

SUNRISE TERRACE
UNIT 1 - PHASE A2
CITY OF ALBUQUERQUE, NEW MEXICO

GRADING, PAVING, & CITY UTILITIES

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ABBREVIATIONS:

AC - ASBESTOS CEMENT
ARV - AIR/VACUUM RELEASE VALVE
B - BASELINE
BCT - BEGIN CROWN TRANSITION
C - CONSTRUCT
CAV - COMBINATION AIR VALVE
CCP - CONCRETE CYLINDER PIPE
CI - CAST IRON
CL - CENTERLINE
COA - CITY OF ALBUQUERQUE

DD - DEFLECT DOWN
DIP - DUCTILE IRON PIPE
DU - DEFLECT UP
E - EXISTING
ECT - END CROWN TRANSITION
ELEV - ELEVATION
F-F - FACE TO FACE
F-F - FEET/FOOT
FH - FIRE HYDRANT
FL - FLOW LINE

FO - FIBER OPTIC CABLE
G - GAS
HP - HIGH PRESSURE
I - INSTALL
LP - LIGHT POLE
MH - MANHOLE
NMUI - NEW MEXICO UTILITIES, INC.
PC - POINT OF CURVATURE
PCC - POINT OF COMPOUND CURVATURE
POC - POINT ON CURVE
PP - POWER POLE

PRC - POINT OF REVERSE CURVATURE
PRV - PRESSURE RELIEF VALVE
PT - POINT OF TANGENCY
PUE - PUBLIC UTILITY EASEMENT
R/REL - REMOVE & RELOCATE
R/RPLC - REMOVE & REPLACE
PVC - POLY VINYL CHLORIDE
R - REMOVE
REL - RELOCATE
ROW - RIGHT-OF-WAY

SAS - SANITARY SEWER
SD - STORM DRAIN
TC - TOP OF CURB
T - TELEPHONE
TL - TRAFFIC LIGHT
TP - TOP OF PIPE
UE - UNDERGROUND ELECTRIC
VCP - VITRIFIED CLAY PIPE
VER - VERIFY LOCATION
W OR WL - WATERLINE
X - CROSSING

WARNING

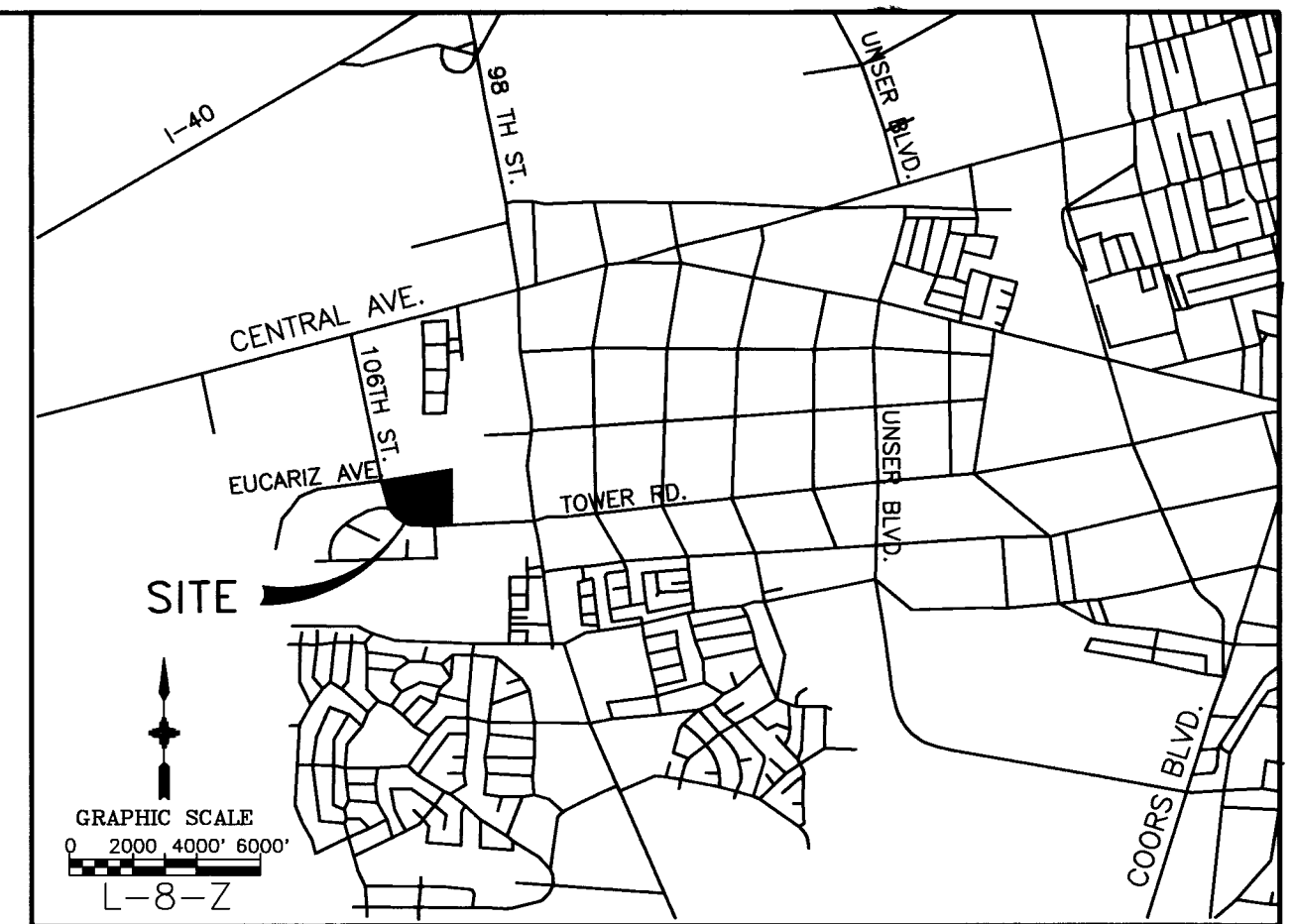
THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

WARNING

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

WARNING

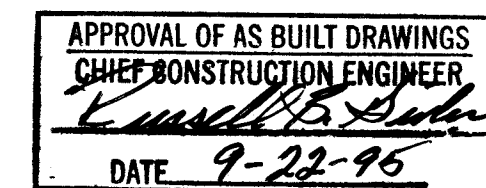
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF EASTERLING & ASSOCIATES, INC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.



VICINITY MAP

GENERAL NOTES

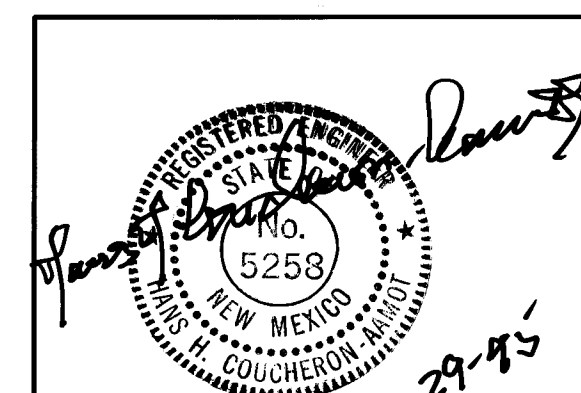
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FROM HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED WITH UPDATE NO. 5.
- CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER, AND SHALL BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEY SECTION. WHEN A CHANGE IS MADE IN ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- THE CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) THREE (3) WORKING DAYS PRIOR TO NEEDING SHUT-OFF OR TURN-ON OF VALVES. ONLY CITY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- RESTRAINED JOINTS ARE REQUIRED AT ALL WATER LINE BENDS, TEES, CAPS AND GATE VALVES.
- THE PUBLIC WATER LINE MUST BE A MINIMUM OF 18" ABOVE THE SEWER LINE AT ALL CROSSINGS.
- THE CONTRACTOR SHALL FURNISH EMD'S ON ALL WATER AND SEWER SERVICE STUBS, CAPS AND PLUGS.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSIONED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET. ALL NEW STRIPING SHALL BE PLASTIC AS PER CITY STANDARDS.



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5124.92 0195

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

APPROVAL OF REVISIONS



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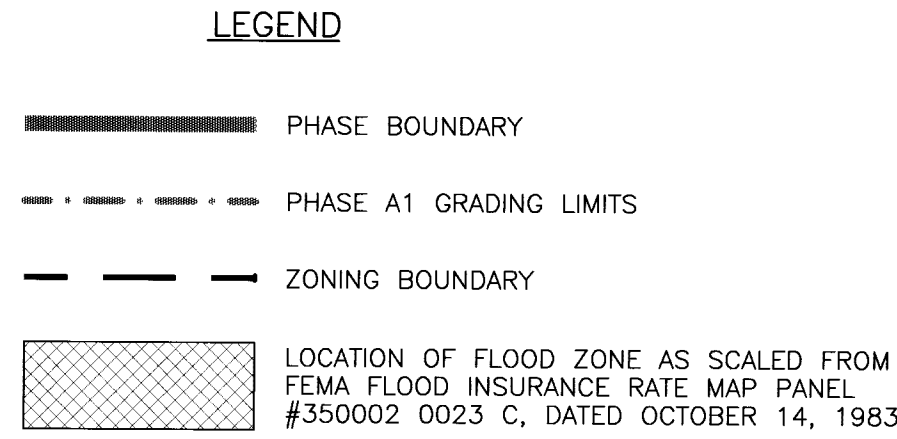
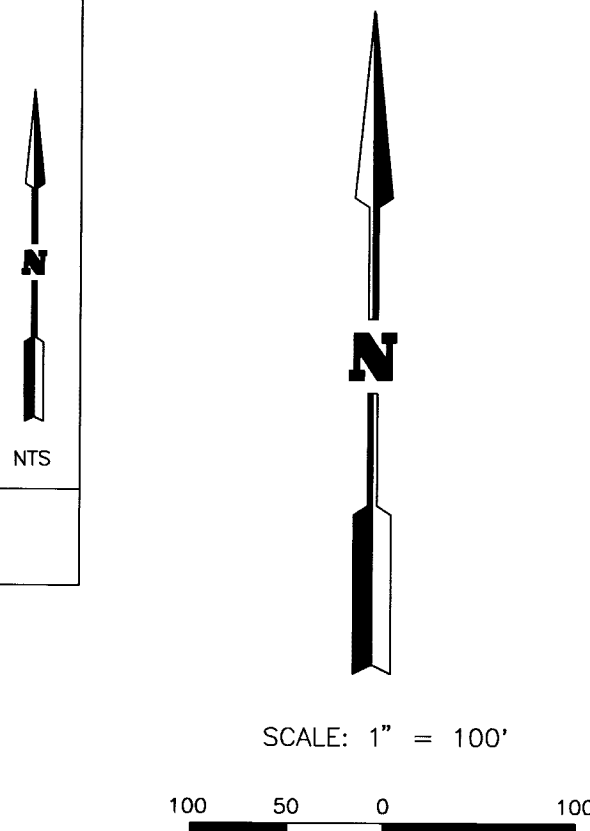
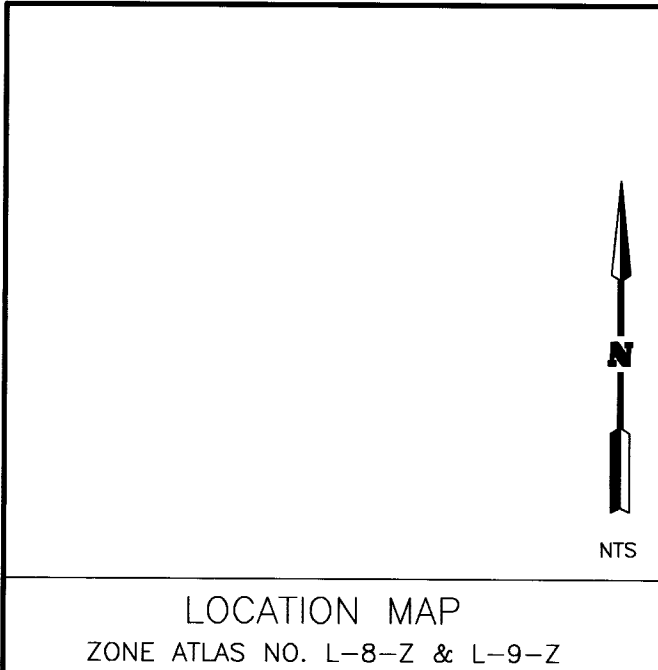
APPROVED FOR
CONSTRUCTION

CITY ENGINEER DATE

PROJECT NUMBER 5124.92

SHEET 1 OF 15

SCANNED BY
BY LASON



- SUBDIVISION DATA
- CASE NO.: DRB-94-444
 - ZONE ATLAS INDEX NO.: L-8-Z & L-9-Z
 - GROSS SUBDIVISION ACREAGE: 27.6597 ACRES
 - TOTAL NUMBER OF LOTS EXISTING: 107 LOTS
 - TOTAL NUMBER OF LOTS CREATED: 181 LOTS
 - DATE OF SURVEY: SEPTEMBER, 1994
 - TALOS LOG NO.: SP-9409-1316-020452
 - MILES OF FULL-WIDTH STREETS CREATED: 1.1159 MILES
 - VACATION NUMBER V-94-117

- NOTES:
- BEARINGS SHOWN ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE). BEARINGS AND DISTANCES IN PARENTHESES ARE RECORD DATA.
 - DISTANCES ARE GROUND DISTANCES.
 - UNLESS OTHERWISE INDICATED, ALL BOUNDARY CORNERS SHOWN THUS Δ ARE MARKED WITH A P.K. NAIL W/SHINER, SCRIBED "X" IN CONCRETE OR AN IRON STAKE SURMOUNTED WITH A CAP STAMPED "P.S. 10464".
 - THE DATA SHOWN HEREON IS FROM AN ACTUAL FIELD SURVEY.
 - THE PURPOSE OF THIS PLAT IS TO SHOW THE VACATION OF AN EXISTING SUBDIVISION, DEDICATION OF PUBLIC RIGHTS-OF-WAY, AND RESUBDIVISION INTO NEW BLOCKS, LOTS AND EASEMENTS.
 - THE BENCHMARK FOR THIS PLAT IS AN ACS CONTROL STATION "5-L8", ELEVATION = 5301.89.
 - ALL STREET CENTERLINE POINTS SHOWN THUS Δ WILL BE MARKED BY A "4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #10464".
 - THERE IS A TEN (10) FOOT WIDE PRIVATE DRAINAGE EASEMENT CENTERED ON ALL COMMON SIDE LOT LINES FOR ALL LOTS IN THIS SUBDIVISION (5' ON EACH SIDE). DOES NOT APPLY AT STREET RIGHT-OF-WAY.

PRELIMINARY
VACATION AND REPLAT OF
UNIT ONE, PHASES A1 THRU A3
SUNRISE TERRACE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER 1994

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	470.00'	654.50'	602.88'	N 65°08'37" W	79°47'14"
C2	720.00'	321.18'	318.53'	N 12°28'14" W	25°33'32"
C3	500.00'	696.27'	641.38'	S 65°08'37" E	79°47'14"
C4	750.00'	54.75'	54.75'	S 2°09'51" E	04°10'58"
C5	586.00'	163.95'	163.41'	S 1°03'08" E	16°01'48"
C6	725.00'	104.22'	96.42'	S 34°57'46" W	80°00'00"
C7	230.00'	21.44'	21.43'	N 09°27'03" W	05°20'23"
C8	75.00'	97.73'	90.96'	N 37°37'58" E	74°39'36"
C9	336.00'	467.90'	431.00'	S 65°08'37" E	79°47'14"
C10	586.00'	42.78'	42.77'	S 2°09'51" E	04°10'58"
C11	332.00'	96.69'	96.35'	S 1°32'25" E	16°41'12"
C12	332.00'	20.43'	20.43'	S 2°32'13" E	03°37'34"
C13	82.00'	114.18'	103.18'	S 65°08'37" E	79°47'14"
C14	230.00'	21.44'	21.43'	S 2°09'51" E	04°10'58"
C15	230.00'	21.44'	21.43'	S 2°09'51" E	04°10'58"
C16	720.00'	21.52'	21.52'	S 00°32'51" E	01°42'45"
C17	720.00'	45.84'	45.83'	S 01°11'59" E	01°38'52"
C18	720.00'	51.66'	51.64'	S 07°06'24" E	04°06'38"
C19	720.00'	50.45'	50.44'	S 11°10'10" E	04°00'53"
C20	720.00'	44.19'	44.19'	S 14°56'07" E	03°53'01"
C21	25.00'	41.18'	36.68'	S 63°52'50" E	94°22'25"
C22	25.00'	37.18'	33.85'	N 26°19'22" E	65°13'11"
C23	611.00'	33.91'	33.90'	S 14°01'50" E	01°10'47"
C24	611.00'	43.56'	43.55'	S 07°04'47" E	03°59'08"
C25	58.00'	3.99'	3.99'	S 03°52'36" E	02°19'17"
C26	58.00'	34.40'	33.92'	S 13°59'17" W	33°24'30"
C27	58.00'	34.57'	34.07'	S 47°28'36" W	33°34'07"
C28	11.00'	11.00'	11.00'	S 69°36'43" W	10°42'06"
C29	25.00'	34.91'	34.91'	S 69°36'43" W	80°00'00"
C30	25.00'	34.91'	34.91'	S 69°36'43" W	80°00'00"
C31	25.00'	43.63'	38.30'	N 55°02'14" W	100°00'01"
C32	205.00'	19.11'	19.10'	N 02°22'02" W	05°20'23"
C33	205.00'	34.91'	32.14'	N 40°18'10" E	80°00'00"
C34	255.00'	23.77'	23.76'	S 77°37'58" W	05°20'24"
C35	25.00'	40.28'	36.06'	S 58°33'05" E	92°18'18"
C36	41.21'	41.21'	41.21'	S 07°04'47" E	03°59'08"
C37	25.00'	43.73'	38.36'	S 24°51'23" W	100°12'45"
C38	205.00'	19.11'	19.10'	S 77°37'58" W	05°20'24"
C39	25.00'	43.63'	38.30'	N 40°18'10" E	80°00'00"
C40	25.00'	34.91'	32.14'	N 40°18'10" E	80°00'00"
C41	255.00'	0.62'	0.62'	N 40°18'10" E	00°08'18"
C42	25.00'	23.15'	23.14'	S 77°37'58" W	05°20'24"
C43	25.00'	23.15'	23.14'	S 77°37'58" W	05°20'24"
C44	25.00'	39.27'	35.36'	S 29°57'46" W	89°59'57"
C45	205.00'	19.11'	19.10'	S 77°37'58" W	05°20'24"
C46	25.00'	43.63'	38.30'	N 40°18'10" E	80°00'00"
C47	50.00'	65.15'	60.64'	N 37°37'58" E	74°39'36"
C48	25.00'	39.27'	35.36'	S 60°02'14" E	90°00'00"
C49	25.00'	39.27'	35.36'	S 60°02'14" E	90°00'00"
C50	25.00'	39.27'	35.36'	S 29°57'46" W	89°59'57"
C51	50.00'	13.64'	11.60'	N 67°08'55" E	15°37'42"
C52	50.00'	14.75'	14.05'	N 67°08'55" E	15°37'42"
C53	50.00'	15.23'	15.18'	N 10°47'26" E	17°27'27"
C54	50.00'	1.53'	1.53'	N 01°10'56" E	01°45'32"
C55	255.00'	23.11'	23.11'	N 02°22'02" W	05°20'23"
C56	255.00'	0.65'	0.65'	N 04°52'30" W	00°08'18"
C57	25.00'	34.91'	32.14'	S 34°57'46" W	79°47'14"
C58	25.00'	41.09'	36.62'	S 21°50'29" W	94°10'58"
C59	25.00'	37.44'	34.04'	N 68°09'11" E	85°48'03"
C60	361.00'	2.38'	2.38'	S 25°26'21" E	00°22'43"
C61	361.00'	42.60'	42.58'	S 29°00'34" E	06°45'43"
C62	361.00'	42.60'	42.58'	S 35°46'17" E	06°45'43"
C63	361.00'	42.60'	42.58'	S 42°32'00" E	06°45'43"
C64	361.00'	42.60'	42.58'	S 49°17'43" E	06°45'43"
C65	361.00'	42.60'	42.58'	S 56°03'27" E	06°45'43"
C66	361.00'	42.60'	42.58'	S 62°49'10" E	06°45'43"
C67	361.00'	42.60'	42.58'	S 69°34'53" E	06°45'43"
C68	361.00'	42.60'	42.58'	S 76°20'36" E	06°45'43"
C69	361.00'	42.60'	42.58'	S 83°06'19" E	06°45'43"
C70	361.00'	42.60'	42.58'	S 89°52'02" E	06°45'43"
C71	361.00'	42.60'	42.58'	S 96°37'45" E	06°45'43"
C72	361.00'	42.60'	42.58'	S 103°23'28" E	06°45'43"
C73	25.00'	39.27'	35.36'	N 60°02'14" W	90°00'00"
C74	25.00'	39.27'	35.36'	N 29°57'46" E	90°00'00"
C75	470.00'	41.23'	41.23'	N 72°38'15" E	05°01'37"
C76	470.00'	55.47'	55.44'	N 83°22'15" E	06°45'43"
C77	470.00'	55.47'	55.44'	S 89°52'02" E	06°45'43"
C78	470.00'	55.47'	55.44'	S 96°37'45" E	06°45'43"
C79	470.00'	55.47'	55.44'	S 103°23'28" E	06°45'43"
C80	470.00'	55.47'	55.44'	S 69°34'53" E	06°45'43"
C81	470.00'	55.47'	55.44'	S 62°49'10" E	06°45'43"
C82	470.00'	55.47'	55.44'	S 56°03'27" E	06°45'43"
C83	470.00'	55.47'	55.44'	S 49°17'43" E	06°45'43"
C84	470.00'	55.47'	55.44'	S 42°32'00" E	06°45'43"
C85	470.00'	55.47'	55.44'	S 35°46'17" E	06°45'43"
C86	470.00'	55.47'	55.44'	S 29°00'34" E	06°45'43"
C87	470.00'	3.10'	3.10'	S 25°26'21" E	00°22'43"
C88	50.00'	69.81'	64.28'	S 14°56'07" W	80°00'00"
C89	25.00'	43.63'	38.30'	N 55°02'14" W	100°00'00"
C90	357.00'	28.54'	28.54'	S 07°19'40" E	04°34'51"
C91	357.00'	42.60'	42.57'	S 13°02'11" E	06°50'12"
C92	357.00'	42.60'	42.57'	S 19°02'22" E	06°50'12"
C93	357.00'	12.21'	12.20'	S 24°16'14" E	01°57'32"
C94	107.00'	36.05'	35.98'	S 34°57'46" E	19°18'08"
C95	107.00'	37.65'	37.46'	S 44°17'29" E	20°09'42"
C96	107.00'	37.65'	37.46'	S 54°47'41" E	20°09'42"
C97	107.00'	37.65'	37.46'	S 65°08'37" E	20°09'42"
C98	25.00'	39.27'	35.36'	N 60°02'14" W	90°00'00"
C99	25.00'	39.27'	35.36'	N 29°57'46" E	90°00'00"
C100	311.00'	60.63'	60.53'	S 88°16'57" E	11°10'11"
C101	311.00'	60.63'	60.53'	S 88°16'57" E	11°10'11"
C102	311.00'	60.63'	60.53'	S 77°06'45" E	11°10'11"
C103	311.00'	60.63'	60.53'	S 65°56'34" E	11°10'11"
C104	311.00'	60.63'	60.53'	S 54°46'23" E	11°10'11"
C105	311.00'	60.63'	60.53'	S 43°36'11" E	11°10'11"
C106	311.00'	60.63'	60.53'	S 32°26'00" E	11°10'11"
C107	311.00'	60.63'	60.53'	S 21°15'49" E	11°10'11"
C108	561.00'	5.30'	5.30'	S 24°58'42" E	01°35'29"
C109	561.00'	52.49'	52.47'	S 22°01'41" E	05°21'39"
C110	561.00'	561.00'	52.47'	S 16°40'02" E	05°21'39"
C111	561.00'	57.75'	57.75'	S 11°02'12" E	05°21'39"
C112	561.00'	29.88'	29.87'	S 06°33'46" E	03°03'05"

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DEVELOPMENT REVIEW BOARD

PLANNING DIRECTOR	DATE
CITY ENGINEER	DATE
TRAFFIC ENGINEER	DATE
AMAFCA	DATE
PARKS AND RECREATION	DATE
WATER AND SEWER	DATE

LINE	DIRECTION	DISTANCE
L1	N 74°42'14" E	52.44'
L2	N 05°02'14" W	52.40'
L3	N 05°02'13" W	69.27'
L4	N 74°57'46" E	79.00'
L5	N 74°57'46" E	79.00'
L6	N 80°18'10" E	68.92'
L7	N 80°18'10" E	68.92'
L8	S 07°19'40" E	23.97'
L9	S 07°19'40" E	12.22'
L10	S 07°19'40" E	54.74'
L11	S 13°02'11" E	34.97'
L12	S 13°02'11" E	19.77'
L13	S 13°02'11" E	54.74'
L14	S 19°02'22" E	31.57'
L15	S 19°02'22" E	21.17'
L16	S 24°16'14" E	11.35'
L17	S 24°16'14" E	4.34'
L18	S 24°16'14" E	54.74'
L19	S 24°16'14" E	54.74'
L20	S 29°57'46" E	34.97'
L21	S 29°57'46" E	5.83'
L22	S 29°57'46" E	1.92'
L23	S 29°57'46" E	5.83'
L24	S 35°46'17" E	40.68'
L25	S 35°46'17" E	40.68'
L26	S 43°36'11" E	23.79'
L27	S 43°36'11" E	16.68'
L28	S 44°46'23" E	40.68'
L29	S 44°46'23" E	40.68'
L30	S 65°56'34" E	15.80'
L31	S 65°56'34" E	24.80'
L32	S 77°06'45" E	40.68'
L33	S 88°16'57" E	40.68'
L34	N 80°32'52" E	40.68'
L35	S 88°16'57" E	7.96'
L36	S 88°16'57" E	32.72'

- NOTES:
- NO BUILDING PERMITS WILL BE ISSUED FOR LOTS 5 THROUGH 8, BLOCK 5 AND LOTS 10 THROUGH 14, BLOCK 4 UNTIL THE REQUIRED PHASE A2 DRAINAGE IMPROVEMENTS ARE IN PLACE.

1. CASE NO.: DRB-94-444
2. ZONE ATLAS INDEX NO.: L-8-Z & L-9-Z
3. GROSS SUBDIVISION ACREAGE: 8.9932 ACRES
5. TOTAL NUMBER OF LOTS CREATED: 62 LOTS
6. DATE OF SURVEY: FEBRUARY, 1995
7. TALOS LOG NO.: SP-9502-1609-430146
8. MILES OF FULL-WIDTH STREETS CREATED 0.3619 MILES
9. ZONING: R-D & R-T

1. BEARINGS SHOWN ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
2. DISTANCES ARE GROUND DISTANCES.
3. UNLESS OTHERWISE INDICATED, ALL BOUNDARY CORNERS SHOWN THUS —○— ARE MARKED WITH A P.K. NAIL W/SHINER, SCRIBED "X" IN CONCRETE OR AN IRON STAKE SURMOUNTED WITH A CAP STAMPED "P.S. 10464".
4. THE DATA SHOWN HEREON IS FROM AN ACTUAL FIELD SURVEY.
5. THE PURPOSE OF THIS PLAT IS TO DEDICATE PUBLIC RIGHTS—OF—WAY, AND TO RESUBDIVIDE TRACT "A" INTO NEW BLOCKS, LOTS AND EASEMENTS.
6. ALL STREET CENTERLINE POINTS SHOWN THUS Δ WILL BE MARKED WITH A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PS #10464".
7. THERE IS A TEN (10) FOOT WIDE PRIVATE DRAINAGE EASEMENT CENTERED ON ALL COMMON SIDE LOT LINES FOR ALL LOTS IN THIS SUBDIVISION (5' ON EACH SIDE).
8. THE BENCHMARK FOR THIS PLAT IS ACS CONTROL STATION "5-L8", A 3 1/4" ALUMINUM CAP LOCATED AT THE NE QUADRANT OF THE INTERSECTION OF CENTRAL AVE. AND 110TH STREET S.W.
ELEVATION = 5301.89.
9. THE CITY OF ALBUQUERQUE WATER AND SANITARY SEWER TO PHASE A2, SUNRISE TERRACE — UNIT ONE MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. Jones Interchange for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
3. U.S. West for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transmission, with all rights and appurtenances thereto, and the right to shut off or shut down such easement with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any encroachments on, or structures adjacent to, Electric Company's easements shown on its maps, decking, any structures adjacent to, within or near easements shown on this plat.

In approving this plat, PNM/GAS CO. OF N.M. do not waive or release any easement or easement rights which may have been granted by prior plat, replat, or other document which are not shown on this plat.

Being that the main parcel of land situated within the Town of Atresca Grant, within Section 29 (as projected), Township 10 North, Range 2 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, is described as follows: to begin at a point on the south line of the Sunrize Terrace - Unit One, as said Tract A is shown and designated on "PLAT AND VACATION, PHASE A1, TRACTS A & B, SUNRIZE TERRACE - UNIT ONE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO," filed in the Office of the County Clerk of Bernalillo County, New Mexico, on day of _____, 1995, in Volume _____ Folio _____ and being more particularly described by metes and bounds survey as follows; Beginning at the northeast corner of the parcel of land herein described being a point on the southerly line of Euclid Avenue (private right of way) at the Central Station 19-12", bears N. 62° 38' 00" E., 1,231.51' foot distance; thence S. 00° 18' 15" W., 851.80' foot distance to the southeast corner of the parcel of land herein described; thence N. 12° 15' 02" E., 150.00' foot distance to a point; thence N. 00° 18' 15" W., 19.02' foot distance to a point; thence, N. 89° 41' 50" W., 50.00' foot distance to a point; thence, S. 74° 57' 46" E., 225.82' foot distance to the southwest corner of the parcel of land herein described; thence N. 15° 02' 14" W., 102.00' foot distance to a point; thence, S. 74° 57' 46" E., 7.37' foot distance to a point; thence, N. 15° 02' 14" W., 152.00' foot distance to a point; thence, S. 74° 57' 46" E., 152.00' foot distance to a point; thence, N. 15° 02' 14" W., 102.00' foot distance to a point; thence, N. 39° 43' 36" W., 50.01' foot distance to a point; thence, N. 15° 02' 14" W., 102.00' foot distance to a point; thence, S. 74° 57' 46" E., 23.85' foot distance to a point; thence, N. 15° 02' 14" W., 102.00' foot distance to a point; thence, S. 74° 57' 46" E., 23.85' foot distance to a point; thence, N. 15° 02' 14" W., 152.63' foot distance to the northeast corner of the parcel of land herein described; thence N. 15° 02' 14" W., 152.63' foot distance to a point; thence, N. 74° 12' 13" E., 62.84' foot distance to a point; thence, N. 74° 57' 28" E., 210.00' foot distance to the northeast corner and point of beginning of the parcel of land herein described and containing 391,742 square feet (6.9532 acre), more or less.

THE SUBDIVISION TOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT ALL ACCESS, UTILITY AND DRAINAGE RIGHTS TO THE CITY OF ALBUQUERQUE AND SAID PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

FOR PHASE A2, SUNRISE TERRACE – UNIT ONE

BY: CHARLES A. HAEGELIN, Managing Partner
S.T. Development Limited, Inc.

STATE OF _____ }
COUNTY OF _____ } ss.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME

19 _____, BY CHARLES A. HAEGELIN, MANAGING PARTNER ON BEHALF
OF SAID CORPORATION.

MY COMMISSION EXPIRES: _____

APPROVED AND ACCEPTED BY:

SUBDIVISION PLAT NO.	CITY	COUNTY
PLANNING DIRECTOR — ALBUQUERQUE/BERNALILLO COUNTY DEVELOPMENT REVIEW BOARD	DATE	
CITY ENGINEER	DATE	
A.M.A.F.C.A.	DATE	
TRAFFIC ENGINEER	DATE	
UTILITIES DEVELOPMENT DIVISION CITY OF ALBUQUERQUE PUBLIC WORKS	DATE	
CITY PARKS AND GENERAL SERVICES	DATE	
PROPERTY MANAGEMENT	DATE	
CITY SURVEYOR	DATE	
PUBLIC SERVICE COMPANY OF NEW MEXICO	DATE	
U.S. WEST COMMUNICATIONS	DATE	
GAS COMPANY OF NEW MEXICO	DATE	
JONES INTERCABLE, INC.	DATE	

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#:

PROPERTY OWNER OF RECORD: _____

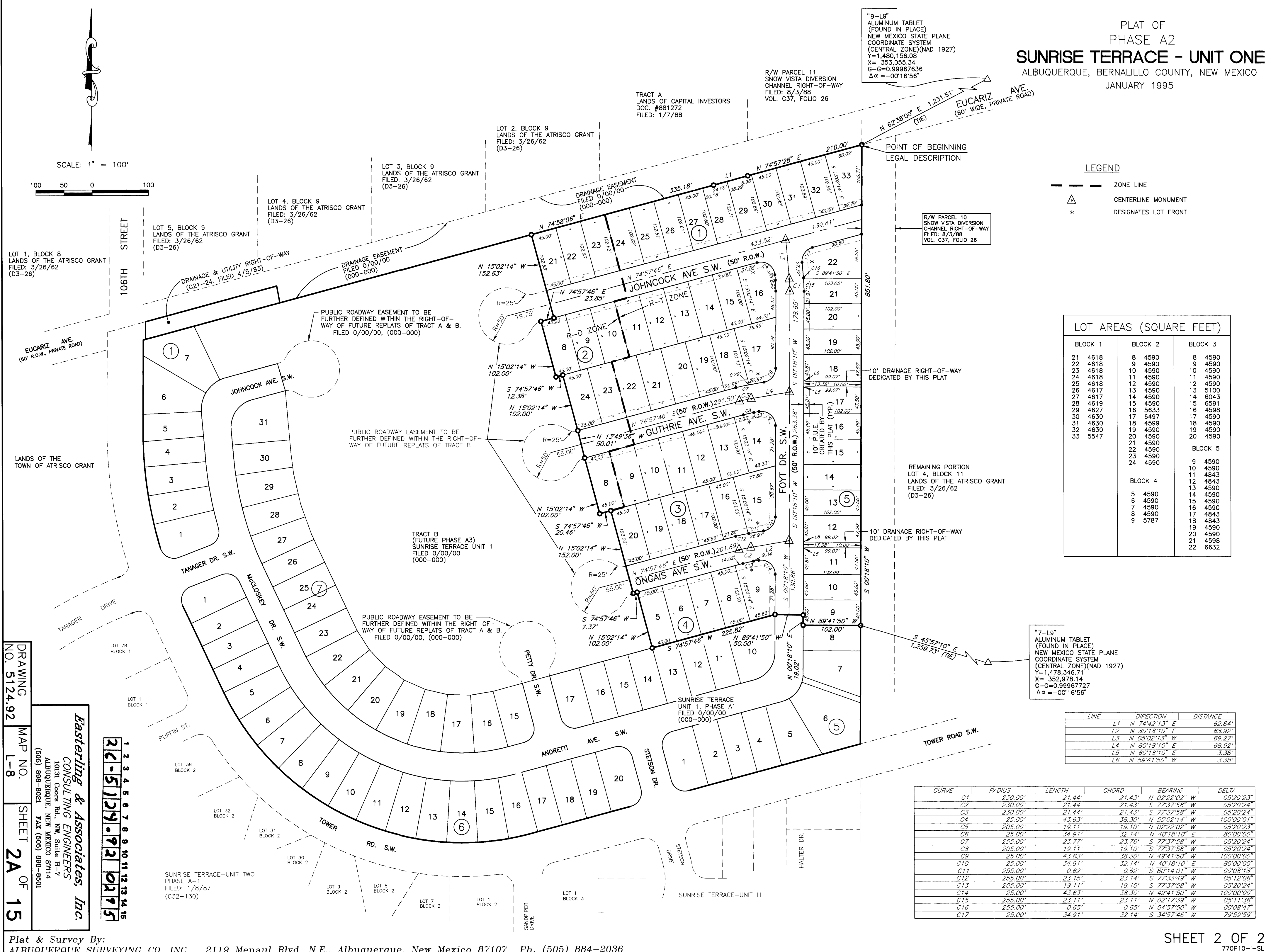
BERNALILLO COUNTY TREASURER'S OFFICE:

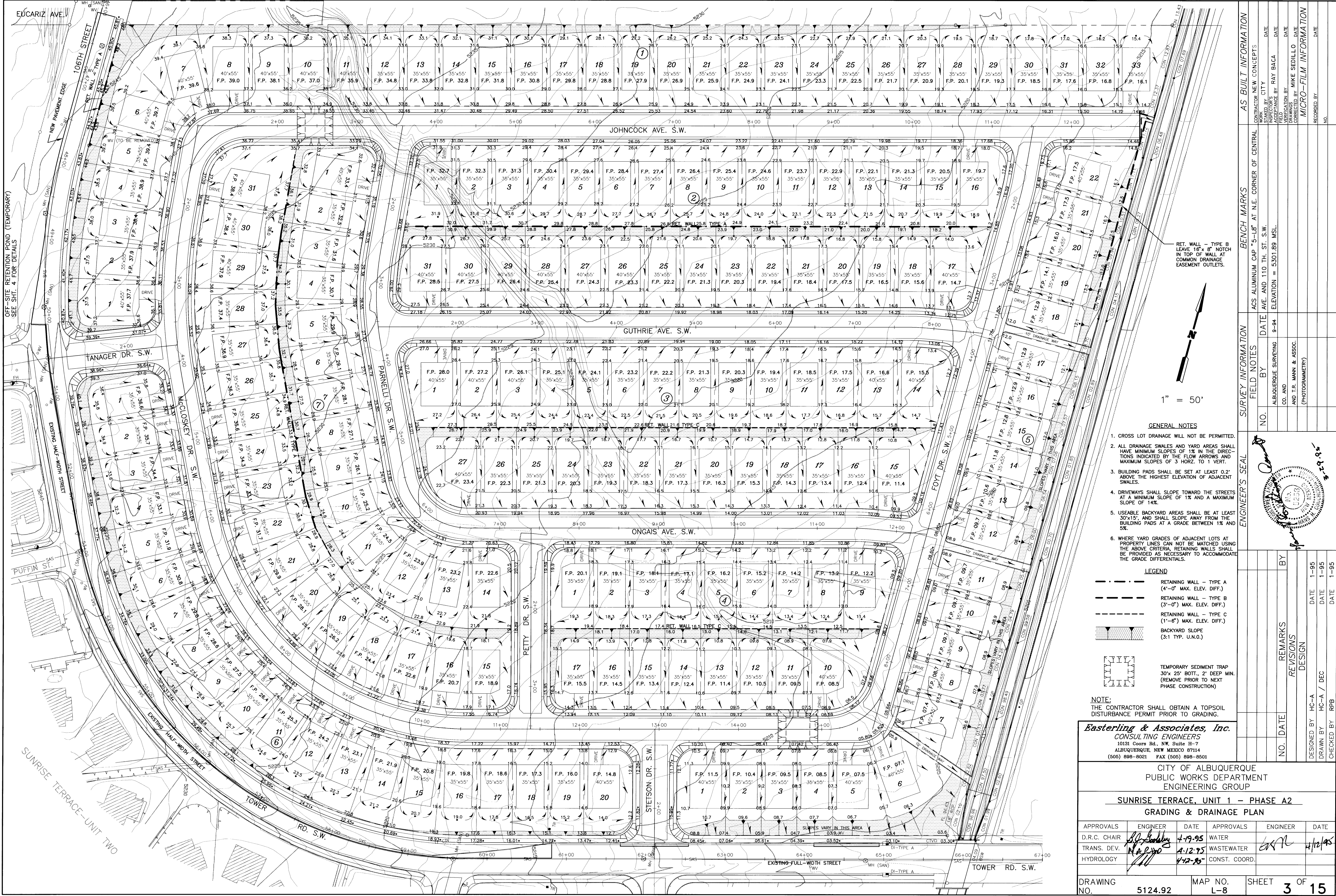
I, VLADIMIR JIRIK, A DULY QUALIFIED PROFESSIONAL SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST AND THAT THE SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE, SUBDIVISION ORDINANCE AND THE BERNALILLO COUNTY SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

VLADIMIR JIRIK, N.M.P.S. NO. 10464

DATE _____

SHEET 1 OF 2
770P10-I-SL





GENERAL NOTES

- CROSS LOT DRAINAGE WILL NOT BE PERMITTED.
- ALL DRAINAGE SWALES AND YARD AREAS SHALL HAVE MINIMUM SLOPES OF 1% IN THE DIRECTIONS INDICATED BY THE FLOW ARROWS AND MAXIMUM SLOPES OF 3% HORIZ. TO 1 VERT.
- BUILDING PADS SHALL BE SET AT LEAST 0.2' ABOVE THE HIGHEST ELEVATION OF ADJACENT SWALES.
- DRIVEWAYS SHALL SLOPE TOWARD THE STREETS AT A MINIMUM SLOPE OF 1% AND A MAXIMUM SLOPE OF 14%.
- USEABLE BACKYARD AREAS SHALL BE AT LEAST 30'x15', AND SHALL SLOPE AWAY FROM THE BUILDING PADS AT A GRADE BETWEEN 1% AND 3%.
- WHERE YARD GRADES OF ADJACENT LOTS AT PROPERTY LINES CAN NOT BE MATCHED USING THE ABOVE CRITERIA, RETAINING WALLS SHALL BE PROVIDED AS NECESSARY TO ACCOMMODATE THE GRADE DIFFERENTIALS.

LEGEND

- RETAINING WALL - TYPE A (4'-0" MAX. ELEV. DIFF.)
- RETAINING WALL - TYPE B (3'-0" MAX. ELEV. DIFF.)
- RETAINING WALL - TYPE C (1'-6" MAX. ELEV. DIFF.)
- BACKYARD SLOPE (3:1 TYP. U.N.O.)
- TEMPORARY SEDIMENT TRAP 30" x 25" BOTTL., 2' DEEP MIN. (REMOVE PRIOR TO NEXT PHASE CONSTRUCTION)

NOTE: THE CONTRACTOR SHALL OBTAIN A TOPSOIL DISTURBANCE PERMIT TO GRADING.

Easterling & Associates, Inc.
CONSULTING ENGINEERS
10131 Coors Rd., NW, Suite H-7
ALBUQUERQUE, NEW MEXICO 87114
(505) 898-8021 FAX (505) 898-8051

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

SUNRISE TERRACE, UNIT 1 - PHASE A2
GRADING & DRAINAGE PLAN

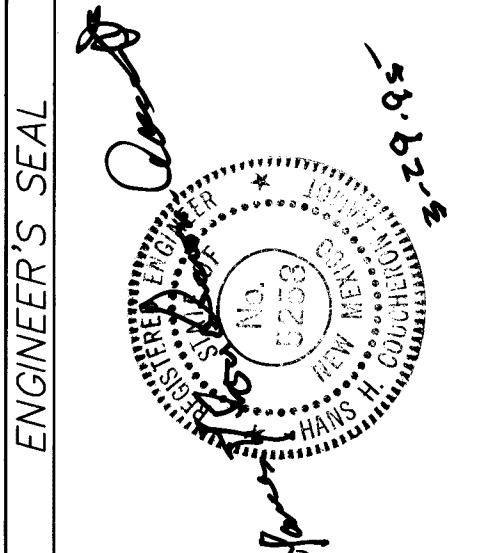
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	<i>[Signature]</i>	4-19-95	WATER	<i>[Signature]</i>	4/12/95
TRANS. DEV.	<i>[Signature]</i>	4-12-95	WASTEWATER		
HYDROLOGY	<i>[Signature]</i>	4-12-95	CONST. COORD.		

DRAWING NO.	5124.92	MAP NO.	L-8	SHEET	3 OF 15
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AS BUILT INFORMATION					
CONTRACTOR	NEW CONCEPTS	DATE			
STAKED BY	CITY	DATE			
INSPECTOR'S		DATE			
FIELD CHECK BY	RAY BACA	DATE			
VERIFICATION BY		DATE			
CORRECTED BY	MIKE SEDILLO	DATE			
MICRO-FILM INFORMATION					
RECORDED BY		DATE			
NO.					

BENCH MARKS					
ACS ALUMINUM CAP "5-LB"	AT N.E. CORNER OF CENTRAL				
AVE. AND 110 TH. ST. S.W.					
ELEVATION = 5301.89 MSL					

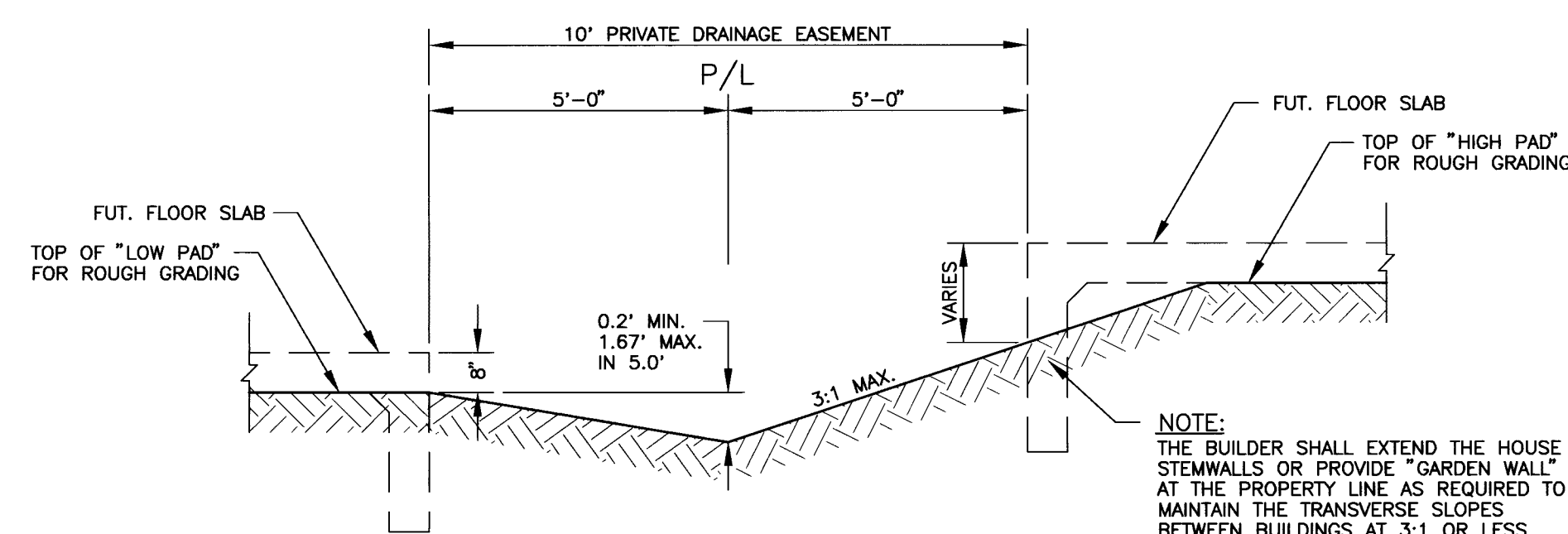
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FIELD NOTES			BY	DATE
	NO.		ALBUQUERQUE SURVEYING CO. AND AND T.R. MANN & ASSOC. (PHOTOGRAMMETRY)	9-94



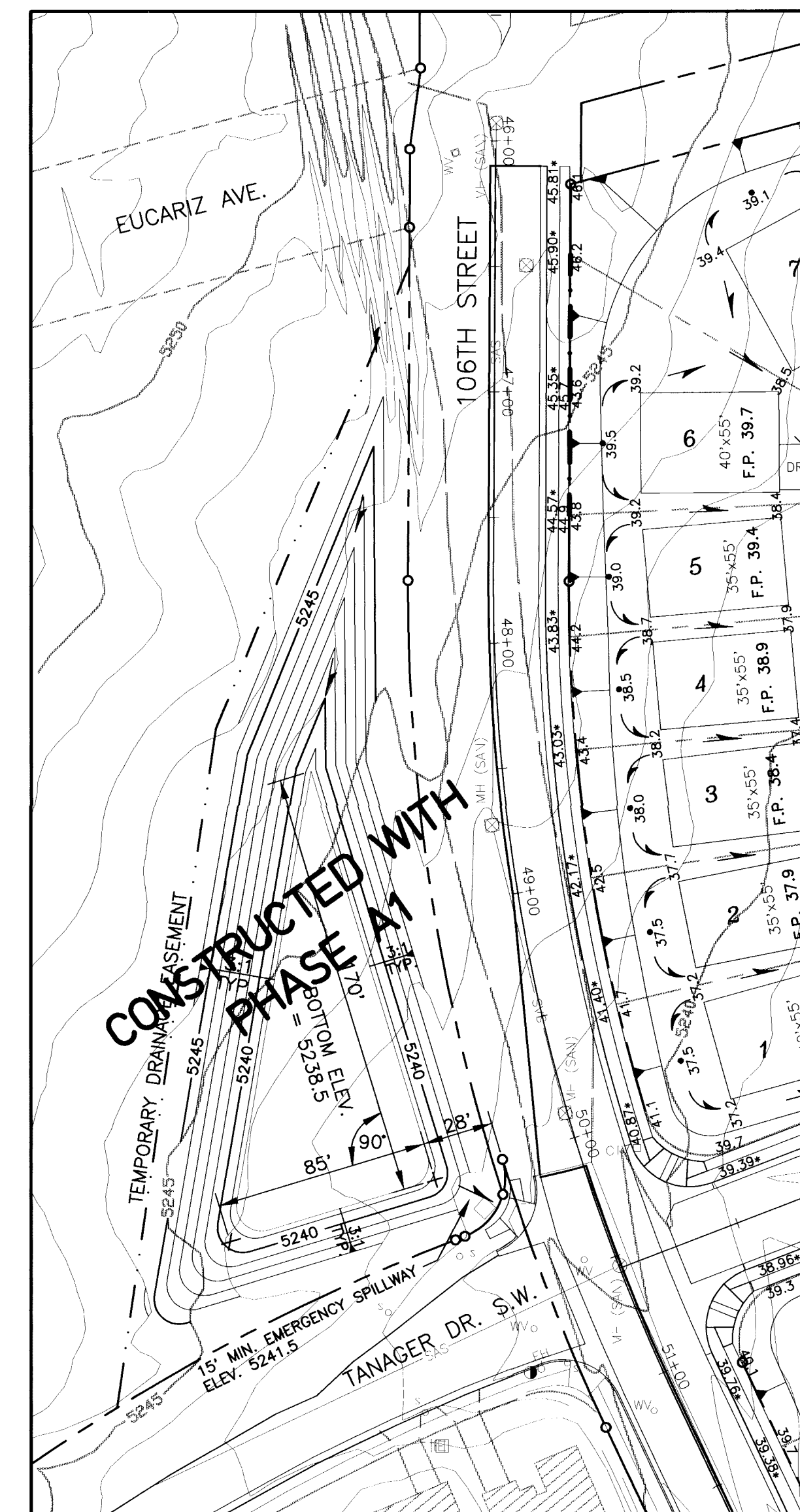
REVISIONS					
NO.	DATE	REMARKS	BY	DATE	
1	1-95	DESIGN			
2	1-95	DEC			
3	1-95	RPB			



- NOTES:**
1. CARE SHALL BE TAKEN TO DIRECT THE DRAINAGE FROM EACH LOT THROUGH THE COMMON DRAINAGE EASEMENTS TO THE STREETS. RUNOFF SHALL NOT BE PERMITTED TO CROSS FROM ONE LOT ONTO ANOTHER.
 2. EARTH SLOPES SHALL NOT EXCEED 3:1 RETAINING WALLS SHALL BE PROVIDED WHERE A VERTICAL DROP AT THE PROPERTY LINE IS REQUIRED TO MAINTAIN THE EARTH SLOPES AT 3:1 OR LESS WITHIN EACH LOT.



TYPICAL COMMON DRAINAGE SWALE BETWEEN LOTS
3/8" = 1'-0"



OFF-SITE RETENTION POND
(TEMPORARY) 1" = 50'

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	
2	6	-	5	1	2	4	.	9	2			0	4	9	5

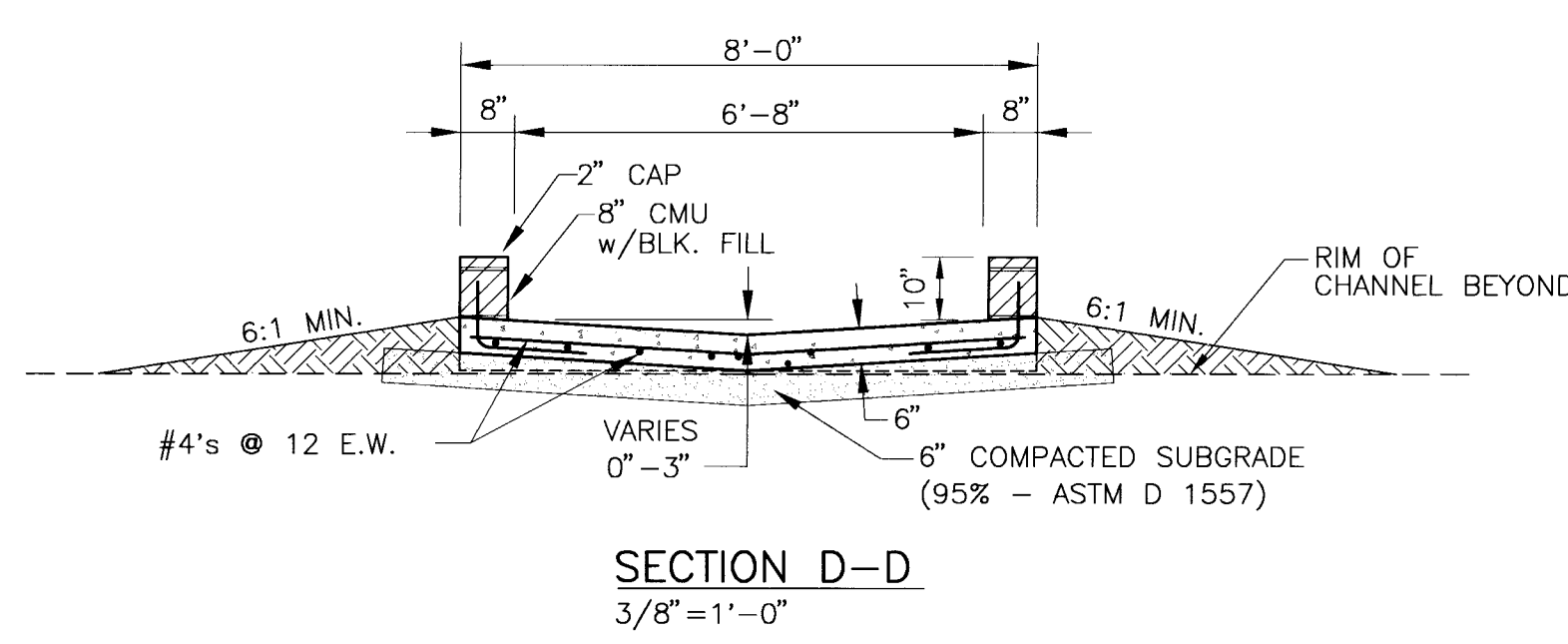
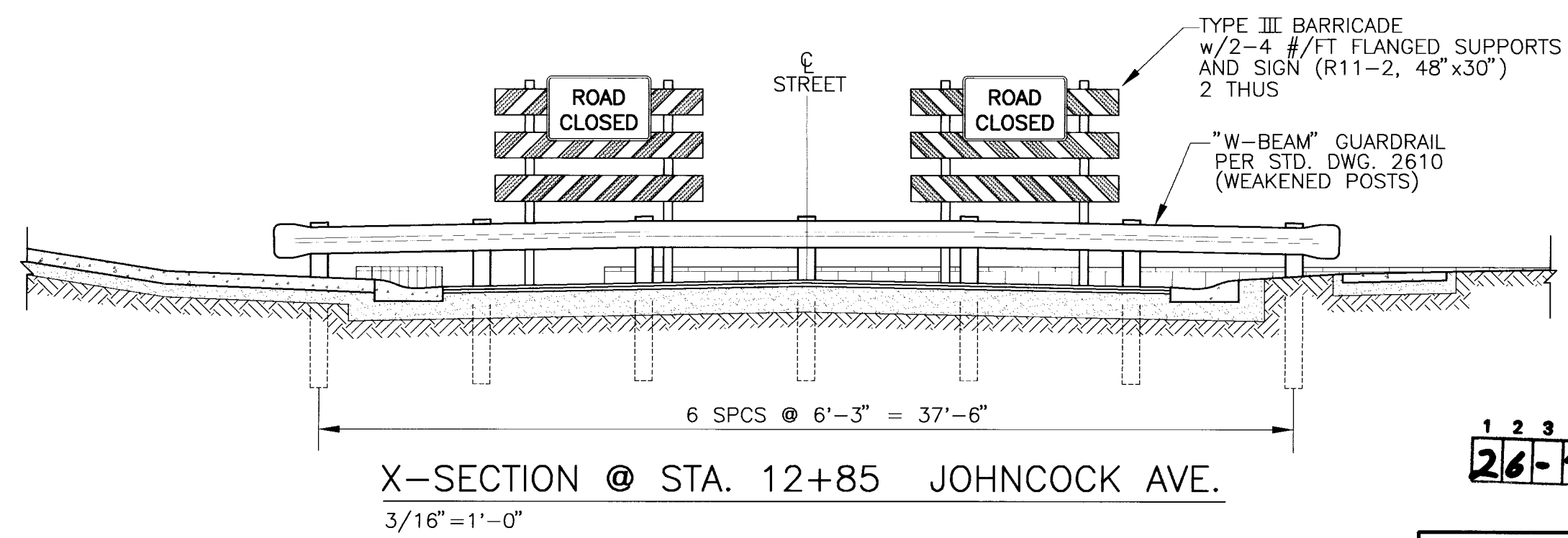
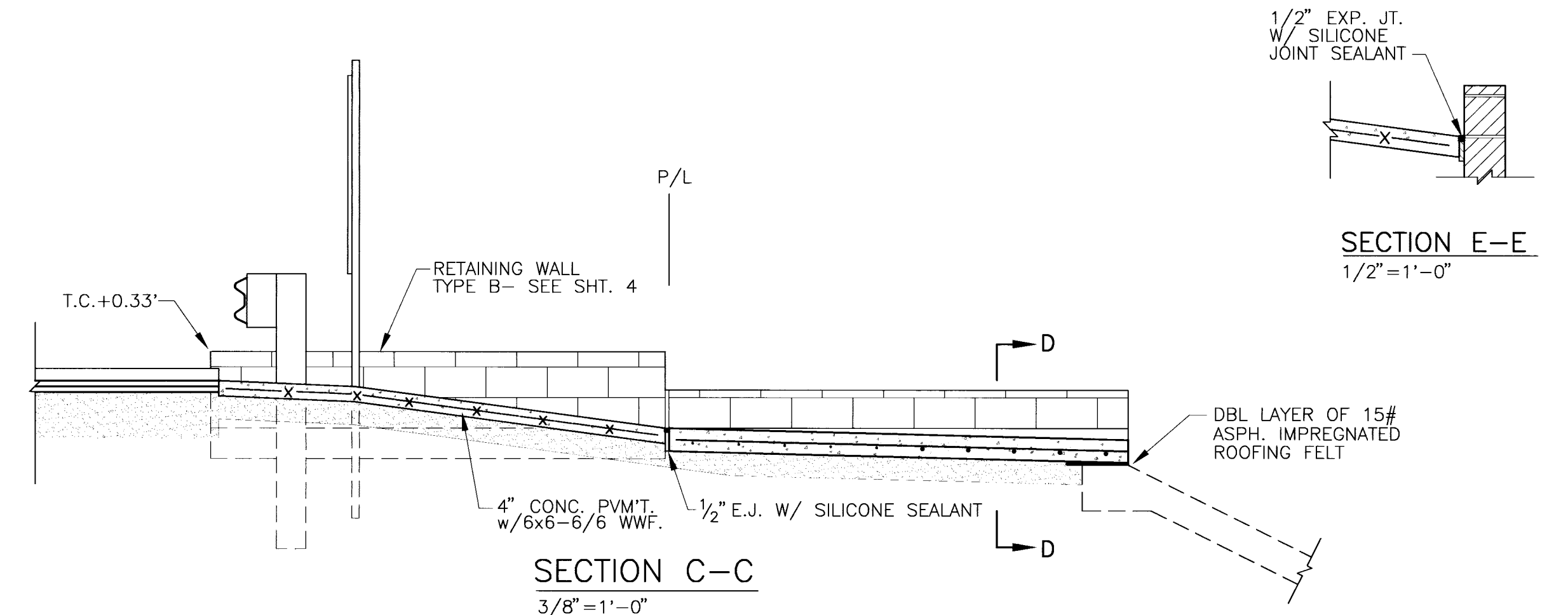
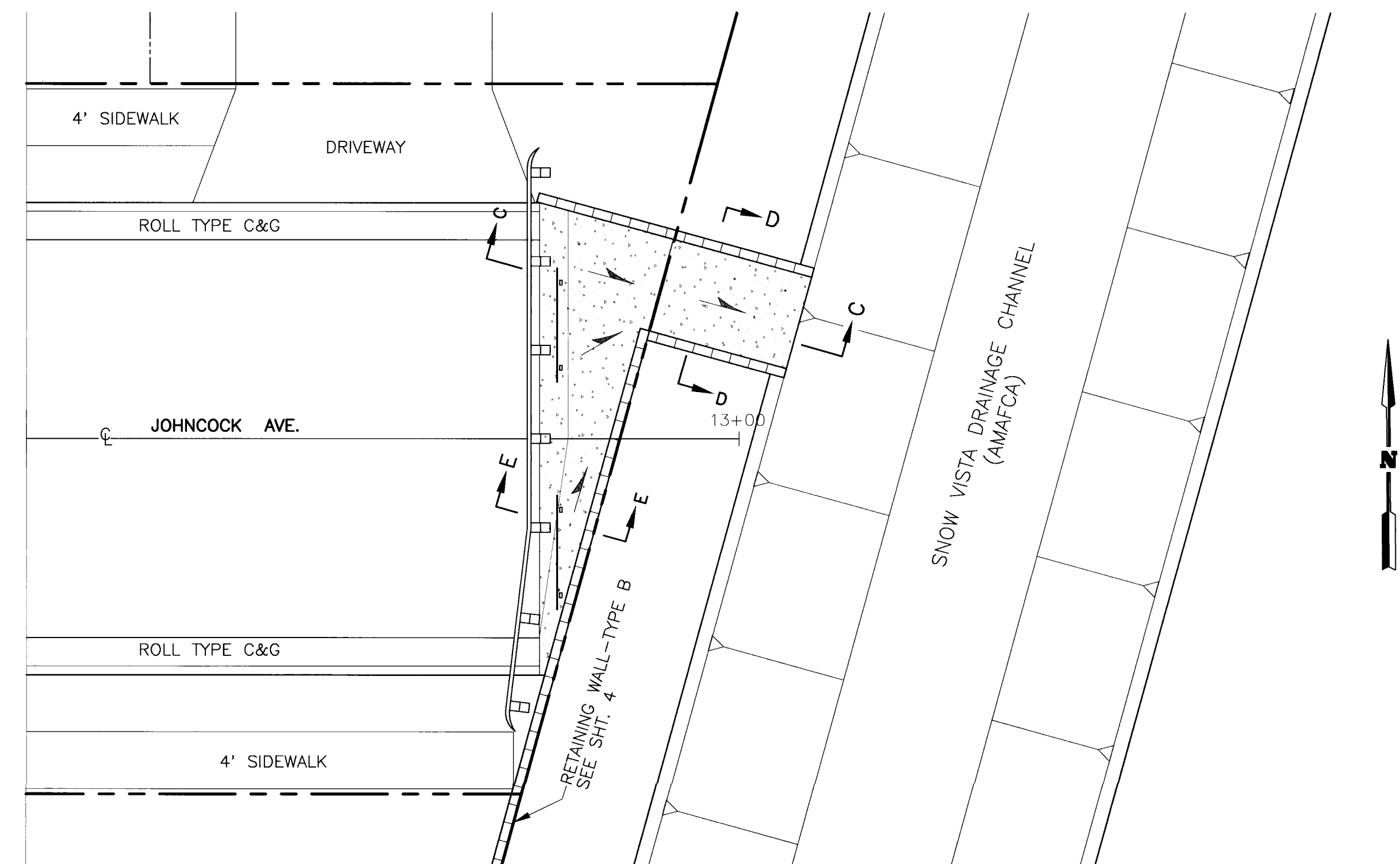
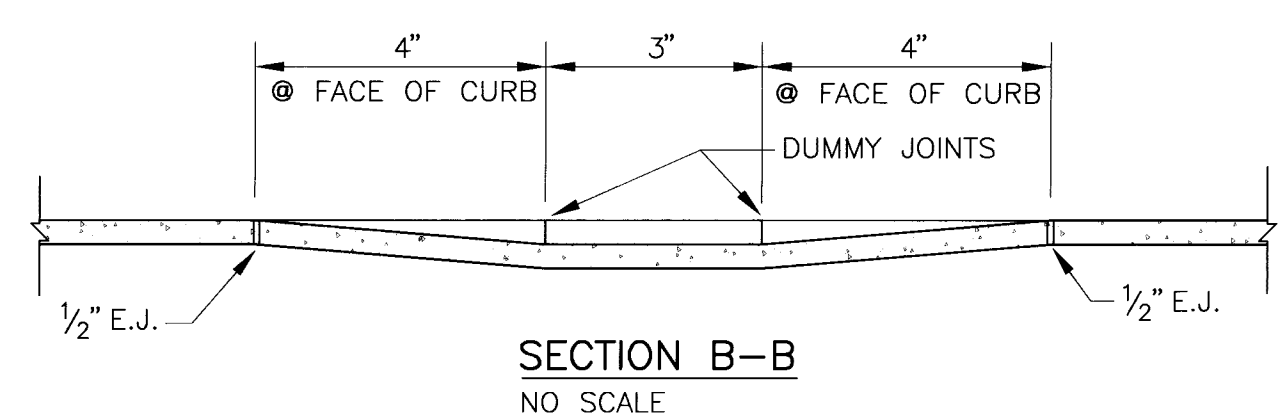
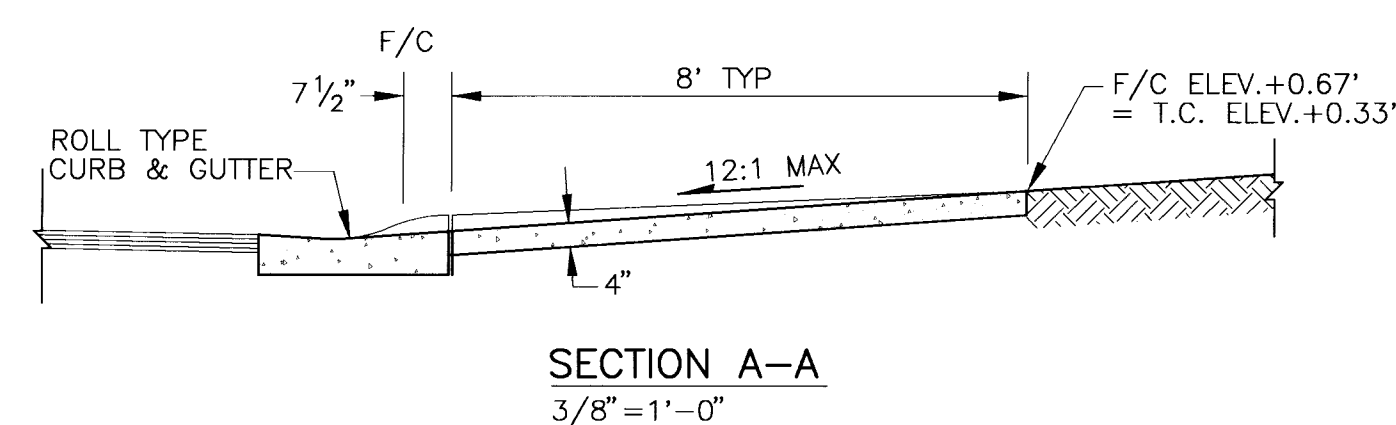
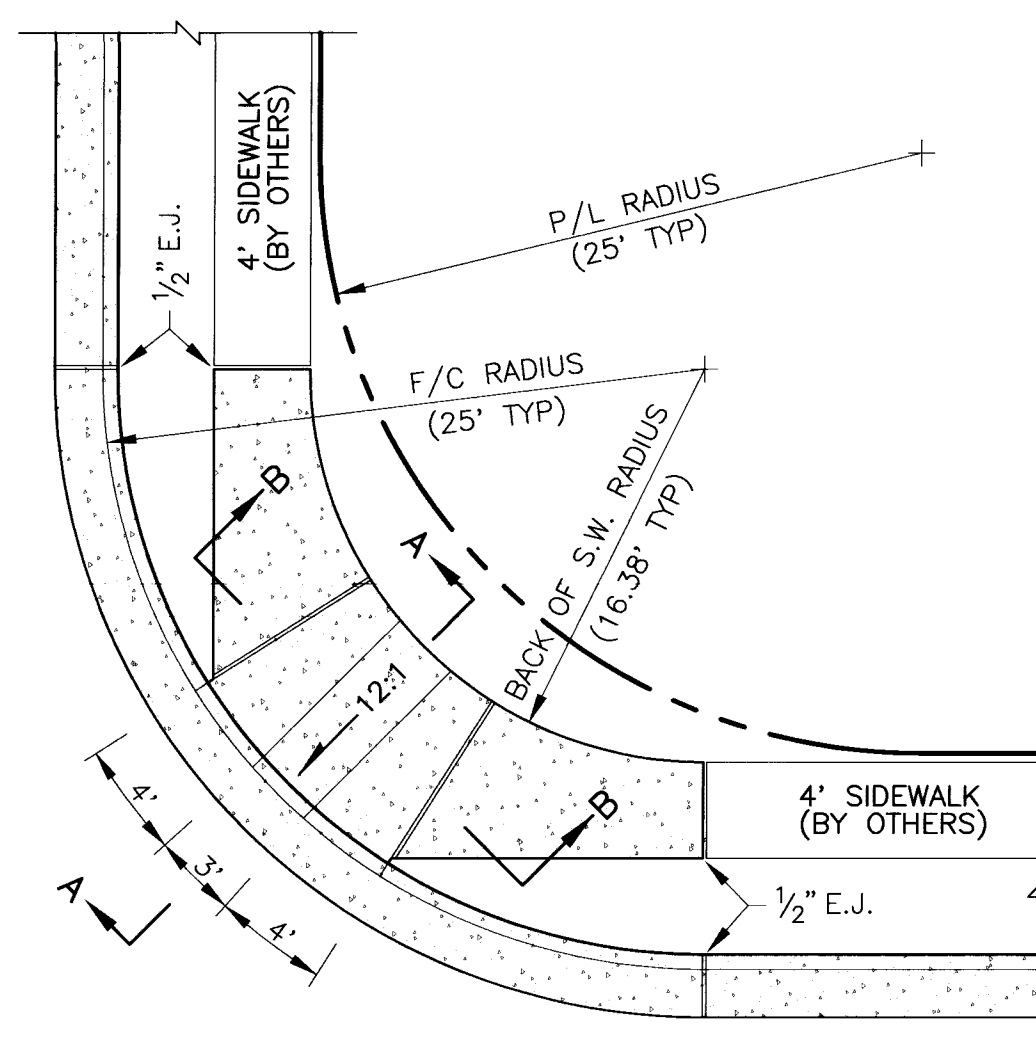
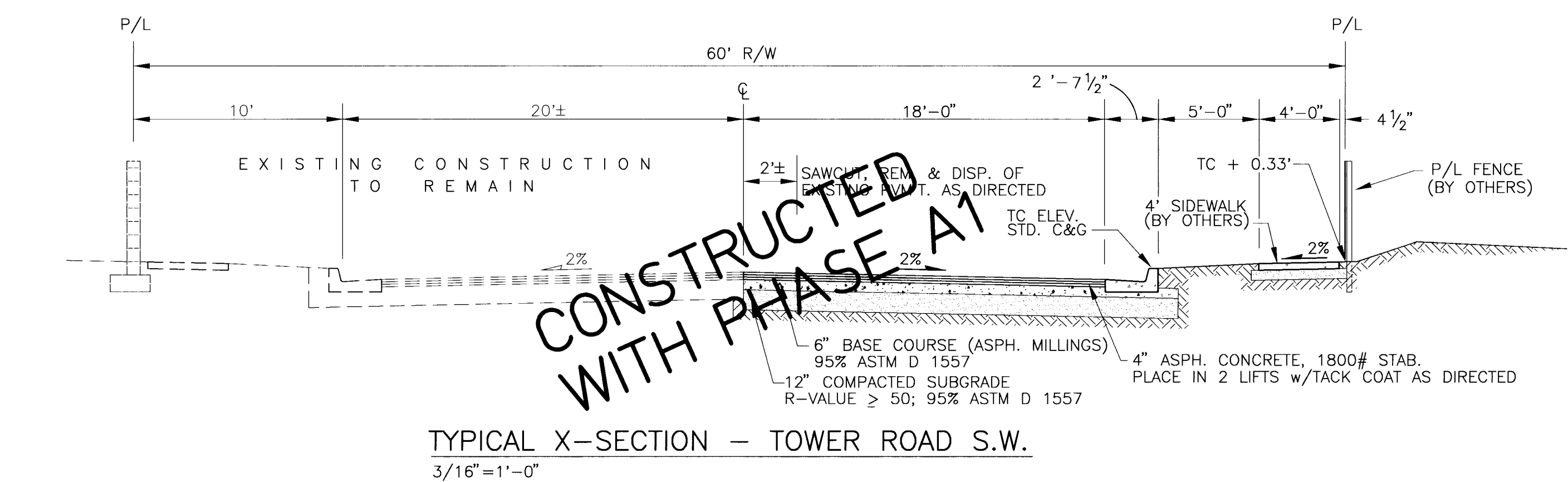
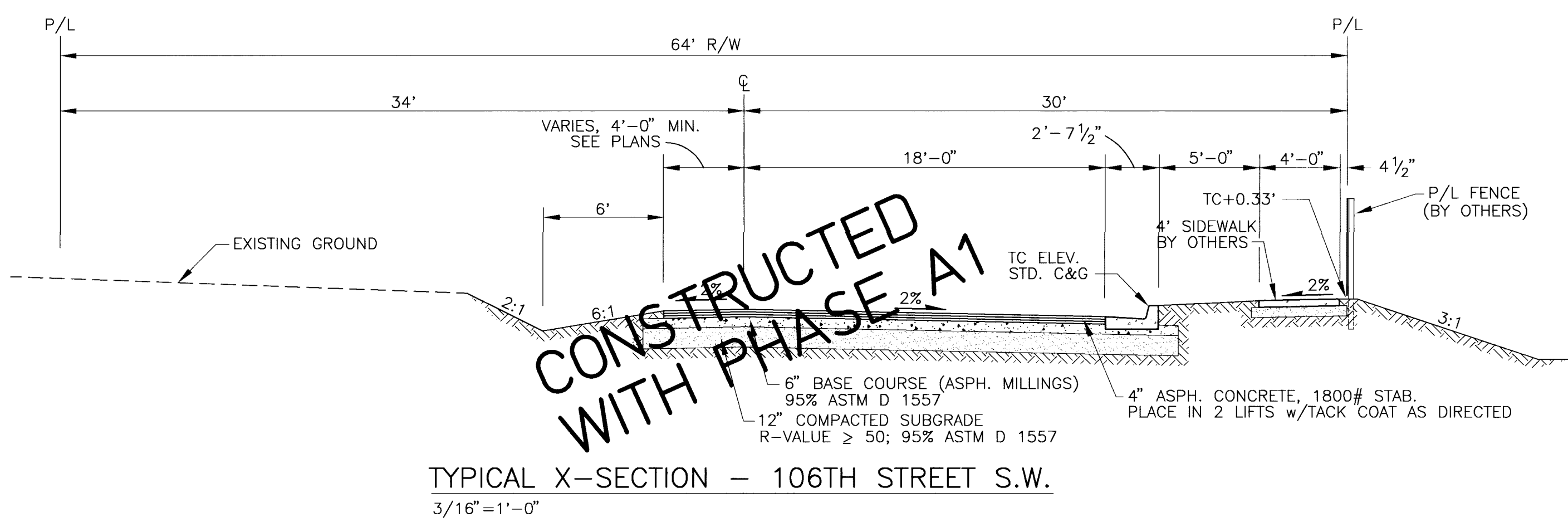
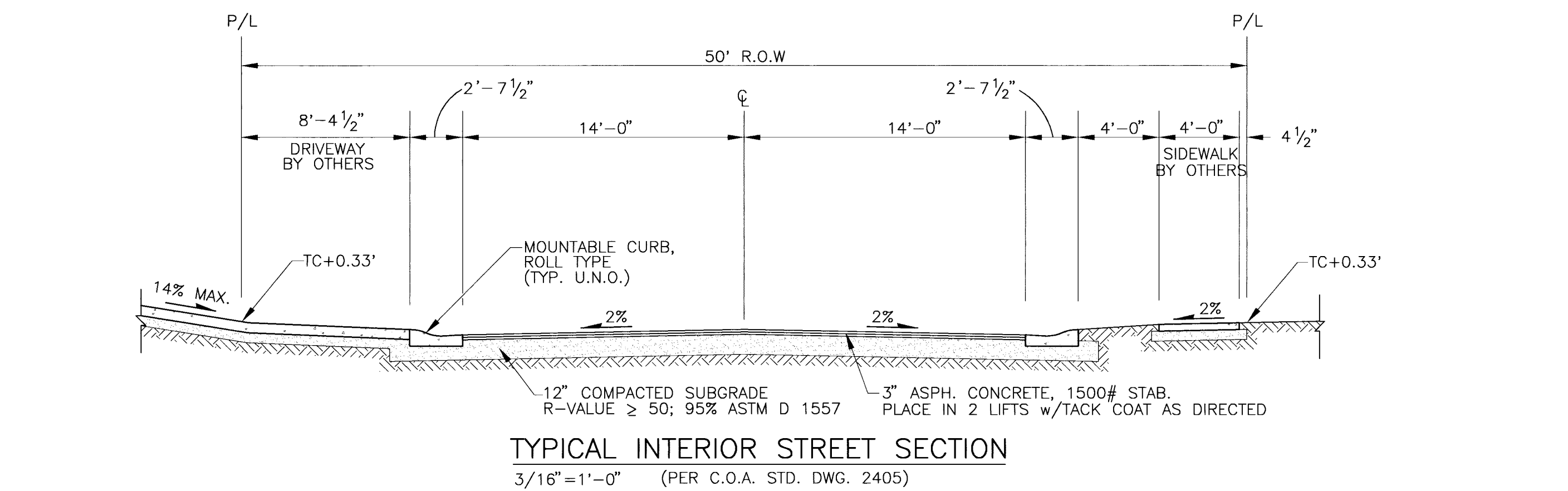
Easterling & Associates, Inc.
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ALBUQUERQUE, NEW MEXICO 87114
(505) 898-8021 FAX (505) 898-8501

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP
SUNRISE TERRACE, UNIT 1 – PHASE 1
GRADING & RETAINING WALL DETAIL
OFF-SITE RETENTION POND

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	<i>[Signature]</i>	4-19-95	WATER	<i>[Signature]</i>	4/12/95
TRANS. DEV.	N/A CHD	4-12-95	WASTEWATER		
HYDROLOGY	<i>[Signature]</i>	4-12-95	CONST. COORD.		

DRAWING NO.	5124.92	MAP NO.	L-8	SHEET	4	OF	15
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ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		ACS ALUMINUM CAP "S-LB" AT N.E. CORNER OF CENTRAL AVE. AND 110 TH. ST. S.W.			
		NO.	BY	DATE		CONTRACTOR	
						WORK	DATE
						INSPECTOR'S	DATE
						ACCEPTANCE BY	DATE
						VERIFICATION BY	DATE
						DRAWINGS	DATE
						COORDINATED BY	DATE
						MICRO-FILM INFORMATION	
						RECORDED BY	DATE
						NO.	

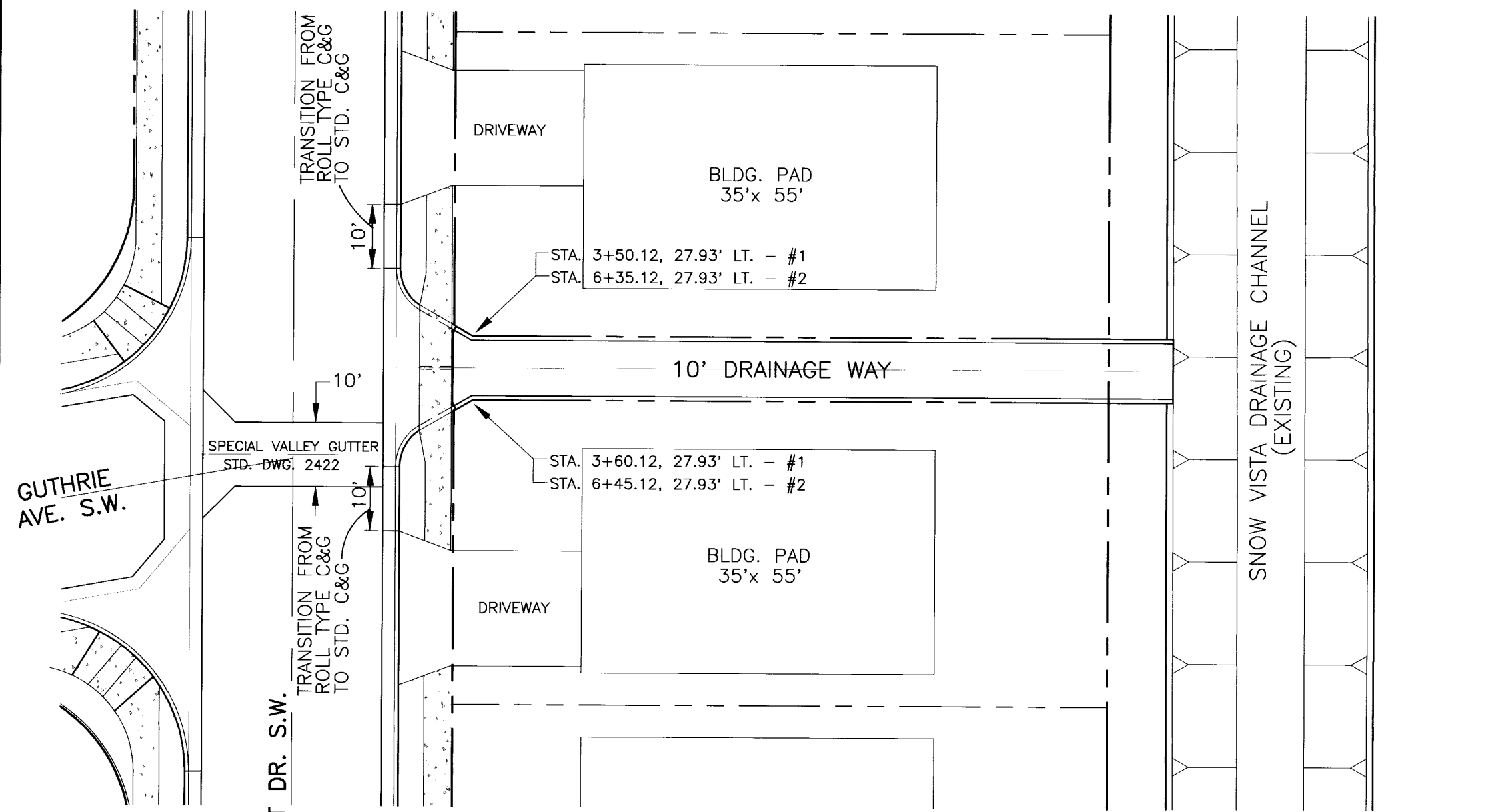


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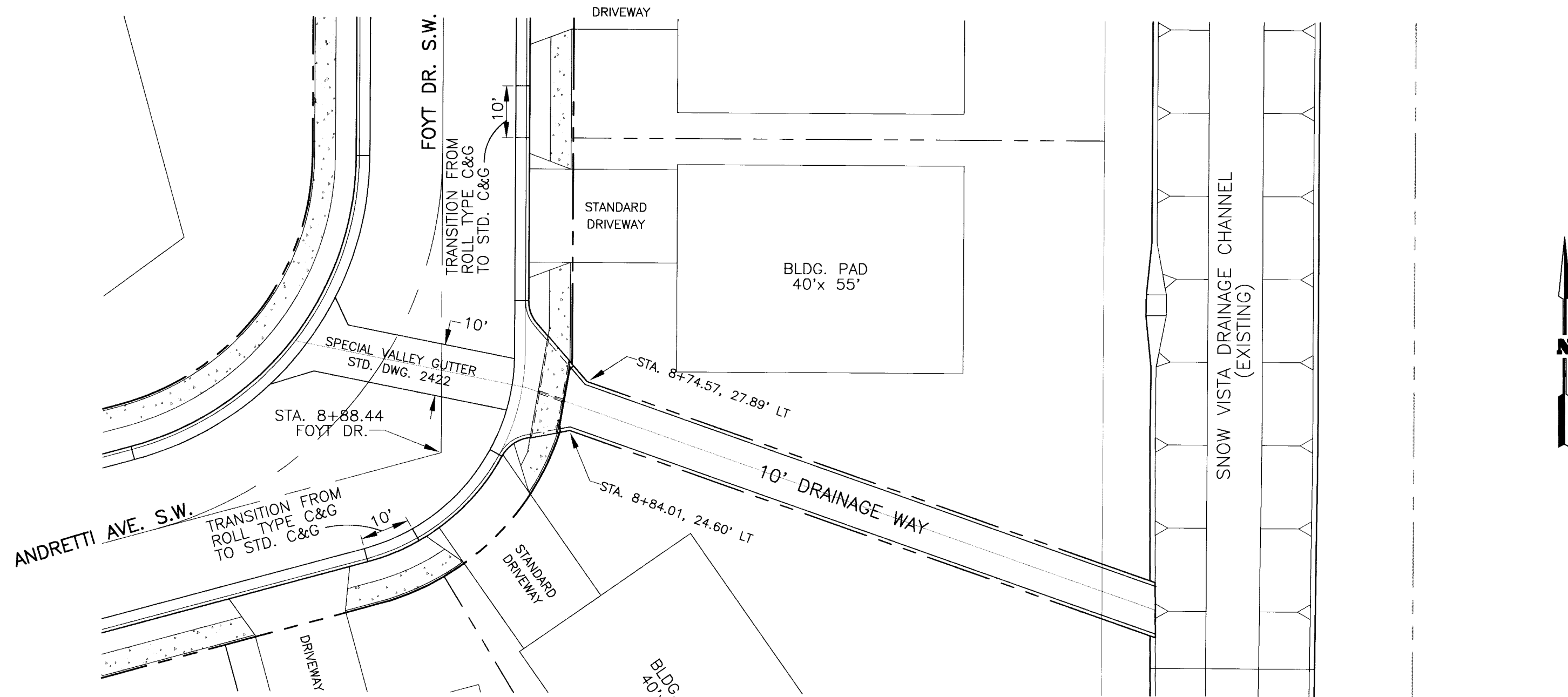
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ALBUQUERQUE, NEW MEXICO 87114
(505) 898-8021 FAX (505) 898-8501

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
SUNRISE TERRACE, UNIT 1 - PHASE A2					
STREET X-SECTIONS & DETAILS DRAINAGE OUTLET @ JOHNCOCK AVE.					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	<i>[Signature]</i>	4-19-95	WATER	<i>[Signature]</i>	4/19/95
TRANS. DEV.	<i>[Signature]</i>	4-12-95	WASTEWATER		
HYDROLOGY	<i>[Signature]</i>	4-12-95	CONST. COORD.		
A.M.A.F.C.A.					
DRAWING NO.	5124.92	MAP NO. L-8	SHEET 5 OF 15		

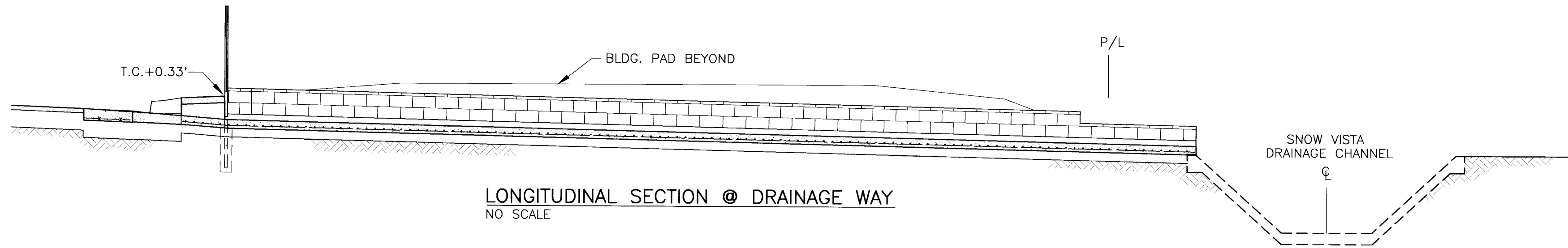
AS BUILT INFORMATION			BENCH MARKS			SURVEY INFORMATION			ENGINEER'S SEAL		
CONTRACTOR	DATE		ACS ALUMINUM CAP "5-LB" AT N.E. CORNER OF CENTRAL AVE. AND 110 TH. ST. S.W.	DATE		FIELD NOTES	DATE				
INSPECTOR'S	DATE		ELEVATION = 5301.89 MSL	DATE		BY	DATE				
FIELD	DATE			DATE		ALBUQUERQUE SURVEYING CO. AND T.R. MANN & ASSOC. (PHOTOGRAMMETRY)	DATE				
VERIFICATION BY	DATE			DATE							
CORRECTED BY	DATE			DATE							
	DATE			DATE							
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	DATE			DATE							
	DATE			DATE							
	DATE			DATE							
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	DATE			DATE							



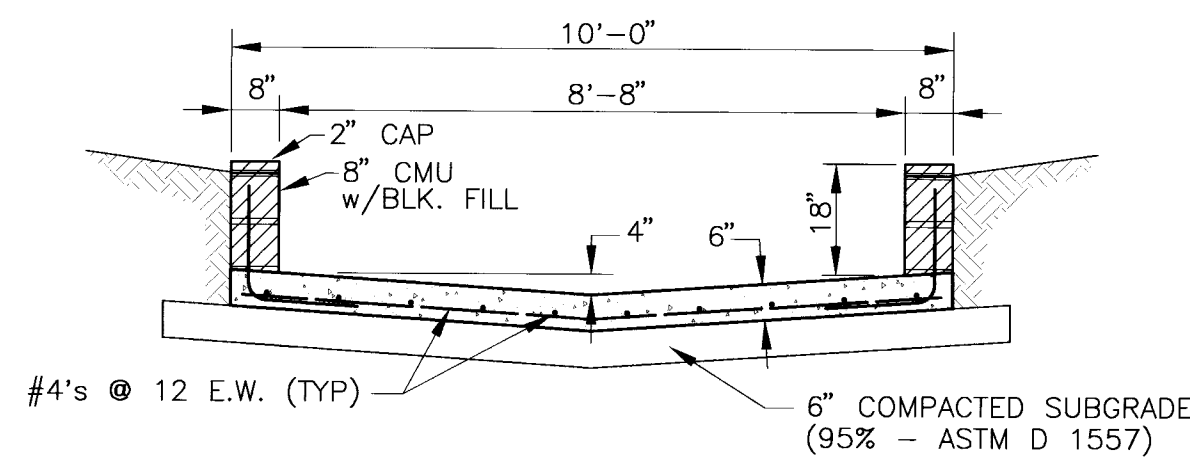
PLAN @ DRAINAGE WAY #1
1"=20'
(DRAINAGE WAY #2 SIMILAR)



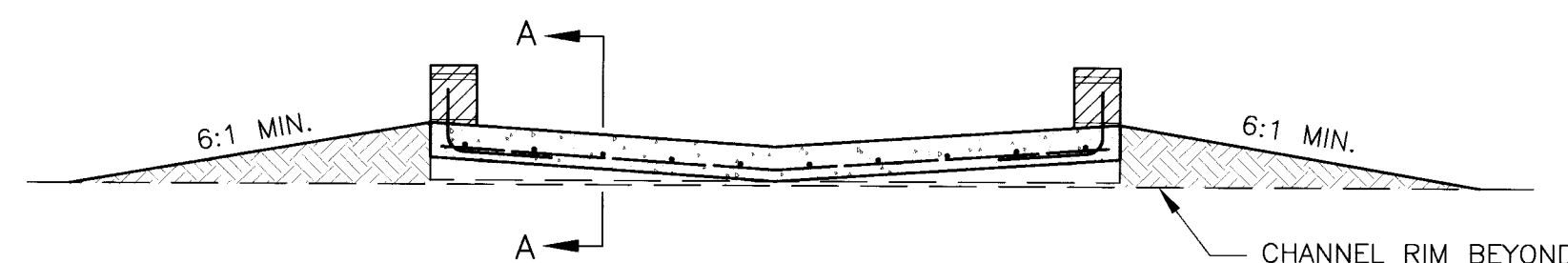
PLAN @ DRAINAGE WAY #3
1"=20'



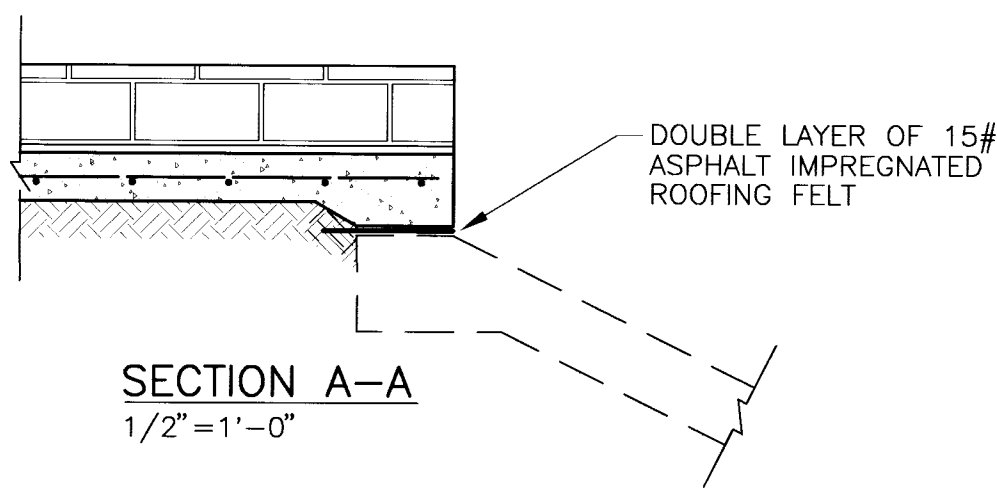
LONGITUDINAL SECTION @ DRAINAGE WAY
NO SCALE



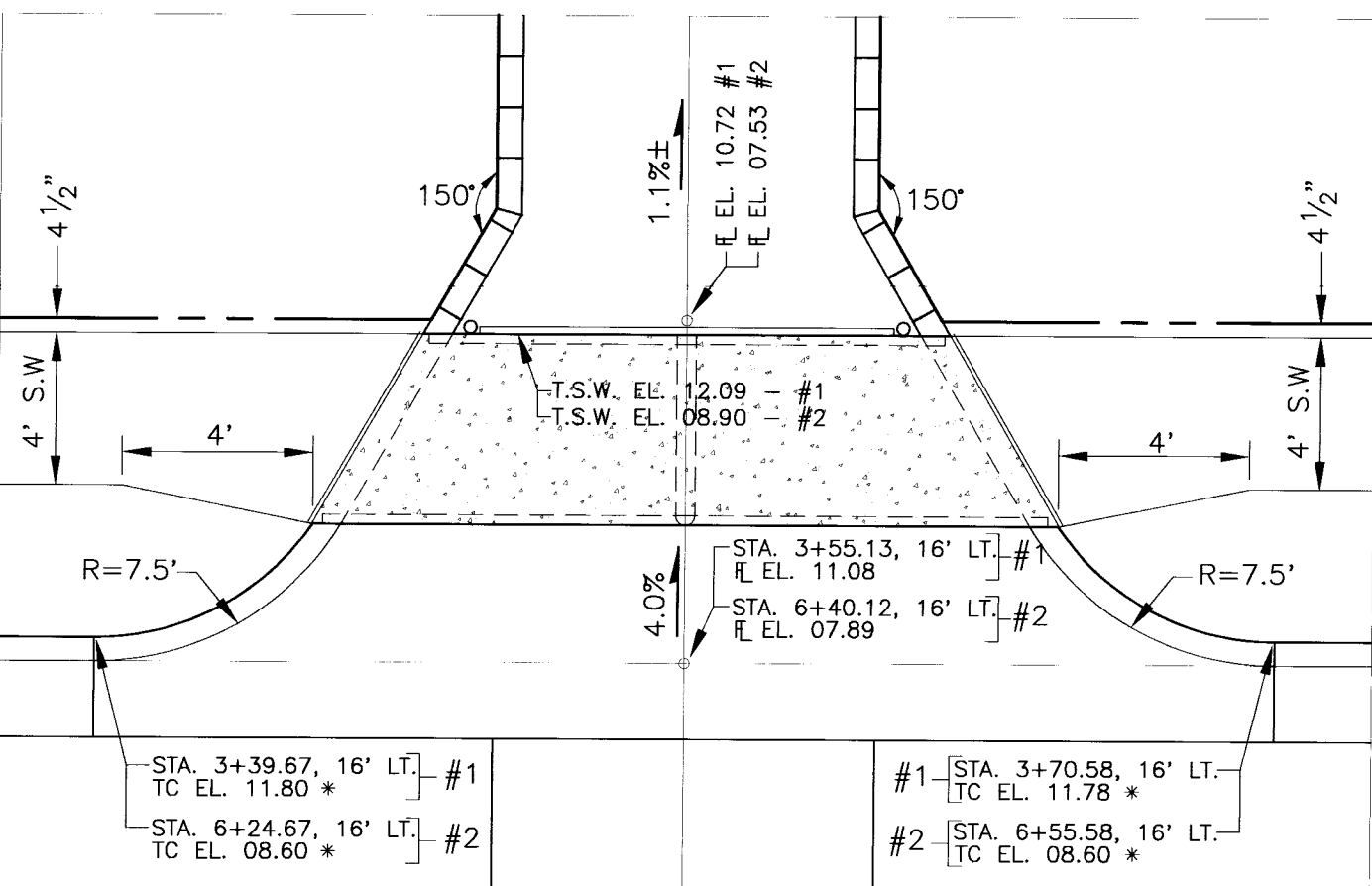
TYPICAL DRAINAGE WAY X-SECTION
3/8"=1'-0"



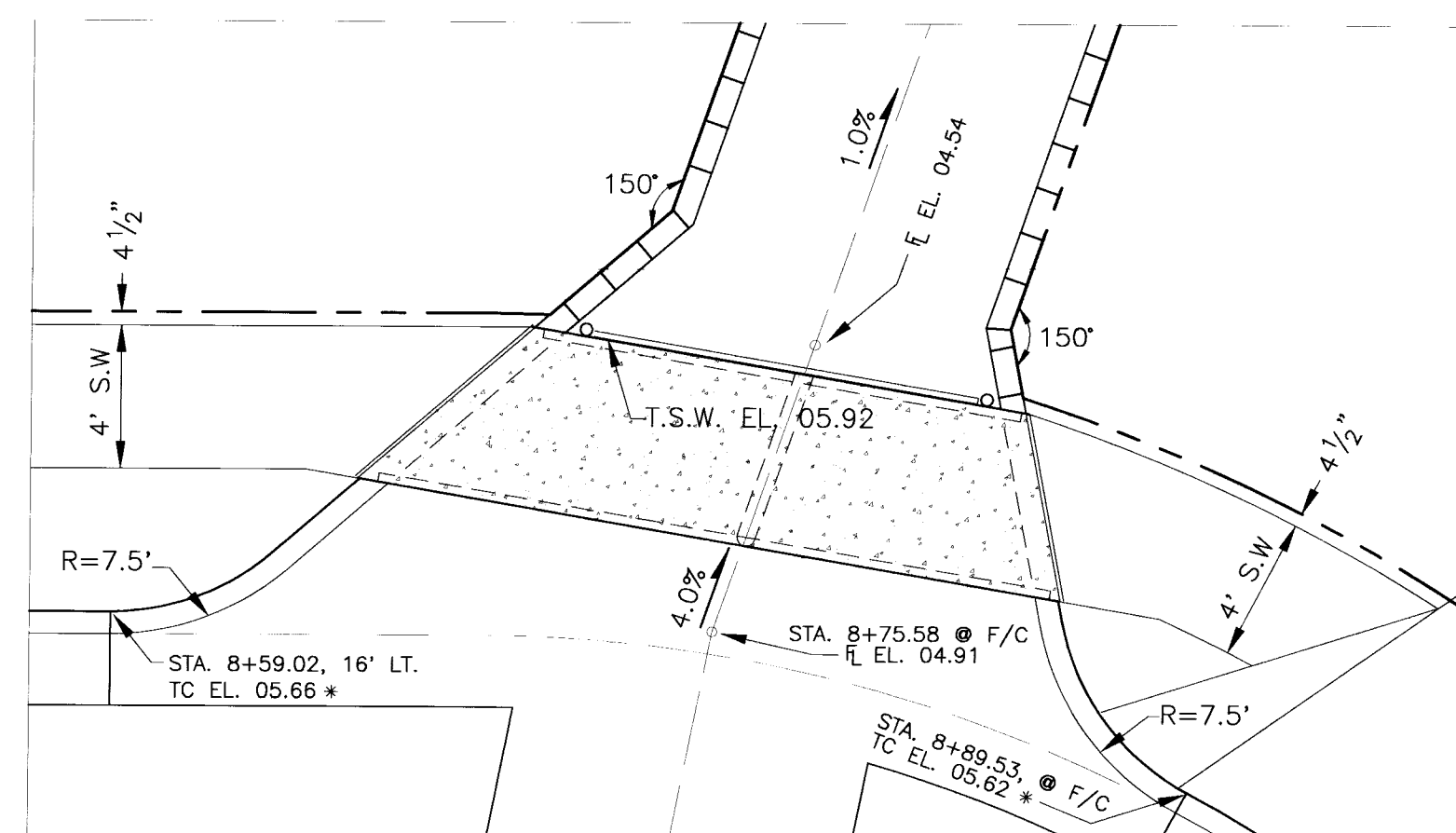
X-SECTION OF DRAINAGE WAY
@ SNOW VISTA CHANNEL
3/8"=1'-0"



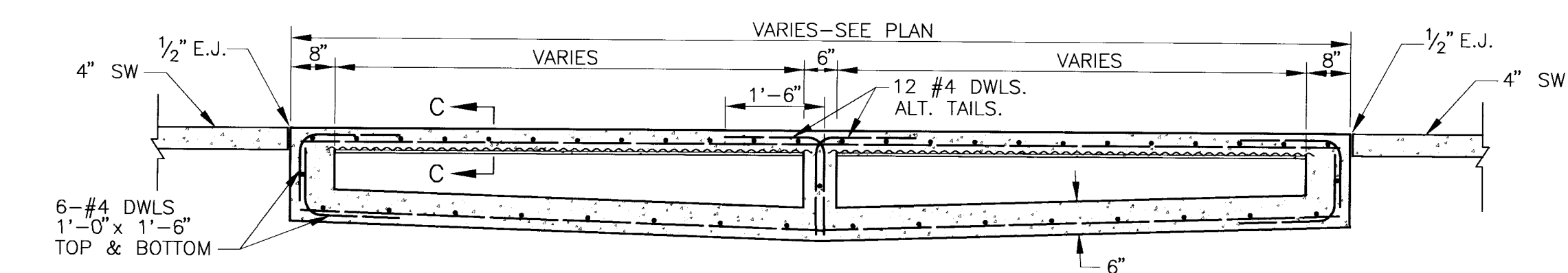
SECTION A-A
1/2"=1'-0"



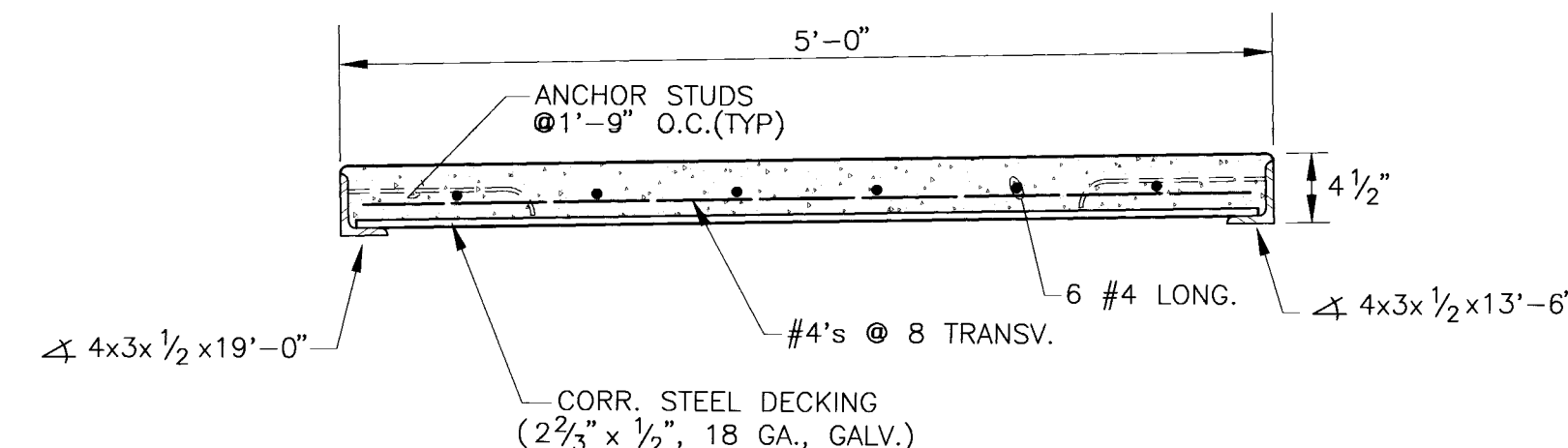
SIDEWALK BRIDGE @ DRAINAGE WAYS #1 & #2
1"=5' * TC EL. FOR CITY STANDARD CURB & GUTTER



SIDEWALK BRIDGE @ DRAINAGE WAY #3
1"=5' * TC EL. FOR CITY STANDARD CURB & GUTTER



SECTION B-B
1/2"=1'-0"



SECTION C-C
1"=1'-0"

SCANNED BY
BY LASON

ENGINEER'S SEAL			SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION										
	NO.	DATE	BY	FIELD NOTES	ACS ALUMINUM CAP "15-LB" AT N.E. CORNER OF CENTRAL AVE. AND 110 TH. ST. S.W.	CONTRACTOR	WORK BY	DATE	INSPECTOR'S	DATE	ACCEPTANCE BY								
REVISIONS			DESIGN			MICRO-FILM INFORMATION			RECORDED BY										
NO.			DATE			NO.			DATE										
DESIGNED BY			DATE			RECORDED BY			DATE										
DRAWN BY			DATE			NO.			DATE										
CHECKED BY			DATE			NO.			DATE										

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5124-92 0695

Easterling & Associates, Inc.
CONSULTING ENGINEERS
10131 Coors Rd., NW, Suite H-7
ALBUQUERQUE, NEW MEXICO 87114
(505) 898-8021 FAX (505) 898-8501

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
SUNRISE TERRACE, UNIT 1 - PHASE A2 DRAINAGE OUTLET CHANNEL DETAILS					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	<i>[Signature]</i>	4.19.95	WATER	<i>[Signature]</i>	4.14.95
TRANS. DEV.	<i>[Signature]</i>	7.12.95	WASTEWATER		
HYDROLOGY	<i>[Signature]</i>	1.12.95	CONST. COORD.		
A.M.A.F.C.A.					
DRAWING NO.	5124.92	MAP NO. L-8	SHEET	6	OF 15

2005 21 04 08 55 44 005 450 01001947
705 03-27-95 157 39



LEGEND

	NEW	EXISTING
PHASE BOUNDARY		
WATER VALVE		
FIRE HYDRANT		
MANHOLE		
STREET LIGHT		
TEMPORARY SEDIMENT TRAP 30"x 25" BOTTL., 2' DEEP MIN. (REMOVE PRIOR TO NEXT PHASE CONSTRUCTION)		

NOTE

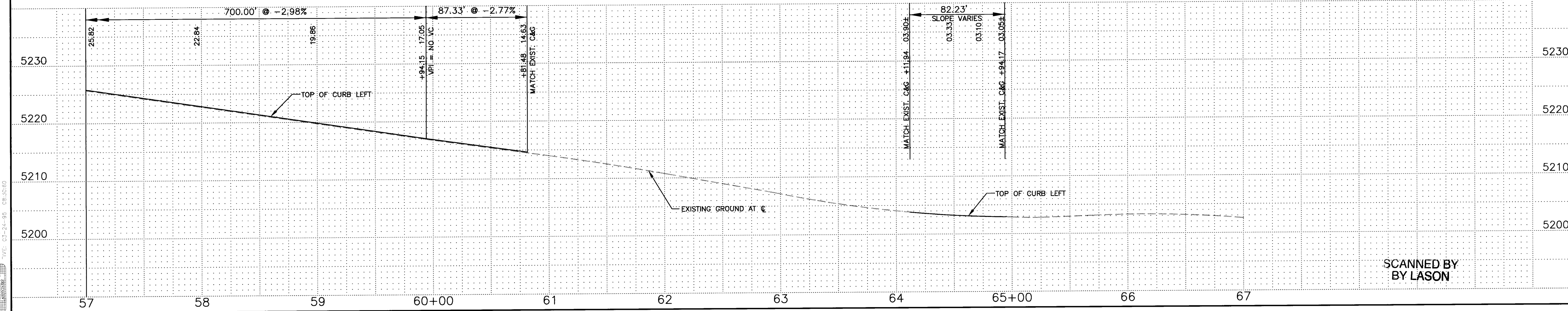
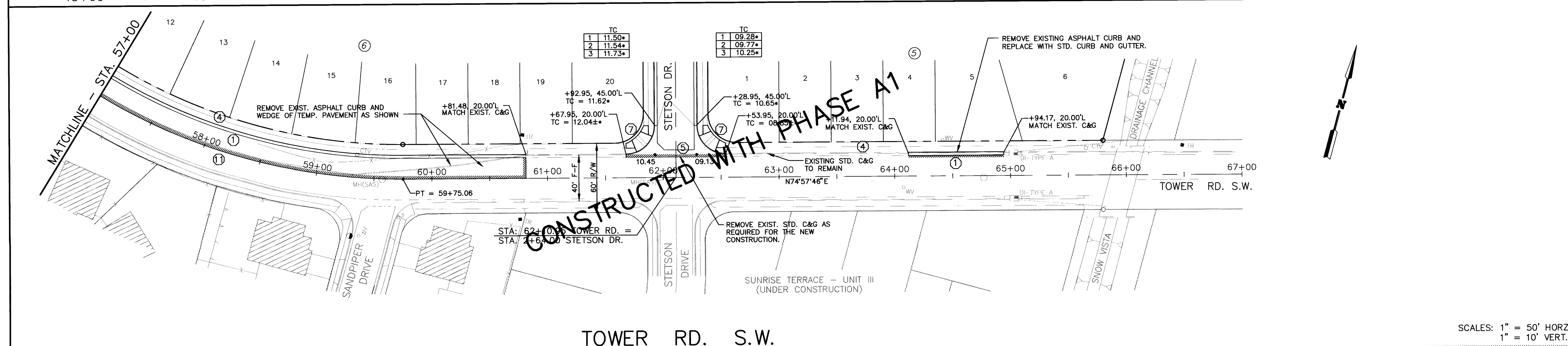
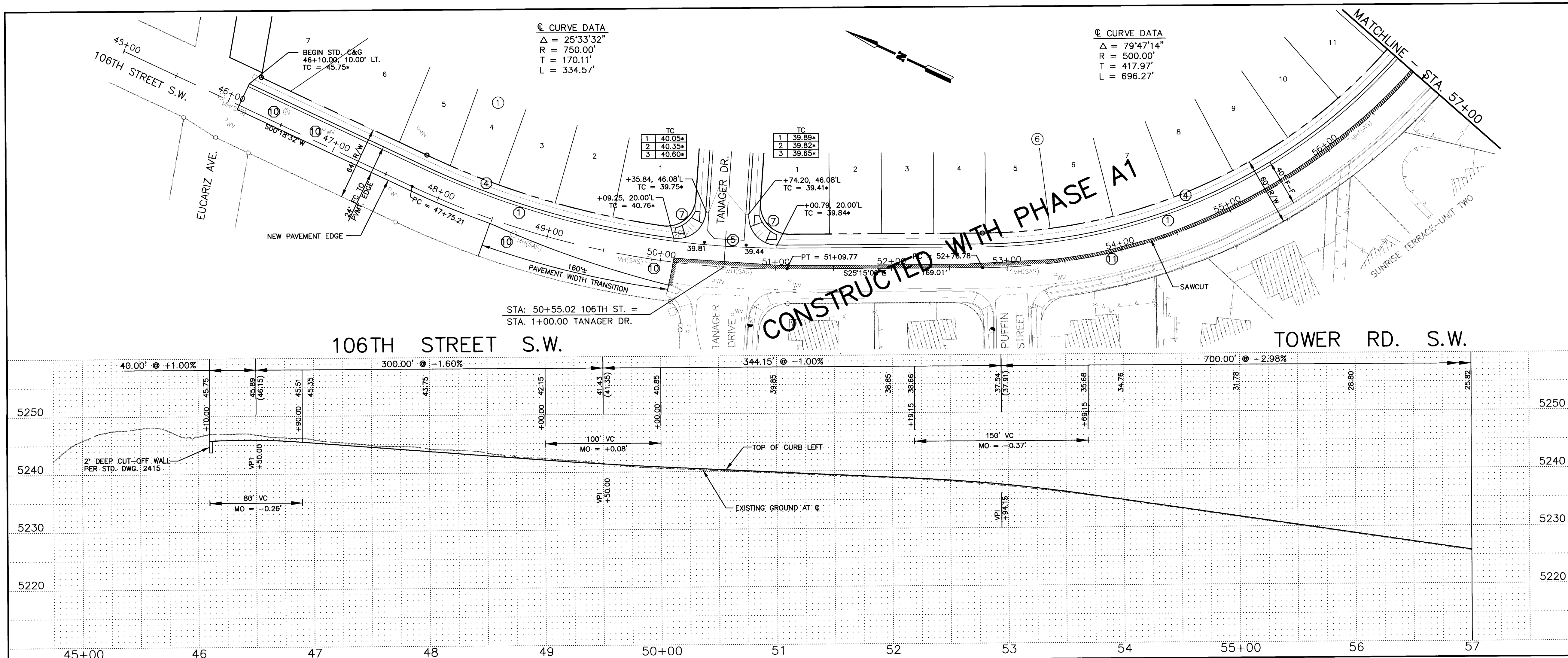
TOWER ROAD IS 40 FT WIDE F/F IN 60 FT R.O.W.
TANAGER DR. AND STETSON DR. ARE 36 FT WIDE F/F IN 56 FT R.O.W.
ALL INTERIOR STREETS ARE 32 FT WIDE F/F IN 50 FT R.O.W.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5124-92 0795

Easterling & Associates, Inc.
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
SUNRISE TERRACE, UNIT 1 - PHASE A2 COMPOSITE PAVING PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	<i>B. J. Aubrey</i>	4-19-95	WATER	<i>6/8/95</i>	4/14/95
TRANS. DEV.	<i>R. D. Smith</i>	4-12-95	WASTEWATER		
HYDROLOGY	<i>MD</i>	4-12-95	CONST. COORD.		
DRAWING NO.	5124.92	MAP NO. L-8	SHEET 7 OF 15		

ENGINEER'S SEAL			SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION		
			FIELD NOTES			ACS ALUMINUM CAP "5-18" AT N.E. CORNER OF CENTRAL AVE. AND 110 TH. ST. S.W. ELEVATION = 5301.89 MSL.			CONTRACTOR		
			NO.	BY	DATE				STAKED BY	DATE	DATE
					9-94				INSPECTOR	DATE	DATE
									FIELD	DATE	DATE
									REVISION BY	DATE	DATE
									DRAWINGS	DATE	DATE
									CORRECTED BY	DATE	DATE
									MICRO-FILM INFORMATION		
									RECORDED BY	DATE	DATE
									NO.		



LEGEND

TC 39.85 TOP OF CURB ELEVATION AT ROLL TYPE CURB & GUTTER.

TC 39.85+ TOP OF CURB ELEVATION AT STANDARD CURB & GUTTER.

39.85 FLOWLINE ELEVATION AT INTERSECTION OF PROJECTED FACE OF CURB.

MATCHLINE OF NEW TO EXISTING ASPHALT PAVEMENT.

KEYNOTES

- STANDARD CURB & GUTTER PER STD. DWG. 2415.
- ROLL TYPE CURB & GUTTER PER STD. DWG. 2415.
- 10' TRANSITION FROM STD C&G TO ROLL TYPE C&G.
- 4' CONCRETE SIDEWALK (BY OTHERS).
- CONCRETE VALLEY GUTTER PER STD. DWG. 2420.
- SPECIAL CONCRETE VALLEY GUTTER PER STD. DWG. 2422. (10' WIDE, 3/4\"
- WHEEL CHAIR RAMP PER STD. DWG. 2441, CASE II.
- WHEEL CHAIR RAMP WITH TRANSITION FROM STD. C&G TO ROLL TYPE C&G PER STD. DWG. 2418.
- WHEEL CHAIR RAMP AT ROLL TYPE C&G, SEE DETAIL, SHEET 5.
- ADJUST EXISTING MANHOLE OR VALVE BOX COVER AS REQUIRED TO MATCH NEW PAVEMENT GRADE.
- SAWCUT AND REMOVE EXISTING PAVEMENT EDGE (2' ± WIDTH) ON TOWER RD. AS REQUIRED TO PROVIDE A SOUND JOINT TO THE NEW CONSTRUCTION.

GENERAL NOTES

1. ELEVATIONS SHOWN IN PROFILES ARE \"TOP OF CURB\" CONTINUOUS THROUGH INTERSECTION OPENINGS, ETC. SEE PLAN SECTIONS FOR FLOWLINE ELEVATIONS AT SUCH BREAKS.

ENGINEER'S SEAL

26-5124-92 0845

Easterling & Associates, Inc.
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(505) 898-8021 FAX (505) 898-8501

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

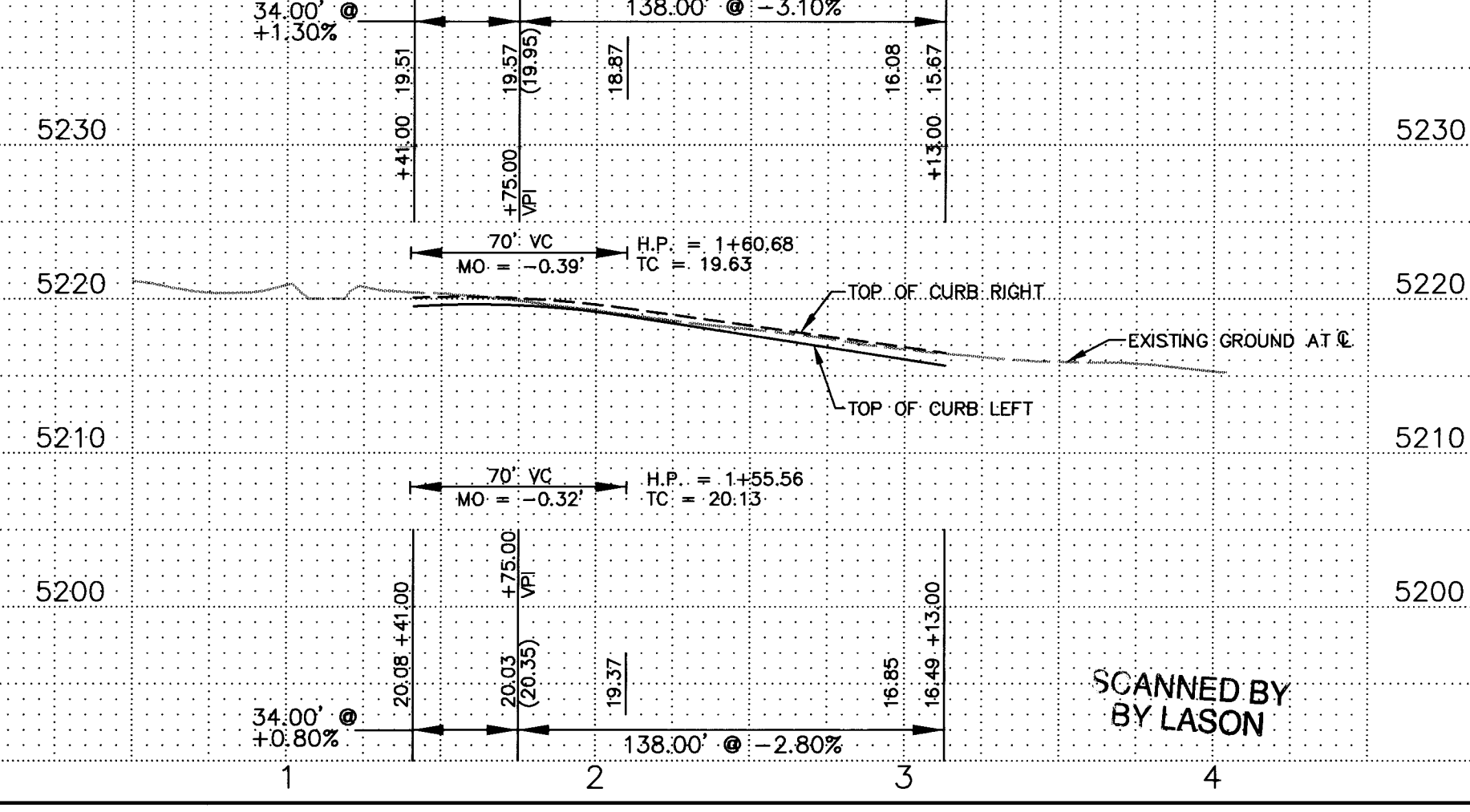
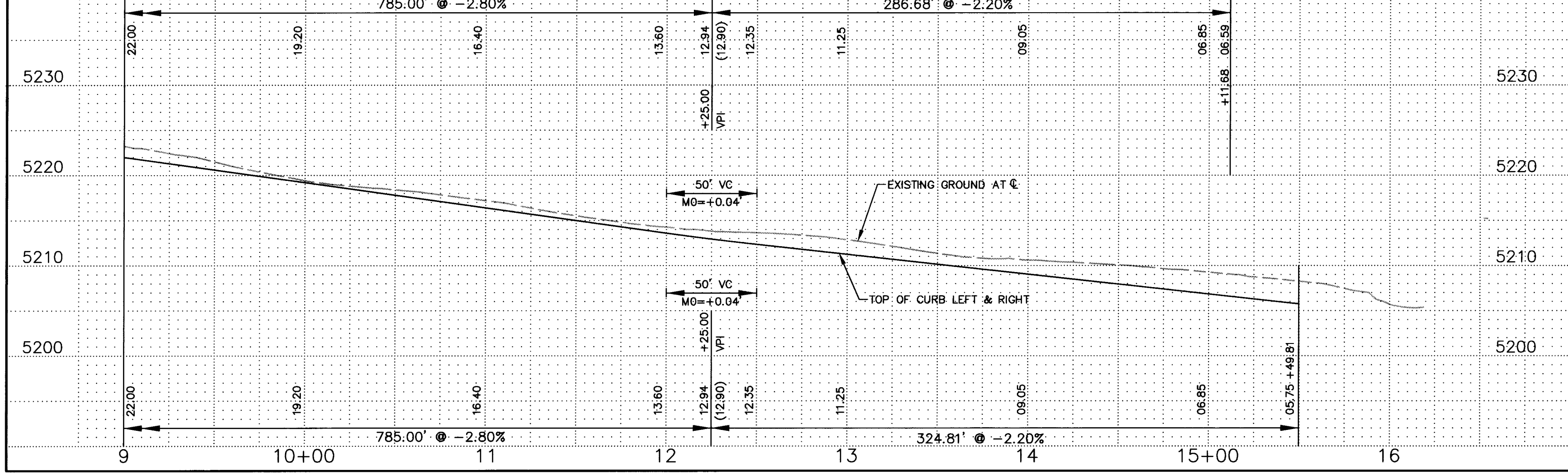
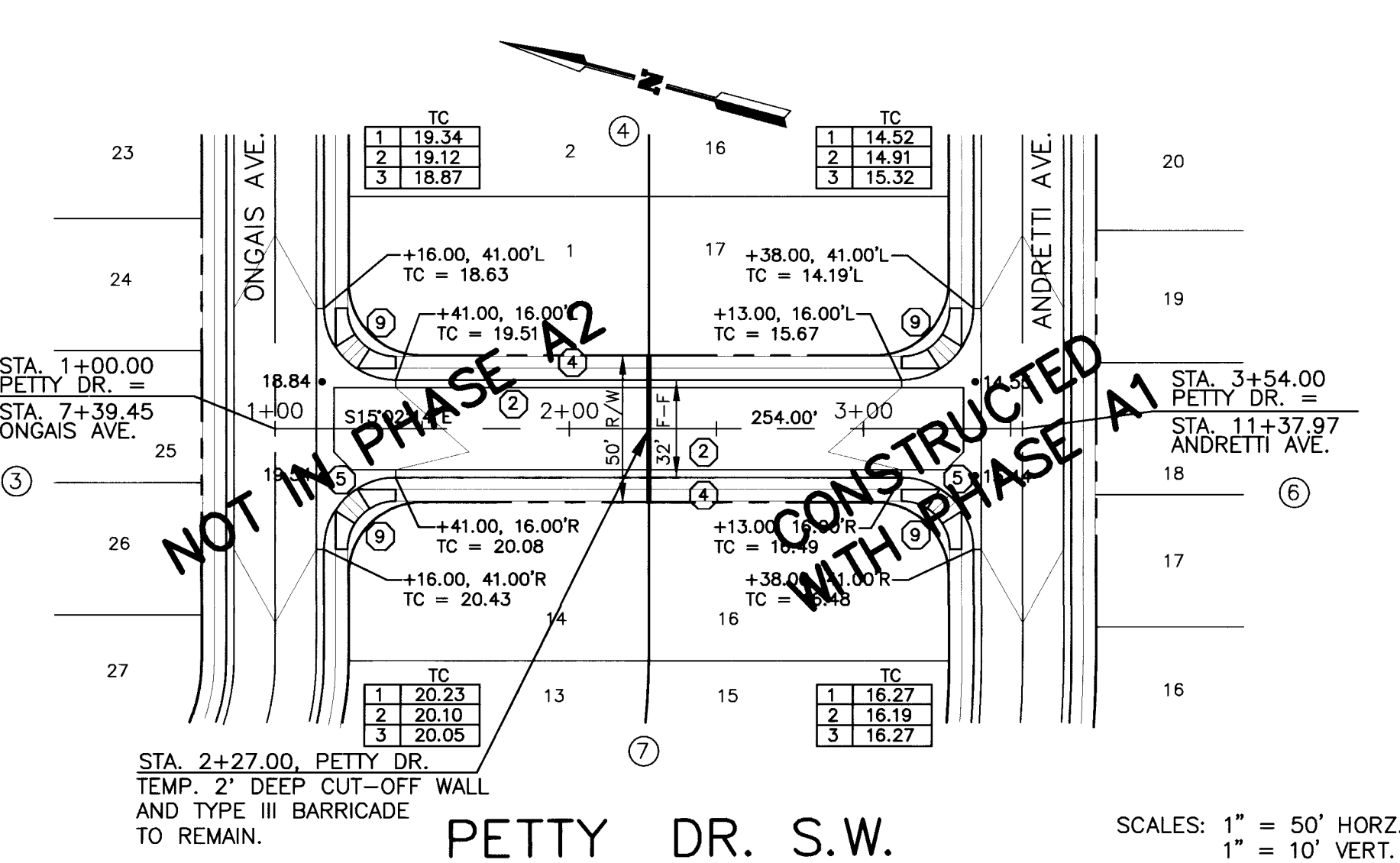
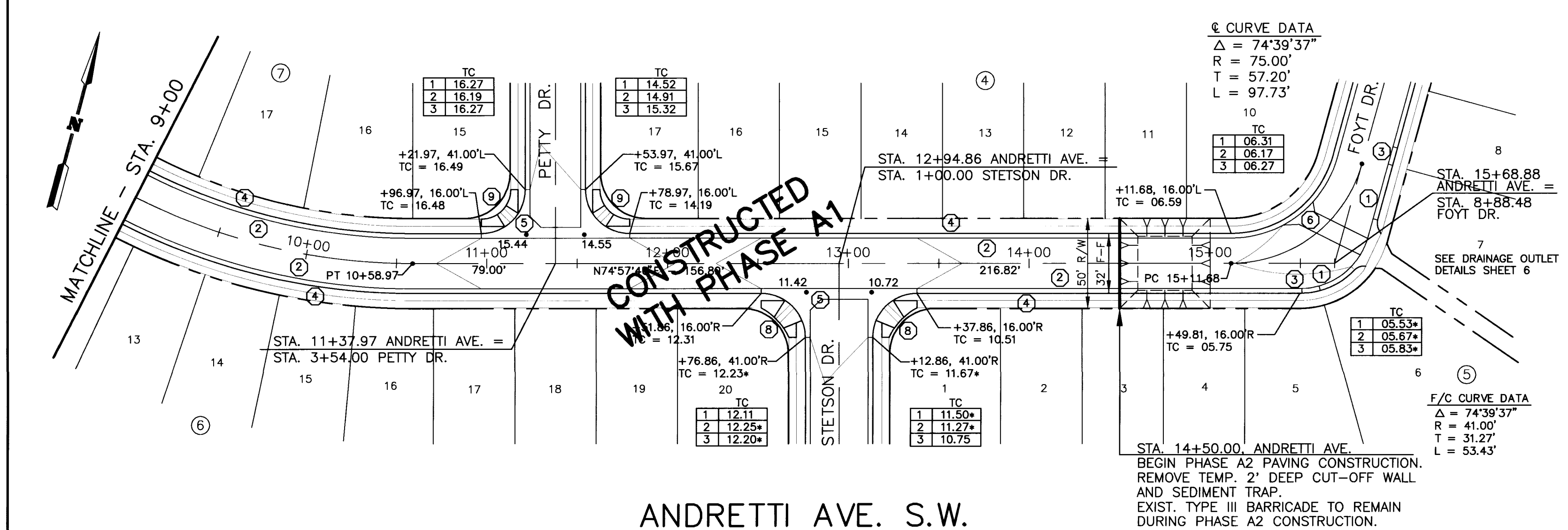
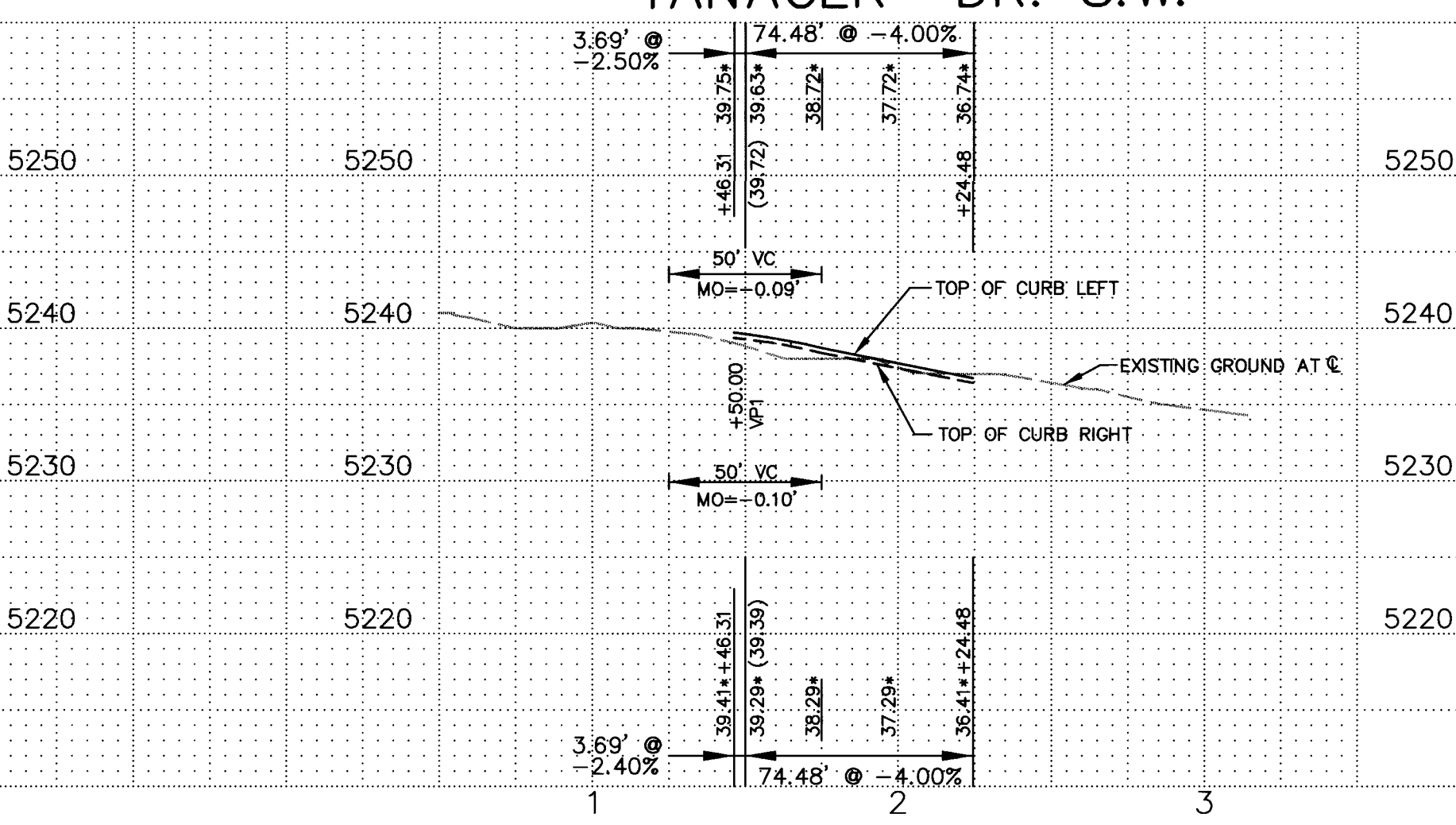
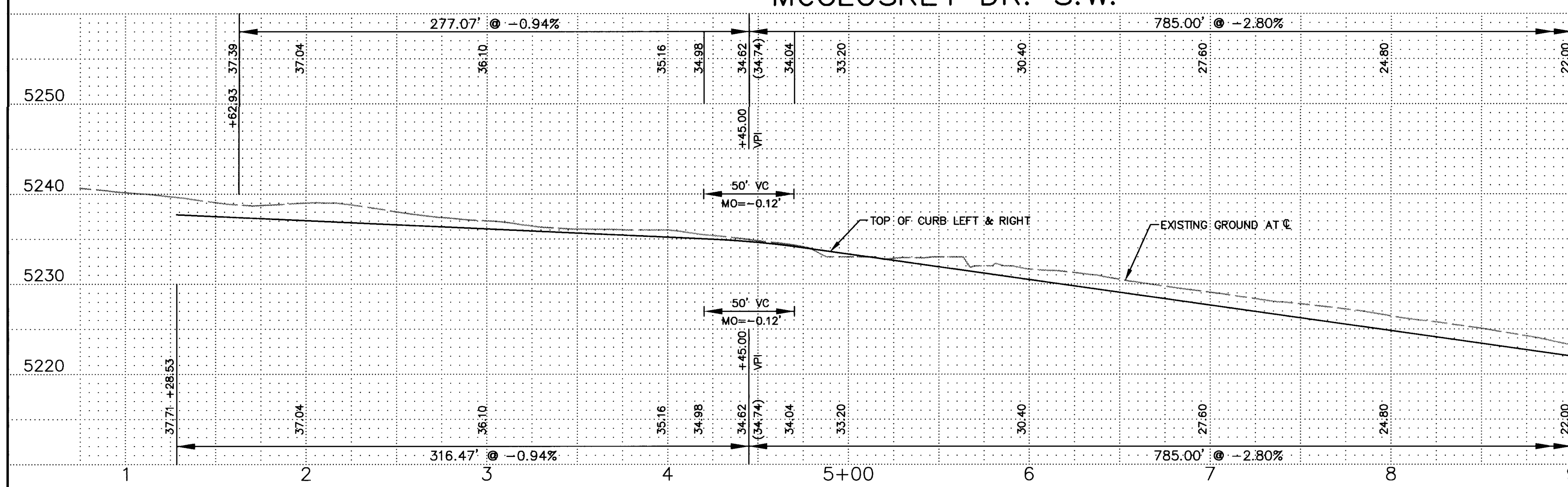
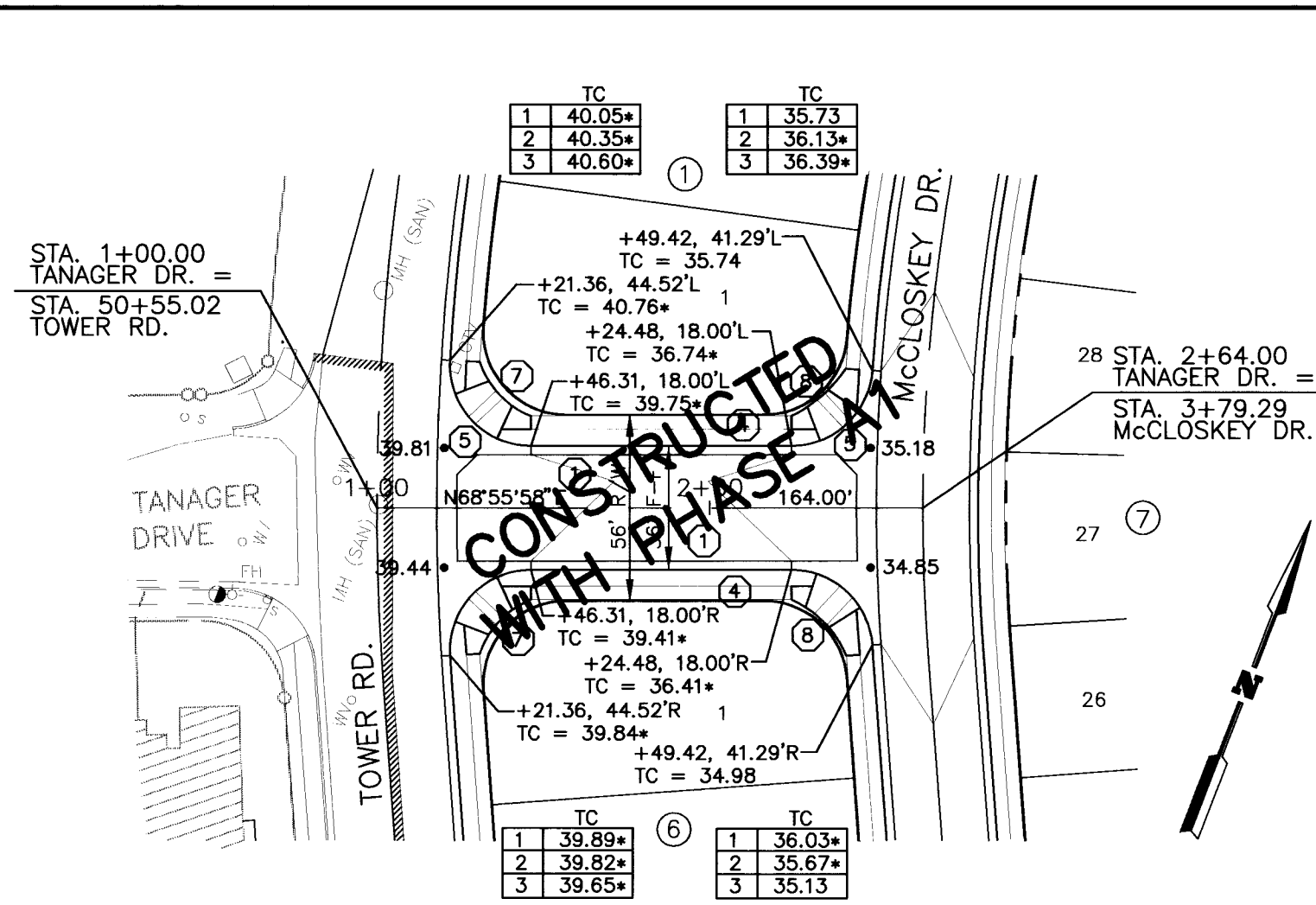
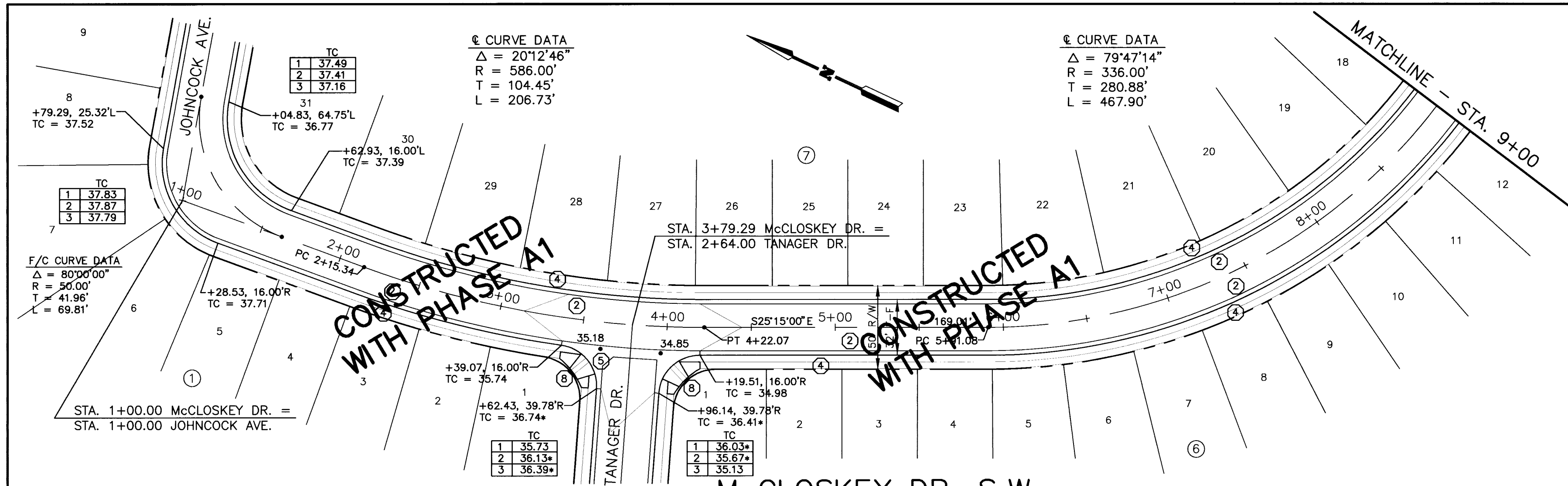
SUNRISE TERRACE, UNIT 1 PHASE A2
106 TH. ST. - TOWER RD. S.W.
PAVING PLAN AND PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	B. B. Bailey	4-19-95	WATER	6/8/95	4/12/95
TRANS. DEV.	R. B. Bailey	4-12-95	WASTEWATER		
HYDROLOGY		4-12-95	CONST. COORD.		

NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

DESIGNED BY	HC-A	DATE	1-95
DRAWN BY	HC-A	DATE	1-95
CHECKED BY	RPB	DATE	1-95

DRAWING NO. 5124.92 MAP NO. L-8 SHEET 8 OF 15



LEGEND	
TC 39.85	TOP OF CURB ELEVATION AT ROLL TYPE CURB & GUTTER.
TC 39.85*	TOP OF CURB ELEVATION AT STANDARD CURB & GUTTER.
*39.85	FLOWLINE ELEVATION AT INTERSECTION OF PROJECTED FACE OF CURB.

- KEYNOTES**
- STANDARD CURB & GUTTER PER STD. DWG. 2415.
 - ROLL TYPE CURB & GUTTER PER STD. DWG. 2415.
 - 10' TRANSITION FROM STD C&G TO ROLL TYPE C&G.
 - 4' CONCRETE SIDEWALK (BY OTHERS).
 - CONCRETE VALLEY GUTTER PER STD. DWG. 2420.
 - SPECIAL CONCRETE VALLEY GUTTER PER STD. DWG. 2422. (10' WIDE, 3/4" INVERT.)
 - WHEEL CHAIR RAMP PER STD. DWG. 2441, CASE II.
 - WHEEL CHAIR RAMP WITH TRANSITION FROM STD. C&G TO ROLL TYPE C&G PER STD. DWG. 2418.
 - WHEEL CHAIR RAMP AT ROLL TYPE C&G, SEE DETAIL, SHEET 5.

GENERAL NOTES

- ELEVATIONS SHOWN IN PROFILES ARE "TOP OF CURB" CONTINUOUS THROUGH INTERSECTION OPENINGS, ETC. SEE PLAN SECTIONS FOR FLOWLINE ELEVATIONS AT SUCH BREAKS.

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
ALBUQUERQUE SURVEYING	9-94
CO. AND T.R. MAIN & ASSOC. (PHOTOGRAMMETRY)	

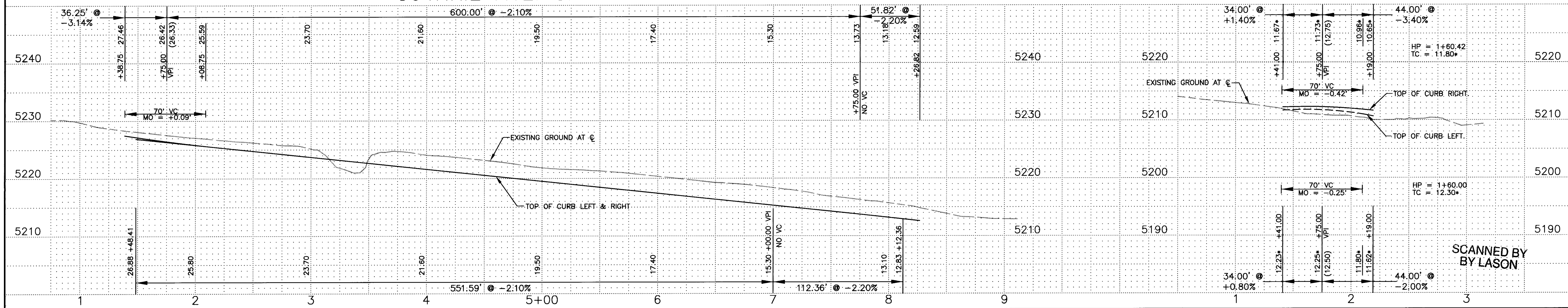
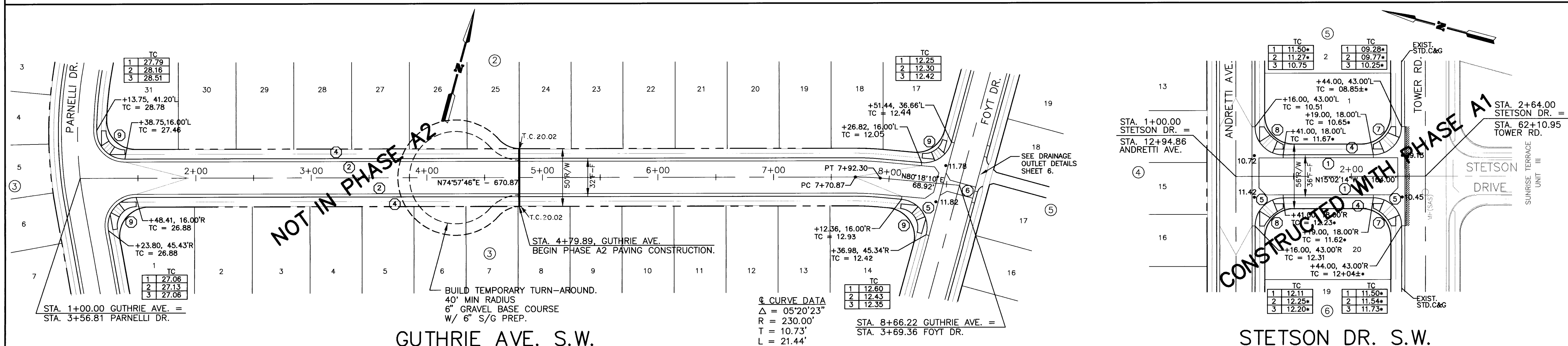
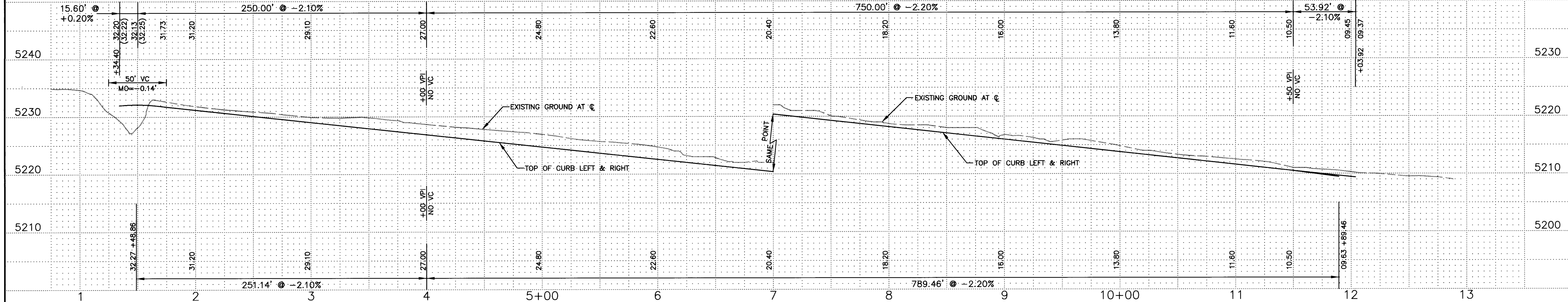
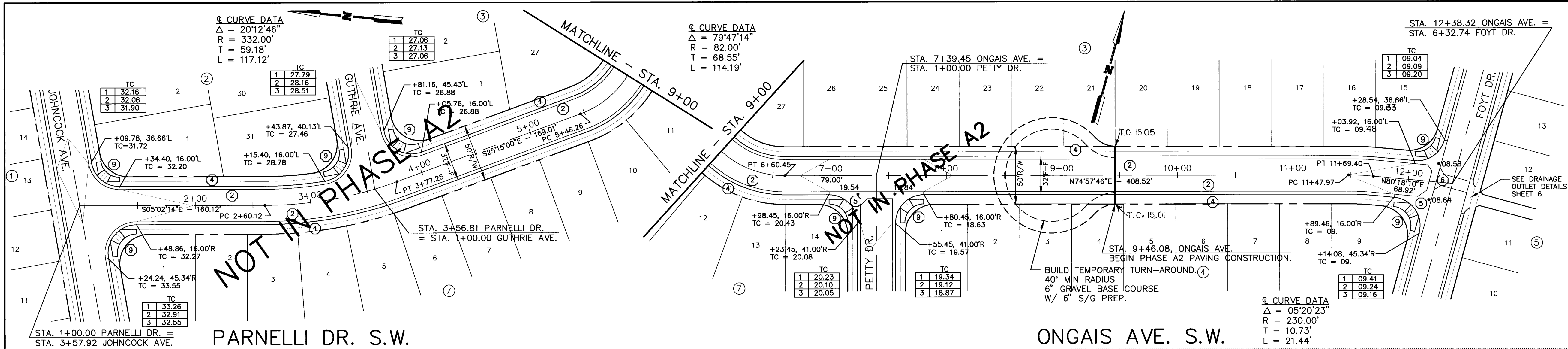
ENGINEER'S SEAL

Professional Engineer Seal for Easterling & Associates, Inc. No. 5258, State of New Mexico.

REVISIONS	
NO.	DATE
DESIGNED BY	HC-A
DRAWN BY	HC-A / DEC
CHECKED BY	RPB

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		
SUNRISE TERRACE, UNIT 1 - PHASE A2		
McCloskey Dr. - Andretti Ave. S.W. Tanager Dr. & Petty Dr. S.W. PAVING PLANS AND PROFILES		
APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	<i>[Signature]</i>	4-19-95
TRANS. DEV.	<i>[Signature]</i>	4-12-95
HYDROLOGY	<i>[Signature]</i>	4-12-95
APPROVALS	ENGINEER	DATE
WATER	<i>[Signature]</i>	4/10/95
WASTEWATER		
CONST. COORD.		
DRAWING NO.	5124.92	MAP NO. L-8
SHEET	9	OF 15

DWG. C:\AS\AS2\AS2-47\000A.DWG
TIME: 03-24-06 09:54:44



LEGEND

TC 39.85 TOP OF CURB ELEVATION AT ROLL TYPE CURB & GUTTER.

TC 39.85+ TOP OF CURB ELEVATION AT STANDARD CURB & GUTTER.

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- WHEEL CHAIR RAMP AT ROLL TYPE C&G, SEE DETAIL, SHEET 5.

GENERAL NOTES

1. ELEVATIONS SHOWN IN PROFILES ARE "TOP OF CURB" CONTINUOUS THROUGH INTERSECTION OPENINGS, ETC. SEE PLAN SECTIONS FOR FLOWLINE ELEVATIONS AT SUCH BREAKS.

AS BUILT INFORMATION

CONTRACTOR	NEW CONCEPTS	CITY
STARTED BY	INSPECTOR'S	DATE
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE

ENGINEER'S SEAL

10-1-95

10-1-95

10-1-95

REVISIONS

NO.	DATE	REMARKS
1	10-1-95	DESIGN
2	10-1-95	DESIGN
3	10-1-95	DESIGN
4	10-1-95	DESIGN
5	10-1-95	DESIGN
6	10-1-95	DESIGN
7	10-1-95	DESIGN
8	10-1-95	DESIGN
9	10-1-95	DESIGN
10	10-1-95	DESIGN
11	10-1-95	DESIGN
12	10-1-95	DESIGN
13	10-1-95	DESIGN
14	10-1-95	DESIGN
15	10-1-95	DESIGN

APPROVALS

ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	4/19/95	WATER		
TRANS. DEV.	4/19/95	WASTEWATER		
HYDROLOGY	4/19/95	CONST. COORD.		

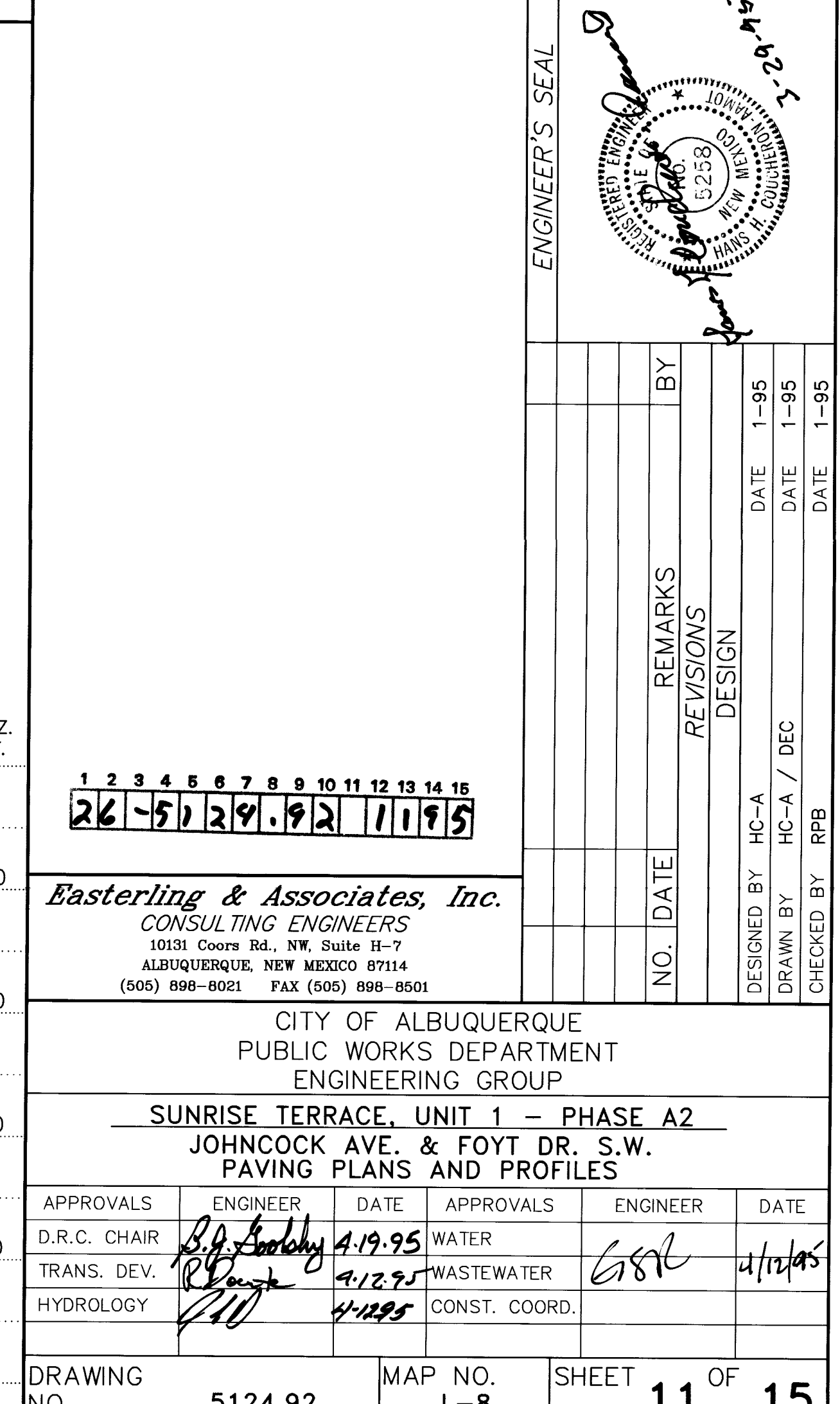
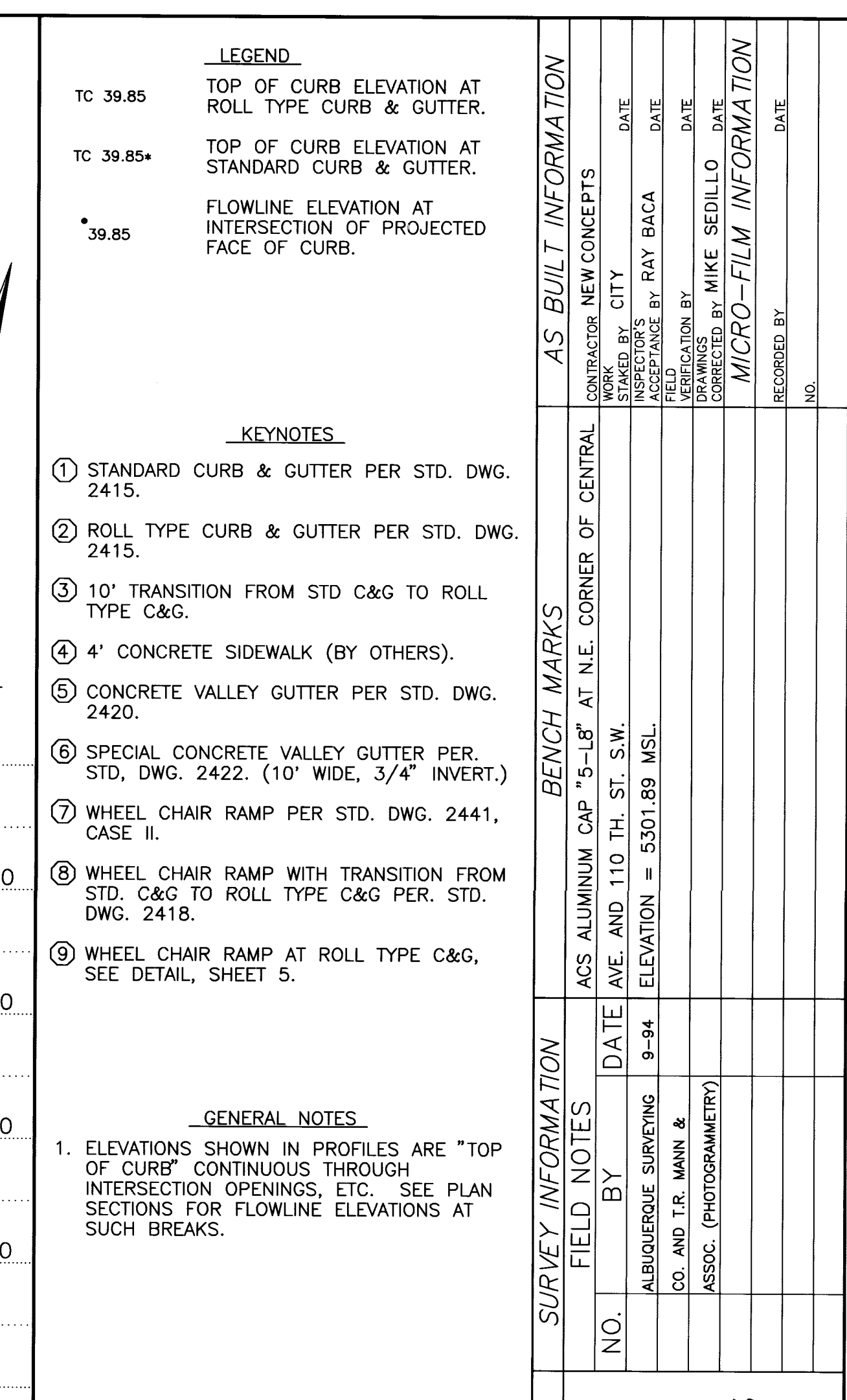
DESIGNED BY HC-A
DRAWN BY HC-A
CHECKED BY RPB

ENGINEERING GROUP

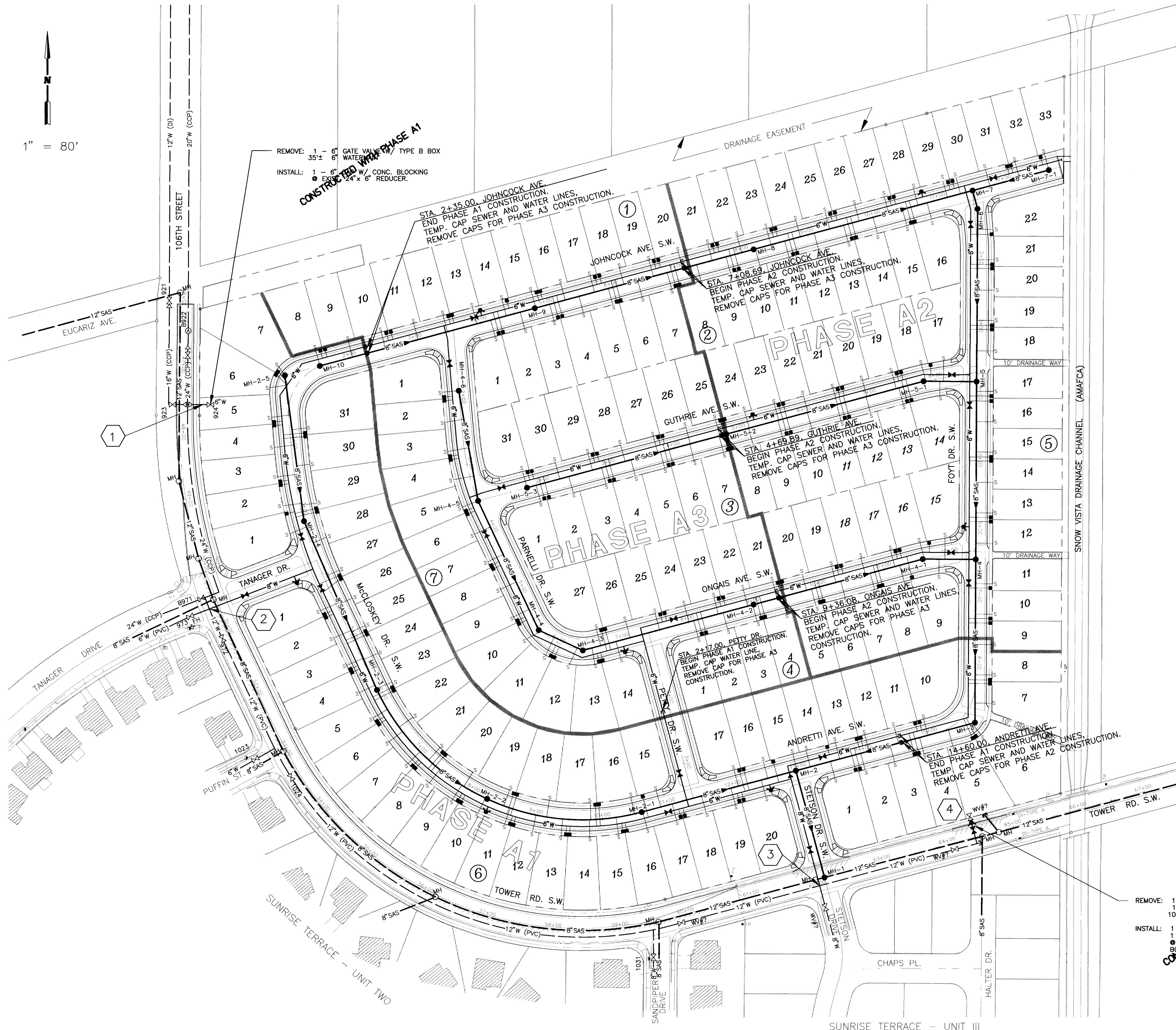
SUNRISE TERRACE, UNIT 1 - PHASE A2

PARNELLI DR. - ONGAIS AVE. S.W.
GUTHRIE AVE. & STETSON DR. S.W.
PAVING PLANS AND PROFILES

DRAWING NO. 5124.92
MAP NO. L-8
SHEET 10 OF 15



1" = 80'



LEGEND		
	NEW	EXISTING
PHASE BOUNDARY	---	---
WATERLINE	W	W
SANITARY SEWER LINE	SAS	SAS
WATER VALVE	⊗	⊗
REDUCER	▽	▽
FIRE HYDRANT	⊙	⊙
SINGLE WATER SERVICE	■	■
DOUBLE WATER SERVICE	■	■
SANITARY SEWER MANHOLE	●	○
SANITARY SEWER SERVICE	S	S

RESTRAINED JOINT SCHEDULE	
FITTING	RESTRAINED LENGTH
6" GATE VALVE	46"
6" GATE VALVE	60"
6" 11 1/4" BEND	2'
6" 22 1/2" BEND	5'
6" 45" BEND	10'
6" 90" BEND	25'
6" CAP	W/ CONCRETE BLOCKING
6" x 6" TEE	RUN 5' BRANCH 5'
6" x 6" TEE	RUN 7' BRANCH 5'
8" x 8" TEE	RUN 7' BRANCH 7'
12" x 8" TEE	RUN 13' BRANCH 7'
8" x 6" REDUCER	33' EACH WAY

NOTE:
ALL FIRE HYDRANTS SHALL BE INSTALLED WITH
RESTRAINED JOINTS FROM THE TEE AT THE MAIN
TO THE HYDRANT FLANGE.

WATER SHUT-OFF PLAN

LOCATION	CLOSE VALVES:
1	B922, 923, B971, 972, 973
2	B922, 923, B971, 972, 973
3	IN TOWER RD. @ SANDPIPER DR. AND IN STETSON DR. SOUTH OF TOWER RD.
4	TOWER RD. EAST OF STETSON DR.

WATER SHUT-OFF PLAN - PHASE A2

CLOSE VALVE IN ANDRETTI AVE. @ STETSON DR.

REMOVE: 1 - 6" CAP
1 - 6" GATE VALVE TYPE B BOX
10± 6" WATERMAN
INSTALL: 1 - 6" GATE VALVE W/ TYPE A BOX
1 - FIRE HYDRANT, 4" BURY
BAG OF CURB PER STD. DWG. 2340
B. FLANGE ELEV. 5203.75

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5124.92 1295

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

SUNRISE TERRACE, UNIT 1 - PHASE A2 COMPOSITE UTILITY PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	AP. G. G. G. G. G.	4/19/95	WATER	AP. G. G. G. G. G.	4/19/95
TRANS. DEV.	AP. G. G. G. G. G.	4/12/95	WASTEWATER	AP. G. G. G. G. G.	4/12/95
HYDROLOGY	AP. G. G. G. G. G.	4/12/95	CONST. COORD.	AP. G. G. G. G. G.	4/12/95

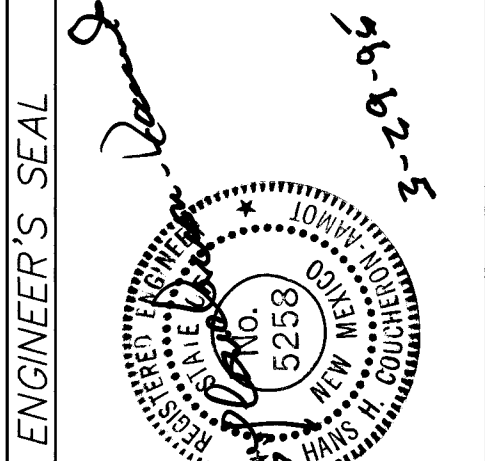
DRAWING NO. 5124.92 MAP NO. L-8 SHEET 12 OF 15

SCANNED BY
BY LASON

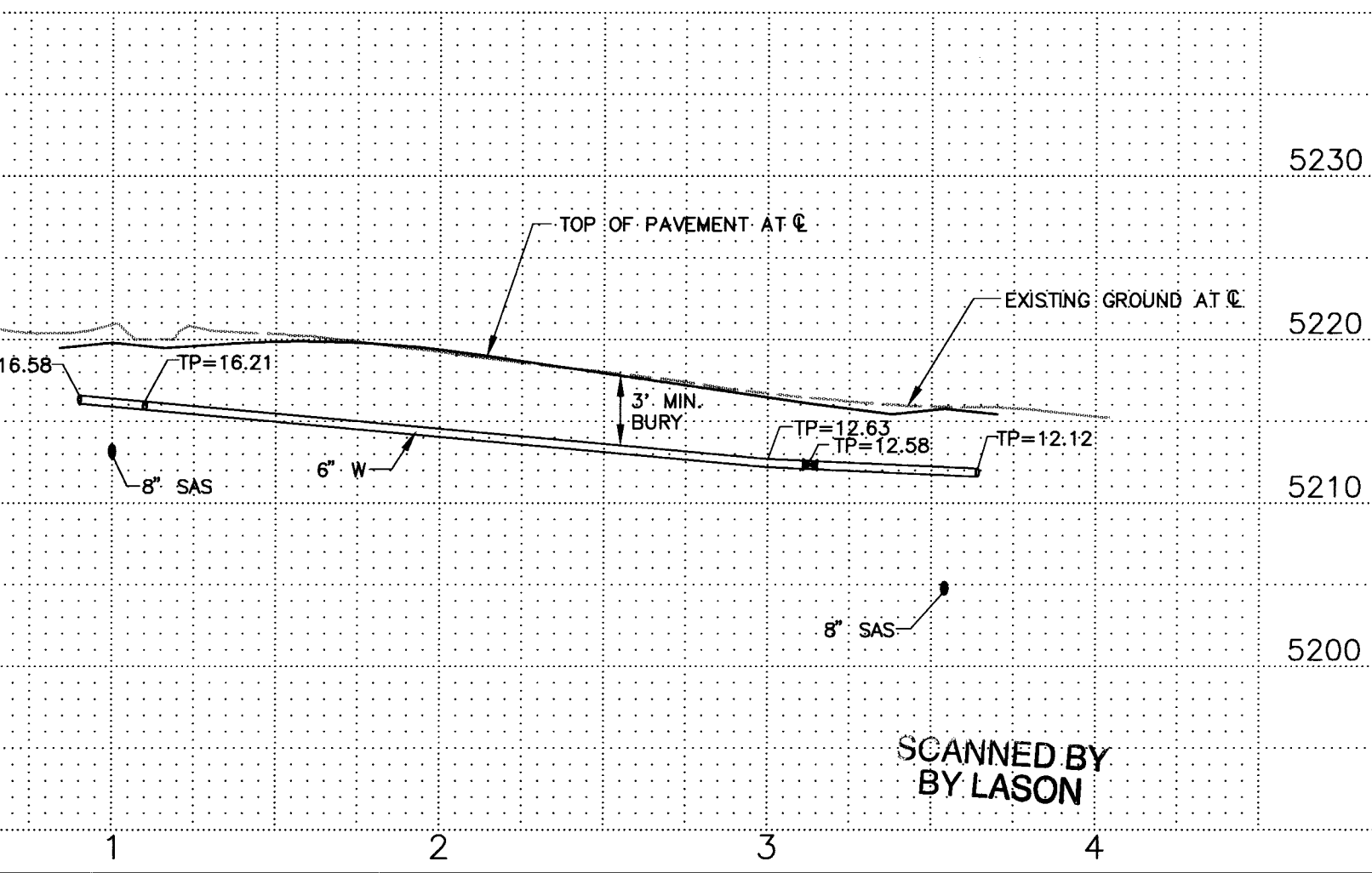
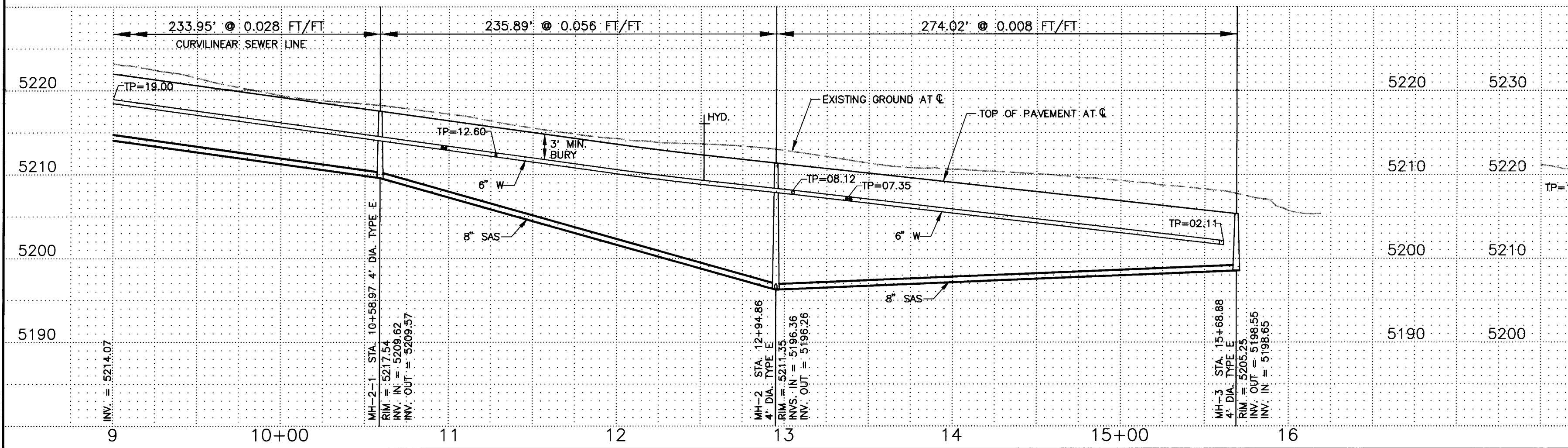
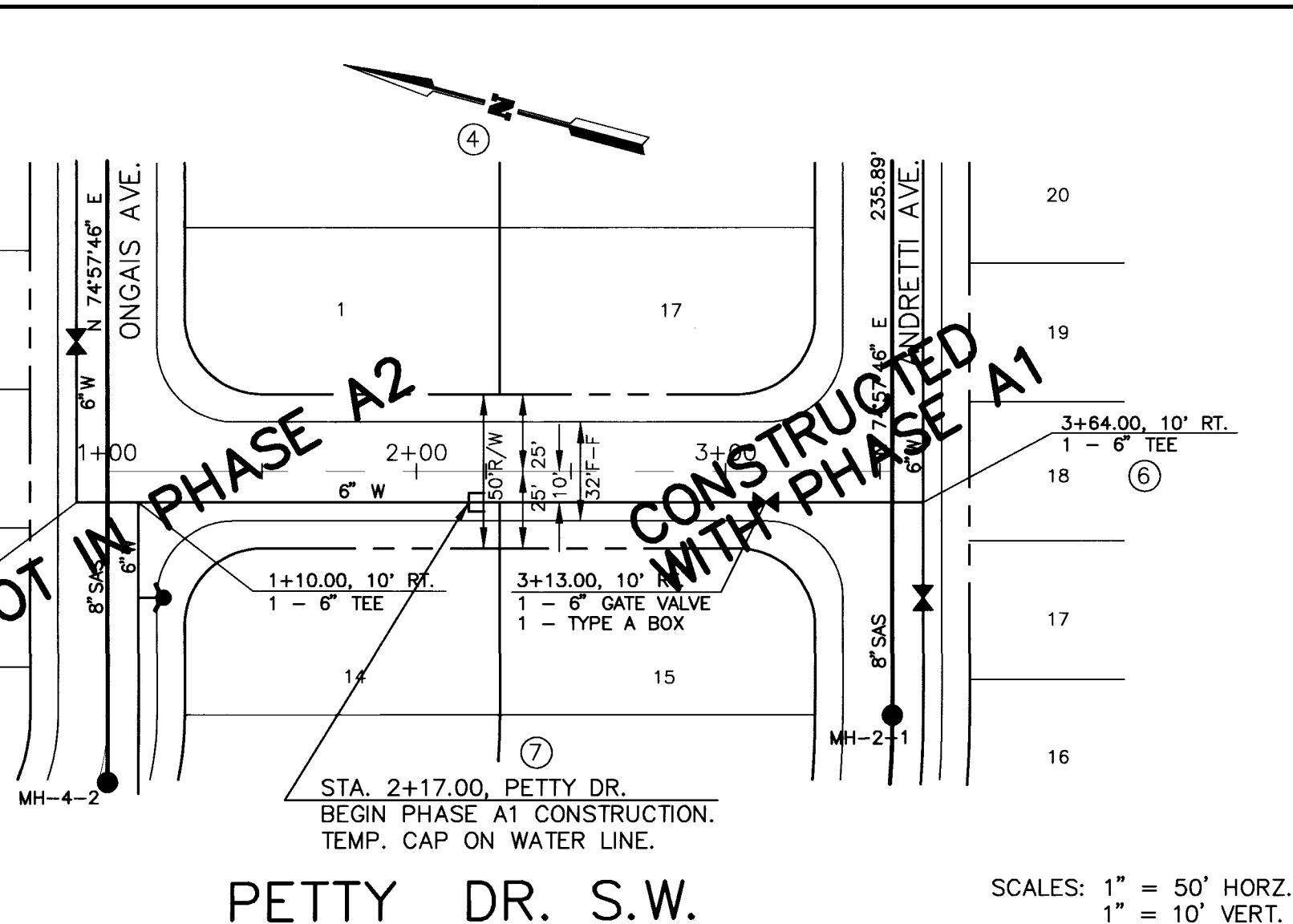
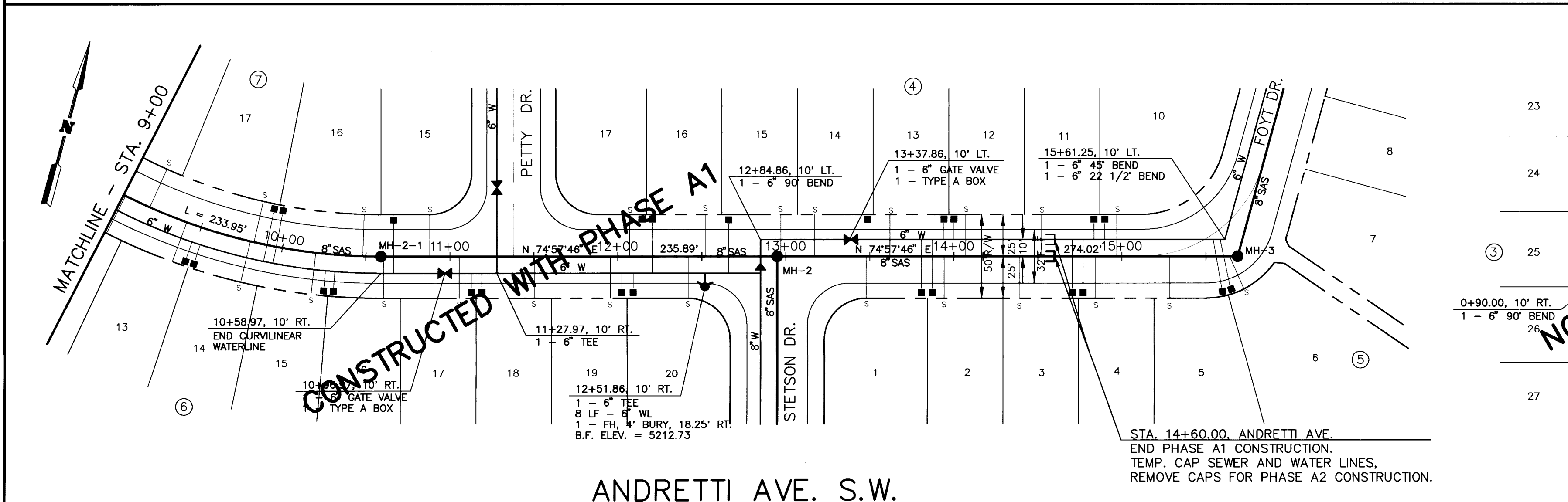
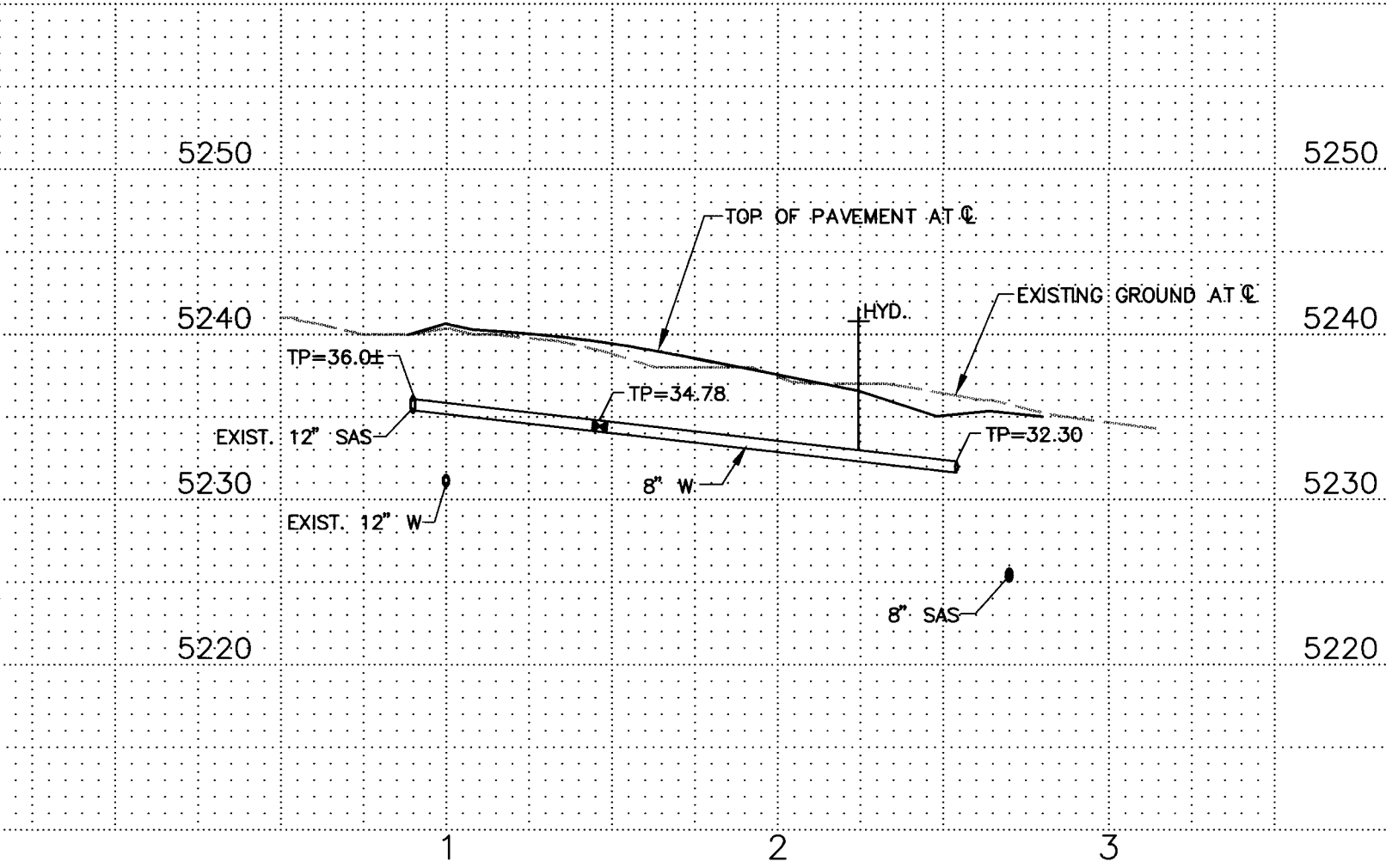
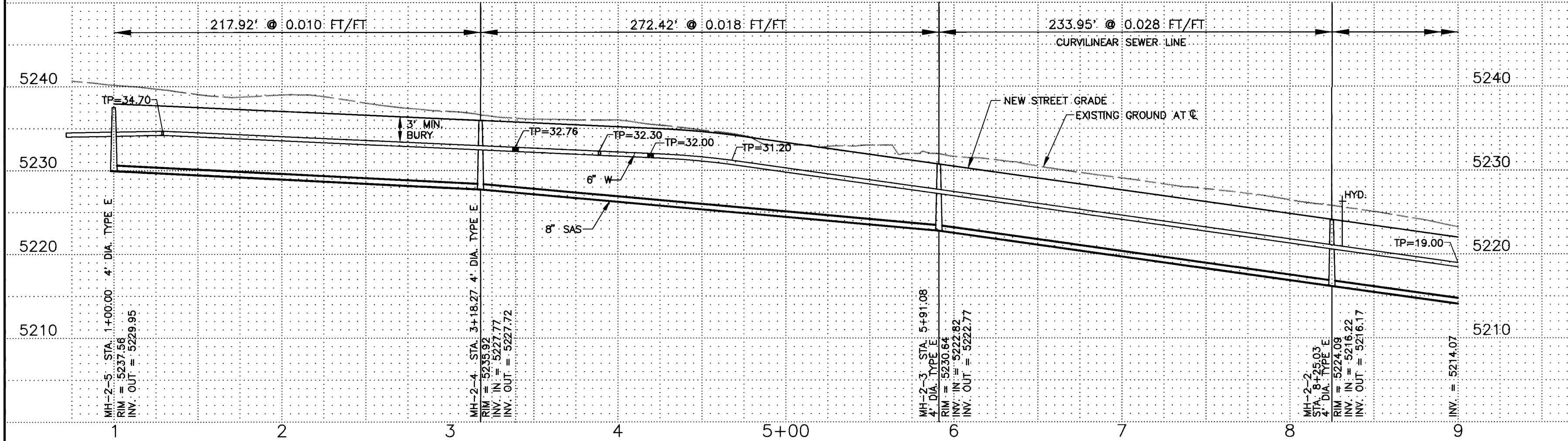
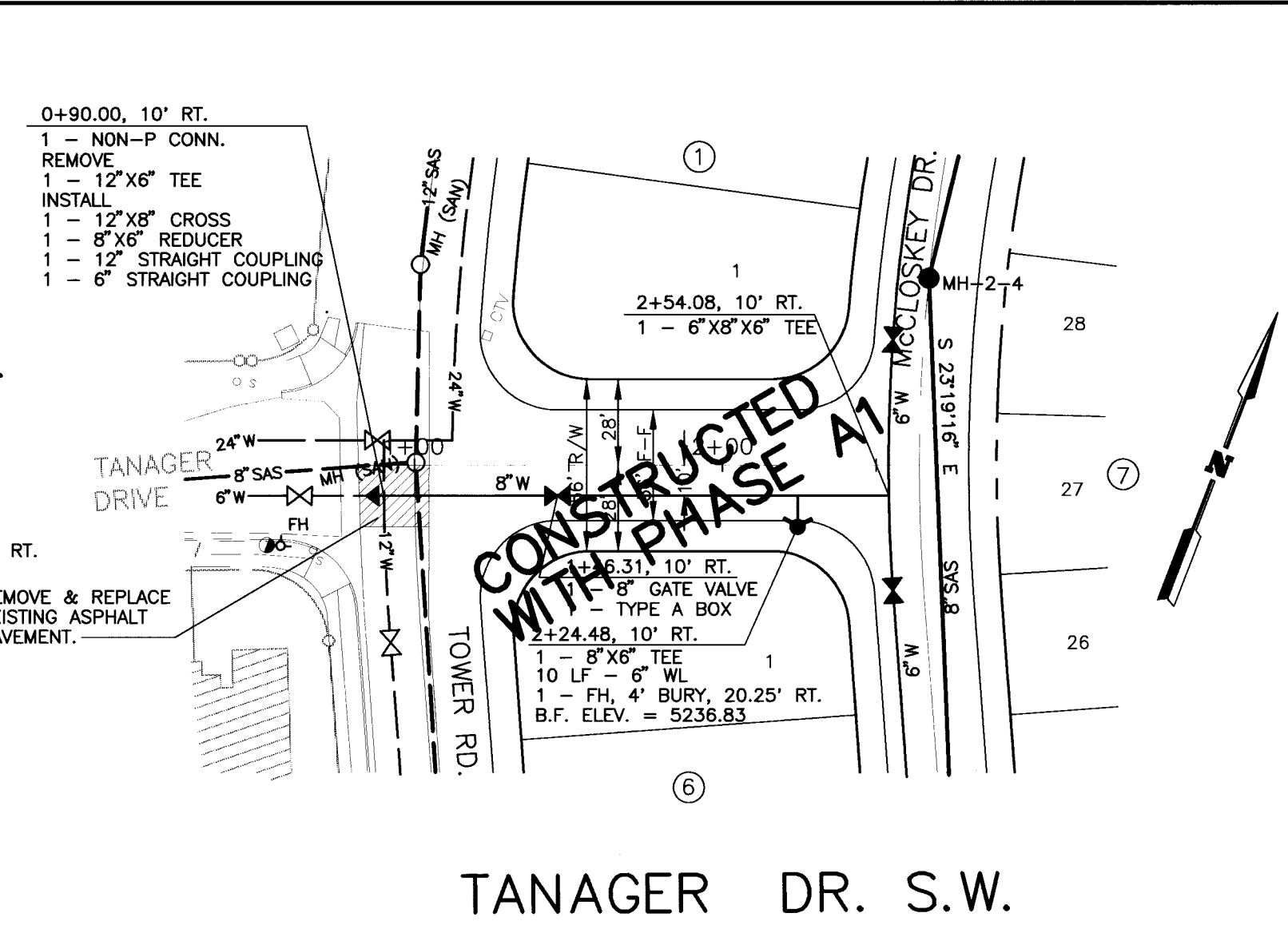
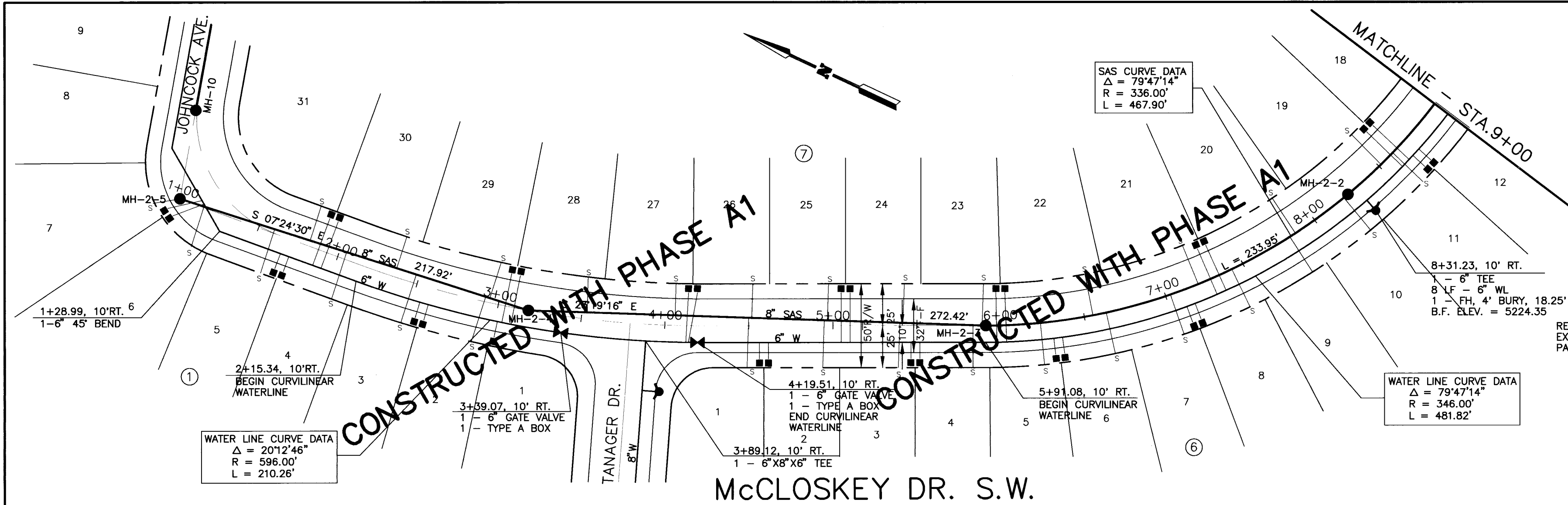
AS BUILT INFORMATION	
CONTRACTOR	NEW CONCEPTS
STAMPED BY	CITY
INSPECTOR'S FIELD	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
ACS ALUMINUM CAP "5-18" AT N.E. CORNER OF CENTRAL AVE. AND 110 TH. ST. S.W.	DATE
ELEVATION = 5301.89 MSL	9-94

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	9-94
ALBUQUERQUE SURVEYING	DATE
CO. AND T.R. MANN & ASSOC. (PHOTOGRAMMETRY)	DATE



ENGINEER'S SEAL	
REMARKS	BY
REVISIONS	DATE
DESIGN	1-95
DESIGNED BY HC-A	DATE
DRAWN BY HC-A	1-95
CHECKED BY RPB	DATE



SEWER SERVICE LOCATIONS		BLOCK-LOT		STATION	INV. ELEV. AT PL.
McCloskey Drive/Andretti Avenue		1-6	1-10	AT MH	34.2
		1-6	1-15		34.1
		1-5	1-59		33.8
		1-5	1-81		33.4
		1-4	2-04		33.3
		7-30	2-36		33.0
		1-3	2-48		33.0
		1-2	2-92		32.5
		7-29	2-94		32.5
		1-1	3-27		32.1
		7-28	3-53		32.0
		4-06	4-06		31.6
		6-1	4-50		31.0
		7-26	4-52		30.9
		6-2	4-94		29.7
		7-25	4-97		29.6
		6-3	5-39		28.4
		7-24	5-42		28.4
		6-4	5-83		27.2
		7-23	5-88		27.0
		6-5	6-24		26.1
		7-22	6-55		25.2
		6-6	6-63		25.1
		6-7	7-03		23.9
		7-21	7-21		23.4
		6-8	7-43		22.8
		6-9	7-42		21.7
		7-20	7-86		21.5
		6-10	8-22		20.6
		7-19	8-52		19.7
		6-11	8-62		19.5
		6-12	9-01		18.3
		7-18	9-17		17.9
		6-13	9-41		17.2
		6-14	9-81		16.1
		7-17	9-83		16.0
		6-15	10-20		15.1
		7-16	10-48		14.2
		6-16	10-61		13.9
		7-15	10-88		13.1
		6-17	11-06		12.6
		6-18	11-51		11.3
		6-19	11-96		10.1
		4-17	12-07		09.8
		6-20	12-42		09.1
		4-18	12-52		08.6
		4-15	12-97		07.6
		4-14	13-17		07.2
		5-1	13-48		06.5
		4-12	13-94		05.5
		5-2	14-07		05.3
		5-3	14-39		04.5
		4-11	14-52		04.3
		5-4	14-84		03.8
		4-10	14-97		03.3
		5-5	15-28		02.8
		5-6	15-65		01.9

BENCH MARKS		CONTRACTOR		INSPECTOR'S		FIELD		VERIFICATION BY		CORRECTED BY		MICRO-FILM INFORMATION	
AS ALUMINUM CAP "5-LB" AT N.E. CORNER OF CENTRAL		DATE		DATE		DATE		DATE		DATE		DATE	
AVE. AND 110 TH. ST. S.W.		ELEVATION = 5301.89 MSL											

SURVEY INFORMATION		FIELD NOTES		DATE		BY		ALBUQUERQUE SURVEYING		CO. AND T.R. MANN &		ASSOC. (PHOTOGRAMMETRY)	
NO.		NO.		DATE		BY		DATE		DATE		DATE	

ENGINEER'S SEAL		REMARKS		BY		DATE		DESIGNED BY		DATE		DRAWN BY		DATE		CHECKED BY		DATE	

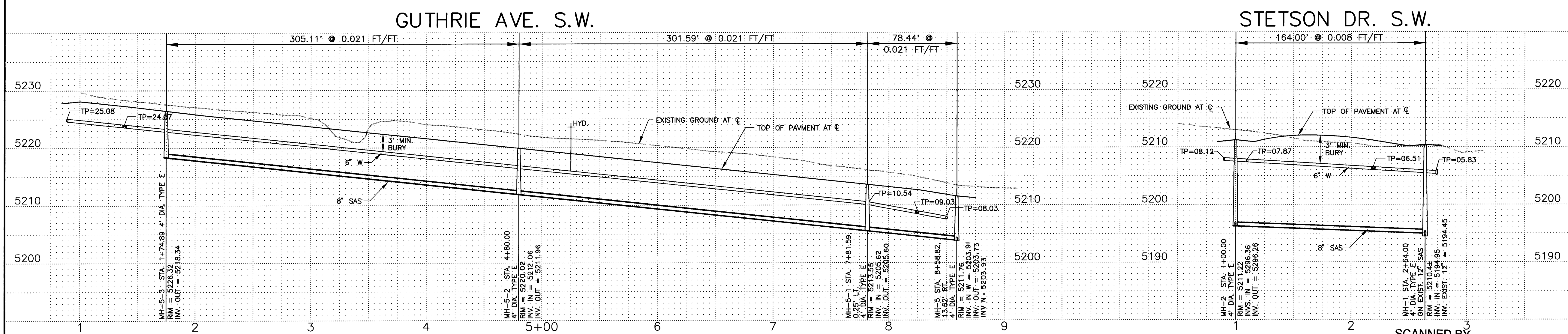
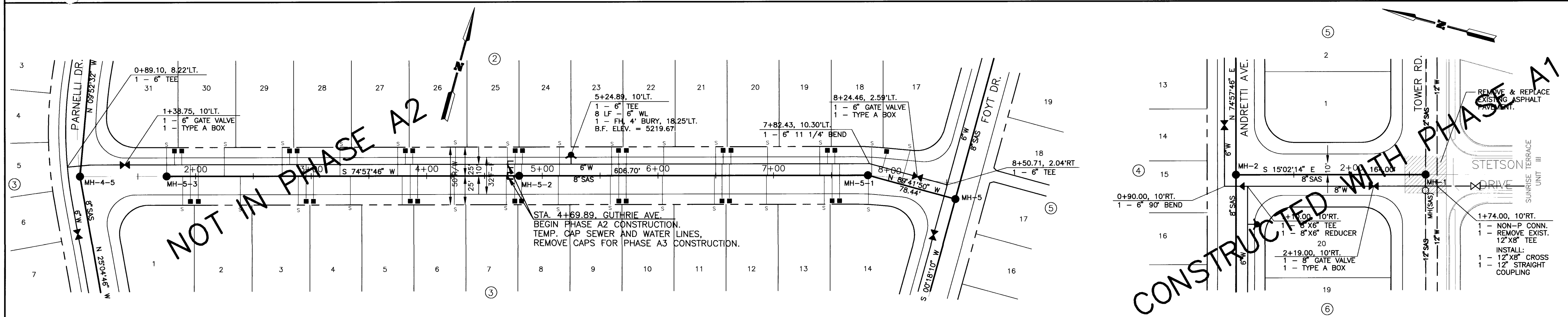
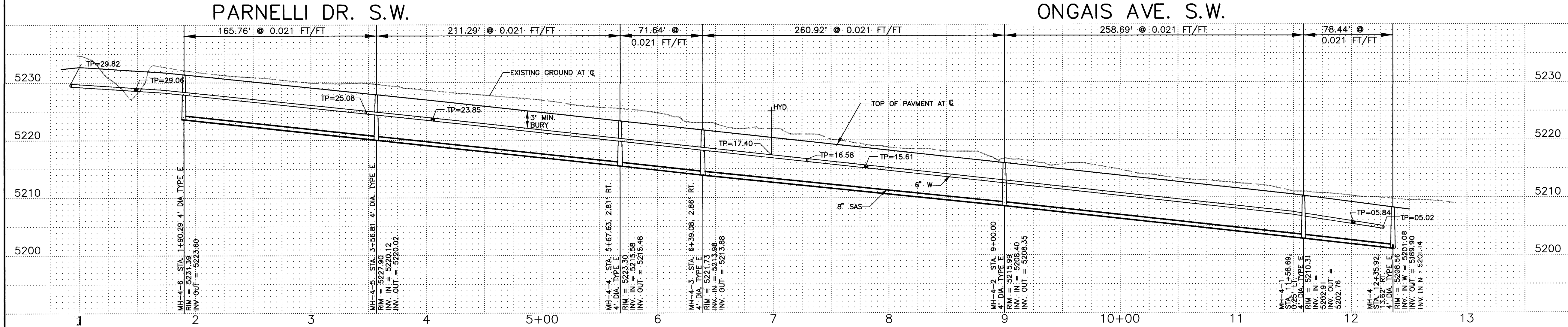
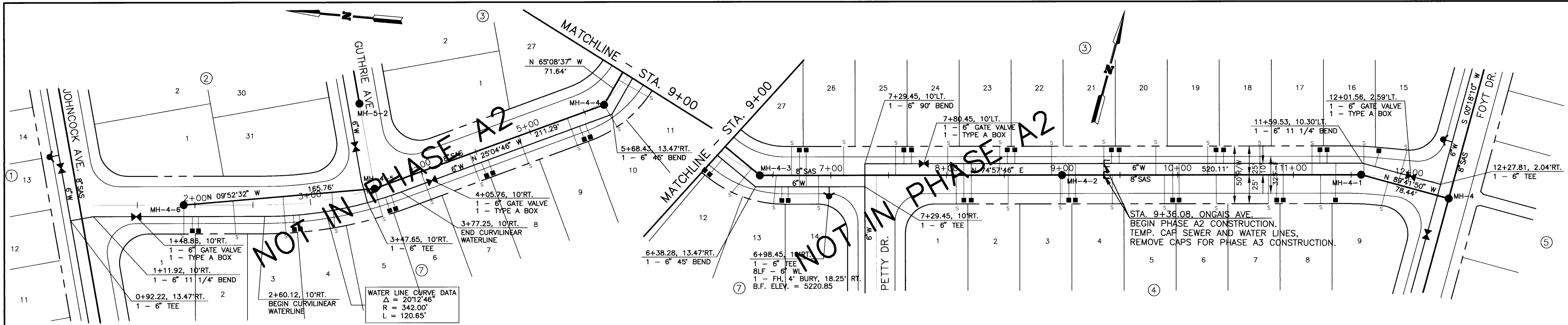
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Easterling & Associates, Inc.		CONSULTING ENGINEERS	
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(505) 898-8021		FAX (505) 898-8501	

CITY OF ALBUQUERQUE		PUBLIC WORKS DEPARTMENT	
ENGINEERING GROUP		SUNRISE TERRACE, UNIT 1 - PHASE A2	
McCloskey Dr. - Andretti Ave.		Tanager Dr. & Petty Dr. S.W.	
UTILITY PLANS AND PROFILES			

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	R.P. Lasky	4-19-95	WATER		
TRANS. DEV.	N.B. Lasky	4-12-95	WASTEWATER		
HYDROLOGY		4-12-95	CONST. COORD.		

DRAWING NO.	5124.92	MAP NO.	L-8	SHEET	13 OF 15
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SEWER SERVICE LOCATIONS PARNELLI DRIVE/ONGAIS AVENUE		
BLOCK-LOT	STATION	INV. ELEV. AT PL.
7-1	1+90 AT MH	27.7
7-2	2+33	26.8
7-3	3+76	25.9
7-4	5+20	25.1
7-5	3+61	24.3
7-6	3+99	23.3
7-7	4+44	22.3
7-8	4+89	21.3
7-9	5+34	20.4
7-10	5+71	19.7
7-11	5+92	19.1
7-12	6+31	18.4
7-13	6+53	17.8
7-14	6+86	17.5
7-15	6+89	17.0
3-26	7+11	16.5
3-25	7+56	15.5
3-24	8+01	14.5
4-1	8+08	14.3
3-23	8+46	13.5
4-2	8+53	13.3
3-22	8+91	12.5
4-3	8+98	12.3
3-21	9+36	11.5
4-4	9+43	11.4
4-3	9+81	10.5
4-5	9+88	10.4
3-19	10+26	09.5
4-6	10+33	09.4
3-18	10+71	08.6
4-7	10+78	08.4
3-17	11+16	07.6
4-8	11+23	07.4
3-16	11+62	06.6
4-9	11+82	06.2
3-15	11+91	05.9

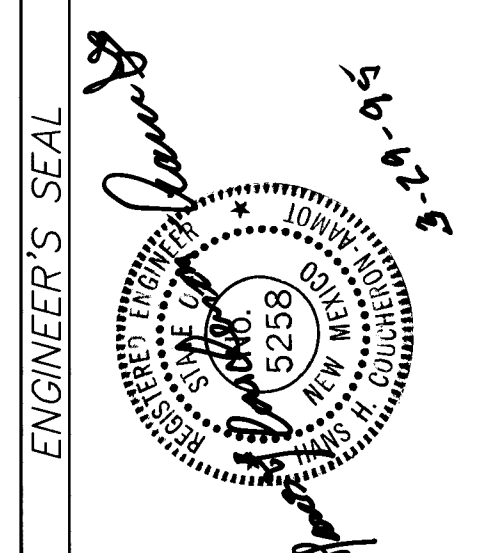
GUTHRIE AVENUE		
2-31	1+75 AT MH	24.5
3-1	1+89	22.4
2-30	2+25	21.6
3-2	2+39	21.3
2-29	2+75	20.6
3-3	2+89	20.5
2-28	3+25	19.5
3-4	3+34	19.3
2-27	3+75	18.5
3-5	3+79	18.4
3-6	4+23	17.4
2-26	4+26	17.4
3-7	4+68	16.5
2-25	4+71	16.5
3-8	5+13	15.5
2-24	5+16	15.5
3-9	5+58	14.6
2-23	5+61	14.6
3-10	6+02	13.6
2-22	6+05	13.6
3-11	6+47	12.7
2-21	6+50	12.7
3-12	6+92	11.8
2-20	6+95	11.7
3-13	7+40	10.8
2-19	7+44	10.7
3-14	7+85	09.9
2-17	8+05	09.4
	8+11	09.1

AS BUILT INFORMATION		
CONTRACTOR	DATE	
INSPECTOR'S	DATE	
FIELD	DATE	
VERIFICATION BY	DATE	
CORRECTED BY	DATE	
MICRO-FILM INFORMATION		
RECORDED BY	DATE	
NO.		

BENCH MARKS		
CONTRACTOR	DATE	
INSPECTOR'S	DATE	
FIELD	DATE	
VERIFICATION BY	DATE	
CORRECTED BY	DATE	
MICRO-FILM INFORMATION		
RECORDED BY	DATE	
NO.		

SURVEY INFORMATION		
FIELD NOTES	DATE	
BY	DATE	
ALBUQUERQUE SURVEYING	9-94	
CO. AND T.R. MAIN &		
ASSOC. (PHOTOGRAMMETRY)		

ENGINEER'S SEAL		
NO.	DATE	
REMARKS	DATE	
DESIGN	DATE	
DESIGNED BY	DATE	
DRAWN BY	DATE	
CHECKED BY	DATE	

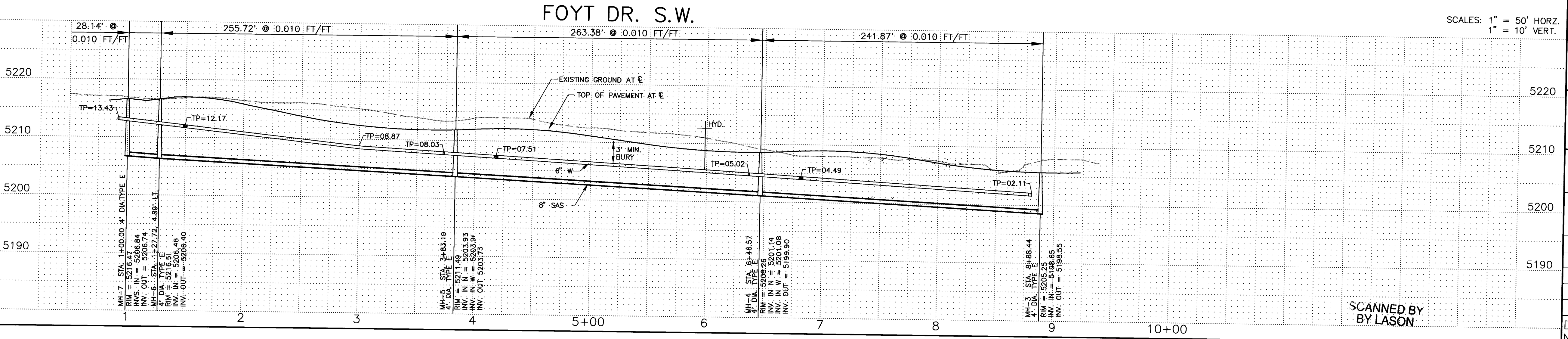
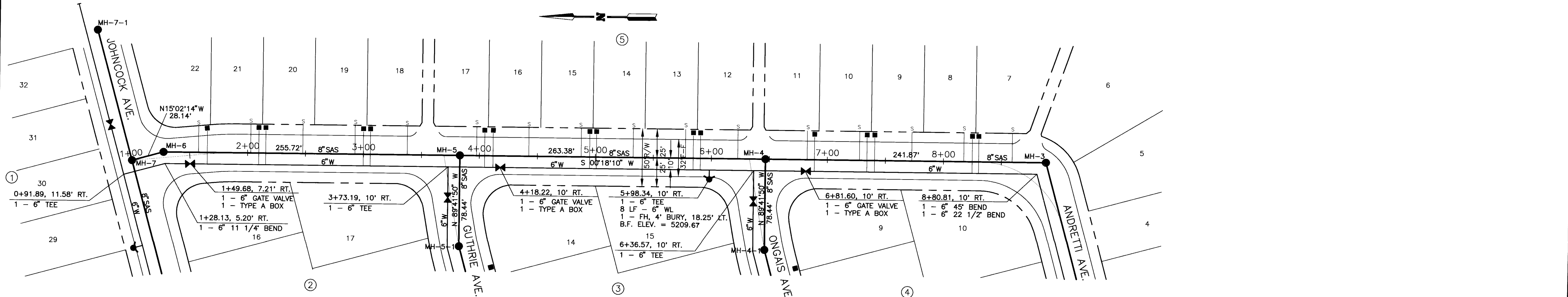
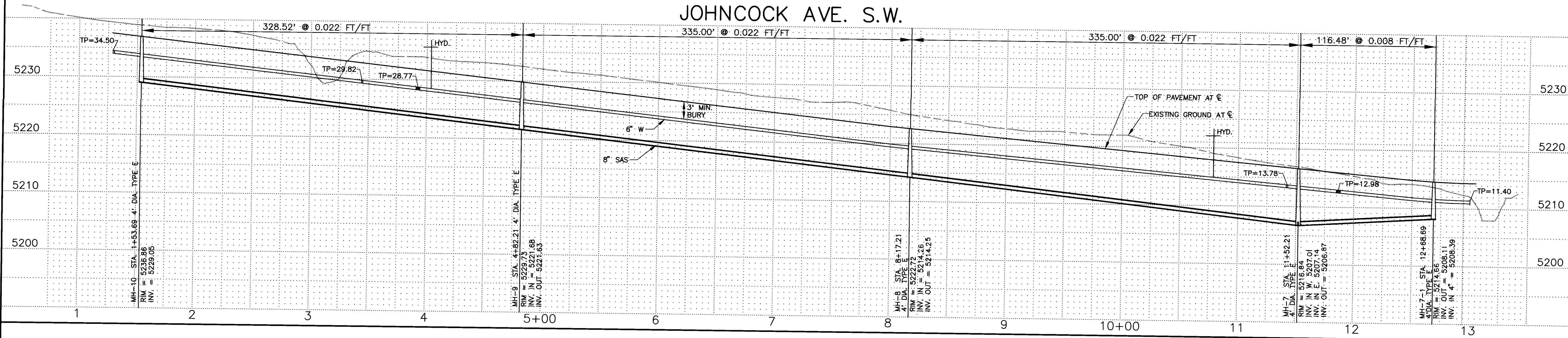
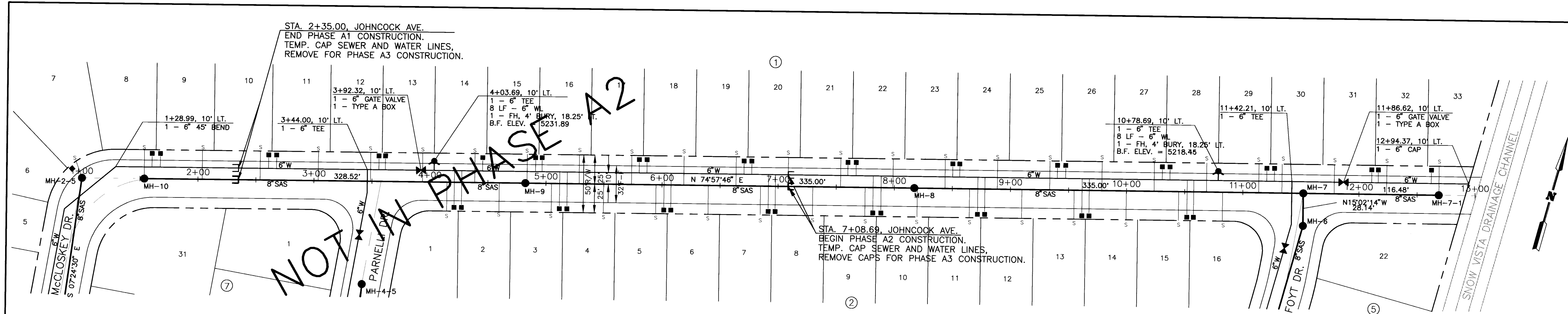


REVISIONS		
NO.	DATE	REMARKS
1	1-95	DESIGN
2	1-95	
3	1-95	

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5/12/91 12/14/95

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ALBUQUERQUE, NEW MEXICO 87114
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
SURFING TERRACE, UNIT 1 - PHASE A2 PARNELLI DR. - ONGAIS AVE. S.W. GUTHRIE AVE. & STETSON DR. S.W. UTILITY PLANS AND PROFILES					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	4/19/95	4/19/95	WATER		
TRANS. DEV.	4/19/95	4/19/95	WASTEWATER		
HYDROLOGY	4/19/95	4/19/95	CONST. COORD.		
DRAWING NO.	5124.92	MAP NO.	L-8	SHEET	14 OF 15



SEWER SERVICE LOCATIONS		
BLOCK-LOT	STATION	INV. ELEV. AT PL.
1-8	1+54 AT MH	33.3
1-9	2+04	32.2
1-10	2+54	31.1
1-11	3+04	30.0
1-12	3+49	29.0
1-13	3+94	28.0
1-14	4+15	27.5
1-15	4+39	27.0
2-2	4+60	26.5
1-16	4+85	26.0
2-4	5+05	25.6
1-17	5+29	25.0
2-6	5+50	24.6
1-18	5+74	24.0
1-19	5+95	23.6
2-8	6+19	23.1
1-20	6+40	22.6
2-10	6+64	22.1
1-21	6+85	21.6
2-11	7+09	21.1
1-22	7+30	20.6
2-12	7+54	20.0
1-23	7+75	19.7
2-13	7+99	19.2
1-24	8+20	18.9
2-14	8+44	18.4
1-25	8+65	18.0
2-15	8+89	17.6
1-26	9+10	17.3
2-16	9+34	16.8
1-27	9+55	16.4
2-17	9+79	16.0
1-28	10+00	15.6
2-18	10+24	15.2
1-29	10+45	14.8
2-19	10+69	14.4
1-30	10+83	14.0
2-20	11+14	13.6
1-31	11+34	13.2
2-21	11+79	12.7
1-32	12+24	12.4
2-22	12+69 AT MH	11.9
5-22	FOYT DRIVE	12.8
5-21	1+58	11.3
5-20	2+48	9.8
5-19	2+93	9.7
5-18	3+38	9.2
5-17	3+98	8.1
5-16	4+43	8.2
5-15	4+88	7.3
5-14	5+33	6.1
5-13	5+78	5.1
5-12	6+23	5.0
5-11	6+83	5.0
5-10	7+28	5.0
5-9	7+73	0.9
5-8	8+18	0.9
5-7	8+60	0.1

AS BUILT INFORMATION		
CONTRACTOR	NEW CONCEPTS	
STARTED BY	CITY	DATE
ACCEPTANCE BY	RAY BADA	DATE
FIELD ADJUSTED BY		DATE
CORRECTED BY	MIKE SEDILLO	DATE
MICRO-FILM INFORMATION		
RECORDED BY		DATE
NO.		
BENCH MARKS		
ACS ALUMINUM CAP "5-LB" AT N.E. CORNER OF CENTRAL AVE. AND 110 TH. ST. S.W.		
ELEVATION = 5301.89 WSL		
SURVEY INFORMATION		
FIELD NOTES	DATE	9-94
ALBUQUERQUE SURVEYING		
CO. AND T.R. MANN & ASSOC. (PHOTOGRAMMETRY)		
ENGINEER'S SEAL		
REMARKS	BY	
REVISIONS		
DESIGN		
DESIGNED BY	HC-A	DATE 1-95
DRAWN BY	DEC	DATE 1-95
CHECKED BY	RPB	DATE 1-95

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5124-192 1595

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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		
SUNRISE TERRACE, UNIT 1 - PHASE A2 JOHNCOCK AVE. & FOYT DR. S.W. UTILITY PLANS AND PROFILES		
APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	<i>B. J. B. 4/19/95</i>	WATER
TRANS. DEV.	<i>W. J. B. 4/12/95</i>	WASTEWATER
HYDROLOGY	<i>W. J. B. 4/12/95</i>	CONST. COORD.
DRAWING NO.	5124.92	MAP NO. L-8
SHEET	15	OF 15