

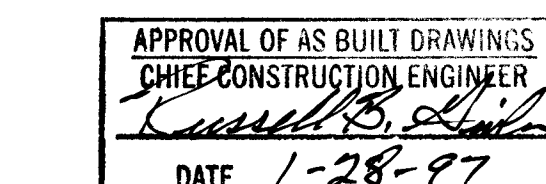
CONSTRUCTION PLANS
FOR
VENTANA POINTE
SUBDIVISION - INFRASTRUCTURE
ALBUQUERQUE, NEW MEXICO

LEGEND			
	CURB AND GUTTER		WATER METER
	CONCRETE		CABLE T.V.
	ELECTRIC TRANSFORMER		POWER POLE
	ELECTRIC PANEL		ANCHOR
	SANITARY SEWER MANHOLE		LIGHT POLE
	TELEPHONE MANHOLE		TRAFFIC LIGHT
	ELECTRIC MANHOLE		CROSSWALK SIGNAL
	STORM SEWER MANHOLE		SPRINKLER CONTROL
	WATER VALVE		TRAFFIC CONTROL
	FIRE HYDRANT		LIGHTING BOX
	TELEPHONE BOX		SIGN
	SPOT ELEVATION		GRATE

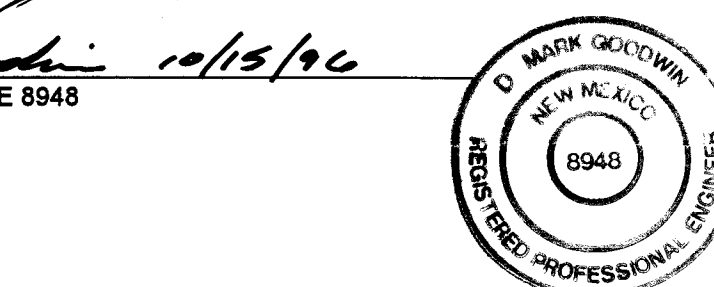
INDEX TO DRAWINGS	
SHEET NO.	SHEET
1	TITLE SHEET
2-3	PLAT
4	GRADING & DRAINAGE PLAN
5	MASTER PAVING PLAN
6-9	PAVING IMPROVEMENTS
10	MASTER UTILITY PLAN
11-13	UTILITY IMPROVEMENTS
14	STORM DRAIN IMPROVEMENTS

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, J.R. Hale Contracting Co., Inc., and by the surveyor, A.L.S., Inc., and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plans.

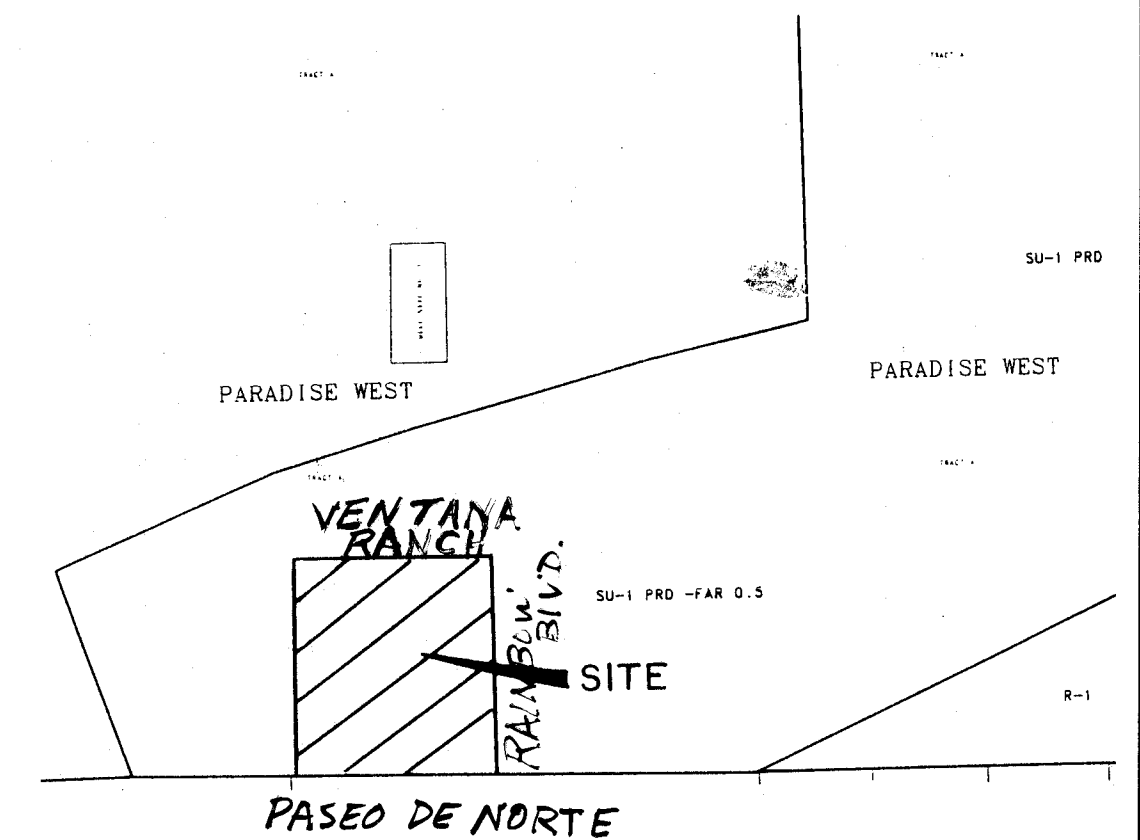
Mark Goodwin NMPE 8948



RECORD DRAWING



DRB # 96-64



VICINITY MAP ZONE ATLAS B-9-Z
SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

- CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS SET.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- WATER AND SEWER FACILITIES SHALL BE CONSTRUCTED PER NMUI SPECIFICATIONS, INSPECTION AND APPROVAL.
- THE CONTRACTOR SHALL NOTIFY NMUI THREE (3) WORKING DAYS PRIOR TO BEGINNING WATER OR SEWER CONSTRUCTION AND SHALL COORDINATE SAID CONSTRUCTION WITH NMUI.
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOURS CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-540781-0197

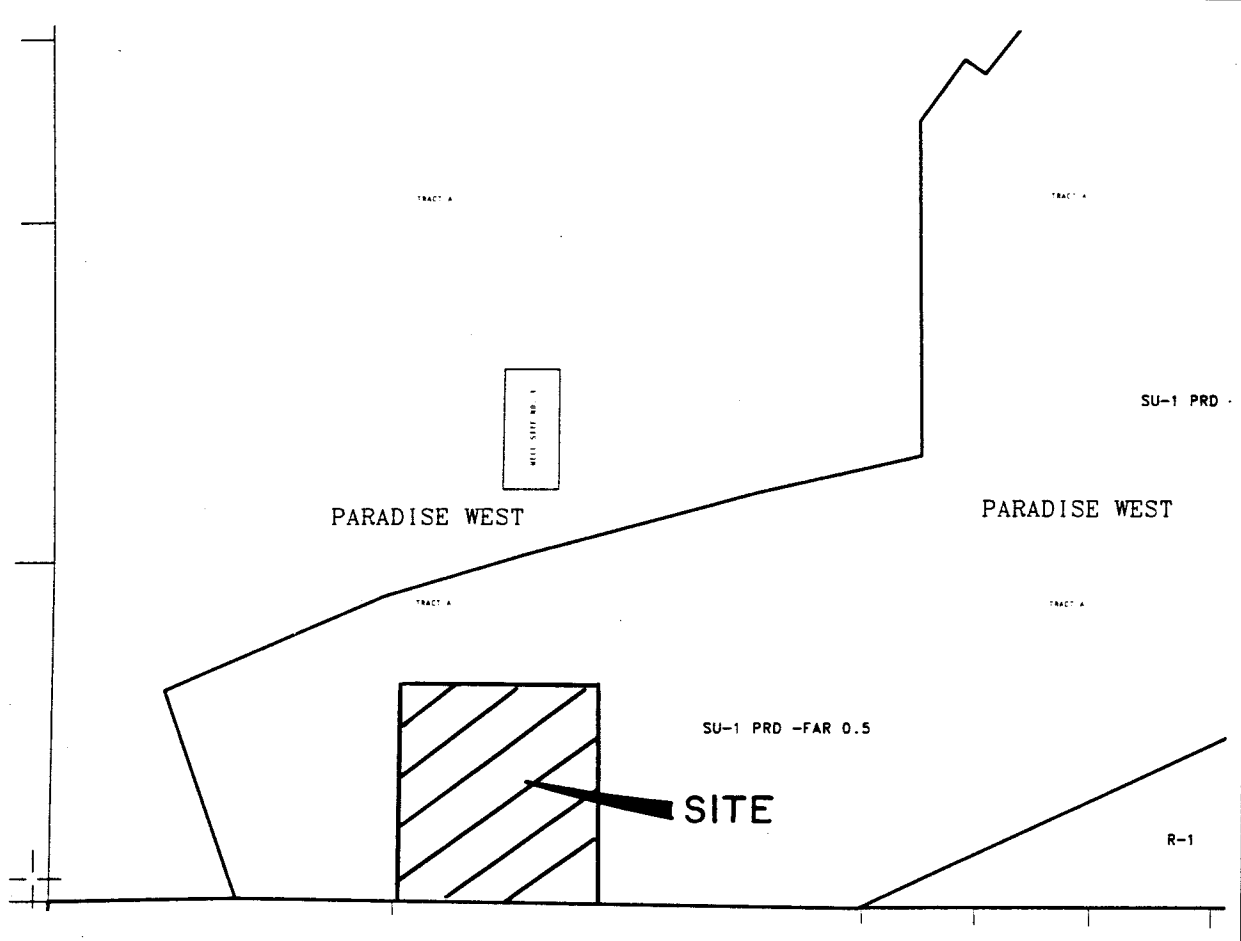
CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

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SCANNED BY
BY LASON

VENT/TITLE



LOCATION MAP ZONE ATLAS MAP B-9
SCALE: NONE

SUBDIVISION DATA

PLAT CASE NOS. DRB. 96-64, SP. V.
GROSS ACREAGE 14.0153
ZONE ATLAS NO. B-9
NO. OF EXISTING TRACTS/LOTS 1
NO. OF TRACTS/LOTS CREATED 76 LOTS
NO. OF TRACTS/LOTS ELIMINATED 1
MILES OF FULL WIDTH STREETS CREATED 0.4988
AREA DEDICATED TO CITY OF ALBUQUERQUE 2.7862 AC
DATE OF SURVEY 2/8/96
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER: 96020909590145

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances, Bearings and Distances are field and record.
- Basis of boundary are the following plats and documents of record entitled:
"PLAT OF VENTANA RANCH" (11-30-95, 95C-430)
all being records of Bernalillo County, New Mexico.
- Title Report: None provided.
- All corners are SET 5/8" REBAR WITH CAP "ALS LS 7719".
- These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer System capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque. Water and Sanitary Sewer Infrastructure Improvements must, however, be approved by both City of Albuquerque and NMU, Inc.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant, all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

GEORGE F. PHILLIPSON, VICE PRESIDENT
SIVAGE THOMAS HOMES, INC.

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO } ss
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on February 20, 1996
Notary Public MY COMMISSION EXPIRES

LEGAL DESCRIPTION

A tract of land situate with the Town of Alameda Grant, projected Section 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 1, VENTANA RANCH as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 and being more particularly described as follows:

BEGINNING at a point on the east line of the herein described tract, said point being on a line common with TRACT 2, VENTANA RANCH as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 from whence the Albuquerque Central Survey Monument "1-B10" bears N 80°59'48" E, 2836.96 feet;

THENCE S 00°11'12" W, 186.34 feet along said common line to a point of curvature;

THENCE continuing 3.46 feet along a curve to the right whose radius is 100.00 feet, through a central angle of 01°59'01" and whose chord bears S 01°10'43" W, 3.46 feet to a point on tangent;

THENCE continuing S 41°02'01" W, 125.49 feet to the southeast corner;

THENCE continuing 17.96 feet along a curve to the right whose radius is 100.00 feet, through a central angle of 10°17'23" and whose chord bears S 85°02'30" W, 17.93 feet to a point of tangency;

THENCE continuing N 89°48'48" W, 762.83 feet to the southwest corner, said point being common with a corner of TRACT 3, VENTANA RANCH as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430 and further being common with the southeast corner of TRACT 3A, VENTANA RANCH as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 in Volume 95C, Folio 430;

THENCE N 01°59'00" E, 605.09 feet along a line common with the east line of said TRACT 3A to the northwest corner, said point being on a line common with said TRACT 2;

THENCE along said common line 502.12 feet along a curve to the left whose radius is 825.00 feet, through a central angle of 34°52'19" and whose chord bears N 74°32'51" E, 494.40 feet to a point of reverse curvature;

THENCE continuing 362.32 feet along a curve to the right whose radius is 600.00 feet, through a central angle of 34°35'57" and whose chord bears N 74°24'40" E, 356.84 feet to a point of compound curvature;

THENCE continuing 82.08 feet along a curve to the right whose radius is 50.00 feet, through a central angle of 94°03'27" and whose chord bears S 41°15'38" E, 73.17 feet to a point of reverse curvature;

THENCE continuing 494.68 feet along a curve to the left whose radius is 5078.00 feet, through a central angle of 05°34'54" and whose chord bears S 02°58'39" W, 494.49 feet to the point of beginning and containing 14.0153 acres more or less.

PURPOSE OF PLAT

- SUBDIVIDE ONE EXISTING TRACT INTO 76 RESIDENTIAL LOTS.
- DEDICATE STREET R/W TO THE CITY OF ALBUQUERQUE AS SHOWN HEREON.
- GRANT NEW EASEMENTS AS SHOWN HEREON.

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991 and February 2, 1994) and I am not and correct to the best of my knowledge and belief."

TIMOTHY ALDRICH, P.S. No. 7719



PLAT OF VENTANA POINTE

WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTION 9
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 1996

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article XI of Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico.
Subdivision Case No.

Planning Director, City of Albuquerque, N.M. Date

City Engineer, City of Albuquerque, N.M. Date

Albuquerque Metropolitan Area Flood Control Authority Date

Transportation Development, City of Albuquerque, N.M. Date

Utility Development Division, City of Albuquerque, N.M. Date

Parks and General Services, City of Albuquerque, N.M. Date

City Surveyor, City of Albuquerque, N.M. Date

Property Management, City of Albuquerque, N.M. Date

New Mexico Utilities, Inc. Date

PNM GAS Date

Norma S. Carrillo Date

PNM ELECTRIC Date

Jones Intercable, Inc. Date

VENTANA POINTE



D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: ALS Drawn: BJG Checked: ALS Sheet 1 of 3
Scale: 1"=60' Date: 2/96 Job: 96028

6028VENT\6028-LEG

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	3.46'	01°59'01"	100.00'	1.73'	S01°10'43"W	3.46'
C2	17.96'	10°17'23"	100.00'	9.00'	S85°02'30"W	17.93'
C3	502.12'	34°52'19"	825.00'	259.11'	N74°32'51"E	494.40'
C4	362.32'	34°35'57"	600.00'	186.87'	N74°24'40"E	356.84'
C5	82.08'	94°03'27"	50.00'	53.67'	S41°15'38"E	73.17'
C6	494.68'	05°34'54"	5078.00'	247.54'	S02°58'39"W	494.49'

NOTES CONTINUED FROM SHEET 1 OF 3

- A FIVE (5') FOOT WIDE PRIVATE DRAINAGE EASEMENT (PDE) TO EITHER SIDE OF COMMON SIDE YARD LOT LINES BETWEEN CONTIGUOUS LOTS.
- NEW MEXICO UTILITIES, INC. FRANCHISE AREA.
- OFF-STREET PARKING PER SECTION 40.A.1.00 OF COMPREHENSIVE ZONING CODE AS FOLLOWS:
RESIDENTIAL USE-HOUSE OR TOWNHOUSE
a. THREE PARKING SPACES FOR UP TO TWO BEDROOMS, OR
b. FOUR PARKING SPACES FOR THREE TO FOUR BEDROOMS, OR
c. FIVE PARKING SPACES FOR FIVE OR MORE BEDROOMS.
ALL LOT NUMBERS ON STREETS DESIGNATED FOR INTERMITTENT PARKING BASED ON THIS OFF-STREET PARKING CRITERIA SHALL BE FOLLOWED BY THE SUFFIX "P1" ON THE SUBDIVISION PLAT.

NOTE:

Centerline (in lieu of R/W) monumentation is to be installed at all centerline PC's, PT's, angle points and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped:
City of Albuquerque
Centerline Monument
Do Not Disturb
PLS # 7719

10' PUBLIC DRAINAGE, NEW MEXICO UTILITY INC., & PEDESTRIAN ACCESS RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT (230 SF OR 0.0053 AC)

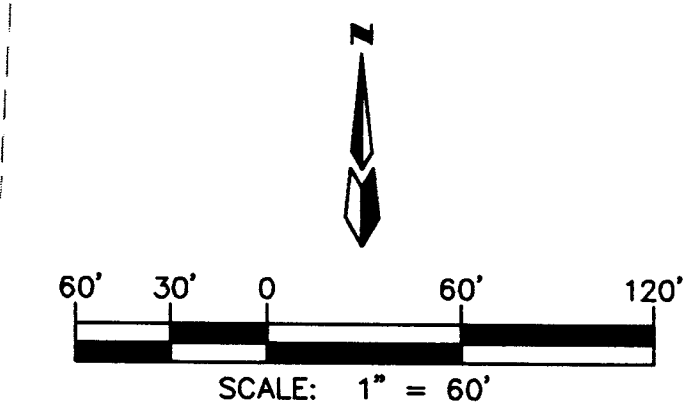
10' PUBLIC DRAINAGE & NEW MEXICO UTILITY INC., EASEMENT GRANTED BY THIS PLAT

ACS MONUMENT
"1-B10"
Y= 1527976.48
X= 357543.73
G-G= 0.99966354
Δα= -00°16'30"
CENTRAL ZONE
ELEVATION= 5429.35
(NAD 1927/SLD 1929)

SETBACKS

Setbacks shall be per the R-LT zone:

- Front yard setback of not less than 15 feet except driveways shall be not less than 20 feet long.
- There shall be no required side-yard setback except:
a. There shall be ten feet on the street side of corner lots.
b. There shall be five feet from a side lot line that separates the R-LT zone from another zone.
- There shall be a rear-yard setback of:
a. Not less than 15 feet, or
b. For houses with offset rear lot lines, lot less than five feet, provided that the average rear yard setback is not less than 15 feet. Such reduced setbacks are allowed only when approved by the Planning Director and specified on a subdivision plat for not less than two back-to-back lots.



VENTANA RANCH
TRACT 2
(11-30-95, 95C-430)

ACS MONUMENT
"1-B10"
Y= 1525168.35
X= 357526.69
G-G= 0.9996640
Δα= -00°16'30"
CENTRAL ZONE
ELEVATION= 5419.52
(NAD 1927/SLD 1929)

NOTES CONTINUED FROM THIS SHEET

- 6' WIDE LANDSCAPE EASEMENT GRANTED BY THIS PLAT TO THE VENTANA POINTE HOME OWNERS ASSOCIATION.
- EACH LOT SHALL HAVE A MINIMUM OF 1200 SQ. FT. OF OPEN SPACE ON SITE TO MEET R-LT REQUIREMENTS.

UPC# 1-009-065-265-264-10164

VENTANA POINTE



D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: ALS Drawn: BJG Checked: ALS Sheet 2 of 3
Scale: 1"=60' Date: 2/96 Job: 96028

CURVE DATA

NO.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
1	953.00	10-42-30	178.11	N 82-27-57 E 177.85
2	472.00	9-02-30	74.48	N 61-37-57 E 74.41
3	75.00	57-01-00	74.63	N 85-20-18 W 71.59
4	75.00	57-01-00	74.63	N 28-19-18 W 71.59
5	75.00	32-59-00	43.17	N 16-40-42 E 42.58
6	75.00	90-00-00	117.81	N 45-11-12 E 106.07
7	75.00	45-00-00	58.90	N 67-18-48 W 57.40
8	75.00	45-00-00	58.90	N 22-18-48 W 57.40
9	75.00	45-00-00	58.90	N 22-41-12 E 57.40
10	180.00	22-21-59	70.27	N 10-59-48 W 69.82
11	650.00	14-45-40	187.46	N 75-12-02 E 167.00
12	75.00	80-35-52	105.50	N 42-16-56 E 76.85
13	825.00	5-20-21	76.88	N 89-18-49 E 79.69
14	825.00	5-32-13	79.72	N 83-52-33 E 50.02
15	825.00	3-28-27	50.02	N 79-22-13 E 50.18
16	825.00	3-29-09	50.19	N 75-53-25 E 33.79
17	825.00	2-20-49	50.19	N 72-58-27 E 57.30
18	825.00	3-58-49	57.31	N 69-48-38 E 57.30
19	825.00	3-58-49	57.31	N 65-49-49 E 57.30
20	825.00	2-11-37	31.59	N 62-44-36 E 31.58
21	825.00	3-21-06	48.26	N 59-58-14 E 47.68
22	825.00	1-10-59	17.03	N 57-42-12 E 17.03
23	600.00	3-28-23	36.37	N 58-50-53 E 36.36
24	600.00	4-46-49	50.06	N 62-58-29 E 50.04
25	600.00	8-37-48	90.37	N 69-40-47 E 90.29
26	600.00	7-24-06	77.51	N 77-41-44 E 77.45
27	600.00	9-20-57	97.90	N 87-02-10 E 97.80
28	5078.00	0-02-56	4.32	N 05-26-11 E 50.17
29	5078.00	0-34-00	50.21	N 04-52-12 E 50.13
30	5078.00	0-33-58	50.17	N 04-18-15 E 50.10
31	5078.00	0-33-56	50.13	N 03-44-19 E 50.07
32	5078.00	0-33-55	50.10	N 03-10-25 E 50.04
33	5078.00	0-33-54	50.07	N 02-36-32 E 50.03
34	5078.00	0-33-53	50.04	N 02-02-39 E 50.01
35	5078.00	0-33-52	50.03	N 01-28-48 E 50.00
36	5078.00	0-33-51	50.01	N 00-54-56 E 39.60
37	5078.00	0-33-51	50.00	N 00-24-36 E 34.11
38	5078.00	0-26-49	39.60	N 85-11-23 W 37.05
39	25.00	86-01-10	37.53	N 25-37-57 E 36.49
40	25.00	95-37-28	41.72	N 69-02-56 W 34.11
41	25.00	93-44-17	40.90	N 20-49-49 E 39.54
42	25.00	86-01-12	37.53	N 62-51-51 E 54.40
43	930.00	2-26-09	39.54	N 59-58-14 E 19.20
44	930.00	3-21-06	54.40	N 57-42-11 E 30.00
45	930.00	1-10-58	19.20	N 58-50-54 E 47.68
46	495.00	3-28-24	30.01	N 63-20-44 E 2.39
47	495.00	5-31-17	47.70	N 66-48-27 E 36.04
48	97.50	1-24-07	2.39	N 78-09-35 E 26.45
49	97.50	21-18-10	36.25	N 83-23-31 W 29.36
50	97.50	15-35-38	26.54	N 68-26-23 E 9.72
51	25.00	44-17-08	31.39	N 16-19-50 E 33.37
52	60.00	32-17-16	33.81	N 03-17-01 E 41.69
53	90.00	6-11-38	9.73	N 19-46-19 E 11.40
54	90.00	26-46-56	42.07	N 19-59-10 E 18.85
55	25.00	26-21-15	11.50	N 26-54-28 W 28.04
56	25.00	44-17-08	19.32	N 13-38-40 W 11.95
57	97.50	21-08-16	28.12	N 20-32-23 W 14.46
58	97.50	16-31-31	12.06	N 05-54-06 E 40.10
59	25.00	27-38-44	14.49	N 42-55-04 E 36.07
60	60.00	13-50-18	40.89	N 78-39-56 E 37.59
61	60.00	39-02-38	48.04	N 78-20-25 W 9.92
62	60.00	34-59-18	41.05	N 81-42-24 W 7.05
63	60.00	36-30-27	28.75	N 45-11-12 E 74.95
64	60.00	9-28-51	9.93	N 44-48-48 W 28.64
65	25.00	16-12-49	7.07	N 81-19-21 W 15.14
66	53.00	90-00-00	83.25	N 68-21-16 W 31.79
67	53.00	90-00-00	83.25	N 76-38-39 E 38.37
68	97.00	16-58-54	63.25	N 13-19-32 E 40.69
69	97.00	8-57-17	28.75	N 34-32-46 E 28.18
70	25.00	78-57-28	15.16	N 05-54-06 E 40.10
71	60.50	36-58-43	39.05	N 42-55-04 E 36.07
72	60.50	28-16-40	41.05	N 78-39-56 E 37.59
73	89.50	16-09-48	23.63	N 78-20-25 W 9.92
74	25.00	68-36-24	29.94	N 81-42-24 W 7.05
75	97.00	0-31-25	0.89	N 45-11-12 E 74.95
76	97.00	25-38-31	43.41	N 44-48-48 W 28.64
77	52.50	113-59-12	104.45	N 81-19-21 W 15.14
78	448.00	9-05-18	71.22	N 68-21-16 W 31.79
79	976.00	7-23-33	125.93	N 76-38-39 E 38.37
80	25.00	80-58-25	35.33	N 13-19-32 E 40.69
81	339.07	0-52-04	5.13	N 34-32-46 E 28.18
82	339.07	9-28-48	56.10	N 05-54-06 E 40.10
83	339.07	6-18-29	37.33	N 78-39-56 E 37.59
84	93.95	28-04-37	46.04	N 78-20-25 W 9.92
85	25.00	79-31-31	34.70	N 81-42-24 W 7.05
86	673.00	5-59-54	70.46	N 45-11-12 E 74.95
87	673.00	3-59-54	46.96	N 44-48-48 W 28.64
88	52.50	80-36-14	73.86	N 81-19-21 W 15.14
89	25.00	47-23-44	20.68	N 68-21-16 W 31.79
90	40.00	33-50-43	23.63	N 76-38-39 E 38.37
91	40.00	87-16-34	60.93	N 13-19-32 E 40.69
92	40.00	85-21-04	59.59	N 34-32-46 E 28.18
93	40.00	31-41-03	22.12	N 05-54-06 E 40.10
94	25.00	39-42-58	17.33	N 42-55-04 E 36.07
95	25.00	28-04-21	12.25	N 78-39-56 E 37.59
96	60.00	24-11-09	25.33	N 78-20-25 W 9.92
97	60.00	33-37-24	35.21	N 81-42-24 W 7.05
98	60.00	28-52-24	30.24	N 45-11-12 E 74.95
99	60.00	34-55-37	36.58	N 44-48-48 W 28.64
100	25.00	13-30-38	5.90	N 81-19-21 W 15.14
101	25.00	10-12-16	4.45	N 68-21-16 W 31.79
102	97.50	10-25-48	17.75	N 76-38-39 E 38.37
103	627.00	4-17-49	14.02	N 13-19-32 E 40.69
104	627.00	4-50-22	52.96	N 34-32-46 E 28.18

CURVE DATA

NO.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
105	600.00	00-57-54	10.11	N 81-52-44 E 10.11
106	40.00	28-57-18	20.21	N 89-48-48 W 20.00

AREA DATA

BLOCK NO.	LOT NO.	SQ. FT.	ACRES
BLOCK 1	1-P1	6840	0.1570
	2-P1	4995	0.1147
	3-P1	4835	0.1110
	4-P1	5904	0.1355
	5-P1	8364	0.1920
	6-P1	7519	0.1726
	7-P1	5561	0.1277
	8-P1	5750	0.1320
	9-P1	5750	0.1320
	10-P1	5750	0.1320
	11-P1	5750	0.1320
	12-P1	5750	0.1320
	13-P1	5750	0.1320
	14-P1	5495	0.1261
	15-P1	6576	0.1510
	16-P1	6315	0.1450
	17-P1	5697	0.1308
	18-P1	6050	0.1389
	19-P1	6050	0.1389
	20-P1	6050	0.1389
	21-P1	6050	0.1389
	22-P1	6050	0.1389
	23-P1	6655	0.1528
	24-P1	7920	0.1818
	25-P1	7798	0.1790
	26-P1	8928	0.2050
	27-P1	7756	0.1781
	28-P1	7133	0.1638
	29-P1	7212	0.1656
	30-P1	7420	0.1703
	31-P1	7643	0.1755
	32-P1	6692	0.1536
	33-P1	8522	0.1956
	34-P1	6441	0.1479
	35-P1	5290	0.1214
	36-P1	5250	0.1205
	37-P1	5250	0.1205
	38-P1	5227	0.1200
	39-P1	7095	0.1629
	40-P1	6979	0.1602
	41-P1	6243	0.1433
	42-P1	5162	0.1185
	43-P1	5250	0.1205
	44-P1	5252	0.1206
	45-P1	5272	0.1210
	46-P1	5316	0.1220
	47-P1	5385	0.1236
	48-P1	5478	0.1258
	49-P1	5596	0.1285
	50-P1	5777	0.1326
	51-P1	6694	0.1537
	52-P1	6857	0.1574
	53-P1	6668	0.1531
	54-P1	7684	0.1764
BLOCK 2	1-P1	6088	0.1398
	2-P1	5390	0.1237
	3-P1	5387	0.1237
	4-P1	5257	0.1207
	5-P1	6815	0.1565
	6-P1	8074	0.1854
BLOCK 3	1-P1	8621	0.1979
	2-P1	6688	0.1535
	3-P1	6719	0.1542
	4-P1	6400	0.1469
	5-P1	6400	0.1469
	6-P1	6400	0.1469
	7-P1	6400	0.1469
	8-P1	6640	0.1524
	9-P1	7504	0.1723
	10-P1	7504	0.1723

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.

2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.

3. U.S. West for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures. Applies to alternate franchise holder.

4. Jones Interchange for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

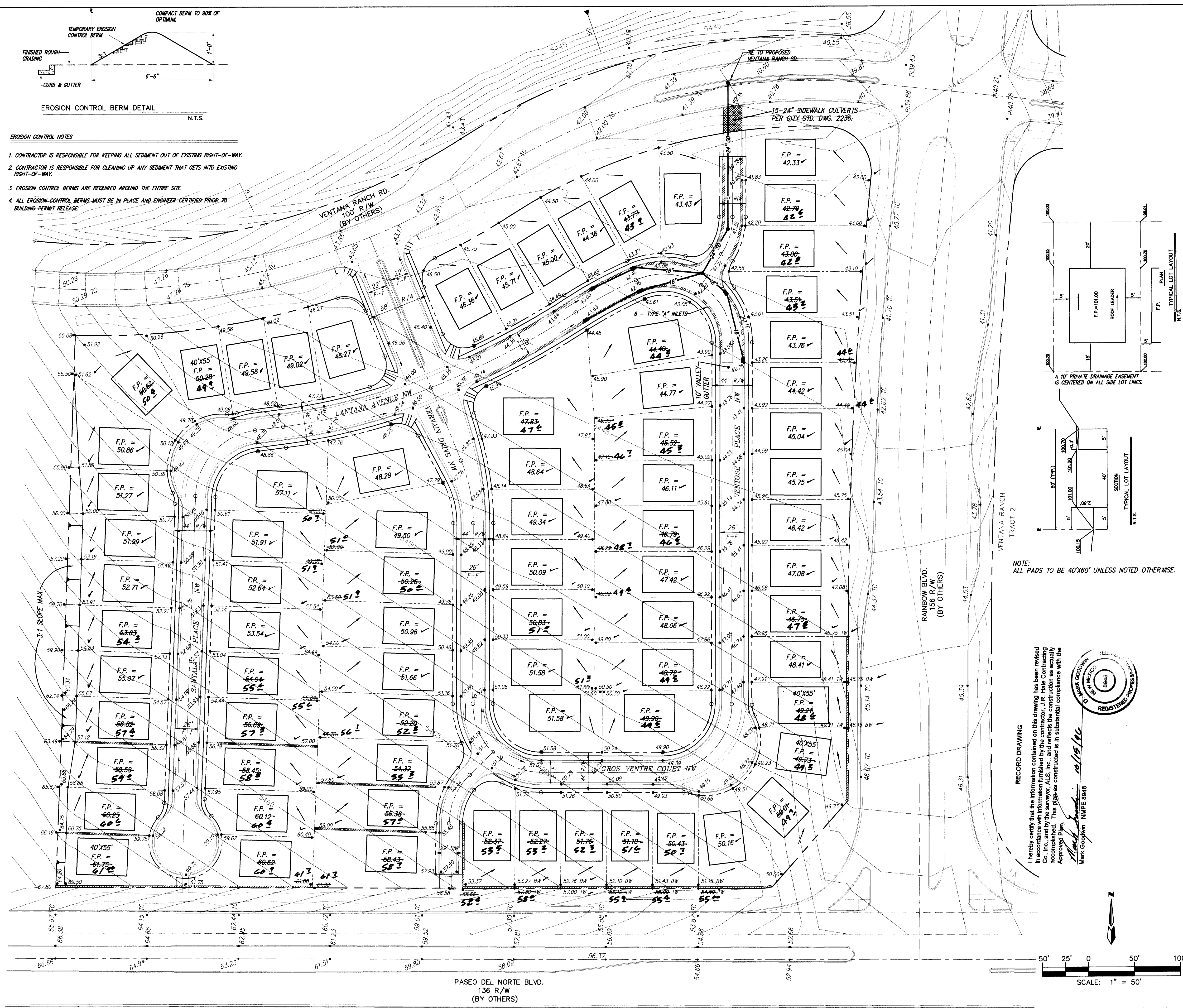
5. New Mexico Utilities, Inc., for installation, maintenance and service of such lines and other related equipment and facilities reasonably necessary to provide water and sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

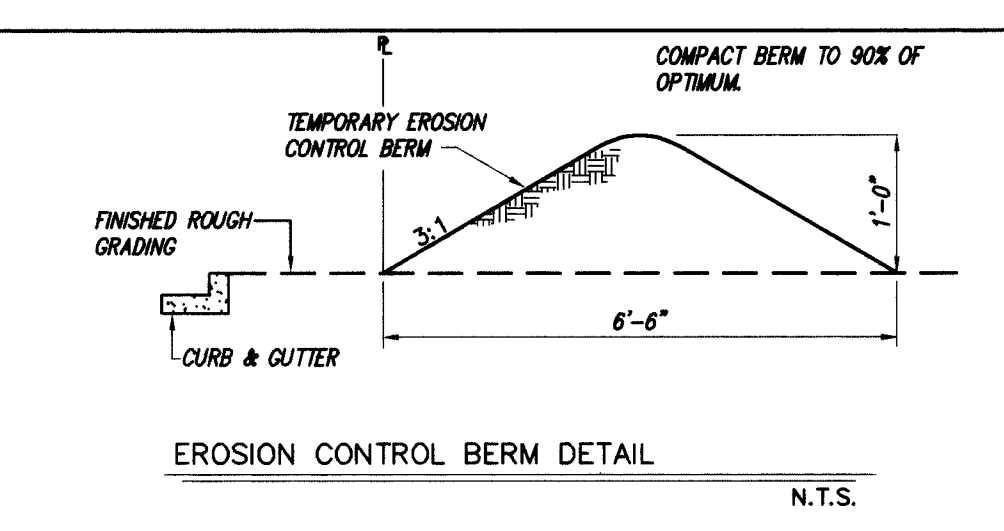
VENTANA POINTE

D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS & SURVEYORS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 345-2010			
Designed:	Drawn: BJC	Checked: ALS	Sheet 3 of 3
Scale: 1"=60'	Date: 2/96	Job: 96028	



EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
3. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
4. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



LEGAL DESCRIPTION

TRACT 1, VENTANA RANCH

- NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DTL. THIS SHT. AND METTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

- LEGEND**
- 51.35 - EXIST. CONTOUR
 - 10' - EXIST. TOP OF CURB
 - FL - EXIST. FLOWLINE
 - 0.00 X - EXIST. SPOT ELEV.
 - EXIST. CURB AND GUTTER
 - EXIST. CONCRETE/SIDEWALK
 - EXIST. SAS MANHOLE
 - EXIST. CABLE T.V. PEDESTAL
 - EXIST. WATER VALVE
 - EXIST. OVERHEAD ELECTRIC LINE
 - EXIST. OVERHEAD TELEPHONE LINE
 - EXIST. P.P.
 - EXIST. TEL. PEDESTAL
 - NEW RETAINING WALL
 - 21.01 TW - TOP OF WALL
 - 18.31 BW - BOTTOM OF WALL
 - FP = 30.38 - FINISHED PAD ELEV.
 - 23' - MOUNTABLE CURB & GUTTER
 - 25' - STANDARD 8" CURB & GUTTER
 - 28.53 - PROPOSED SPOT ELEV.
 - 3:1 SLOPE

DESIGNED BY		DATE		DESIGN	
DMG/DLH		02/96		DESIGN	
DRAWN BY		DATE		CHECKED BY	
DMG/MCG		02/96		DMG	
CITY PROJECT NO.		ZONE MAP NO.		SHEET OF	
540781		B9		4 14	

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VENTANA RANCH - TRACT 1
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

LAST DESIGN UPDATE MO./DAY/YR. MO./DAY/YR.

REVISIONS

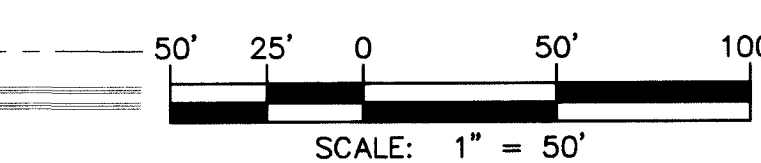
NO.	DATE	REMARKS
1	01/13/96	DESIGN

NOTE:
ALL PADS TO BE 40'X60' UNLESS NOTED OTHERWISE.

RECORD DRAWING

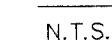
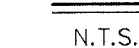
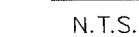
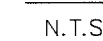
I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, J.R. Hale Contracting Co., Inc., and by the engineer, A.L.S. Engineering, Inc., and that the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin 01/13/96
Mark Goodwin, N.M.P.E. 8946

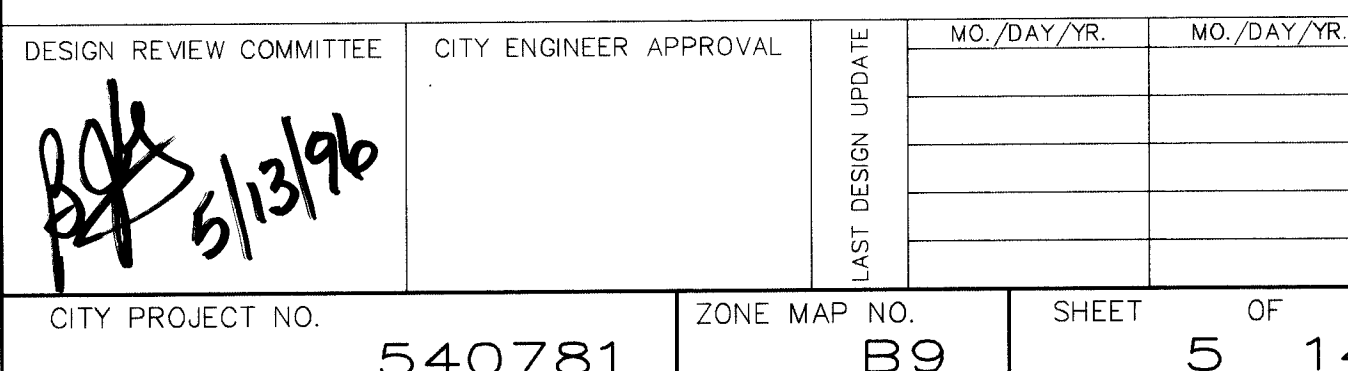


SCANNED BY LASON

VENT\GD50\4-29



- LEGEND



VENT\MPAVE

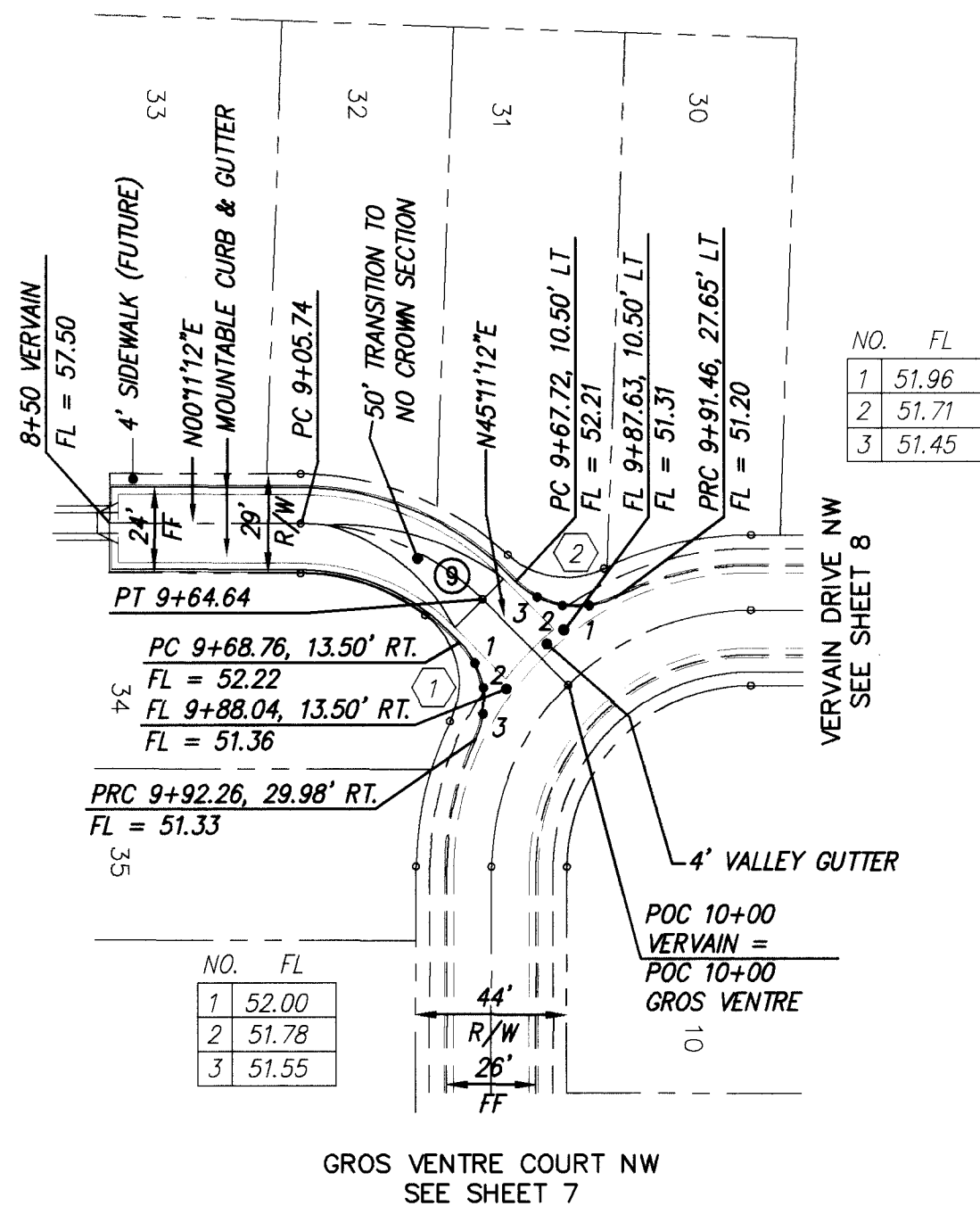
VENT\MPAVE 540781

540781	BS
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5 14

CURVE DATA - DESCRIBES FACE OF CURB

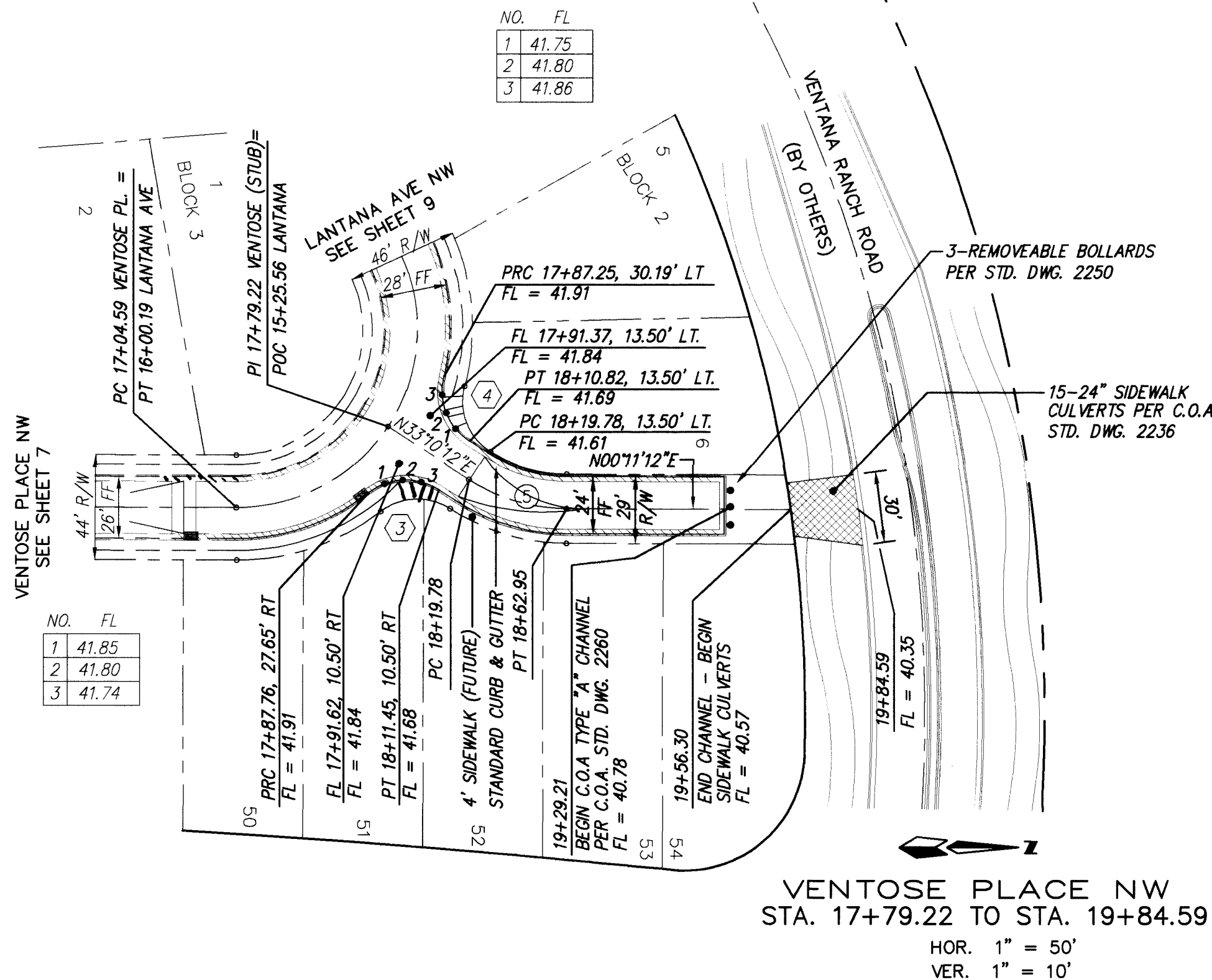
① $\Delta = 70^{\circ}04'48''$ R = 25.00' L = 30.58' T = 17.53'	② $\Delta = 71^{\circ}41'24''$ R = 25.00' L = 31.28' T = 18.06'	③ $\Delta = 71^{\circ}41'24''$ R = 25.00' L = 31.28' T = 18.06'	④ $\Delta = 70^{\circ}34'54''$ R = 25.00' L = 30.80' T = 17.70'
--	--	--	--



VERVAIN DRIVE NW
STA. 8+50 TO STA. 10+00
SCALE: HOR. 1" = 50'
VER. 1" = 10'

CL CURVE DATA

⑤ $\Delta = 45^{\circ}00'00''$ R = 75.00' L = 58.90' T = 31.07'	⑥ $\Delta = 32^{\circ}59'00''$ R = 75.00' L = 43.17' T = 22.20'
--	--



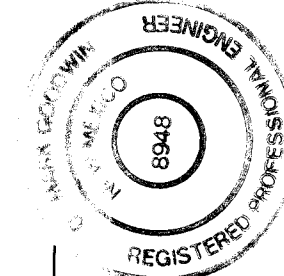
NOTES

- ALL STATIONING IS CENTERLINE STATIONING.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB PER C.O.A. STD. DWG. 2418.

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, J.R. Hale Contracting Co., Inc., and by the supervisor, A.L.S. Inc., and reflects the construction as actually completed. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin NMPE 8848
10/15/96



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5407.87 06.97

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VENTANA POINTE SUBDIVISION
PAVING IMPROVEMENTS: VERVAIN DRIVE 8+50 TO 10+00
PAVING IMPROVEMENTS: VENTOSE PLACE 17+79.22 TO 19+84.59

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

5/13/96

CITY PROJECT NO.

540781

ZONE MAP NO.

B9

SHEET

OF

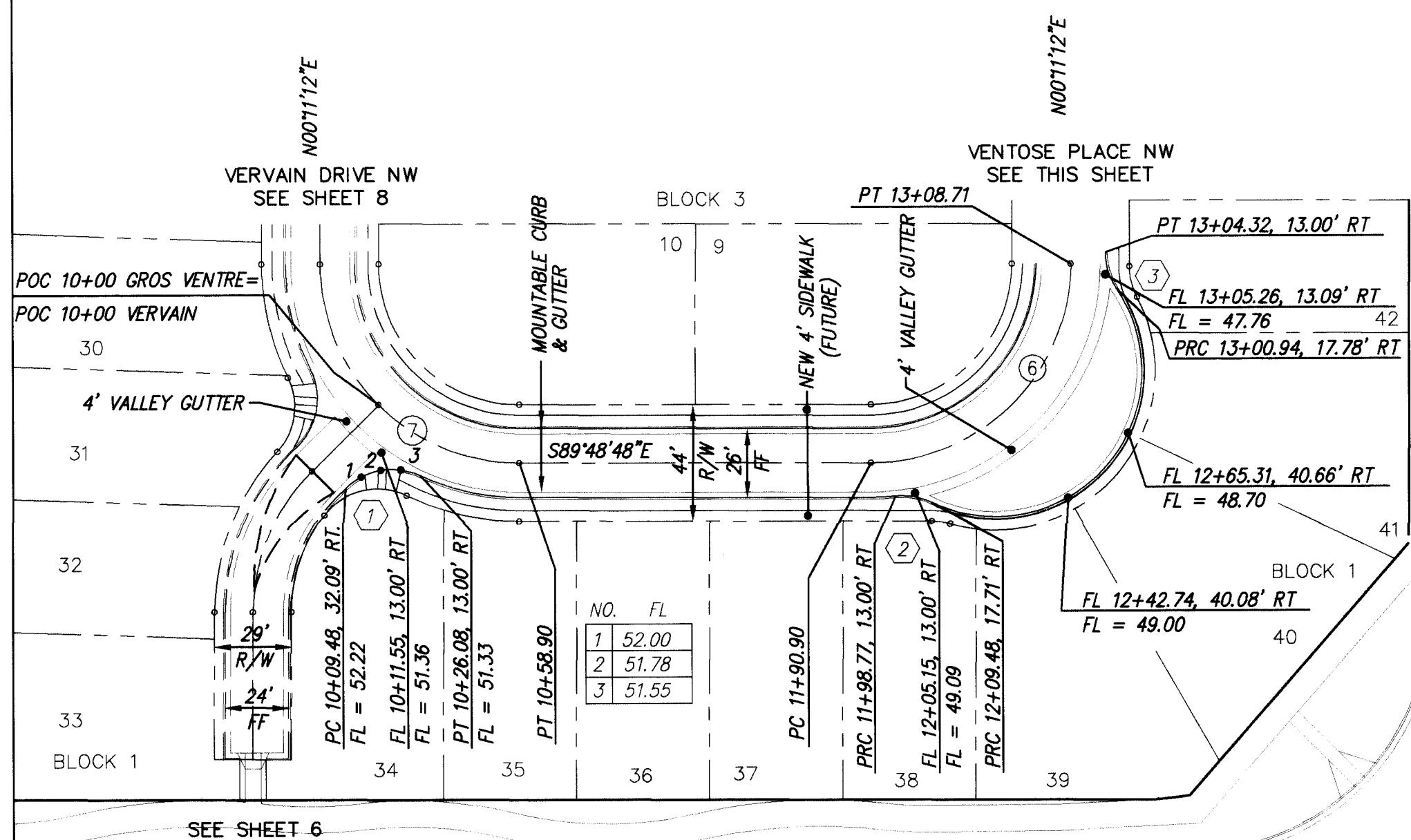
6 14

SCANNED BY
BY LASON

$$\begin{array}{lll} \textcircled{1} \Delta = 70^{\circ}04'48'' & \textcircled{2} \Delta = 31^{\circ}51'13'' & \textcircled{3} \Delta = 34^{\circ}02'04'' \\ R = 25.00' & R = 25.00' & R = 25.00' \\ L = 30.58' & L = 13.90' & L = 14.85' \\ T = 17.53' & T = 7.13' & T = 7.65' \end{array}$$

⑦ $\Delta = 45^{\circ}00'00''$ ⑥ $\Delta = 90^{\circ}00'00''$ ④ $\Delta = 51^{\circ}01'00''$
 $R = 75.00'$ $R = 75.00'$ $R = 75.00'$
 $L = 58.90'$ $L = 117.81'$ $L = 74.63'$
 $T = 31.07'$ $T = 75.00'$ $T = 40.74'$

1. ALL STATIONING IS CENTERLINE STATIONING.
2. ~~TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB PER C.O.A. STD. DWG. 2418~~ WILL BE WITHIN 10'.

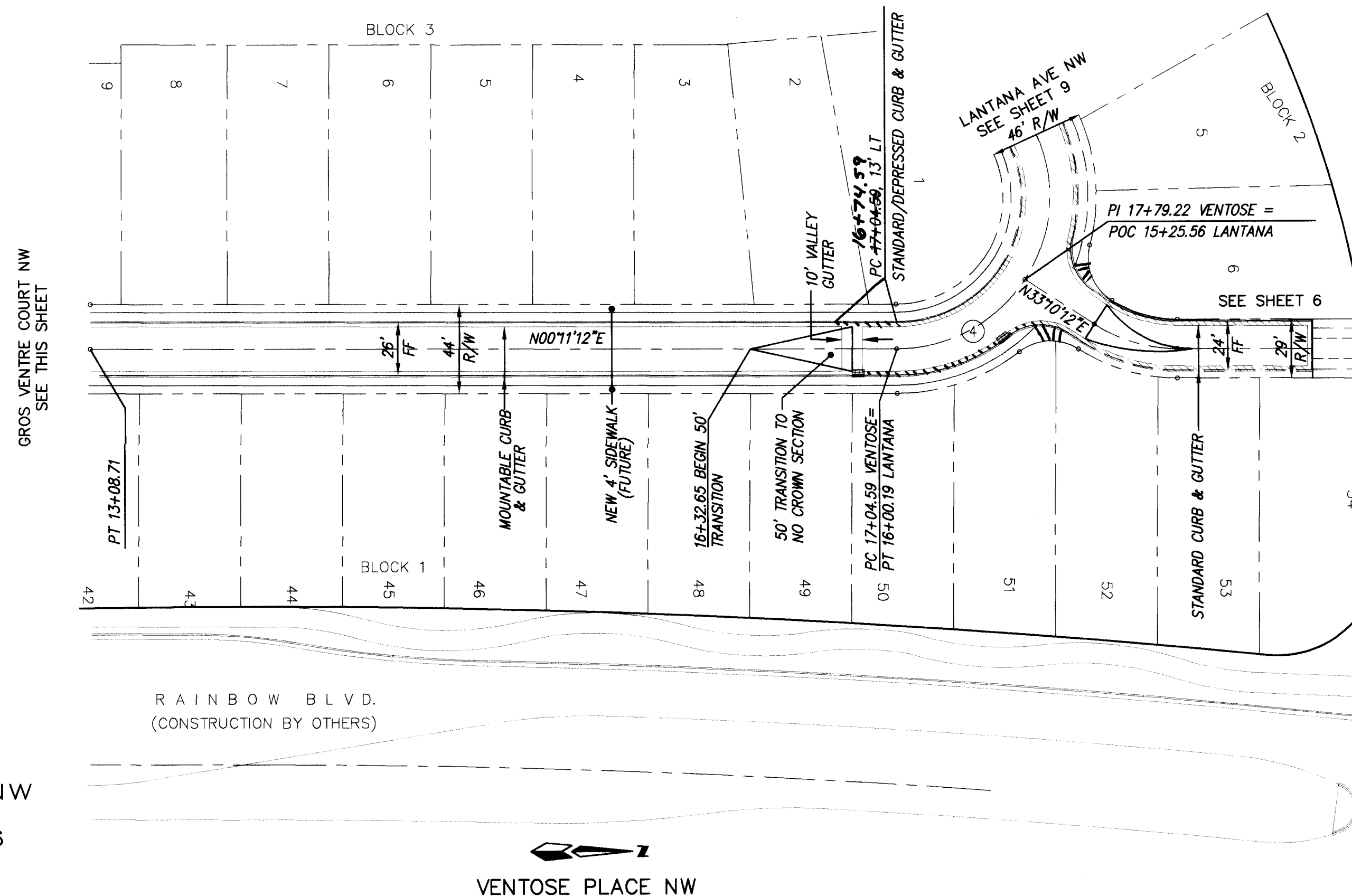


GROS VENTRE COURT NW

PASEO DEL NORTE BLVD.
136' R/W
(CONSTRUCTION BY OTHERS)

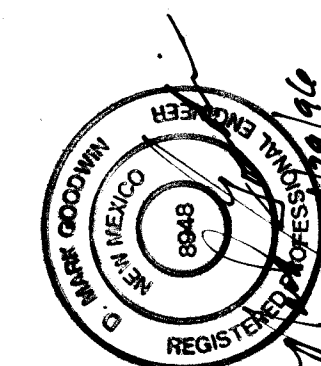
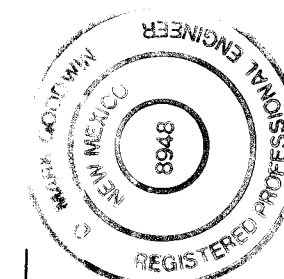
GROS VENTRE COURT NW
VENTOSE PLACE NW
STA. 10+00 TO STA. 15+25.56

SCALE: HOR. 1" = 50'
VER. 1" = 10'



RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, J.R. Hale Contracting Co., Inc., and by the surveyor, A.L.S. Inc., and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
2	6	-	5	4	0	7	.	8	1		0	7	9	.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE:

VENTANA POINTE SUBDIVISION
PAVING IMPROVEMENTS
CENTRE COURT NW AND VENTOSE PLACE NW

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

U	U
H	H
A	A
D	D
-	-
3	3
0	0
0	0
U	U
D	D
H	H
C	C

MO./DAY/YR

D./D

AY/

CITY PROJECT NO. _____

ZONE MAP NO.

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OF

6028VENT\6028-PP3

B.

9

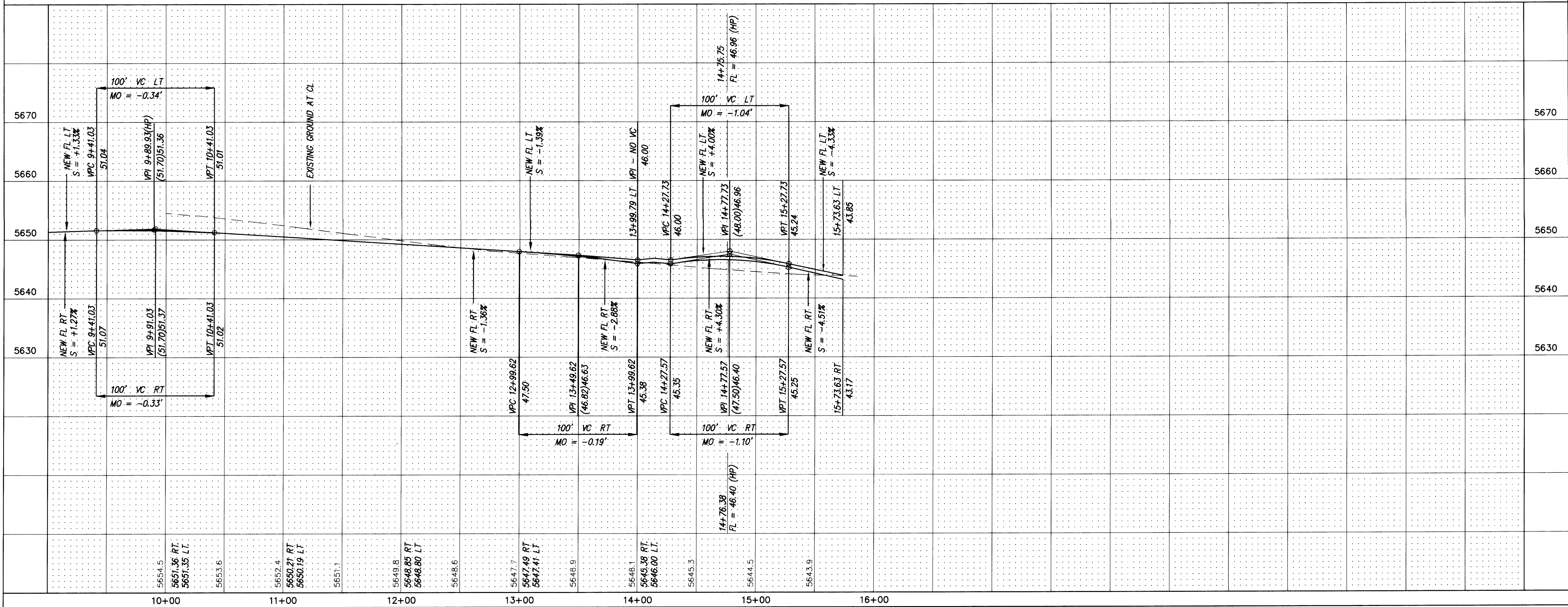
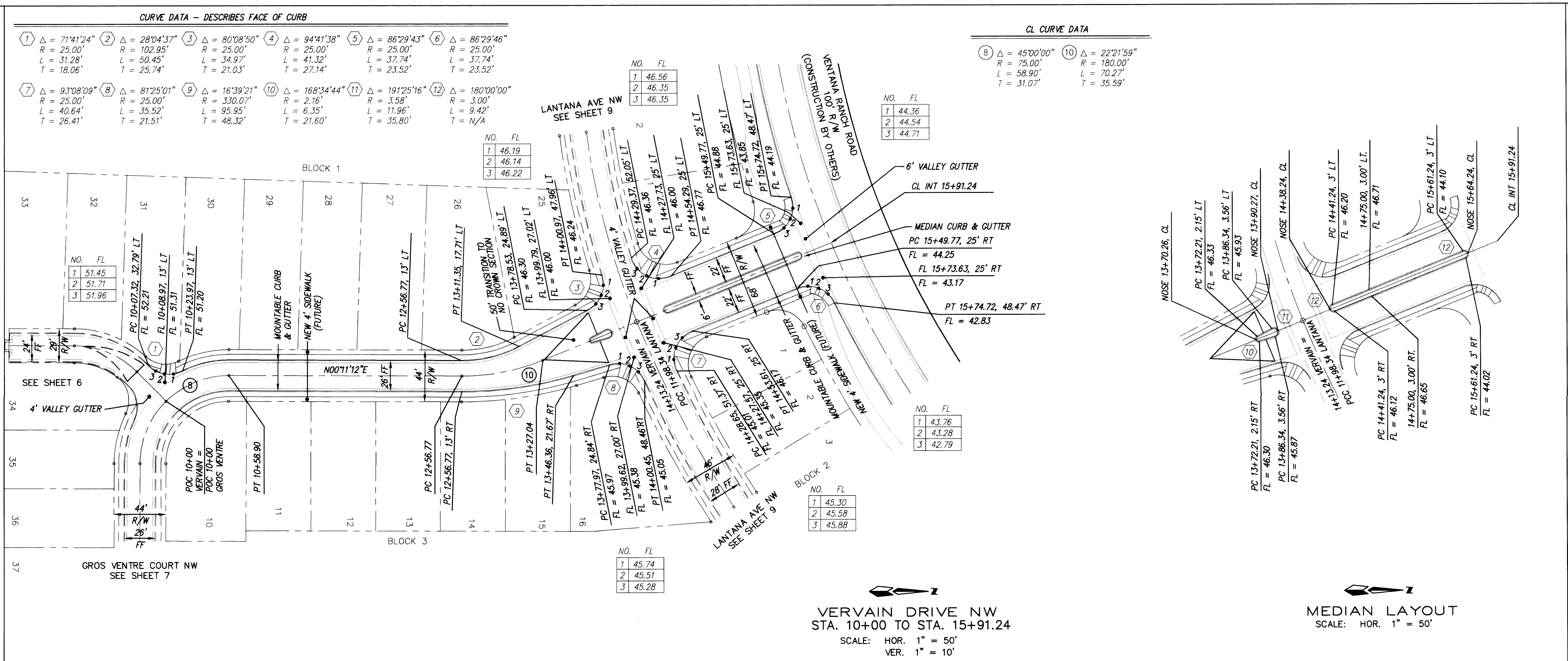
1

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7

1.

SCANNED BY
BY LASON



NOTES

- ALL STATIONING IS CENTERLINE STATIONING.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB PER C.O.A. STD. DWG. 2418.

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, J.R. Hale Contracting Co., Inc., and by the surveyor, A.L.S. I warrant that the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin NPE 8846

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP

TITLE: VENTANA POINTE SUBDIVISION PAVING IMPROVEMENTS VERVAIN DRIVE NW

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

DESIGNED BY DMG/DLH DATE 3/96

DRAWN BY STAFF DATE 3/96

CHECKED BY DMG DATE 3/96

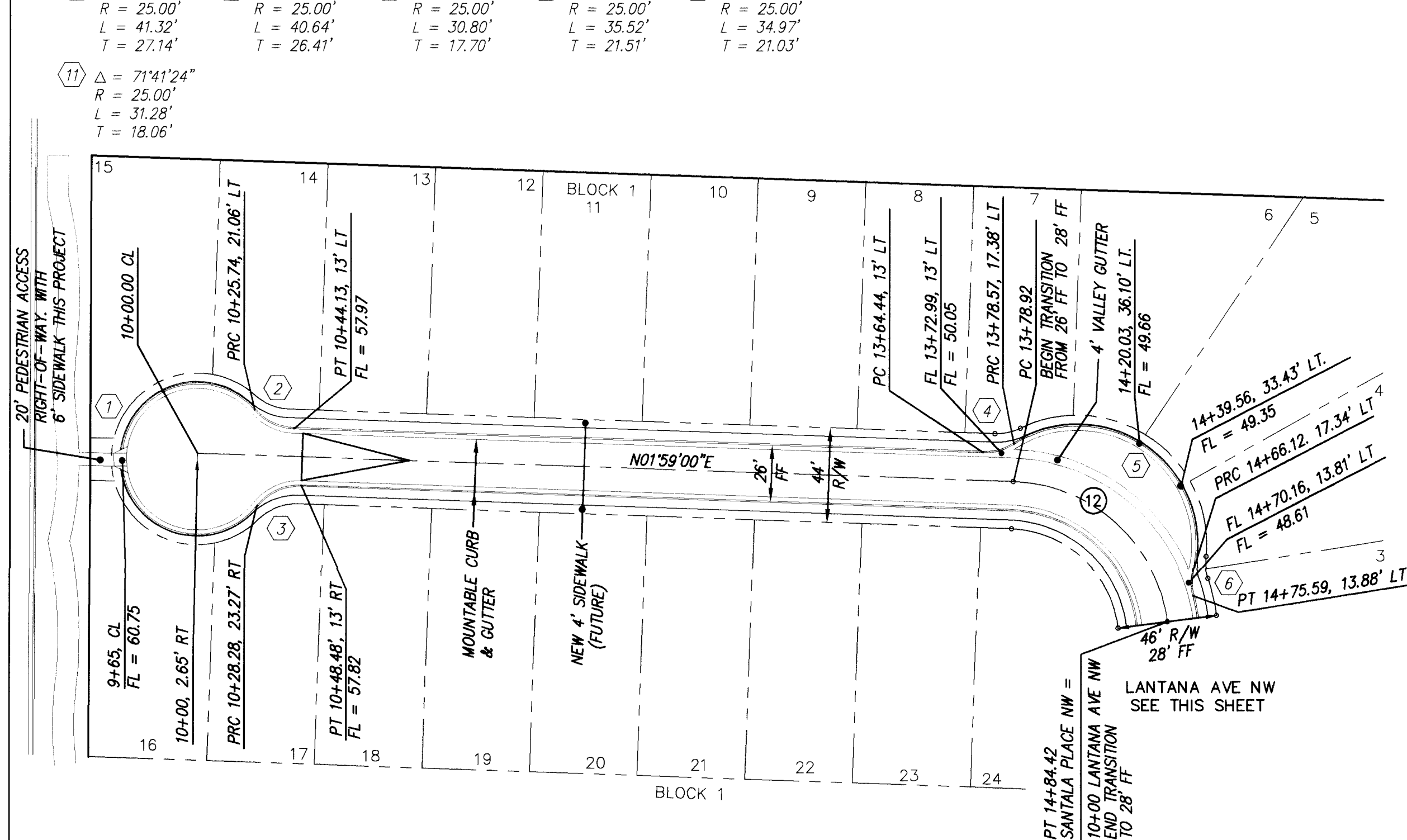
CITY PROJECT NO. 540781 ZONE MAP NO. B9 SHEET 8 OF 14

CURVE DATA - DESCRIBES FACE OF CURB

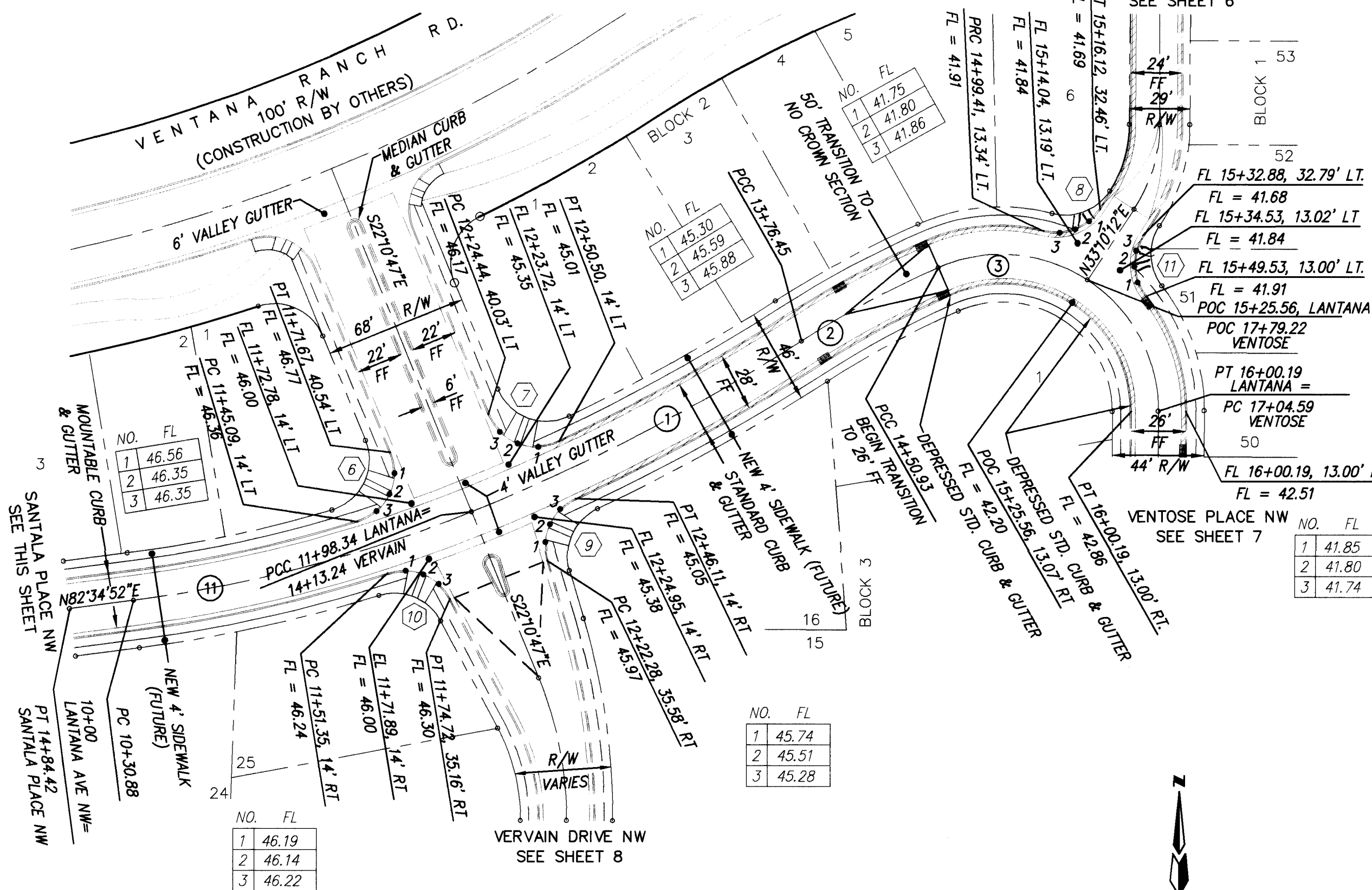
CL CURVE DATA

1	$\Delta = 281'15.11"$ R = 35.00' L = 171.81' T = N/A	2	$\Delta = 47'20.50"$ R = 25.00' L = 20.66' T = 10.96'	3	$\Delta = 53'54.22"$ R = 25.00' L = 23.52' T = 12.71'	4	$\Delta = 34'24.41"$ R = 25.00' L = 15.01' T = 7.74'	5	$\Delta = 135'15.21"$ R = 55.00' L = 129.84' T = 133.62'
6	$\Delta = 94'41.38"$ R = 25.00' L = 41.32' T = 27.14'	7	$\Delta = 93'08.09"$ R = 25.00' L = 40.64' T = 26.41'	8	$\Delta = 70'34.54"$ R = 25.00' L = 30.80' T = 17.70'	9	$\Delta = 81'25.01"$ R = 25.00' L = 35.52' T = 21.51'	10	$\Delta = 80'08.50"$ R = 25.00' L = 34.97' T = 21.03'

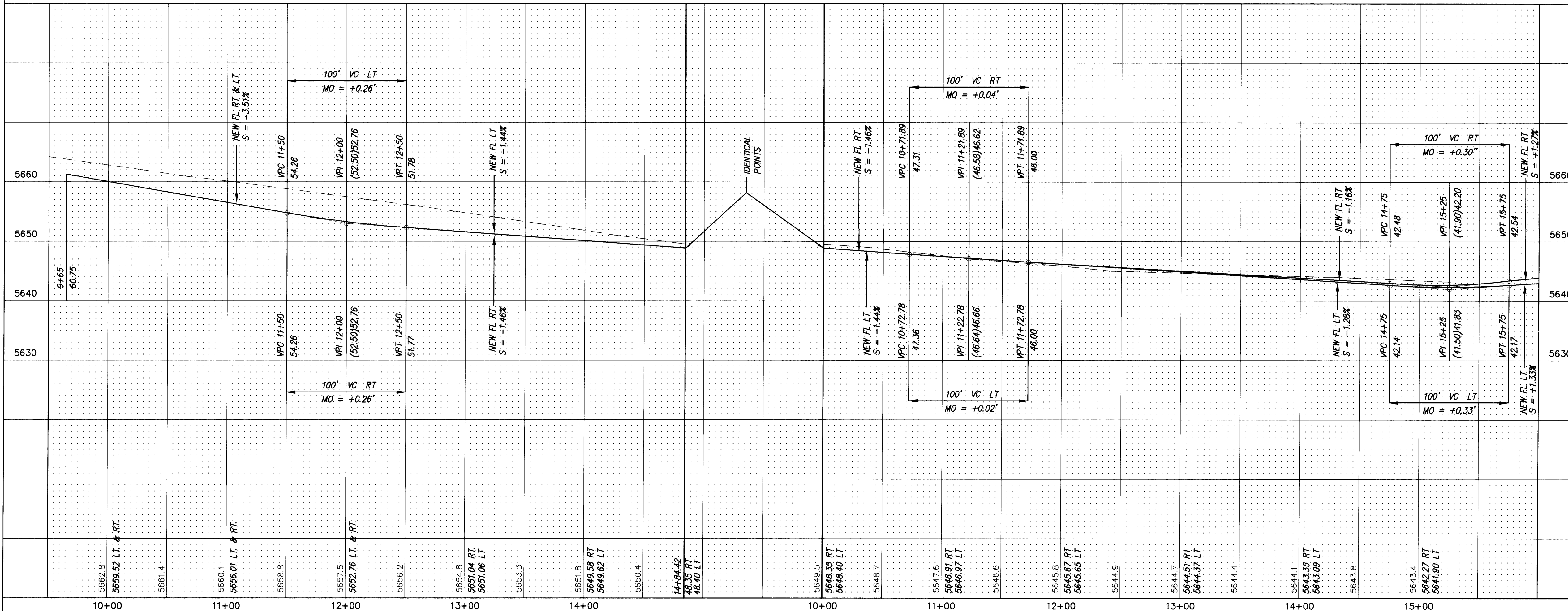
12	$\Delta = 80'35.52"$ R = 75.00' L = 105.50' T = 63.60'	11	$\Delta = 14'45.40"$ R = 650.00' L = 167.46' T = 84.20'	1	$\Delta = 10'42.30"$ R = 953.00' L = 178.11' T = 89.32'	2	$\Delta = 9'02.30"$ R = 472.00' L = 74.48' T = 37.32'	3	$\Delta = 57'01.00"$ R = 75.00' L = 74.63' T = 40.74'
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SANTALA PLACE NW
STA. 9+50 TO STA. 14+84.42
SCALE: HOR. 1" = 50'
VER. 1" = 10'



LANTANA AVENUE NW
STA. 10+00.00 TO STA. 15+25.56
SCALE: HOR. 1" = 50'
VER. 1" = 10'



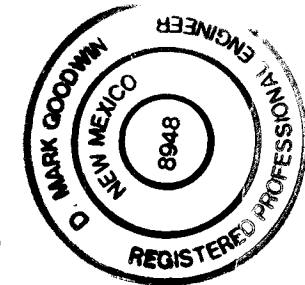
NOTES

- ALL STATIONING IS CENTERLINE STATIONING.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB PER C.O.A. STD. DWG. 2418.

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, and that the contractor has accepted and approved this plan as constructed in substantial compliance with the approved plan.

Mark Goodwin NAFPE 6946



26-5407.81 09997

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VENTANA POINTE SUBDIVISION
PAVING IMPROVEMENTS
SANTALA PLACE NW AND LANTANA AVENUE NW

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

5/13/96

CITY PROJECT NO.

540781

ZONE MAP NO.

B9

SHEET

9 14

SCANNED BY
BY LASON

6028VENT\6028-PPI



- NOTES
1. TRAFFIC BEARING WATER METER BOX REQUIRED WHERE INSTALLED IN SIDEWALK.
 2. ALL WATER METERS TO BE INSTALLED BEHIND CURB.
 3. ALL VALVES TO BE LOCATED IN ASPHALT PAVING.
 4. ALL FIRE HYDRANTS SHALL BE VALVED.

RECORD DRAWING

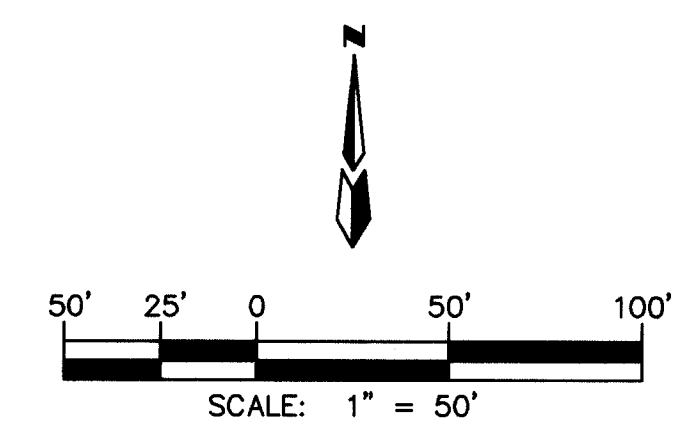
I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, J.R. Hale Contracting Co., Inc., and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin, NMPE 8943

26-5407-81 1097

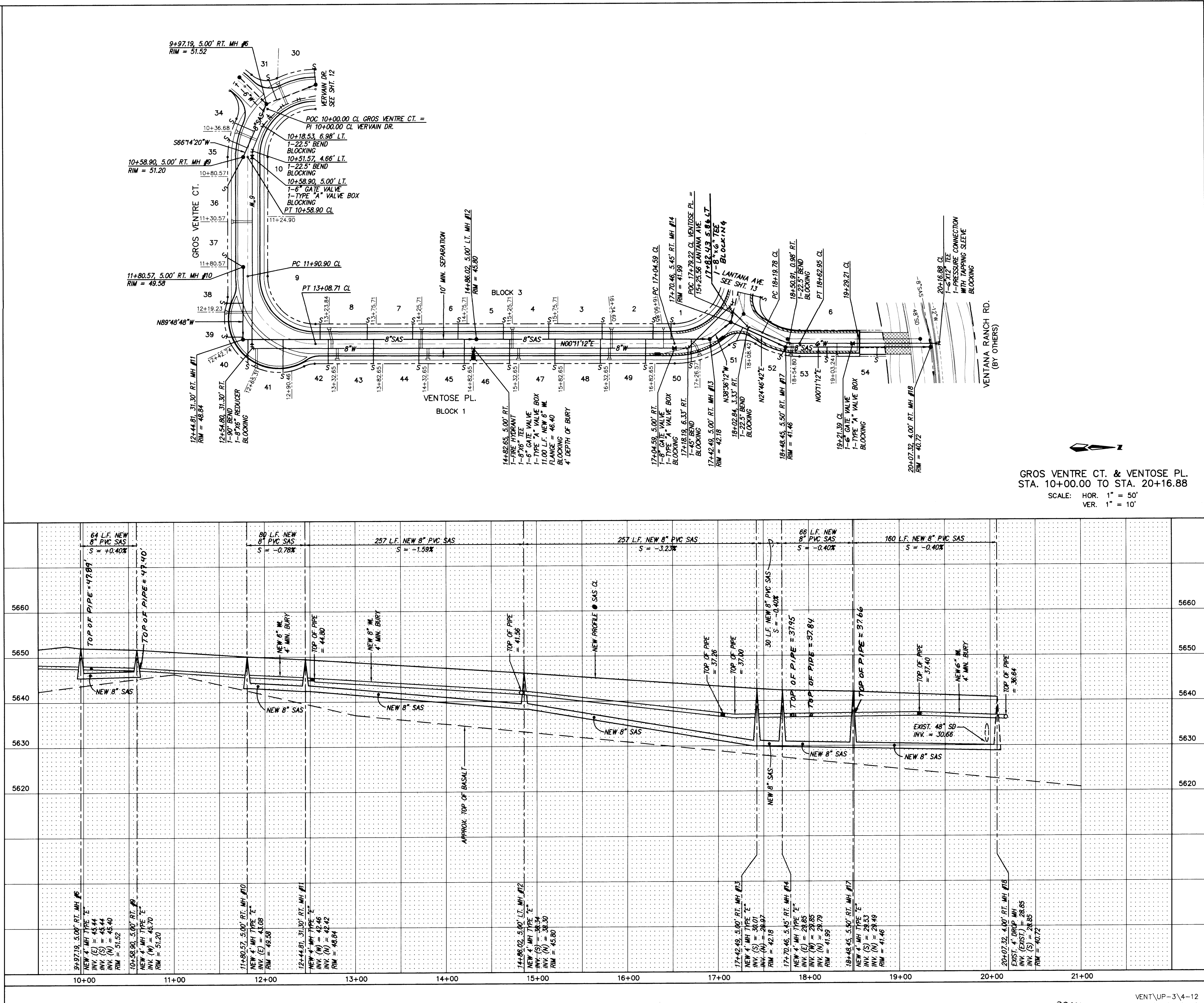
LEGEND:

- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW FIRE HYDRANT
- DOUBLE WATER SERVICE
- SINGLE WATER SERVICE
- SANITARY SEWER SERVICE
- NEW 4" MH #4
- LOT 19
- GATE VALVE
- TEE
- BEND
- DROP INLET
- STREET ADDRESS



D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS & SURVEYORS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 345-2010	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: VENTANA POINTE SUBDIVISION MASTER UTILITY PLAN	
DESIGN REVIEW COMMITTEE B.G.B. 5/13/96	CITY ENGINEER APPROVAL
CITY PROJECT NO. 540781	ZONE MAP NO. B9
SHEET 10 OF 14	

SURVEY INFORMATION				BENCH MARKS			
FIELD NOTES		DATE		STATION MARK IS A STANDARD ACS BRASS TABLET, STAMPED		AS BUILT INFORMATION	
NO.	BY	NO.	DATE	7-BIT SET IN TOP OF A CONCRETE POST FLUSH WITH GROUND.	CONTRACTOR	CONTRACTOR	DATE
				X = 357,528.89	J.R. Hale	J.R. Hale	DATE
				Y = 1,525,168.35	INSPECTOR'S	INSPECTOR'S	DATE
				Z = 5419.522	FIELD	FIELD	DATE
					VERIFICATION BY	VERIFICATION BY	DATE
					CORRECTED BY	CORRECTED BY	DATE
					MICRO-FILM INFORMATION		
					RECORDED BY	RECORDED BY	DATE
					NO.	NO.	DATE



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

SANITARY SEWER SERVICES					
LOT	STA.	INV. ELEV. PL	LENGTH PL	INV. ELEV. M.H.	
BLK. 1	34	10+27	48	25'	N/A
	35	10+47	48	20'	N/A
	36	10+91	48	35'	46.03
	37	11+71	46	20'	43.41
	38	12+09	45	20'	N/A
	39	12+33	45	15'	N/A
	40	12+55	45	30'	N/A
	41	12+80	44	40'	N/A
	42	13+23	43	30'	N/A
	43	13+73	42	30'	N/A
BLK. 3	44	14+23	42	30'	N/A
	45	14+73	41	30'	N/A
	46	15+23	41	30'	N/A
	47	15+73	40	30'	N/A
	48	16+23	39	30'	N/A
	49	16+73	39	30'	N/A
	50	17+17	39	25'	N/A
	51	17+98	38	15'	N/A
	52	18+45	38	10'	29.86
	53	18+93	37	10'	N/A
54	19+48	37	10'	N/A	

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with the information furnished by the contractor, J.P. Hale, and reflects the construction as completed. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin, NMPE 8948

26-5407-811197

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VENTANA POINTE SUBDIVISION
UTILITY IMPROVEMENTS
GROS VENTRE COURT AND VENTOSE PLACE

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL

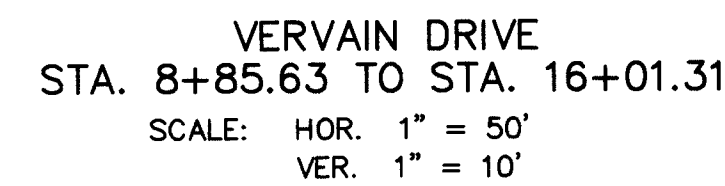
DESIGNED BY: DMG/DLH DATE: 03/96
DRAWN BY: DBC DATE: 03/96
CHECKED BY: DMG DATE: 03/96

CITY PROJECT NO. 540781

ZONE MAP NO. B9

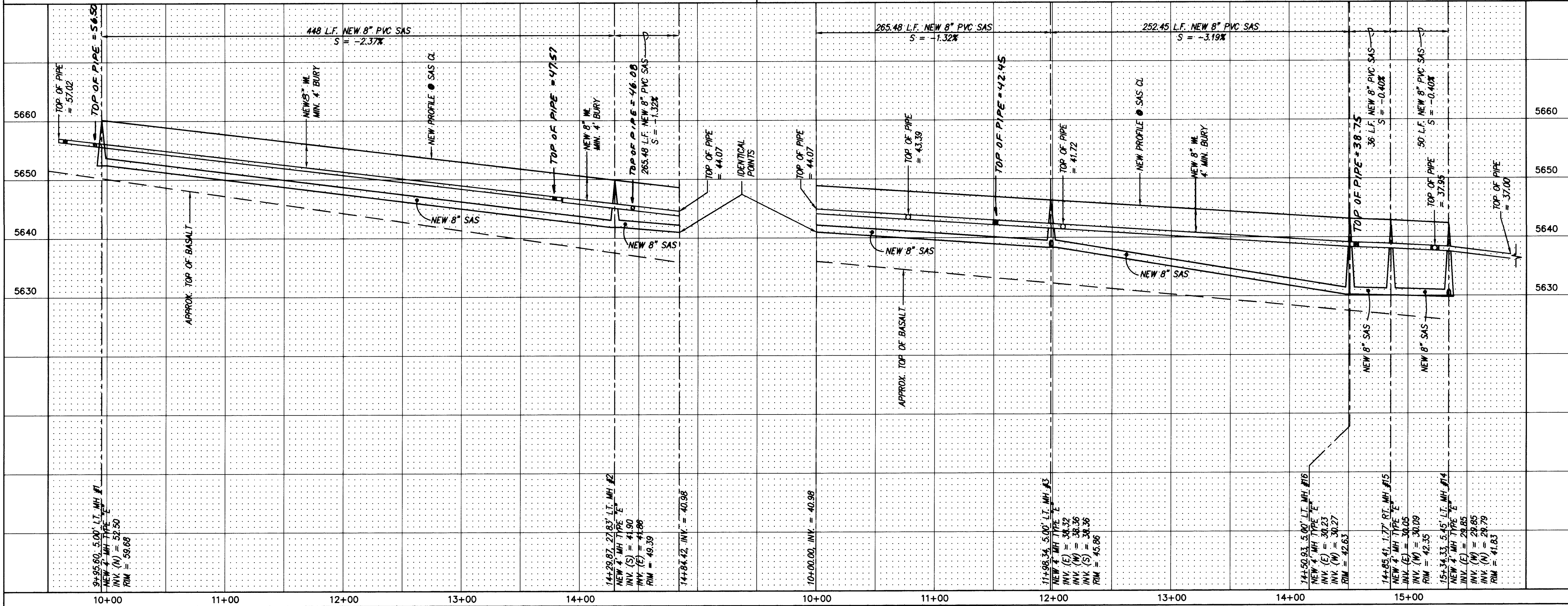
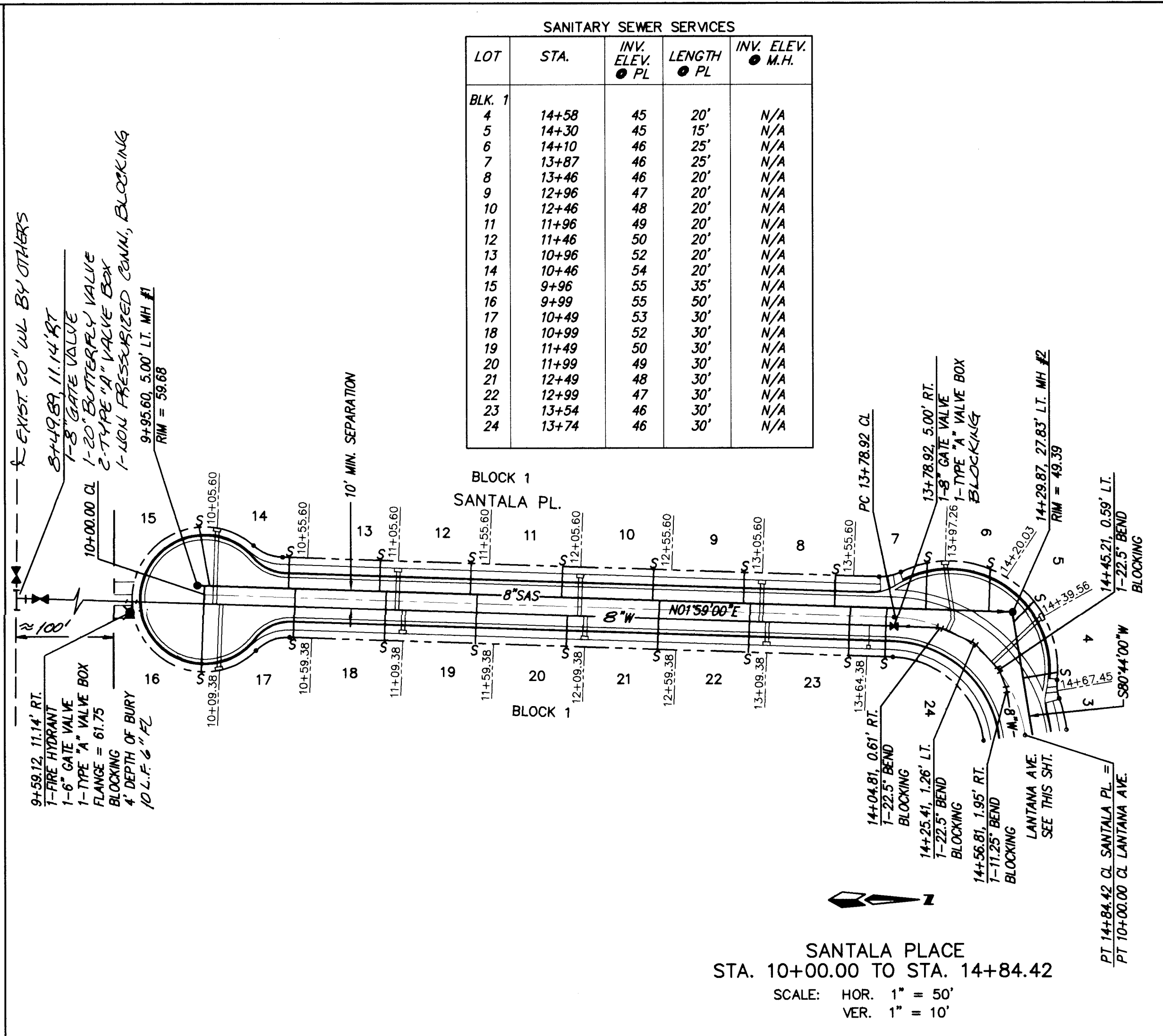
SHEET 11 OF 14

SCANNED BY LASON



1. ELEV. M.H.		50.16 N/A N/A 44.77 N/A N/A N/A N/A N/A		AS BUILT INFORMATION CONTRACTOR WORKED BY INSPECTOR'S ACCEPTANCE BY VERIFICATION BY DRAWINGS SUBMITTED BY MICRO-FILM INFORMATION DATE DATE DATE DATE DATE DATE		J.P. Hulse ALS N/A ALS N/A N/A N/A N/A		BENCH MARKS STATION MARK IS A STANDARD ACS BRASS TABLET, STAMPED "1-B10", SET IN TOP OF A CONCRETE POST FLUSH WITH GROUND. X = 357,526.69 Y = 1,525,168.35 Z = 5419.522		SURVEY INFORMATION FIELD NOTES NO. BY DATE NO. BY DATE NO. BY DATE NO. BY DATE NO. BY DATE		ENGINEER'S SEAL 		NO. DATE REMARKS BY NO. DATE REVISIONS NO. DATE DESIGN DESIGNED BY DMG/DLH DATE 03/96 DRAWN BY DBC DATE 03/96 CHECKED BY DMG DATE 03/96	
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SCANNED BY
BY LASON



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with the information furnished by the contractor, J.R. Hale Contracting Co., Inc. and with the approval of A.L.S. Inc. and reflects the construction as actually accomplished. This plan is constructed in substantial compliance with the Approved Plan.

Mark Goodwin
NINPE 8948

26-5407.811397

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

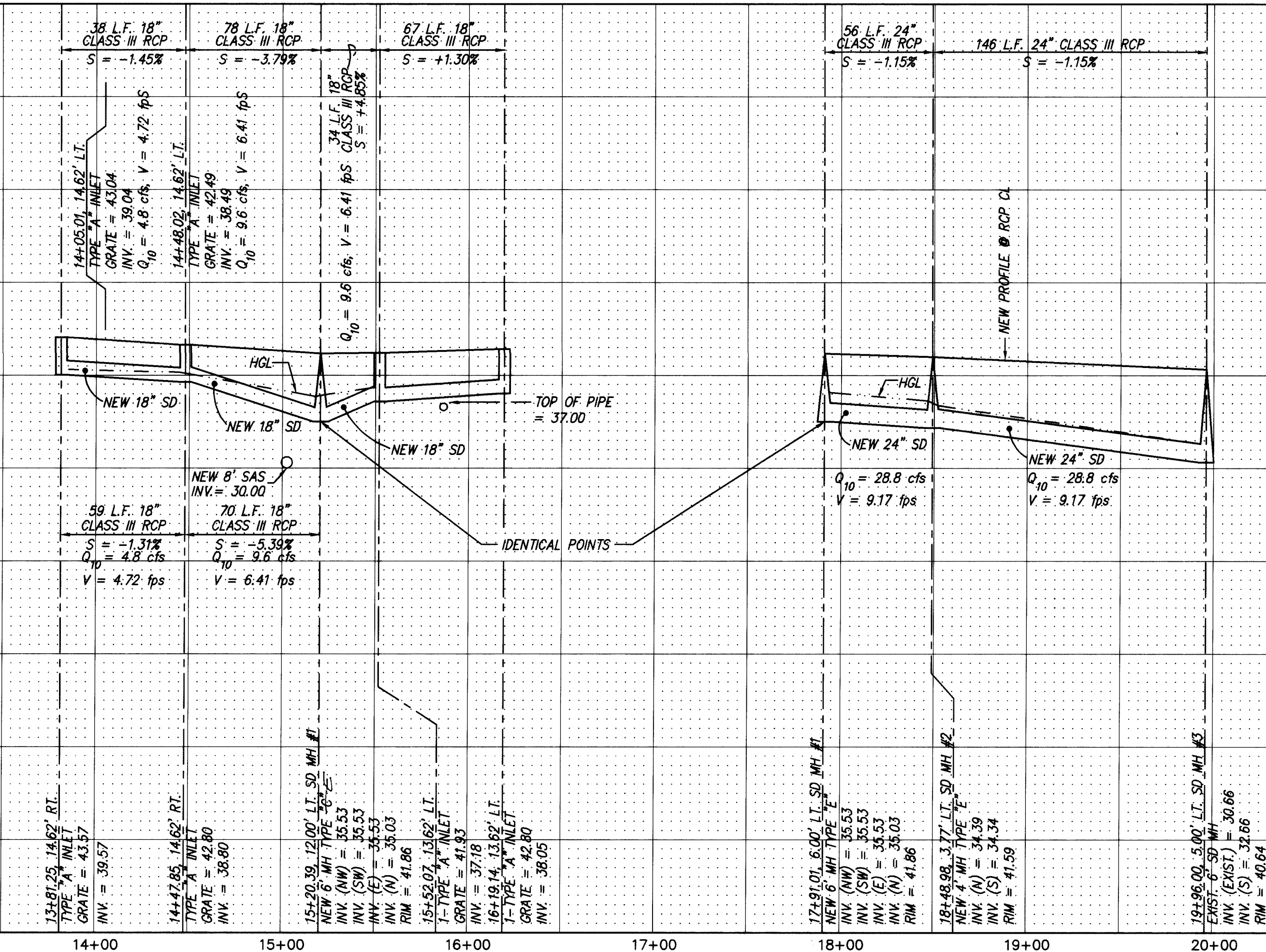
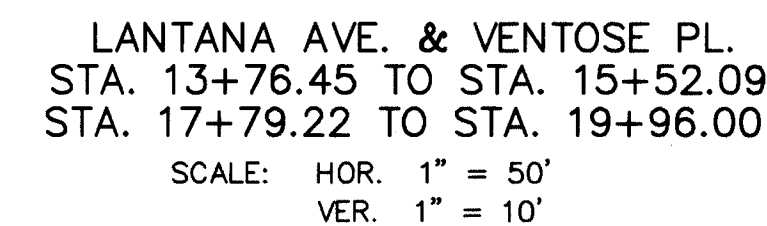
TITLE: VENTANA POINTE SUBDIVISION
UTILITY IMPROVEMENTS
SANTALA PLACE AND LANTANA AVENUE

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

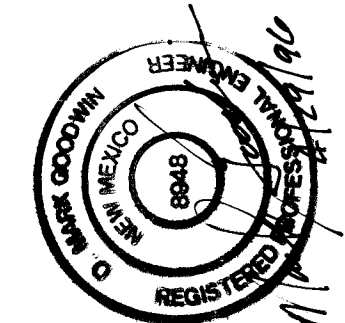
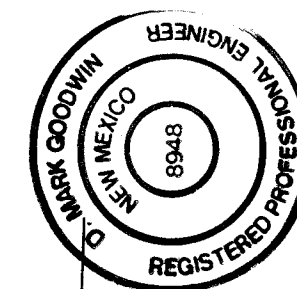
MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. 540781 ZONE MAP NO. B9 SHEET 13 OF 14



1. ALL STATIONING IS CENTERLINE STATIONING.
2. 10' VALLEY GUTTER TO HAVE 3/4" INVERT.

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, J.R. Hale Contracting Co., Inc. and by the surveyor, A.L.S. Inc., and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

[illegible]

TITLE: VENTANA POINTE SUBDIVISION
STORM DRAIN IMPROVEMENTS
LANTANA AVENUE

DESIGN REVIEW COMMITTEE

E	CITY ENGINEER APPROVAL
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LAST DESIGN UPDATE

MO./DAY/YR.	MO./DAY/YR.
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CITY PROJECT NO.

540781

ZONE MAP NO.

SHEET	OF
14	14

SCANNED BY
BY LASON

VENT\SDP-1