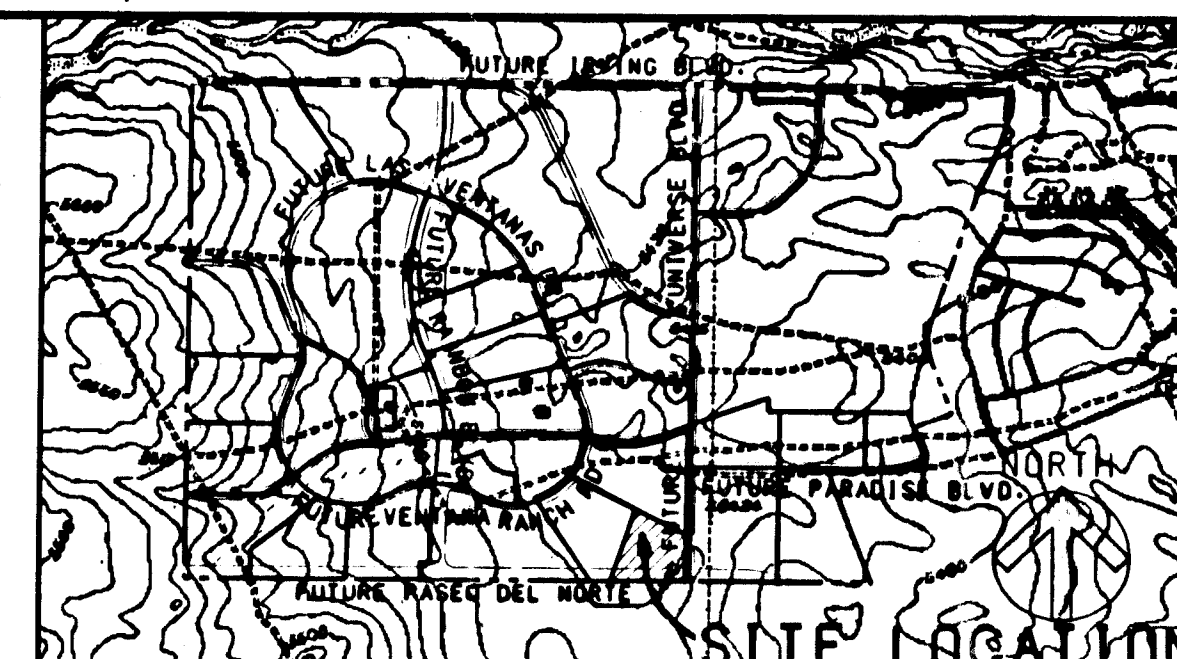


CONSTRUCTION PLANS FOR VENTANA RANCH TRACT 4B-1 TERESINA SUBDIVISION-UNIT II ALBUQUERQUE, NEW MEXICO



VICINITY MAP
NOT TO SCALE
89.810

NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AND SHALL INCLUDE UPDATE No. 8 AND NEW MEXICO UTILITIES INC. SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS). NOTIFY N.M.U.I. 3 DAYS PRIOR TO CONSTRUCTION 14 DAY NOTICE FOR WATER SHUT DOWN.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ANY WORK WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.

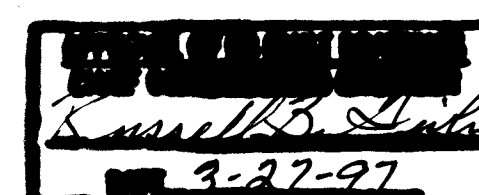
THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

INDEX	
SHEET NUMBER	DESCRIPTION
1	TITLE SHEET
2	PLAT
3	SITE DESCRIPTION PLAN
4	GRADING PLAN
5	OVERALL PAVING PLAN
	PAVING PLAN AND PROFILE
6	PIEDRA QUEMADA RD. / TERESINA CT.
7	LA ROCCA CT. / LA ROCCA RD.
8	OVERALL UTILITY PLAN
	UTILITY PLAN AND PROFILE
9	PIEDRA QUEMADA RD. / TERESINA CT.
10	LA ROCCA CT. / LA ROCCA RD.

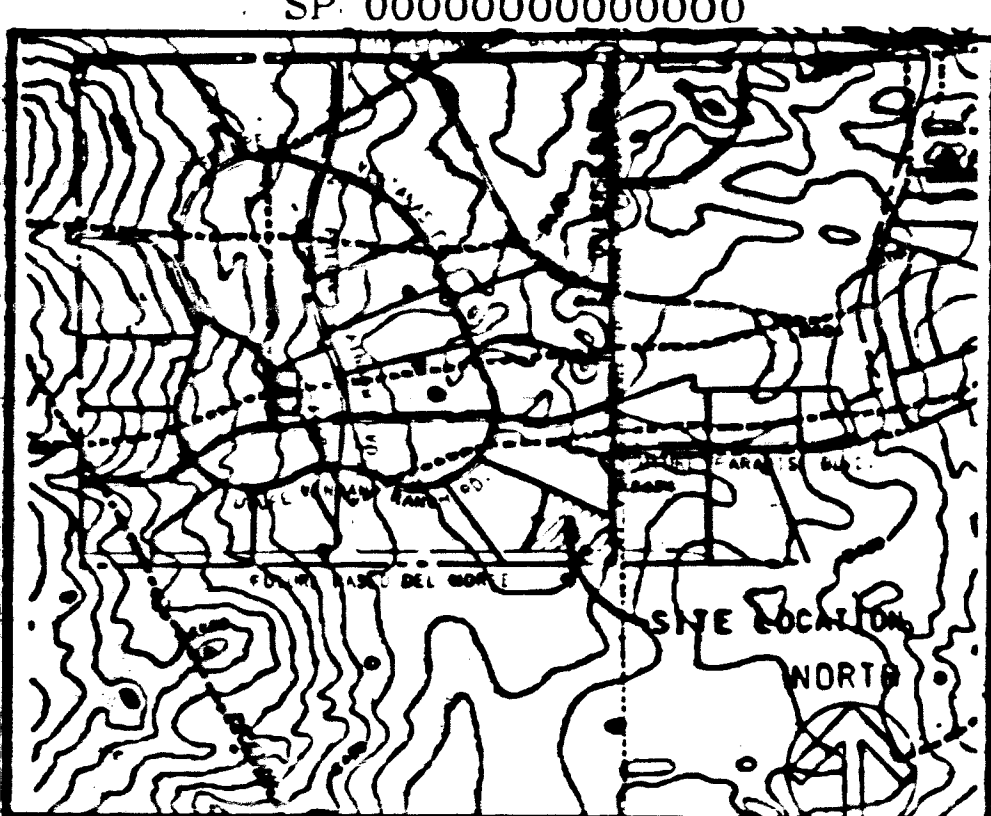
26-5316.93 01197

DRB NO. 96-472



BOANNAN-HUSTON, INC.
ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
ALBUQUERQUE LAS CRUCES SANTA FE

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & APPROVAL		APPROVALS		ENGINEER		DATE	
		DR Chairman		10-21-96		APPROVED FOR CONSTRUCTION	
		Transportation					
		Water/Wastewater					
		Hydrology					
		Parks					
		Constr. Mgmt.				City Engineer Date	
		CITY PROJECT NO.		5316.93		SHEET 1 OF 10	



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-9-Z
NOT TO SCALE

SUBDIVISION DATA

1. DRS No. _____
2. Zone Atlas Index No. B-9-Z
3. Gross Subdivision Acreage: 12.00832 Acres
4. Total Number of Lots and Tracts created: 54 Lots and 1 Tract
5. Total Mileage of full width Streets created: 0.0648 mile
6. Total Mileage of partial width Streets created: 0.0927 mile
7. Date of Survey: September, 1996
8. Plot is located within the Town of Alameda Grant, within projected Section 9, T11N, R2E, 18W

DISCLOSURE STATEMENT

The purpose of this Plat is to Subdivide Tract 4B-1 of the PLAT OF TERESINA SUBDIVISION, UNIT 1 AT VENTANA RANCH, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 15, 1996 as Document No. 9609749 in Volume 96C, Folio 358 into fifty-four (54) Lots, and One (1) Tract to dedicate public street right-of-way to the City of Albuquerque, to grant easements, and to vacate easements.

NOTES

1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) as being the same as Bearings shown on PLAT OF TRACTS 4A, 4B, 7A, & 7B, PLAT OF VENTANA RANCH, Filed: January 31, 1996 in Book 96C, Folio 52. Distances are Ground Distances.
2. All easements of record are shown.
3. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, INC. facilities, and the City of Albuquerque.
4. Temporary Drainage and Trail Easements are subject to adjustment in size, dimension and location as plans and designs become more firm. Deletion of any temporary easement shall require the approval of the City of Albuquerque by way of vacation action. Any portion of these easements not required by the drainage improvements shall revert to the owner(s) and/or its successors or assigns.
5. Temporary blanket drainage easements including temporary drainage easement for proposed channels shown herein dedicated to AMAFCA are with subsequent trail easements to the City of Albuquerque and utility easements to the respective utility companies subject to licensed approval from AMAFCA. Temporary easements are in accordance with the Las Ventanas Subdivision Drainage Master Plan, April, 1995 and the Las Ventanas Interim Drainage Facilities Plan, July, 1995 and the AMAFCA and Sando Properties Agreement dated July 27, 1995. These temporary drainage easements are subject to adjustment in size, dimension and location as plans and designs become more firm. Any portion of these easements not required by the drainage improvements or above cited subsequent users shall revert to Las Ventanas Partnership, its successors or assigns upon acceptance by AMAFCA of the physical improvements. Reversion by AMAFCA shall be by Quit Claim Deed.
6. There is no direct motorized vehicular access to Lots from Paseo Del Norte and Universe Blvd.
7. Lots 59 thru 66 inclusive and Lots 75 thru 80 inclusive are to be P-1 and shall conform to intermittent Parking Design Criteria, Item (f).
8. Centerline (in lieu of R/W monumentation) to be installed at all centerline P-1's, angle points and street intersections prior to acceptance of subdivision street improvements and shall consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS 6544".

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, said tract being and comprising all of Tract 4B-1 of PLAT OF TERESINA SUBDIVISION UNIT 1 AT VENTANA RANCH (Replat of Tracts 4A and 4B Ventana Ranch) Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 15, 1996 as Document No. 9609749 in Volume 96C, Folio 358 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) and ground distances as follows:

BEARING of the southeast corner of said Tract 4B-1, a point on the Projected Section Line common to Projected Sections 9 and 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, whence the Albuquerque City Survey (ACS) Monument "1-B10", a brass tablet set in top of a concrete post, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) X=357,526.89 and Y=1,525,168.35 bears N04°42'12"E, a distance of 878.09 feet and from said point of beginning running thence along the southerly boundary line of said Tract 4B-1 and also along the Section Line common to projected Sections 9 and 16, N89°48'48"W, a distance of 871.05 feet to the southwest corner of said Tract 4B-1, thence leaving said projected Section Line and running thence along the westerly boundary line of said Tract 4B-1, N26°22'39"E, a distance of 478.64 feet to a point on the northerly right-of-way line of Piedra Quemada Road, thence running along the westerly boundary line of said Tract 4B-1 and also along said right-of-way line, N63°37'21"W, a distance of 32.62 feet to a point, thence leaving said right-of-way line and running thence along the westerly boundary line of said Tract 4B-1, N26°22'39"E, a distance of 220.00 feet to a point on the southerly right-of-way line of La Rocca Road, thence running along the westerly boundary line of said Tract 4B-1 and also along said right-of-way line, S63°37'21"E, a distance of 44.36 feet to a point, thence leaving said right-of-way line and running thence along the westerly boundary line of said Tract 4B-1, N26°22'39"E, a distance of 51.68 feet to a point of curvature (non-tangent) on the northerly right-of-way line of La Rocca Road and the easterly right-of-way line of Montero Street, thence running along the westerly boundary line of said Tract 4B-1 and also along said westerly right-of-way line, S00°16'51"W, a distance of 30.06 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N08°04'21"W, a distance of 28.28 feet to a point of tangency, thence, N26°22'39"E, a distance of 85.00 feet to the northeast corner of said Tract 4B-1, thence leaving said easterly right-of-way line and running thence along the northerly boundary line of said Tract 4B-1, S63°37'21"E, a distance of 664.96 feet to the northeast corner of said Tract 4B-1, thence running along the easterly boundary line of said Tract 4B-1, S00°16'51"W, a distance of 478.87 feet to the point and place of beginning.

Tract contains 12.00832 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within Projected Section 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 4B-1 of the PLAT OF TERESINA SUBDIVISION, UNIT 1 AT VENTANA RANCH, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 15, 1996 as Document No. 9609749 in Volume 96C, Folio 358, now comprising Lots 59 thru 112 and Tract A of PLAT OF TERESINA SUBDIVISION UNIT 2 AT VENTANA RANCH (REPLAT OF TRACT 4B-1 VENTANA RANCH) is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate certain easements and public right-of-ways shown herein to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant, all access, utility, and drainage easements hereon including the right to construct, operate, inspect, and maintain facilities thereon, and all public utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

LAS VENTANAS LIMITED PARTNERSHIP
A NEW MEXICO LIMITED PARTNERSHIP

By: Robert M. Murphy, President
Sando Properties Ltd., Co.
Managing Partner

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on _____ day of _____, 1996, by Robert M. Murphy, President of Sando Properties Ltd., Co., a New Mexico limited liability company, Managing Partner of Las Ventanas Limited Partnership, A New Mexico Limited Partnership.

My Commission Expires: _____

Notary Public

PLAT OF TERESINA SUBDIVISION UNIT 2 AT VENTANA RANCH (REPLAT OF TRACT 4B-1 VENTANA RANCH) ALBUQUERQUE, NEW MEXICO NOVEMBER, 1996

APPROVALS

PLAT NUMBER	_____
PLANNING DIRECTOR	DATE
CITY ENGINEER	DATE
AMAFCA	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
UTILITY DEVELOPMENT DEPARTMENT	DATE
DESIGN & DEVELOPMENT, CP	DATE
U.S. WEST COMMUNICATIONS	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
NEW MEXICO UTILITIES, INC.	DATE
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPCE	_____
PROPERTY OWNER OF RECORD	_____
BERNALILLO COUNTY TREASURER'S OFFICE	DATE

PNM STAMP

SURVEYOR'S CERTIFICATION

I, A. Dean Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the minimum requirements of the Board of Registration for Professional Engineers and Professional Surveyors in February 1994 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston Inc.
County Clerk
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109

A. Dean Weaver
New Mexico Professional Surveyor #544

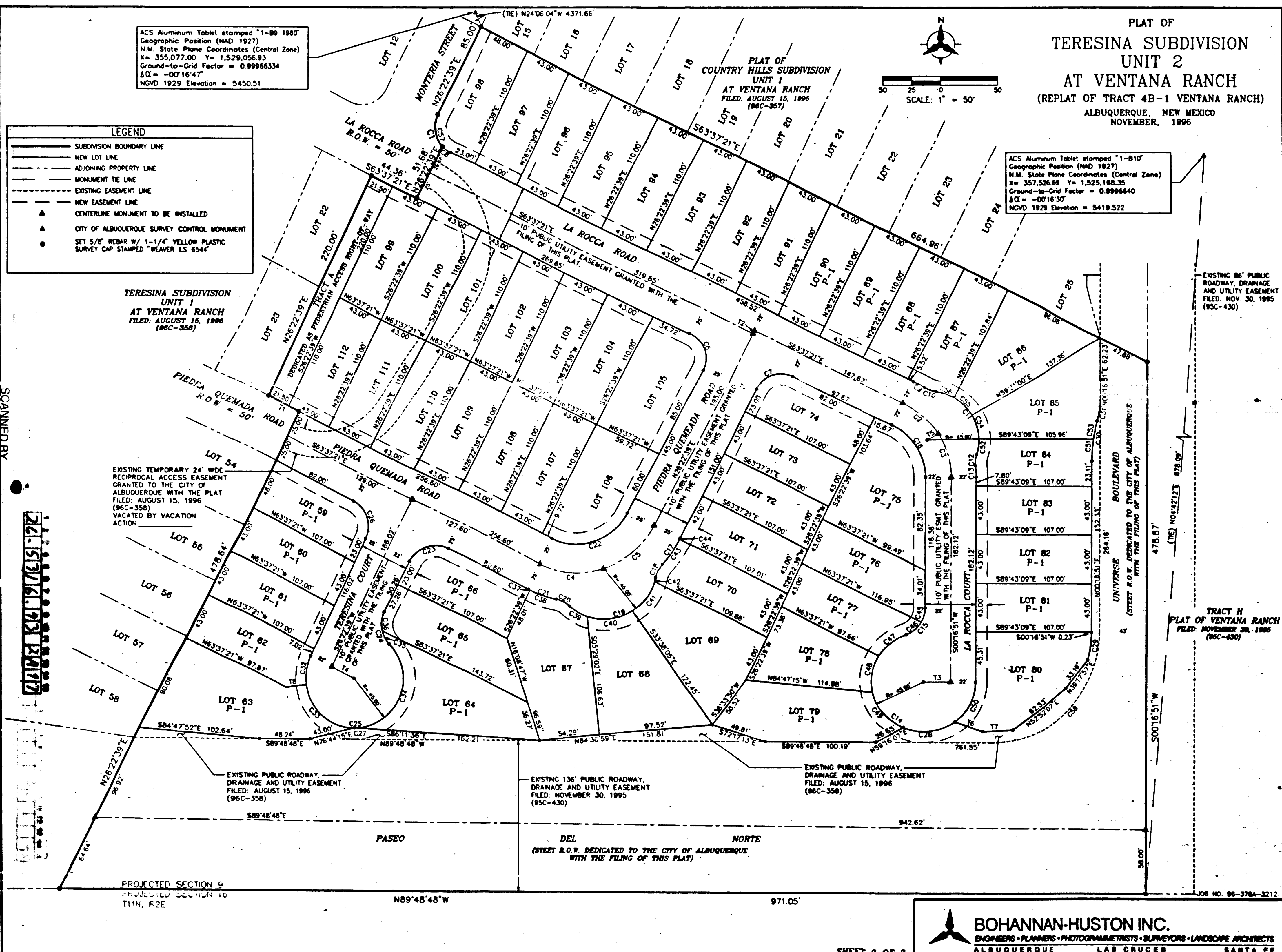
JOB NO. 96-378A-3212



BOHANNAN-HUSTON INC.
ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
ALBUQUERQUE LAS CRUCES SANTA FE

SHEET 1 OF 3

C:\ADACAD\CML\PL\596378A\SHEET1.DWG 11/4/1996



SHEET 2A OF 10

JOB NO. 96-378A-3212



BOHANNAN-HUSTON INC.
ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
ALBUQUERQUE LAS CRUCES SANTA FE

SHEET 2 OF 3

C:\ADACAD\CML\PL\596378A\SHEET2.DWG 11/4/1996

PLAT OF
TERESINA SUBDIVISION
UNIT 2
AT VENTANA RANCH
(REPLAT OF TRACT 4B-1 VENTANA RANCH)
ALBUQUERQUE, NEW MEXICO
NOVEMBER, 1996

TANGENT DATA		
TANGENT	BEARING	DISTANCE
T1	N63°37'21"W	32.62'
T2	N26°22'39"E	3.00'
T3	N89°43'09"W	23.00'
T4	S63°37'21"E	23.00'
T5	S58°19'46"W	11.00'
T6	S69°57'58"E	26.20'
T7	N87°07'01"E	26.80'
T8	S82°45'58"W	20.00'

CURVE DATA						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING	DELTA
C1	25.00'	30.06'	17.15'	28.28'	N08°04'21"W	68°54'00"
C2	75.00'	41.82'	21.47'	41.28'	S47°38'48"E	31°57'06"
C3	75.00'	41.82'	21.47'	41.28'	S15°41'42"E	31°57'06"
C4	75.00'	58.90'	31.07'	57.40'	S86°07'21"E	45°00'00"
C5	75.00'	58.90'	31.07'	57.40'	N48°52'39"E	45°00'00"
C6	25.00'	39.27'	25.00'	35.36'	S18°37'21"E	90°00'00"
C7	25.00'	39.27'	25.00'	35.36'	S71°22'39"W	90°00'00"
C8	25.00'	9.21'	4.66'	9.15'	N53°04'19"W	21°06'00"
C9	97.00'	10.71'	5.36'	10.70'	S60°27'34"E	06°19'34"
C10	25.00'	10.16'	5.15'	10.09'	S68°56'33"E	23°17'31"
C11	45.00'	76.84'	51.62'	67.84'	S31°40'15"E	97°50'07"
C12	25.00'	10.16'	5.15'	10.09'	S05°36'03"W	23°17'31"
C13	97.00'	10.71'	5.36'	10.70'	S02°52'56"E	06°19'34"
C14	45.00'	196.31'	73.75'	73.75'	N54°44'41"W	249°56'56"
C15	25.00'	30.52'	17.49'	28.66'	N35°15'19"E	69°56'56"
C16	53.00'	59.11'	33.06'	56.10'	N31°40'15"W	63°54'11"
C17	100.00'	27.39'	13.78'	27.30'	S34°13'25"W	15°41'31"
C18	25.00'	13.80'	7.08'	13.63'	S26°15'11"W	31°37'57"
C19	45.00'	85.73'	80.98'	78.67'	S71°22'39"W	121°52'53"
C20	25.00'	13.80'	7.08'	13.63'	N63°29'53"W	31°37'57"
C21	100.00'	27.39'	13.78'	27.30'	N71°28'06"W	15°41'31"
C22	50.00'	76.54'	50.00'	70.71'	N71°22'39"E	90°00'00"
C23	25.00'	39.27'	25.00'	35.36'	S71°22'39"W	90°00'00"
C24	25.00'	30.52'	17.49'	28.66'	S08°35'49"E	69°56'56"
C25	45.00'	196.31'	73.75'	73.75'	S81°24'11"W	249°56'56"
C26	25.00'	39.27'	25.00'	35.36'	N18°37'21"W	90°00'00"
C27	45.00'	4.40'	2.20'	4.40'	N87°02'25"E	05°36'00"
C28	45.00'	47.15'	26.00'	45.02'	N83°32'57"E	60°01'55"
C29	100.00'	25.03'	12.58'	24.97'	N07°27'06"E	14°20'30"
C30	160.00'	37.03'	18.60'	36.95'	N06°54'41"E	13°15'41"
C31	290.00'	13.19'	6.60'	13.19'	N12°14'20"E	02°36'24"
C32	45.00'	26.40'	13.59'	26.02'	S09°34'19"W	33°36'42"
C33	45.00'	65.13'	39.76'	59.59'	S48°41'49"E	82°55'33"
C34	45.00'	100.38'	91.88'	80.83'	N20°20'04"E	127°48'42"
C35	25.00'	13.50'	6.92'	13.33'	N28°06'18"W	30°55'58"
C36	25.00'	17.02'	8.86'	16.70'	N06°52'10"E	39°00'58"
C37	100.00'	1.40'	0.70'	1.40'	S64°01'26"E	00°48'11"
C38	100.00'	25.99'	13.07'	25.91'	S71°52'11"E	14°53'20"
C39	45.00'	18.48'	9.36'	18.33'	S59°26'06"E	23°30'24"
C40	45.00'	41.19'	22.17'	39.77'	N82°35'19"E	52°26'47"
C41	45.00'	32.65'	17.08'	31.94'	N35°34'54"E	41°34'04"
C42	45.00'	3.43'	1.71'	3.42'	N12°37'02"E	04°21'36"
C43	100.00'	26.39'	13.27'	26.31'	N34°30'36"E	15°07'08"
C44	100.00'	1.00'	0.50'	1.00'	N26°39'51"E	00°34'23"
C45	25.00'	12.85'	6.57'	12.71'	S15°00'10"W	29°26'39"
C46	25.00'	17.67'	9.22'	17.31'	S49°56'38"W	40°30'17"
C47	45.00'	30.40'	15.81'	29.82'	S50°52'36"W	38°42'22"
C48	45.00'	34.07'	17.90'	33.26'	S09°50'05"W	43°22'39"
C49	45.00'	42.87'	23.22'	41.27'	S39°08'40"E	54°34'51"
C50	45.00'	41.82'	22.56'	40.34'	N26°54'25"E	53°15'09"
C51	160.00'	19.94'	9.99'	19.93'	S03°51'07"W	07°08'32"
C52	45.00'	14.65'	7.39'	14.59'	N07°55'08"E	18°39'21"
C53	160.00'	17.09'	8.55'	17.08'	S10°28'57"W	06°07'10"
C54	45.00'	22.83'	11.67'	22.59'	N15°56'46"W	29°04'27"
C55	45.00'	22.41'	11.44'	22.18'	N44°45'00"W	28°32'00"
C56	45.00'	16.94'	8.57'	16.84'	N69°48'09"W	21°34'18"
C57	25.00'	39.27'	25.00'	35.36'	N18°37'21"W	90°00'00"
C58	100.00'	156.92'	99.84'	141.31'	N45°14'01"E	89°54'21"

LOT ACREAGE	
LOT	ACREAGE
59	0.1148 AC.
60	0.1056 AC.
61	0.1056 AC.
62	0.1068 AC.
63	0.2090 AC.
64	0.1655 AC.
65	0.1259 AC.
66	0.1148 AC.
67	0.1844 AC.
68	0.1666 AC.
69	0.1619 AC.
70	0.1080 AC.
71	0.1056 AC.
72	0.1056 AC.
73	0.1056 AC.
74	0.1148 AC.
75	0.1721 AC.
76	0.1082 AC.
77	0.1053 AC.
78	0.1243 AC.
79	0.1602 AC.
80	0.1732 AC.
81	0.1056 AC.
82	0.1056 AC.
83	0.1056 AC.
84	0.1054 AC.
85	0.1498 AC.
86	0.1523 AC.
87	0.1081 AC.
88	0.1086 AC.
89	0.1086 AC.
90	0.1086 AC.
91	0.1086 AC.
92	0.1086 AC.
93	0.1086 AC.
94	0.1086 AC.
95	0.1086 AC.
96	0.1086 AC.
97	0.1086 AC.
98	0.1181 AC.
99	0.1086 AC.
100	0.1086 AC.
101	0.1086 AC.
102	0.1086 AC.
103	0.1086 AC.
104	0.1086 AC.
105	0.1477 AC.
106	0.1385 AC.
107	0.1086 AC.
108	0.1086 AC.
109	0.1086 AC.
110	0.1086 AC.
111	0.1086 AC.
112	0.1086 AC.
TRACT A	0.1086 AC.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are for the common joint use of:

- PHM Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- PHM Gas Services for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- U.S. West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Jones Interconnect for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance and service of all underground water and sanitary sewer lines across the easement (but not parallel within) necessary to provide service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of poles, decking, or any structures adjacent to or near easements shown on this plat.

JOB NO. 96-378A-3212



BOHANNAN-HUSTON INC.

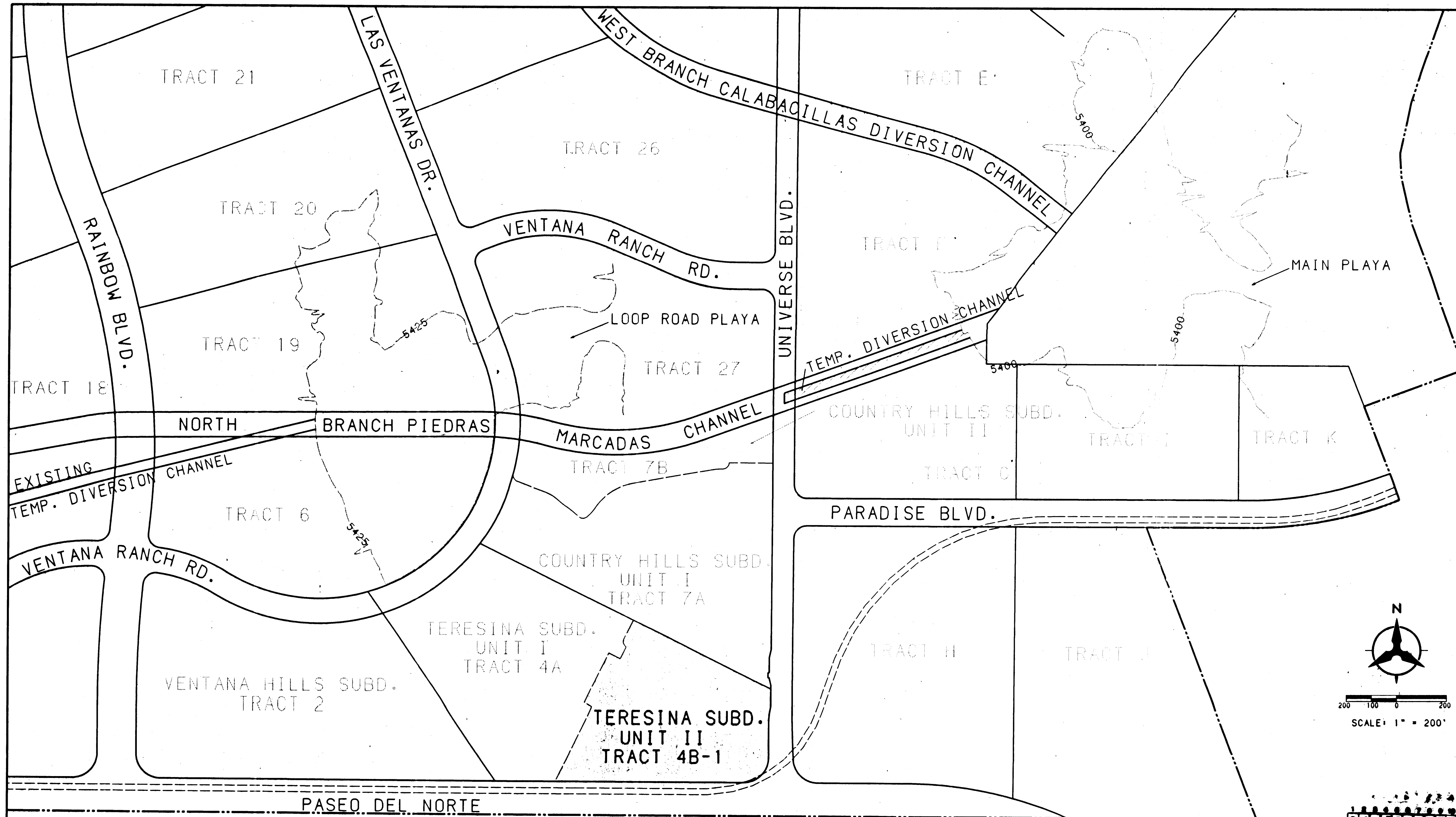
ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
ALBUQUERQUE LAS CRUCES SANTA FE

SHEET 3 OF 3

C:\ADDCADD\CIVIL\PI\S96378A\SHEET3.DWG 11/4/1996

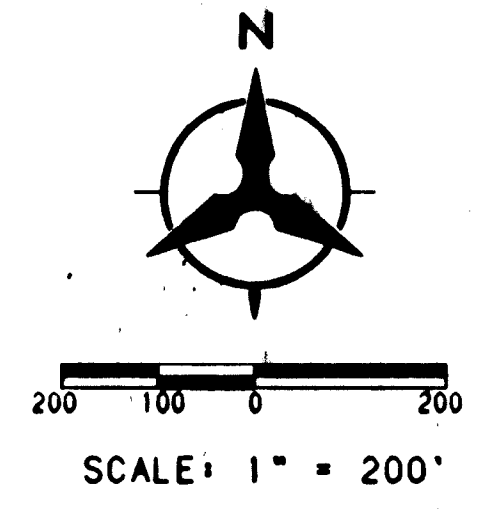
SCANNED BY
BYLASON

2025/11/16 15:28:17

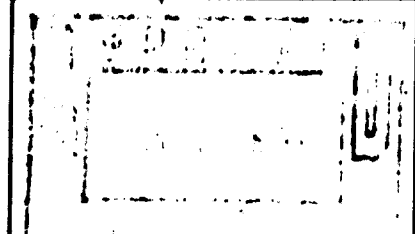


LEGEND

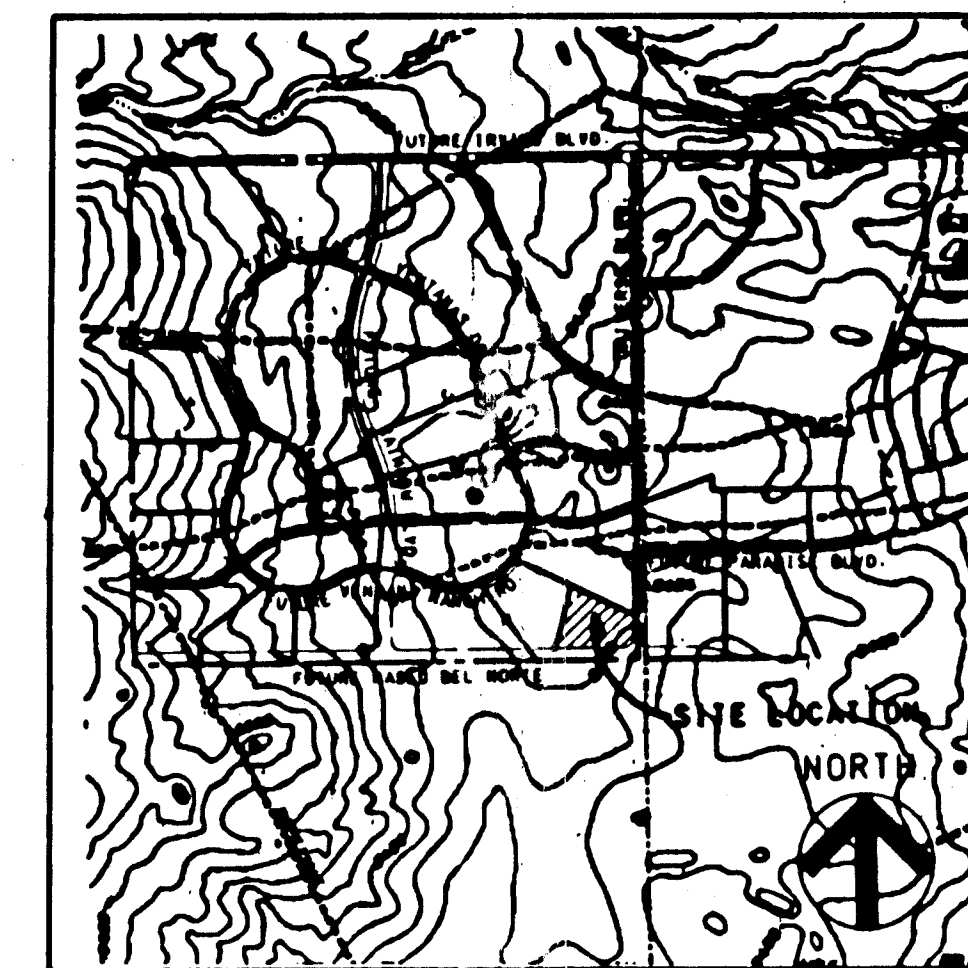
 SUBDIVISION TO BE DEVELOPED



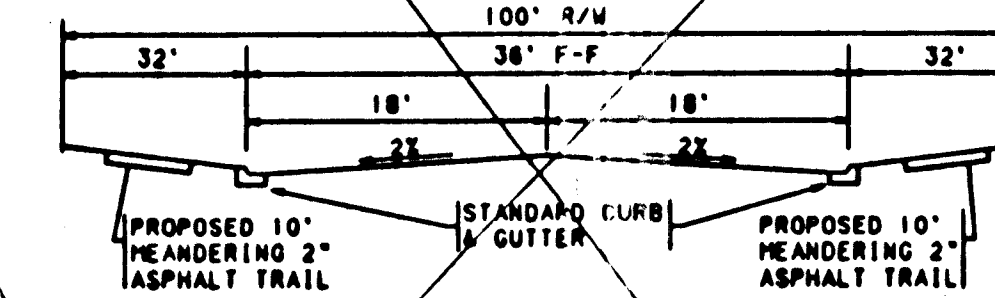
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 BOHANNAN-HUSTON INC. ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS ALBUQUERQUE LAS CRUCES SANTA FE			
 CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
VENTANA RANCH - TRACT 4B-1 SITE DESCRIPTION PLAN			
 CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO/DAY/YR	MO/DAY/YR
CITY PROJECT NO.		ZONE MAP NO.	SHEET 3 OF 10
5316.93		B9.810	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
	NO.	NO.	DATE	AS BRASS TABLE STAMPED "1-B10"	CONTRACTOR	DATE	DATE
					STARTED BY		
					BY		
REVISIONS DESIGN		FIELD NOTES BY		TEMP. DIVERSION CHANNEL COORDINATES (CENTRAL ZONE) X=357,526.69 Y=1,525,168.35 GROUND-TO-GRID FACTOR = .9996640 AX= -00°16'30" NGVD 1929 ELEVATION = 5419.522		CONTRACTOR'S INFORMATION DATE	
DESIGNED BY	DATE	PL	DATE	NO.	DATE	NO.	DATE
DRAWN BY	DATE	TKM	DATE	NO.	DATE	NO.	DATE
CHECKED BY	DATE	TKM	DATE	NO.	DATE	NO.	DATE

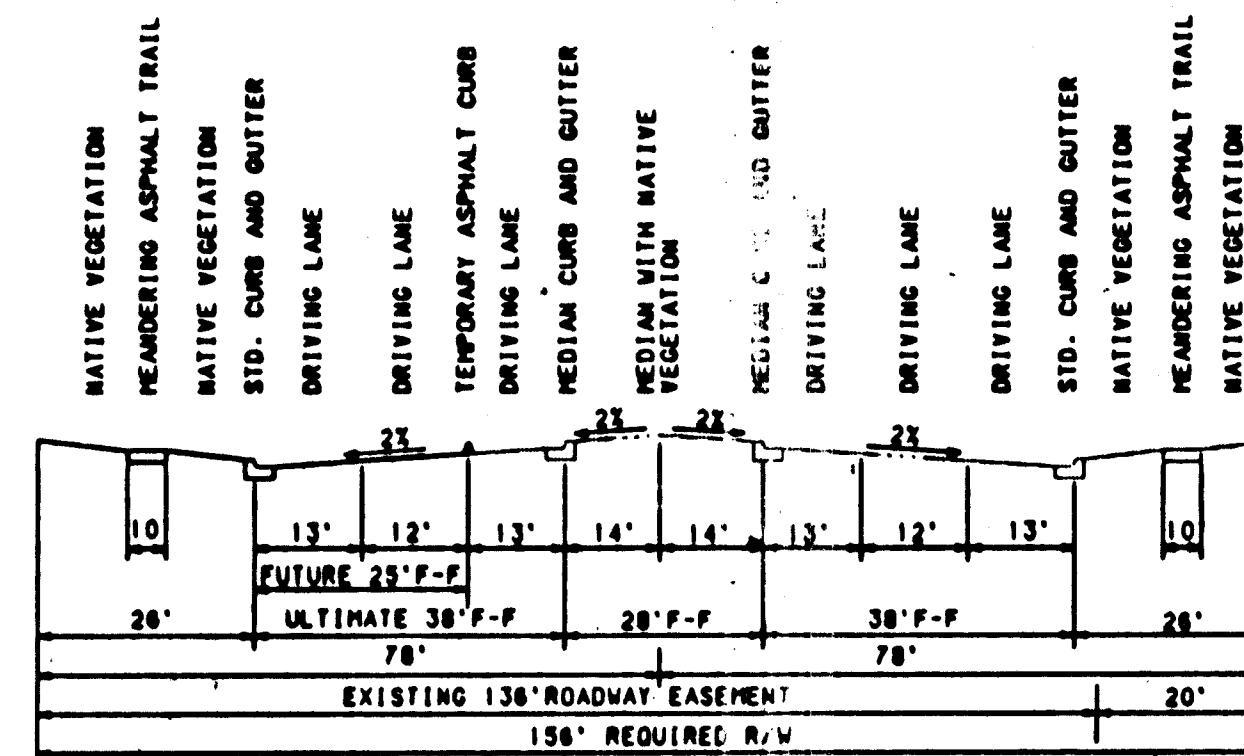


LOCATION MAP
ZONE ATLAS MAP NO. 8-



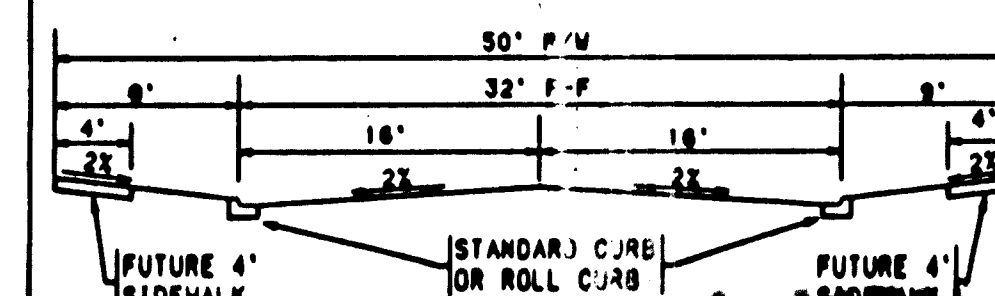
VENTANA RANCH RD.
TYPICAL STREET SECTION

NO SCALE (MAJOR LOCAL)
NOTE: ACTUAL HORIZONTAL ALIGNMENT OF ASPHALT TRAIL MAY VARY FROM CONCEPTUAL LAYOUT. VARYING FROM 6' BEHIND CURB TO RIGHT OF WAY LINE.

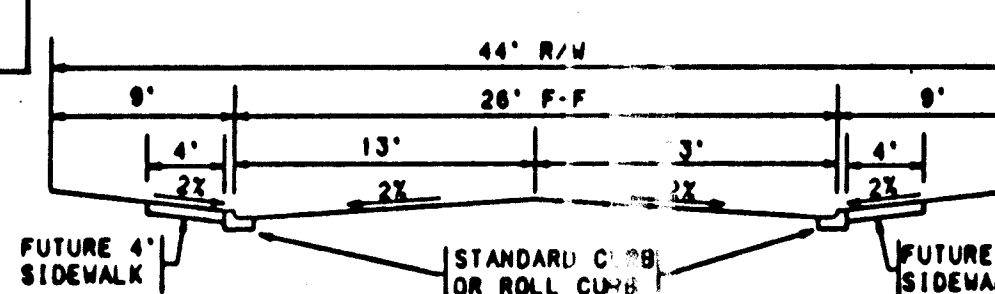


PASEO DEL NORTE
FUTURE & ULTIMATE STREET SECTION

NO SCALE (PRINCIPAL ARTERIAL)
NOTE: ACTUAL HORIZONTAL ALIGNMENT OF ASPHALT TRAIL MAY VARY FROM CONCEPTUAL LAYOUT, VARYING FROM 6' BEHIND CURB TO RIGHT OF WAY LINE.

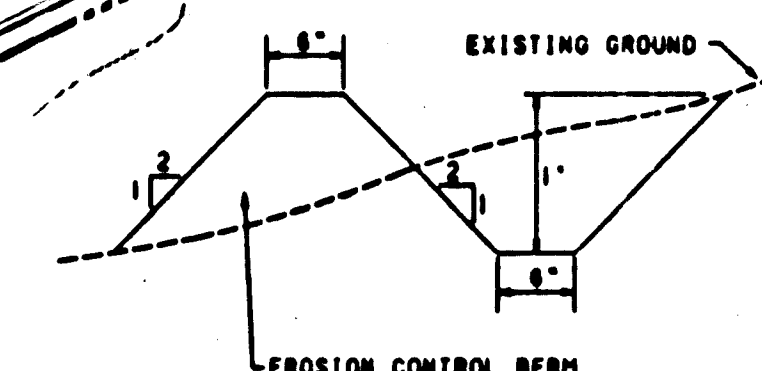


TYPICAL 50' STREET SECTION



TYPICAL 44' STREET SECTION

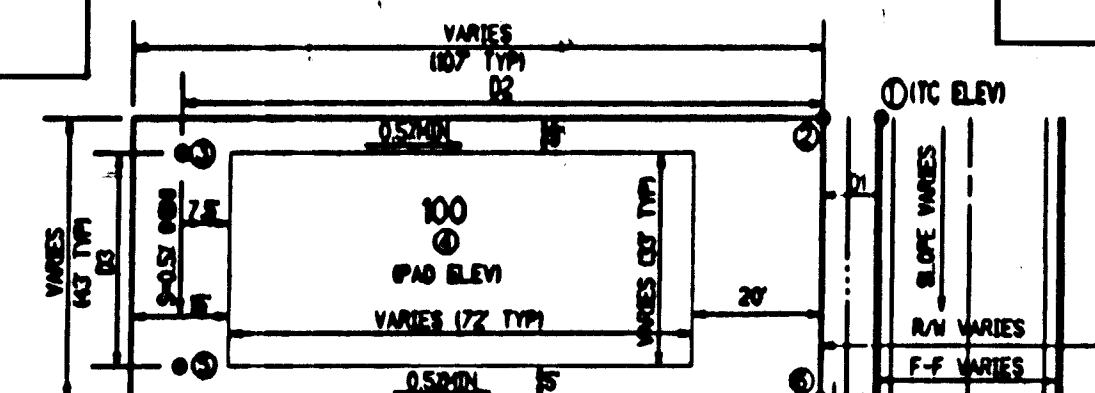
NO SCALE
VARIANCE REQUESTED FOR 4'SIC / K NEXT TO CUM



EROSION CONTROL PLAN

NO SCALE

A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT.



TYPICAL LOT GRADING PLAN

NO SCALE

TO SET SPOT ② - MULTIPLY D1 BY 2X AND ADD TO SPOT ① ON HIGH SIDE OF STREET

TO SET SPOT ③ - MULTIPLY D2 BY 0.5X AND ADD TO SPOT ②

TO SET SPOT ④ - ADD 0.17' TO SPOT ③

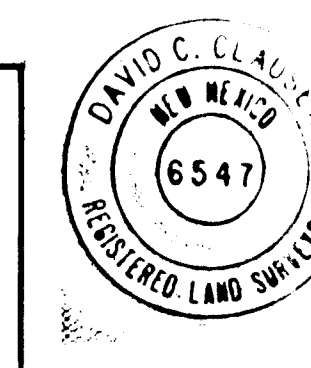
TO SET SPOT ⑤ - MULTIPLY D3 BY 0.5X AND SUBTRACT FROM SPOT ③

(CHECK SLOPE FROM SPOT ③ TO SPOT ⑥ TO BE MIN 0.5%)

(NOTE: IF STREET SLOPE IS LESS THAN 1% THEN START FROM LOW SIDE OF STREET)

I, David C. Clausen, New Mexico Professional Land Surveyor No. 6547, do hereby certify that the as-built information shown hereon is the result of a field survey performed by me or under my direct supervision, and that the same is true and correct.

David C. Clausen N.M.L.S. # 6547



GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY GEO-TEST, INC. DATED OCT. 13, 1994 AND APRIL 13, 1994.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL THIS SHEET AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT PROJECTED TOP OF CURB ELEVATION.
6. BOULDERS, GREATER THAN 3 FEET IN DIAMETER, EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.

ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	DATE	NO.	BY	DATE	ACS BRASS TABLE STAMPED "1-810"	CONTRACTOR <i>SHAWLINE CONSTRUCTION</i>	DESIGNED BY	DATE
						GEOGRAPHIC POSITION (NAD 1927)	DRAWN BY <i>SHAWLINE CONST.</i>		
						N.M. STATE PLANE COORDINATES	INSPECTOR'S		
						(CENTRAL ZONE) X = 357,526.69	ACCEPTANCE BY C.O.A. DATE <i>3/67</i>		
						Y = 1,525,168.35	FIELD CALLOUT BY <i>SHAWLINE</i> DATE <i>3/67</i>		
							MANAGES		
							CORRECTED BY <i>SHAWLINE</i> DATE <i>3/67</i>		
						GROUND-TO-GRID FACTOR = 0.9996640	MICRO-FILM INFORMATION		
						$\Delta\alpha = -00^{\circ}16'30"$	RECORDED BY		
						NGVD 1929 ELEVATION = 5419.522	DATE		
							NO.		

VED FOR ROUGH GRADING ($\pm 1'$)

Ausa Calangre 10-24-96
HYDROLOGY ENGINEER DATE



BOHANNAN-HUSTON INC.
 ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
 ALBUQUERQUE LAS CRUCES SANTA FE

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA RANCH - TRACT 4B-1
PRELIMINARY GRADING PLAN

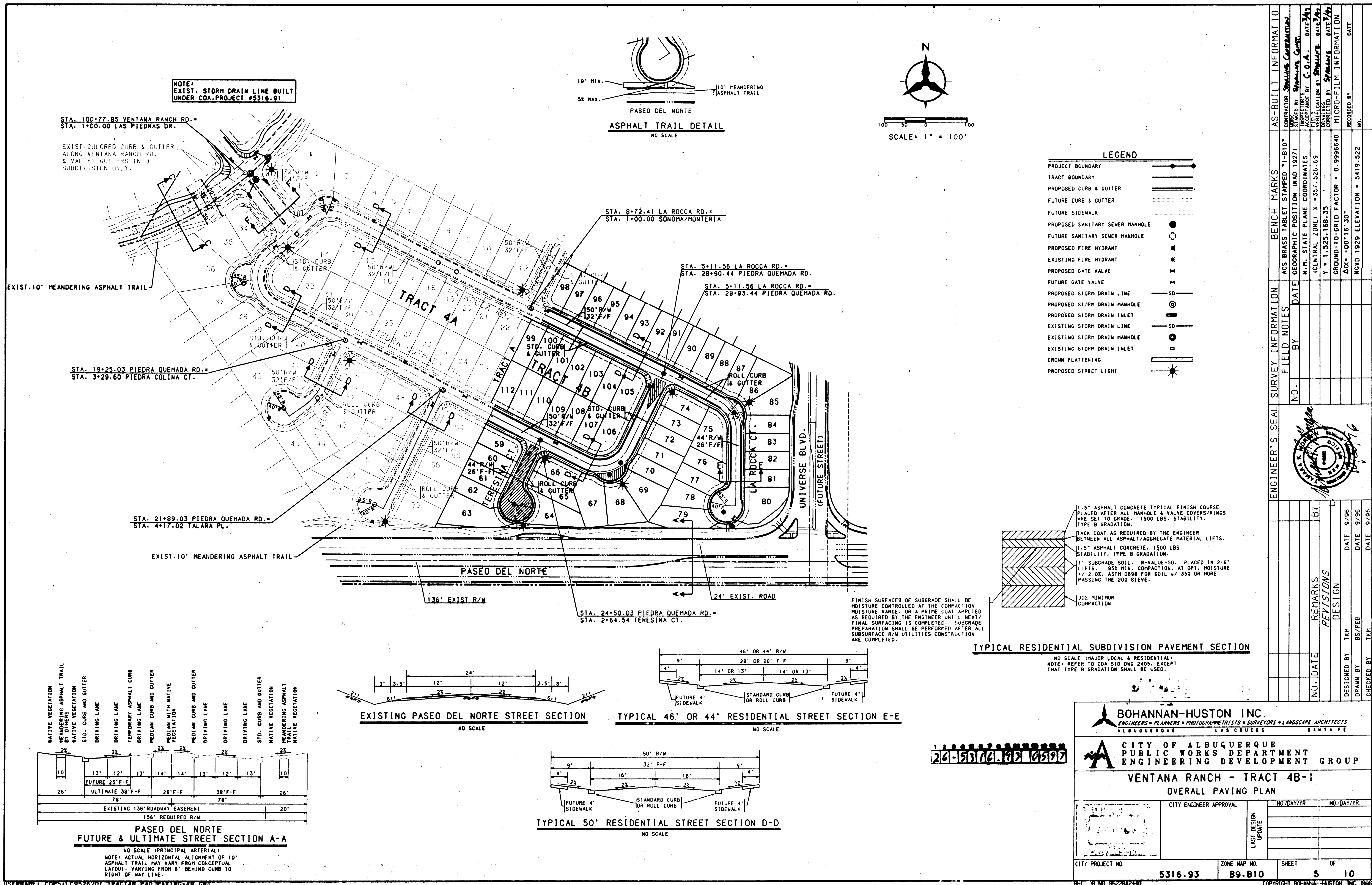
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
DRB No.	APPROVAL DATE	LAST DESIGN UPDATE	
98-472	10/23/96		

CITY PROJECT NO.	5316.93	ZONE MAP NO.	89	SHEET	4	OF	10
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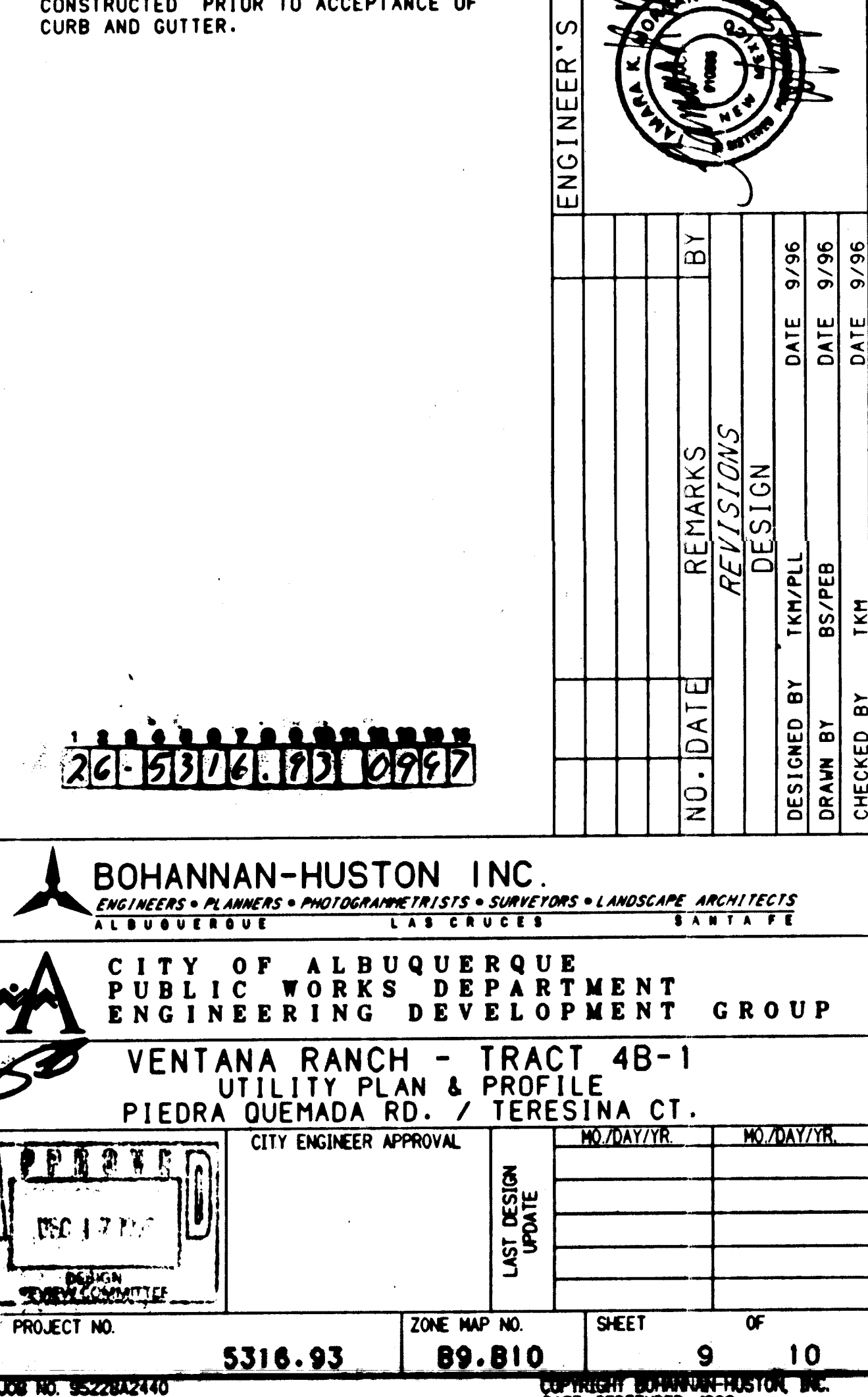
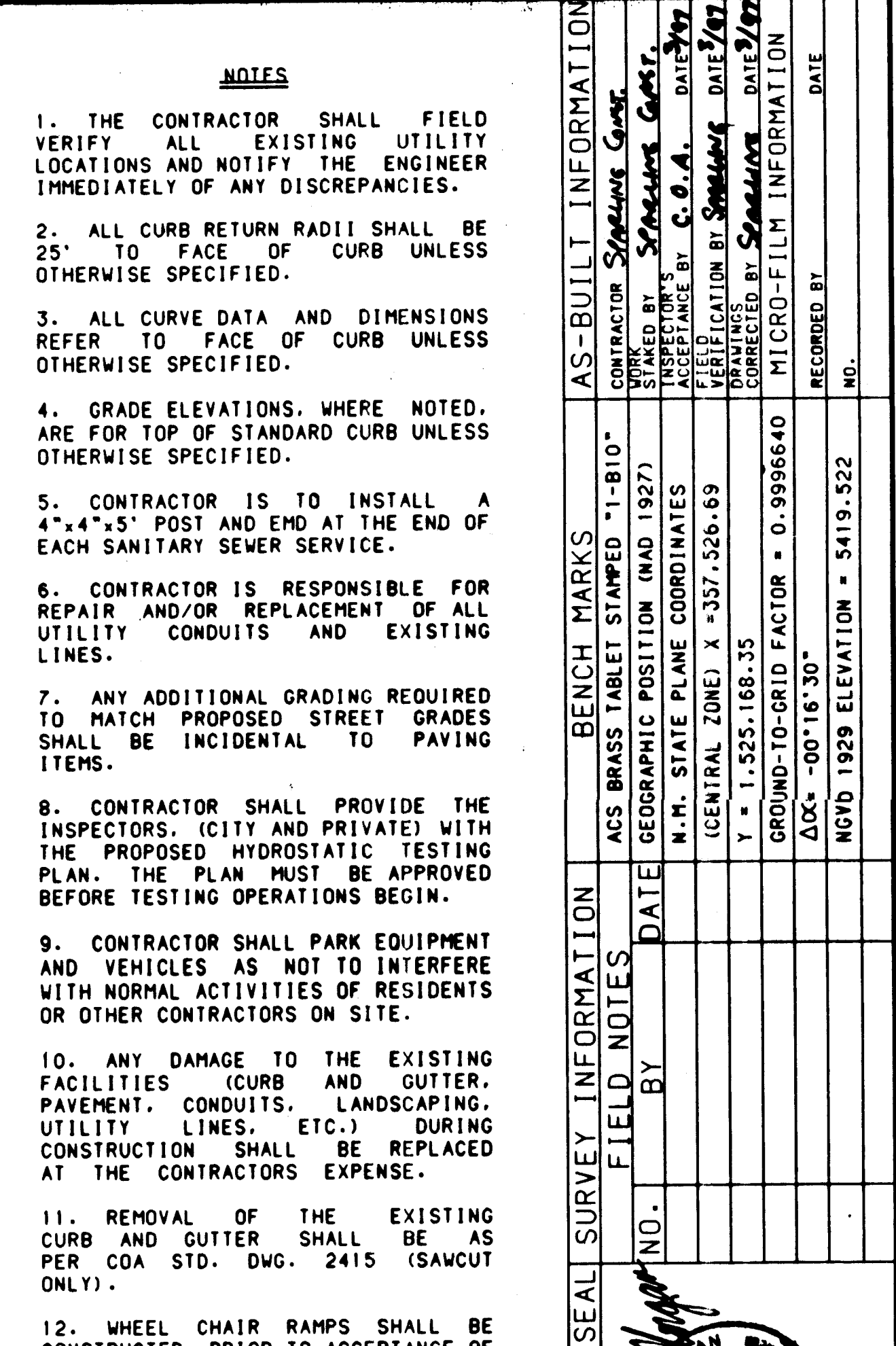
BHI JOB NO. 96378A

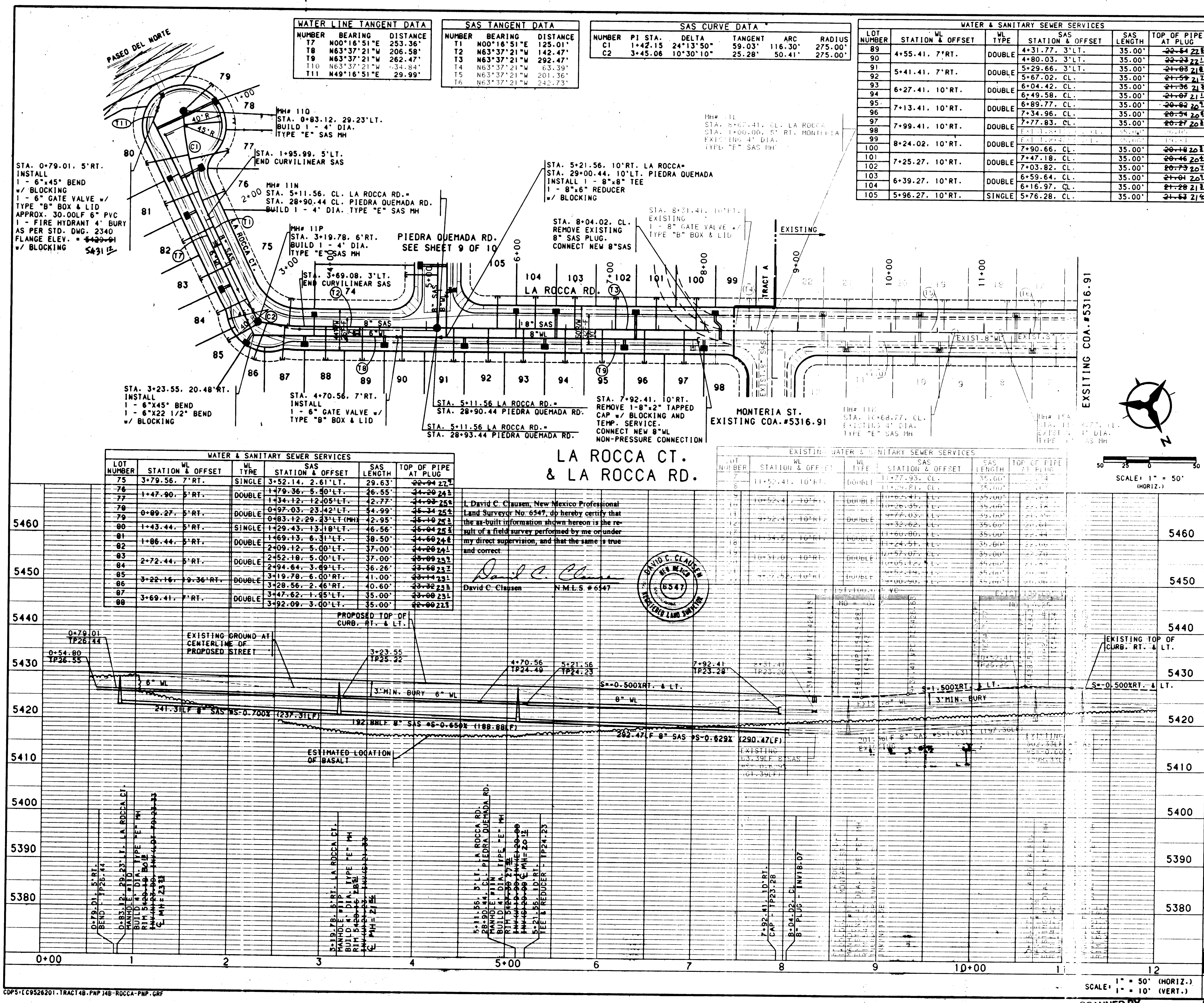
SCANNED BY
BY LASON

COPIRIGHT BOHANNAN-HUSTON, INC. 1993
DATE: SEPTEMBER 1-98



SCANNED BY LASON





NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADII SHALL BE 25' TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
4. GRADE ELEVATIONS, WHERE NOTED, ARE FOR TOP OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR IS TO INSTALL A 4"x4"x5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
8. CONTRACTOR SHALL PROVIDE THE INSPECTORS (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB AND GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAMCUT ONLY).
12. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.

AS-BUILT INFORMATION

CONTRACTOR: *Bohannon-Huston Inc.*
STATION: *5316.93*
DATE: *9/96*

BENCH MARKS

ACS BRASS TABLE STAMPED "1-B10"
GEOGRAPHIC POSITION (NAD 1927)
N.M. STATE PLANE COORDINATES
(CENTRAL ZONE) X = 357,526.69
Y = 1,525,188.35
GROUND-TO-GRID FACTOR = 0.9996640
ADG = -00'16"30"
NGVD 1929 ELEVATION = 5419.522

ENGINEER'S SEAL

NO. DATE BY
REMARKS
REVISIONS
DESIGN
DESIGNED BY: *TKH/PL* DATE: *9/96*
DRAWN BY: *PL/BS/PB* DATE: *9/96*
CHECKED BY: *TKH* DATE: *9/96*

BOHANNAN-HUSTON INC.
ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
ALBUQUERQUE LAS CRUCES SANTA FE

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA RANCH - TRACT 4B-1
UTILITY PLAN & PROFILE
LA ROCCA CT. / LA ROCCA RD.

DESIGN REVIEW COMMITTEE: *9/17/96*
CITY ENGINEER APPROVAL: *9/17/96*
LAST DESIGN UPDATE: *9/17/96*

CITY PROJECT NO. **5316.93** ZONE MAP NO. **89.810** SHEET **10** OF **10**

SCANNED BY LASON
DATE: SEPTEMBER 1996