

PLANS FOR CONSTRUCTION OF

INFRASTRUCTURE IMPROVEMENTS

BARBOA'S COUNTRY VIEW ACRES SUBDIVISION

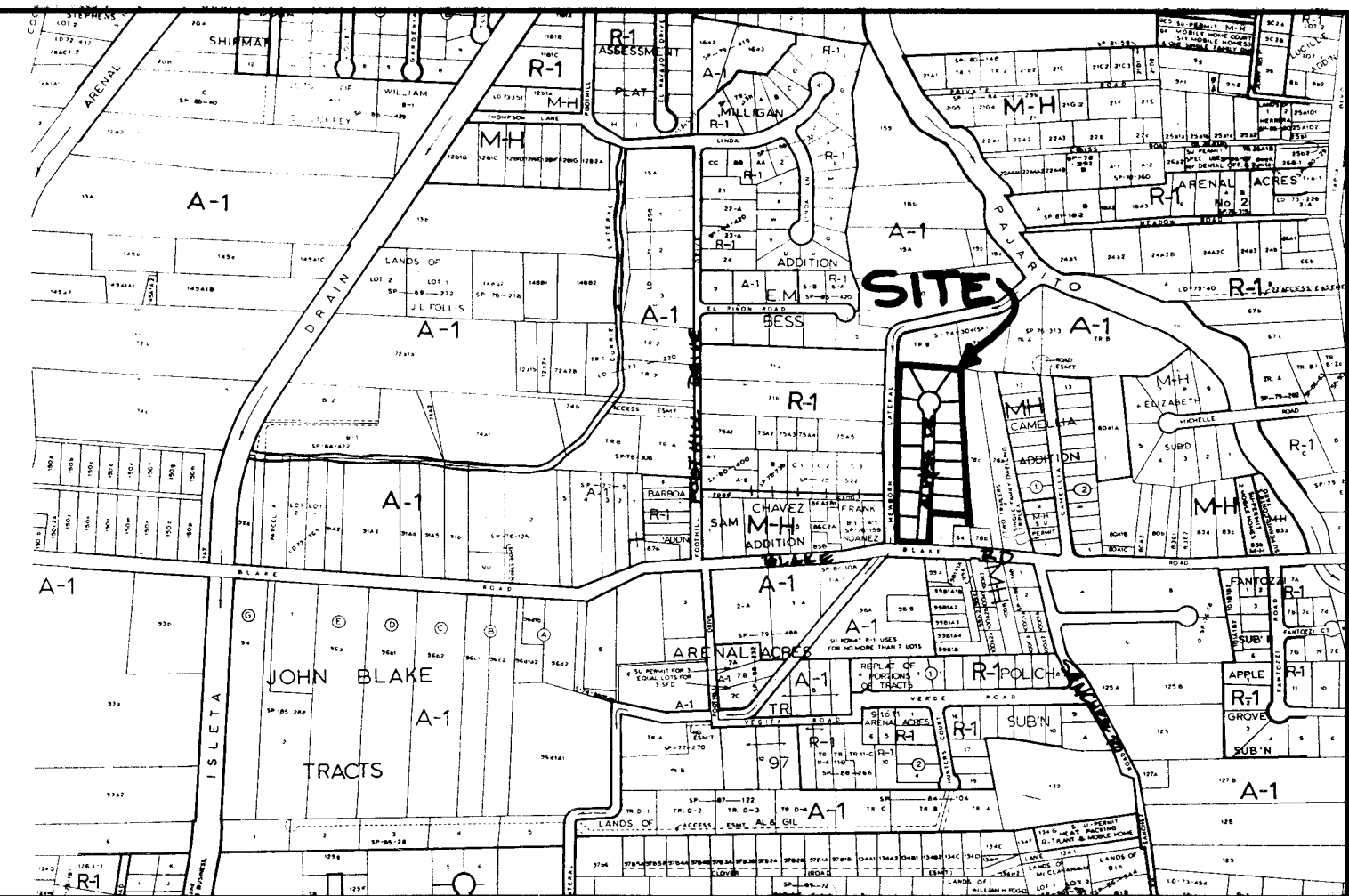
LOTS 1-15

OCTOBER 1995

COA PROJECT NO.: 5174.90
MEI PROJECT NO.: BAR0194L

INDEX TO DRAWINGS

SHEET	TITLE
1	TITLE SHEET & VICINITY MAP
2	SUBDIVISION PLAT
3	GRADING & DRAINAGE PLAN
4	PAVING, WATER & SANITARY SEWER PLAN & PROFILE

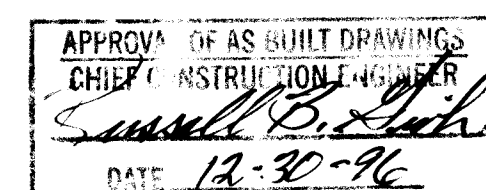


VICINITY MAP: N-11

GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986" EDITION AS AMENDED THROUGH UPDATE #6.
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
 - IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 - THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION, FROM THE COA ENVIRONMENTAL HEALTH DEPT.
 - THE CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE OWNERS FOR THE PREPARATION OF "RECORD DRAWINGS". THE CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
 - REFERENCE MADE TO STANDARD DRAWINGS REFER TO ALBUQUERQUE STANDARD DRAWINGS OR BERNALILLO COUNTY STANDARD DRAWINGS.
 - ELECTRONIC MARKER DISCS SHALL BE PLACED IN ACCORDANCE WITH SECTION 170 OF THE CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS, PUBLIC WORKS CONSTRUCTION.
 - WATERLINE CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STD. DWG. 2301.
 - WATER METERS ARE TO BE INSTALLED AT ALL SERVICES IN ACCORDANCE WITH CITY STD. DWG. 2362 AND 2363.
 - ALL CONSTRUCTION WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY OF ALBUQUERQUE AND PREPARED BY MCDOWELL ENGINEERING, INC.
 - AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF HIS CONSTRUCTION, IF OVERHEAD UTILITY LINES SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES, AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15' (MINIMUM). CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
 - THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5174-90 10/19/95



THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR THE CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

ANNULATED BY: 3/1/98 © COPYRIGHT

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
APPROVAL OF REVISIONS									

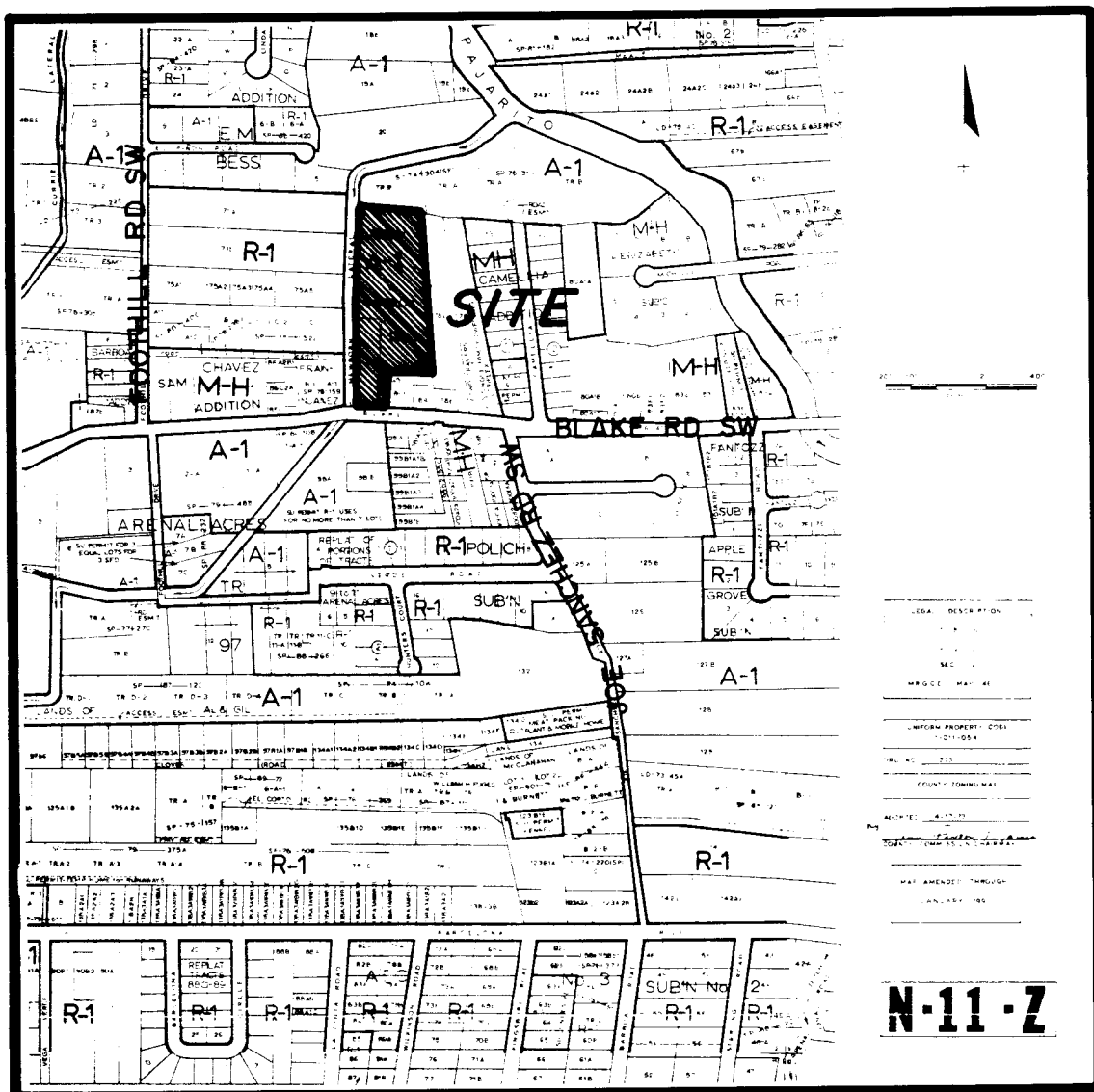
	APPROVED FOR CONSTRUCTION	
	PROJECT NUMBER	SHEET 1 OF 4

MCDOWELL ENGINEERING, INC.

PROJECT NUMBER

5174.90

APPROVED FOR CONSTRUCTION
4/19/96
C.E.



TAX CERTIFICATION

This is to certify that taxes are current and paid on: (1994 Code)
Lot A, JERRY BARBOA SUBDIVISION, 1 011 054 354 282 10201
Property Owner of Record: JERRY R. BARBOA
Lot B (a.k.a. Lot B2), JERRY BARBOA SUBDIVISION, 1 011 054 364 307 10224
Property Owner of Record: JERRY R. BARBOA

DEVELOPMENT NOTES

- Total site acreage: 5.1017 ac.
- Total miles of roadway created: 0.1296
- Zone Atlas Index: N-11-2
- PAID LOG NO. 95 04 24 1425 0585
- All existing easements shown are per recorded document and were made known to me by the Owner(s), Utility Company(s) or other party(s) expressing an interest.
- The recording of this plat with the Office of the County Clerk of Bernalillo County, New Mexico, does not affect existing easements or rights-of-way of record unless explicitly stated hereon.
- An additional 7' of Public Roadway along Blake Road SW is to be reserved for future dedication when requested by the governmental agency having jurisdiction over Blake Road SW.
- City of Albuquerque Water and Sanitary Sewer Service to Lots 1-15, BARBOA'S COUNTRY VIEW ACRES must be verified and coordinated with the Public Works Department, City of Albuquerque.
- No private on-site Liquid Waste Disposal systems shall be allowed where public sewer is available; Bernalillo County Ordinance 88-1, Section 6.B.
- Solid Waste shall be disposed of by an independent contractor made available by the developer or individual lot owners may contract with the independent carrier of their choice.

PUBLIC UTILITY EASEMENTS AND UTILITY APPROVALS

The Public Service Company of New Mexico for the installation, maintenance and service of underground electrical lines, transformers and other related facilities reasonably necessary to provide electrical service.

The Gas Company of New Mexico for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.

Mountain Bell for the installation, maintenance and service of all telephone lines, switching equipment and other related equipment and facilities reasonably necessary to provide telephone service.

Jones Interchange for the installation, maintenance and service of all cable lines or other related equipment and facilities reasonably necessary to provide cable television service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electrical transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking or any structures adjacent to, within or near easements shown on this plat.

PUBLIC SERVICE COMPANY OF NEW MEXICO	DATE
GAS COMPANY OF NEW MEXICO	DATE
MOUNTAIN BELL	DATE
JONES INTERCHANGE	DATE

DISCLOSURE STATEMENT

The purpose of this plat is to create a fifteen (15) lot subdivision, dedicate in fee simple the necessary public street rights-of-way and grant the necessary easements needed to serve said subdivision.

DESCRIPTION

A certain tract of land situate within the exterior boundary of the Town of Atrisco Land Grant, in projected Section 2, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being Lot A and Lot B, JERRY BARBOA SUBDIVISION, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 26, 1972 in Volume B-7, folio 53, excluding that portion of Lot B designated as Lot B-1, JERRY BARBOA SUBDIVISION, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 16, 1973 in Volume B-7, folio 186.

Said tract now being surveyed, monumented and platted hereon in accordance with the Standards for Land Surveys in New Mexico, by Harry K. Work, NMPLS #7476, and being further described by New Mexico Coordinate System grid bearings and ground distances, NAD 27, Central Zone, as follows:

Starting at the Albuquerque Control Survey Monument "N-11", an alloy cap in concrete as described in City of Albuquerque SURVEY MONUMENTS Edition 7, page C-809; THENCE,

N 22° 31' 25" W, 2437.82' feet to the southeasterly corner and POINT OF BEGINNING of the tract herein described, a 1-1/2" pipe found and tagged by this survey at a point common to the northerly line of Blake Road SW and the easterly line of an irrigation ditch, the Newborn Lateral; THENCE,

N 88° 13' 40" E, 458.40' feet along said easterly line of the Newborn Lateral to a #4 rebar, found and tagged by this survey on the westerly line of the tract herein described; THENCE,

N 01° 42' 40" S, 338.69' feet along said easterly line of the Newborn Lateral to a #4 rebar, found and tagged by this survey at the northeasterly corner of the tract herein described, whence the Albuquerque Control Survey monument "N-11", an alloy cap in concrete as described in City of Albuquerque SURVEY MONUMENTS Edition 7, page C-810, bears S 44° 52' 00" W, 4149.23' feet distant; THENCE,

S 84° 22' 10" E, 393.21' feet to a #4 rebar, found and tagged by this survey at the northeasterly corner of the tract herein described; THENCE,

S 03° 47' 10" S, 637.70' feet to a #4 rebar, found and tagged by this survey at the southeasterly corner of the tract herein described; THENCE,

N 85° 51' 20" W, 225.40' feet to a #4 rebar, found and tagged by this survey; THENCE,

S 04° 08' 40" W, 156.51' feet to a #4 rebar, found and tagged by this survey on the northerly line of Blake Road SW; THENCE,

N 85° 51' 20" W, 110.00' feet along the northerly line of Blake Road to the point of beginning of the tract herein described, containing 5.1017 acres more or less.

FREE CONSENT AND DEDICATION

This subdivision plat of the tract of land shown hereon is with free consent and in accordance with the desires of the undersigned owner(s). The undersigned owner(s) do hereby dedicate the street and all public rights-of-way shown hereon to the County of Bernalillo in fee simple. Said owner(s) do hereby grant the utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits and pipes for underground utilities where shown or indicated hereon, including the right to construct, operate, inspect and maintain the facilities therein. Said owner(s) do hereby certify that this subdivision is their free act and deed.

Jerry R. Barboa
OWNER: JERRY R. BARBOA Lot A and Remainder of Lot B, JERRY BARBOA SUBDIVISION

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)



OFFICIAL SEAL
CHERYL D. WORK
NOTARY PUBLIC, STATE OF NEW MEXICO
Notary Bond Filed with Secretary of State
My Commission Expires 6-14-96

This instrument was acknowledged before me on April 24, 1995
by: *Jerry R. Barboa*

Cheryl D. Work
NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

I, Harry K. Work, a registered New Mexico Professional Land Surveyor do hereby certify that the real property shown hereon has been surveyed, monumented and platted in accordance with the Standards for Land Surveys in New Mexico, that said survey and plat meet the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance and is true and correct to the best of my knowledge and belief.

Harry K. Work
HARRY K. WORK, NMPLS #7476

April 24, 1995
DATE

LOTS 1 thru 15 BARBOA'S COUNTRY VIEW ACRES A REPLAT OF LOTS A & B, JERRY BARBOA SUBDIVISION

WITHIN THE TOWN OF ATRISCO LAND GRANT

IN PROJECTED SECTION 2, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM

BERNALILLO COUNTY, NEW MEXICO

MARCH 1995

APPROVALS

BERNALILLO COUNTY PARKS AND RECREATION DEPARTMENT DATE

BERNALILLO COUNTY TREASURER'S OFFICE DATE

BERNALILLO COUNTY PLANNING AND ZONING DEPARTMENT DATE

BERNALILLO COUNTY PUBLIC WORKS DEPARTMENT DATE

BERNALILLO COUNTY ENVIRONMENTAL HEALTH DEPARTMENT DATE

BERNALILLO COUNTY PLANNING COMMISSION, CHAIRMAN DATE

BERNALILLO COUNTY COMMISSION, CHAIRMAN DATE

CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD

Robert W. Kane 6-13-95
PARKS AND GENERAL SERVICES DEPARTMENT DATE

Robert W. Kane 6-13-95
TRAFFIC ENGINEER, TRANSPORTATION DEVELOPMENT DIVISION DATE

Robert W. Kane 6-13-95
UTILITY DEVELOPMENT DIVISION DATE

PROPERTY MANAGEMENT DIVISION DATE

Cheryl D. Work 042555
CITY SURVEYOR, ENGINEERING DIVISION DATE

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY DATE

CITY ENGINEER, ENGINEERING DIVISION DATE

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article XI of Chapter 7 of the revised ordinances of the City of Albuquerque, New Mexico.

CHAIRMAN, PLANNING DIVISION DATE

CSU 95-1, DRB 95-164, SC5 95-4

CASE NO.

SP NO.

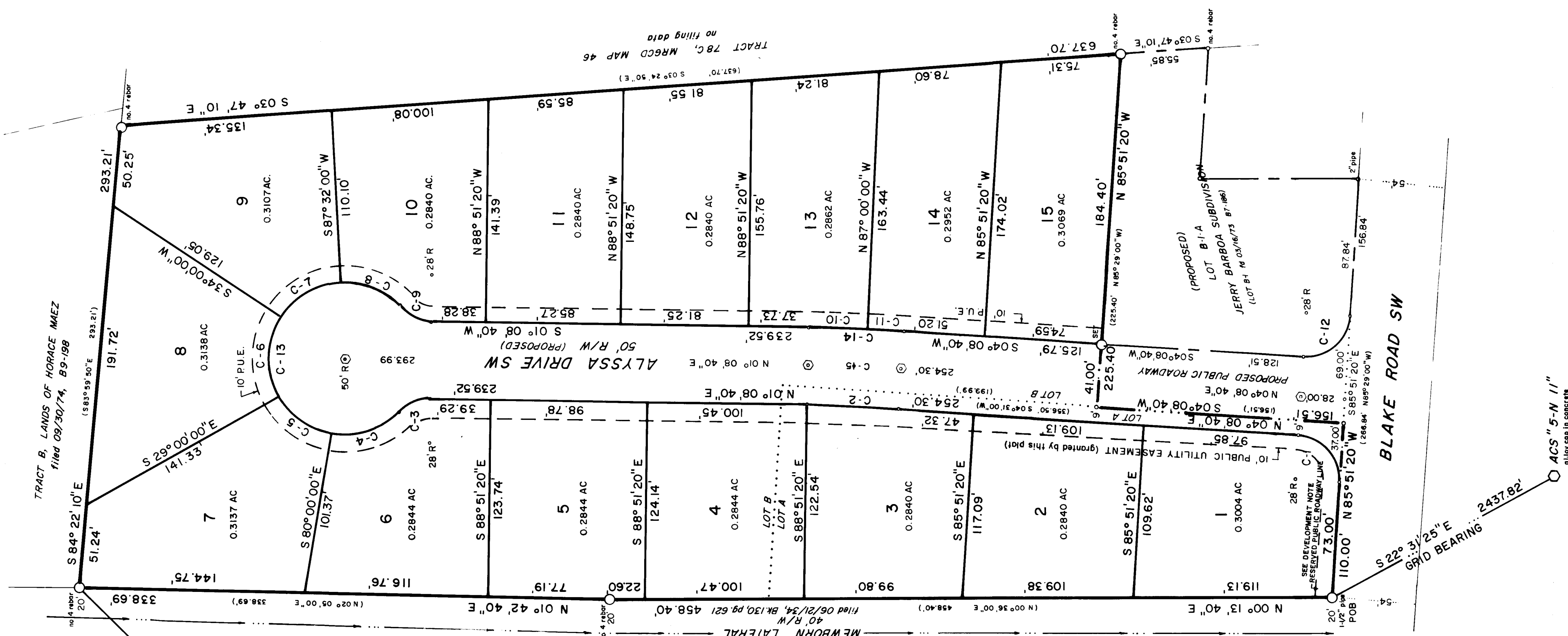


FILE NO. B-010195h SHEET OF
WESTERN LAND SURVEYING
206 THIRD STREET SW 87102
ALBUQUERQUE, NEW MEXICO
PO BOX 26193 87125
(505)843-7245

SURVEY NOTES

- This survey and replat is based on the following:
A. Lots A and B, JERRY BARBOA SUBDIVISION, filed 10/26/72, B7-53, by Frank G. Benavides, NMPLS 4252
B. Lot B-1, JERRY BARBOA SUBDIVISION, filed 03/16/73, B7-186, by Charles T. Scannell, NMPLS 3244
- Distances are horizontal ground distances.
- Bearings are New Mexico Coordinate System grid basis and tied to City of Albuquerque Control Monumentation, NAD 1927, Transverse Mercator Projection, Central Zone, New Mexico, as shown in City of Albuquerque SURVEY MONUMENTS, data as follows:
POINT OF ORIGIN
ACS "N-11"
Page C-809, Edition 7
X=767,20565 Y=1,466,660.34
Ground to Grid Factor: 0.9996844
Delta Alpha: -00°15'17"
Elevation (SLD 1929)
4927.562 FBST
BEARING BASIS
ACS "N-11"
Page C-810, Edition 7
X=767,20565 Y=1,466,660.34
Ground to Grid Factor: 0.9996857
Delta Alpha: -00°15'45"
Elevation (SLD 1929)
4927.364 FBST
Rotate grid bearings 00° 22' 20" clockwise to obtain record bearings
- Corner monuments "SET" or "RESSET" by this survey are capped #4 rebar, 2 feet in length, embossed "PLS 7476" or as described hereon.
Existing corner monumentation found by this survey is described hereon and has been tagged with an aluminum marker described, "PLS 7476 1995".
- Centerline (in lieu of R/W monumentation) to be installed at all centerline points of curvature, points of tangency, anglepoints and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque, Centerline Monumentation, Survey Marker, do Not Disturb, PLS 7476-1995".
- Centerline street monumentation is set at points indicated by

SCALE: 1" = 50' FEET
0 10 20 30 40 50 75 100
© ACS CENTERLINE CONTROL MONUMENT



CURVE DATA

NUMBER	ARC	RADIUS	DELTA	CHORD	BEARING AND DISTANCE
C-1	43.98'	28.00'	90°00'00"	N 49° 08' 40" E	39.60'
C-2	58.69'	1120.92'	3°00'00"	N 02° 38' 40" E	58.68'
C-3	22.37'	28.00'	45°47'02"	N 21° 44' 50" W	21.78'
C-4	45.78'	48.00'	54°38'22"	N 17° 19' 10" W	44.06'
C-5	42.73'	48.00'	53°00'00"	N 35° 30' 00" E	41.33'
C-6	52.78'	48.00'	63°00'00"	N 87° 30' 00" E	50.16'
C-7	44.85'	48.00'	53°32'00"	S 29° 14' 00" E	43.33'
C-8	43.38'	48.00'	49°23'42"	S 22° 13' 50" E	40.11'
C-9	22.37'	28.00'	45°47'02"	S 24° 02' 10" E	21.78'
C-10	37.93'	1170.92'	01°51'20"	S 02° 04' 20" W	37.92'
C-11	23.38'	1170.92'	01°08'40"	S 03° 24' 20" W	23.38'
C-12	43.98'	28.00'	90°00'00"	S 40° 51' 20" E	39.60'
C-13	227.50'	48.00'	271°34'04"	N 88° 51' 20" E	66.95'
C-14	61.30'	1170.92'	03°00'00"	S 02° 38' 40" E	61.30'
C-15	60.00'	1145.92'	03°00'00"	N 02° 38' 40" E	59.99'

I, Harry K. Work, a registered New Mexico Professional Land Surveyor do hereby certify that the real property shown hereon has been surveyed, monumented and platted in accordance with the Standards for Land Surveys in New Mexico, that said survey and plat meet the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance and is true and correct to the best of my knowledge and belief.

Harry K. Work
HARRY K. WORK, NMPLS #7476

April 24, 1995
DATE



FILE NO. B-010195h SHEET OF
WESTERN LAND SURVEYING
206 THIRD STREET SW 87102
ALBUQUERQUE, NEW MEXICO
PO BOX 26193 87125
(505)843-7245

DRAINAGE PLAN

SCOPE:

Pursuant to Bernalillo County Ordinance No. 90-6, Section 11.E, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on the project site. 15 single family homes are proposed with this subdivision, with associated access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the 5.1017 acre site is undeveloped except for a home located at the southwestern portion of the property. The site is bounded on the west by the Newborn Lateral, on the east and north by sparsely developed residential lots, and on the south by Blake Road SW. The site is well vegetated with native grasses and shrubs and was irrigated property in the past. Site topography shows that the site is relatively level. Insignificant offsite flows enter the site from the surrounding property. The site is not located within a 100-year flood plain according to the FEMA Maps.

PROPOSED CONDITIONS:

As shown by the Grading Plan, the houses are located so that runoff generated by each lot will slope to individual lot retention ponds. The ponds have been sized to also retain runoff from the Adelita Lane, the new roadway. All roof drainage will discharge from the roof to the lot and be directed around the structure to the retention ponds.

Supplemental calculation have been provided to the Bernalillo County Public Works Department identified as Attachment No. 1.

The lots will be serviced with City of Albuquerque water and sanitary sewer.

CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, dated January, 1993.

PROPERTY ADDRESS:

2617 Blake Road SW

PROJECT BENCHMARKS:

TBM:
SAS MH located near SW Property Corner
Elevation = 4933.14 feet

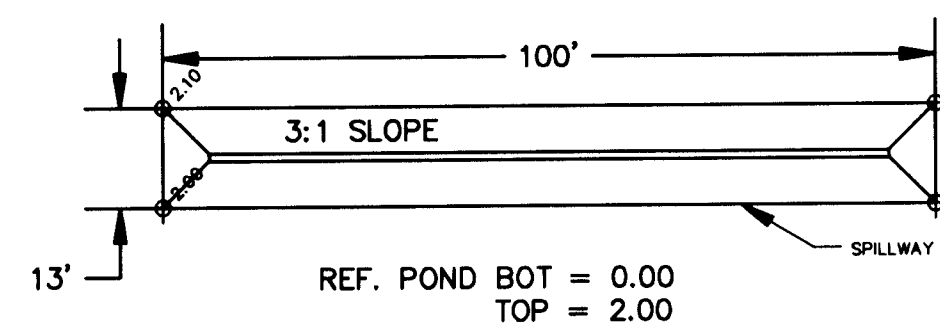
ACS:
Station 3-N11
A 60-penny nail in power pole located +/- 20 ft. south of Verde Rd. and on west side of Joe Sanchez Rd., SW
Elevation = 4929.868 feet

SURVEY:

Topographic survey provided by Thomas R. Mann and Western Land Surveying.

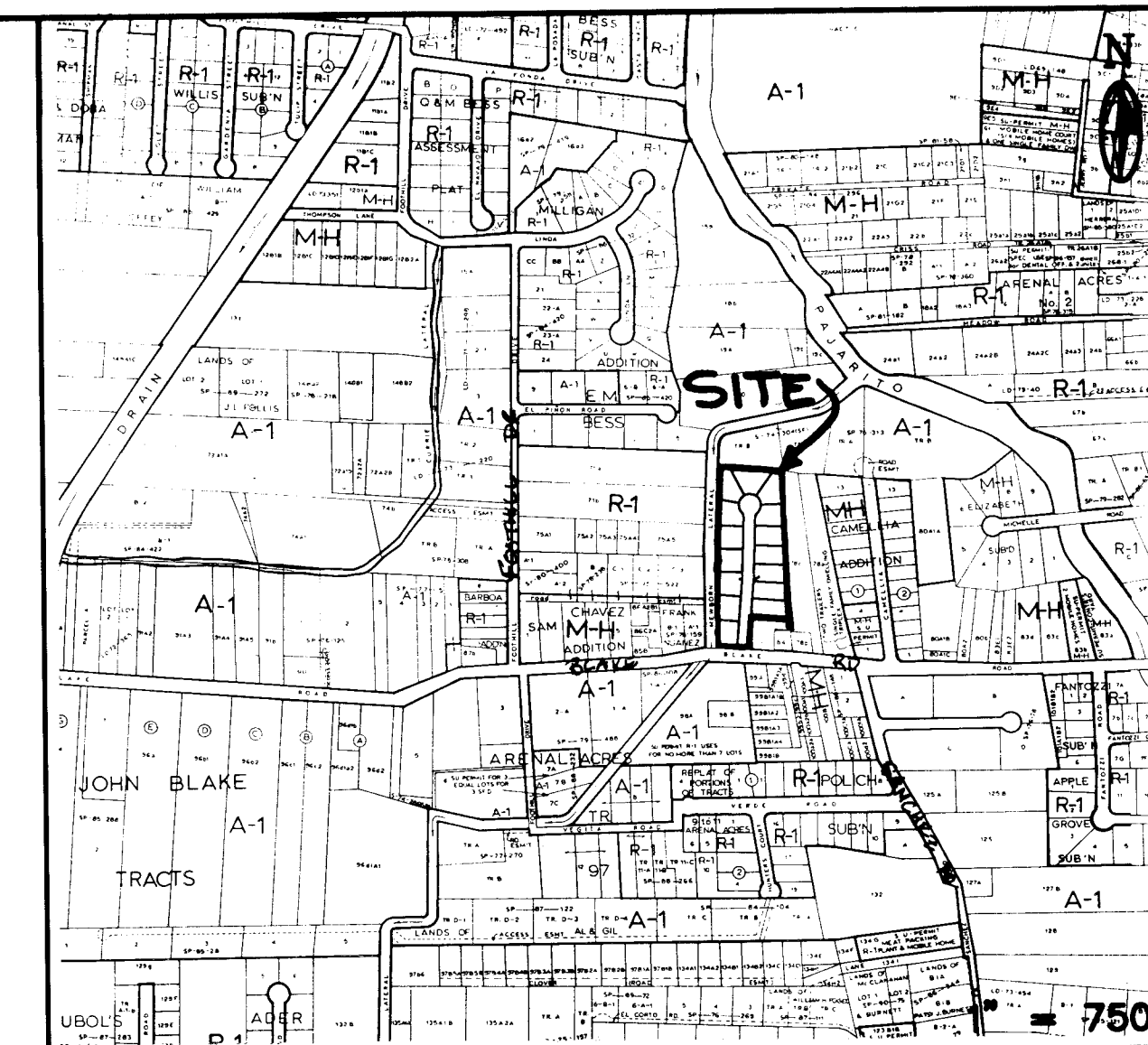
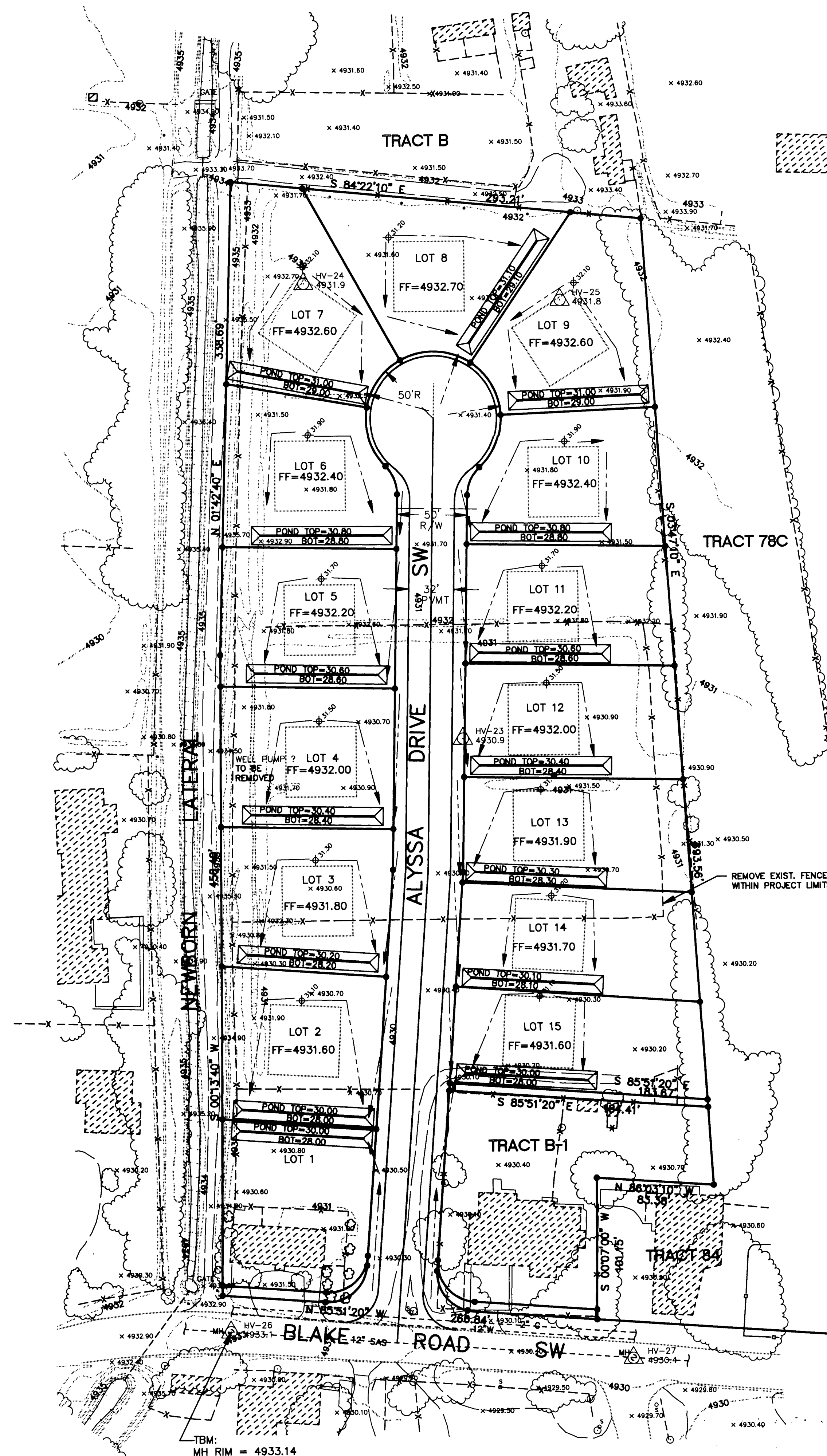
GRADING NOTES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. PAD ELEVATIONS FOR THE LOTS SHALL BE GRADED TO 4" BELOW THE DESIGNATED FF ELEVATIONS AND COMPACTED TO 95%.



POND DETAIL

SCALE: 1"=25'

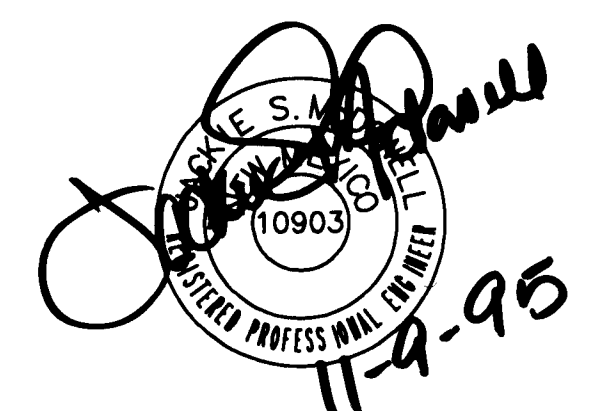
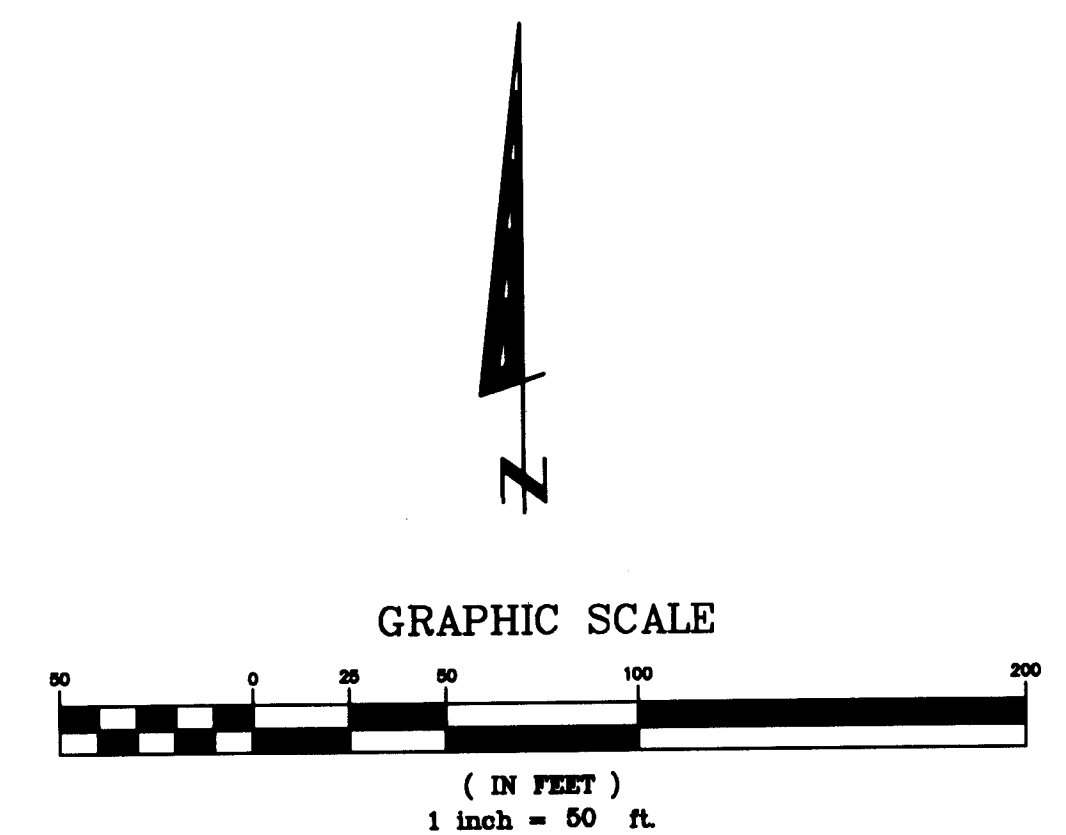


VICINITY MAP

ZONE ATLAS: N-11

LEGEND

	EXISTING	PROPOSED
R/W		
BUILDING/HOUSE		
FENCE		
CONTOUR		
FOLIAGE		
EDGE OF PAVED ROAD		
EDGE OF DIRT ROAD		
SPOT ELEVATION		



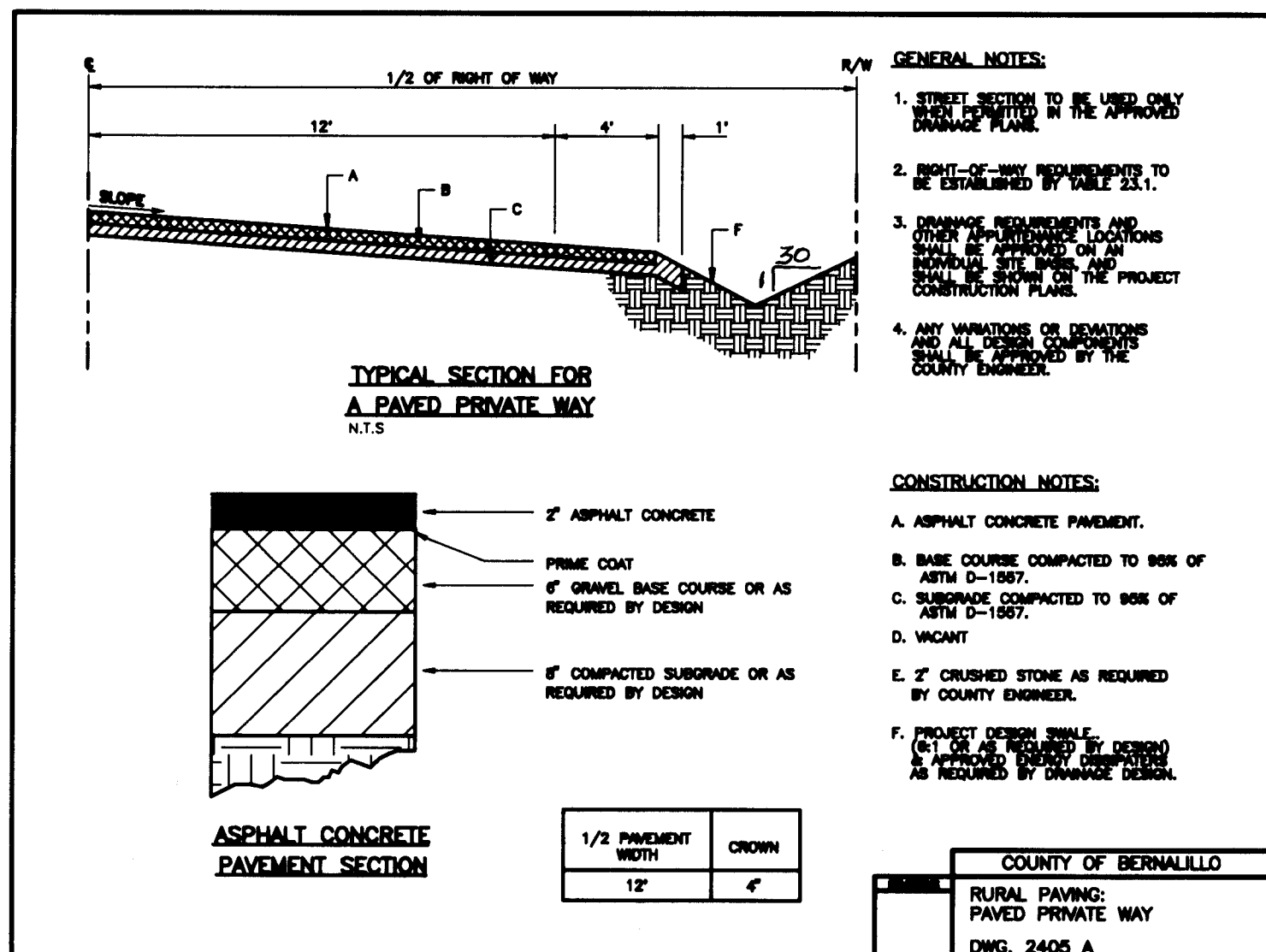
BERNALILLO COUNTY		NEW MEXICO	
GRADING & DRAINAGE PLAN			
LOTS 1-15			
BARBOA'S COUNTRY VIEW ACRES			
BARBOA SUBDIVISION			
McDowell Engineering, Inc.			
Designed JSM	Drawn STAFF	Checked JSM	Sheet 4
File BAR0194L	Date NOVEMBER, 1995		

PROJECT NO. 5174.90

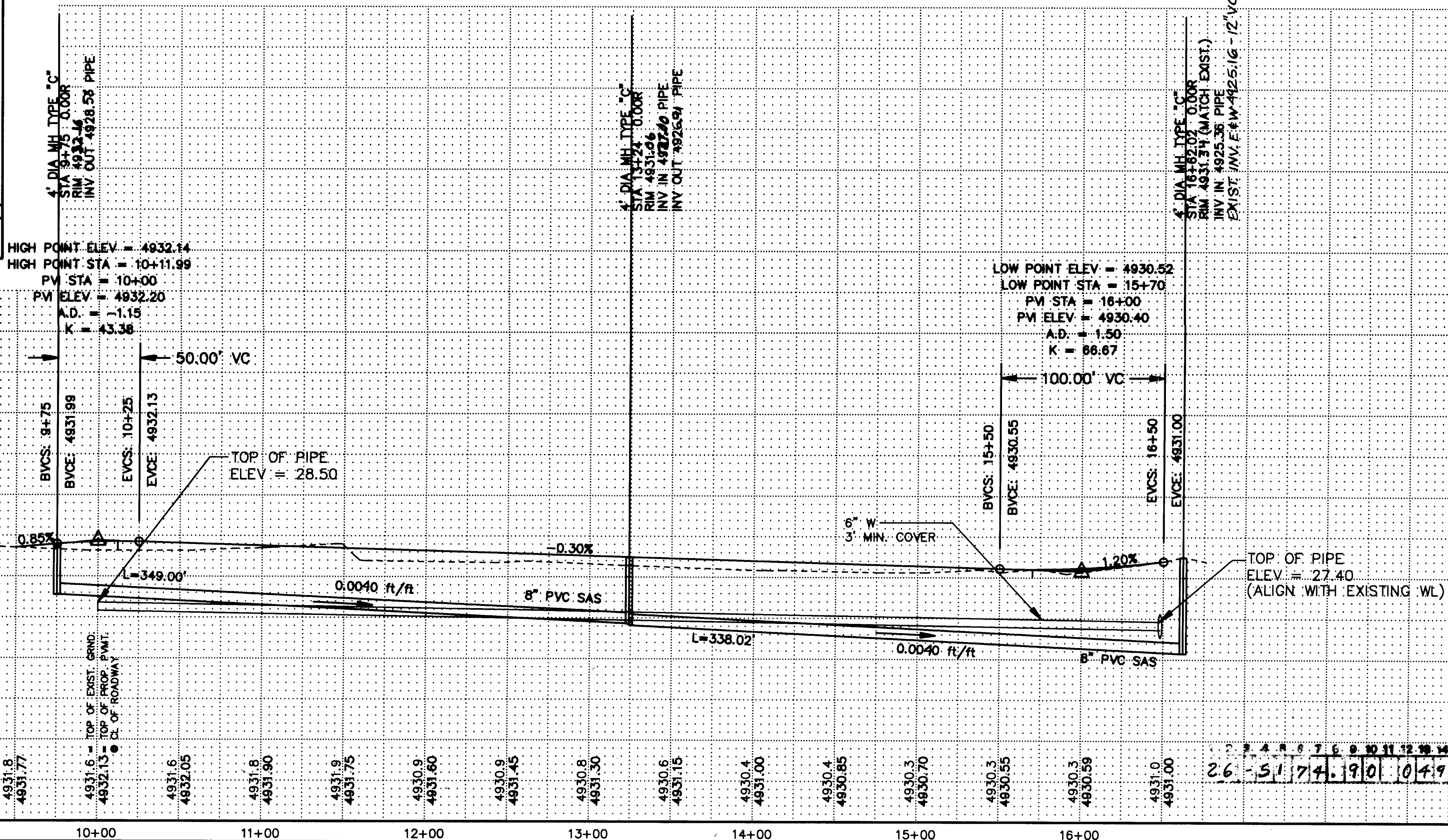
WATER SERVICE TABLE			
LOT NO.	STATION & OFFSET	LENGTH (FT)	TYPE
1	-	-	-
2 & 3	14+01.32, 25'R	15	DOUBLE
4 & 5	11+93.54, 25'R	15	DOUBLE
6 & 7	9+42.29, 49.40'R	38.8	DOUBLE
8 & 9	9+58.00, 27.13'L	58.36	DOUBLE
10 & 11	10+89.75, 25'L	35	DOUBLE
12 & 13	12+56.26, 25'L	35	DOUBLE
14 & 15	14+05.25, 25'L	35	DOUBLE

SAS SERVICE LINE CONNECTIONS
FOR LOTS 7, 8 & 9 SHALL BE
IN ACCORD. W/COA STD. DWG #2118

SANITARY SEWER SERVICE TABLE			
LOT NO.	STATION & OFFSET	LENGTH (LF)	INV. @ EOL
1	-	-	-
2	15+00.45, 25'R	25	4927.35
3	13+91.32, 25'R	25	4927.89
4	12+83.99, 25'R	25	4928.52
5	11+83.54, 25'R	25	4929.03
6	10+83.76, 25'R	25	4929.55
7	9+62.65, 33.25'R	35.47	4929.70
8	9+50, 0.00'R	25	4929.70
9	9+64.27, 34.98'L	36.59	4929.70
10	10+79.75, 25'L	25	4929.55
11	11+65.02, 25'L	25	4929.12
12	12+46.26, 25'L	25	4928.71
13	13+21.12, 25'L	25	4928.34
14	13+95.20, 25'L	25	4927.87
15	14+64.48, 25'L	25	4927.53



LOTS	DESCRIPTION	WATER METER ELEV.
2+3		4930.26
4+5		4931.18
6+7		4930.70
8+9		4930.70
10+11		4931.48
12+13		4931.60
14+15		4930.54



McDowell Engineering, Inc.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: BARBOA'S COUNTRY VIEW ACRES
PAVING, WATER & SANITARY SEWER PLAN & PROFILE

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. CHAIR	B.G. Smith	12-14-95	WATER	R.W. Kane	11-20-99
TRANS. DEV.	N/A	11-15-95	WASTEWATER	R.W. Kane	11-20-99
HYDROLOGY	N/A	11-15-95	B.C. PWD	E. Smith	12-18-95

PROJECT NO. 5174.90 MAP NO. N-11 SHEET 4 OF 4