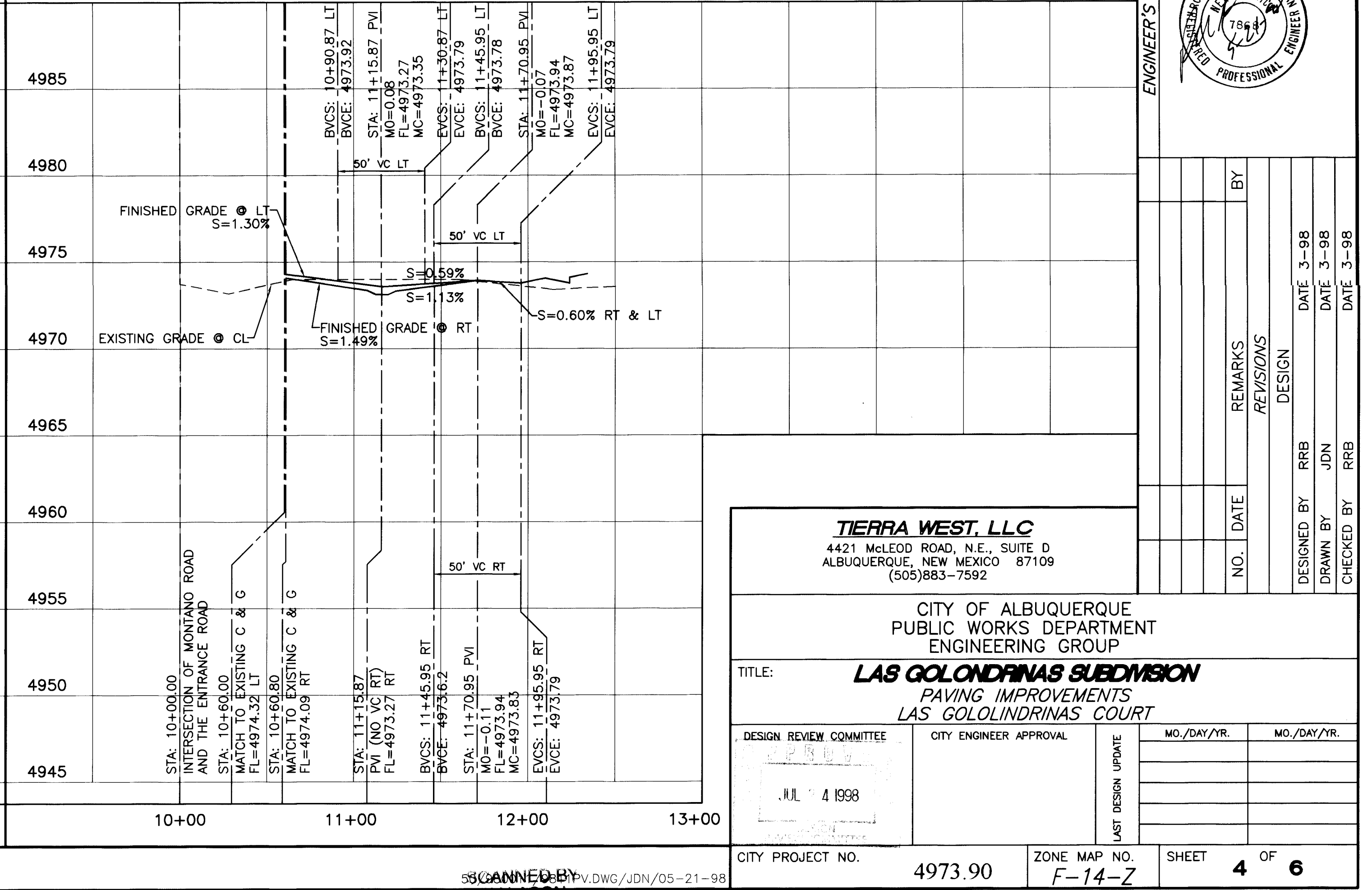
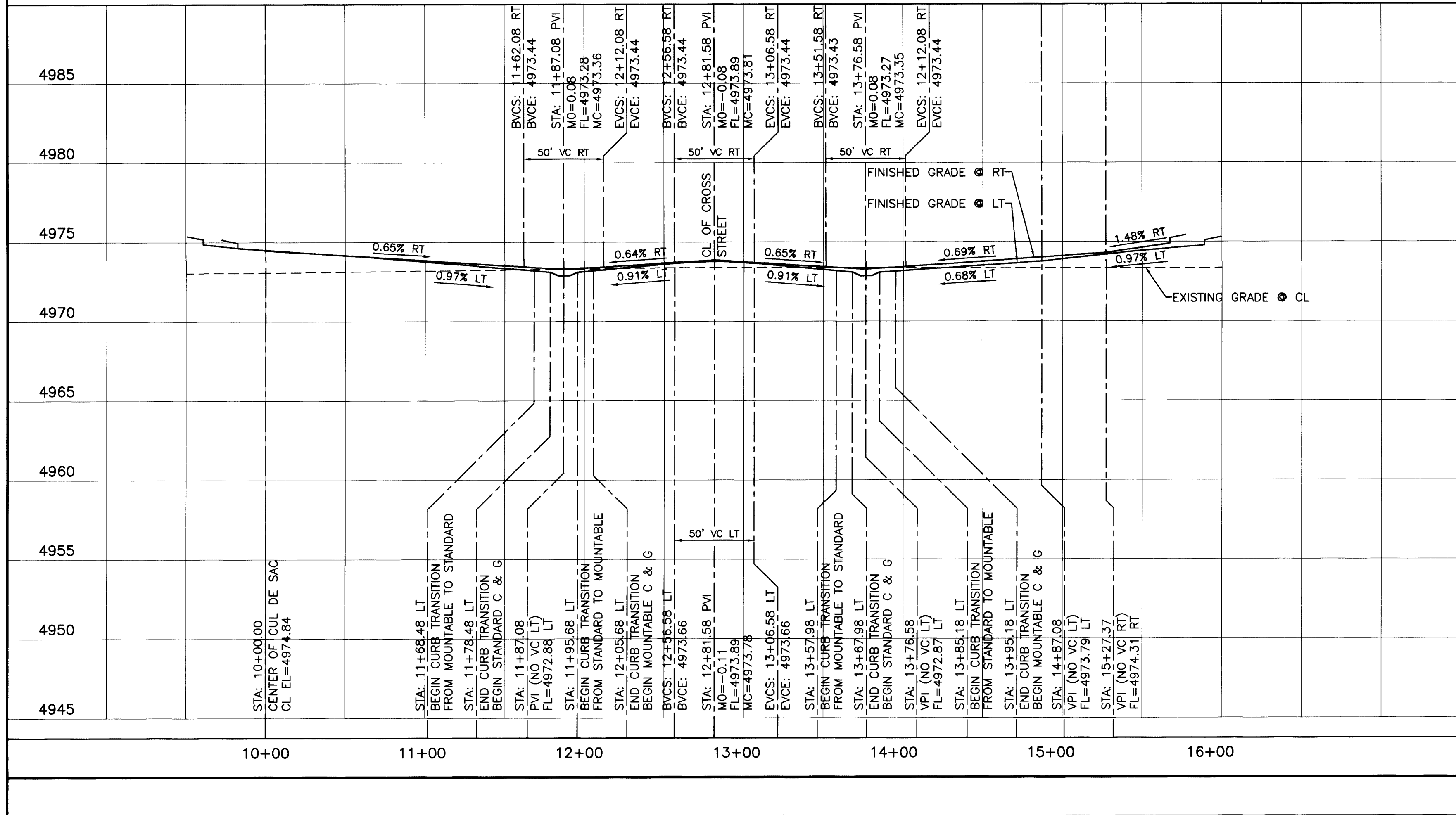
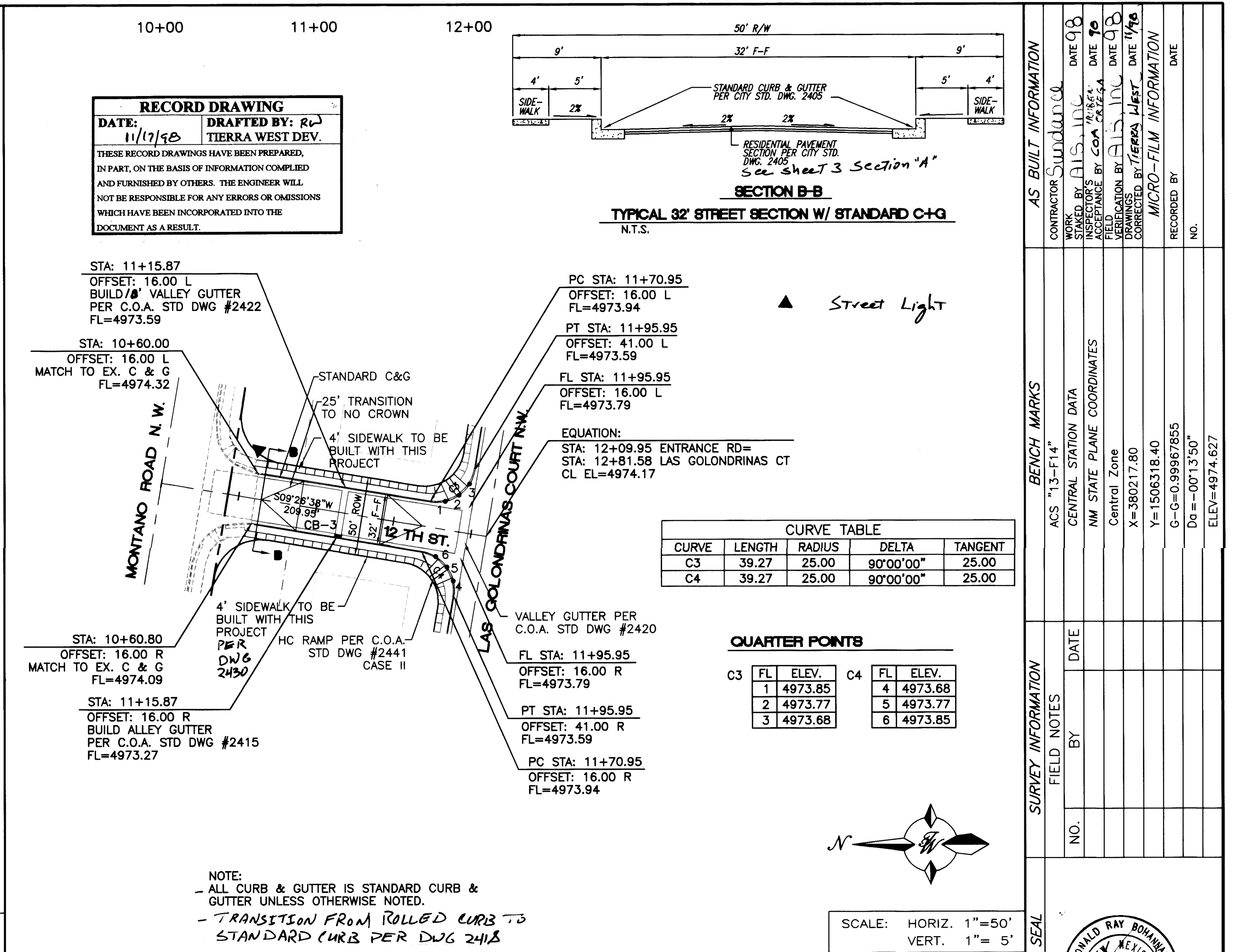
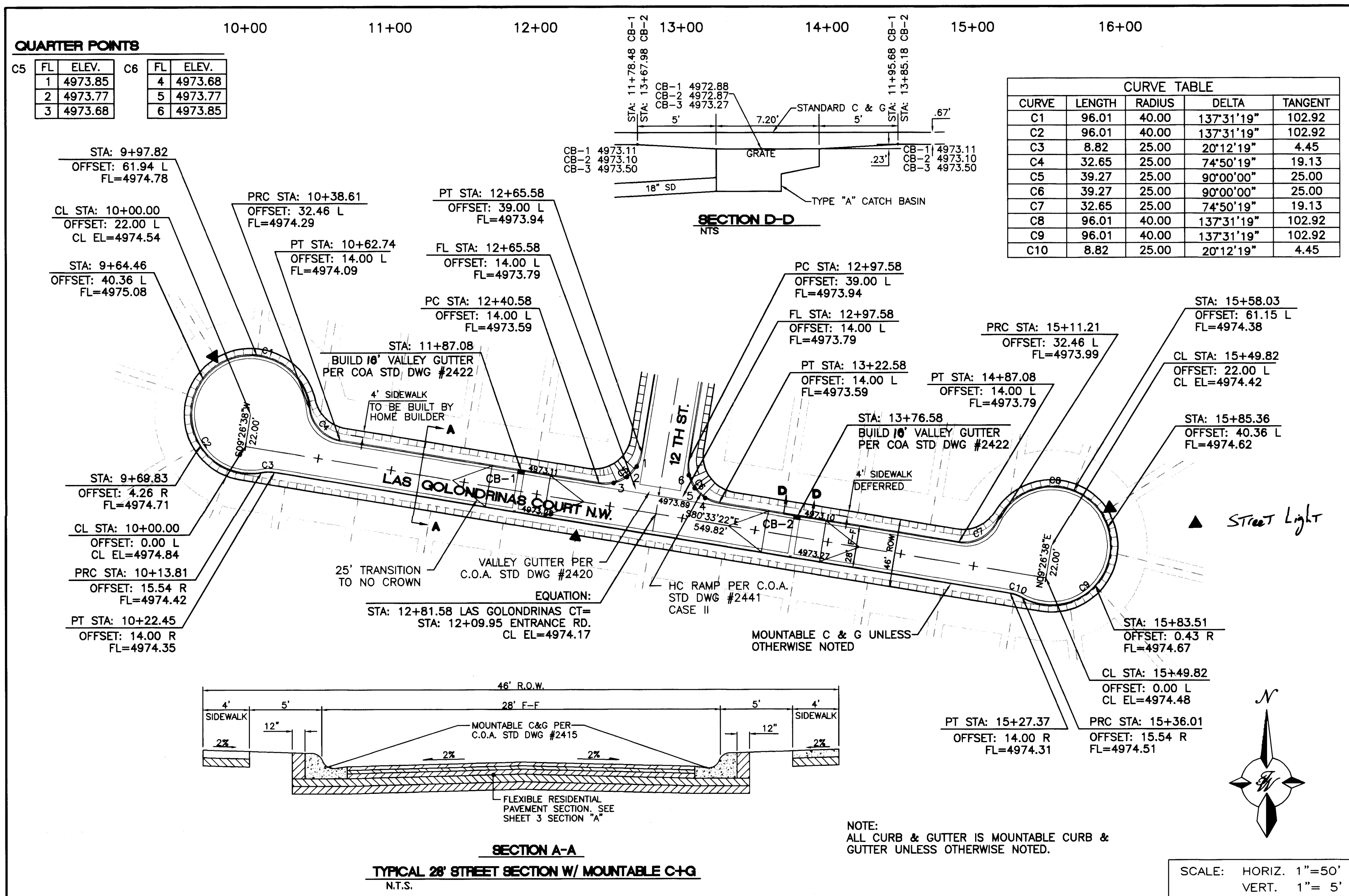
- GENERAL NOTES:
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
 - BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DWR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - JOINT REINFORCEMENT CONSISTING OF 3GA LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



RECORD DRAWING	
DATE: 11/17/98	DRAFTED BY: R. TERRA WEST DEV.
THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART, ON THE BASIS OF INFORMATION COMPLIED AND FURNISHED BY OTHERS. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THE DOCUMENT AS A RESULT.	

STORM SEWER TABLE

MH/CB	TYPE	RIM/GRATE	INV
MH-A	4" TYPE C	4973.81	4969.21
MH-B	4" TYPE C	4974.19	4968.33
CB-1	SINGLE A	4973.05	4969.72
CB-2	SINGLE A	4973.10	4969.61



TIERRA WEST, LLC

4421 McLEOD ROAD, N.E., SUITE D

ALBUQUERQUE, NEW MEXICO 87109

(505)883-7592

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

ENGINEERING GROUP

TITLE: LAS GOLONDRINAS SUBDIVISION

PAVING IMPROVEMENTS

LAS GOLONDRINAS COURT

DESIGN REVIEW COMMITTEE

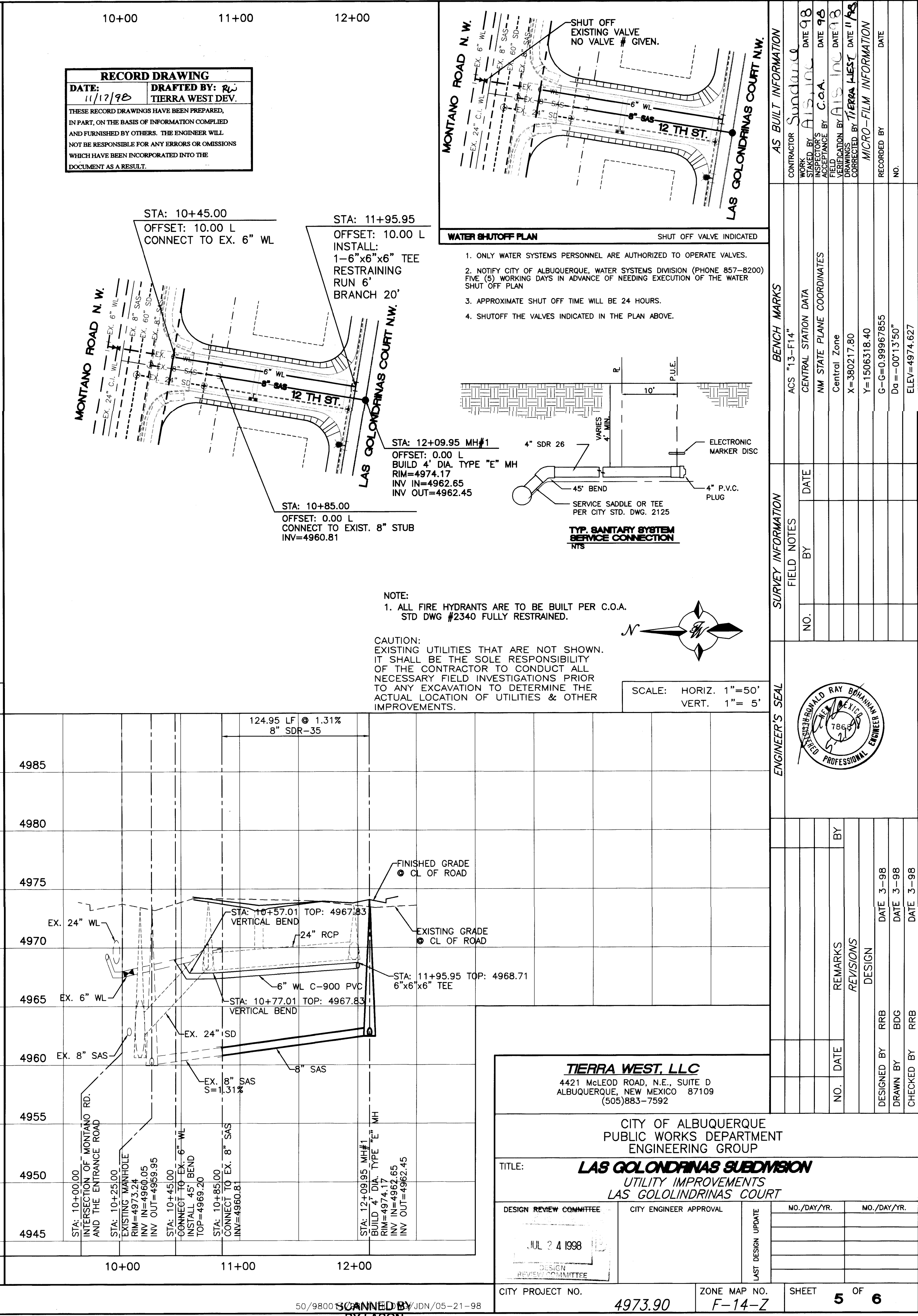
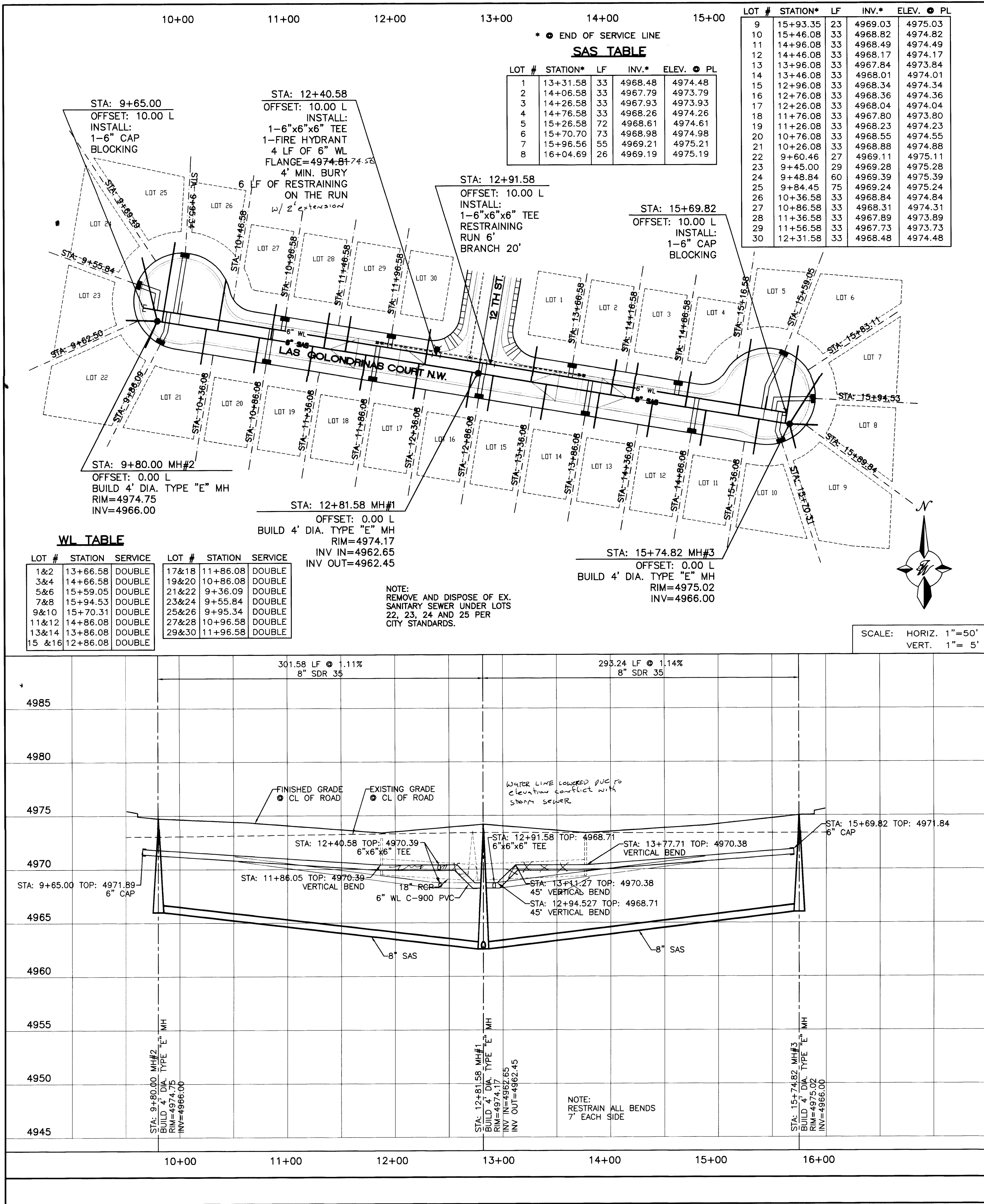
CITY ENGINEER APPROVAL

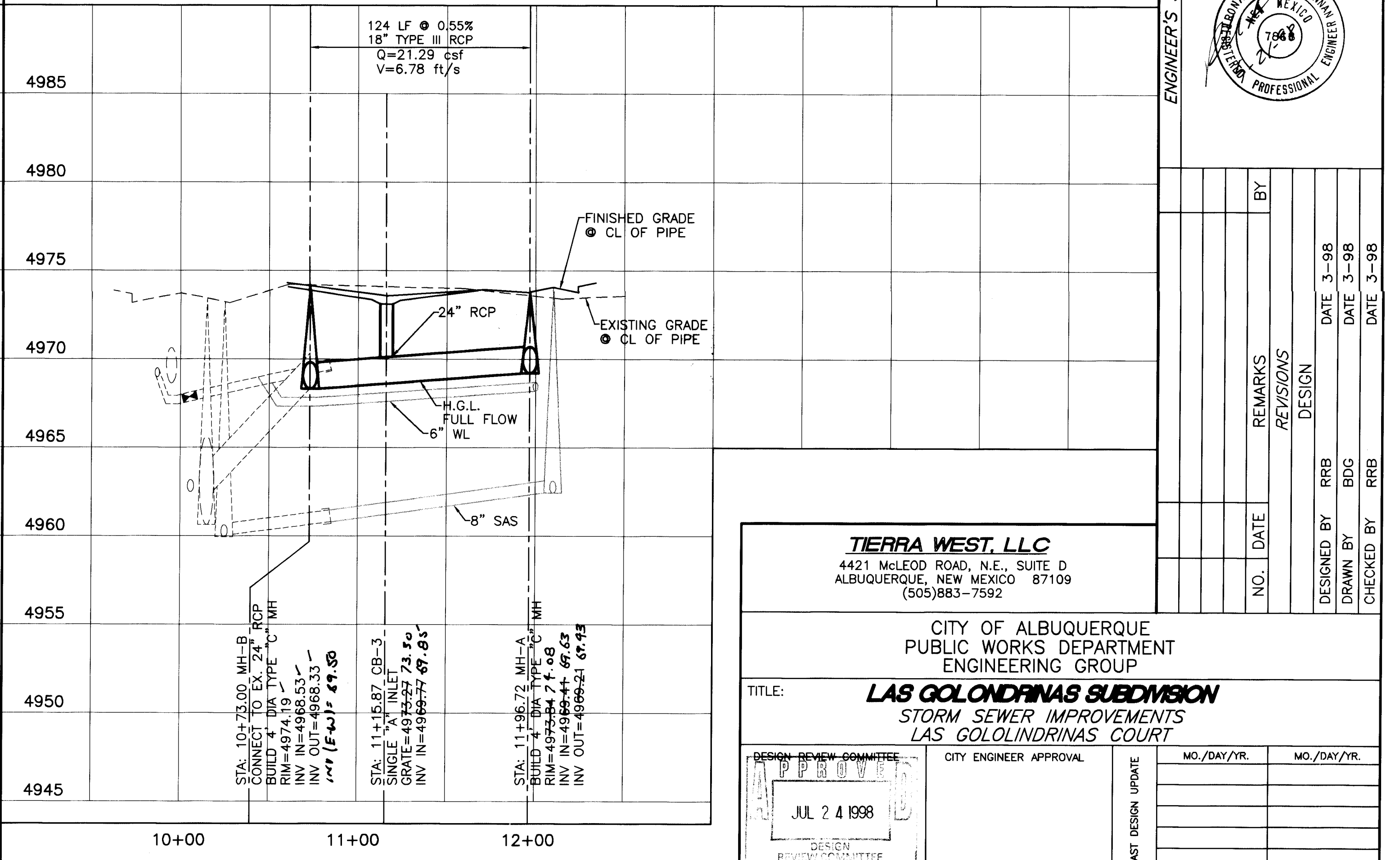
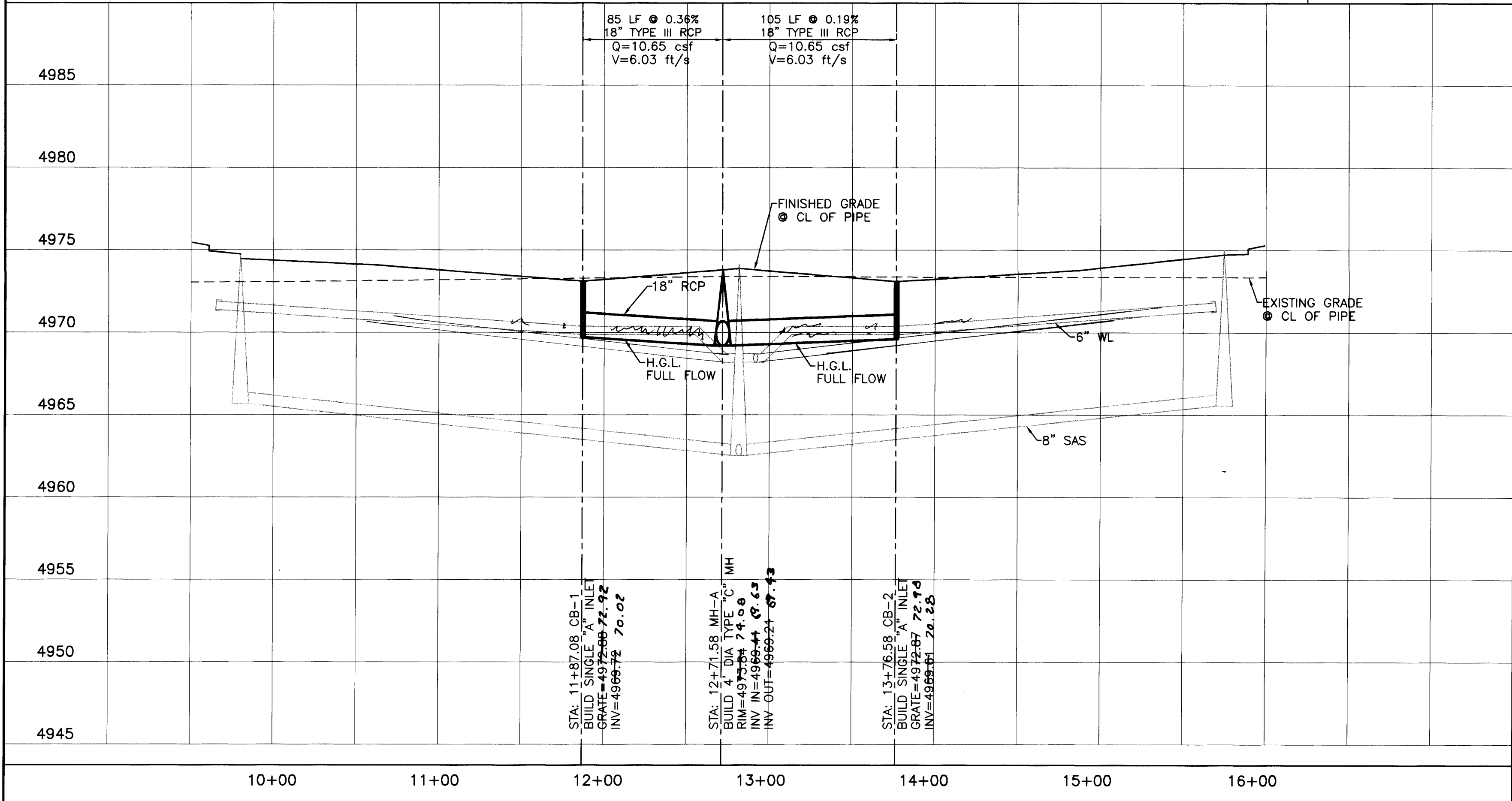
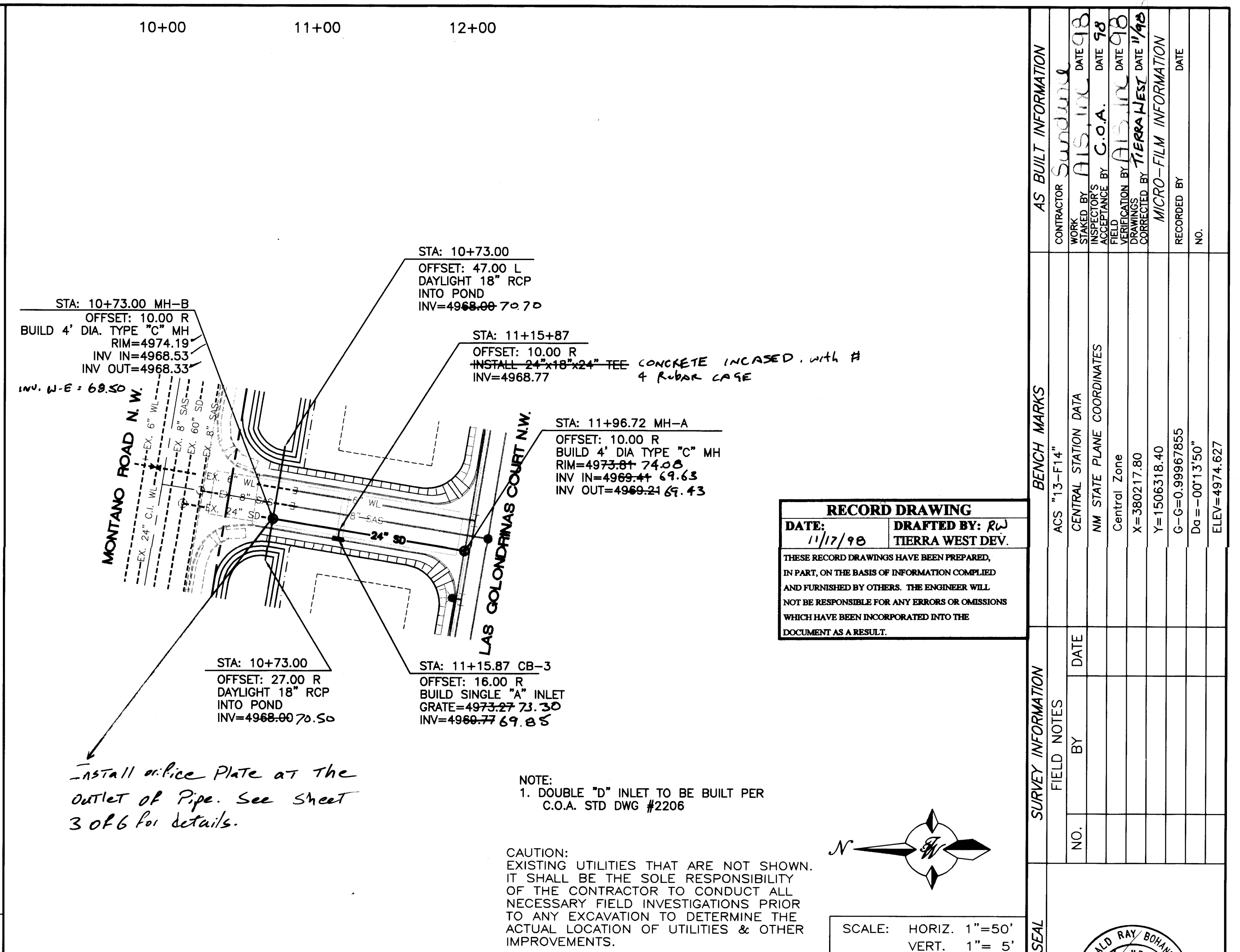
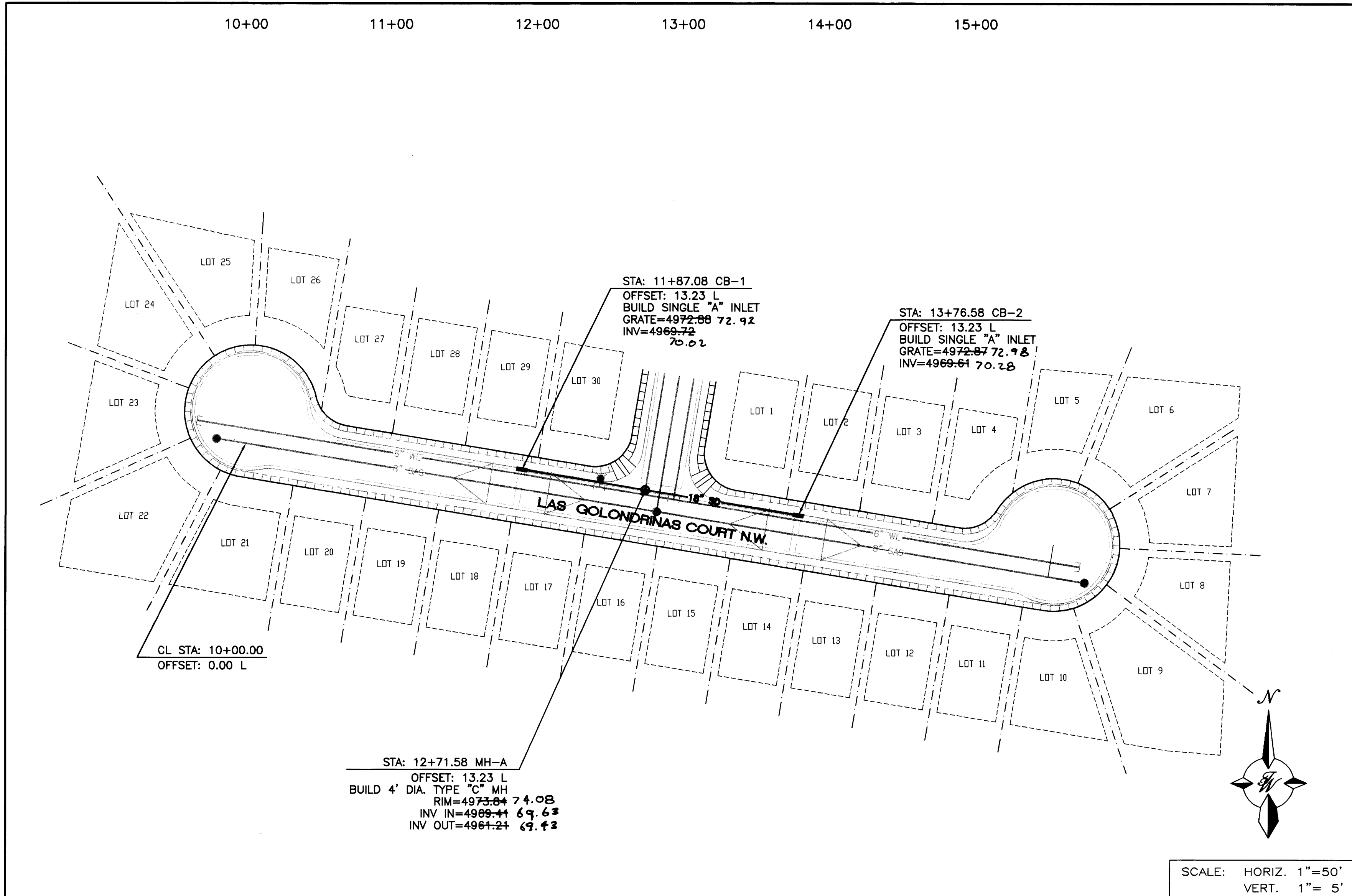
LAST DESIGN UPDATE

CITY PROJECT NO. 4973.90

ZONE MAP NO. F-14-Z

SHEET 4 OF 6





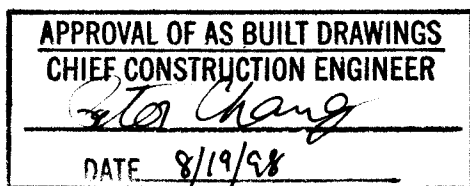
VALLE DEL CANTO
SUBDIVISION UNIT I
ALBUQUERQUE, NEW MEXICO
IMPROVEMENTS FOR
GRADING, PAVING, AND UTILITIES

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1.	TITLE SHEET
2.-3.	SUBDIVISION PLAT
4.-6.	GRADING AND DRAINAGE PLAN

PAVING PLAN AND PROFILES

7.	COMPOSITE PAVING PLAN
8.	SAN TOMAS LANE PAVING (STA 1+04.08 - STA 6+79.17)
9.	VISTA DEL ANGEL PAVING (STA 0+00 - STA 7+98.50)
10.	CALLE AMARILLO PAVING (STA 1+69.27 - STA 7+83.15)
11.	LA VIDA LANE PAVING (STA 1+71.68 - STA 8+10.17)
12.	86TH STREET PAVING (STA 0+00 - STA 8+67.54)
13.	SUNSET GARDENS ROAD PAVING (STA 3+27.86 - STA 11+03.40)
14.	PAVING SECTIONS AND DETAILS

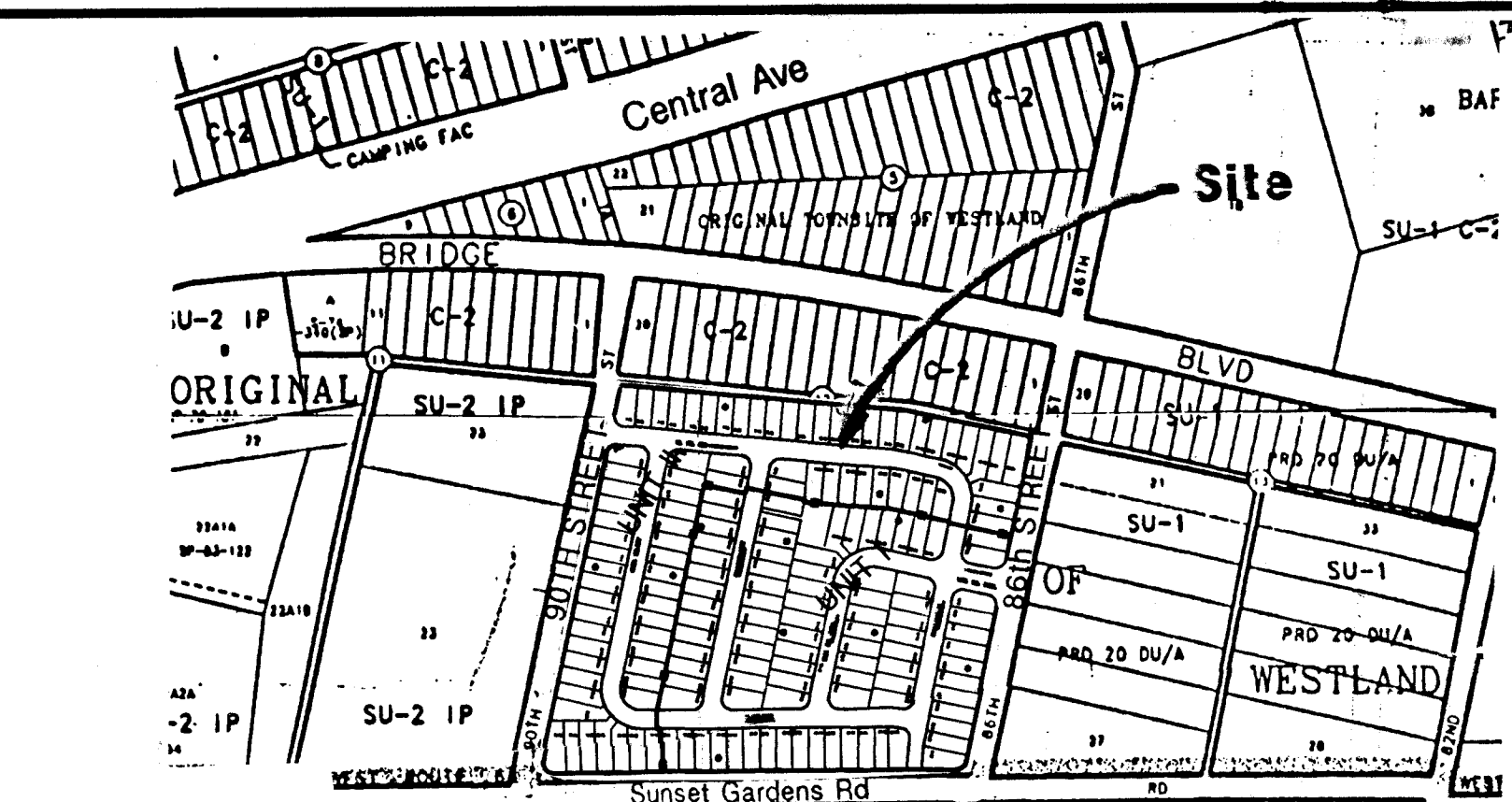
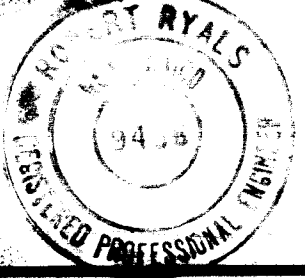


UTILITY PLAN AND PROFILES

15.	COMPOSITE UTILITY PLAN
16.	VIA DEL ORO UTILITY (STA 0+00 - STA 9+58.75)
17.	SAN TOMAS LANE UTILITY (STA 0+00 - STA 6+79.17)
18.	VISTA DEL ANGEL UTILITY (STA 0+00 - STA 7+98.50)
19.	CALLE AMARILLO UTILITY (STA 1+69.27 - STA 7+83.15)
20.	LA VIDA LANE UTILITY (STA 1+71.68 - STA 8+10.17)
21.	86TH STREET UTILITY (STA 0+00 - STA 8+67.54)
22.	SUNSET GARDENS ROAD UTILITY (STA 3+27.86 - STA 11+03.40)

26 5776 8198409

AS CONSTRUCTED CERTIFICATION
I, Robert B. Ryals, being a licensed Professional Engineer in the State of New Mexico, do hereby certify that, based on field surveys performed by Community Sciences Corporation, information shown on these "AS-CONSTRUCTED" drawings is true and accurate to the best of my knowledge and belief.
Robert B. Ryals, P.E. 2/16/98



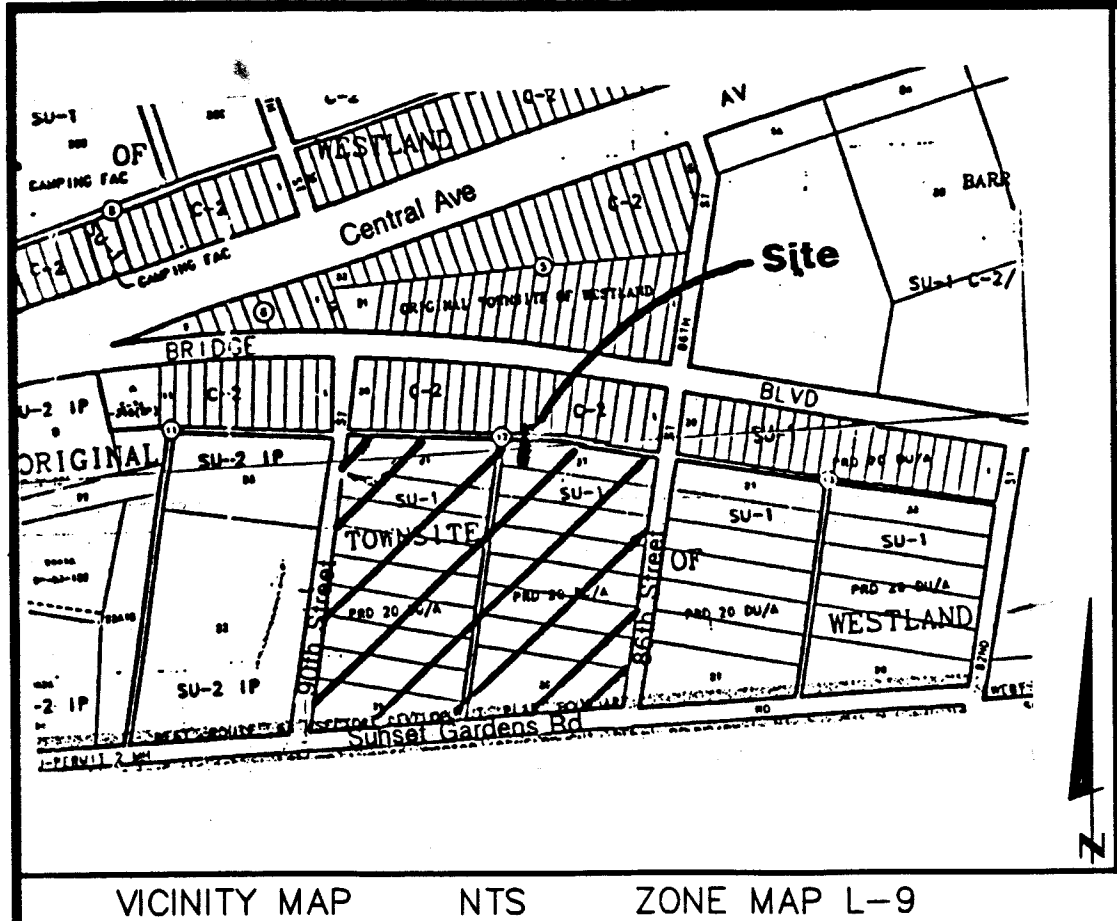
VICINITY MAP
N.T.S.
ZONE ATLAS PAGE NO. L-9-Z

GENERAL NOTES

- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction 1986 Edition as amended with Update No. 6.
- Prior to construction, the Contractor shall excavate & verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with minimum delay.
- Two (2) working days prior to any excavation, Contractor must contact Line Locating Service @ 260 - 1990 for location of existing utilities.
- Warning - EXISTING UTILITY LINE LOCATIONS are shown in an approximate manner only, and such lines may exist where none are shown. The location of any such existing lines is based upon information provided by the utility company, the owner, or by others, and the information may be incomplete or may be obsolete by the time construction commences.

The engineer has undertaken no field verification of the location, depth, size, or type of existing underground utility lines, makes no representation pertaining therefor. The contractor shall inform itself of the location of any utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify, and preserve any and all existing utilities. The contractor shall comply with State statutes, municipal and local ordinances, rules and regulations pertaining to the location of these lines and facilities, in planning and conducting excavation, whether by calling or notifying the utilities, complying with "Blue Stakes" procedures, or otherwise.
- TRAFFIC CONTROL: Five (5) working days prior to beginning construction the contractor shall submit to the Construction Coordination Division a detailed construction schedule. Two (2) working days prior to construction the contractor shall obtain a barricading permit from the Construction Coordination Division. Contractor shall notify Barricade Engineer (768-2551) prior to occupying an intersection. See section 19 of the specifications. All street striping altered or destroyed shall be replaced by contractor to location and in kind as existing at no additional cost to the owner.
- The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
- The contractor is responsible for protecting and maintaining all existing monumentation controls. In the event of inadvertent destruction or alteration the contractor must immediately notify the City Chief Surveyor.
- Any work effecting an arterial roadway requires twenty-four hour completion.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman	11-3-97	APPROVED FOR CONSTRUCTION			
		Transportation	11-28-97				
		Water/Wastewater	10-24-97				
		Hydrology	10-22-97				
		CIP					
		Constr. Mngmt.					
CITY PROJECT No.		577681		Sheet 1 of 22			
Turnkey							



PURPOSE OF THE PLAT

1. Create lots and tracts, dedicate public right of way and grant public and private access, utility and drainage easements as shown hereon.

SUBDIVISION DATA

1. Case No.: DRB-97-311 Z-97-60 V-97-87
2. Zone Atlas Index No.: L-9
3. Number of Lots Created: 88
4. Number of Tracts Created: 5
5. Gross Area: 21.4394 acres
6. Date of Survey: April 8, 1997
7. Talos Log: 97-0929-0121-0181.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plots of record: THE ORIGINAL TOWNSITE OF WESTLAND (05-23-35, D-53)
5. City of Albuquerque water and sanitary service to Valle Del Canto, Unit I must be verified and coordinated with the Public Works Department, City of Albuquerque.
6. Centerline (in lieu of ROW) monumentation to be installed at all centerline P.C.S, P.T.S, angle points and street intersections prior to acceptance of street improvements and will consist of a 4" aluminum cap stamped "City of Albuquerque Centerline Monumentation Survey Marker Do Not Disturb P.L.S. 11000."

OWNERS FREE CONSENT AND DEDICATION

The subdivision shown hereon is in accordance with the desires of the undersigned owner and/or proprietor thereof and said owner and/or proprietor do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant all access utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein, and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground services for buried distribution lines, conduits, and pipes for underground and/or overhead utilities shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs (see notes). Said owner and/or proprietor do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

American Southwest Homes, LTD Company
By: L.L. Bell, Registered New Mexico Agent

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
On this 29th day of September, 1997, the foregoing instrument was acknowledged before me. My commission expires 4-19-98

R. Angie Bynum
Notary Public

DWG: WORK (VALLE DEL CANTO) (DRB-97-311) DATE: 09/29/97 TIME: 18:41 RYALS Engineering-HB

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PUE Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, structures and related facilities reasonably necessary to provide electric services.
2. PNM Gas Services for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. U.S. West for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and structures.
4. Jones Interconnect for the installation, maintenance, and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included: the right to build, relocate, construct, reconstruct, locate, relocate, change, remove, modify, repair, operate and maintain facilities for the purpose described above, together with free access to, from, and over said easements, including sufficient working area for the purpose set forth herein. No building, sign, pole (aboveground or underground), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or located hereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code covered by construction or posted, existing or any structure adjacent to within or near easements shown on this plat. In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not warrant nor release any easement or any easement rights to which it may be entitled.

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND LYING AND BEING SITUATE WITHIN THE TOWN OF ATRISCO GRANT ("PROJECTED" SECTIONS 21 & 28, TOWNSHIP 10 NORTH, RANGE 2 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND COMPRISING ALL OF LOTS 21 THROUGH 37, BLOCK 12, TOGETHER WITH AN EXISTING 20' WIDE ALLEY RIGHT-OF-WAY, "THE ORIGINAL TOWNSITE OF WESTLAND" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 23, 1935 IN VOLUME D, FOLIO 53, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, SAID POINT OF BEGINNING LYING ON THE EASTERLY RIGHT OF WAY LINE OF 90TH STREET S.W. (60' R/W) AND THE SOUTHERLY RIGHT-OF-WAY LINE OF A 20' WIDE ALLEY AND BEING MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000, FROM WHENCE THE ACS MONUMENT "7-K9" BEARS THE FOLLOWING COURSE DISTANT, N30°36'42"E A DISTANCE OF 860.79 FEET,

THENCE CONTINUING FROM SAID POINT OF BEGINNING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF A 20' WIDE ALLEY ON S84°10'50"E A DISTANCE OF 704.57 FEET TO A POINT MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000,

THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF A 20' WIDE ALLEY ON S77°16'50"E A DISTANCE OF 319.00 FEET TO THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000 AND LYING ON THE WESTERLY RIGHT-OF-WAY LINE OF 86TH STREET S.W. (64' R/W),

THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY LINE OF A 20' WIDE ALLEY AND CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY OF 86TH STREET S.W. ON S12°37'48"W A DISTANCE OF 834.43 FEET TO SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000 AND LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF SUNSET GARDENS ROAD S.W.,

THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE OF 86TH STREET S.W. AND CONTINUING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF SUNSET GARDENS S.W. ON N89°35'06"W, A DISTANCE OF 1043.14 FEET TO THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000 AND LYING ON THE EASTERLY RIGHT-OF-WAY LINE OF 90TH STREET S.W.,

THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY OF SUNSET GARDENS ROAD S.W. AND CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY OF 90TH STREET S.W. ON N12°41'04"E A DISTANCE OF 972.08 FEET TO THE POINT AND PLACE OF BEGINNING AND CONTAINING 21.4394, MORE OR LESS.

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #'s:

LOT 21 BLOCK 12, UPC# 1-009-056-355-521-1-03-30
LOT 22 BLOCK 12, UPC# 1-009-056-353-510-1-03-31
LOT 23 BLOCK 12, UPC# 1-009-056-350-500-1-03-32
LOT 24 BLOCK 12, UPC# 1-009-056-348-491-1-03-33
LOT 25 BLOCK 12, UPC# 1-009-056-346-481-1-03-34
LOT 26 BLOCK 12, UPC# 1-009-056-345-471-1-03-35
LOT 27 BLOCK 12, UPC# 1-009-056-343-462-1-03-36
LOT 28 BLOCK 12, UPC# 1-009-056-341-452-1-03-37
LOT 29 BLOCK 12, UPC# 1-009-056-339-441-1-03-01
LOT 30 BLOCK 12, UPC# 1-009-056-392-444-1-03-02
LOT 31 BLOCK 12, UPC# 1-009-056-396-458-1-03-03
LOT 32 BLOCK 12, UPC# 1-009-056-398-468-1-03-04
LOT 33 BLOCK 12, UPC# 1-009-056-400-478-1-03-05
LOT 34 BLOCK 12, UPC# 1-009-056-402-488-1-03-06
LOT 35 BLOCK 12, UPC# 1-009-056-405-497-1-03-07
LOT 36 BLOCK 12, UPC# 1-009-056-408-508-1-03-08
LOT 37 BLOCK 12, UPC# 1-009-056-410-517-1-03-09

PROPERTY OWNER OF RECORD: AMERICAN SOUTHWEST HOMES, LTD

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: _____ DATE: _____

APPROVED AND ACCEPTED BY

Subdivision Case No. **S-97-65**
Paula J. Pomeroy 10-30-97
City Planner/Albuquerque, Bernalillo Co. Planning Division Date
Frank J. Garcia 10-17-97
City Engineer, Engineering Division Date
Frank J. Garcia 10-17-97
Albuquerque Metropolitan Arroyo Flood Control Authority Date
Paula J. Pomeroy 10-29-97
Traffic Engineer, Transportation Department Date
Regan J. Pomeroy 10-7-97
Utility Development Date
Paula J. Pomeroy 10-2-97
Parks Division Date
Neil C. Daggett 07-27-97
City Surveyor, Engineering Division Date
Robert J. Pomeroy 10-29-97
Property Management, City of Albuquerque N.M. Date
Paula J. Pomeroy 10-24-97
PNM Gas Services Date
Norman G. Carrillo 10-9-97
U.S. West Telecommunications Date
Paula J. Pomeroy 10-24-97
PNM Electric Services Date
Viola Watson 10-24-97
Jones Interconnect, Inc. Date

SURVEYOR'S CERTIFICATION

"I, KEVIN C. DAGGETT, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OF OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Kevin C. Daggett 9/29/97
KEVIN C. DAGGETT N.M.R.P.L.S. No. 11000 Date



SHEET 1 of 3
community sciences corporation
LAND PLANNING P.O. Box 1328 ENGINEERING CORRAL, N.M. 87048 SURVEYING

CURVE TABLE FOR PAGES 2&3 OF 3

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING	TAN LENGTH
C1	37.73	86°27'38"	25.00	34.25	N 55°51'47" E	23.50
C2	37.73	86°27'38"	25.00	34.25	N 30°36'11" W	23.50
C3	45.11	86°27'38"	885.00	45.41	S 11°03'36" W	52.71
C4	35.22	86°43'30"	25.00	32.38	N 50°03'99" E	21.25
C5	45.11	86°27'38"	885.00	45.41	N 11°03'36" W	52.71
C6	39.27	90°00'00"	25.00	35.36	S 32°22'02" E	25.00
C7	16.42	12°15'54"	77.20	16.38	S 83°28'39" E	8.24
C8	38.40	88°00'20"	25.00	34.73	S 33°22'02" E	24.14
C9	67.42	9°30'54"	406.01	67.35	S 5°52'38" W	53.79
C10	53.43	9°16'23"	370.01	53.39	N 5°19'32" E	56.76
C11	14.24	0°55'19"	885.00	14.24	S 10°09'04" W	7.12
C12	20.46	3°10'03"	370.01	20.45	N 11°02'46" E	10.23
C13	31.17	2°01'05"	885.00	31.17	S 11°37'15" W	15.59
C14	39.27	90°00'00"	25.00	35.36	N 57°37'48" E	25.00
C15	15.98	9°20'39"	98.00	15.96	S 7°45'39" W	8.01
C16	38.10	87°19'35"	25.00	34.36	S 48°45'07" W	23.06
C17	44.62	87°19'35"	25.00	43.31	S 12°30'29" W	31.82
C18	44.62	102°16'10"	25.00	38.93	N 38°27'01" W	31.82
C19	14.24	8°19'26"	98.00	14.22	S 7°19'02" W	7.13
C20	38.10	87°19'35"	25.00	34.36	S 48°45'07" W	23.06
C21	2.18	1°15'18"	98.00	2.18	S 12°02'54" W	1.09
C22	29.79	17°24'59"	98.00	29.68	S 21°23'33" W	15.01
C23	23.56	12°46'21"	98.00	23.50	S 36°59'13" W	11.84
C24	14.24	14°02'18"	98.00	14.00	S 50°41'30" W	7.02
C25	23.56	12°46'21"	98.00	23.50	S 36°59'13" W	11.84
C26	37.71	22°08'45"	98.00	37.48	S 81°35'09" W	19.09
C27	17.14	12°01'23"	98.00	17.12	S 62°23'33" W	8.59
C28	39.27	90°00'00"	25.00	35.36	S 57°37'48" W	25.00
C29	44.62	102°16'10"	25.00	38.93	N 38°27'01" W	31.82
C30	38.10	87°19'35"	25.00	34.36	S 48°45'07" W	23.06
C31	81.63	89°56'45"	52.00	73.50	N 5°39'24" E	81.05
C32	39.27	90°00'00"	25.00	35.36	S 57°37'48" W	25.00
C33	26.22	12°12'54"	123.00	26.17	N 83°28'39" E	13.16
C34	89.09	7°57'12"	630.00	89.02	S 6°42'11" W	74.42
C35	16.06	12°15'54"	75.00	16.03	S 6°32'59" W	8.06
C36	21.32	12°15'54"	100.00	21.28	S 83°28'39" E	10.70
C37	16.06	12°15'54"	75.00	16.03	N 6°39'59" E	8.06
C38	17.14	8°19'26"	98.00	17.12	S 7°19'02" W	7.13
C39	78.79	11°29'10"	393.01	78.65	S 6°32'12" W	39.53
C40	8.08	4°43'17"	98.00	8.07	S 46°14'02" W	4.04

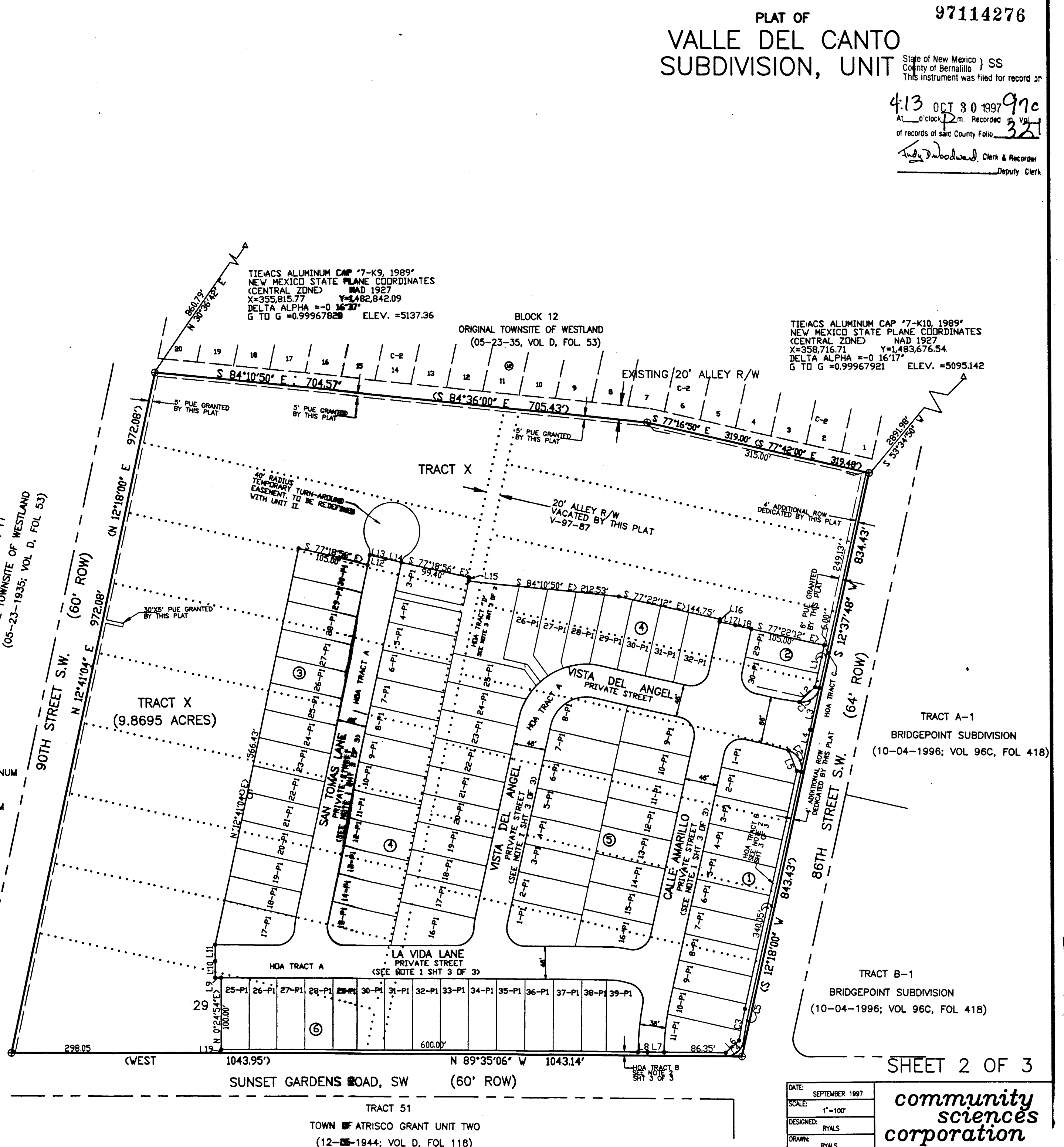
LINE TABLE FOR PAGES 2&3 OF 3

LINE	BEARING	DISTANCE
L1	S 12°37'48" W	95.76
L2	S 47°36'37" W	30.45
L3	S 12°37'48" W	95.76
L4	S 12°37'48" W	95.76
L5	S 22°21'01" E	30.45
L6	S 48°19'28" W	25.27
L7	N 89°35'06" E	23.00
L8	N 89°35'06" E	13.00
L9	N 89°35'06" E	6.34
L10	N 62°54" E	23.00
L11	N 62°54" E	23.00
L12	N 12°41'04" E	14.20
L13	S 77°18'56" E	23.00
L14	S 77°18'56" E	23.00
L15	S 77°18'56" E	5.04
L16	S 12°37'48" W	3.46
L17	S 77°22'12" E	23.00
L18	S 77°22'12" E	23.00
L19	S 77°22'12" E	5.00
L20	S 12°37'48" W	15.76
L21	N 89°35'06" E	23.00
L22	N 12°37'48" E	21.54
L23	S 89°35'06" E	5.00
L24	S 77°22'12" E	23.00
L25	S 77°22'12" E	41.04
L26	N 12°41'04" E	62.77
L27	S 36°59'13" E	30.09
L28	S 36°59'13" E	25.63
L29	S 36°59'13" E	26.16
L30	N 77°18'56" E	35.14
L31	S 19°28'19" E	44.91
L32	S 12°41'04" E	44.91
L33	N 77°22'12" E	8.03
L34	S 62°54" E	42.26
L35	S 89°35'06" E	47.87
L36	S 89°35'06" E	46.62
L37	S 77°22'12" E	48.83
L38	N 62°54" E	42.26
L39	S 77°22'12" E	46.00
L40	S 77°22'12" E	34.00
L41	S 12°37'48" W	71.54
L42	S 12°37'48" W	48.00
L43	S 12°37'48" W	33.00
L44	N 12°41'04" E	10.00

LEGEND

- BOUNDARY
- ROW LINE
- LOT LINE
- PROPERTY LINE ELIMINATED BY THIS PLAT
- EASEMENT
- ADJACENT PROPERTY LINE
- ⊕ FOUND 5/8" REBAR WITH ALUMINUM CAP BEARING NMPS #11000.
- SET 5/8" REBAR WITH ALUMINUM CAP BEARING NMPS #11000.

Scale 1" = 100 ft



SHEET 2 OF 3
community sciences corporation
LAND PLANNING P.O. Box 1328 ENGINEERING CORRAL, N.M. 87048 SURVEYING

NOTE: FOR LINE AND CURVE TABLES
SEE SHEET 2 OF 3.

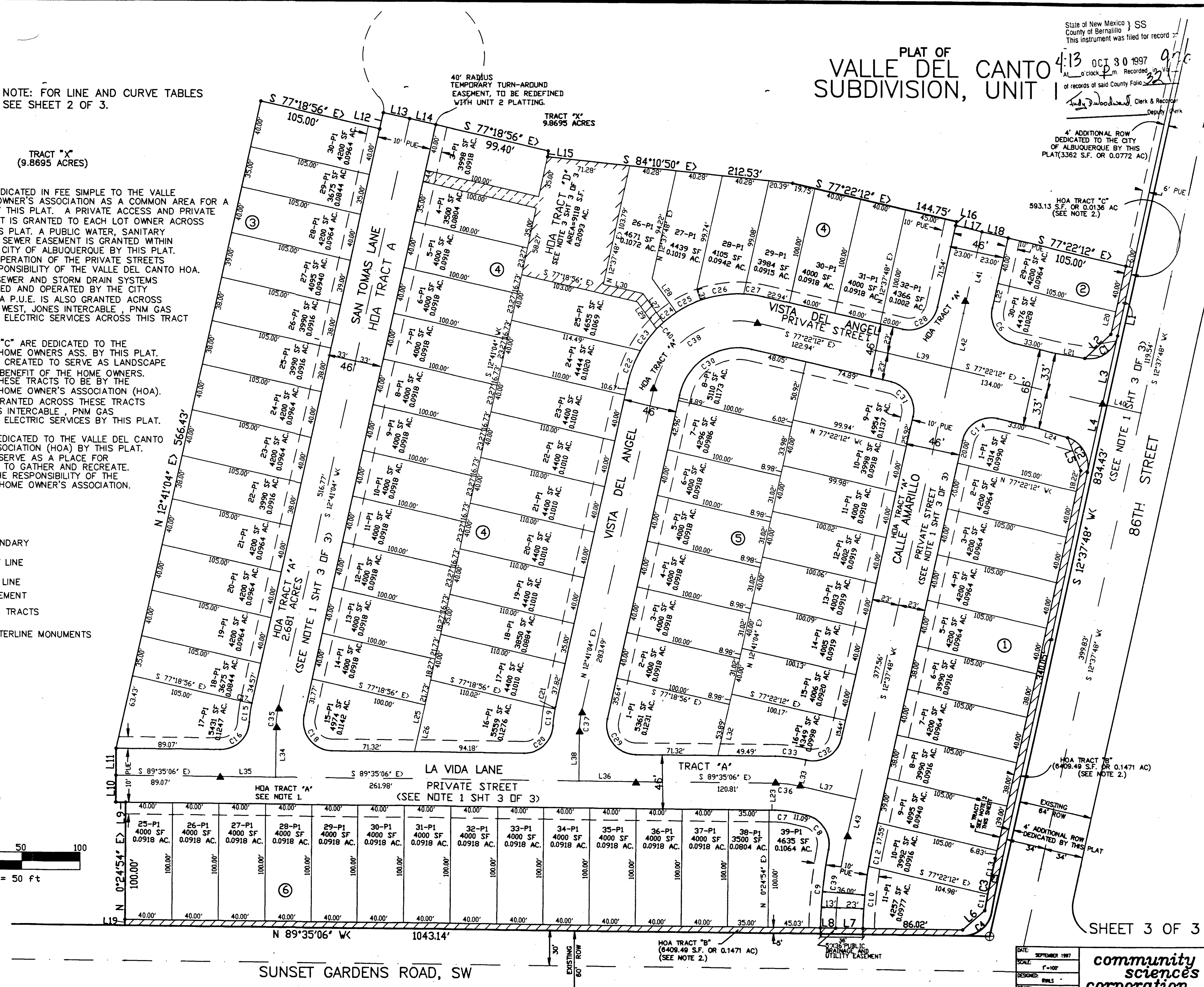
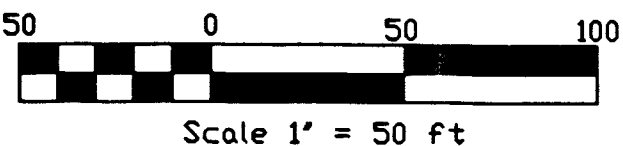
TRACT "X"
(9.8695 ACRES)

NOTES

- TRACT "A" IS DEDICATED IN FEE SIMPLE TO THE VALLE DEL CANTO HOME OWNERS ASSOCIATION AS A COMMON AREA FOR A PRIVATE STREET BY THIS PLAT. A PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT IS GRANTED TO EACH LOT OWNER ACROSS THIS TRACT BY THIS PLAT. A PUBLIC WATER, SANITARY SEWER AND STORM SEWER EASEMENT IS GRANTED WITHIN TRACT "A" TO THE CITY OF ALBUQUERQUE BY THIS PLAT. MAINTENANCE AND OPERATION OF THE PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE VALLE DEL CANTO HOA. WATER, SANITARY SEWER AND STORM DRAIN SYSTEMS SHALL BE MAINTAINED AND OPERATED BY THE CITY OF ALBUQUERQUE. A P.U.E. IS ALSO GRANTED ACROSS THIS TRACT TO US WEST, JONES INTERCABLE, PNM GAS SERVICES AND PNM ELECTRIC SERVICES BY THIS PLAT.
- TRACT "B" AND "C" ARE DEDICATED TO THE VALLE DEL CANTO HOME OWNERS ASS. BY THIS PLAT. THESE TRACTS ARE CREATED TO SERVE AS LANDSCAPE BUFFERS FOR THE BENEFIT OF THE HOME OWNERS. MAINTENANCE OF THESE TRACTS TO BE BY THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION (HOA). A P.U.E. IS ALSO GRANTED ACROSS THESE TRACTS TO US WEST, JONES INTERCABLE, PNM GAS SERVICES AND PNM ELECTRIC SERVICES BY THIS PLAT.
- TRACT "D" IS DEDICATED TO THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION (HOA) BY THIS PLAT. IT IS CREATED TO SERVE AS A PLACE FOR THE HOME OWNERS TO GATHER AND RECREATE. MAINTENANCE IS THE RESPONSIBILITY OF THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION.

LEGEND:

- BOUNDARY
- ROW LINE
- LOT LINE
- EASEMENT
- HOA TRACTS
- CENTERLINE MONUMENTS



NOTE: FOR LINE AND CURVE TABLES
SEE SHEET 2 OF 3.

TRACT "X"
(9.8695 ACRES)

NOTES

1. HOA TRACT "A" IS CREATED TO SERVE & WILL BE MAINTAINED BY THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION (HOA). A PRIVATE ACCESS AND DRAINAGE EASEMENT IS GRANTED ACROSS THIS TRACT. A PUBLIC WATER SANITARY SEWER AND STORM DRAIN EASEMENT IS GRANTED TO THE CITY OF ALBUQUERQUE ACROSS THIS TRACT. MAINTENANCE OF THE PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE HOA. WATER, SANITARY SEWER AND STORM DRAIN SYSTEMS SHALL BE MAINTAINED BY THE CITY OF ALBUQUERQUE. A P.U.E. IS ALSO GRANTED ACROSS THIS TRACT.

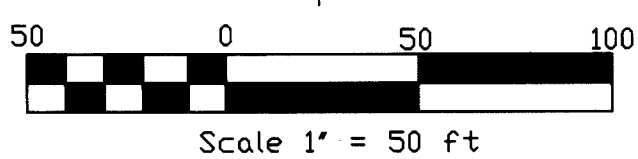
2. HOA TRACTS "B" & "C" ARE CREATED TO SERVE AS LANDSCAPE BUFFERS TO BE OWNED AND MAINTAINED BY THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION (HOA).

3. HOA TRACT "D" IS CREATED TO SERVE THE VALLE DEL CANTO HOA. IT IS TO BE OWNED AND MAINTAINED BY THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION (HOA).

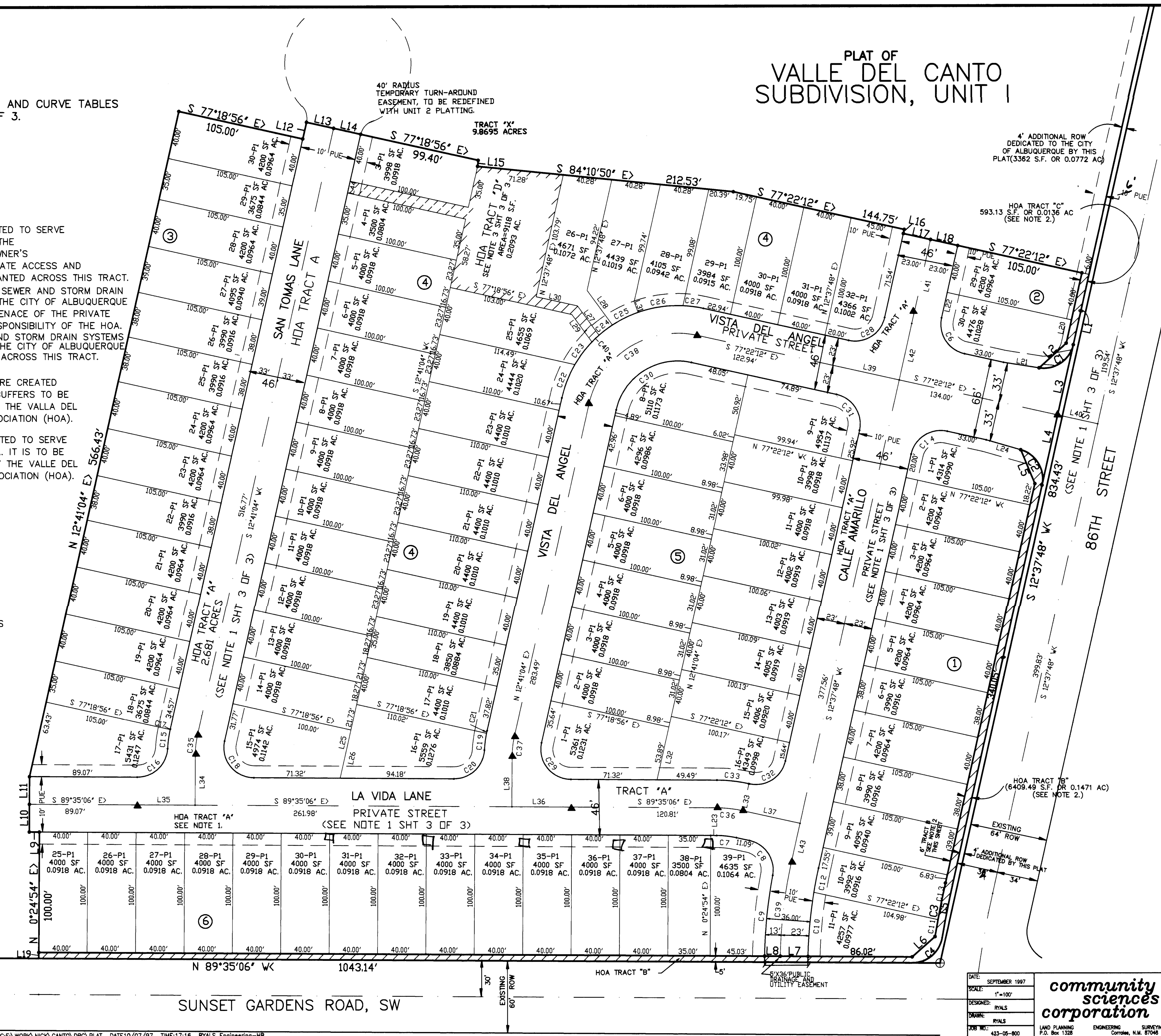
LEGEND:

- BOUNDARY
- ROW LINE
- LOT LINE
- EASEMENT
- HOA TRACTS
- CENTERLINE MONUMENTS

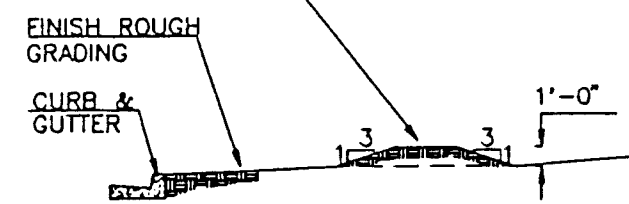
577681



SHEET 3 OF 3



TEMPORARY EROSION CONTROL BERM
COMPACT BERM TO 90% OF OPTIMUM
USING PLACEMENT EQUIPMENT WHEELS
AS REQUIRED



EROSION CONTROL BERM
TYPICAL SECTION THROUGH BERM N.T.S.

EROSION CONTROL BERMS ARE TO BE
INSTALLED ON ALL LOTS ADJACENT TO
THE PROPOSED STREETS OF THIS
PROJECT, AND FOR THE 1ST 25' BACK
FROM THE CURB ON EVERY FIFTH LOT

CONSTRUCTION NOTES

- BACKYARDS OF LOTS 1 THRU 25, BLOCK 2 DRAIN
TO ALLEY AT LOW POINT OF BACKYARD.

DRAINAGE BASIN NOTES

- BASIN I INCLUDES BACKYARDS OF LOTS 1 THRU 25, BLOCK 2
TOTAL BASIN DISCHARGE IS 3.75 CFS TO THE ALLEY.
- BASIN II DISCHARGES 15 CFS TO 86TH STREET VIA VISTA
DEL ANGEL. THE REMAINDER FLOWS TO BASIN I ON CALLE
AMARILLO.
- BASIN III DISCHARGES 57.6 CFS TO SUNSET GARDENS
VIA CALLE AMARILLO.

SEE SPECIAL TYPICAL LOT DETAIL
FOR GRADING LOTS ALONG ALLEY

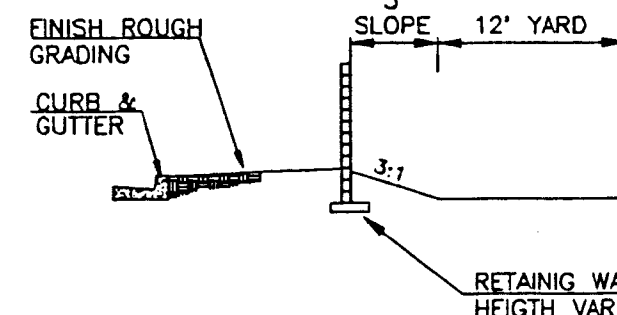
IF CMU WALLS ARE LATER CONSTRUCTED
AT ALLEY (INSTEAD OF FENCES), TURN
2 CMU SIDEWAYS AT GRADE EACH LOT
TO PERMIT DRAINAGE TO ALLEY.

FOR DRAINAGE AT ALLEY, CONSTRUCT
WOOD FENCE W/ VERTICAL BOARDS
STAGGERED INSIDE & OUTSIDE OF
STRINGER, OR OMIT BOTTOM 6' OF
1 BOARD EVERY 8 FT.

WOOD FENCE AT
ALLEY PL, TYP

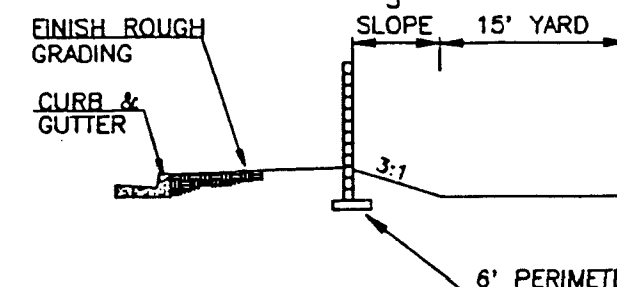
WOOD FENCE @ PL
ABOVE RETAINING
WALL, LOTS 21-25
SEE DETAIL THIS SHEET

COMPACT SLOPE TO 90% OF OPTIMUM
USING PLACEMENT EQUIPMENT WHEELS
AS REQUIRED

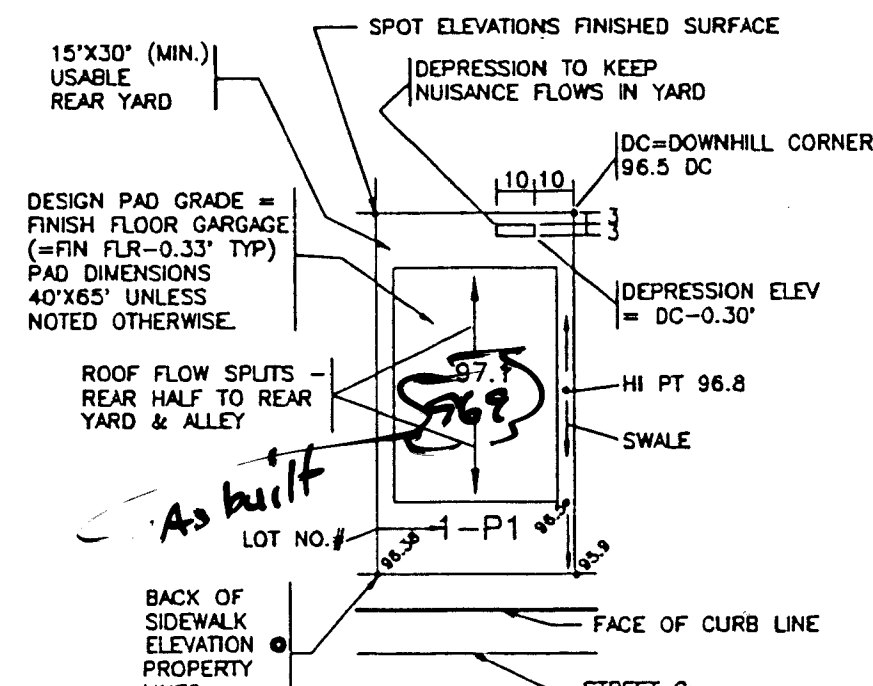


SECTION "A-A" NTS
(LOTS 9-17, BLOCK 6)

COMPACT SLOPE TO 90% OF OPTIMUM
USING PLACEMENT EQUIPMENT WHEELS
AS REQUIRED

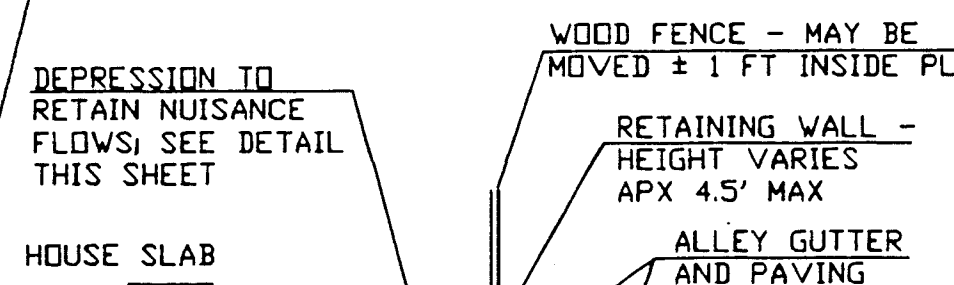


SECTION "B-B" NTS
(LOTS 5-8, BLOCK 6)



TYPICAL REAR YARD GRADING DETAIL

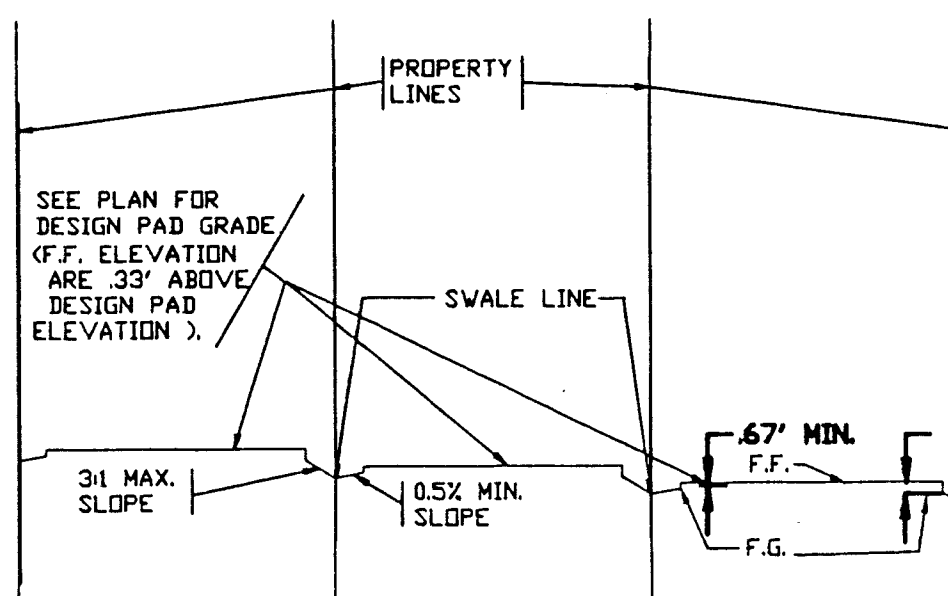
ALL LOTS DRAINING REAR OF LOT TO ALLEY
(LOTS 11-25 BLOCK 2) N.T.S.
GRADING SHOWN IS SCHEMATIC ONLY



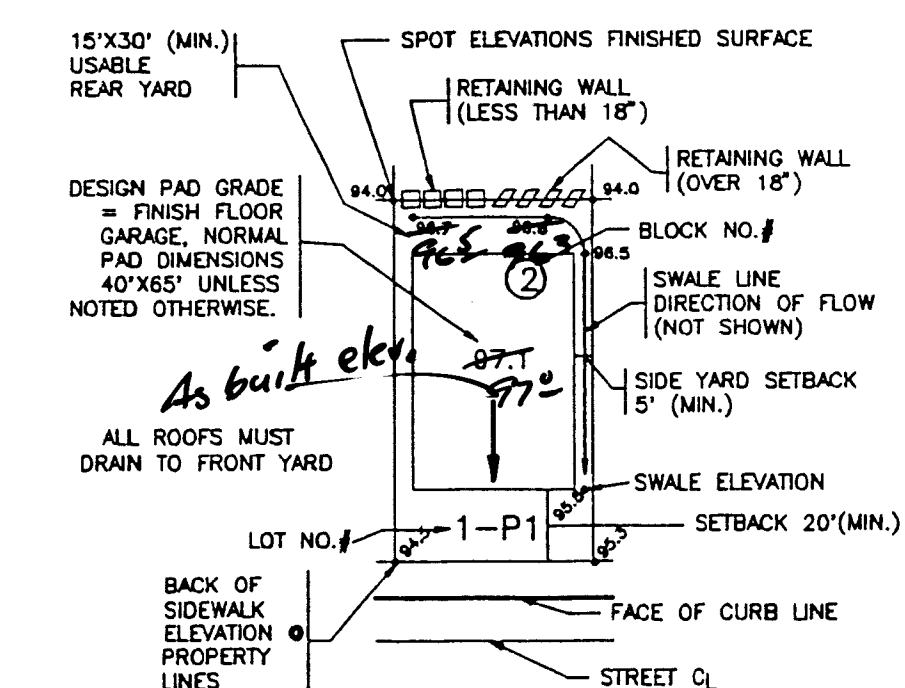
SECTION AT RETAINING WALL
LOTS 21-25, BLOCK 2 NO SCALE

GENERAL NOTES

- THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM
THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO COMPLY WITH EARTHWORK SPECIFICATIONS AS
NOTED IN THE SOILS REPORT SUPPLIED BY THE OWNER.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND
FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE
RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY
APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE
CONSTRUCTION SITE. EROSION CONTROL MEASURES ARE INTENDED TO
CONTROL MINOR FLOWS AND PROHIBIT THE RELEASE OF SEDIMENT INTO
ADJACENT STREETS AND PROPERTY. TEMPORARY EROSION CONTROL BERMS
SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL ON THIS
GRADING PLAN AT LOCATIONS SHOWN.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY BERMS
THROUGHOUT THE CONSTRUCTION PHASE. THE OWNER WILL MAINTAIN
BERMS AFTER COMPLETION AND ACCEPTANCE OF CONSTRUCTION.
- TEMPORARY EROSION CONTROL BERMS LOCATED ON INDIVIDUAL LOTS
SHALL REMAIN IN PLACE UNTIL THE CONSTRUCTION OF EACH
RESPECTIVE BUILDING IS COMPLETED ON A LOT BY LOT BASIS.
- THE TOLERANCES FOR ROUGH GRADING SHALL CONFORM TO THE
FOLLOWING:
PAD SUBGRADE: ± 0.1'
STREET SUBGRADE: ± 0.1'
ALL OTHER AREAS: ± 0.3'
- THERE ARE EXISTING WALLS LOCATED ADJACENT TO THIS PROJECT. ANY
WALLS DAMAGED OR REMOVED BY THE CONTRACTOR DURING THE
CONSTRUCTION ACTIVITIES SHALL BE REINSTALLED OR REPLACED BY
THE CONTRACTOR TO AN EQUAL OR BETTER CONDITION AT NO
ADDITIONAL COST TO THE OWNER.
- EARTH WORK OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE
EARTHWORK SPECIFICATIONS CONTAINED IN THE SOIL AND FOUNDATION
INVESTIGATION REPORT PREPARED BY FOXCONSULTING ENGINEERS & GEOLOGISTS
DATED OCTOBER 14TH, 1980.
- FOR ALL RETAINING WALLS GREATER THAN 18", A BUILDING PERMIT MUST BE
OBTAINED FROM THE CITY OF ALBUQUERQUE CODE ADMINISTRATION DIVISION.
EXCEED 10 FEET UNLESS A VARIANCE IS APPROVED THROUGH THE C.O.A. ZONING
HEARING EXAMINER
- MAXIMUM COMBINED HEIGHT OF GARDEN WALL PLUS RETAINING WALL MUST NOT
EXCEED 7 FEET UNLESS A VARIANCE IS APPROVED THROUGH THE C.O.A. ZONING
HEARING EXAMINER



TYPICAL LOT SECTION NTS



TYPICAL LOT DETAIL

DWG.F:\WORK\WICK\CANTO\DRG\DC460.DWG DATE:06/25/97 TIME:15:00 RYALS Engineering-HB

RYALS engineering & construction services
5301 Central, N.E. Albuquerque, NM 87108
(505) 256-4701 239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: VILLA DEL CANTO SUBDIVISION
GRADING AND DRAINAGE PLAN
(EAST SIDE)

Design Review Committee City Engineer Approval

Plan approved
C D R B

City Project No. 577681

Zone Map No. L-9

Sheet 5 OF 22

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS		DESIGN	
CONTRACTOR	DATE	CITY OF ALBUQUERQUE	DATE	FIELD NOTES	BY	NO.	SEAL	REVISIONS	DATE	CHECKED BY	DATE
RYALS	6/25/97	"NM47-12" LOCATED 1200' NORTH OF	6/25/97								
STARTED BY	DATE	PHOENIX, ON MEDIAN OF 2ND STREET NW.	DATE								
ACCEPTANCE BY	DATE	ELEV. = 4967.899	DATE								
FIELD NOTES BY	DATE		DATE								
DRAWN BY	DATE		DATE								
CHECKED BY	DATE		DATE								
RECORDED BY	DATE		DATE								
NO.											

FUTURE VALLE DEL CANTO UNIT III

SCANNED BY
BY LASON

W PL

36' ROW @ END STUB STREET

6' BLOCK WALL
5' N.OF NORTH ROW LINE OF
SUNSET GARDENS RD

ELEV. 17.65

40' OPEN
TYPICAL

8" SUPPORT
CMU

SECTION D-D
1 INCH = 50 FEET

EMERGENCY SPILLWAY
@ STUB STREET

Diagram illustrating the cross-section (SECTION B-B) of a road profile. The profile shows a road surface with a 1% minimum compacted area (COMPACT 95% MIN) and a 1% minimum compacted area (COMPACT 95% MIN). The road surface is labeled "FINISH GRADE BEYOND" and "TOP OF WALL". The road is labeled "HC RAMP & SIDEWALK" and "VARIES - 13.5±". The road is labeled "ASPHALT" and "COMPACT 95% MIN". The road is labeled "SECTION B-B" and "1 INCH = 5 FOOT".

26.0'

2" ASPHALT
1500 PSI STABILITY

FINISH GRADE

12"

18"

8"

CONC HEADER CURB
4000 PSI CONCRETE

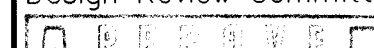
#4 @ 9" OC VERT

#3 #4 CONT HORIZ

COMPACT 95% MIN
UNDER AND 1 FOOT
BEYOND STRUCTURE

SECTION C-C
1 INCH = 1 FOOT

SCALE: HORIZ. 1"=50'

Design Review Committee 	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	

10-20-57
Robert Egan
ENGINEER'S SEAL

NO.	DATE
DESIGNED BY THG	
DRAWN BY MJC	

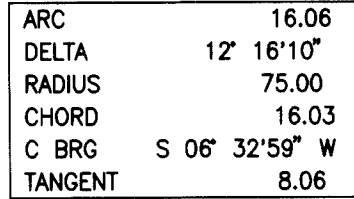
DATE	7-97
DATE	8-97

DESIGN

DESIGNED BY	THG
DRAWN BY	MJC

--	--	--	--	--

o./Day/Yr.



CURB CURVE DATA				(E)
NO.	RADIUS	ARC	DELTA	
E	20.00	33.81	96°51'54"	
F	20.00	29.02	83°08'06"	
G	20.00	31.42	90°00'00"	
H	20.00	31.42	90°00'00"	

- ① CONC. VALLEY GUTTER PER C.O.A. DWG. 2420. (UNLESS OTHERWISE SHOWN.)
- ② CONSTRUCT WHEELCHAIR RAMP PER DETAIL SHEET 14 OF 22
- ③ 50" TRANSITION PER C.O.A. DWG. 2401.
- ④ 4" WIDE CONC. S.W. BY OTHERS
- ⑤ CONSTRUCT STANDARD CURB & GUTTER PER C.O.A. DWG #2415.
- ⑥ CONSTRUCT MOUNTABLE CURB & GUTTER PER C.O.A. DWG #2415.
- ⑦ ADJUST EXISTING M.H. RIM TO MATCH PAVEMENT GRADE.
- ⑧ TRANSITION MOUNTABLE TO STANDARD CURB PER DETAIL, SHT.14 OF 22.
- ⑨ TRANSITION MOUNTABLE TO STANDARD CURB AT WHEELCHAIR RAMP PER C.O.A. DWG. #2418.

E		F		G		H	
PT	FL	PT	FL	PT	FL	PT	FL
1	29.82	1	28.79	1	25.56	1	24.51
2	29.60	2	28.93	2	25.50	2	24.84
3	30.09	3	28.60	3	25.56	3	24.84

		0+00		1+00		2+00		3+00		4+00		5+00		6+00		7+00		8+00		9+00		10+00		11+00										
5150				5128.69		5128.44		5128.18		5127.93		5127.68		5127.42		5127.17		5126.92		5126.66		5126.41		5126.16		5125.91		5125.13		SAN TOMAS LANE, W. FLOWLINE ELEVATIONS				5150
5145																																	5145	
5140																																	5140	
5135																																	5135	
5130																													CENTERLINE STATIONING				5130	
5125																																	5125	
5120																																	5120	
5115																																	5115	
5110																																	5110	

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE		
SAS MANHOLE		
NEW CURB AND GUTTER		
50' TRANSITION CROWN-NO CROWN		
VALLEY GUTTER		
WHEELCHAIR RAMP		
TEMPORARY PAVING		

DWG:\WORK\NICK\CANTO\CDTOMASP DATE:0/21/97 TIME:09:16 RYALS Engineering-HE

RYALS	engineering & construction services
5301 Central, N.E.	Albuquerque, NM 87108
(505) 256-4701	239-4726 mobile telephone

CITY OF ALBUQUERQUE	
PUBLIC WORKS DEPARTMENT	
ENGINEERING DEVELOPMENT GROUP	
TITLE:	VILLA DEL CANTO SUBDIVISION, UNIT I PAVING PLAN AND PROFILE STA. 0+00.00-6+79.17 SAN TOMAS LANE

Design Review Committee	City Engineer Approval
-------------------------	------------------------

APPROVED

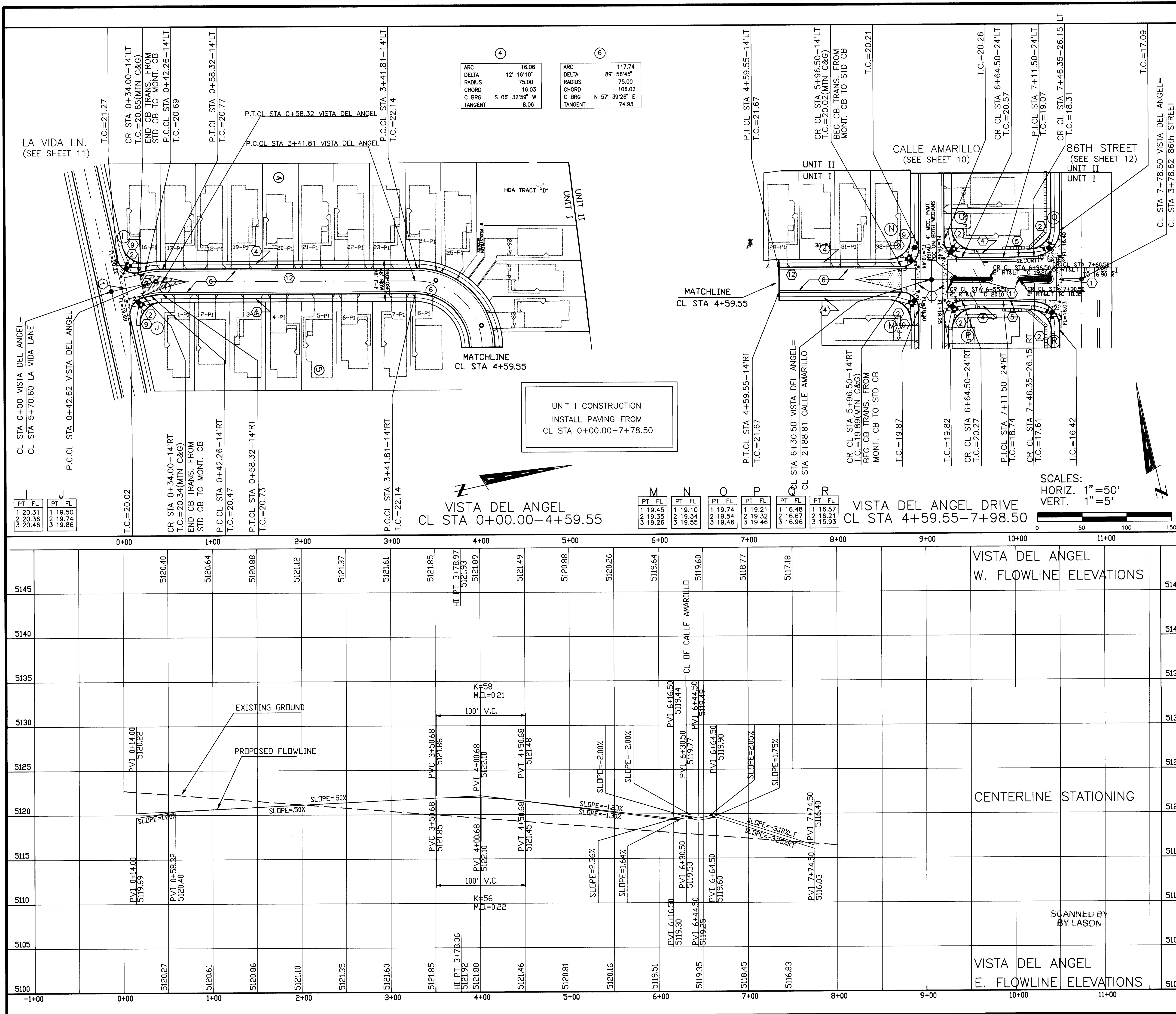
NOV - 8 1964

DESIGN
REVIEW OFFICER

City Project No. 576681

Zone Map No.
L-9

Sheet	Of
8	22



CURB CURVE DATA			
NO.	RADIUS	ARC	DELTA
I	20.00	31.41	90°00'00"
J	20.00	31.42	90°00'00"
M	20.00	31.42	90°00'00"
N	20.00	31.42	90°00'00"
O	20.00	31.42	90°00'00"
P	20.00	31.42	90°00'00"
Q	30.00	45.27	86°27'58"
R	30.00	45.27	86°27'58"

CONSTRUCTION NOTES:

- ① CONC. VALLEY GUTTER PER C.O.A.
DWG. 2420. (UNLESS OTHERWISE
SHOWN.)
- ② CONSTRUCT WHEELCHAIR RAMP PER
DETAIL SHEET 14 OF 22
- ③ 50' TRANSITION PER C.O.A.
DWG. 2401.
- ④ 4' WIDE CONC. S.W. BY OTHERS
- ⑤ CONSTRUCT STANDARD CURB &
GUTTER PER C.O.A. DWG. #2415.
- ⑥ CONSTRUCT MOUNTABLE CURB &
GUTTER PER C.O.A. DWG. #2415.
- ⑦ ADJUST EXISTING M.H. RIM
TO MATCH PAVEMENT GRADE.
- ⑧ TRANSITION MOUNTABLE TO STANDARD
CURB PER DETAIL, SHT. 14 OF 22
- ⑨ TRANSITION MOUNTABLE TO STANDARD CURB
AT WHEELCHAIR RAMP PER C.O.A. DWG. #2418
- ⑩ END 4' WIDE CONC. S/W, BEGIN 6'
WIDE PEDESTRIAN TRAIL
- ⑪ CONSTRUCT MEDIAN CURB & GUTTER
PER C.O.A. STD DWG. #2415. INSTALL
4" MED. PVMT. PCC BRICK PATTERN
- ⑫ INSTALL RESIDENTIAL PAVING PER
DETAIL, SHT 14 OF 22.

LEGEND

DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE		
SAS MANHOLE		
NEW CURB AND GUTTER		
EXISTING CURB AND GUTTER		
50' TRANSITION CROWN-NO CROWN		
VALLEY GUTTER		
WHEELCHAIR RAMP		

DWG-F:\WORK\NICK\CANTO\CANTO1\ANGELP DATE10/21/97 TIME:10:01 RYALS Engineering-H

RYALS	engineering & construction services
5301 Central, N.E. (505) 256-4701	Albuquerque, NM 87108 239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE:	VALLE DEL CANTO SUBDIVISION, UNIT 1 PAVING PLAN AND PROFILE STA. 0+00.00-7+78.50 VISTA DEL ANGEL
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Design Review Committee	City Engineer Approval
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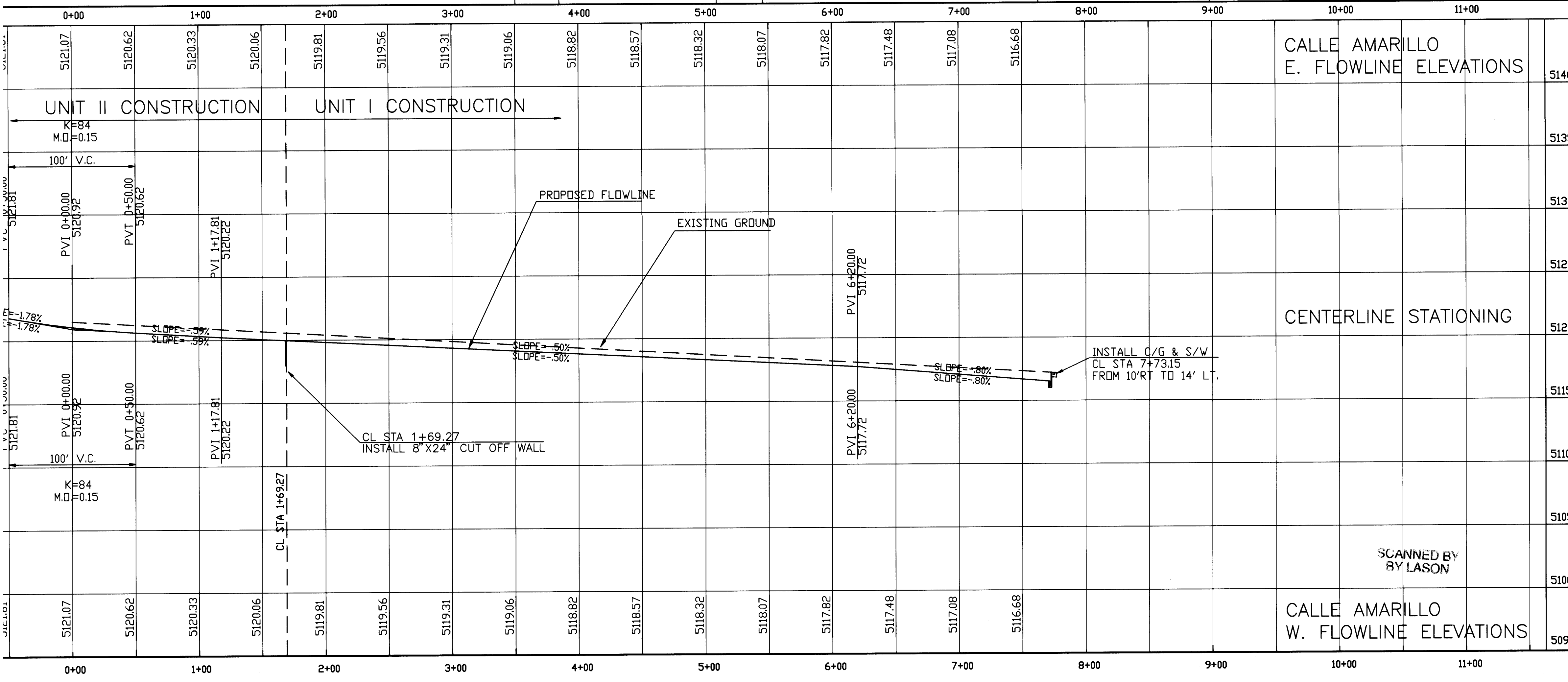
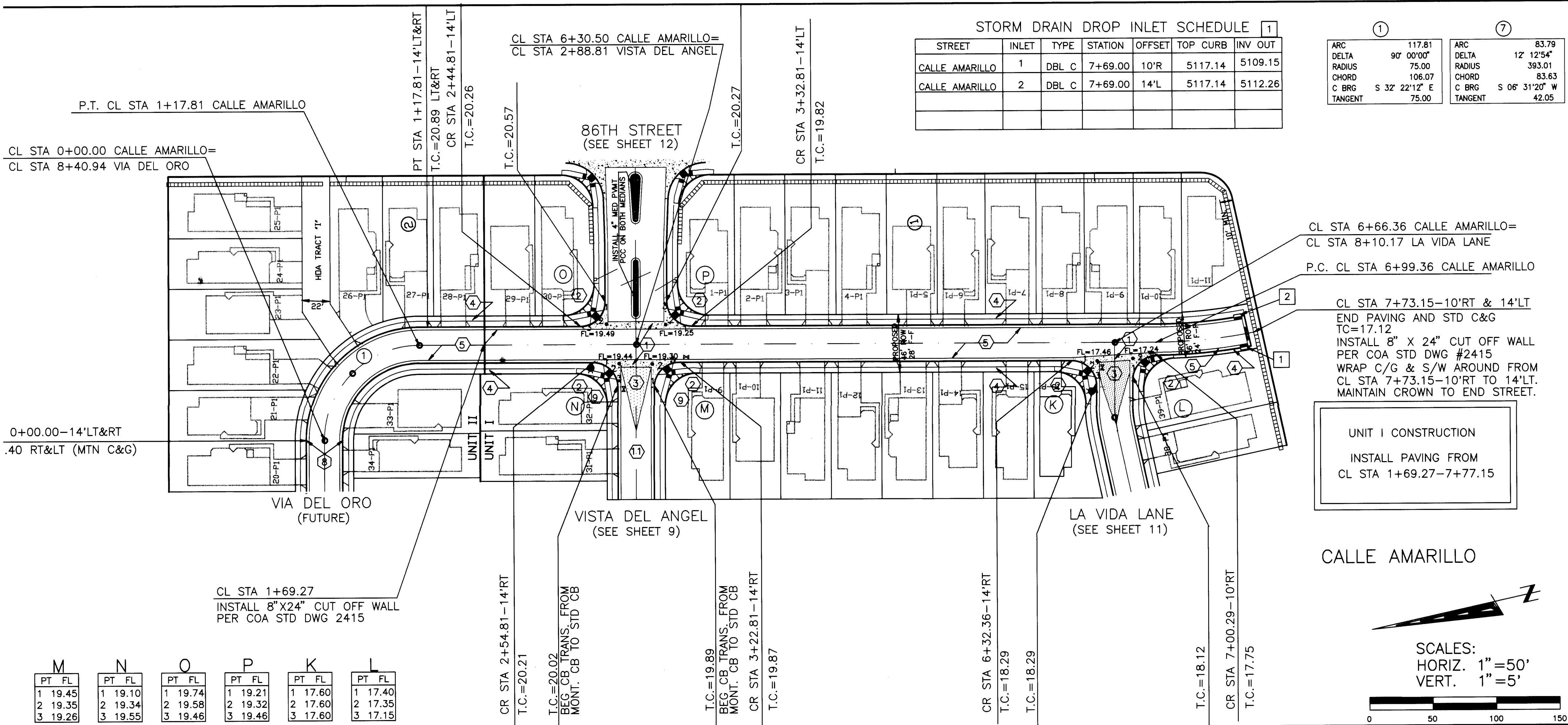
APPROVED

NOV - 3 1997

DESIGN
REVIEW COMMITTEE

City Project No.	Zone Map No.	Sheet	Of
577681	L-9	9	22

CONTRACTOR Adel-Schwarz DATE 10-27-97 STAINED BY CSC DATE 10-27-97 INSPECTOR'S FIELD DATE 10-27-97 VERIFICATION BY CSC DATE 11-17-97 CORRECTED BY CS DATE 11-17-97 MICRO-FILM INFORMATION RECORDED BY _____ DATE _____ NO. _____		BENCH MARKS CITY OF ALBUQUERQUE SURVEY MONUMENT ACS CAP "7-K9" ELEV. = 5137.36		AS BUILT INFORMATION	
ENGINEER'S SEAL  <i>Robert R. HFB</i> 10-28-97		SURVEY INFORMATION FIELD NOTES NO. _____ BY _____ DATE _____		REMARKS REVISIONS DESIGN DESIGNED BY RBR, HFB, CC DATE _____ DRAWN BY _____ DATE _____	
NO. _____ DATE _____ BY _____		NO. _____ DATE _____ BY _____		NO. _____ DATE _____ BY _____	



AS BUILT INFORMATION

CONTRACTOR: *Hydro-Sys* DATE: *10/21/97*

INSPECTOR'S: *CSC* DATE: *10/21/97*

VERIFICATION BY: *Hydro-Sys* DATE: *10/21/97*

CITY OF ALBUQUERQUE SURVEY MONUMENT

DATE: *10-20-97*

ENGINEER'S SEAL

LEGEND

DESCRIPTION	PROPOSED	EXISTING
WATER VALVE		
FIRE HYDRANT		
STREET LIGHT		
STORM DRAIN MANHOLE		
MANHOLE		
CURB & GUTTER		
WATER LINE		
SEWER LINE		
STORM DRAIN		
POWER POLE W/ GUY WIRE		
VALLEY GUTTER		
WHEELCHAIR RAMP		

RYALS

5301 Central, N.E.

Albuquerque, NM 87108

(505) 256-4701

239-4726 mobile telephone

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

ENGINEERING DEVELOPMENT GROUP

TITLE: VALLE DEL CANTO SUBDIVISION UNIT I PAVING PLAN AND PROFILE STA. 1+69.27-7+83.15 CALLE AMARILLO

DESIGN REVIEW COMMITTEE

APPROVE

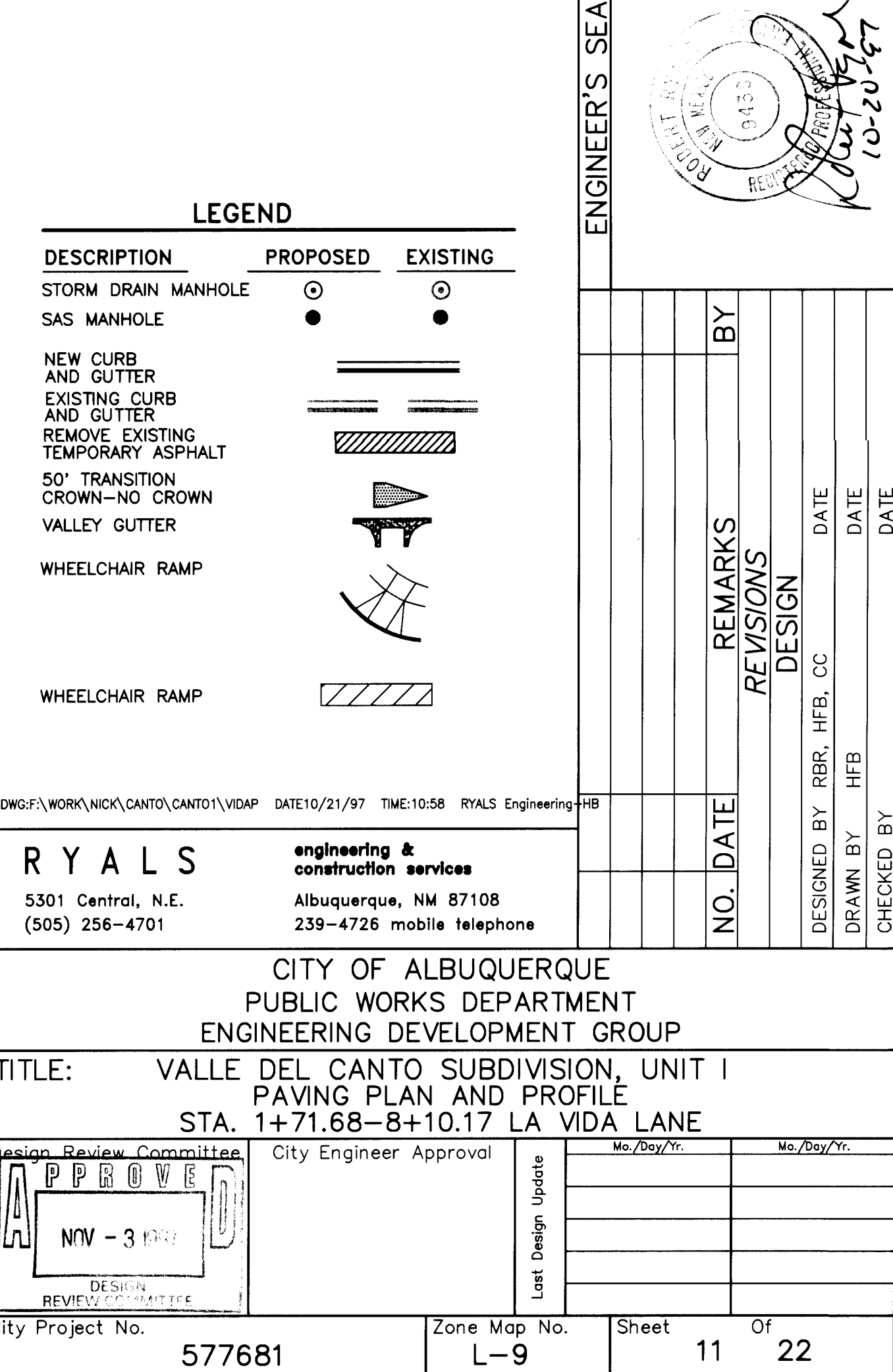
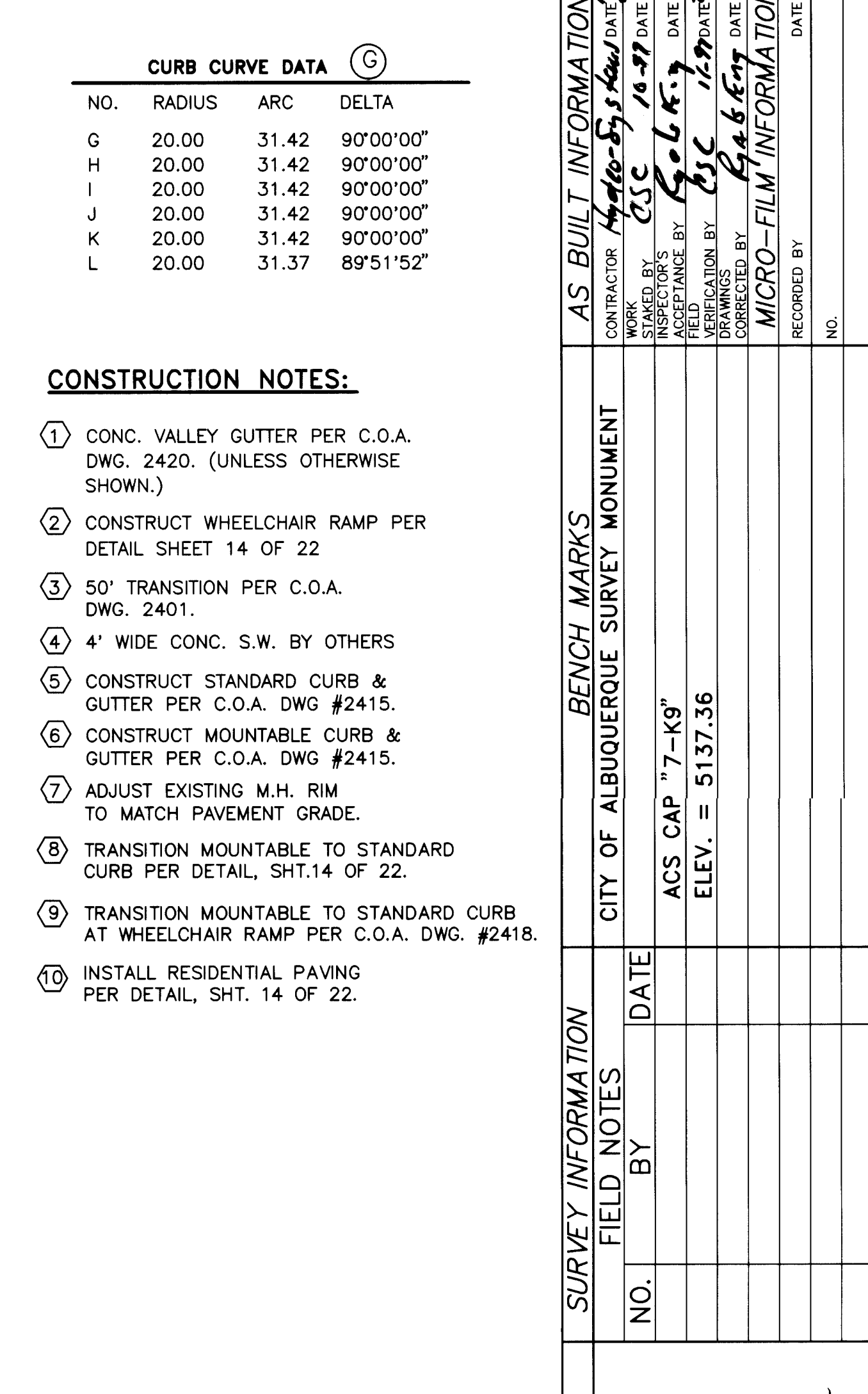
NOV - 3

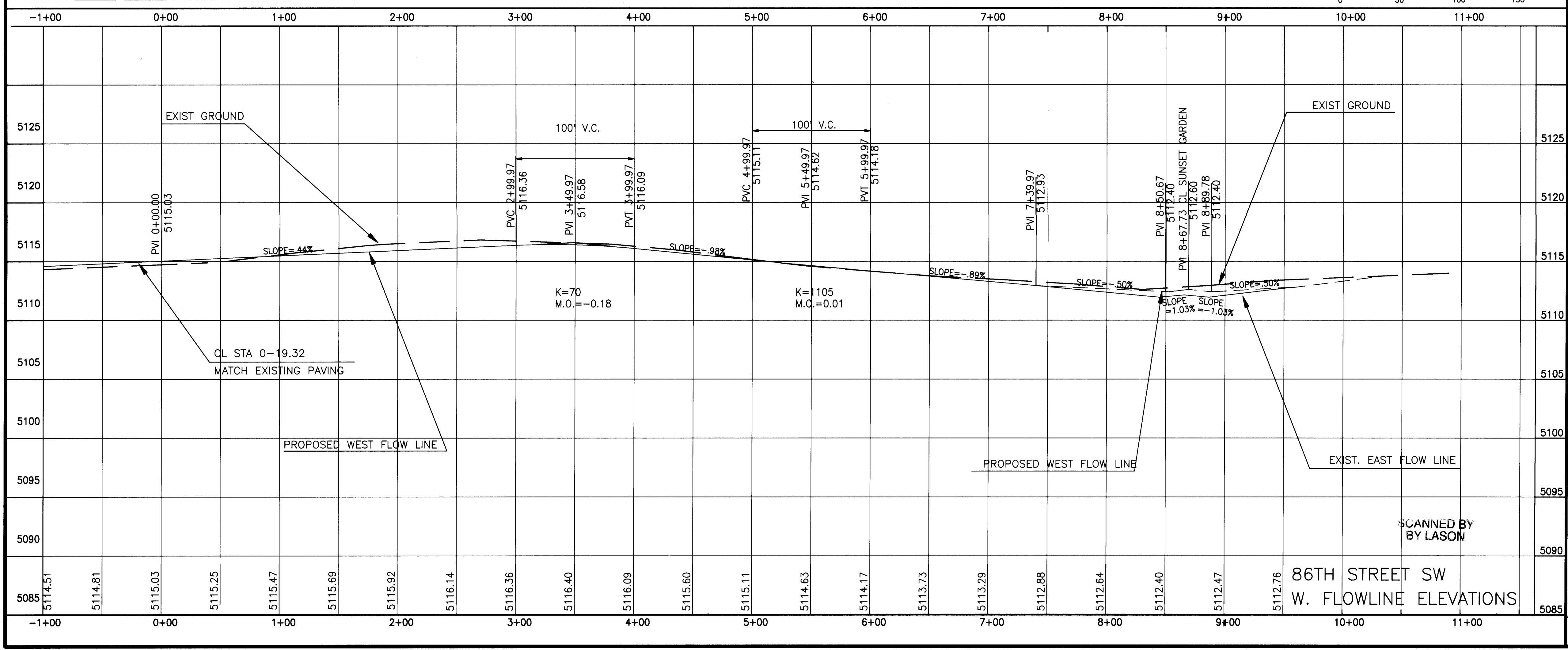
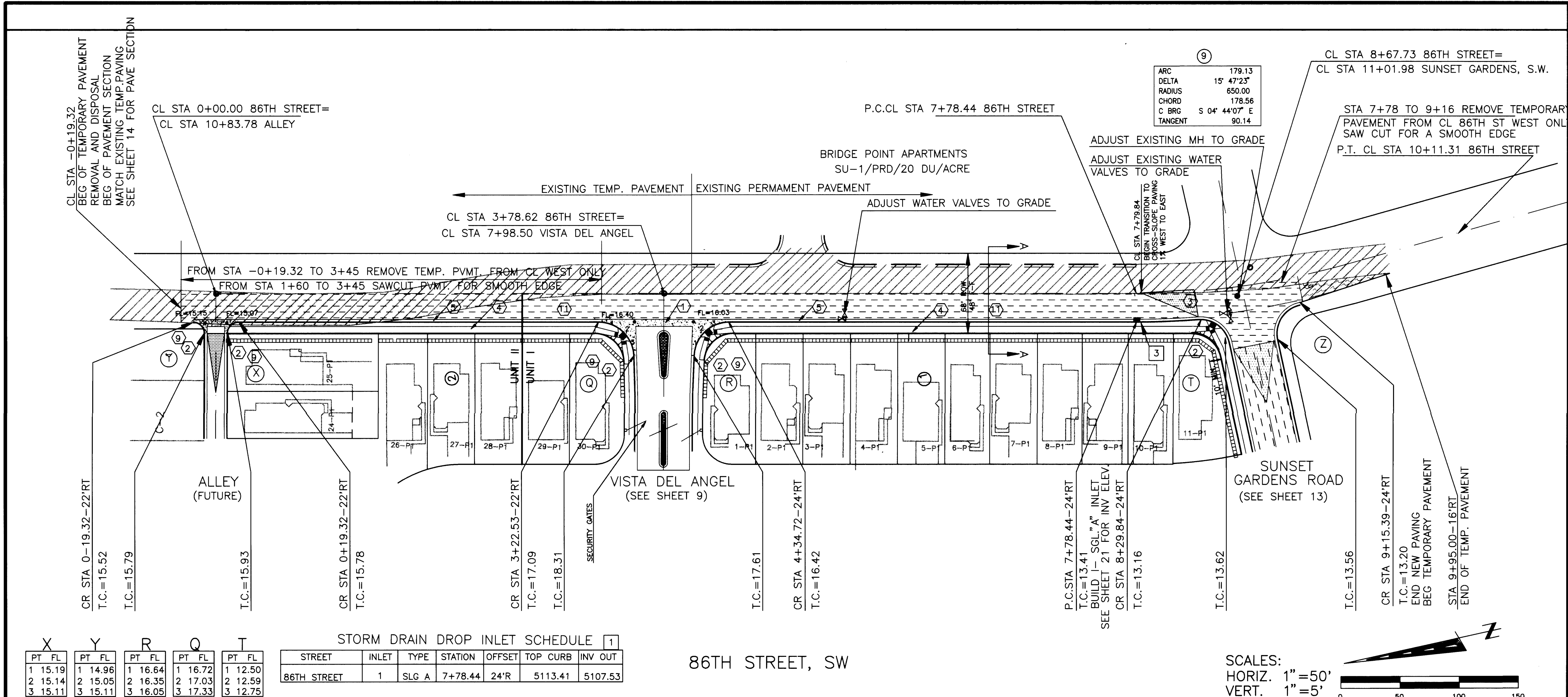
DESIGN REVIEW COMMITTEE

City Project No. 577681

Zone Map No. L-9

Sheet 10 Of 22





CURB CURVE DATA

NO.	RADIUS	ARC	DELTA
Q	30.00	45.27	86°27'58"
R	30.00	45.27	86°27'58"
T	25.00	35.88	82°14'09"
X	10.00	15.69	89°54'38"
Y	10.00	15.72	90°05'32"
Z	25.00	39.43	90°21'48"

CONSTRUCTION NOTES:

- CONC. VALLEY GUTTER PER C.O.A. DWG. 2420. (UNLESS OTHERWISE SHOWN.)
- CONSTRUCT WHEELCHAIR RAMP PER DETAIL SHEET 14 OF 22.
- 50' TRANSITION PER C.O.A. DWG. 2401.
- 6' WIDE CONC. S.W. PER STD DWG 2430
- CONSTRUCT STANDARD CURB & GUTTER PER C.O.A. DWG #2415.
- CONSTRUCT MOUNTABLE CURB & GUTTER PER C.O.A. DWG #2415.
- ADJUST EXISTING M.H. RIM TO MATCH PAVEMENT GRADE.
- TRANSITION MOUNTABLE TO STANDARD CURB PER DETAIL, SHT.14 OF 22.
- TRANSITION MOUNTABLE TO STANDARD CURB AT WHEELCHAIR RAMP PER C.O.A. DWG. #2418
- INSTALL ARTERIAL PAVING PER DETAIL, SHT. 14 OF 22.
- CONTRACTOR SHALL SUBMIT A STRIPING PLAN TO THE ENGINEER FOR APPROVAL. STRIPING PLAN TO INCLUDE STRIPING REQUIRED BY COA TRAFFIC ENGINEER FOR TRANSITION FROM TEMPORARY TO PERMANENT PAVEMENT SECTIONS, APPROACH AND DEPARTURE AND TRAFFIC DELINEATION WITHIN PERMANENT SECTIONS.

LEGEND

DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE	⊙	⊙
SAS MANHOLE	●	●
NEW CURB AND GUTTER	=====	
EXISTING CURB AND GUTTER		=====
EXISTING ASPHALT		
50' TRANSITION CROWN-NO CROWN		▲
VALLEY GUTTER		⌢
WHEELCHAIR RAMP		⌢
PERMANENT PAVEMENT		=====
REMOVE TEMP. PAVEMENT REPLACE W/PERMANENT PAVEMENT		

RYALS
engineering & construction services
5301 Central, N.E.
(505) 256-4701
239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VALLE DEL CANTO SUBDIVISION, UNIT I
PAVING PLAN AND PROFILE
STA.-0+19.32-9+15.39 86TH STREET, SW

APPROVED
NOV - 3 1997
DESIGN REVIEW COMMITTEE

AS BUILT INFORMATION

CONTRACTOR	DATE
Hydro Systems	10-27

BENCH MARKS

CITY OF ALBUQUERQUE SURVEY MONUMENT	DATE
ACS CAP "7-K9"	5137.36

SURVEY INFORMATION

NO.	BY	DATE

ENGINEER'S SEAL

REVISIONS

NO.	DATE	REMARKS	BY

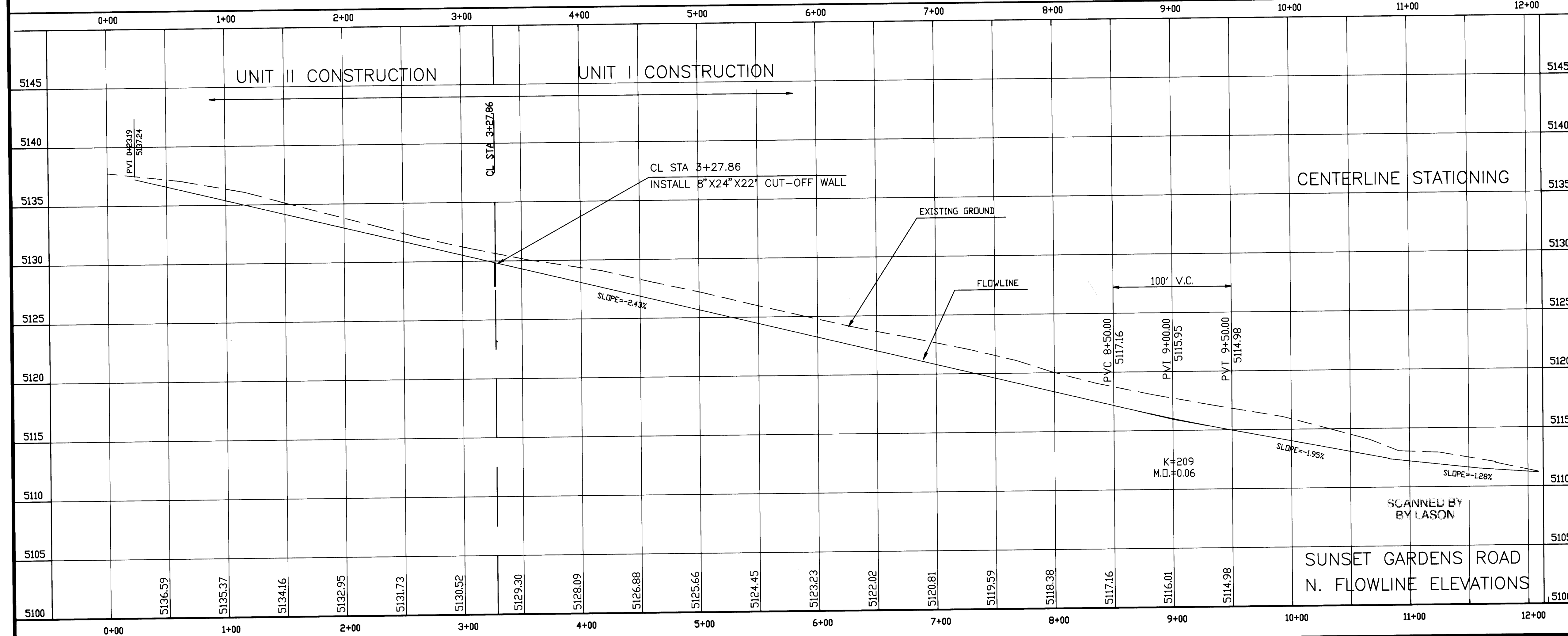
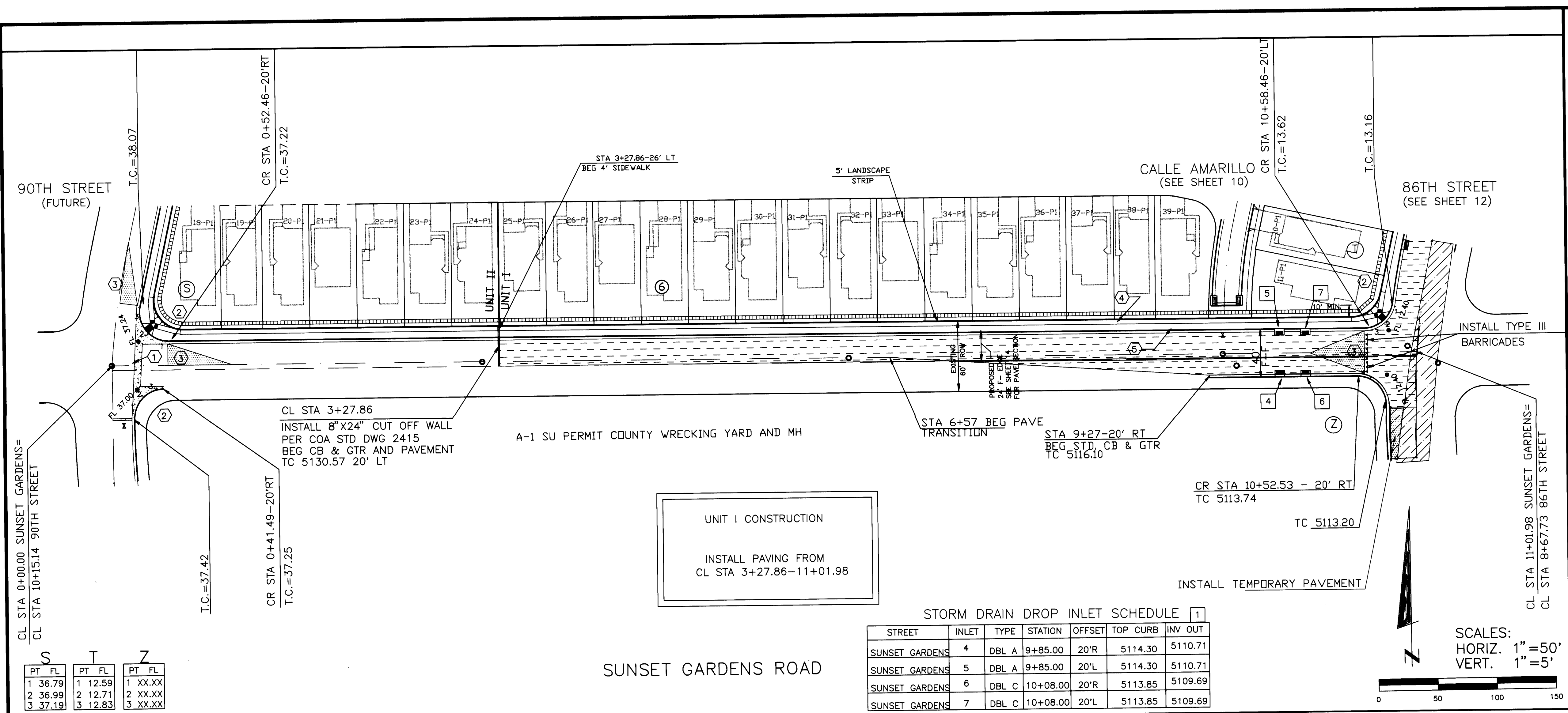
DESIGN

DESIGNED BY	DATE
RBR, HFB, CC	

CHECKED BY

DRAWN BY	DATE
HFB	

City Project No. 577681 **Zone Map No.** L-9 **Sheet** 12 **Of** 22



CURB CURVE DATA			
NO.	RADIUS	ARC	DELTA
S	25.00	42.88	98°16'06"
T	25.00	35.88	82°14'09"

- CONSTRUCTION NOTES:**
- 1 CONC. VALLEY GUTTER PER C.O.A. DWG. 2420. (UNLESS OTHERWISE SHOWN.)
 - 2 CONSTRUCT WHEELCHAIR RAMP PER DETAIL SHEET 14 OF 22.
 - 3 50' TRANSITION FROM 2% TO 1% SLOPE
 - 4 4' WIDE CONC. S.W.
 - 5 CONSTRUCT STANDARD CURB & GUTTER PER C.O.A. DWG #2415.
 - 6 CONSTRUCT MOUNTABLE CURB & GUTTER PER C.O.A. DWG #2415.
 - 7 ADJUST EXISTING M.H. RIM TO MATCH PAVEMENT GRADE.
 - 8 TRANSITION MOUNTABLE TO STANDARD CURB PER DETAIL, SHT.14 OF 22.
 - 9 TRANSITION MOUNTABLE TO STANDARD CURB AT WHEELCHAIR RAMP PER C.O.A. DWG. #2418.
 - 10 INSTALL PAVING PER DETAIL, SHT 14 OF 22.

STORM DRAIN DROP INLET SCHEDULE						
STREET	INLET	TYPE	STATION	OFFSET	TOP CURB	INV OUT
SUNSET GARDENS	4	DBL A	9+85.00	20'R	5114.30	5110.71
SUNSET GARDENS	5	DBL A	9+85.00	20'L	5114.30	5110.71
SUNSET GARDENS	6	DBL C	10+08.00	20'R	5113.85	5109.69
SUNSET GARDENS	7	DBL C	10+08.00	20'L	5113.85	5109.69

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE	⊙	⊙
SAS MANHOLE	●	●
NEW CURB AND GUTTER	—	—
EXISTING CURB AND GUTTER	—	—
REMOVE EXISTING TEMPORARY ASPHALT	▨	
50' TRANSITION CROWN-NO CROWN	▽	
VALLEY GUTTER	⌢	
WHEELCHAIR RAMP	⌢	
CATCH BASIN	⌢	
PERMANENT PAVEMENT	▨	

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VALLE DEL CANTO SUBDIVISION, UNIT I
PAVING PLAN AND PROFILE
STA. 3+27.86-11+01.98 SUNSET GARDENS ROAD

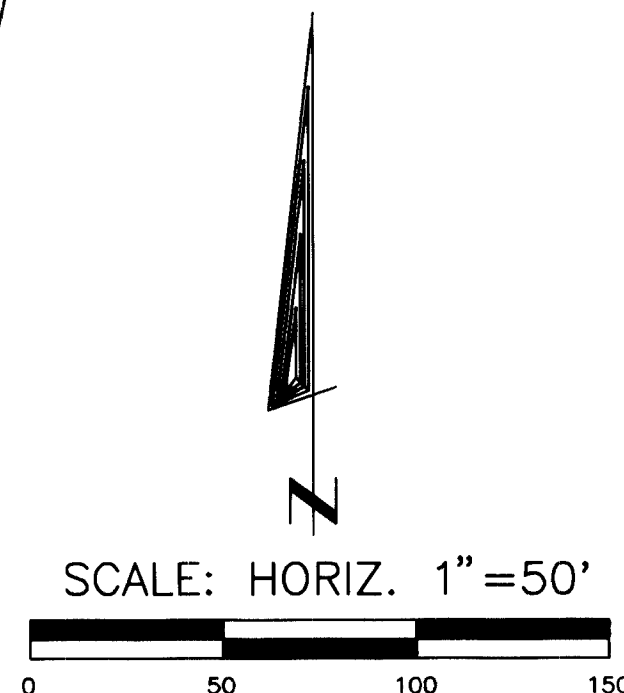
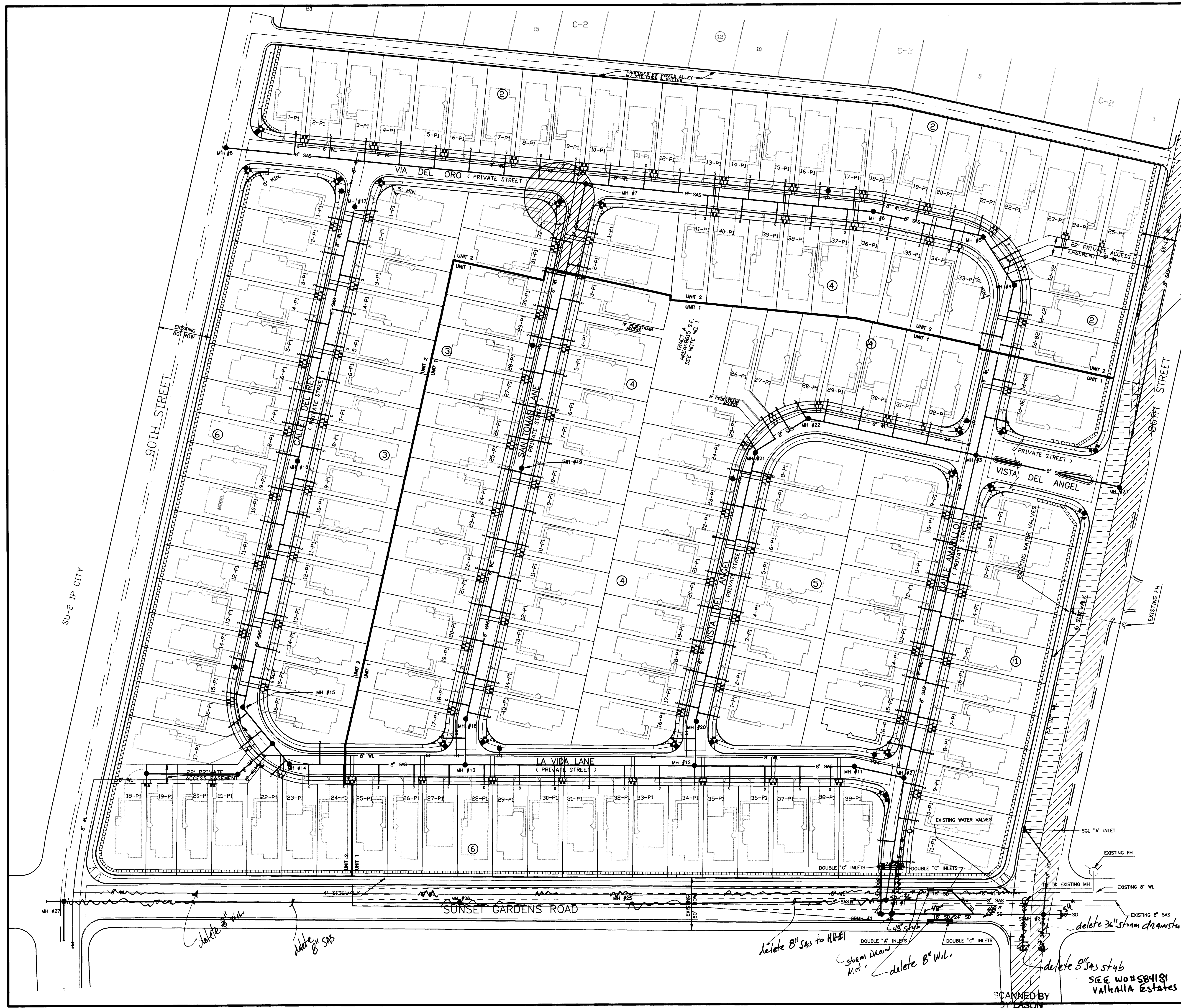
DESIGNED BY: RBR, HFB, CC
DRAWN BY: [Signature]
CHECKED BY: [Signature]

DATE: [Blank]
DATE: [Blank]
DATE: [Blank]

City Project No. 577681

Zone Map No. L-9

Sheet 13 of 22



RESTRAINED JOINT SCHEDULE	
FITTING	RESTRAINED LENGTH (ft)
4" GATE VALVE	39"
6" GATE VALVE	55"
8" GATE VALVE	72"
10" GATE VALVE	86"
11 1/4" BEND (6")	2'
11 1/4" BEND (8")	3'
22 1/2" BEND (6")	5'
22 1/2" BEND (8")	6'
45° BEND (6")	10'
45° BEND (8")	13'
90° BEND (6")	25'
90° BEND (8")	32'
ALL CAPS	
4" x 6" TEE	CONCRETE BLOCKING
4" x 8" TEE	RESTRAIN @ FITTING ONLY (BRANCH OR MAIN)
8" x 8" TEE	34' (4" SIDE)
8" x 8" TEE	RESTRAIN @ FITTING ONLY (BRANCH OR MAIN)
8" x 6" TEE	16' (6" SIDE)
8" x 6" REDUCER	25' (8" SIDE) OR 33' (6" SIDE)
6" x 6" TEE	RESTRAIN @ FITTING ONLY (BRANCH OR MAIN)
12" VALVE/CAP	65' EACH WAY
12" 45 VERTICAL BEND	27' EACH WAY
12" 22-1/2 VERTICAL BEND	13' EACH WAY
12" 11-1/4 VERTICAL BEND	6' EACH WAY

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
WATER VALVE		
FIRE HYDRANT		
SINGLE WATER SERVICE		
DOUBLE WATER SERVICE		
STREET LIGHT		
STORM DRAIN MANHOLE		
CATCH BASIN		
SAS MANHOLE		
SEWER SERVICE		
WATER LINE		
SEWER LINE		
STORM DRAIN		
PERMANENT PAVEMENT		
TEMPORARY PAVEMENT		
EXISTING CB & GTR.		

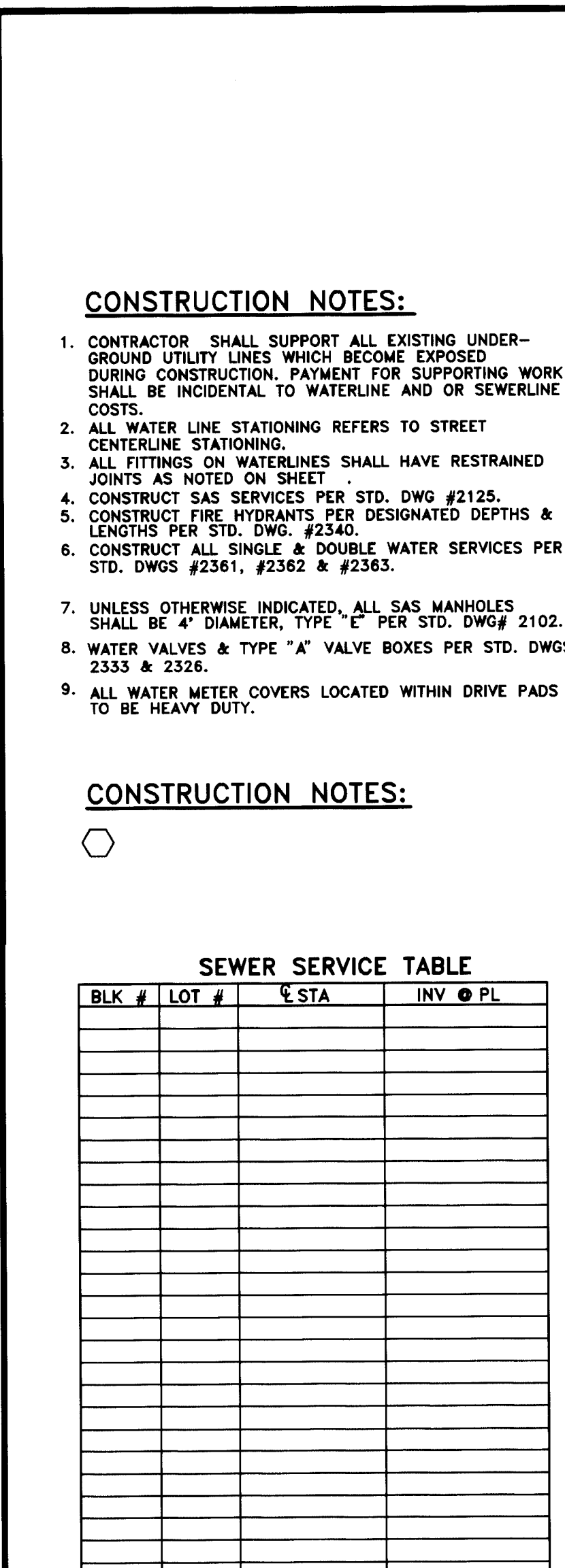
DWG: F:\WORK\NICK\CACTO\DRG\UTILITY DATE: 10/07/97 TIME: 13:33 RYALS Engineering-HB

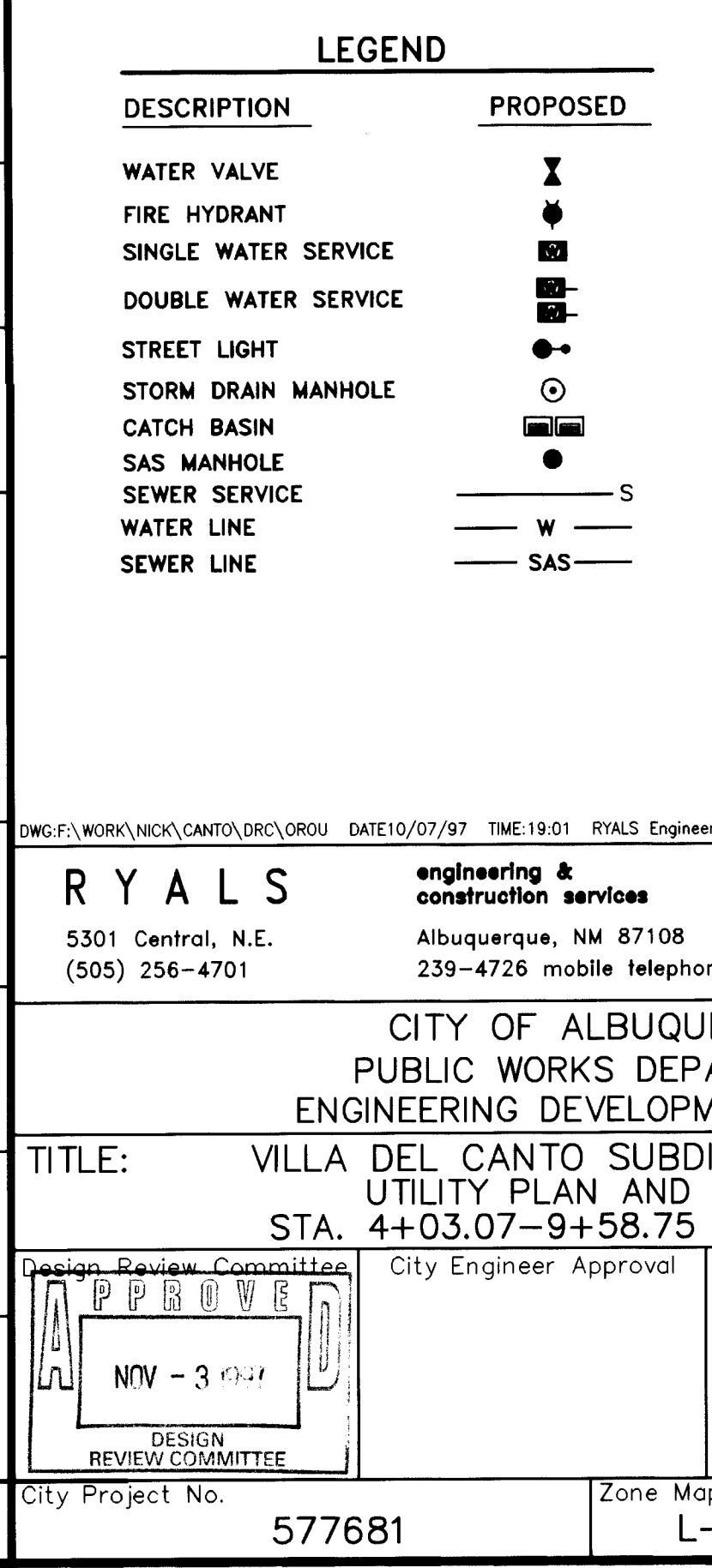
RYALS engineering & construction services
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(505) 256-4701 239-4726 mobile telephone

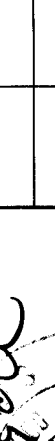
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: VALLE DEL CANTO SUBDIVISION UNIT I COMPOSITE UTILITY PLAN	
DESIGN REVIEW COMMITTEE	City Engineer Approval
NOV - 3 - 97	
City Project No. 577681	Zone Map No. L-9
Sheet 15	Of 22

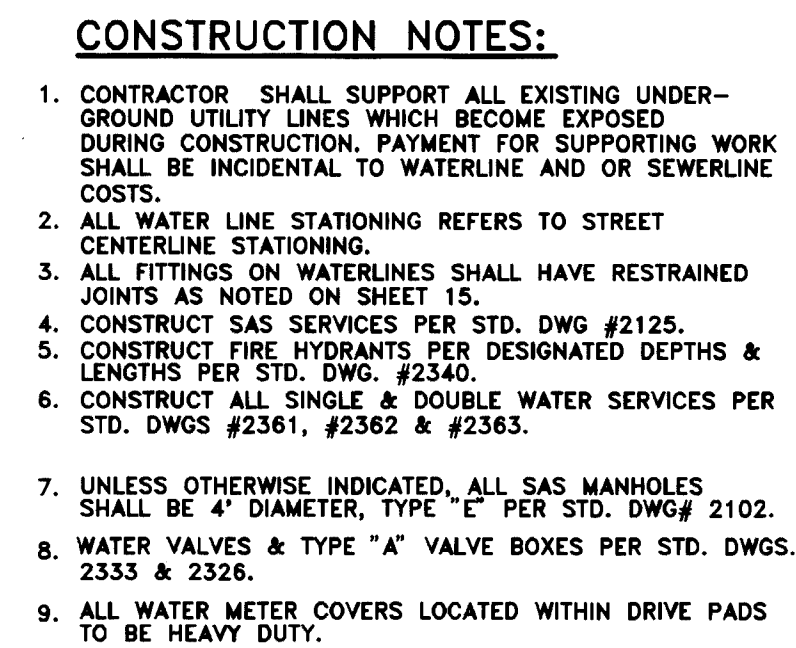
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	Hydrotech	CITY OF ALBUQUERQUE	SURVEY MONUMENT	FIELD NOTES	DATE	NO.	BY
WORK BY	CSC						
INSPECTED BY	CSC						
ACCEPTANCE BY	CSC						
DATE	10/27/97						
VERIFICATION BY	CSC						
DATE	11/19/97						
DRAWINGS	CSC						
CORRECTED BY	CSC						
DATE	11/19/97						
MICRO-FILM INFORMATION							
RECORDED BY							
DATE							

NO. DATE	REMARKS	BY
	REVISIONS	
	DESIGN	
DESIGNED BY RBR, HFB, CC	DATE	DATE
DRAWN BY HFB	DATE	DATE
CHECKED BY	DATE	DATE

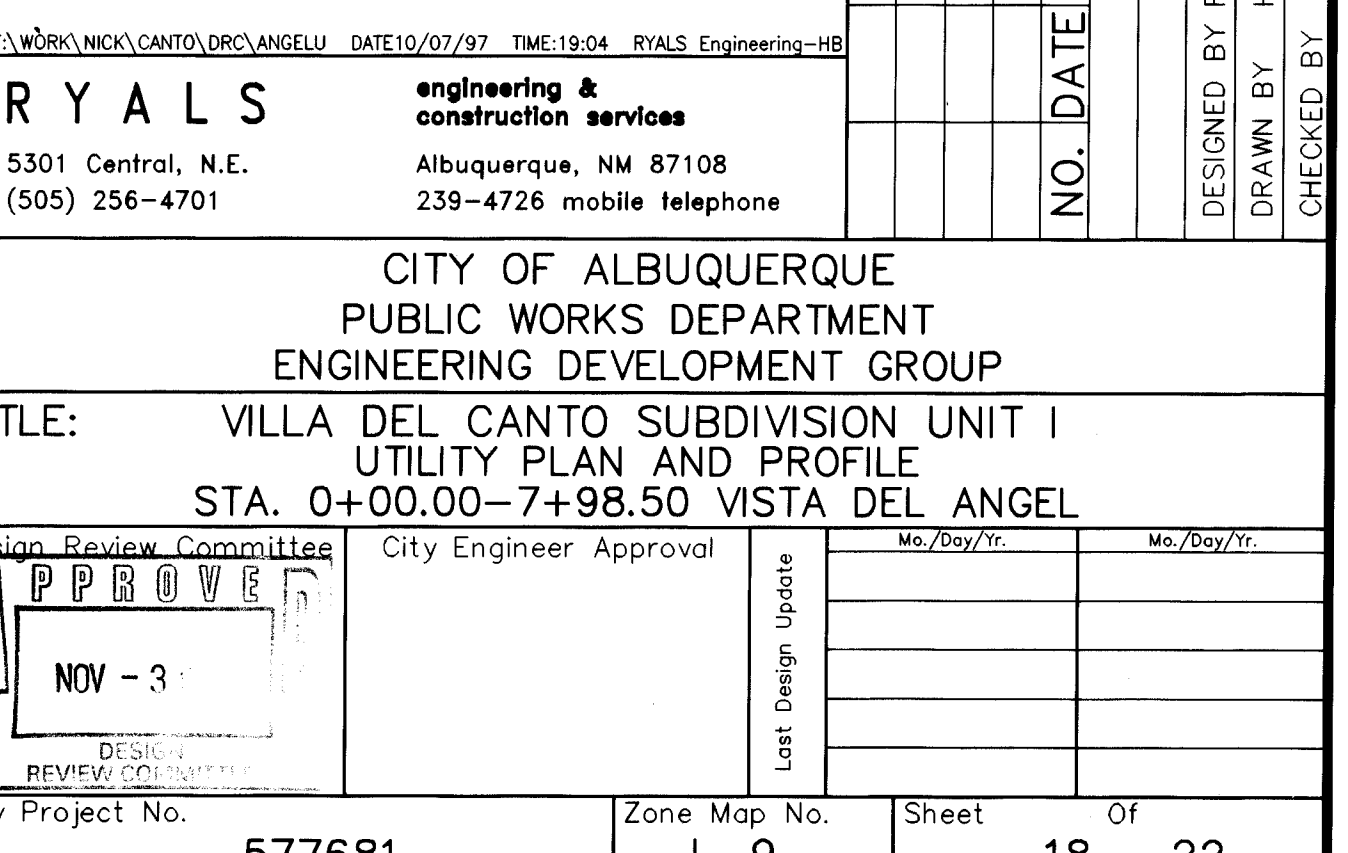


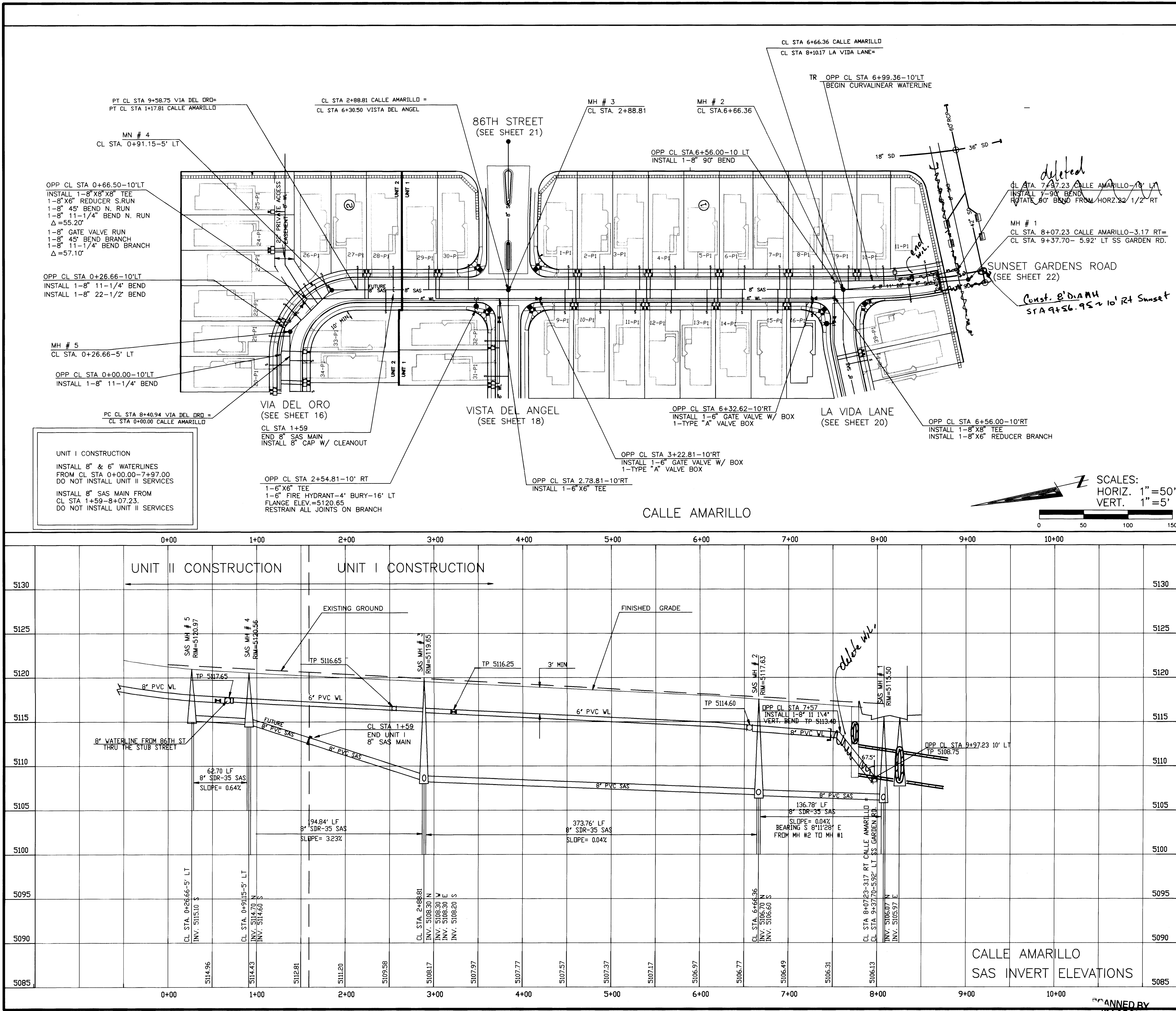


CONTRACTOR Hydro-Sol DATE 08/19/97 WORKING BY CSC DATE 10/12/97 INSPECTED BY Paul King DATE 10/12/97 ACCEPTANCE BY CSC DATE 11/19/97 VERIFICATION BY CSC DATE 11/19/97 DRAWINGS Paul King DATE 10/12/97 CORRECTED BY Paul King DATE 10/12/97 MICRO-FILM INFORMATION RECORDED BY _____ DATE _____ NO. _____		BENCH MARKS CITY OF ALBUQUERQUE SURVEY MONUMENT ACS CAP "7-K9" ELEV. = 5137.36		AS BUILT INFORMATION	
ENGINEER'S SEAL  10-20-97		SURVEY INFORMATION FIELD NOTES NO. _____ BY _____ DATE _____		BENCH MARKS CITY OF ALBUQUERQUE SURVEY MONUMENT ACS CAP "7-K9" ELEV. = 5137.36	
NO. _____ DATE _____ REMARKS _____ BY _____		NO. _____ BY _____		AS BUILT INFORMATION	
DESIGNED BY RBR, HFB, CC DRAWN BY HFB CHECKED BY _____ DATE _____ DATE _____ DATE _____		NO. _____ BY _____		AS BUILT INFORMATION	



LEGEND	
DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
TORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	_____ S
WATER LINE	_____ W
SEWER LINE	_____ SAS

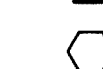




CONSTRUCTION NOTES:

- CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
- ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 15.
- CONSTRUCT SAS SERVICES PER STD. DWG #2125.
- CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2340.
- CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS #2361, #2362 & #2363.
- UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG #2102.
- WATER VALVES & TYPE "A" VALVE BOXES PER STD. DWGS. 2353 & 2352.
- ALL WATER METER COVERS LOCATED WITHIN DRIVE PADS TO BE HEAVY DUTY.

CONSTRUCTION NOTES:



SEWER SERVICE TABLE

BLK #	LOT #	CL STA	INV @ PL
4	33	1+50	16.70
2	28	1+59	16.70
2	29	1+99	16.50
2	30	2+44	16.30
5	9	3+52	15.70
1	1	3+55	15.70
5	10	3+92	15.50
1	2	3+95	15.50
5	11	4+32	15.30
1	3	4+35	15.30
5	12	4+72	15.10
1	4	4+75	15.00
5	13	5+12	14.90
1	5	5+15	14.90
5	14	5+52	14.70
1	6	5+55	14.70
5	15	5+92	14.50
1	7	5+95	14.50
5	16	6+30	14.30
1	8	6+32	14.30
1	9	6+71	14.00
1	10	7+11	13.60
6	39	7+40	13.40
1	11	7+73	13.10

LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
STORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	
WATER LINE	
SEWER LINE	

DWG: F:\WORK\NICK\CANTO\DRG\AMARU DATE: 10/07/97 TIME: 19:05 RYALS Engineering-HB

RYALS engineering & construction services
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(505) 256-4701 239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLA DEL CANTO SUBDIVISION, UNIT I
UTILITY PLAN AND PROFILE
STA. 1+50.00-8+07.23 CALLE AMARILLO

APPROVE
NOV - 3 1997
DESIGN COMMITTEE

City Project No. 577681 Zone Map No. L-9 Sheet 19 Of 22

DESIGNED BY: RBR, HFB, CC DATE
DRAWN BY: HFB DATE
CHECKED BY: DATE

REMARKS
REVISIONS
DESIGN

NO. DATE

BY

DATE

DATE

DATE

AS BUILT INFORMATION

CONTRACTOR: Hoto-Span

WORK: VILLA DEL CANTO SUBDIVISION, UNIT I

STATIONED BY: Hoto-Span

DATE: 10/07/97

ACCEPTANCE BY: Hoto-Span

DATE: 10/07/97

REVISIONS BY: Hoto-Span

DATE: 10/07/97

CORRECTED BY: Hoto-Span

DATE: 10/07/97

MICRO-FILM INFORMATION

RECORDED BY: Hoto-Span

DATE: 10/07/97

BENCH MARKS

CITY OF ALBUQUERQUE SURVEY MONUMENT

ACS CAP "7-K9"

ELEV. = 5137.36

SURVEY INFORMATION

FIELD NOTES

DATE

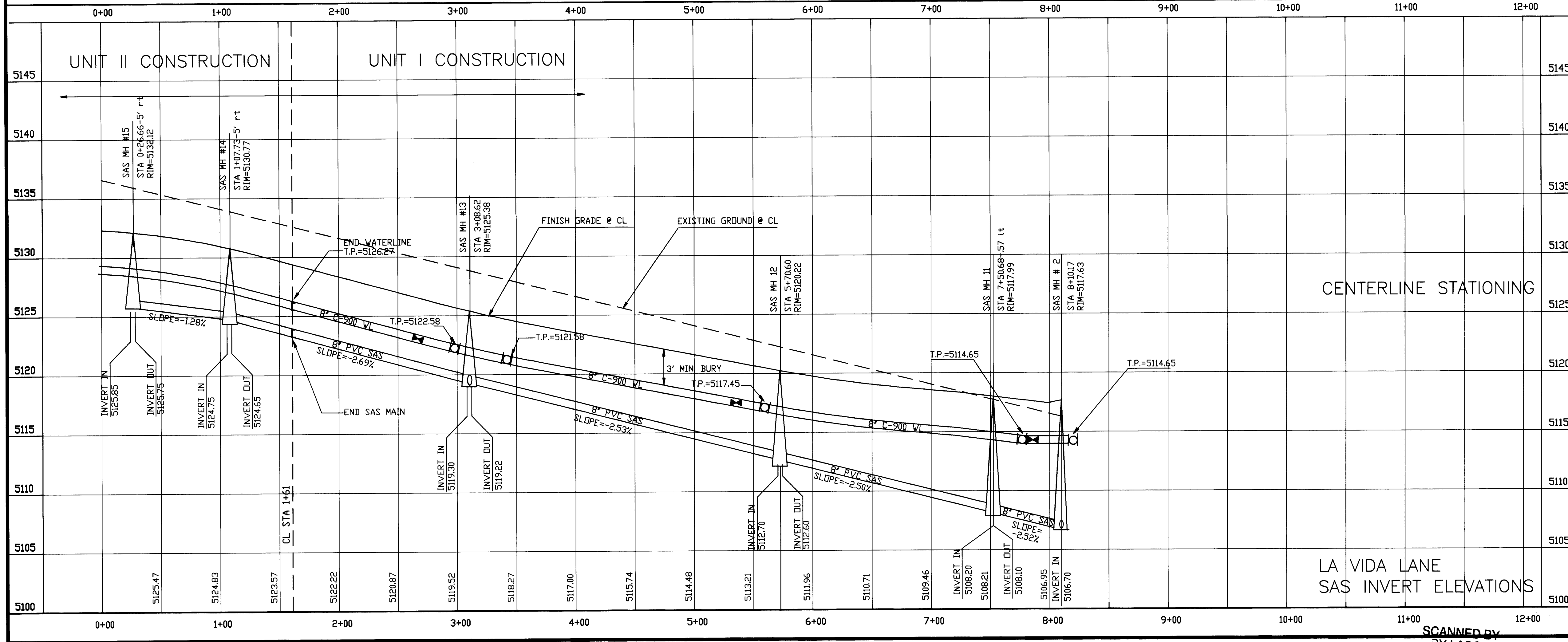
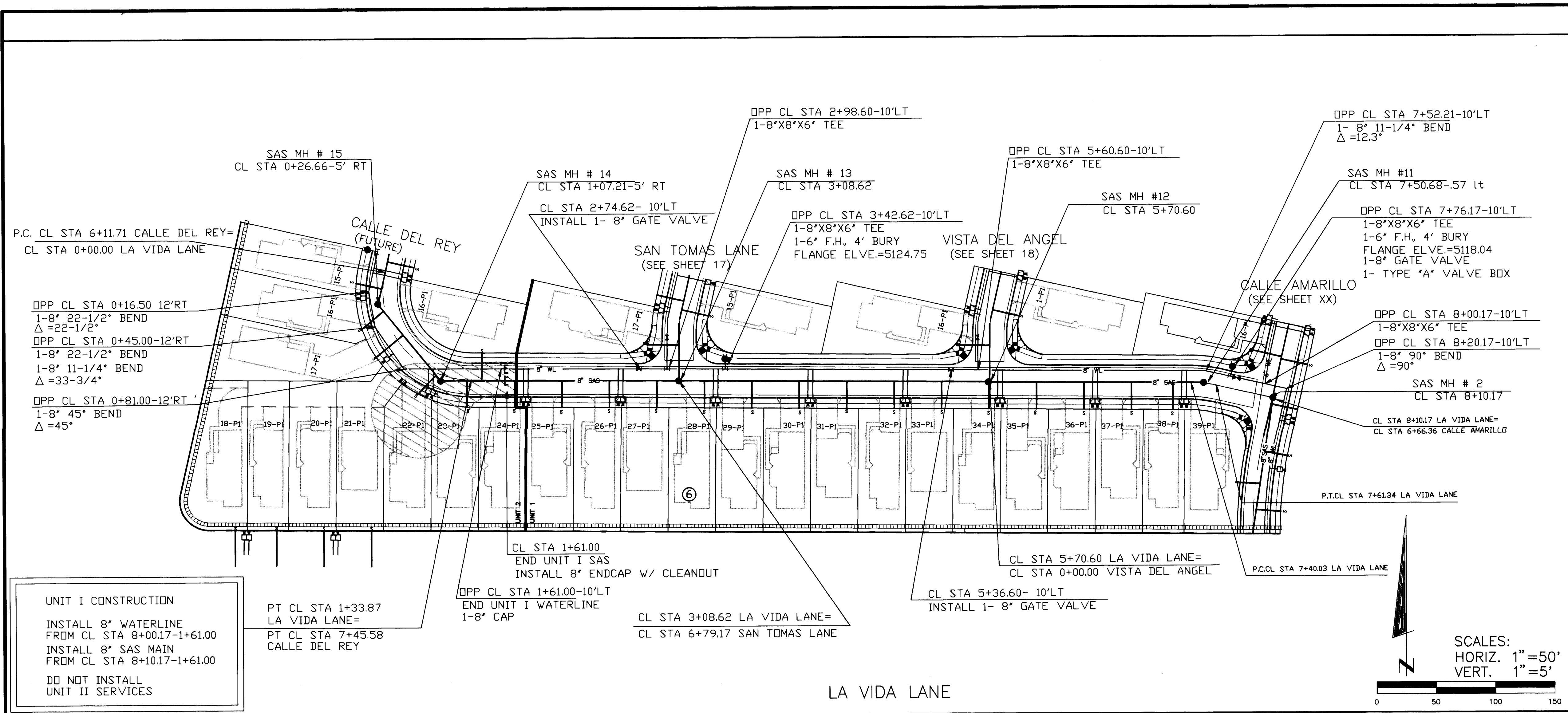
BY

NO.

ENGINEER'S SEAL

10-30

10-30-97



- CONSTRUCTION NOTES:**
1. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
 2. ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
 3. ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 15.
 4. CONSTRUCT SAS SERVICES PER STD. DWG. #2125.
 5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2340.
 6. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS #2361, #2362 & #2363.
 7. UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG# 2102.
 8. WATER VALVES & TYPE "A" VALVE BOXES PER STD. DWGS. 2333 & 2326.
 9. ALL WATER METER COVERS LOCATED WITHIN DRIVE PADS TO BE HEAVY DUTY.

CONSTRUCTION NOTES:

○

BLK #	LOT #	CL STA	INV @ PL
6	24	1+70	25.50
6	25	2+10	24.40
6	26	2+50	23.30
6	27	2+90	22.20
6	28	3+30	21.30
6	29	3+70	20.40
6	30	4+10	19.60
6	31	4+50	18.90
6	32	4+90	18.10
6	33	5+30	17.40
6	34	5+70	16.60
6	35	6+10	15.90
6	36	6+50	15.40
6	37	6+90	15.00
6	38	7+25	14.70

LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	⊗
FIRE HYDRANT	⊕
SINGLE WATER SERVICE	⊕
DOUBLE WATER SERVICE	⊕
STREET LIGHT	⊕
STORM DRAIN MANHOLE	⊕
CATCH BASIN	⊕
SAS MANHOLE	⊕
SEWER SERVICE	⊕
WATER LINE	— W —
SEWER LINE	— SAS —

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(505) 256-4701
Albuquerque, NM 87108
239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLA DEL CANTO SUBDIVISION UNIT I
UTILITY PLAN AND PROFILE
STA. 1+61.00-8+10.17 LA VIDA LANE

Design Review Committee City Engineer Approval

City Project No. 577681 Zone Map No. Sheet 20 of 22

AS BUILT INFORMATION
CONTRACTOR: Hideo Systems
WORK BY: JCS
INSPECTOR'S DATE: 10/2/97
ACCEPTANCE BY: JCS
DATE: 10/2/97
DRAWINGS BY: JCS
DATE: 10/2/97
CORRECTED BY: JCS
DATE: 10/2/97
RECORDED BY: JCS
DATE: 10/2/97

BENCH MARKS
CITY OF ALBUQUERQUE SURVEY MONUMENT
ACS CAP "7-K9"
ELEV. = 5137.36X

SURVEY INFORMATION
FIELD NOTES
DATE: 10/2/97
BY: JCS
NO. 1

ENGINEER'S SEAL
Professional Engineer
No. 10209
Exp. 12/31/97

REVISIONS
NO. DATE
REMARKS
DESIGN
DESIGNED BY: RFB, CC
DRAWN BY: HFB
CHECKED BY: JCS
DATE: 10/2/97

CL STA 0+00.00 86TH STREET=
CL STA 0+00.00 ALLEY

MH # 24
CL STA 0+00

OPP CL STA 1+27.41-22'RT
INSTALL 1-12" X 8" TEE
1-PRESSURE CONNECTION
1-8" GATE VALVE

MH # 23
CL STA 3+78.62

CL STA 3+78.62 86TH STREET =
CL STA 7+98.50 VISTA DEL ANGEL

OPP CL STA 5+30.86-18' RT
ADJUST VALVE BOXES TO GRADE

OPP CL STA 8+62.50-6.65'RT
ADJUST MH RIM TO GRADE

P.C. CL STA 7+78.44
86TH STREET

CL STA 8+67.73 86TH STREET=
CL STA 11+01.98 SUNSET GARDENS

OPP CL STA 8+77.84-34.00'LT
END 60" SD

SDMH #2
OPP CL STA 8+77.73-14'LT
INSTALL 8" TYPE "E" MH

OPP CL STA 9+15.39-14'LT
END 36" SD

delete SAS stub to south
OPP CL STA 9+15.39-8'RT
END 8" SAS

OPP CL STA 7+91.58-12'RT
1-18" RCP III 45' BEND

OPP CL STA 8+53.39-21.6'RT
ADJUST WATER VALVES

UNIT I CONSTRUCTION

INSTALL 8" SAS MAIN
CL STA 2+56.62-3+78.62
CL STA 8+62.26-9+57.25
INSTALL 18" SD, CL STA
CL STA 7+78-8+78.16
INSTALL 36" SD
CL STA 8+78.16-9+26.51

CONSTRUCT 8" WL DURING
UNIT I CONSTRUCTION
SEE SHEET # 16

VISTA DEL ANGEL
(SEE SHEET 18)

86TH STREET, SW

SCALES:
HORIZ. 1"=50'
VERT. 1"=5'

CONSTRUCTION NOTES:

- CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
- ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 15.
- CONSTRUCT SAS SERVICES PER STD. DWG #2125.
- CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2340.
- CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS. #2361, #2362 & #2363.
- UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG# 2102.
- WATER VALVES & TYPE "A" VALVE BOXES PER STD. DWGS. 2333 & 2326.
- ALL WATER METER COVERS LOCATED WITHIN DRIVE PADS TO BE HEAVY DUTY.

CONSTRUCTION NOTES:

SEWER SERVICE TABLE			
BLK #	LOT #	STA	INV @ PL
2	25	0+90	11.88

LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
STORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	
WATER LINE	
SEWER LINE	
EXIST. PAVING	

DWG.F:\WORK\NICK\CANTO\86THJ DATE:10/07/97 TIME:19:08 RYALS Engineering-HB

RYALS engineering & construction services
5301 Central, N.E. Albuquerque, NM 87108
(505) 256-4701 239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLA DEL CANTO SUBDIVISION, UNIT I
UTILITY PLAN AND PROFILE
STA. 0+00.00-8+67.54 86TH STREET

Design Review Committee
APPROVE
NOV - 3 1997
DESIGN REVIEW COMMITTEE

City Engineer Approval

City Project No. 7
576681

Zone Map No. L-9

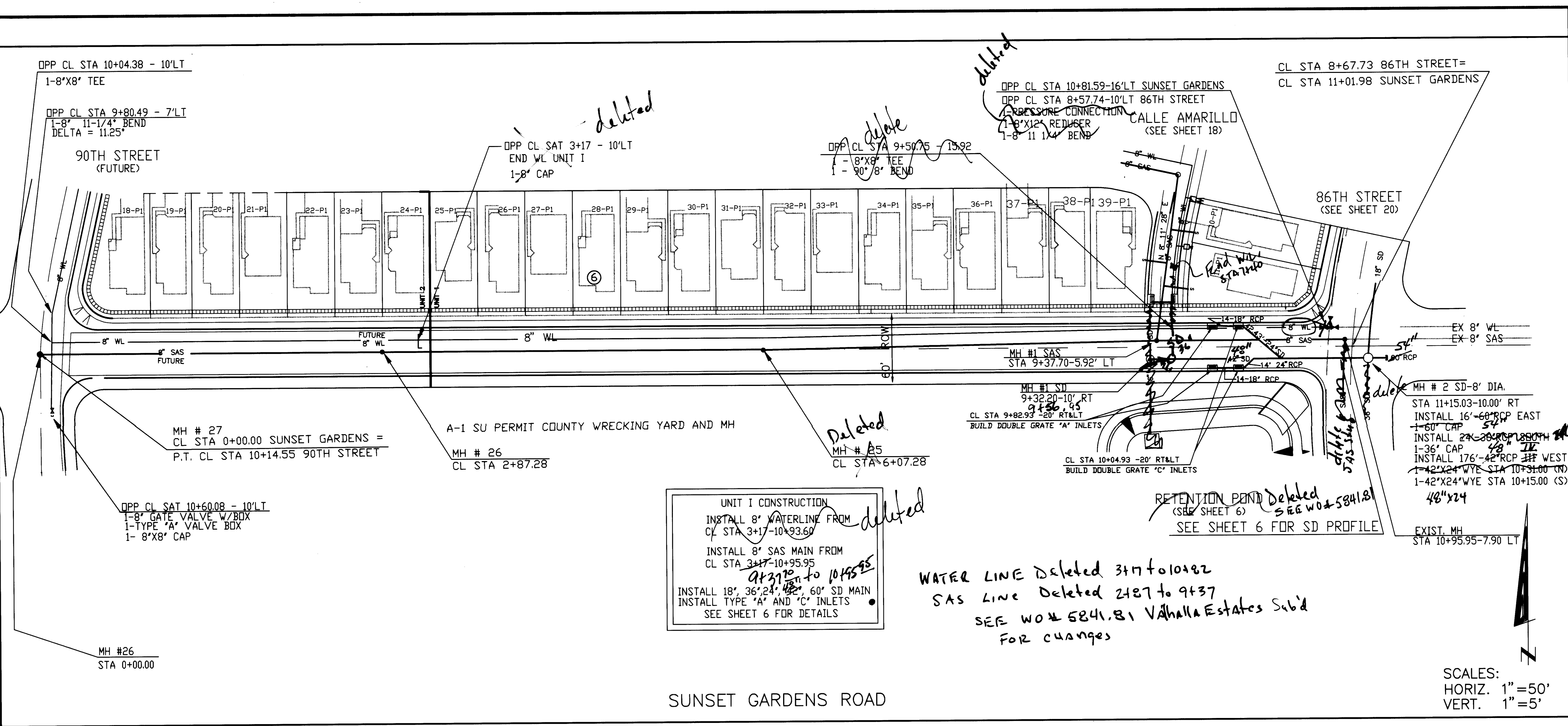
Sheet 21 Of 22

ENGINEER'S SEAL

NO. DATE REMARKS
BY
DESIGN
REVISIONS
DESIGNED BY: RBR, HFB, CC
DRAWN BY: HFB
CHECKED BY:

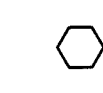
BENCH MARKS
CITY OF ALBUQUERQUE SURVEY MONUMENT

AS BUILT INFORMATION
CONTRACTOR: RYALS
WORK: 10/7/97
STARTED BY: RYALS
ACCEPTANCE BY: RYALS
FIELD STATIONING BY: RYALS
DRAWINGS CORRECTED BY: RYALS
DATE: 10/7/97
RECORDED BY: RYALS
DATE: 10/7/97
MICRO-FILM INFORMATION
NO. DATE



- GENERAL NOTES:**
1. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
 2. ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
 3. ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 15.
 4. CONSTRUCT SAS SERVICES PER STD. DWG #2125.
 5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2340.
 6. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS #2361, #2362 & #2363.
 7. UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG# 2102.
 8. WATER VALVES & TYPE "A" VALVE BOXES PER STD. DWGS. 2333 & 2326.

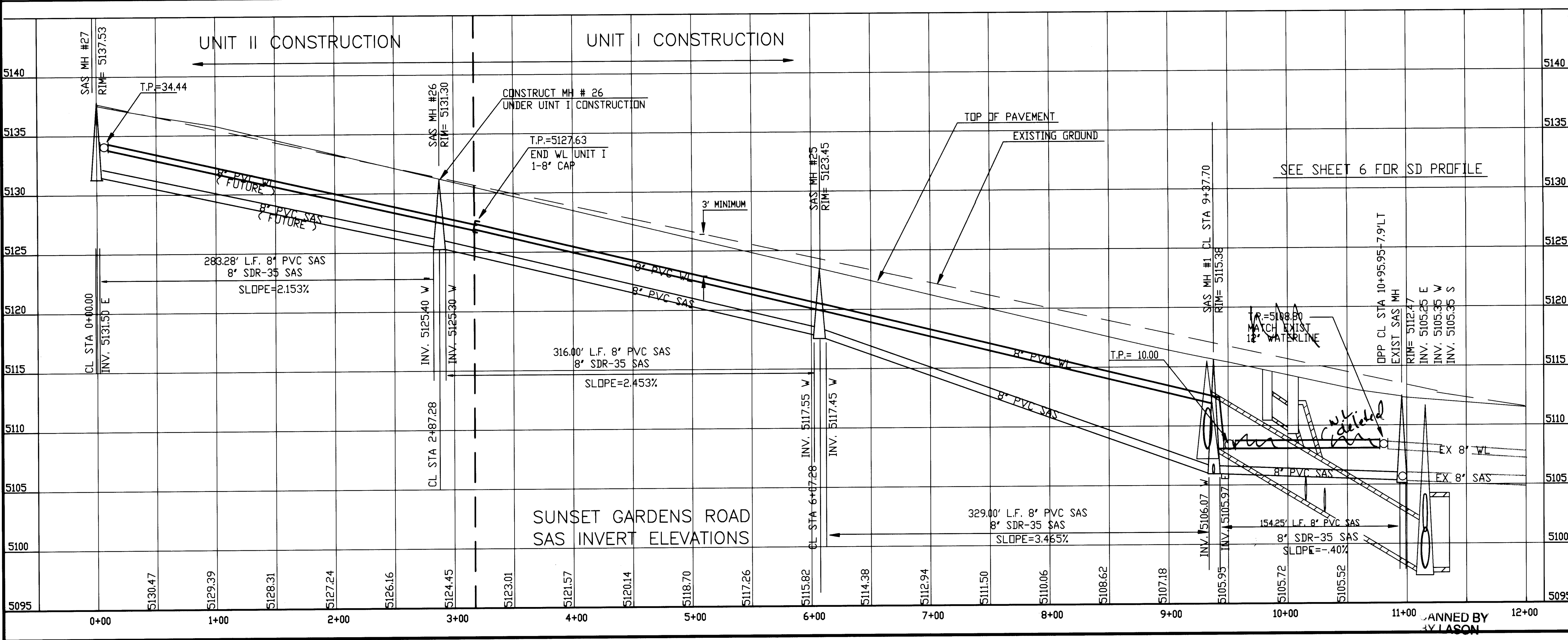
CONSTRUCTION NOTES:



UNIT I CONSTRUCTION
INSTALL 8" WATERLINE FROM
CL STA 3+17-10+93.60
INSTALL 8" SAS MAIN FROM
CL STA 3+17-10+95.95
INSTALL 18", 36", 24", 48", 60" SD MAIN
INSTALL TYPE "A" AND "C" INLETS
SEE SHEET 6 FOR DETAILS

WATER LINE Deleted 3+17 to 10+92
SAS Line Deleted 2+87 to 9+37
SEE W045841.81 Vahlia Estates Sub'd
FOR CHANGES

SCALES:
HORIZ. 1"=50'
VERT. 1"=5'



LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
STORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	
WATER LINE	
SEWER LINE	

RYALS engineering & construction services
5301 Central, N.E. Albuquerque, NM 87108
(505) 256-4701

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLA DEL CANTO SUBDIVISION, UNIT I
UTILITY PLAN AND PROFILE
STA. 0+00.00-11+03.40 SUNSET GARDENS ROAD

APPROVE
NOV - 3 1997

DESIGNED BY RBR, HFB, CC
DRAWN BY HFB
CHECKED BY

City Project No. 577681
Zone Map No. L-9
Sheet 22 Of 22