

A	=	AIR LINE
AD	=	AREA DRAIN
AIP	=	ABANDONED IN PLACE
BLDG	=	BUILDING
BM	=	BENCHMARK
CATV	=	CABLE TELEVISION LINE
CIP	=	CAST IRON PIPE
CMP	=	CORRUGATED METAL PIPE
CMPA	=	CORRUGATED METAL PIPE ARCH
CO	=	CLEANOUT
COA	=	CITY OF ALBUQUERQUE
CONC	=	CONCRETE
CL	=	CENTERLINE
DIA	=	DIAMETER
DIP	=	DUCTILE IRON PIPE
DTL	=	DETAIL
DWG	=	DRAWING
DWS	=	WATER
EG	=	EXISTING GRADE
ELEC.	=	ELECTRIC
ELEV	=	ELEVATION
EX	=	EXISTING
FF	=	FINISHED FLOOR ELEVATION
FG	=	FINISHED GRADE
FH	=	FIRE HYDRANT
FL	=	FLOW LINE
GM	=	GAS METER
GV	=	GATE VALVE
HI PT	=	HIGH POINT
INV	=	INVERT ELEVATION
LF	=	LINEAL FEET
LP	=	LIGHT POLE
L/S	=	LANDSCAPING
MH	=	MANHOLE
MG	=	MEDIUM PRESSURE GAS PIPE
NG	=	NATURAL GROUND
OE	=	OVERHEAD ELECTRIC LINE
OT	=	OVERHEAD TELEPHONE LINE
PB	=	ELECTRICAL PULL BOX
PCC	=	PORTLAND CEMENT CONCRETE
PP	=	POWER POLE
PROP	=	PROPOSED
PVC	=	POLYVINYL CHLORIDE PIPE
RCP	=	REINFORCED CONCRETE PIPE
R/W	=	RIGHT-OF-WAY
S	=	SLOPE
SAS	=	SANITARY SEWER
SD	=	STORM DRAIN
STA	=	STATION
STD	=	STANDARD
SW	=	SIDEWALK
T	=	TELEPHONE
TA	=	TOP OF ASPHALT PAVEMENT
TAC	=	TOP OF ASPHALT CURB
TC	=	TOP OF CONCRETE SLAB (PAVEMENT)
TCC	=	TOP OF CONCRETE CURB
TS	=	TOP OF SIDEWALK
TW	=	TOP OF WALL
TYP	=	TYPICAL
UE	=	UNDERGROUND ELECTRIC
UT	=	UNDERGROUND TELEPHONE
WM	=	WATER METER
WR	=	WATER RECLAIMED
WV	=	WATER VALVE

CITY OF ALBUQUERQUE, IMPROVEMENTS FOR
PAVING AND UTILITIES , ON PALOMAS AVENUE NE,
BETWEEN LOUISIANA BOULEVARD NE
AND SAN PEDRO BOULEVARD NE

INDEX TO DRAWINGS

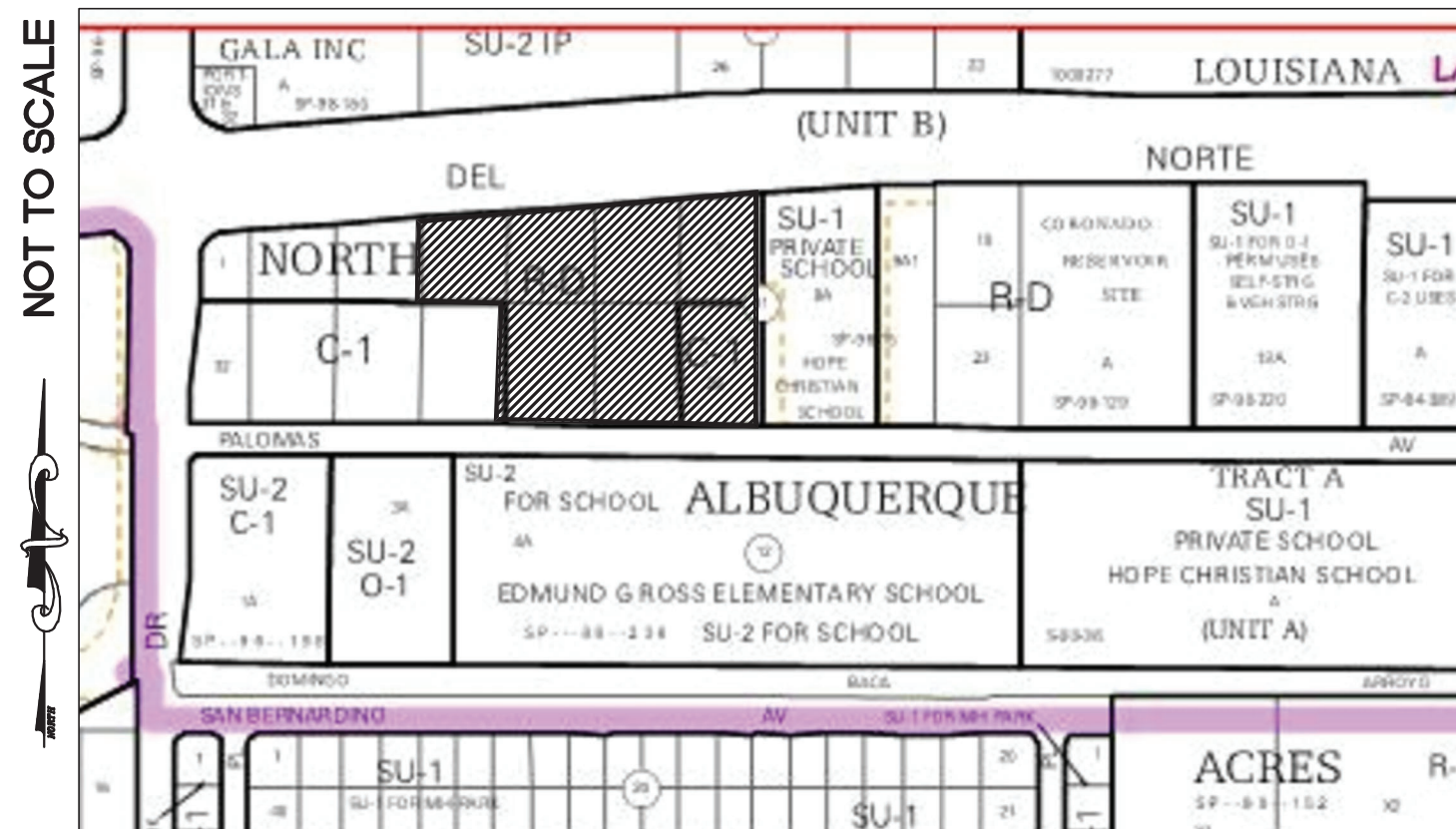
<u>SHEET NO.</u>	<u>DESCRIPTION</u>
1	COVER SHEET AND INDEX TO DRAWINGS
2	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
3	PLAT
4	SURVEY CONTROL
5	DEMOLITION AND PAVING PLAN
6	DRIVEPAD AND RAMP DETAILS
7	UTILITY PLAN
8	CURB RAMP DETAILS
9	CURB RAMP DETAILS
10	GRADING AND DRAINAGE PLAN FOR REFERENCE ONLY

LEGEND

	NEW CURB AND GUTTER & SIDEWALK		ASPHALT UTILITY PATCH PER 2465
	EX CURB AND GUTTER & SIDEWALK		SAWCUT, REMOVAL OF ASPHALT
	PROP FIRE HYDRANT		SAWCUT, REMOVAL OF ASPHALT
	PROP WATER VALVE		SAWCUT, REMOVAL OF ASPHALT
	PROPERTY LINE		SAWCUT, REMOVAL OF ASPHALT
	EX SAS MANHOLE		SAWCUT, REMOVAL OF ASPHALT
	PROP SAS MANHOLE		SAWCUT, REMOVAL OF ASPHALT
	PROP WATER METER		SAWCUT, REMOVAL OF ASPHALT
	(S 83°39'25" W) RECORD BEARING AND DISTANCES		SAWCUT, REMOVAL OF ASPHALT
	SS----- PROPOSED SANITARY SEWER LINE		SAWCUT, REMOVAL OF ASPHALT
	SS----- EX SANITARY SEWER LINE		SAWCUT, REMOVAL OF ASPHALT
	DWS----- PROPOSED WATER LINE		SAWCUT, REMOVAL OF ASPHALT
	DWS----- EX WATER LINE		SAWCUT, REMOVAL OF ASPHALT
	N 00°07'27" W MEASURED BEARING AND DISTANCES		SAWCUT, REMOVAL OF ASPHALT

GENERAL NOTES

3. ALL WORK DETAINED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH MOST RECENT UPDATE (#9) AND WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".
2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
6. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
7. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION (IF REQUIRED BY CITY OF ALBUQUERQUE PUBLIC WORKS).
8. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
9. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.
10. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://www.abwcua.org/Water_Shut_off_and_Turn_on_Procedures.aspx.
11. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION
24. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
25. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
26. CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
27. ANY WORK AFFECTING AN ARTERIAL ROADWAY MAY REQUIRE TWENTY-FOUR (24) HOURS OF CONSTRUCTION.
28. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
29. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAW CUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
30. REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK SHALL BE TO THE NEAREST JOINT.
31. AT HIS OWN EXPENSE, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, SIGNAGE, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER STANDARD SPECIFICATIONS.
32. ALL STREET STRIPING, ALTERED OR DESTROYED, SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
33. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
34. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #9.
35. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
36. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY AND ABCWA.
37. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR IMMEDIATELY AND WITHOUT DELAY AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
38. MAINTAIN EXISTING ACCESS FOR ALL BUSINESSES AND PRIVATE PROPERTY DURING THE COURSE OF CONSTRUCTION, FOR BOTH VEHICLES AND PEDESTRIANS, INCLUDING ADA ACCESS.
39. CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.



VICINITY MAP

ZONE ATLAS D-18-Z

COA/PNM STREET LIGHT COORDINATION
CONTACT:
MARTIN CARRASCO
COA TRAFFIC ENGINEERING DIVISION
(505) 857-8688

**DRB PROJECT #2018-002134**[illegible]



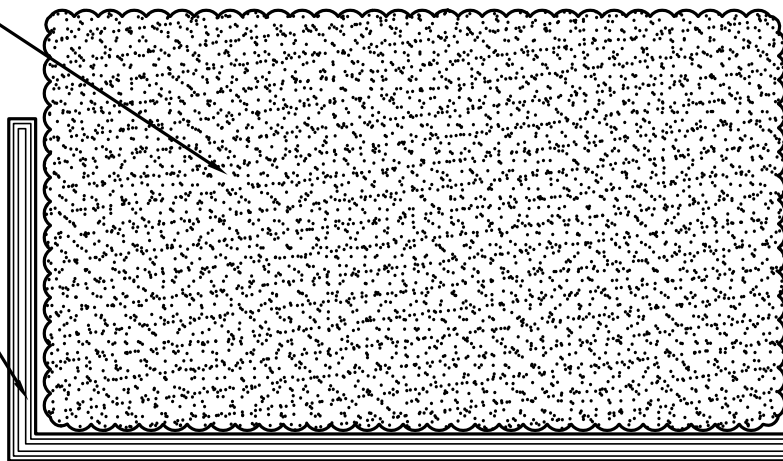
EXISTING
OR
CURB

ASPHALT
CUT FOR
UTILITY
INSTALLATION

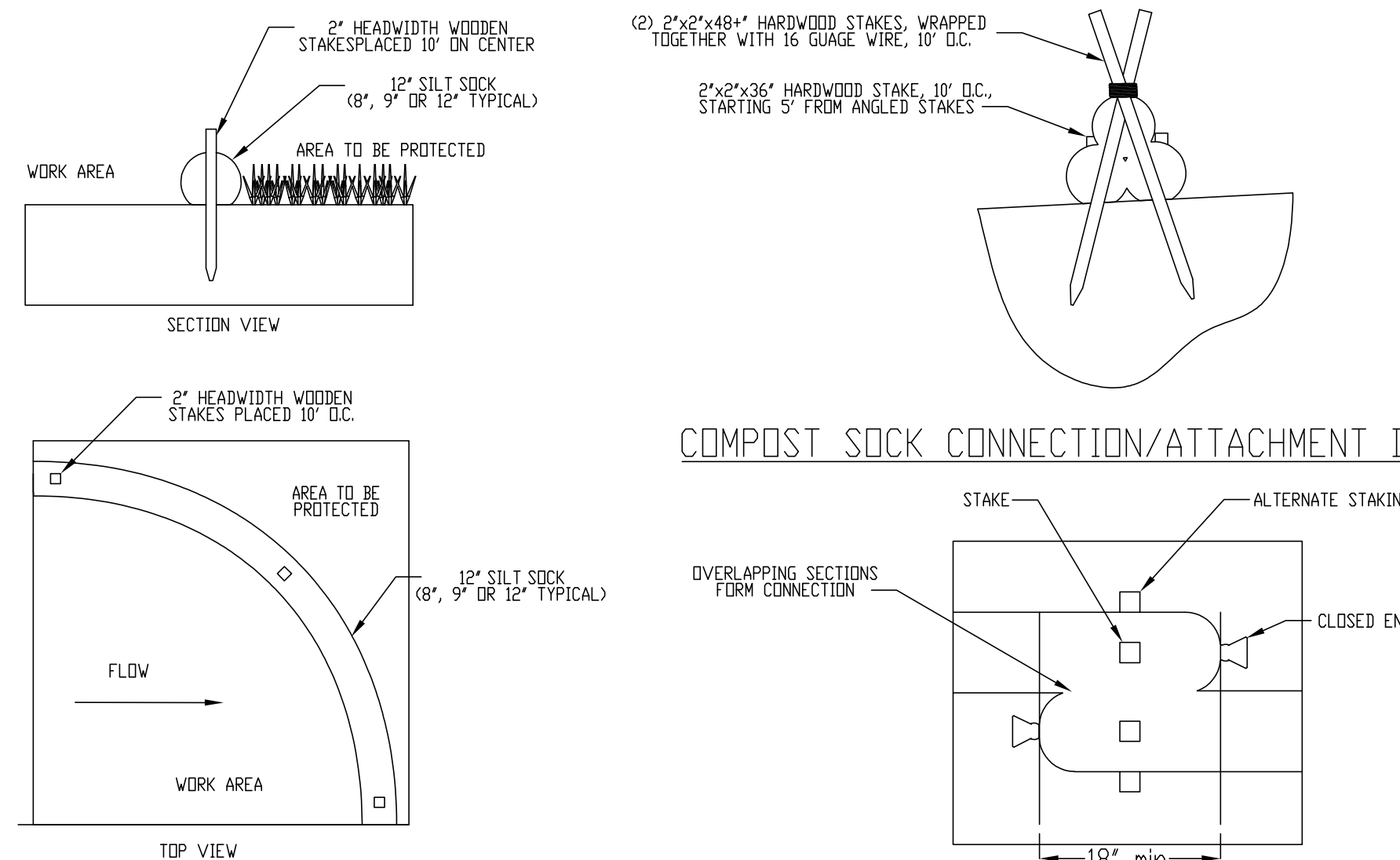
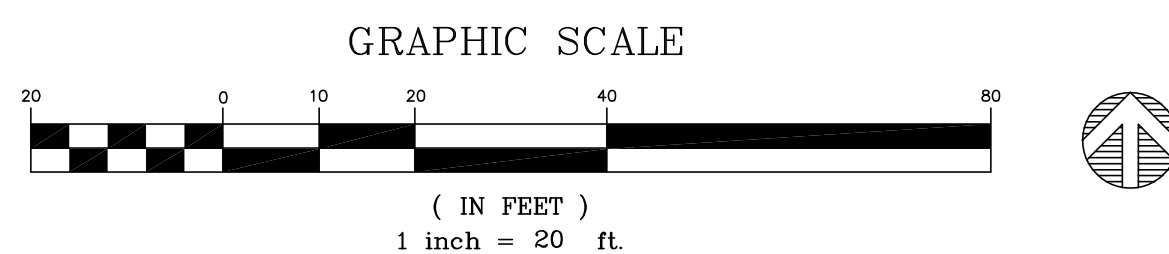
FLOW DIRECTION

STOCKPILE ON
DOWNSTREAM SIDE
OF UTILITY
TRENCH

PROVIDE WADDLE
ON DOWNSTREAM
SIDE OF STOCKPILE



SCALE: 1" = 20'-0"



TYPICAL WATTLE DETAIL
NOT TO SCALE

TYPICAL UTILITY CUT DETAIL
NOT TO SCALE

NOTE:
AN ALTERNATIVE TEMPORARY EROSION AND SEDIMENT CONTROL
OPTION IS TO PLACE STOCK PILE ON UPSTREAM SIDE OF
UTILITY CUT.
CONTRACTOR TO APPLY FOR eNOI WITH THE EPA PRIOR TO
BEGINNING ANY SAWCUTTING OR UTILITY TRENCHING.

THE HARTMAN + MAJEWSKI
DESIGN GROUP
 120 VASSAR DRIVE SE SUITE 100
 ALBUQUERQUE, NEW MEXICO 87106
 PHONE: 505.242.6880 FAX: 505.242.6888

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE:	HOPE ELEMENTARY SCHOOL TEMPORARY EROSION & SEDIMENT CONTROL PLAN
--------	---------------------------------------------------------------------

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.			
FOR INFORMATION ONLY							
City Project No.	532680	Zone Map	D-18-Z	Sheet	2	Of	10

TOPOGRAPHIC AND BOUNDARY SURVEY OF
TRACT B, HOPE CHRISTIAN SCHOOL,
LOT 23A, BLOCK 11
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT A,
AND PORTIONS OF PALAMAS AVE. N.E.
AND LOUISIANA BLVD. N.E.

SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 24
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2017
REVISED NOVEMBER 20, 2017

GENERAL NOTES

- Bearings are New Mexico State Plain Grid Bearings (Central Zone - NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" or a concrete nail with brass disk stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated hereon.
- Vertical Datum is based upon the Albuquerque Control Survey Monument "HEAVEN", Elevation = 5,378.235 feet (NAVD 1988).
- Contour interval is one foot.
- Field surveys were performed during the month of November, 2017.
- Documents used in the preparation of this survey are as follows:
 - Plat entitled "PLAT OF TRACT B, HOPE CHRISTIAN SCHOOL, PROJECTED SECTION 24, T11N., R3E, N.M.P.M., ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER 2007", filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 7, 2009, in Plat Book 2009G, Page 52.
 - Plat entitled "PLAT OF LOT 23-A, BLOCK 11, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST, 2010", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 27, 2010, in Plat Book 2010C, Page 113.
- No title report was provided for this property. Any possible easements, conditions or restrictions that may be disclosed by such a report are not shown on this survey.

FLOOD ZONE DETERMINATION

The surveyed area, as shown hereon, appears to lie within "ZONE X" (areas determined to be outside the 0.2% annual chance floodplain), except "ZONE A" (No Base Flood Elevations determined) shown within the Domingo Baca Arroyo as shown on National Flood Insurance Program Flood Insurance Rate Map 5501010137H, Map Revised August 16, 2012.

UTILITY DISCLAIMER

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

NMB11 LOCATE REQUEST TICKET NUMBER: 1700170338, CREATION DATE: 10/17/17. THERE MAY BE PRIVATE UNDERGROUND UTILITY LINES NOT WITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NMB11.

THIS PROJECT WAS CALLED IN TO NMB11 AS A "DESIGN LOCATE". SOME UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NMB11 CONSIDER "DESIGN LOCATE" CALLS AS LOW PRIORITY AND IN SOME CASES DELAY RESPONSE, PARTIALLY COMPLETE OR NOT RESPOND AT ALL.

THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.

ANY PIPE SIZES OR MATERIAL TYPES SHOWN HEREON WERE DERIVED FROM ASBUILT PLANS AS PROVIDED BY THE VARIOUS UTILITY COMPANIES.

ARCHITECT, ENGINEER, AND CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF SAID INFORMATION DURING THEIR DESIGN PROCESS.

UTILITIES LABELED WITH AN ASTERISK (*) ARE DERIVED AND/OR TRANSMICROED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

UTILITIES LABELED WITH A POUND SIGN (#) ARE ASSUMED LOCATIONS OF UNDERGROUND UTILITIES AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this Topographic and Boundary Survey Plat was prepared from and actual ground survey performed by me or under my direct supervision; that I am responsible for this survey; that this survey is true and correct to the best of my knowledge and belief; and that this Topographic and Boundary Survey Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico; and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a Topographic and Boundary Survey of 2 existing tracts and right of way portions.

Russ P. Hugg
NMP# No. 9750
November 13, 2017
Revised November 20, 2017



SHEET 3 PLAT (FOR REFERENCE ONLY)

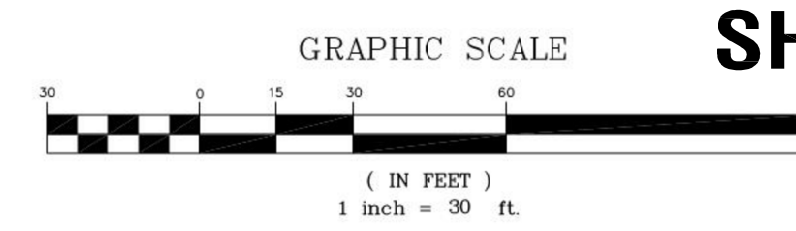
SHEET 1 OF 4

SURV-TEK, INC.
Consulting Surveyors
2084 Valley View Drive, N.E. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

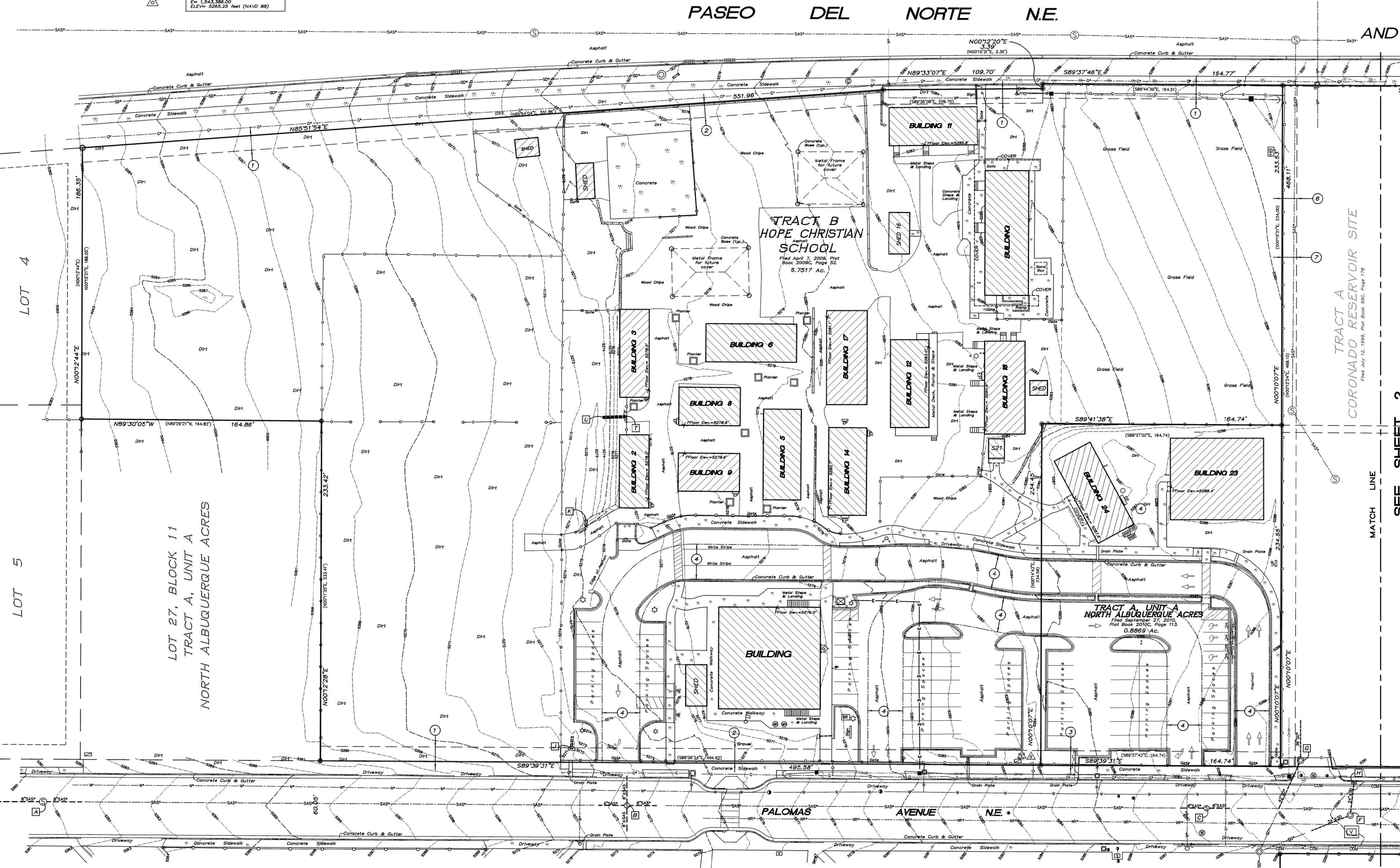
170628_10-18-17.dwg

KEYED EASEMENTS AND INVERT DATA ON SHEET 2

CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING
C1	64.44'	100.00'	33.38'	63.33'	N18°37'32"W
C2	48.26'	30.00'	31.15'	43.22'	N43°56'38"E
C3	62.68'	40.00'	39.85'	56.46'	N44°47'43"W



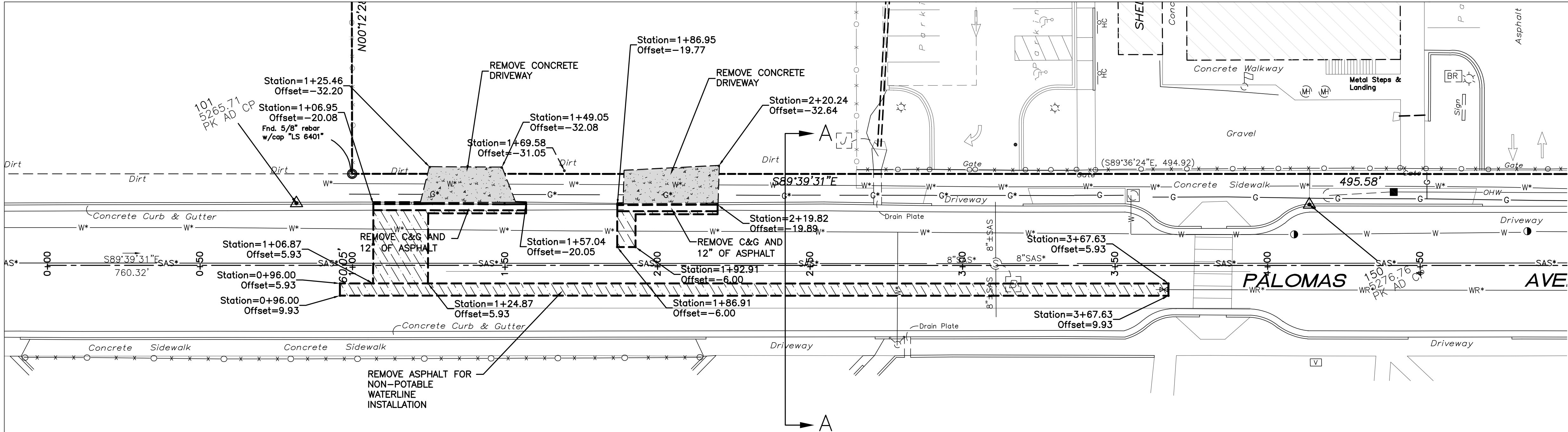
PROJECT CONTROL POINT
Plat and aluminum disk stamped
"SURV-TEK, INC. Control"
Modified project surface coordinates:
N= 1,518,913.00
E= 1,543,588.00
ELEV= 5285.25 feet (NAVD 88)



LEGEND

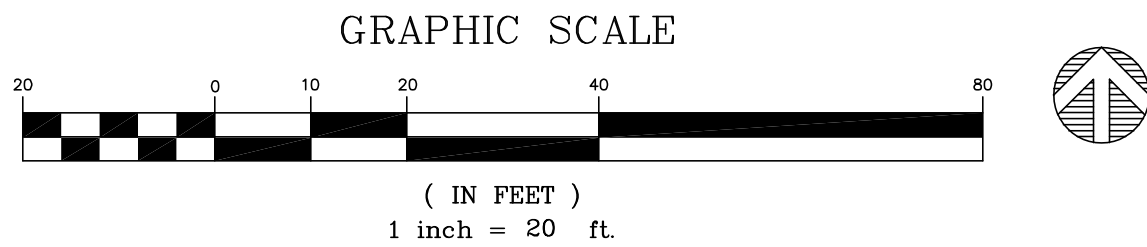
- Storm Drain Inlet
- Traffic Box
- Overhead Traffic Light Pole
- Water Valve
- Traffic Light Post
- Storm Drain Manhole
- Water Meter
- Sanitary Sewer Clean-out
- Ballast
- Light Pole
- Telephone Pedestal
- Gas Meter
- Water Manhole
- Hot Box
- Irrigation Box
- Motorcycle Parking Sign
- Handicap Parking Sign
- Handicap Parking Space
- Power Pole
- Guy Wire
- Vault
- Manhole Unknown Utility
- Flagpole
- Electric Panel
- R.T.M. Raised Truncated Dome Mat
- Control Point
- Hydrant
- Electric Pedestal
- Guard Rail
- Irrigation Manhole
- Electric Transformer
- Electric Meter
- Mail Box
- Cable Pedestal
- Chain Link Fence
- Wrought Iron Fence
- Communications Manhole
- Communications Box
- Storm Drain Manhole
- Sanitary Sewer Manhole
- Sanitary Sewer Line
- Storm Drain Line
- Underground Reuse Water Line
- Brick Power Symbol
- Underground Water Line
- Underground Gas Line
- Underground Electric Line
- Underground Communications Line
- R.T.M. Raised Truncated Dome Mat
- Bike Rack

[illegible]

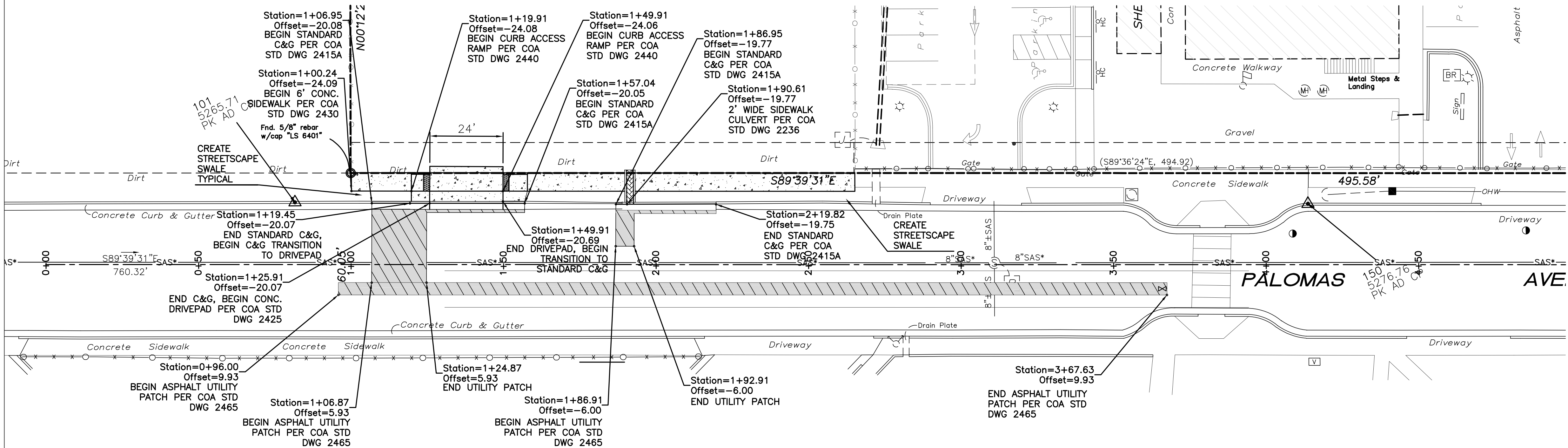


DEMOLITION PLAN

SCALE: 1" = 20'-0"

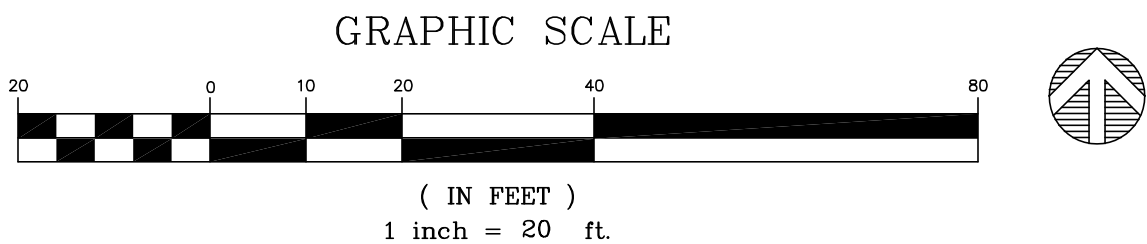


Contractor will ensure the asphalt has a smooth, uniform edge when removing and replacing curb and gutter. If the asphalt edge is not smooth and uniform, contractor will saw cut and replace a one-foot strip of asphalt along the full section being replaced; refer to C.O.A Standard Drawing #2465 with the appropriate paving section based on roadway classifications.

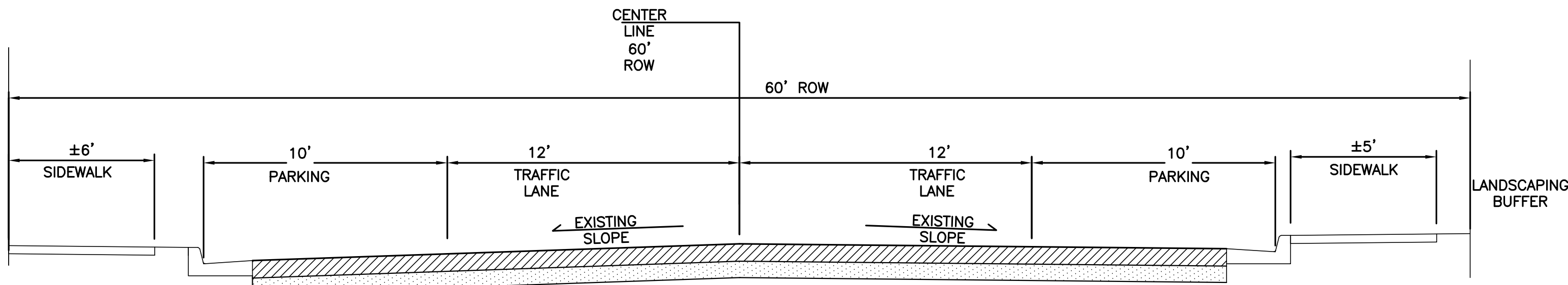


PAVING PLAN

SCALE: 1" = 20'-0"



At all pavement removal and replacements, saw-cut edges shall be straight and clean, and longitudinal joints shall not be placed within wheel paths. Patches shall be regular and square or rectangular, with four straight edges. Finished pavement surface shall be flush with existing pavement surface, with no spillover of asphalt or tack coat. Care must be taken to avoid damaging the integrity or appearance of surrounding pavements; if damaged, the entire surface must be expanded to cover damages. Replace any pavement markings damaged by construction with thermoplastic.



PALOMAS AVENUE EXISTING TYPICAL SECTION A-A

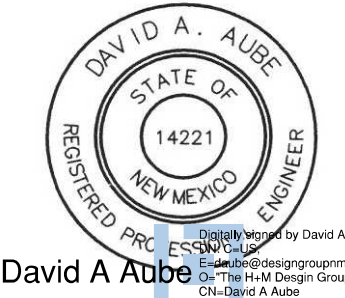
SCALE: 1/4" = 1'-0"

LOOKING EAST

LEGEND

- EX CURB AND GUTTER & SIDEWALK
- EX WATER VALVE
- PROP WATER VALVE
- EX FIRE HYDRANT
- PROPERTY LINE
- (S 83°39'25" W) RECORD BEARING AND DISTANCES
- N 00°07'27" W MEASURED BEARING AND DISTANCES
- EX SD MANHOLE
- EX SAS MANHOLE
- EX SANITARY SEWER LINE
- EX STORM SEWER LINE
- EX WATER LINE
- EX RECLAIMED WATER LINE
- EX NATURAL GAS LINE
- REMOVE AND DISPOSE CONCRETE SIDEWALK/DRIVEPAD
- SAWCUT, REMOVE AND DISPOSE OF ASPHALT
- REMOVE AND DISPOSE CURB AND GUTTER
- CONCRETE SIDEWALK OR DRIVEPAD
- COLLECTOR PAVEMENT PER 2465

AS-BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		FIELD NOTES		REVISIONS		DESIGN	
CONTRACTOR	DATE	STAMPED BY	DATE	NO.	DATE	BY	DATE	NO.	DATE	DESIGNED BY	CHECKED BY
A.C.S. Monument "HEAVEN"		New Mexico State Plane Coordinates, (Central Zone NAD=83)								DAVID A. AUBE, P.E.	DAVID A. AUBE, P.E.
		Y= 1,518,799.515 feet								DATE 08.10.2020	DATE 08.10.2020
		X= 1,547,297.145 feet								DATE 08.10.2020	DATE 08.10.2020
		Ground to grid factor= 0.99965581									
		Mapping Angle= -00°10'46.22"									
		Elevation= 5378.235 feet									



Streetscape Swale

- Swale to have side slopes of 5:1 (H:V).
- For wide landscape buffers, greater than 10', the maximum depth is 10".
- Landscape buffers 2 feet and less in width are excluded.
- Final grade of dirt to be 1" to 2" below top of curb and top of sidewalk grade.
- Surface between back of curb and sidewalk to be covered with gravel mulch (minimum 2"), cobbles or rip-rap. Do not fill entire swale.
- A check dam will be required for swales on steeper longitudinal slopes, 2.5% and greater, and long sections. The engineer will determine the location.
- Landscaping fabric is recommended, but not required, between the dirt and the store. If landscaping fabric is to be used it is to be permeable.
- In the case where the sidewalk is existing and the landscaping buffer is improved with landscaping and/or some form of erosion protection, this requirement does not apply.

THE HARTMAN + MAJEWSKI
dg DESIGN GROUP
120 VASSAR DRIVE SE SUITE 100
ALBUQUERQUE, NEW MEXICO 87106
PHONE : 505.242.6880 FAX : 505.242.6881

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: HOPE ELEMENTARY SCHOOL
DEMOLITION AND PAVING PLAN

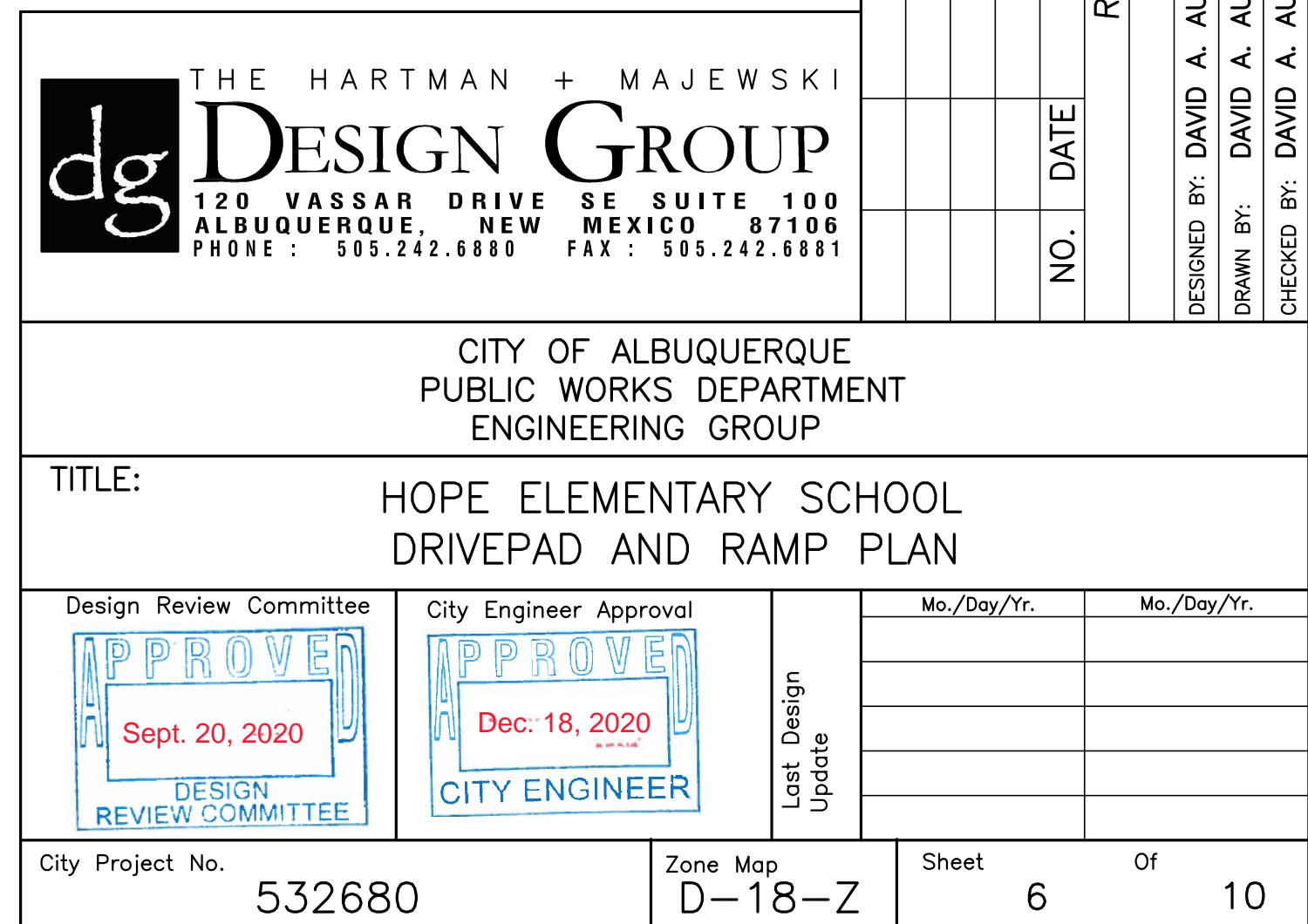
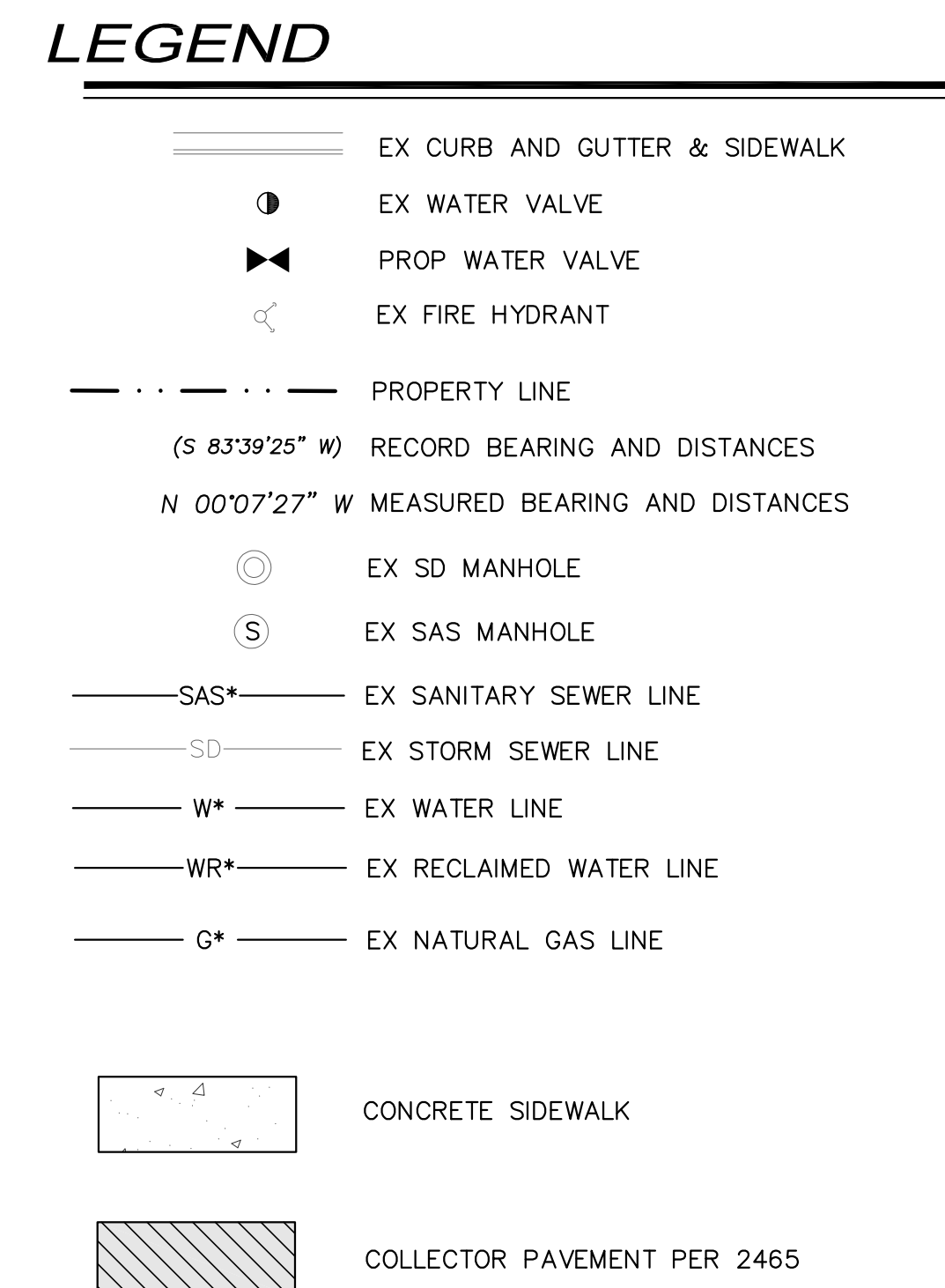
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED Sept. 22, 2020 DESIGN REVIEW COMMITTEE	APPROVED Dec. 18, 2020 CITY ENGINEER		
City Project No.	Zone Map	Sheet	Of

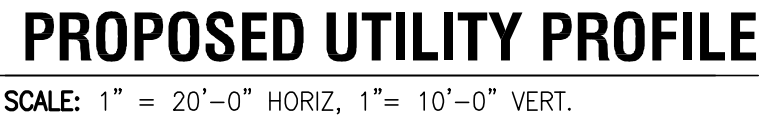
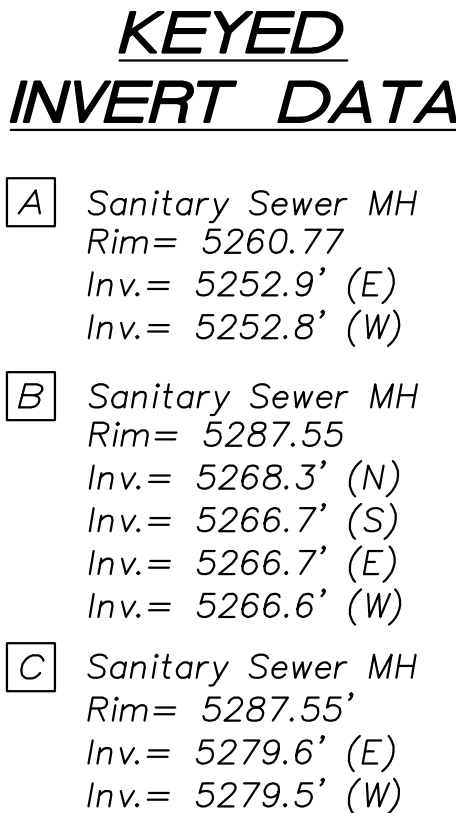
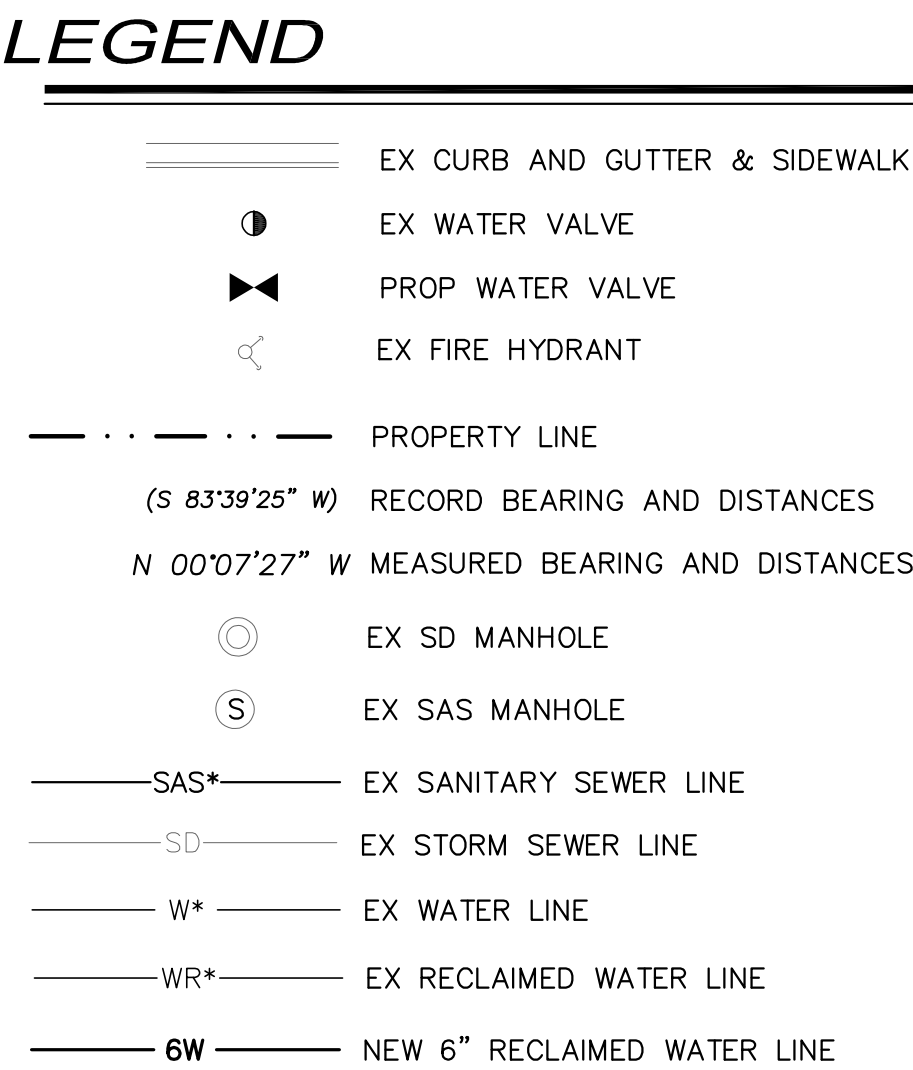
532680

D-18-Z

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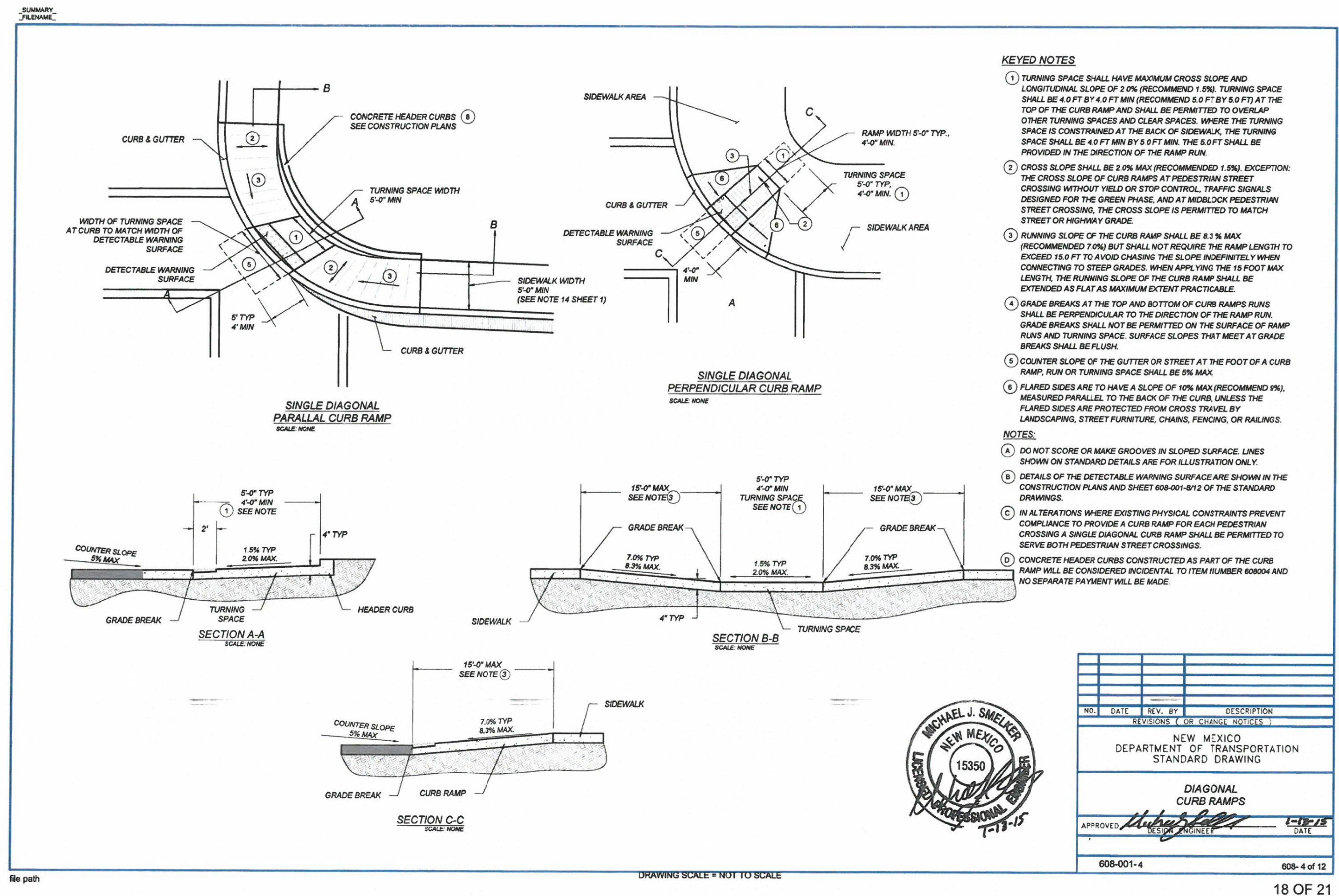
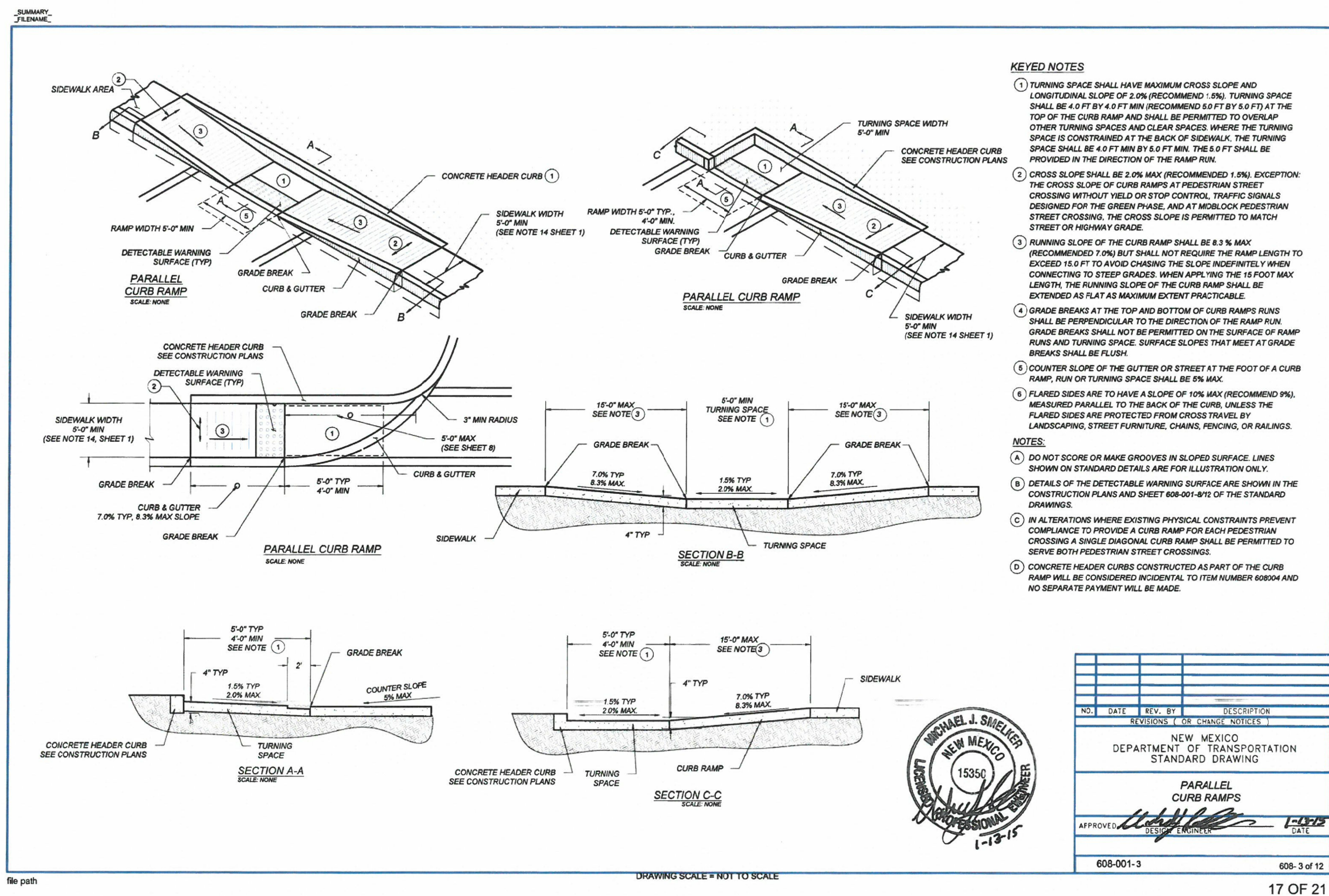
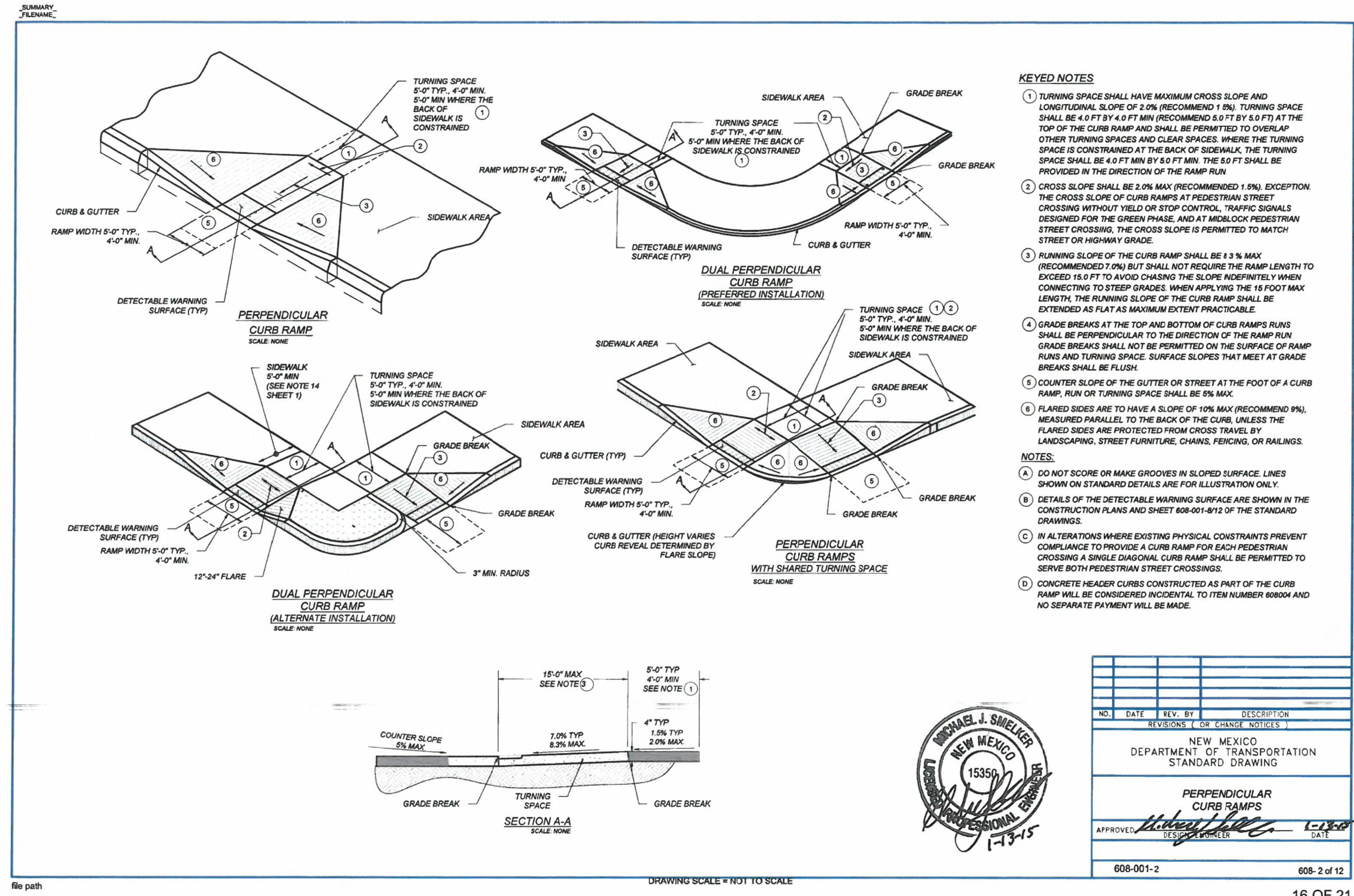
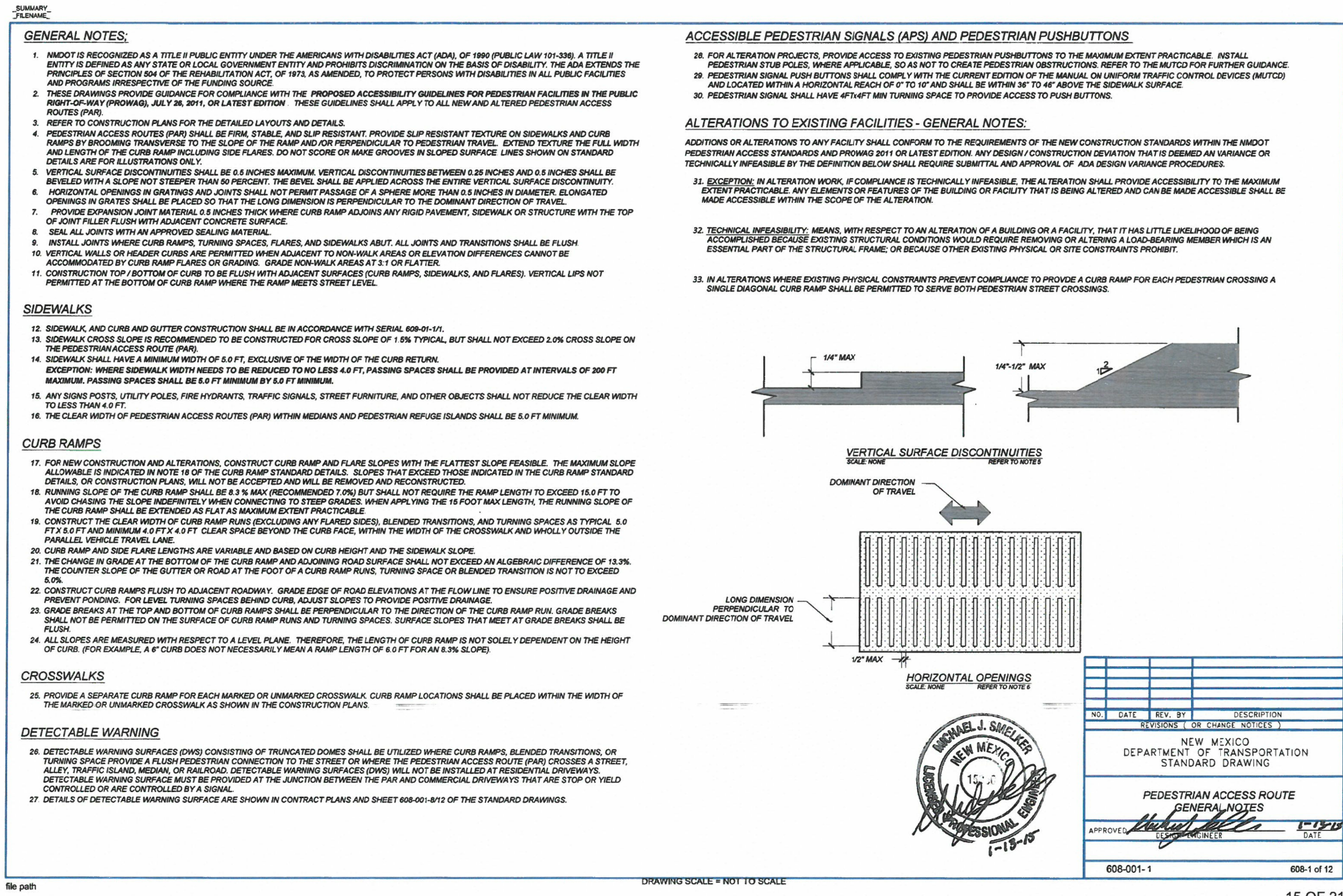
dg THE HARTMAN + MAJEWSKI
DESIGN GROUP
 120 VASSAR DRIVE SE SUITE 100
 ALBUQUERQUE, NEW MEXICO 87106
 PHONE: 505.242.6880 FAX: 505.242.6881

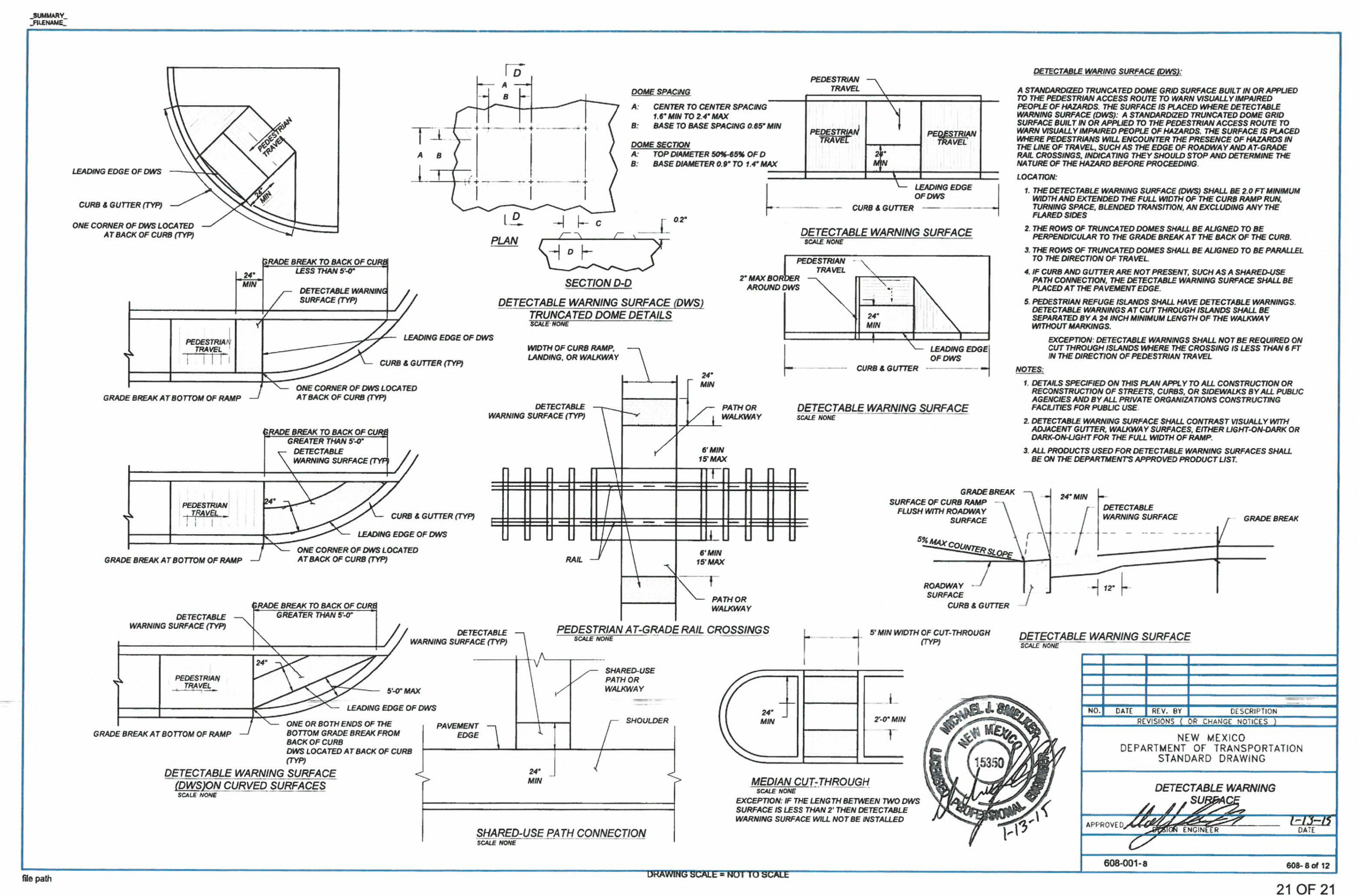
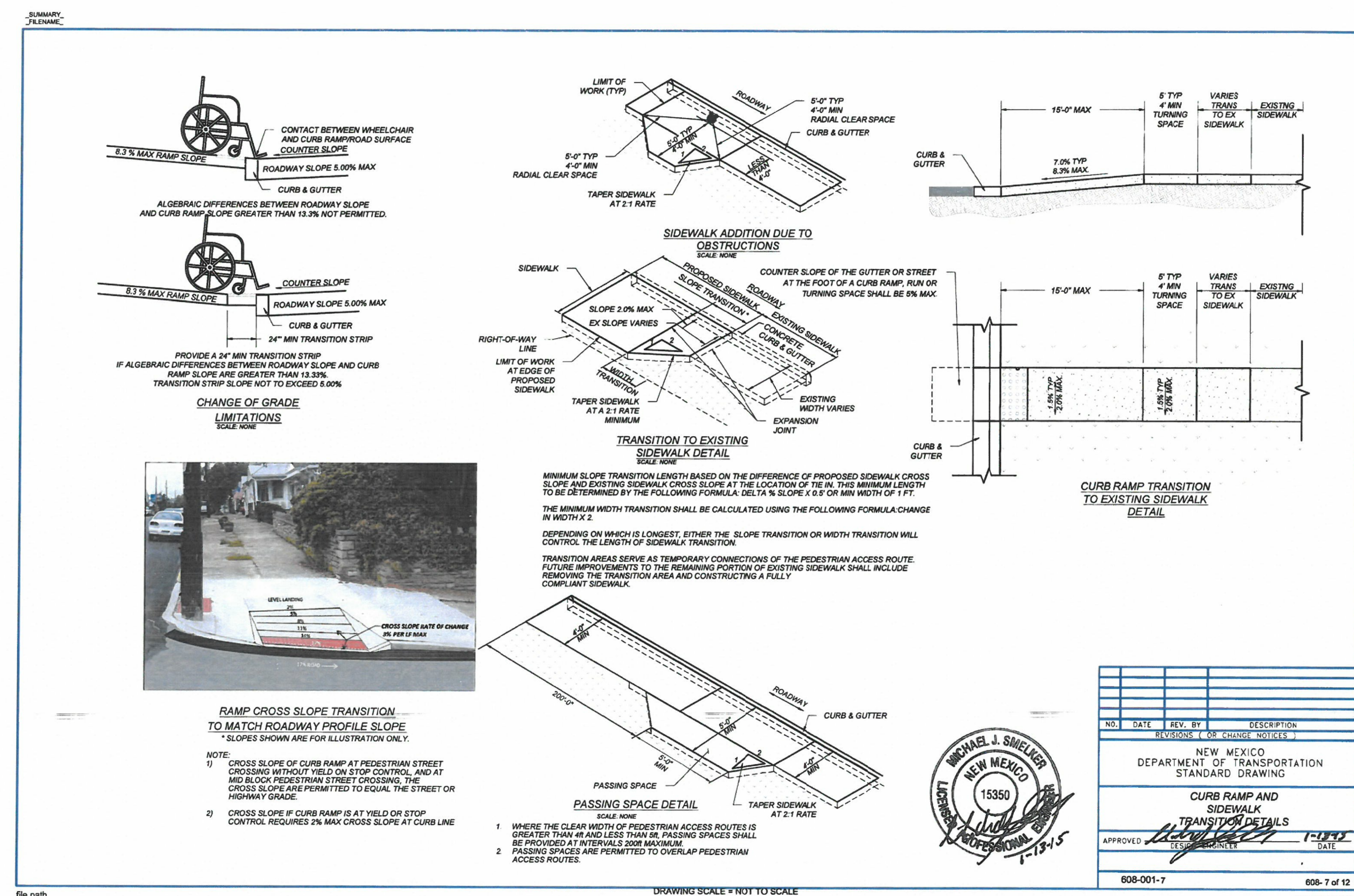
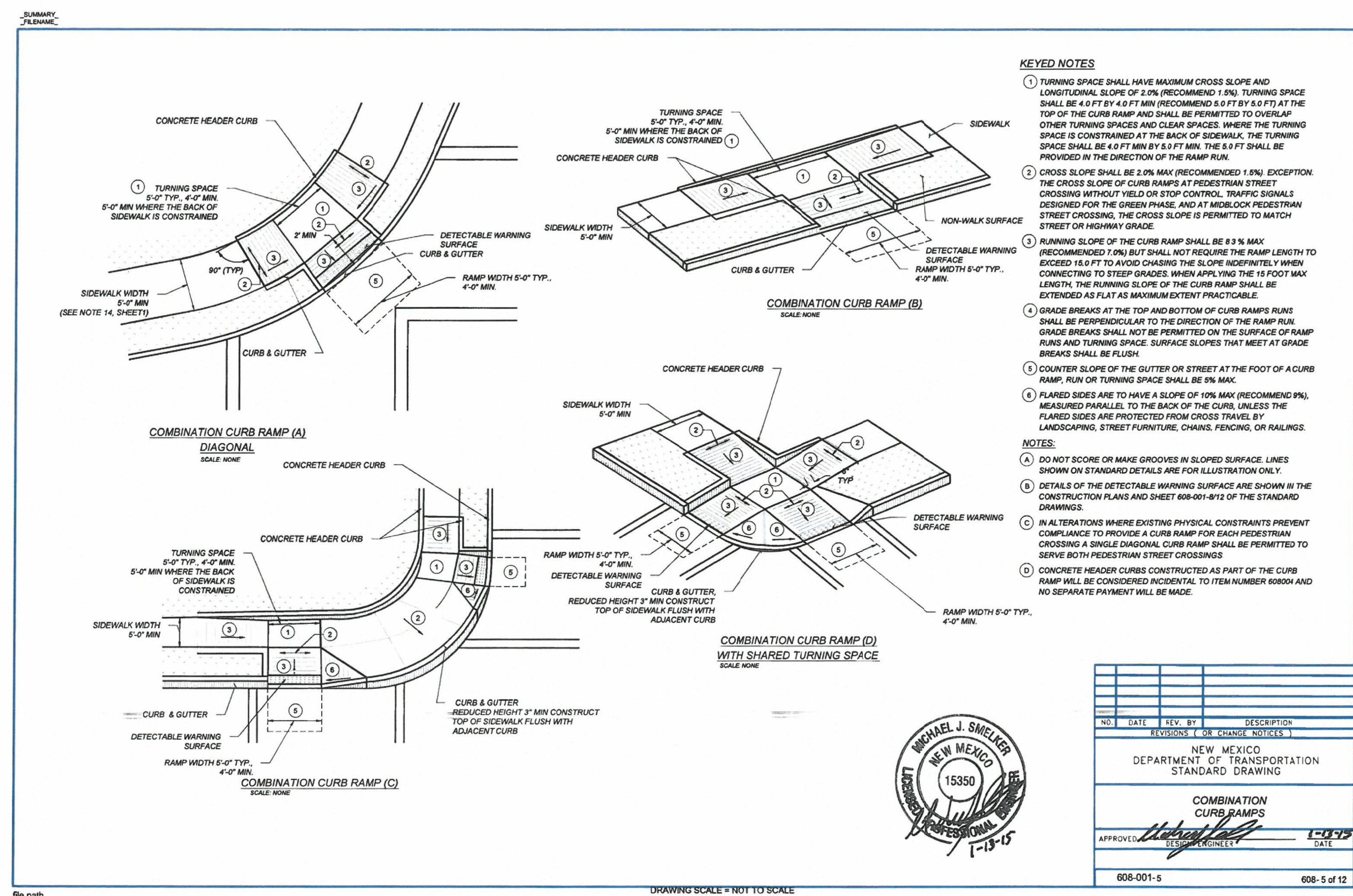
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: HOPE ELEMENTARY SCHOOL
UTILITY PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
				

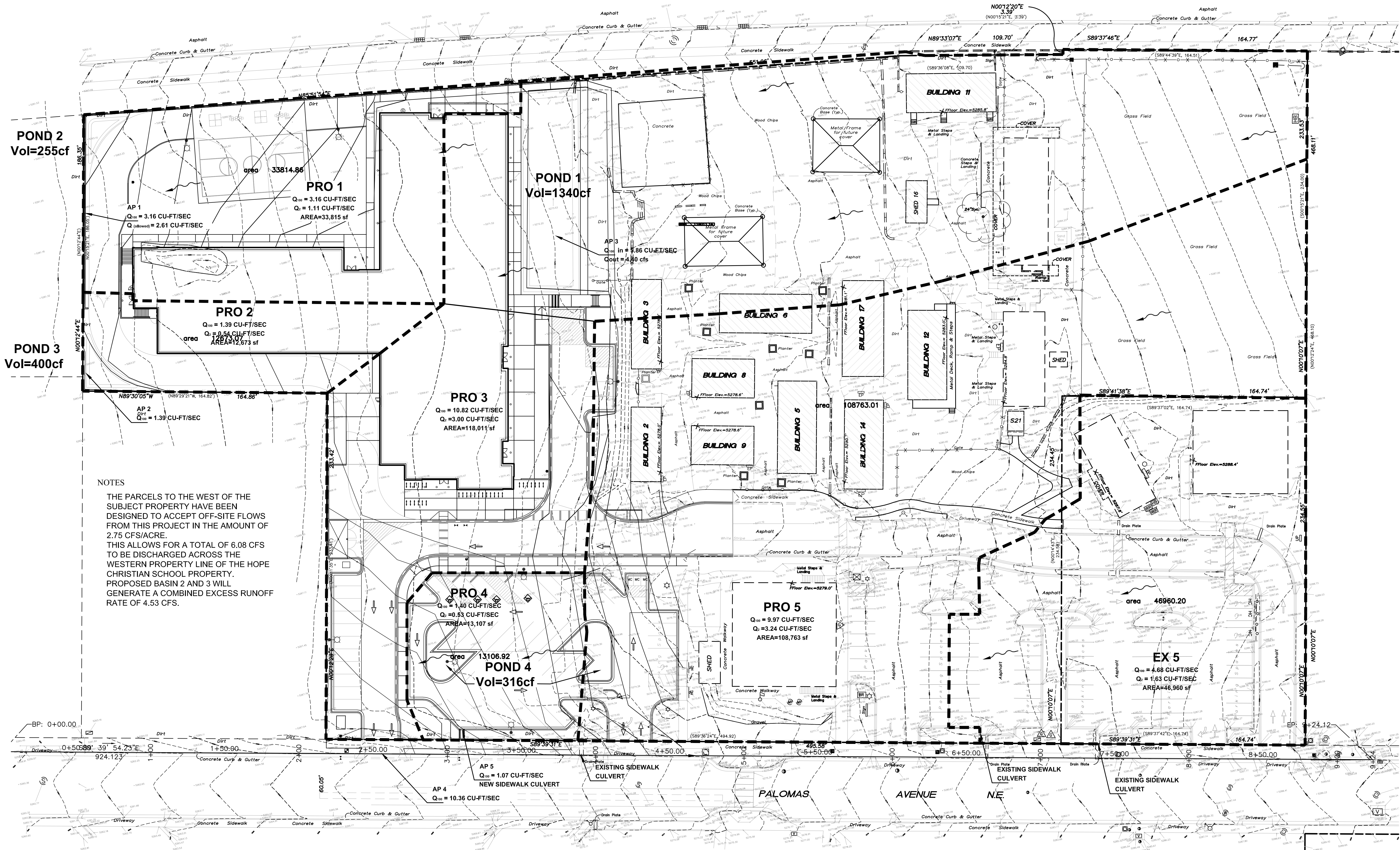
City Project No.	Zone Map	Sheet	Of
532680	D-18-Z	7	10





PROJECT CONTROL POINT
PK Nail and aluminum disc stamped
"Surv-Tek, Inc. Control"
Modified project surface coordinates:
N= 1,516,913.00
E= 1,543,366.00
ELEV= 5265.25 feet (NAVD 88)

PASEO DEL NORTE N.E.



NOTES

THE PARCELS TO THE WEST OF THE SUBJECT PROPERTY HAVE BEEN DESIGNED TO ACCEPT OFF-SITE FLOWS FROM THIS PROJECT IN THE AMOUNT OF 2.75 CFS/ACRE. THIS ALLOWS FOR A TOTAL OF 6.08 CFS TO BE DISCHARGED ACROSS THE WESTERN PROPERTY LINE OF THE HOPE CHRISTIAN SCHOOL PROPERTY. PROPOSED BASIN 2 AND 3 WILL GENERATE A COMBINED EXCESS RUNOFF RATE OF 4.53 CFS.

1 SITE DRAINAGE PLAN - PROPOSED CONDITIONS
1" = 30'-0"

SHEET 10 G&D PLAN FOR REFERENCE ONLY

JON ANDERSON ARCHITECTURE
912 ROMA AVENUE NW | ALBUQUERQUE, NEW MEXICO
P | 505.764.8306 F | 505.764.2879 www.jonandersonarchitecture.com

DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED AP
120 Vassar Drive SE Suite 100
Albuquerque, New Mexico 87102
505.242.8883 • 505.242.8881

HOPE CHRISTIAN ELEMENTARY

REVISIONS

PHASE DATE

CD 5.6.19

DRAINAGE PLAN
PROPOSED CONDITIONS

CD-3

