

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-5440-84-2014

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY ENGINEER
DATE: 2-20-2014

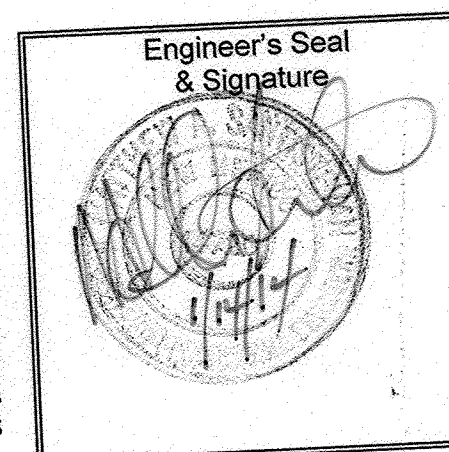
CONSTRUCTION PLANS FOR PLAZA AT SAN MATEO ALBUQUERQUE, NEW MEXICO

INDEX

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1	COVER SHEET
2A	SITE PLAN FOR BUILDING PERMIT
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CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Matthew A. Santistevan of the firm of Bohannon Huston, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as shown on these drawings (Plaza at San Mateo) has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications and that the original design intent of the approved plans has been met, except as noted by me on the drawings. This Certification is based on the survey information provided by the contractor, Jaymes Corporation and their surveyor, Brian J. Martinez, NMPS #18374.



SURVEYOR'S CERTIFICATION
I, BRIAN J. MARTINEZ, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, AND THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORDED DRAWINGS.

B. J. Martinez 12-18-13
BRIAN J. MARTINEZ, NMPS 18374



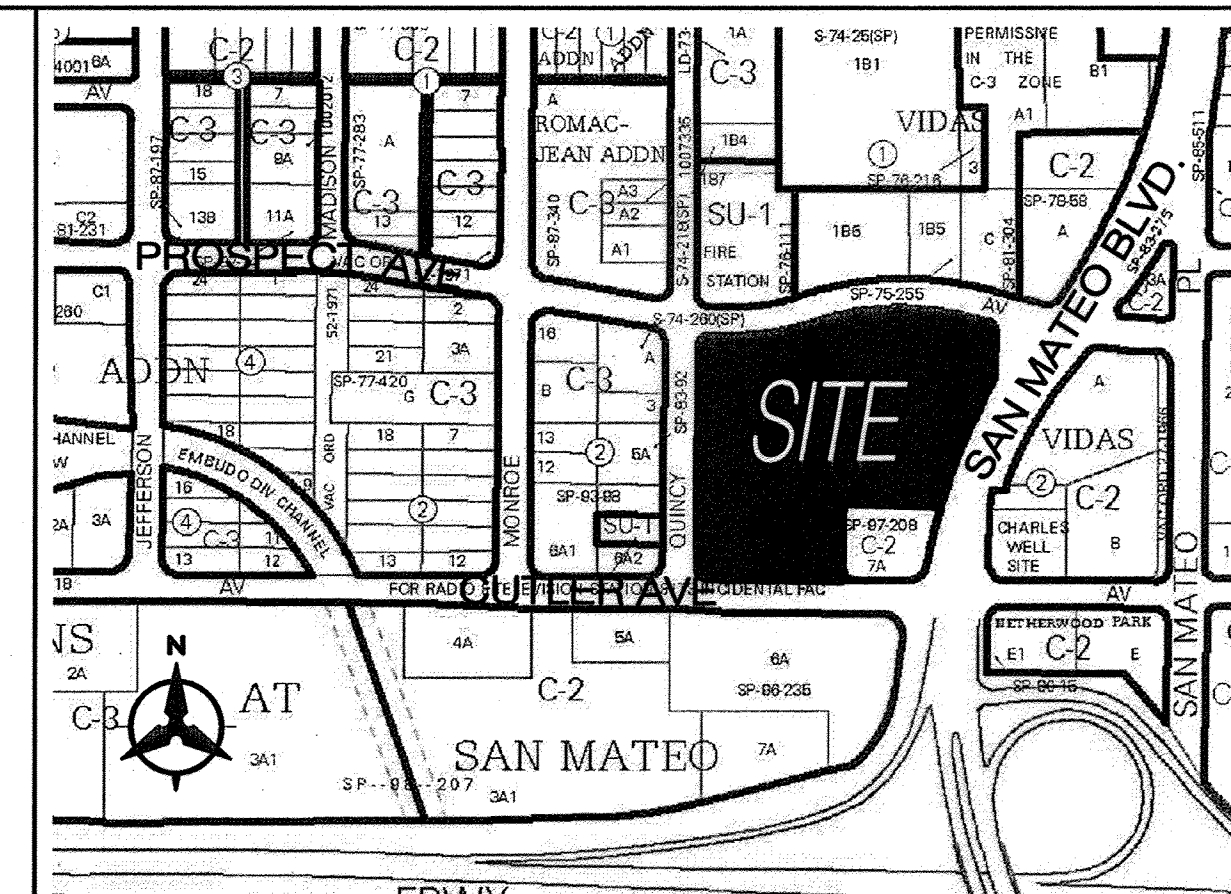
CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
4. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
6. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
7. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
10. ALL PERMANENT PAVEMENT MARKING AND TRAFFIC SIGNING SHALL BE FURNISHED AND PLACED BY THE CONTRACTOR PER PLAN.

11. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE, DMD CONSTRUCTION COORDINATION DIVISION, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
15. WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1' WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER THE STANDARD SPECIFICATIONS.
16. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.

17. AN SO 19 PERMIT IS REQUIRED TO PLACE ANY MATERIAL ON OR AROUND A STORM DRAIN INLET IN THE CITY RIGHT-OF-WAY THAT WOULD INTERFERE WITH THE INLET RECEIVING STORM WATER PER THE ENGINEER'S DESIGN. CITY PERSONNEL MAY REMOVE THIS MATERIAL AT ANY TIME WITHOUT NOTICE. THE PREFERRED BMP IS TO REMOVE SEDIMENT/POLLUTANTS ON THE PROPERTY WHERE CONSTRUCTION ACTIVITY IS OCCURRING.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.



VICINITY MAP
H-17

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMITS WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK EFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY ABQWA FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT <http://abcwa.org/content/view/full/463/729/>.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

DRB #1002650

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman	Supraball	8/16/13	 City Engineer Date 11/14/2013		
		Transportation	Alm	8/12/13			
		Water/Wastewater	Summitt	8-12-13			
		Hydrology	Alm	8/12/13			
		Parks					
		Const. Coord.					
City Project No.		544084		Sheet 1 of 6			

Bohannon & Huston

GENERAL SHEET NOTES

- SEE CIVIL PLANS FOR GRADING, DRAINAGE, UTILITY AND CURB CUT LOCATIONS INFO.
- PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- BUS ROUTE #140 AND 141 RUNS ALONG BALLOON FIESTA PARKWAY & SAN MATEO DRIVE NE. TRANSIT STOPS ARE LOCATED WITHIN 800 FEET OF THE DEVELOPMENT.
- SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- THERE ARE NO EXISTING STRUCTURES WITHIN 20' OF SITE.
- AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.
- ROOF DRAINS ON WEST SIDE OF BED BATH & BEYOND / BUY BUY BABY BUILDING WILL DRAIN TO QUINCY STREET THROUGH SIDEWALK CULVERTS. FINAL LOCATION OF THE SIDEWALK CULVERTS TO BE DETERMINED AT BUILDING PERMIT.

KEYED NOTES

- PROPERTY LINE.
- BUILDING SETBACK.
- LANDSCAPED AREA; SEE LANDSCAPE PLAN FOR EXACT CALCULATIONS.
- EXISTING LANDSCAPE; SEE LANDSCAPE PLAN.
- EXISTING FIRE HYDRANT, SEE CIVIL.
- RETAINING WALL WITH 42" STEEL FENCE, SEE DETAIL 6 ON SHEET 5b.
- BUS STOP / SHELTER, 5W x 20L, TYPE C AS PER CITY OF ABQ. DESIGN STANDARD 2355 WITH ASSOCIATED BENCH AND TRASH CAN.
- EXISTING CONCRETE SIDEWALK.
- CONCRETE SIDEWALK.
- 6'-0" WIDE CONCRETE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING; SEE SHEET 6 DETAIL B5.
- STEEL BIKE RACK WITH FIVE BICYCLE SPACES; SEE SHEET 6 DETAIL B2.
- ASPHALT PAVING.
- CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES; SEE SHEET 6 DETAIL B4.
- EXISTING CONCRETE CURB AND GUTTER.
- CONCRETE CURB.
- CONCRETE APRON.
- REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; SEE SHEET 6 DETAIL A4.
- CONCRETE SLAB FOR REFUSE ENCLOSURE.
- CONCRETE SLAB LOADING DOCK FOR DELIVERY TRUCKS AND TRASH COMPACTOR.
- TRASH COMPACTOR FOR SOLID WASTE DISPOSAL.
- 10' HIGH LOADING DOCK SCREEN WALL, SEE SHEET 5d ELEVATION 2B.
- TRASH DUMPSTER ON CONCRETE PAD (FOR CARDBOARD), TENANT WILL CONTRACT WITH PRIVATE SOLID WASTE COMPANY FOR DUMPSTER AND PERIODIC REMOVAL.
- POLE MOUNTED MOTORCYCLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- MOTORCYCLE PARKING, 4'W x 8'L, MINIMUM.
- PAINTED ACCESSIBLE PAVEMENT SYMBOL.
- POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- CONCRETE WHEEL STOP.
- PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
- PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.
- POLE MOUNTED PARKING LOT LIGHT, 20' MAX HEIGHT ABOVE FINISH GRADE; SEE SHEET 6 DETAIL A5.
- EXISTING LIGHT POLE.
- 2'-0" CONCRETE SIDEWALK TO BE ADDED TO EXISTING SIDEWALK.
- 6'-0" WOOD BENCH; SEE SHEET 6 DETAIL B1.
- CART CORRAL; SEE SHEET 6 DETAIL D1.
- EXPECTANT MOTHER PARKING.
- POLE MOUNTED EXPECTANT MOTHER PARKING SIGNAGE; SEE SHEET 6 DETAIL A2 (SIMILAR).
- EXISTING MONUMENT SIGN, SEE SHEET 5b ELEVATION 5.
- LITTER RECEPTACLE; SEE SHEET 6 DETAIL A1.
- STEEL STAIR PAINTED TO MATCH BUILDING; SEE SHEET 5d ELEVATION 2A.
- NEW DRIVE PAD, SEE CIVIL.
- PROPOSED NEW PROPERTY LINE.
- EXISTING INTERSECTION WITH STOP SIGNS.
- EXISTING INTERSECTION WITH TRAFFIC LIGHT / SIGNAL.
- CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE.
- SIDEWALK WIDTH: 10' minus 2' VEHICLE OVERHANG ON BOTH SIDES = 6' CLEAR SIDEWALK.
- PUBLIC SPACE OUTDOOR SEATING AREA: 800sf CONCRETE PAD WITH 200sf OF LANDSCAPE FEATURE IN CENTER OF CONCRETE PAD, REFER TO LANDSCAPE PLAN.
- SHADE CANOPY ABOVE PUBLIC SPACE OUTDOOR SEATING AREA: 200sf; SEE SHEET 5e ELEVATION 4A.
- OUTDOOR SEATING AREA: 262sf.
- CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES, SEE SHEET 6 DETAIL C4.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 10' PNM EASEMENT FILED 6/18/2004, BK: A79, PAGE 5061, DOC. NO. 2004085288.
- THE EXISTING NON-EXCLUSIVE ACCESS EASEMENT GRANTED ON SEPTEMBER 14, 2004 IN BOOK A83, PAGE 8617, AS DOC. NO. 2004128974, BERNALILLO COUNTY AND RESTATED IN THE MEMORANDUM OF LEASE RECORDED ON MAY 15, 2008 IN BOOK A56, PAGE 1795, BERNALILLO COUNTY IS HEREBY REPLACED WITH A NON-EXCLUSIVE PRIVATE CROSS ACCESS EASEMENT LIMITED TO THE ESTABLISHED DRIVEWAY AISLES WITHIN TRACTS A-1 AND A-2 GRANTED WITH THE FILING OF THE PLAT. OWNERS OF TRACT A-1 AND A-2 ARE RESPONSIBLE FOR MAINTAINING THE PORTION OF THIS EASEMENT LOCATED WITHIN THEIR RESPECTIVE TRACT.
- PER ALTA SURVEY DATED: SEPTEMBER 2011: EXISTING 7' PNM EASEMENT FILED 8/26/1969, BK: MISC. 148 PAGE 166, DOC. NO. 47509 FILED 4/04/1973 VOL. C9, PAGE 65.
- PRIVATE DRAINAGE EASEMENT, RE: CIVIL.
- EXISTING 50' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525 ADOPTED 5/12/1984 FILED 7/8/1984 DOC #204085288, VACATED BY VACATION ACTION 012DRB.
- EXISTING 20' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATION ORDINANCE #2525 ADOPTED 5/12/1984 FILED 7/8/1984 DOC #6165, VACATED BY VACATION ACTION 012DRB.
- EXISTING 5' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.
- EXISTING 10' UTILITY EASEMENT FILED 5/17/1955 (C3-9), VACATED BY VACATION ACTION 012DRB.
- PARALLEL PARKING SPACE.
- ON-STREET PARKING SPACE (STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY).
- FIRE HYDRANT, SEE CIVIL.
- STOP SIGN.

PROJECT NUMBER:

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

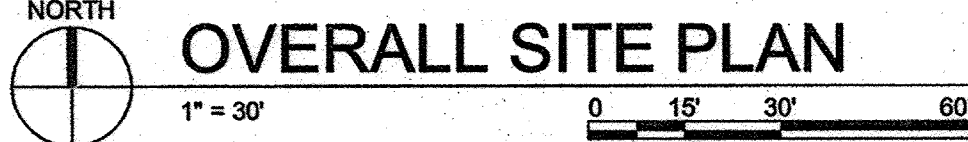
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	02-22-12
DATE	02/22/12
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	8-5-13
DATE	9/5/2013
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	2-17-12
DATE	
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PARKING INFORMATION

CUMULATIVE SF	BUILDING	SQUARE FEET	PARKING REQ'D APPLIED	REQ'D PARKING
Buy Buy Baby (27,508 sf + 442 sf of shared Loading Area = 27,950 sf total)				
15,000	Public Sales Area (total of 20,893)	15,000	1/200 for 1st 15,000	75
20,893	Public Sales Area	5,893	1/250 for 15,001-60,000	24
25,443	Stock/Storage	4,550	1/1,000 for stock/storage	5
27,950	Office/Toilets/Walls/Unoccupied	2,507	1/250 for office/RR/unocc	10
Bed Bath & Beyond (29,747 sf + 442 sf of shared Loading Area = 30,190 sf total)				
27,950	Public Sales Area (total of 24,115)	24,115	1/250 for 15,001-60,000	96
52,065	Stock/Storage	3,362	1/1,000 for stock/storage	3
55,427	Office/Toilets/Walls/Unoccupied	2,713	1/250 for office/restroom/unocc.	11
58,140				
Outlot A Building (5,285 sf total)				
58,140	Coffee (w/drive-thru) (+25 seats)	1,779	1 per 4 seats	6
59,919	Retail shops	3,506	1/300 for over 60,000	12
63,425				
Outlot B Building (6,000 sf total)				
63,425	Retail shops	6,000	1/300 for over 60,000	20
69,425				
TOTAL REQUIRED: 262				
TRANSIT REDUCTION (10%): -26				
BUS SHELTER REDUCTION (6%): -13				
TOTAL REQUIRED: 223				
TOTAL PROVIDED (OFF-STREET): 209				
TOTAL PROVIDED (ON-STREET): 28 / 2 = 14				
TOTAL PROVIDED: 223				
HANDICAP PARKING STALLS REQUIRED: 101-300 PARKING STALLS: 8 HC STALLS REQUIRED (2 VAN ACCESSIBLE)				
PROVIDED: 8 HC STALLS (4 VAN ACCESSIBLE)				
MOTORCYCLE PARKING REQUIRED: 151-300 PARKING STALLS: 5 SPACES REQUIRED.				
PROVIDED: 5 SPACES				
BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 200 / 20 = 10 SPACES				
PROVIDED: 15 SPACES				

OVERALL SITE PLAN



SITE INFORMATION

LEGAL DESCRIPTION
NORTHERLY PORTION OF TRACT A OF VIDAS SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NM, FILED: MAY 4, 1973, MAP BOOK C9

ZONE ATLAS MAP NUMBER: H-17-Z PRESENT ZONING: C-2 (SC)

GROSS BUILDING AREA (GBA):

BUY BUY BABY - RETAIL (1 STORY) = 27,950 sf
BED BATH & BEYOND - RETAIL (1 STORY) = 30,190 sf
SHARED LOADING: 885 sf
OUTLOT A - RETAIL (1 STORY) = 5,285 sf
OUTLOT B - RETAIL (1 STORY) = 6,000 sf
TOTAL = 69,425 sf

TOTAL SITE AREA: 195,771 SF = 4.5 ACRES
GROSS F.A.R. (GBA / SITE AREA) = 69,425 / 195,771 = .35

PROSPECT AVENUE

SAN MATEO

QUINCY STREET

EXISTING OFFICE DEPOT

EXISTING GAS STATION

BED BATH & BEYOND
29,747 SF

BUY BUY BABY
27,508 SF

OUTLOT A
RETAIL SHOPS
5,285 SF

OUTLOT B
RETAIL SHOPS
6,000 SF

AFD PLANS CHECKING OFFICE
624-3511
APPROVED/REAPPROVED
2/17/12
SIGNATURE & DATE

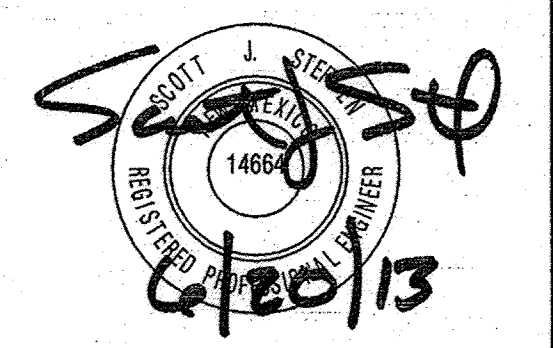
STUDIO

SW
ARCHITECTS

STUDIO SOUTHWEST
ARCHITECTS, INC.
2101 Mountain Rd. NW,
Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

CONSULTANTS

Architect Engineer



BED BATH &
BEYOND

buybuy BABY

PLAZA @ SAN MATEO
ADDRESS
ALBUQUERQUE, NEW MEXICO

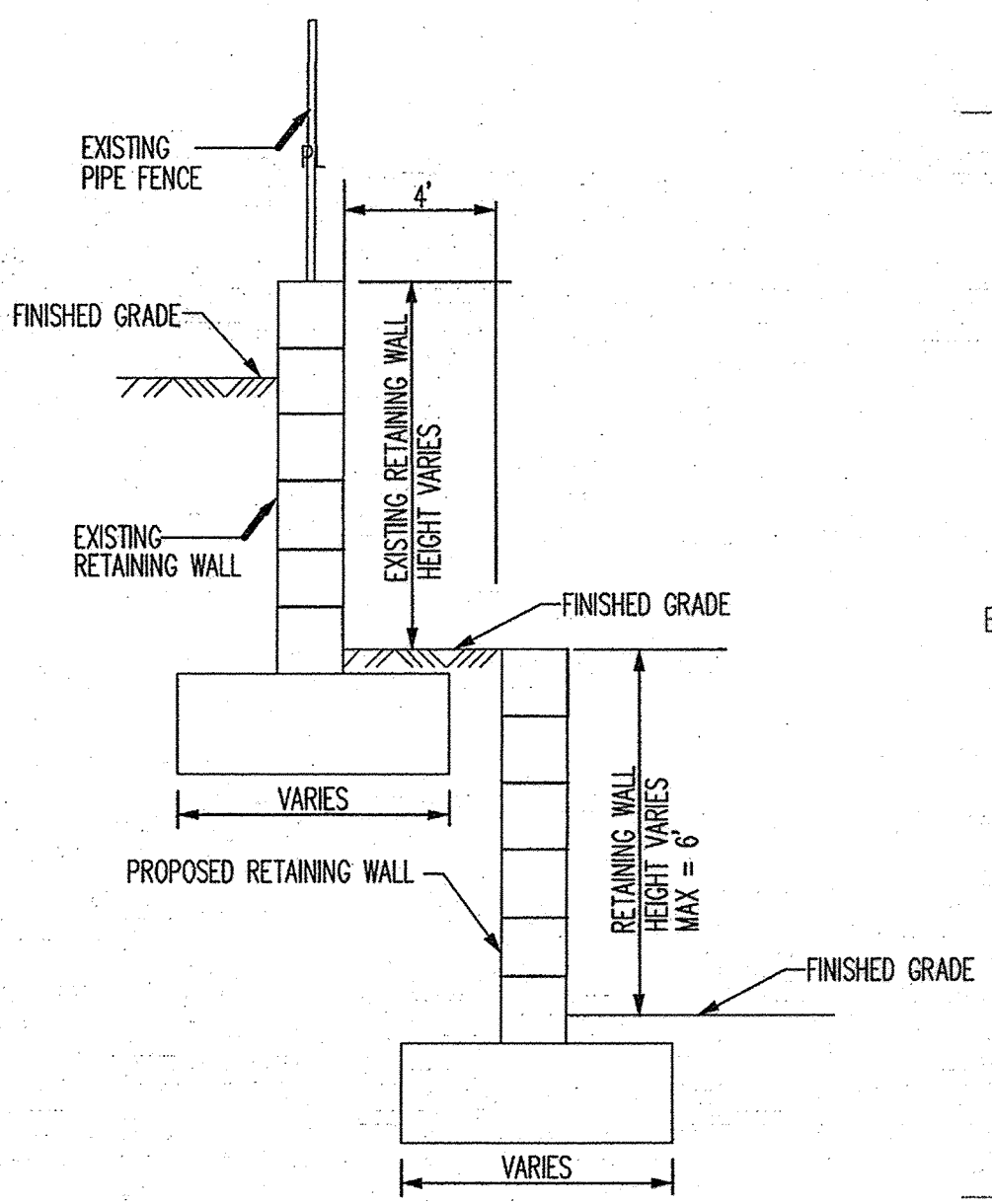
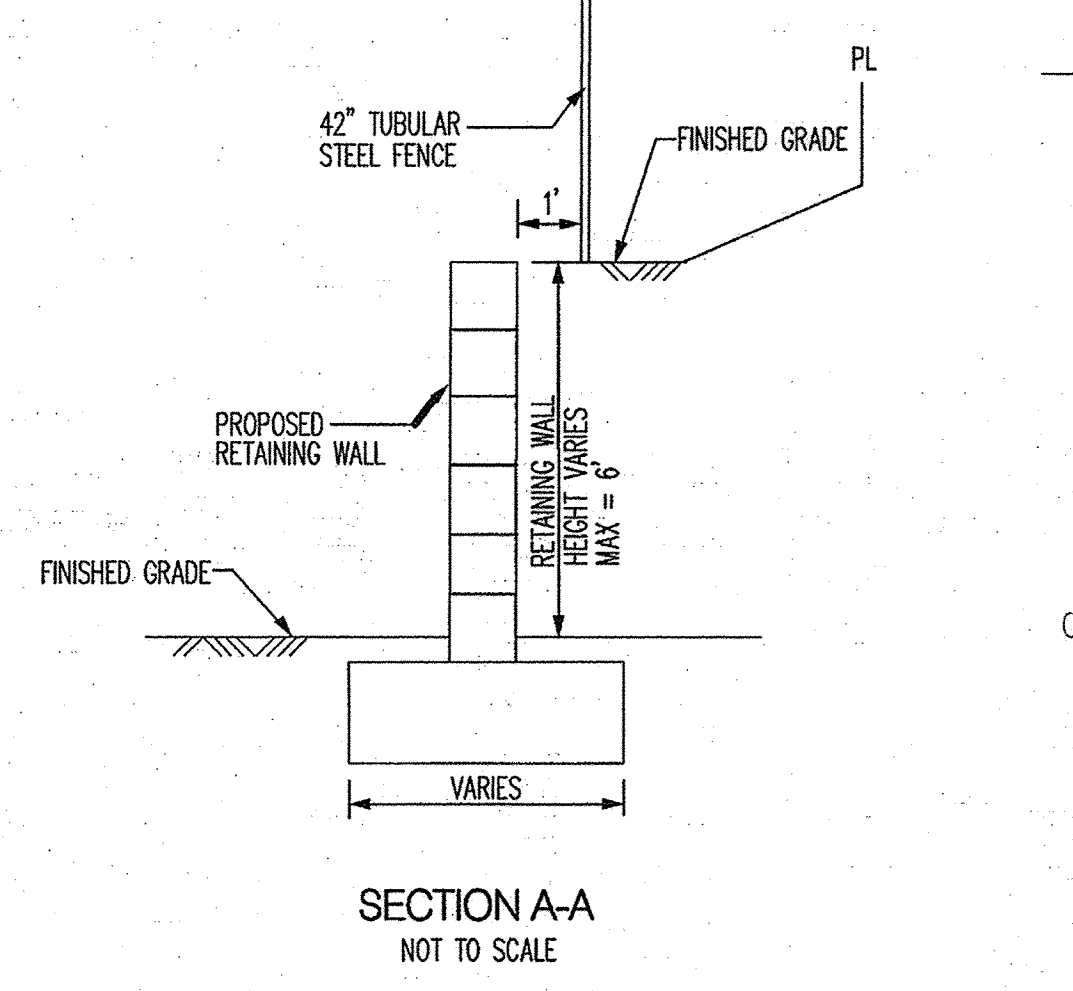
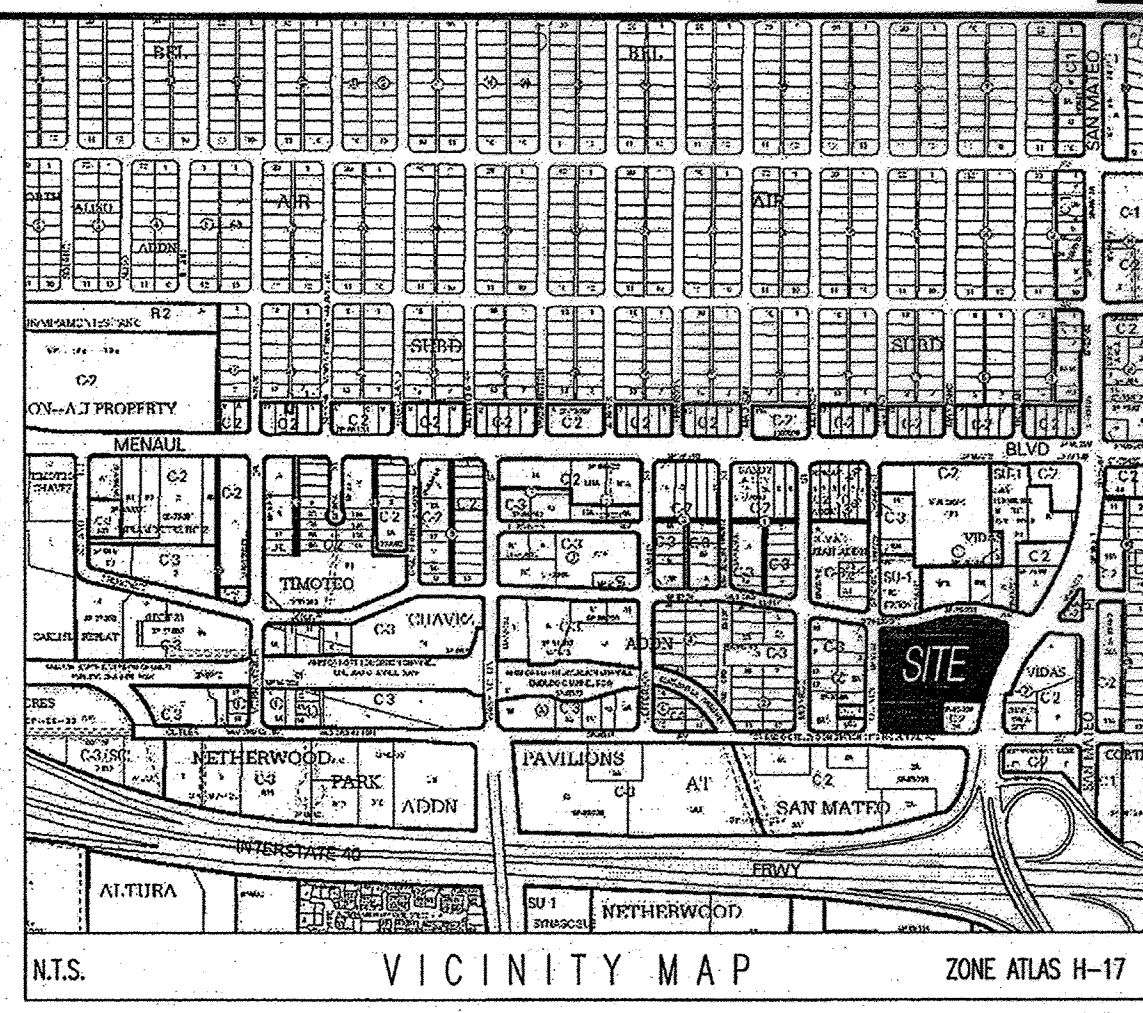
03/15/13	PROGRESS SET
04/01/13	PERMIT
04/01/13	BID
04/18/13	ADDENDA 3
05/20/13	ADDENDA 5

MARK	DATE	DESCRIPTION
ISSUE:		CONST DOCS
PROJECT NO:		20130346
CAD DWG FILE:		
DRAWN BY:		DTH
CHECKED BY:		SJS
DATE:		04/01/13

SHEET TITLE

GRADING PLAN

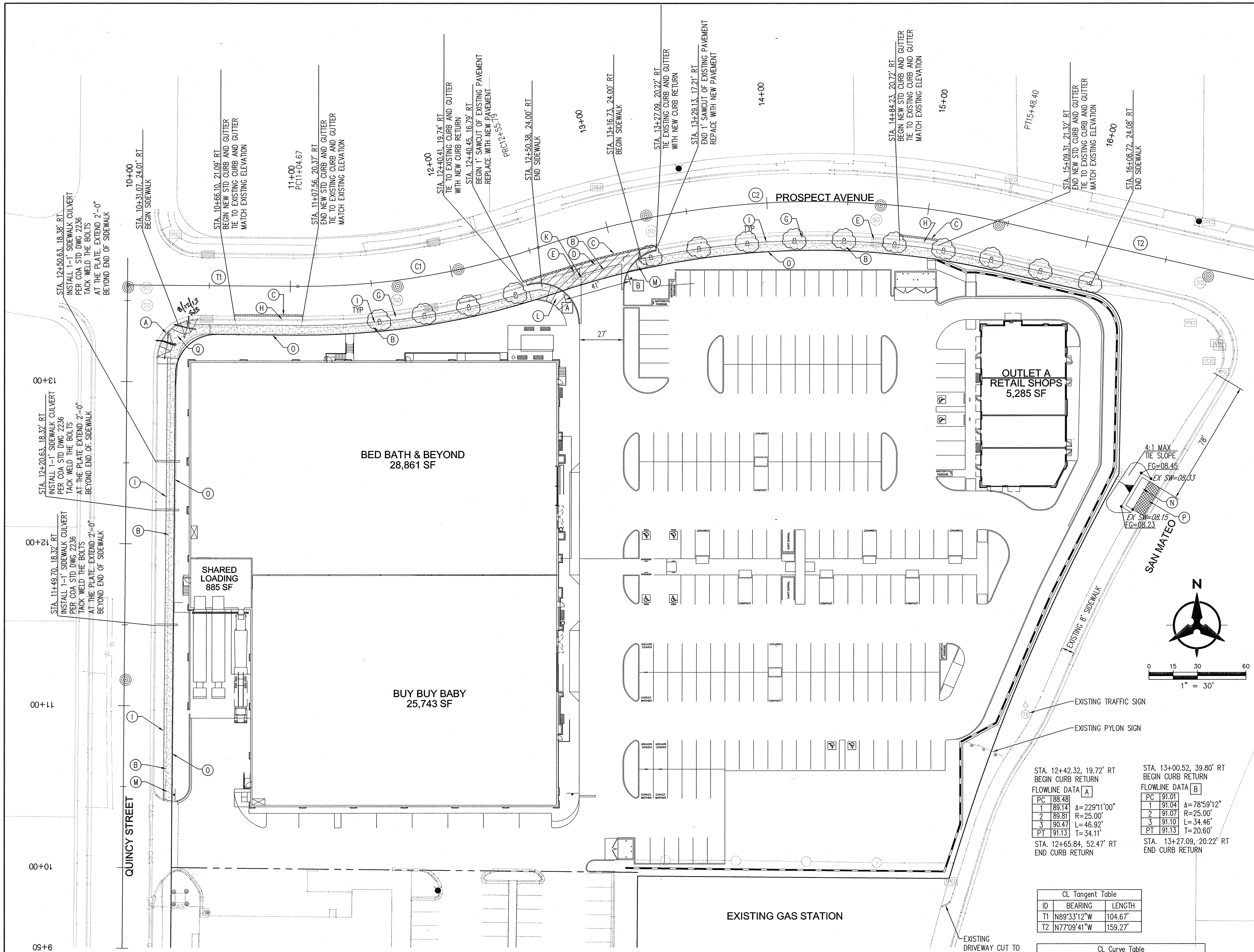
C201



- KEYED NOTES**
- (A) INSTALL PVC (C-900 OR APPROVED EQUAL) STORM DRAIN. SIZE PER PLANS.
 - (B) INSTALL 15\"/>
 - (C) INSTALL 10\"/>
 - (D) RETAINING WALL. TW/BW GIVEN ON PLAN INDICATE FINISHED GROUND ON THE HIGH AND LOW SIDE OF THE WALL, RESPECTIVELY. HEIGHT VARIES. CONTRACTOR SHALL SUBMIT STRUCTURAL WALL DETAILS, BLOCK MATERIAL AND COLOR TO ENGINEER AND OWNER FOR APPROVAL. RETAINING WALL SHALL HAVE A CAP BLOCK.
 - (E) CONCRETE RIBBON CHANNEL PER DETAIL C4/C502.
 - (F) 1\"/>
 - (G) CURB OPENING PER DETAIL XX/C-502.
 - (H) CONNECT PVC STORM DRAIN TO ROOF DRAIN.
 - (I) 1\"/>
 - (J) INSTALL PILASTER AT THE INTERSECTION OF EXISTING RETAINING WALL AND NEW RETAINING WALL.
 - (K) REMOVE EXISTING CAP BLOCK, INSTALL #4 REBAR AND GROUT ALL NON-GROUTED CELLS. REPLACE CAP BLOCK.
 - (L) STAIN THE INSIDE FACE OF EXISTING WALL TO MATCH NEW RETAINING WALL COLOR.
 - (M) TOP OF FOOTING TO BE A MINIMUM OF 2\"/>
 - (N) CONNECT 6\"/>
 - (O) CONTRACTOR TO BRACE EXISTING SIGN TO ENSURE STRUCTURAL INTEGRITY OF THE SIGN DURING CONSTRUCTION OF RETAINING WALL.
 - (P) INSTALL 6\"/>
 - (Q) INSTALL 9\"/>

BENCHMARK
Albuquerque Central Station Monument "18-H18"
New Mexico State Plane Coordinates
Central Zone + NAD 83
N = 1,495,167,654
E = 1,541,177,063
Elevation = 5,232.741 (NAVD 1988)
Delta Alpha = -0°11'27.04"
Ground To Grid Factor = 0.999664864

Bohannon & Huston



- GENERAL NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 - ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 - CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 - ANY DAMAGE TO THE EXISTING FACILITIES, (C&G, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
 - REMOVAL OF THE EXISTING C&G SHALL BE AS PER COA STD. DWG. 2415 (AT NEAREST JOINT).
 - WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.
 - MH RIMS & CATCH BASIN INLET ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT ELEVATIONS.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND TRANSMISSION GAS LINES. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED.
 - CONTRACTOR SHALL REMOVE ALL CONFLICTING EXISTING PAVEMENT MARKINGS. ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING TO A WIDTH EQUAL TO TWICE THE WIDTH OF THE STRIPING OR MARKING TO BE REMOVED, 1/4" MAX DEPTH.

- KEYED NOTES**
- REMOVE EXISTING CURB RAMP REPLACE WITH NEW CURB RAMP PER DETAIL X SHEET 6 (INCLUDE TRUNCATED DOMES)
 - REMOVE EXISTING 4" SIDEWALK
 - SAWOUT, REMOVE AND REPLACE 1" OF EXISTING PAVEMENT (SHADED AREA), PER COA STD DWG 2465, MAJOR LOCAL PAVEMENT.
 - REMOVE EXISTING STD CURB AND GUTTER INSTALL 6" VALLEY GUTTER PER STD DWG 2420
 - REMOVE EXISTING TELEPHONE PEDESTAL.
 - EXISTING STRIPING, REMOVE CONFLICTING MARKINGS PER NOTE 13
 - EXISTING IRRIGATION TO REMAIN
 - REMOVE EXISTING DRIVEPAD INSTALL NEW STD CURB AND GUTTER PER STD DWG 2415A
 - BUILD 6" CONCRETE SIDEWALK PER COA STD DWG 2430. REDUCE SIDEWALK WIDTH TO 4.5' FOR 4' LENGTH AT EACH EXISTING TREE ALONG PROSPECT AVENUE.
 - BUILD NEW STD CURB AND GUTTER PER STD DWG 2415A
 - REMOVE EXISTING LANDSCAPING. CONTRACTOR TO VERIFY REMAINING IRRIGATION LINES ARE FUNCTIONING PROPERLY.
 - INSTALL CURB RAMP PER DETAIL 'A' SHEET 6.
 - INSTALL CURB RAMP PER DETAIL 'B' SHEET 6.
 - INSTALL TYPE C BUS SHELTER PER COA STD DWG 2535.02. LACOR STREET SCAPES OASIS 13' SHELTER w/BACKSCREEN MODEL 041395. OASIS 6' BENCH WITH BACK MODEL 0406A6. OASIS TRASH RECEPTACLE MODEL 041330. COLOR: WATER BLUE (#800), RAL #5021
 - LIMITS OF CONSTRUCTION. INTERNAL SITE IMPROVEMENTS TO BE CONSTRUCTED UNDER BUILDING PERMIT PROCESS.
 - REMOVE AND REPLACE EXISTING SIDEWALK ACROSS BUS SHELTER. TO NEAREST JOINT, PER COA STD DWG 2430.
 - INSTALL CURB RAMP PER DETAIL X SHEET 6.

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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

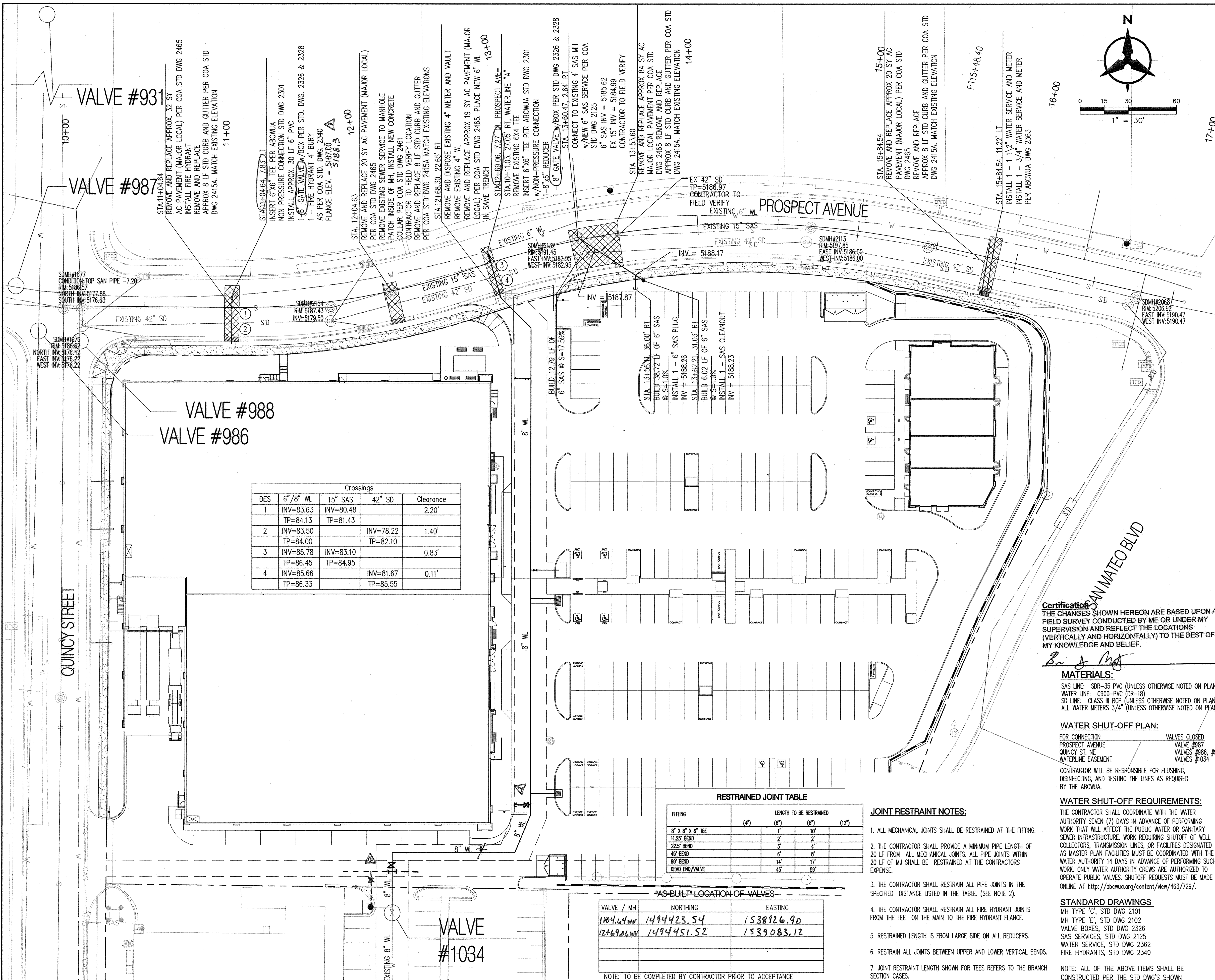
PLAZA AT SAN MATEO
PROSPECT AVENUE AND QUINCY STREET
OVERALL PAVING PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED AUG 16 2013 DESIGN REVIEW COMMITTEE	APPROVED NOV 14 2013 CITY ENGINEER		

No.	Date	REMARKS	By
		DESIGN	

Designed By	Drawn By	Checked By
SJS	BIG	SJS

City Project No.	Zone Map No.	Sheet	Of
544084	H-17	3	6



Crossings				
DES	6" / 8" WL	15" SAS	42" SD	Clearance
1	INV=83.63 TP=84.13	INV=80.48 TP=81.43		2.20'
2	INV=83.50 TP=84.00		INV=78.22 TP=82.10	1.40'
3	INV=85.78 TP=86.45	INV=83.10 TP=84.95		0.83'
4	INV=85.66 TP=86.33	INV=81.67 TP=85.55		0.11'

RESTRAINED JOINT TABLE			
FITTING	LENGTH TO BE RESTRAINED		
(4")	(6")	(8")	(12")
8" x 8" x 6" TEE	1'	10'	
11.25" BEND	2'	2'	
22.5" BEND	3'	4'	
45" BEND	4'	6'	
90" BEND	14'	17'	
DEAD END/VALVE	45'	59'	

AS-BUILT LOCATION OF VALVES		
VALVE / MH	NORTHING	EASTING
1104.64 VAL	1494423.54	1538926.90
12469.06 VAL	1494451.52	1539083.12

NOTE: TO BE COMPLETED BY CONTRACTOR PRIOR TO ACCEPTANCE
* ALL COORDINATES ARE NMSPC (GRID)

JOINT RESTRAINT NOTES:

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF MJ SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE. (SEE NOTE 2).
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
5. RESTRAINED LENGTH IS FROM LARGE SIDE ON ALL REDUCERS.
6. RESTRAIN ALL JOINTS BETWEEN UPPER AND LOWER VERTICAL BENDS.
7. JOINT RESTRAINT LENGTH SHOWN FOR TEES REFERS TO THE BRANCH SECTION CASES.

Certification
THE CHANGES SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION AND REFLECT THE LOCATIONS (VERTICALLY AND HORIZONTALLY) TO THE BEST OF MY KNOWLEDGE AND BELIEF.

MATERIALS:

SAS LINE: SDR-35 PVC (UNLESS OTHERWISE NOTED ON PLANS)
WATER LINE: C900-PVC (DR-18)
SD LINE: CLASS III RCP (UNLESS OTHERWISE NOTED ON PLANS)
ALL WATER METERS 3/4" (UNLESS OTHERWISE NOTED ON PLANS)

WATER SHUT-OFF PLAN:

FOR CONNECTION VALVES CLOSED
PROSPECT AVENUE VALVE #987
QUINCY ST. NE VALVES #986, #988 & #931
WATERLINE EASEMENT VALVES #1034

WATER SHUT-OFF REQUIREMENTS:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT <http://abcwa.org/content/view/full/463/729/>.

STANDARD DRAWINGS

MH TYPE "C", STD DWG 2101
MH TYPE "E", STD DWG 2102
VALVE BOXES, STD DWG 2326
SAS SERVICES, STD DWG 2125
WATER SERVICE, STD DWG 2362
FIRE HYDRANTS, STD DWG 2340

NOTE: ALL OF THE ABOVE ITEMS SHALL BE CONSTRUCTED PER THE STD DWG'S SHOWN UNLESS OTHERWISE NOTED.

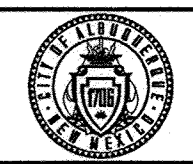
GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS & SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
4. CONTRACTOR IS TO INSTALL A 4" x 4" x 5' POST AND E.M.S. AT THE END OF EACH SANITARY SEWER SERVICE.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
6. CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
7. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
8. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
9. MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
10. SAS STATIONING FOLLOWS CL OF ROAD UNLESS OTHERWISE NOTED.
11. FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWLINE OF STANDARD CURB TO MIDDLE OF DOWNGRILL GRADE.
12. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
13. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
14. AT UTILITY CROSSINGS WHERE LESS THAN 1 FOOT OF SEPARATION FROM STORM DRAIN PIPE OR MANHOLE IS PRESENT LEAN FILL IS TO BE USED 1) FOR A DISTANCE OF 5 FEET ON EACH SIDE OF THE SD & FROM TOP OF STORM DRAIN TO BOTTOM OF SANITARY SEWER OR WATER LINE OR 2) FOR 10 FEET ALONG SANITARY SEWER OR WATER LINE CENTERED ON THE MANHOLE WITH DEPTH EQUAL TO 2X SEWER OR WATER LINE DIAMETER.

LEGEND

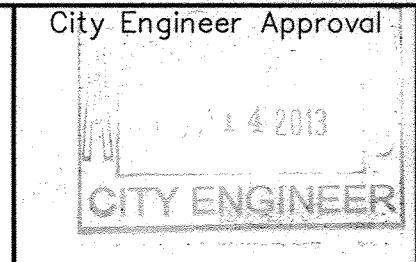
---	PROPERTY LINE
---	NEW EASEMENT
---	SAS EXISTING SANITARY SEWER
---	W EXISTING WATER LINE
---	EXISTING STORM DRAIN
---	EXISTING WATER METER
---	EXISTING CAP
---	EXISTING VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM DRAIN
---	SAS PROPOSED SANITARY SEWER
---	WL PROPOSED WATER LINE
---	PROPOSED VALVE
---	PROPOSED HYDRANT
---	PROPOSED CAP
---	PROPOSED WATER METER
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED STORM DRAIN

Bohannon & Huston



**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

PLAZA AT SAN MATEO
PROSPECT AVENUE
OVERALL UTILITY PLAN



City Project No.

544084

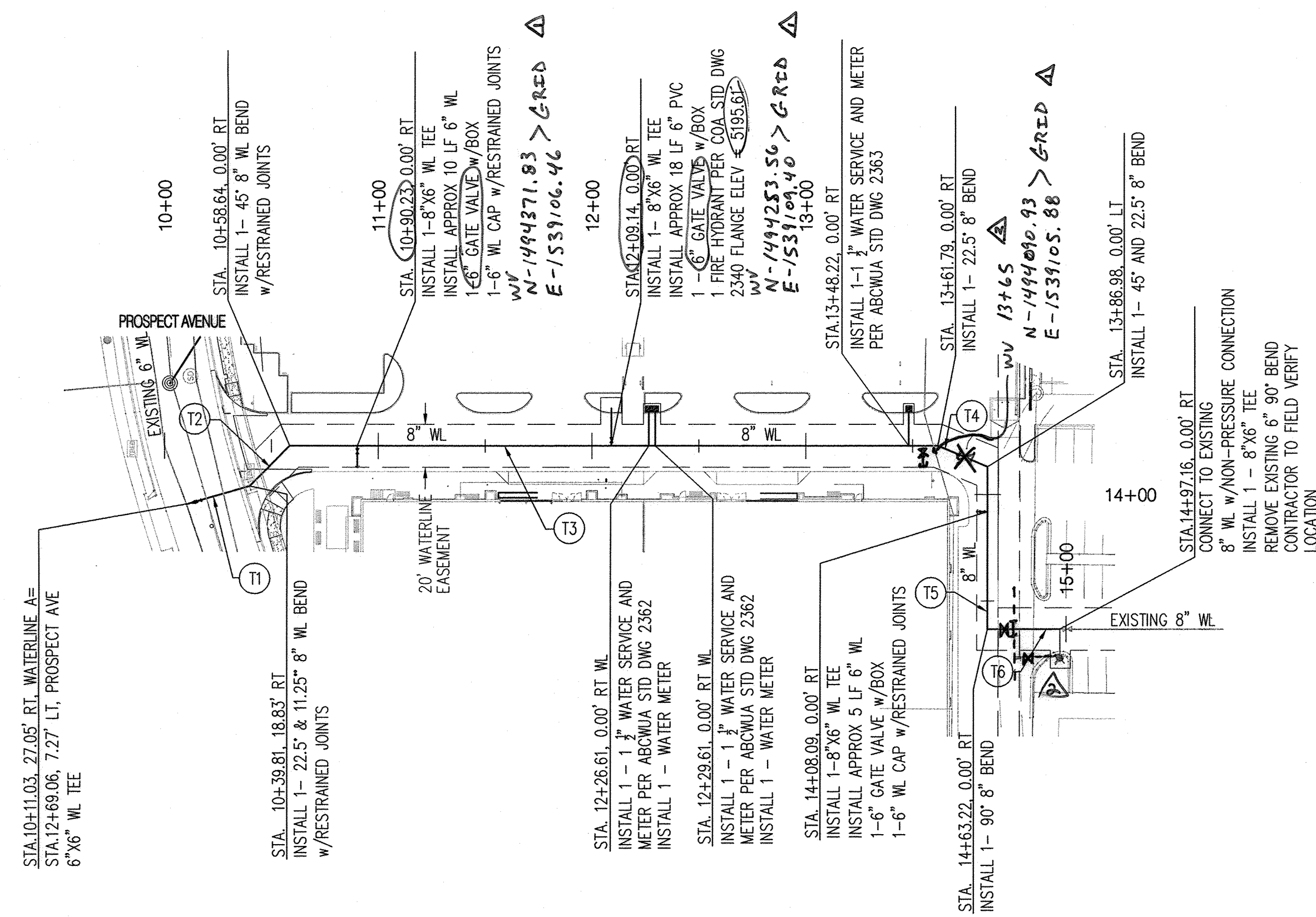
Zone Map No.

H-17

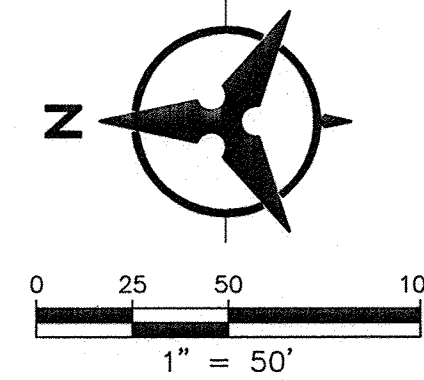
Sheet

4 Of 6

AS-BUILT INFORMATION			
CONTRACTOR	DATE	DATE	DATE
7/20	12/13	12/13	12/13
STAMPED BY	DATE	DATE	DATE
Cartesian	12/13	12/13	12/13
APPROVED BY	DATE	DATE	DATE
Cartesian	12/13	12/13	12/13
REVISIONS	DATE	DATE	DATE
1	12/13	12/13	12/13
2	12/13	12/13	12/13
3	12/13	12/13	12/13
4	12/13	12/13	12/13
5	12/13	12/13	12/13
6	12/13	12/13	12/13
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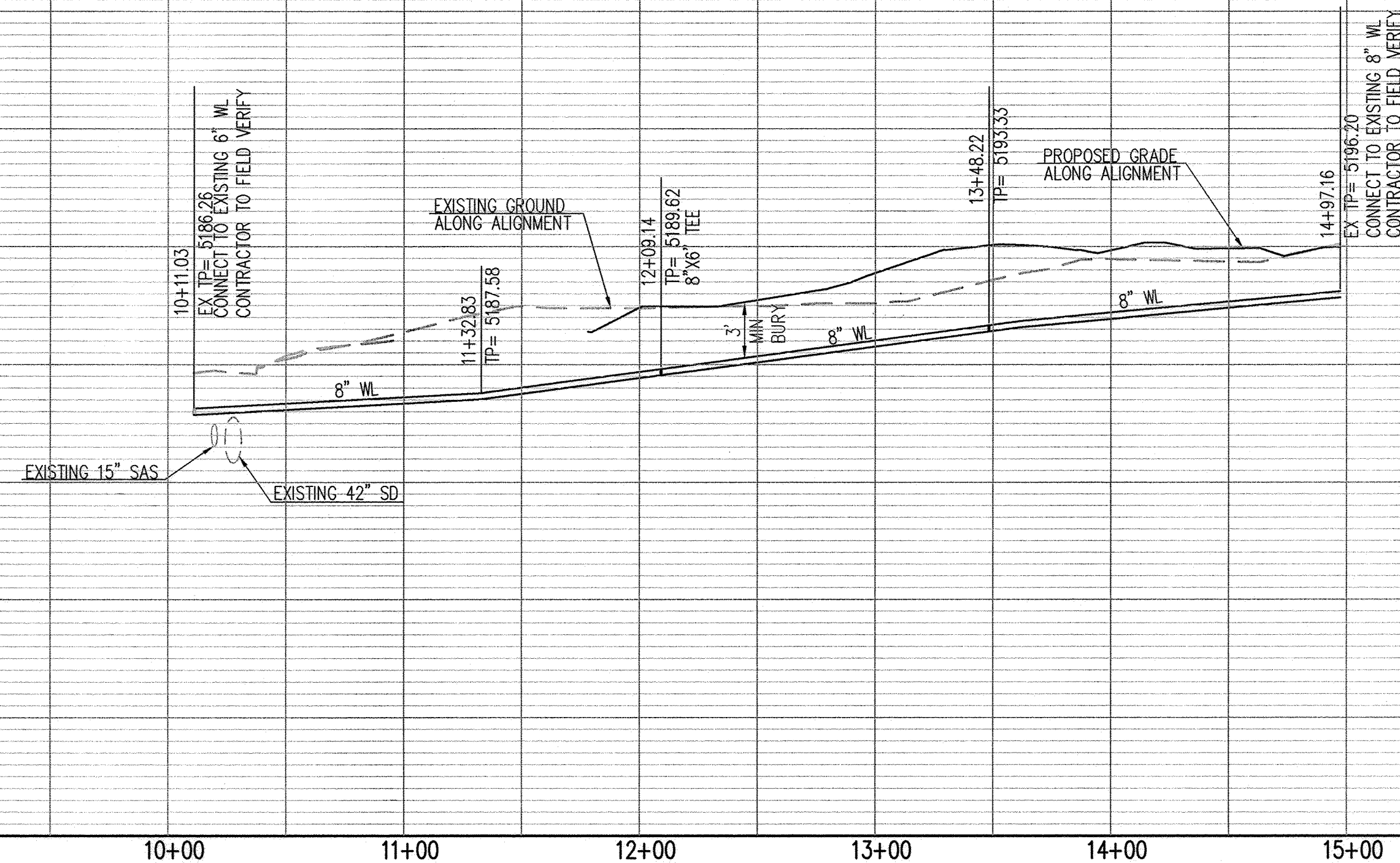


ID	BEARING	LENGTH
T1	N15°57'07"W	29.93'
T2	S45°00'00"E	26.62'
T3	N00°00'00"E	303.15'
T4	S22°30'00"W	25.18'
T5	N90°00'00"W	76.24'
T6	S00°00'00"E	33.95'



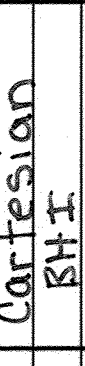
WATERLINE "A"

ELEVATIONS ARE IN NAVD 88



GENERAL NOTES

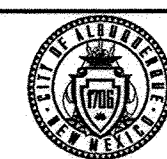
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED.
2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAs & SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL DAMAGED EXISTING UTILITY CONDUITS AND EXISTING LINES.
5. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
6. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, LANDSCAPING, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
7. MH RIMS & CATCH BASIN INLET ELEVATIONS, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
8. STORM DRAIN STATIONING FOLLOWS CL OF STORM DRAIN UNLESS OTHERWISE NOTED.
9. STATIONING OF DROP INLET IS TO MIDDLE OF DOWN HILL GRATE AT FACE OF CURB.
10. FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWLINE OF STANDARD CURB TO MIDDLE OF DOWNHILL GRATE.
11. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL USE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS.
12. AT UTILITY CROSSING WHERE LESS THAN 1' FOOT OF COVER OVER STORM DRAIN PIPE IS PRESENT LEAN PIPES TO BE USED FOR A DISTANCE OF 5 FEET ON EACH SIDE OF THE SD & FROM TOP OF STORM DRAIN TO BOTTOM OF SANITARY SEWER OR WATER LINE.
13. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

								ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION			
										FIELD NOTES							
										NO.		BY		DATE		CONTRACTOR <u>TLC</u>	
										<u>A</u>		<u>Cartesian</u>		<u>12/18/13</u>		INSPECTOR'S <u>DATE</u> <u>12/13</u>	
										<u>A</u>		<u>BHI</u>		<u>12/18/13</u>		ACCEPTANCE BY <u>BHI</u>	
																VERIFICATION BY <u>BHI</u>	
																DRAWINGS REVISIONS BY <u>BHI</u>	
																MICRO-FILM INFORMATION	
																RECORDED BY	
																NO.	
Designed By: SJS		DATE: 03/01/13															
Drawn By: B/G		DATE: 03/01/13															
Checked By: SJS		DATE: 03/01/13															

Certification
THE CHANGES SHOWN HEREON ARE BASED UPON A
FIELD SURVEY CONDUCTED BY ME OR UNDER MY
SUPERVISION AND REFLECT THE LOCATIONS
(VERTICALLY AND HORIZONTALLY) TO THE BEST OF
MY KNOWLEDGE AND BELIEF.

Re J mof

Bohannon  Huston



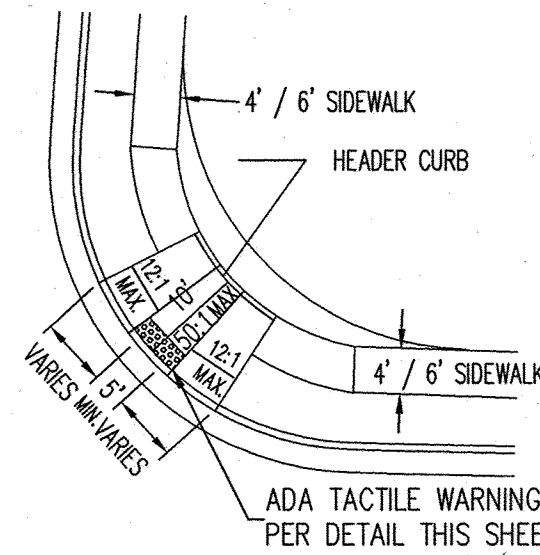
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

PLAZA AT SAN MATEO
UTILITY PLAN AND PROFILE
WATERLINE "A"

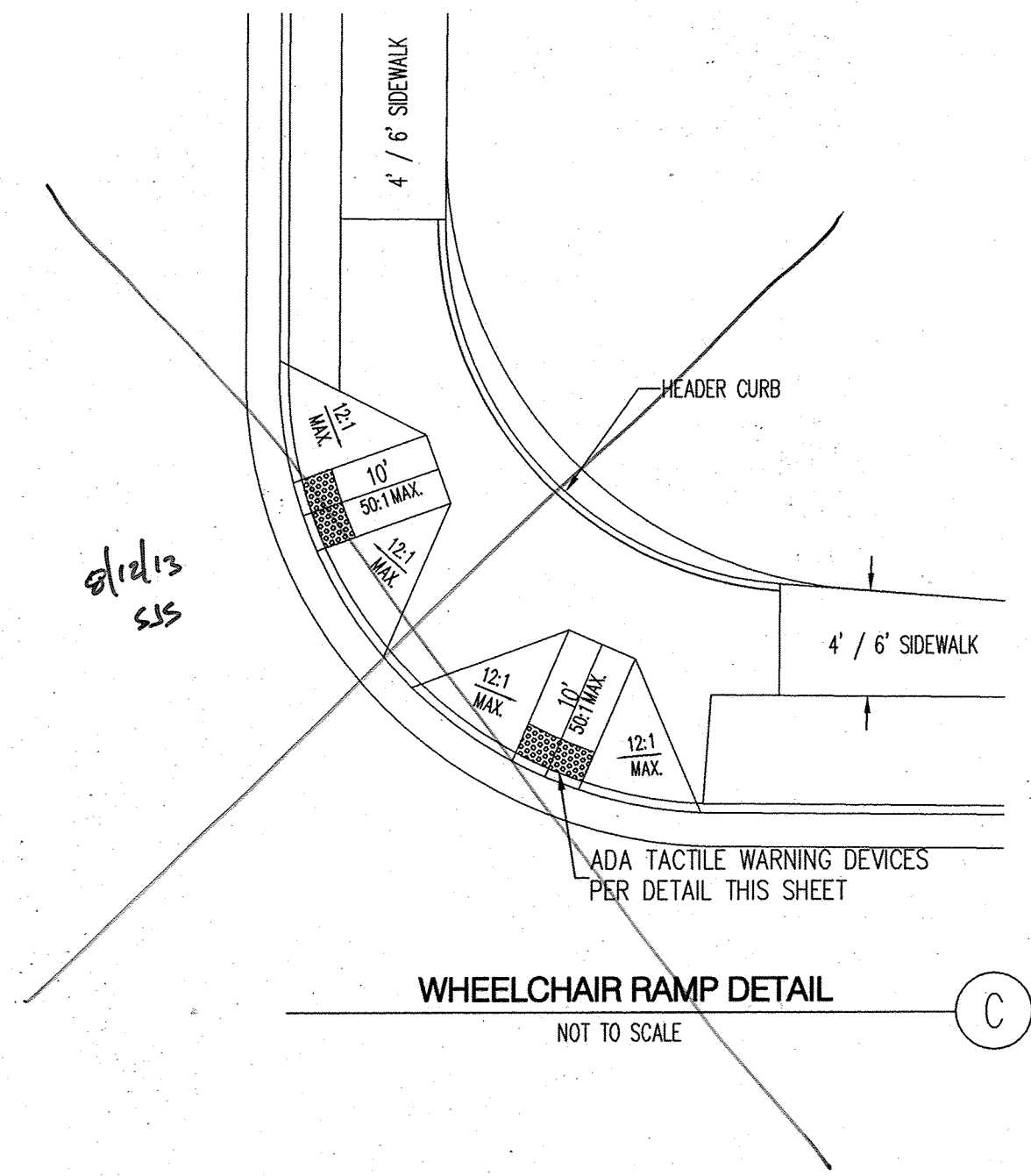
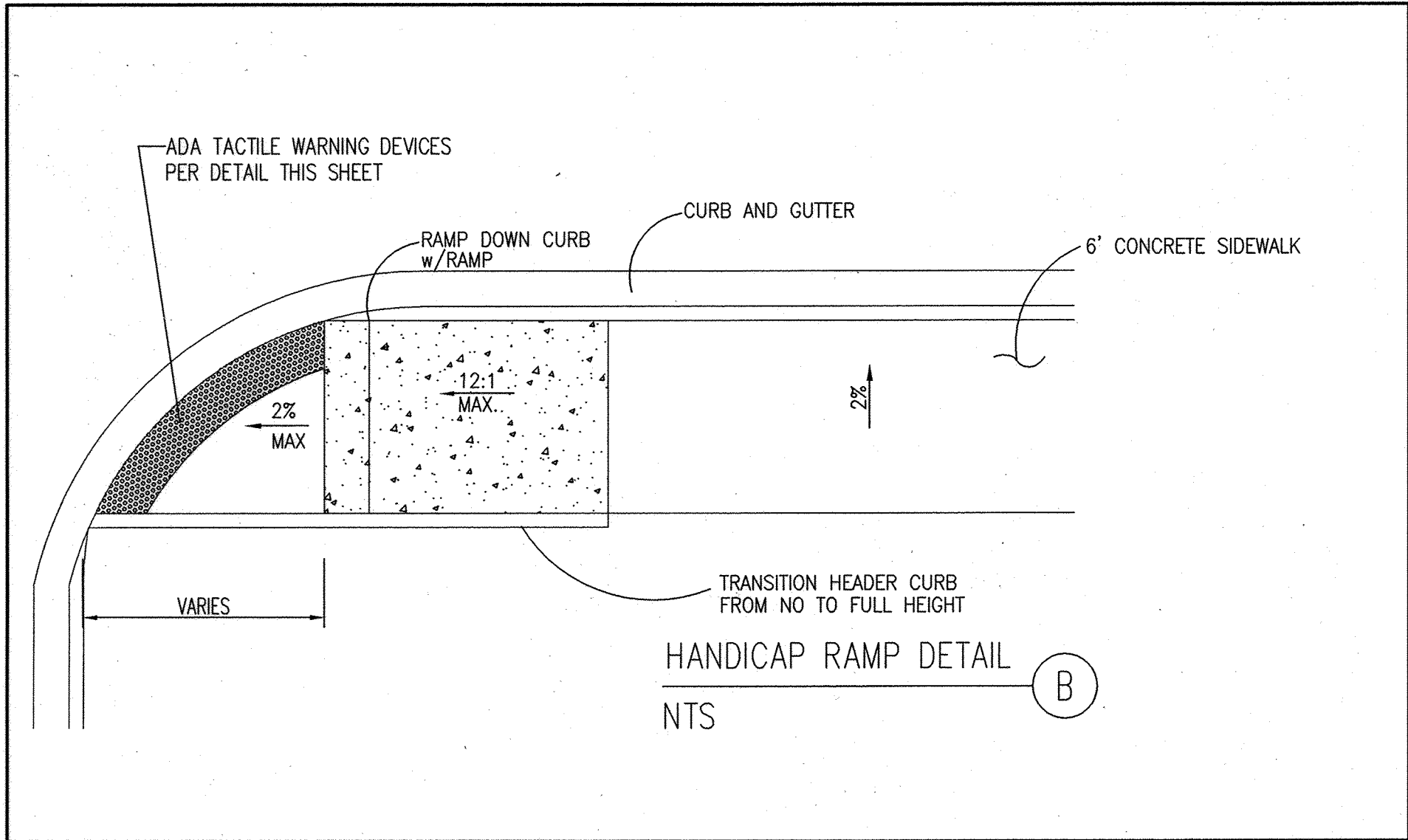
[illegible]

City Project No.	Zone Map No.	Sheet	Of
544084	H-17	5	6

SCALE: 50' (HORIZ.)
10' (VERT.)



ADA TACTILE WARNING DEVICES
NOT TO SCALE
CONTRACTOR SHALL INSTALL ADA TACTILE WARNING DEVICES ON NEW CURB RAMPS. DESIGN PER ADA GUIDELINES. SUBMIT SPECIFICATIONS TO THE CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.



Bohannon & Huston	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
PLAZA AT SAN MATEO MISCELLANEOUS DETAILS	
Design Review Committee	City Engineer Approval
APPROVED AUG 16 2013 DESIGN REVIEW COMMITTEE	APPROVED NOV 14 2013 CITY ENGINEER
City Project No. 544084	Zone Map No.
Sheet 6	Of 6

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		MICRO-FILM INFORMATION	
CONTRACTOR	TLC	NO.	DATE	NO.	DATE			No.	By	NO.	DATE
INSPECTOR	CHT										
ACCEPTANCE BY	CHT										
VERIFICATION BY	CHT										
RECORDED BY	CHT										
DATE	1/14										
DATE											