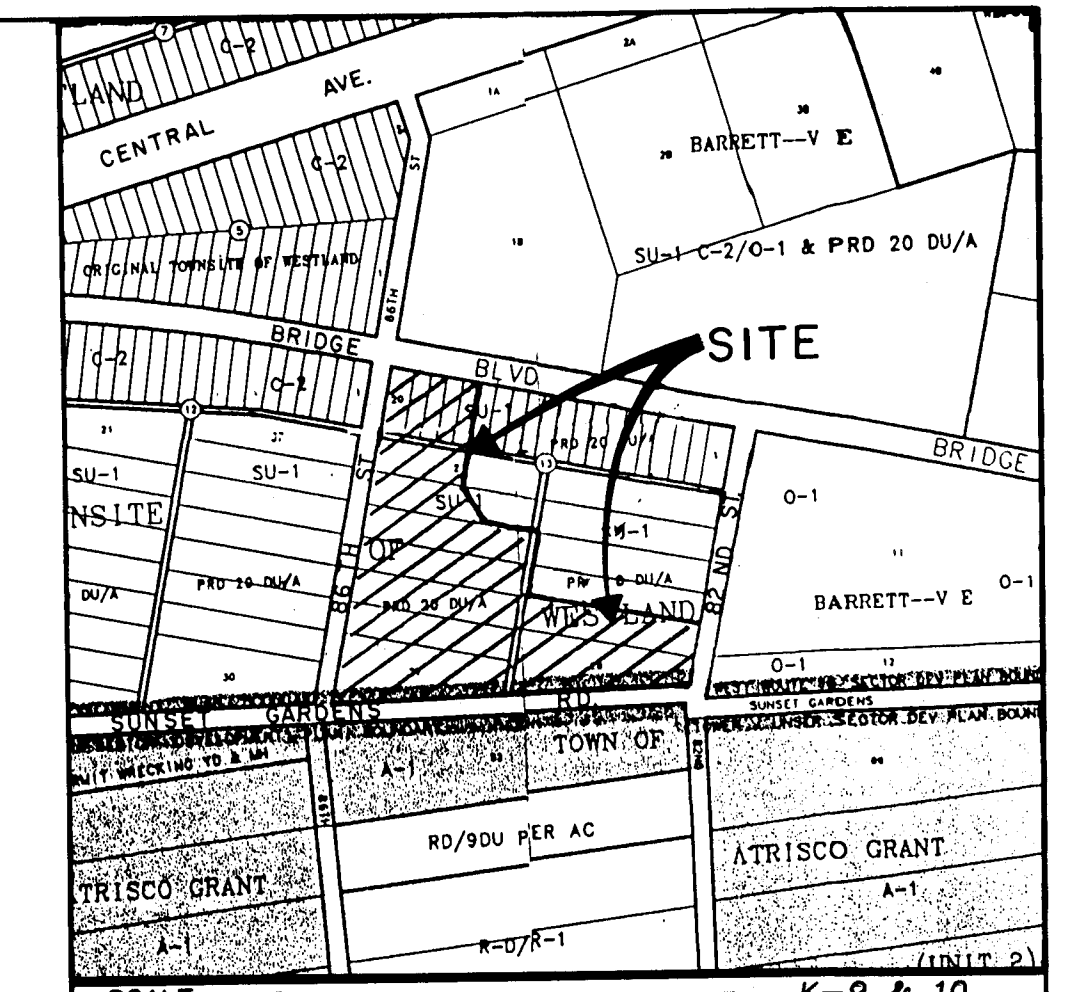


86th STREET, S.W.
and
SUNSET GARDENS ROAD, S.W.

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
IMPROVEMENTS FOR
PAVING AND UTILITIES

INDEX TO DRAWINGS

SHEET NO.			DESCRIPTION
1	OF 8	IC.1	COVER SHEET
2	OF 8	SP.1	PLAT
3	OF 8	IP.0	PAVING COMPOSITE SHEET
4	OF 8	IP.1	PAVING PLAN & PROFILE: 86th STREET (N-S)
5	OF 8	IP.2	PAVING PLAN & PROFILE: SUNSET GARDENS ROAD (E-W)
6	OF 8	IU.0	UTILITY COMPOSITE AND FIRE HYDRANT IN 86th STREET
7	OF 8	IU.1	UTILITY PLAN & PROFILE: WATER AND SEWER IN SUNSET GARDENS ROAD
8	OF 8	IT.1	DRAINAGE DETAILS



- SCALE: 1"=500' +/-
- VICINITY MAP** K-9 & 10 L-9 & 10
- GENERAL NOTES:
- A) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FROM HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED WITH UPDATE NO. 6.
 - B) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL AT 1-800-321-2537 FOR LOCATION AND BLUESTAKING OF EXISTING UTILITIES.
 - C) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
 - D) THE CONTRACTOR SHALL FURNISH EMD'S ON ALL WATER AND SEWER SERVICE STUBS, CAPS AND PLUGS.
 - E) CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEY SECTION. WHEN A CHANGE IS MADE IN ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE, UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - F) RESTRAINED JOINTS ARE REQUIRED AT ALL WATERLINE BENDS, TEES, CAPS AND GATE VALVES.
 - G) THE PUBLIC WATER LINE MUST BE A MINIMUM OF 18" ABOVE THE SEWER LINE AT ALL CROSSINGS.
 - H) THE CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) FIVE (5) WORKING DAYS PRIOR TO NEEDING SHUT-OFF OR TURN-ON OF VALVES. ONLY CITY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVE.
 - I) THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
 - J) ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET. ALL NEW STRIPING SHALL BE PLASTIC AS PER CITY STANDARDS.
 - K) ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
 - L) ALL HANDICAP RAMPS WILL MEET ADA STANDARDS PER CITY'S REVISED SPECIFICATIONS.

IC.1 COVER SHEET FEB 1996

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5226.91 01 01 07

EXISTING UTILITY WARNING
ALL EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS, UNDERGROUND OR OVERHEAD, ARE PRESENTED FOR INFORMATION ONLY. THIS IS A BEST ESTIMATE OF EXISTING UTILITIES LOCATIONS BASED ON INFORMATION FROM OTHERS AND SHOULD NOT BE USED AS CONSTRUCTION BLUESTAKING. THE ENGINEER ASSUMES NO LIABILITY FOR THE LOCATION, SIZE OR KIND OF EXISTING UTILITIES. THE CONTRACTOR SHALL INVESTIGATE AT THE TIME OF CONSTRUCTION, THROUGH BLUESTAKING, MAP RESEARCH AND FIELD VERIFICATION, LOCATION, SIZE, AND KIND OF EXISTING UTILITIES.

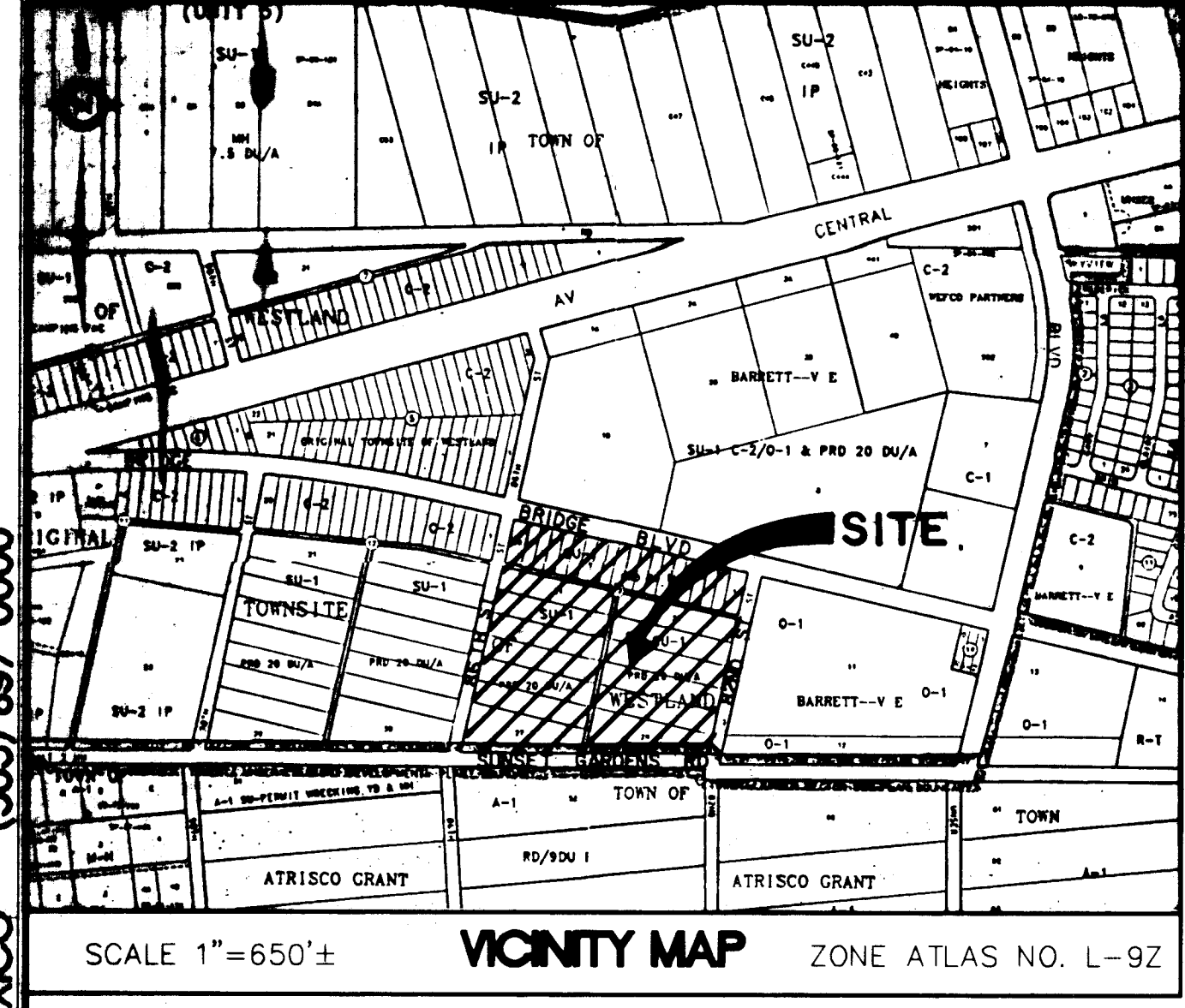
Crawford
Development
Services
Founded 1989

Stephen L. Crawford, P.E.
(505)865-6442
21 LLANO ROAD, LOS LUNAS, NM 87031

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
DATE 2-24-97

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	*****	
		DRC Chairman	6-13-96	5-21-96	APPROVED FOR CONSTRUCTION		
		Transportation	5-21-96				
		Water/Wastewater	5-17-96				
		Hydrology	5-21-96				
		Parks					
		Constr. Mngmt.					
		City Project No.		5226.91		Sheet 1 of 8	

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



SCALE 1"=650'± VICINITY MAP ZONE ATLAS NO. L-9Z

LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT ("PROJECTED" SECTIONS 21, 27 & 28, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND OF LOTS 23-29, BLOCK 13, OF THE ORIGINAL TOWNSITE OF WESTLAND PLAT AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 23, 1935, IN VOLUME D, FOLIO 53, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE ALBUQUERQUE CITY SURVEY MONUMENT "7-K9" (ALUMINUM CAP 3 1/4 DIA. RIVETED TO A PIPE 0.20" ABOVE GROUND AND HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE OF X=355,815.77 AND Y=1,482,842.09), THENCE S46°10'30"E, 884.18 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRIDGE BOULEVARD, S.W., (87' RIGHT-OF-WAY), SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE S77°22'29"E, A DISTANCE OF 801.04 FEET; THENCE S12°37'31"W, A DISTANCE OF 124.00 FEET; THENCE S77°22'29"E, A DISTANCE OF 52.98 FEET; THENCE S12°38'06"W, A DISTANCE OF 49.00 FEET; THENCE S77°21'54"E, A DISTANCE OF 7.00 FEET; THENCE S12°38'06"W, A DISTANCE OF 33.00 FEET; THENCE S77°22'29"E, A DISTANCE OF 130.00 FEET; THENCE S12°38'06"W, A DISTANCE OF 618.91 FEET; THENCE N89°40'40"W, A DISTANCE OF 1,043.96 FEET; THENCE N12°37'48"E, A DISTANCE OF 621.36 FEET; THENCE S77°22'29"E, A DISTANCE OF 4.00 FEET; THENCE N12°37'48"E, A DISTANCE OF 401.00 FEET; THENCE ALONG THE ARCADE OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 28.00 FEET, ARC LENGTH OF 39.27 FEET, CENTRAL ANGLE OF 089°59'43"; A CHORD BEARING OF N67°37'40"E, AND A CHORD LENGTH OF 35.35 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

THE ABOVE DESCRIBED PARCEL CONTAINS 918,458 SQUARE FEET OR 21.085 ACRES MORE OR LESS.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE AND ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL, POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS (SEE NOTE 7). SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

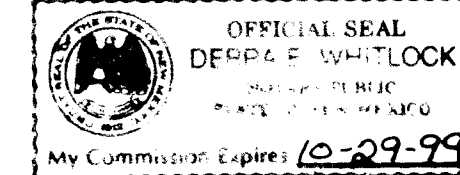
ABO PROPERTIES
A NEW MEXICO LIMITED PARTNERSHIP

BY: *George F. Phillipson*
GEORGE F. PHILLIPSON, VICE PRESIDENT OF CONSTRUCTION

STATE OF NEW MEXICO
COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON February 22, 1996
BY GEORGE F. PHILLIPSON, VICE PRESIDENT OF CONSTRUCTION, ON BEHALF OF SAID NEW MEXICO LIMITED PARTNERSHIP.

BY: *Debra E. Whitlock*
NOTARY PUBLIC
MY COMMISSION EXPIRES: October 29, 1999



TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #'S:

TRACT A	UPC#
TRACT B	
LOT 23	100905645348510430
LOT 24	100905645475710431
LOT 25	100905645464510432
LOT 26	100905645454510433
LOT 27	10090564444310401
LOT 28	10090565244110402
LOT 29	100905650545310403

PROPERTY OWNER OF RECORD: ABO PROPERTIES LIMITED PARTNERSHIP

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: _____ DATE: _____

VACATION AND REPLAT
FOR
BRIDGEPOINT SUBDIVISION

COMPRISED OF
TRACT A & TRACT B OF THE BRIDGEPOINT SUBDIVISION
AND ALL OF LOTS 23-29, TOGETHER WITH
THE REMAINDER OF AN EXISTING 20' ALLEY RIGHT-OF-WAY OF
THE ORIGINAL TOWNSITE OF WESTLAND
SITUATE WITHIN
TOWN OF ATRISCO GRANT
"PROJECTED" SECTIONS 21, 27, AND 28; R 2 E, T 10 N
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 1996

SUBDIVISION DATA:

CASE NO.	V-96-DBB-95-138
GROSS SUBDIVISION ACREAGE	21.0848 AC
ZONE ATLAS INDEX NO.	1-38
NO. OF EXISTING LOTS	7
NO. OF EXISTING TRACTS	1
NO. OF TRACTS CREATED	2
MILES OF FULL-WIDTH STREETS CREATED	N/A
DATE OF SURVEY	FEBRUARY, 1996
S.P. TALOS LOG NO.	96-0202-1545-0412

APPROVALS:

SUBDIVISION CASE NUMBER	_____
CITY PLANNER/ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION	DATE
PARKS AND GENERAL SERVICE DEPARTMENT	DATE
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION	DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
UTILITY DEVELOPMENT	DATE
CITY SURVEYOR, ENGINEERING DIVISION	DATE
PROPERTY MANAGEMENT	DATE
PNM GAS SERVICES	DATE
PNM ELECTRIC SERVICES	DATE
US WEST COMMUNICATIONS, INC.	DATE

SURVEYOR'S CERTIFICATION:

I, DAVID J. THOMPSON, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON; TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

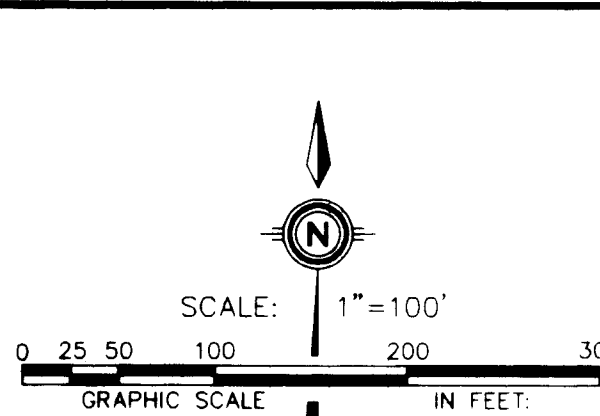
DAVID J. THOMPSON, N.M.P.S., #12657



SHEET 1 OF 2

DATE: FEB, 1996	
SCALE: N/A	
DESIGNED: SPS	
DRAWN: DER	
JOB NO.: 57-01-025	

- NOTES:
- THE PURPOSE OF THIS PLAT IS TO REPLAT TRACTS A AND B OF THE ORIGINAL BRIDGEPOINT SUBDIVISION AND LOTS 23 THROUGH 29, BLOCK 13 OF THE ORIGINAL TOWNSITE OF WESTLAND AND TO VACATE REMNANT PORTION OF AN EXISTING 20' ALLEY, TEMPORARY DRAINAGE EASEMENT AND TEMPORARY TURNAROUND EASEMENT (V-96).
 - ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM CENTRAL ZONE MEAN DELTA ALPHA = -0°16'25". ALL DISTANCES ARE GROUND DISTANCES.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
 - ALL DIMENSIONS PUBLISHED ALONG CURVED LINES ARE ARC DISTANCES. LOT LINES MARKED N/R ARE NON-RADIAL.
 - BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "7-K9" LOCATED ON THE CENTER MEDIAN OF CENTRAL AVENUE AND 530' EAST OF CENTER LINE OF 90TH STREET.
 - UNLESS OTHERWISE NOTED, ALL CORNERS ARE EVIDENCED BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #4972".
 - PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE TEN (10) FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 - PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE UNDERGROUND ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH UNDERGROUND LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.
8. EACH TRACT AND/OR FUTURE PHASES WILL BE RESPONSIBLE FOR ANY MAINTENANCE OF UTILITIES OR INFRASTRUCTURE WITHIN ITS BOUNDARIES AND PRIVATE EASEMENTS



S46°10'30"E, 884.18' (GRND)
TIE: ACS ALUMINUM CAP "7-K9"
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE) NAD 1927
X = 355,815.77
Y = 1,482,842.09
DELTA ALPHA = -0°16'37"
G TO G=0.99967820 ELEV.=5137.36

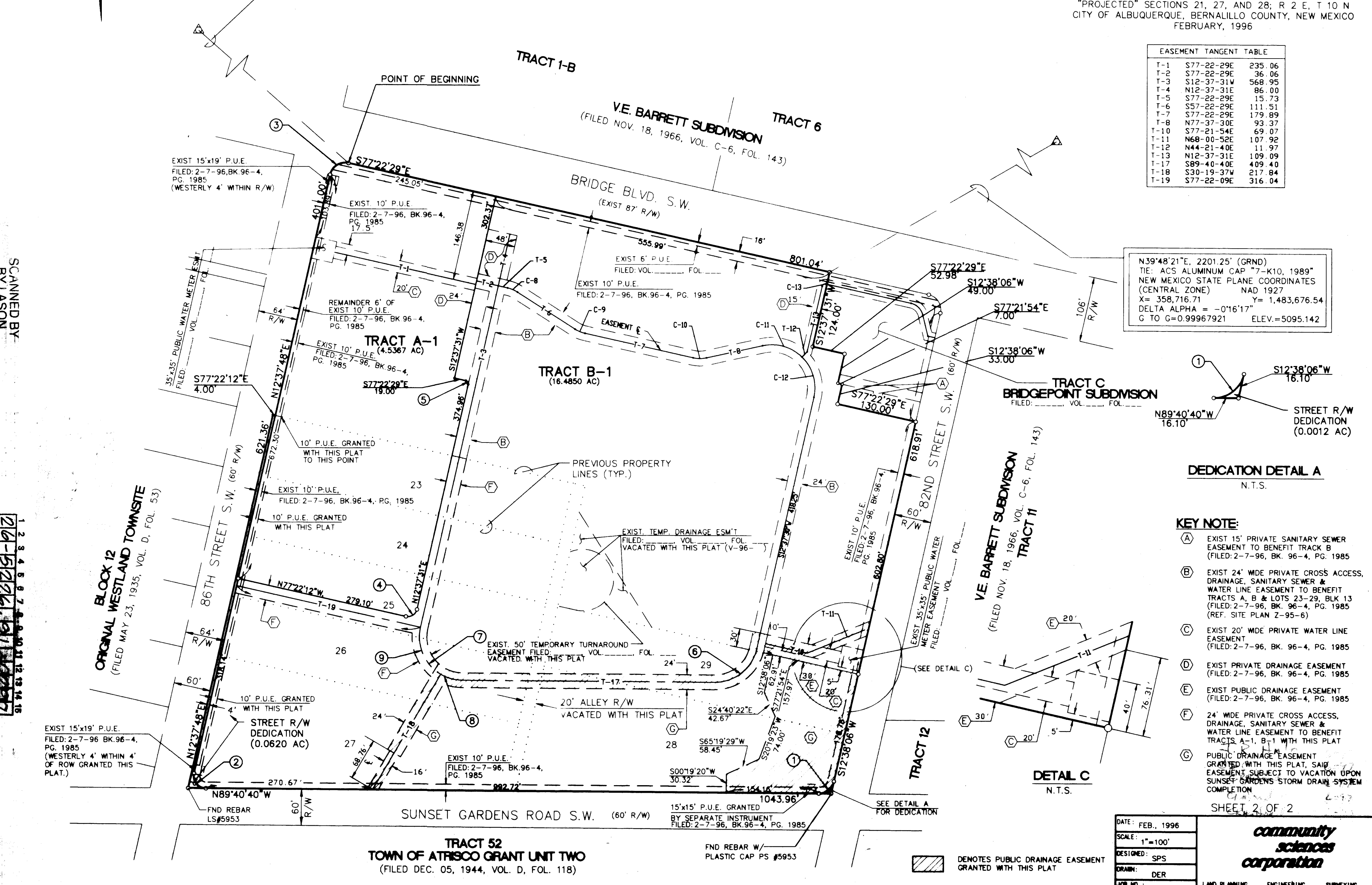
CURVE DATA					
Iden	Radius	Arc	Delta	Chord	Chord Brg
C1	20.00	27.12	077°41'14"	25.09	S51°28'43W
C2	25.00	44.64	102°18'28"	38.94	N38°31'26W
C3	25.00	39.27	089°59'43"	35.35	N57°37'40E
C4	15.00	23.56	090°00'17"	21.21	S57°37'40W
C5	5.00	7.85	090°00'00"	0.07	S32°22'29E
C6	70.00	94.92	077°41'50"	87.82	S51°28'25W
C7	70.00	124.99	102°18'11"	109.03	N38°31'35W
C8	70.00	36.66	030°00'17"	36.24	N74°40'30W
C9	70.00	88.33	072°17'54"	82.58	N23°31'26W

VACATION AND REPLAT
FOR
BRIDGEPOINT SUBDIVISION

COMPRISED OF
TRACT A & TRACT B OF THE BRIDGEPOINT SUBDIVISION
AND ALL OF LOTS 23-29, BLOCK 13, TOGETHER WITH
THE REMAINDER OF AN EXISTING 20' ALLEY RIGHT-OF-WAY OF
THE ORIGINAL TOWNSITE OF WESTLAND
SITUATE WITHIN
TOWN OF ATRISCO GRANT
"PROJECTED" SECTIONS 21, 27, AND 28; R 2 E, T 10 N
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 1996

EASEMENT TANGENT TABLE		
T-1	S77°22'29E	235.06
T-2	S77°22'29E	36.06
T-3	S12°37'31W	568.95
T-4	N12°37'31E	86.00
T-5	S77°22'29E	15.73
T-6	S77°22'29E	111.51
T-7	S77°22'29E	179.89
T-8	N77°37'30E	93.37
T-9	S77°21'54E	69.07
T-10	N68°00'52E	107.92
T-11	N44°21'40E	111.97
T-12	N12°37'31E	109.09
T-13	S89°40'40E	409.40
T-14	S30°15'37E	217.94
T-15	S77°22'09E	316.04

N39°48'21"E, 2201.25' (GRND)
TIE: ACS ALUMINUM CAP "7-K10, 1989"
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE) NAD 1927
X = 358,716.71
Y = 1,483,676.54
DELTA ALPHA = -0°16'17"
G TO G=0.99967921 ELEV.=5095.142



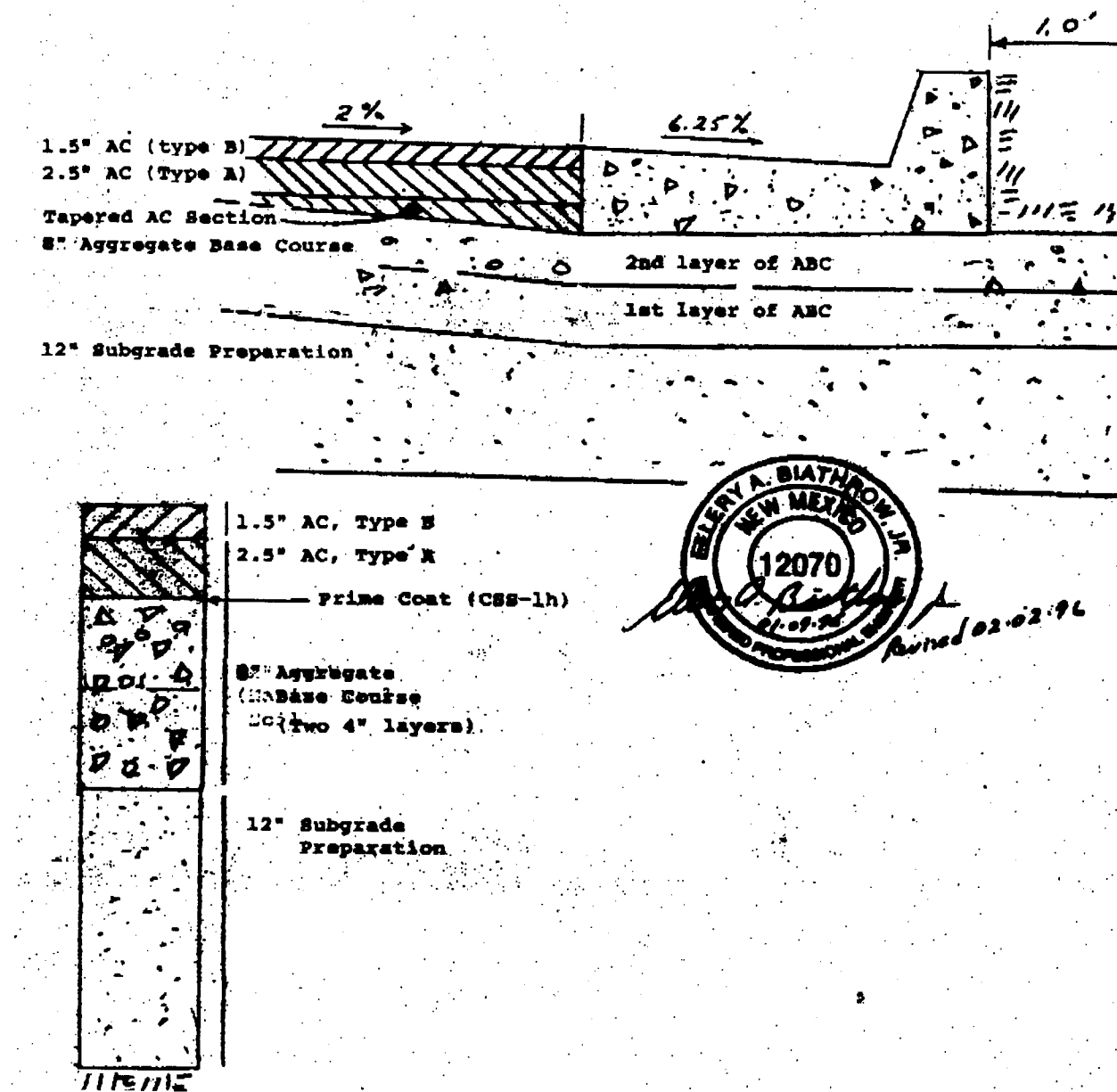
DEDICATION DETAIL A
N.T.S.

KEY NOTE:

- EXIST 15' PRIVATE SANITARY SEWER EASEMENT TO BENEFIT TRACT B (FILED: 2-7-96, BK. 96-4, PG. 1985)
- EXIST 24' WIDE PRIVATE CROSS ACCESS, DRAINAGE, SANITARY SEWER & WATER LINE EASEMENT TO BENEFIT TRACTS A, B & LOTS 23-29, BLK 13 (FILED: 2-7-96, BK. 96-4, PG. 1985 (REF. SITE PLAN 2-95-6))
- EXIST 20' WIDE PRIVATE WATER LINE EASEMENT (FILED: 2-7-96, BK. 96-4, PG. 1985)
- EXIST PRIVATE DRAINAGE EASEMENT (FILED: 2-7-96, BK. 96-4, PG. 1985)
- EXIST PUBLIC DRAINAGE EASEMENT (FILED: 2-7-96, BK. 96-4, PG. 1985)
- 24' WIDE PRIVATE CROSS ACCESS, DRAINAGE, SANITARY SEWER & WATER LINE EASEMENT TO BENEFIT TRACTS A-1, B-1 WITH THIS PLAT
- PUBLIC DRAINAGE EASEMENT GRANTED WITH THIS PLAT, SAID EASEMENT SUBJECT TO VACATION UPON SUNSET GARDENS STORM DRAIN SYSTEM COMPLETION

SHEET 2 OF 2

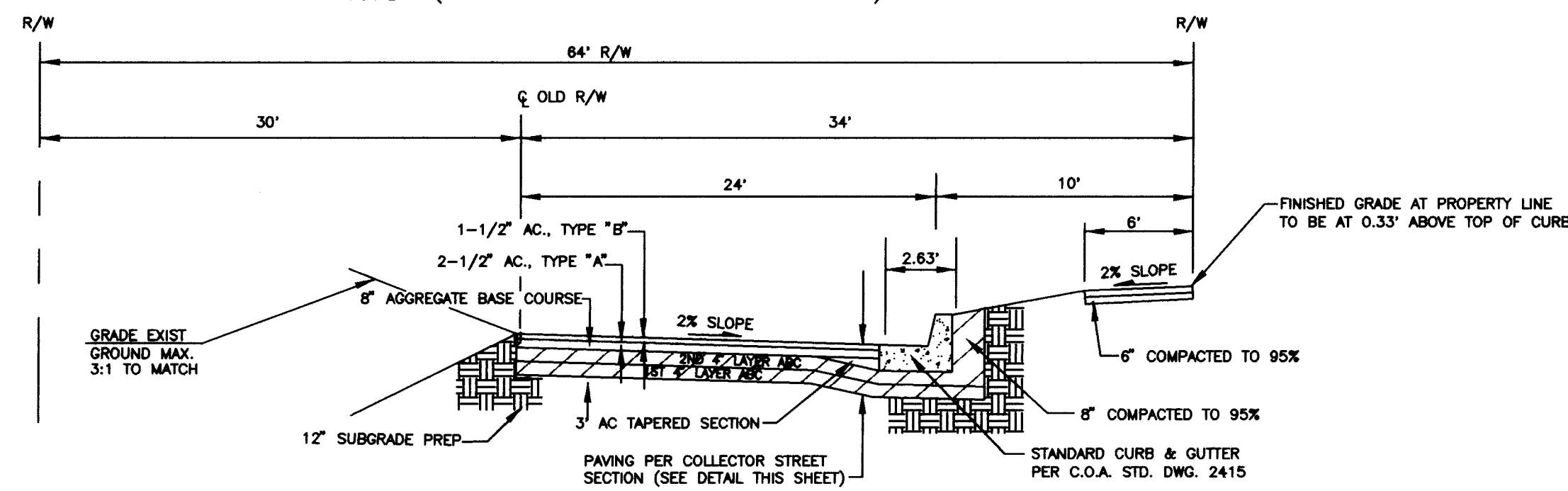
DATE: FEB, 1996	
SCALE: 1"=100'	
DESIGNED: SPS	
DRAWN: DER	
JOB NO.: 57-01	



END OF ARTERIAL PAVEMENT SECTION DESIGN NOTES



Page 2 of 2.

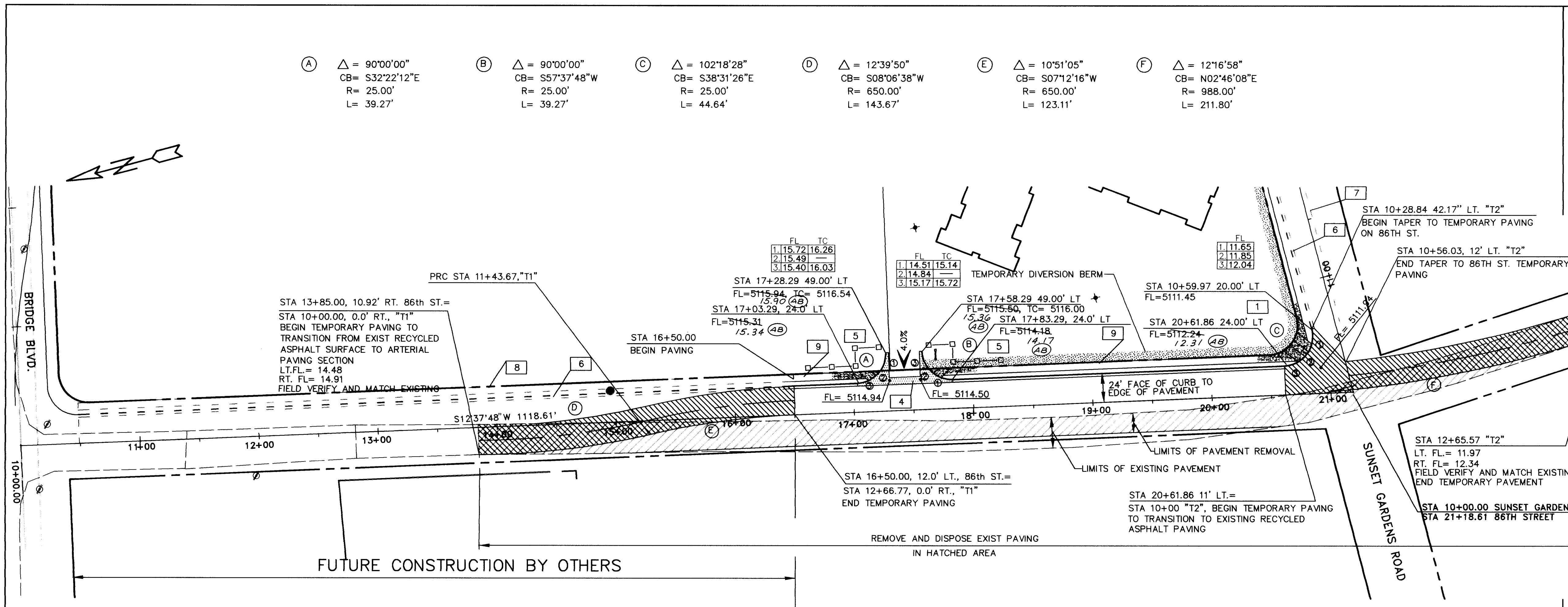
TEMPORARY PAVING SECTION
NTS (PER C.O.A. STD. DWG. 2415)



86TH STREET
COLLECTOR STREET SECTION
NTS (PER SECTION THIS SHEET)

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE:	86th STREET, SW and SUNSET GARDENS ROAD, SW IP.0 PAVING COMPOSITE

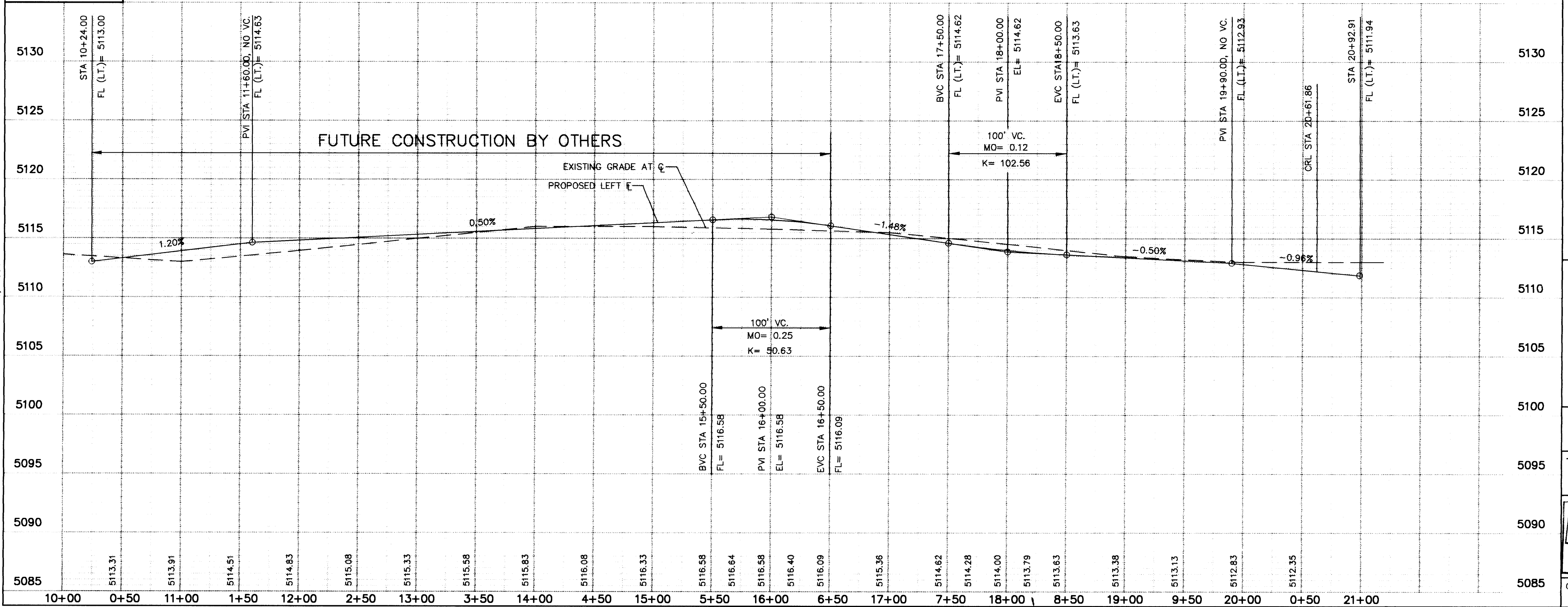
				Last Design Update _____ _____ _____ _____ _____		Mo./Day/Yr. _____ _____ _____ _____ _____		Mo./Day/Yr. _____ _____ _____ _____ _____	
City Project No. 5226.91		Zone Map No. K-10		Sheet 3 of 8					



- LEGEND**
- EXISTING STANDARD CURB & GUTTER
 - PROPOSED STANDARD CURB & GUTTER UNDER THIS CONTRACT, PER C.O.A. STD. DWG. 2415
 - PROPOSED VALLEY GUTTER PER C.O.A. STD. DWG. 2420
 - PROPOSED SIDEWALK & WHEELCHAIR RAMPS
 - PROPOSED 50' CROWN TRANSITION PER C.O.A. STD. DWG. 2401
 - FUTURE STANDARD CURB & GUTTER PER C.O.A. STD. DWG. 2415
 - CURB RETURN LEFT
 - TEMPORARY DIVERSION BERM
 - TEMPORARY PAVEMENT
 - LIMITS OF PAVEMENT REMOVAL

SCALES:
1" = 50' HORIZONTAL
1" = 5' VERTICAL

86th STREET, S.W.
(COLLECTOR PAVING WITH STANDARD CURB AND GUTTER)



NOTE:
"T1" AND "T2" ARE C ALIGNMENT FOR THE TEMPORARY TRANSITIONS FROM EXIST ROAD TO NEW ARTERIAL SECTION.

- KEYED NOTES:**
- 1 WHEELCHAIR RAMP PER C.O.A. STD. DWG. 2441, CASE II
 - 2 4' WIDE SIDEWALK (FUTURE)
 - 3 4' WIDE SIDEWALK (THIS CONTRACT)
 - 4 CONCRETE VALLEY GUTTER PER C.O.A. STD. DWG. 2420
 - 5 WHEELCHAIR RAMP PER C.O.A. STD. DWG. 2426
 - 6 FUTURE STANDARD CURB AND GUTTER
 - 7 EDGE OF FUTURE PAVING
 - 8 6' WIDE SIDEWALK (FUTURE)
 - 9 6' WIDE SIDEWALK (THIS CONTRACT)
- (AB) - As Built

Crawford Development Services
Founded 1989

Stephen L. Crawford, P.E.
(505)865-6442
21 LLANO ROAD, LOS LUNAS, NM 87031

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

TITLE: 86th STREET, SW and SUNSET GARDENS ROAD, SW
IP.1 PAVING PLAN AND PROFILE
86th STREET (N-S)

DESIGN REVIEW COMMITTEE	CITY ENGINEER
DESIGN REVIEW COMMITTEE	CITY ENGINEER

City Project No. **5226.91** Zone Map No. **K-9.10** L-9.10 Sheet **4** of **8**

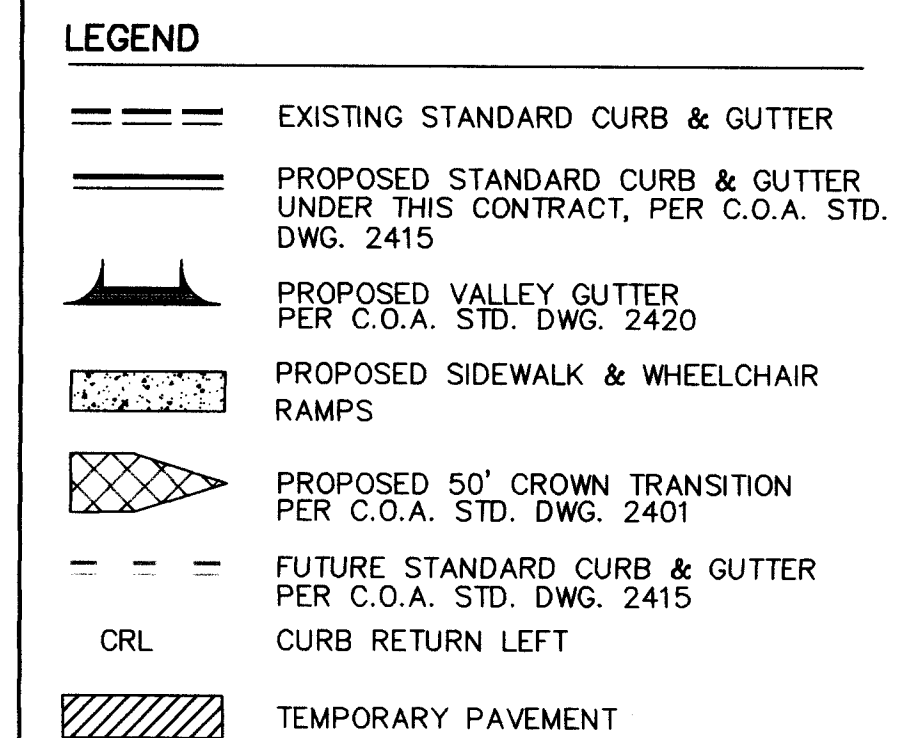
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CONTRACTOR	DATE	THE STATION IS AN ACS 3-1/4" ALUM CAP	DATE	FIELD NOTES	DATE	ENGINEER'S SEAL	REMARKS	NO.	DATE	DESIGNED BY	DATE
J. R. Hale	6-97	RIVETED TO A PIPE 0.20' ABOVE GROUND AND IS STAMPED "7-KP, 1989".	6-97							J. DIPOLLINO	FEB 1996
Crawford	6-97	ELEVATION = 5137.363	6-97							A. MARTINEZ	FEB 1996
										S. CRAWFORD	FEB 1996

95008IP1.DWG BRIDGEPOINT APARTMENTS PLOT DATE: MAY 6, 1996

SCANNED BY LASON

26-5226.91-0407

SUNSET GARDENS ROAD S.W.
(RESIDENTIAL PAVING WITH STANDARD CURB AND GUTTER)



1	WHEELCHAIR RAMP PER C.O.A. STD. DWG. 2441, CASE II
2	4' WIDE SIDEWALK (FUTURE)
3	4' WIDE SIDEWALK (THIS CONTRACT)
4	CONCRETE VALLEY GUTTER PER C.O.A. STD. DWG. 2420
5	WHEELCHAIR RAMP PER C.O.A. STD. DWG. 2426
6	FUTURE STANDARD CURB AND GUTTER
7	EDGE OF FUTURE PAVING

**Crawford
Development
Services**

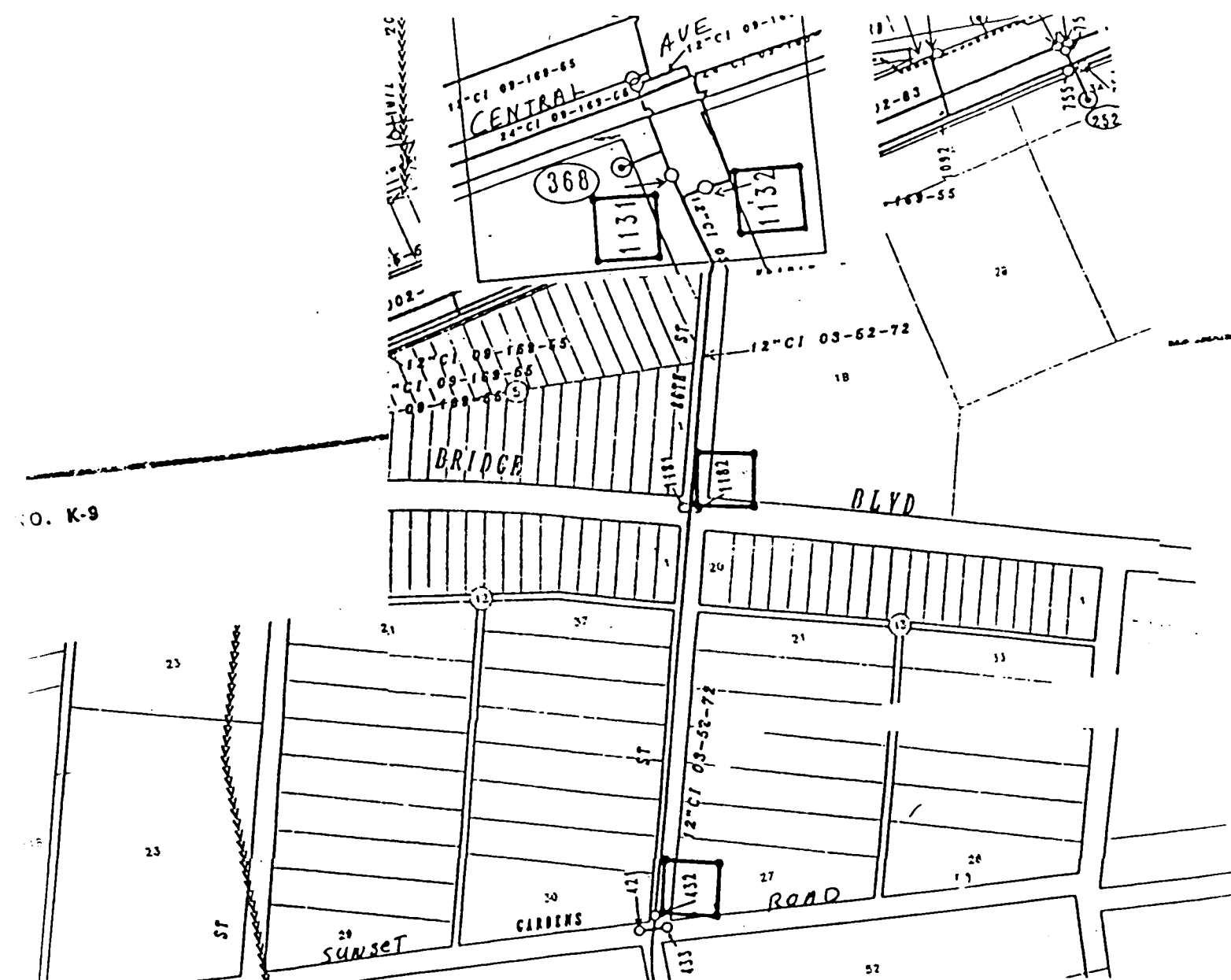
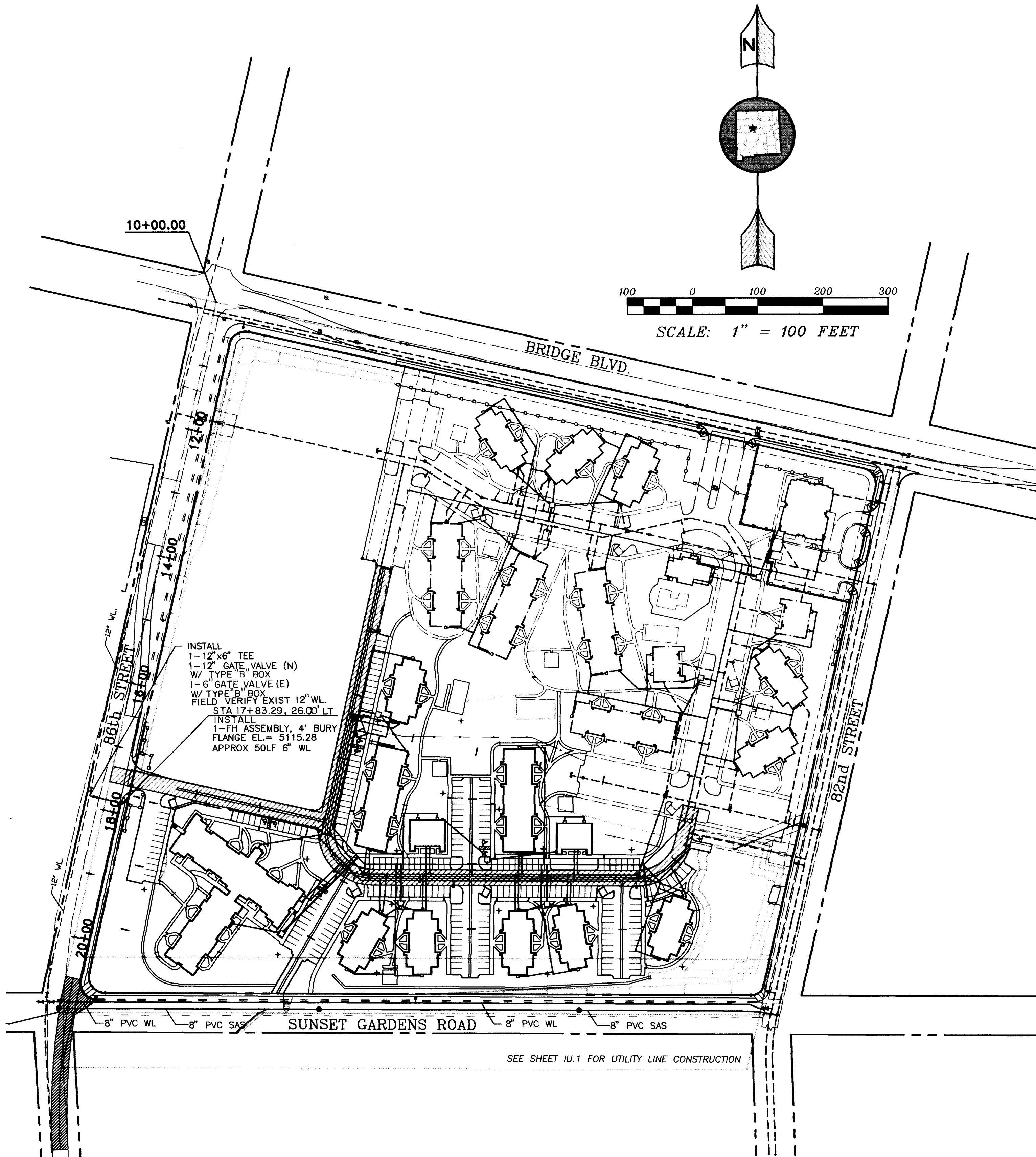
Founded 1989

Stephen L. Crawford, P.E.
(505)865-6442
21 LLANO ROAD, LOS LUNAS, NM 87031

<p>Design Review Committee</p> <p style="font-size: 2em; letter-spacing: 0.5em;">A P P R O V E</p> <div style="border: 1px solid black; width: 150px; height: 80px; margin: 10px auto;"></div> <p style="text-align: center;">DESIGN REVIEW COMMITTEE</p>	<p>City Engineer Approval</p> <p style="font-size: 2em; letter-spacing: 0.5em;">A P P R O V E</p> <div style="border: 1px solid black; width: 150px; height: 80px; margin: 10px auto;"></div> <p style="text-align: center;">CITY ENGINEER</p>
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City Project No.	5226.91	Zone Map No. K-9.10 1-8.10	Sheet	5
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
26	-	52	26	,	9	1		0	5	9	7			



- WATER SHUT OFF PLAN FOR INSTALLATION OF FIRE HYDRANTS ON 86 TH STREET BETWEEN BRIDGE BLVD AND SUNSET GARDENS ROAD
- REFER TO MAP ABOVE
- 1) SHUT OFF GV 1131 AND GV 1132 ON 12" CI WATER LINE 03-52-72 AT INTERSECTION OF CENTRAL AVE AND 86 TH ST..
 - 2) SHUT OFF GV 432 AT INTERSECTION OF 86 TH ST AND SUNSET GARDENS ROAD.
 - 3) SHUT OFF GV 1182 AT INTERSECTION OF 86 TH ST AND BRIDGE BLVD.
 - 4) CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) FIVE (5) WORKING DAYS PRIOR TO VALVE SHUT OFF. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.

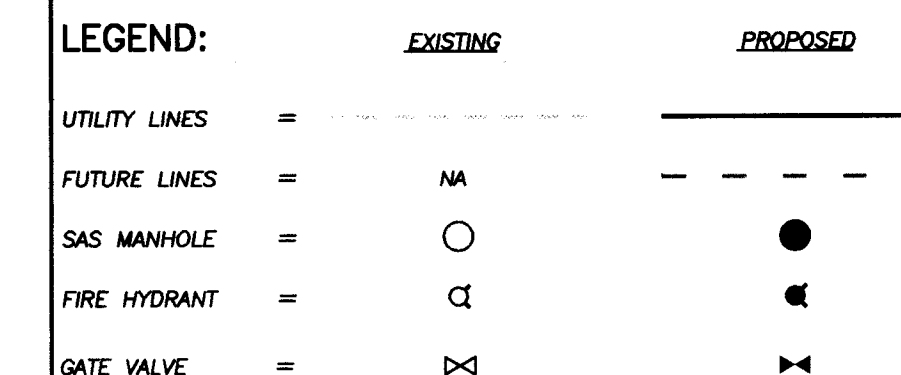
LEGEND:		EXISTING		PROPOSED	
UTILITY LINES	=				
FUTURE LINES	=	M			
SAS MANHOLE	=	○			
FIRE HYDRANT	=	⊗			
GATE VALVE	=	⊗			

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR		THE STATION IS AN ACS 3-1/4" ALUM CAP RIVETED TO A PIPE 0.20' ABOVE GROUND AND IS STAMPED "7-KP, 1989". ELEVATION = 5137.363		FIELD NOTES		BY	
WORK BY	DATE	NO.	BY	NO.	BY	REVISIONS	
ACCEPTANCE BY	DATE					DESIGN	
REVISION BY	DATE					DESIGNED BY J.DIPOLLINO DATE FEB 1996	
DRAWINGS	DATE					DRAWN BY M.CRAWFORD DATE FEB 1996	
CORRECTED BY	DATE					CHECKED BY S.CRAWFORD DATE FEB 1996	
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
NO.							

Crawford Development Services
Founded 1989
Stephen L. Crawford, P.E.
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: 86th STREET, SW and SUNSET GARDENS ROAD, SW IU.O UTILITY COMPOSITE AND FIRE HYDRANT IN 86th STREET			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No. 5226.91	Zone Map No. K-9,10 L-9,10	Sheet 6 Of 8	

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-15226.91 0697



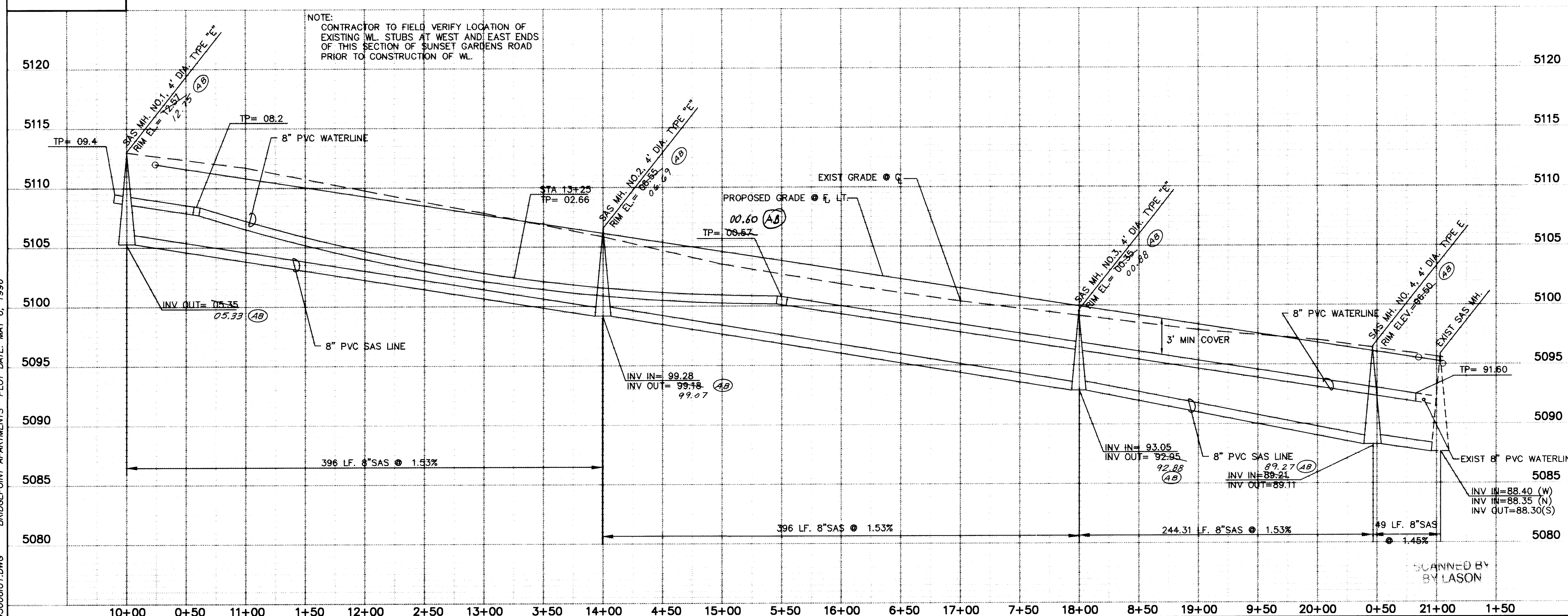
RESTRAINED JOINTS LENGTH (FEET)		
FITTING	RUN LENGTH	BRANCH LR
12" x 6" TEE	0' RUN	46' BRANCH
12" x 8" TEE	0' RUN	60' BRANCH
8" x 6" TEE	8' RUN	6' BRANCH
8" GATE VALVE	60' RUN	
8" 22 1/2' BEND	5' RUN	

*EXISTENCE OF RESTRAINTS UNKNOWN ON 12" LINE.
ASSUME 0 RESTRAINT.

**ATTACHING TO VALVE ON EXISTING 12" WL. ASSUMING EXISTING LINE
DOES NOT HAVE RESTRAINED JOINTS

LR = LENGTH TO BE RESTRAINED EACH SIDE OF THE FITTING. FOR TEES, ALL THREE LEGS SHALL BE RESTRAINED FOR A DISTANCE OF "LR". FOR REDUCERS, "LR" IS GIVEN FOR THE LARGER DIAMETER SIZE. THE FITTING AND RE-RESTRAINING IS REQUIRED ON THE SMALL SIDE OF THE FITTING. GATE VALVES SHALL BE MECHANICALLY RESTRAINED AND INSTALLED WITH CONCRETE BLOCKING PER COA STD DWG 2320. IN ADDITION TO THE MECHANICALLY RESTRAINED LENGTHS, ALL CAPS SHALL BE INSTALLED WITH CONCRETE BLOCKING PER COA STD DWG 2320. REPAIR ALL JOINTS ON FIRE HYDRANTS.


SCALES:
1" = 50' HORIZONTAL
1" = 5' VERTICAL



④B - AS BUILT

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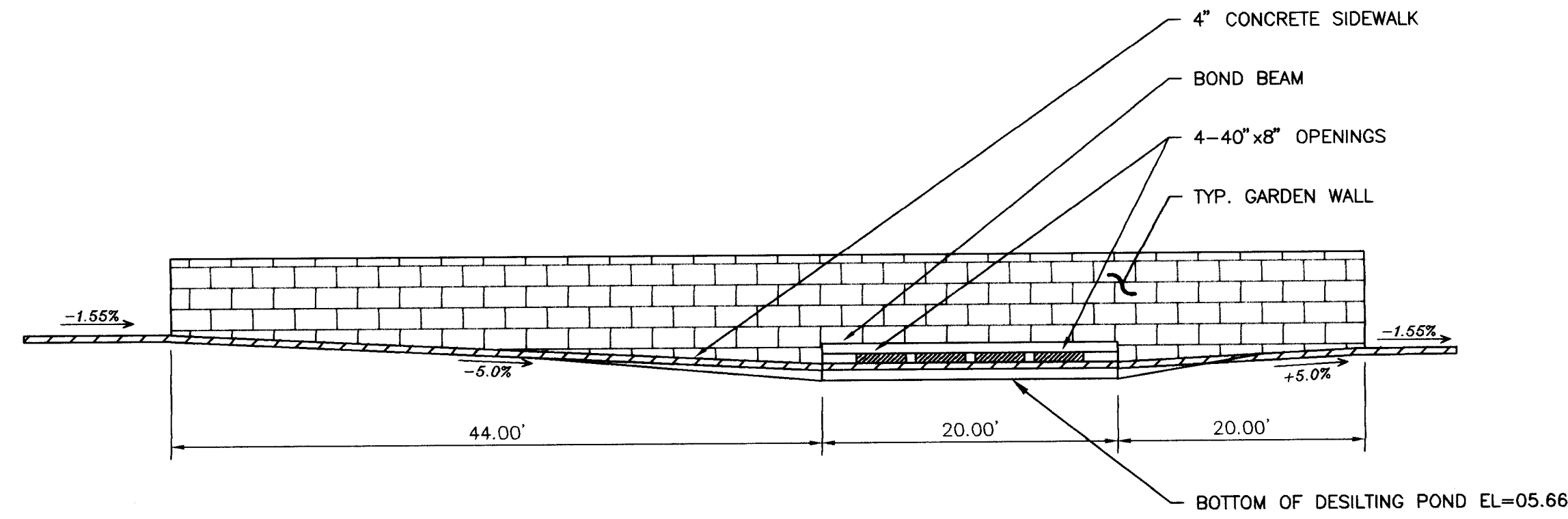
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: BRIDGE POINT APARTMENTS - PHASE TWO
IU.1 UTILITY PLAN AND PROFILE
WATER AND SEWER IN SUNSET GARDENS

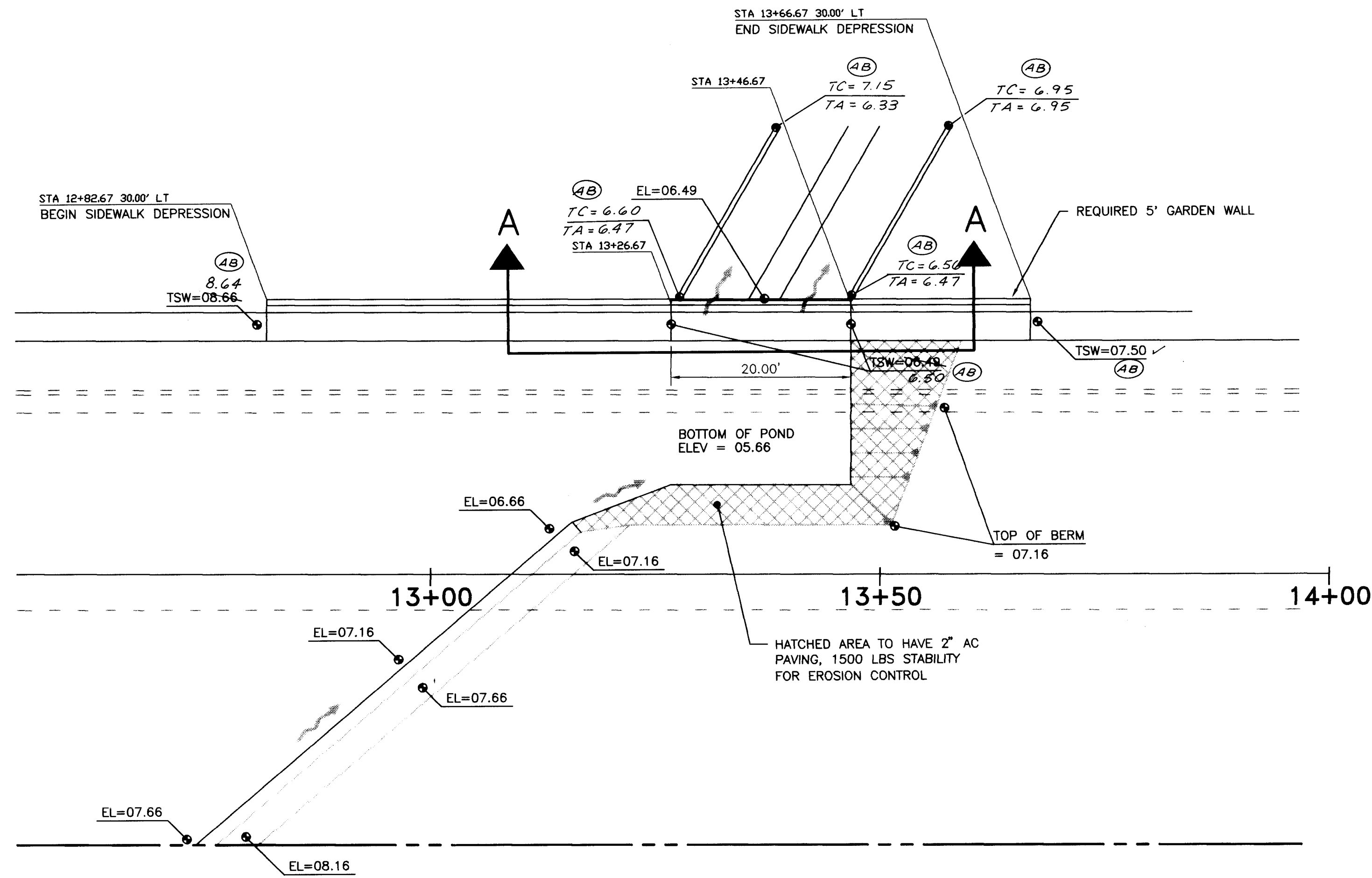
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED	[Signature Box]	APPROVED	[Signature Box]			

City Project No.	5226 91	Zone Map No.	K-9, 10	Sheet	7	Of	8
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
26	-	52	26	,	91			07	97					



SECTION A-A
N.T.S.



TEMPORARY DESILTING POND ON SUNSET GARDENS ROAD
SCALE: 1" = 10'-0"

(AB) - As Built

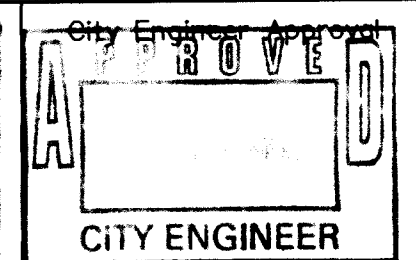
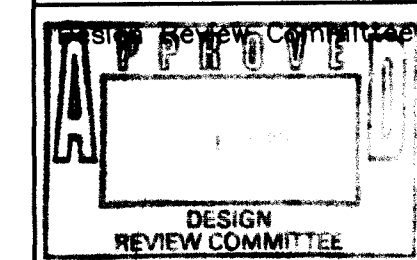
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

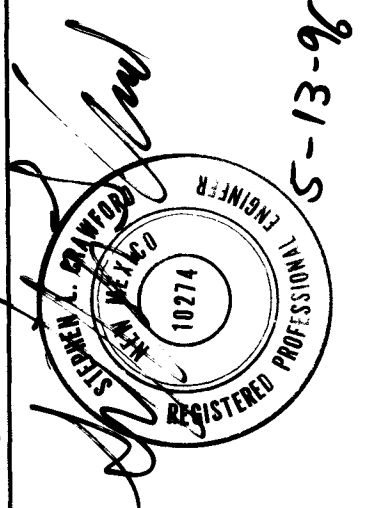
TITLE: 86th STREET, SW and SUNSET GARDENS ROAD, SW
IT.1 DRAINAGE DETAILS



City Project No. 5226.91 Zone Map No. K-9-10 Sheet 8 of 8

26-5226.91 0827

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	BY	FIELD NOTES	THE STATION IS AN ACS 3-1/4" ALUM CAP RIVETED TO A PIPE 0.20' ABOVE GROUND AND IS STAMPED "7-KP, 1989". ELEVATION = 5137.363	CONTRACTOR	NO.	DATE
					INSPECTOR'S		
					FIELD		
					VERIFICATION BY		
					CHECKED BY		
					MICRO-FILM INFORMATION		
					RECORDED BY		
					NO.		



REVISIONS	DATE	BY
DESIGN	FEB 1996	J. DIPOLLINO
DRAWN	FEB 1996	M. CRAWFORD
CHECKED	FEB 1996	S. CRAWFORD

SCANNED BY LASON