

SUNRISE MEADOWS SUBDIVISION, UNIT II

ALBUQUERQUE, NEW MEXICO

IMPROVEMENTS FOR GRADING, PAVING, AND UTILITIES

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1.	TITLE SHEET
2.	SUBDIVISION PLAT
3.	GRADING PLAN
4.	COMPOSITE PAVING PLAN
5.	COMPOSITE UTILITY PLAN

PAVING PLAN AND PROFILES

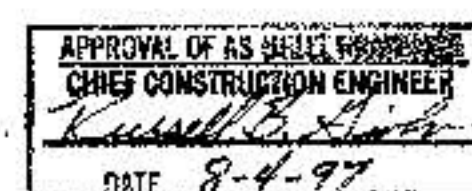
6.	MALACHITE DRIVE (STA 8+68 TO STA 15+02)
7.	TERRACOTTA PLACE (STA 8+60.00 TO STA 15+10.46)

UTILITY PLAN AND PROFILES

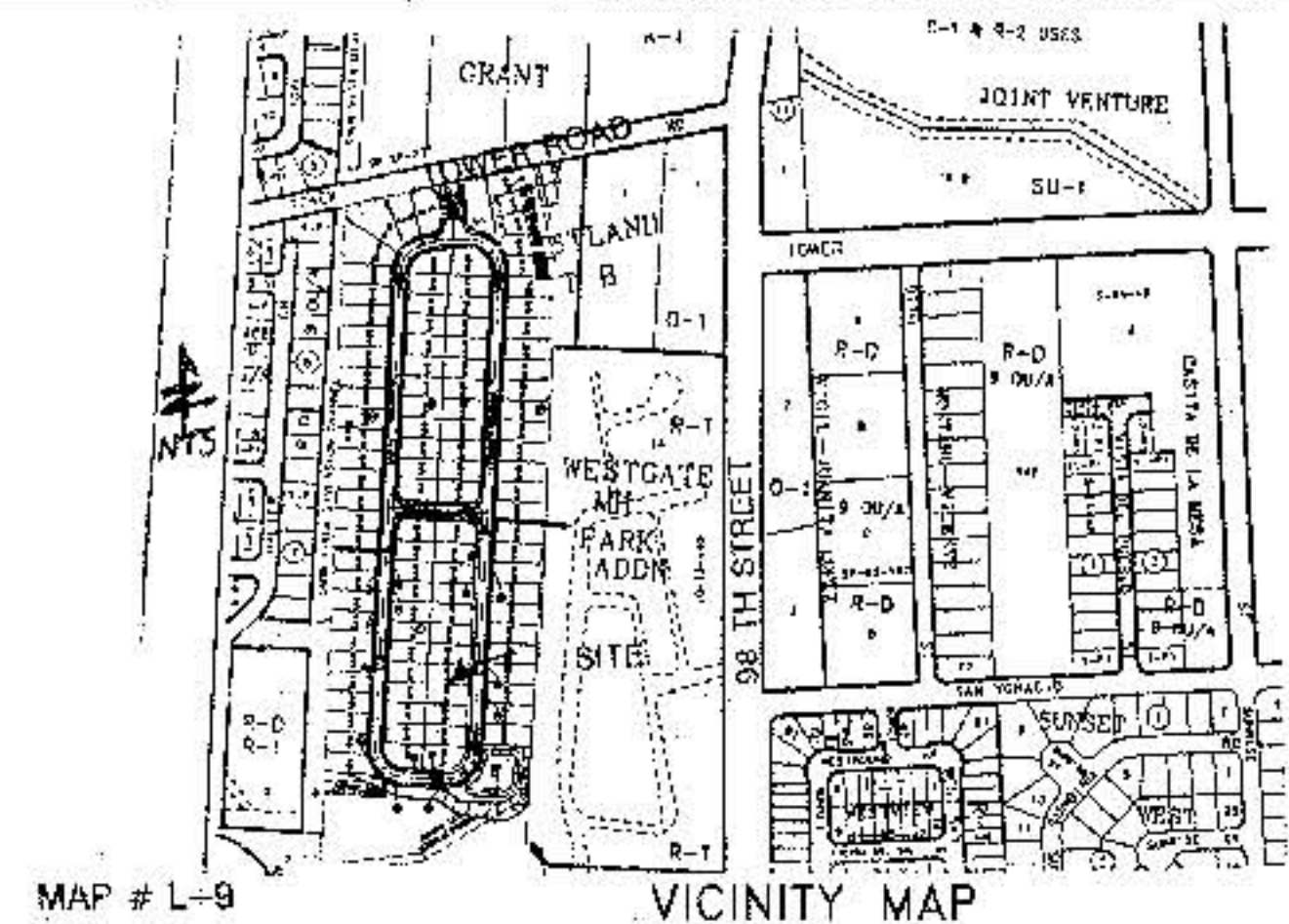
8.	MALACHITE DRIVE (STA 8+68.00 TO STA 15+02.83)
9.	TERRACOTTA PLACE (STA 8+60.00 TO STA 15+10.46)
10.	SNOW VISTA CHANNEL STORM DRAIN
11.	POND DETAILS

I, Robert B. Ryals, a Registered Professional Engineer in the State of New Mexico do hereby certify that (based on as constructed information provided by Aldrich Land Surveying) grading and drainage improvements have been completed in substantial compliance with the approved grading and drainage plan.

Robert B. Ryals, P.E.



DRB 96-41



GENERAL NOTES

- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for herein, be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction 1986 Edition as amended with Update No. 6.
- Prior to construction, the Contractor shall excavate & verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with minimum delay.
- Two (2) working days prior to any excavation, Contractor must contact Line Locating Service @ 260 - 1990 for location of existing utilities.
- Warning - EXISTING UTILITY LINE LOCATIONS are shown in an approximate manner only, and such lines may exist where none are shown. The location of any such existing lines is based upon information provided by the utility company, the owner, or by others, and the information may be incomplete or may be obsolete by the time construction commences.

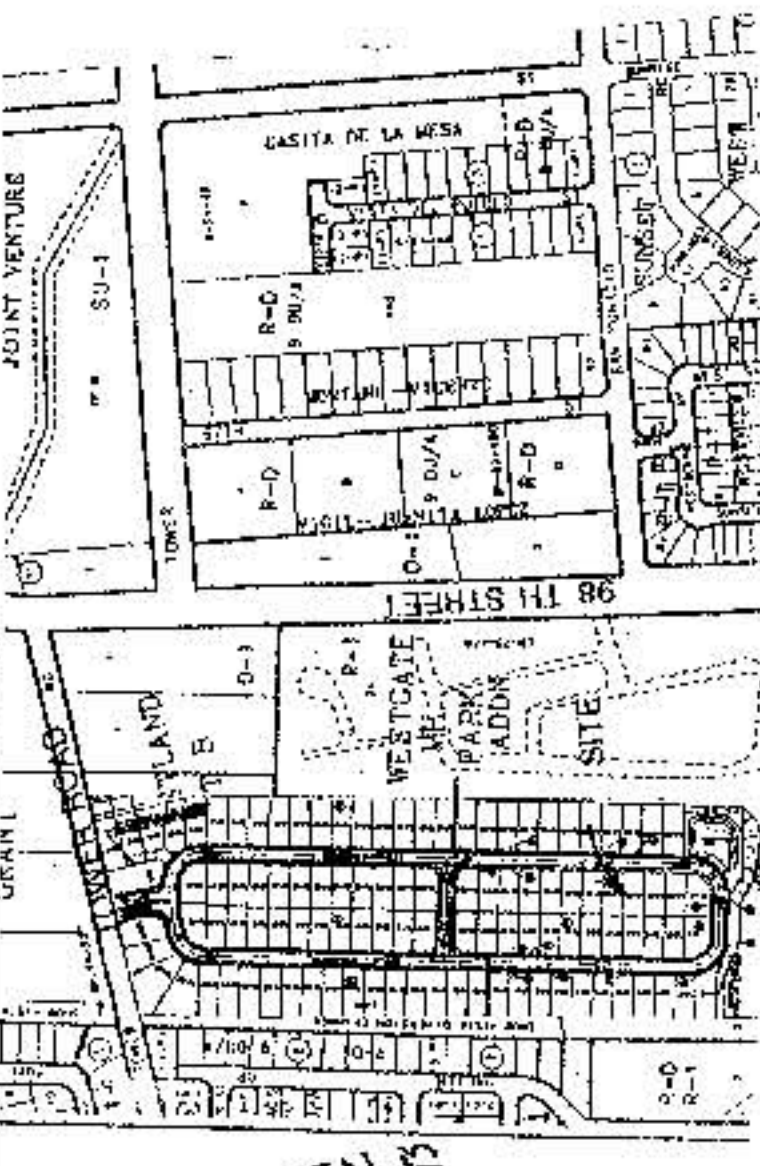
The engineer has undertaken no field verification of the location, depth, size, or type of existing underground utility lines, makes no representation pertaining thereto. The contractor shall inform itself of the location of any utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify, and preserve any and all existing utilities. The contractor shall comply with State statutes, municipal and local ordinances, rules and regulations pertaining to the location of these lines and facilities, in planning and conducting excavation, whether by calling or notifying the utilities, complying with "Blue Stakes" procedures, or otherwise.

- TRAFFIC CONTROL: Five (5) working days prior to beginning construction the contractor shall submit to the Construction Co-ordination Division a detailed construction schedule. Two (2) working days prior to construction the contractor shall obtain a barricading permit from the Construction Co-ordination Division. Contractor shall notify Barricade Engineer (768-2551) prior to occupying an intersection. See section 19 of the specifications.
- All street striping altered or destroyed shall be replaced with plastic reflectorized pavement marking by the contractor to the location as existing or as otherwise shown on these plans.
- The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
- The contractor is responsible for protecting and maintaining all existing monumentation controls. In the event of inadvertent destruction or alteration the contractor must immediately notify the City Chief Surveyor.
- Any work affecting an arterial roadway requires twenty-four completion.

RYALS Engineering & Construction Services

5301 Central, N.E.
Albuquerque, NM 87108
(505) 256-4701
239-4728 mobile telephone

REV.	SHEETS	CITY ENGINEER	DATE	USPR DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRG Chairman	<i>William J. Anderson</i>	1-15-97	APPROVED FOR CONSTRUCTION		
		Transportation	<i>Robert B. Ryals</i>	11-7-96			
		Water/Wastewater	<i>Robert B. Ryals</i>	10-24-96			
		Hydrology	<i>Robert B. Ryals</i>	12-2-96			
		Parks	<i>Robert B. Ryals</i>	11-20-96			
CITY PROJECT NO.		545682		Sheet 1 of 11			



VICINITY MAP

PURPOSE OF THE PLAT

1. Create lots and tracts, dedicate public right of way and grant public utility easements as shown herein.

SUBDIVISION DATA

1. Case No. 98-43 SV-96-42, V-96-52, S-96-15
2. Zone Atlas Index No. L-8
3. Number of Lots Created: 50
4. Gross Area: 10.4 acres
5. Date of Survey: November 16, 1995
6. Miles of street created:
7. Tolls Log:

NOTES

1. Bearings are New Mexico State Plane
2. Old Bearings (Central Zone)
3. Distances are ground distances
4. Bearings and distances in parenthesis are corrected for magnetic declination
5. Basis of boundary is the plat for Sunrise Meadows Unit I, recorded 07-12-96, Vol. 98C-309
6. City of Albuquerque water and sanitary service to Sunrise Meadows Unit II must be verified and coordinated with the Public Works Department, City of Albuquerque.

OWNERS FREE CONSENT AND DEDICATION

The subdivision shown herein is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and sold owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown herein to the City of Albuquerque in fee simple with warranty covenants and do hereby grant all access utility and drainage easements shown herein including the right to construct, operate, repair, and maintain conduits and pipes for gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs (see notes). Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

American Southwest Homes, LTD Company
By: L.L. Bell, Registered New Mexico Agent
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

On this _____ day of _____, 1993, the foregoing instrument was acknowledged before me by L.L. Bell, Registered New Mexico Agent for American Southwest Homes, LTD Company. My commission expires _____

Notary Public

UNCLERKED/NOTARY/NOT 2/26/94 3641353 PMS Espartaco-15

DESCRIPTION:

A tract of land situated within Projected Section 28, Town of Alameda, Grant, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Tracts A and B of Sunrise Meadows Unit I as the same as shown and designated on said Plat filed for record in the office of the County Clerk of Bernalillo New Mexico on July 12, 1995 in Volume 96C, Folio 309, containing 10.41 acres more or less.

LEGAL DESCRIPTION

1. The subdivision shown herein is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and sold owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown herein to the City of Albuquerque in fee simple with warranty covenants and do hereby grant all access utility and drainage easements shown herein including the right to construct, operate, repair, and maintain conduits and pipes for gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs (see notes). Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.
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American Southwest Homes, LTD Company
By: L.L. Bell, Registered New Mexico Agent
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

On this _____ day of _____, 1993, the foregoing instrument was acknowledged before me by L.L. Bell, Registered New Mexico Agent for American Southwest Homes, LTD Company. My commission expires _____

Notary Public

UNCLERKED/NOTARY/NOT 2/26/94 3641353 PMS Espartaco-15

PLAT FOR
SUNRISE MEADOWS
UNIT II SUBDIVISION

Town of Alameda, Grant
Projected Section 28, T 10 N, R 2 E, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO
OCTOBER, 1996

APPROVED AND ACCEPTED BY

Subdivision Case No. _____

Planning Director, City of Albuquerque, N.M.	Date
City Engineering Division, City of Albuquerque, N.M.	Date
Albuquerque Metropolitan Arroyo Flood Control Authority	Date
Traffic Division, City of Albuquerque, N.M.	Date
Water Utilities Department, City of Albuquerque, N.M.	Date
Design and Development, City of Albuquerque, N.M.	Date
City Surveyor, City of Albuquerque, N.M.	Date
Property Management, City of Albuquerque N.M.	Date
County Treasurer, Bernalillo County, N.M.	Date
PNM Gas Services	Date
U.S. West Telecommunications	Date
PNK Electric Services	Date
Jones Interable, inc.	Date

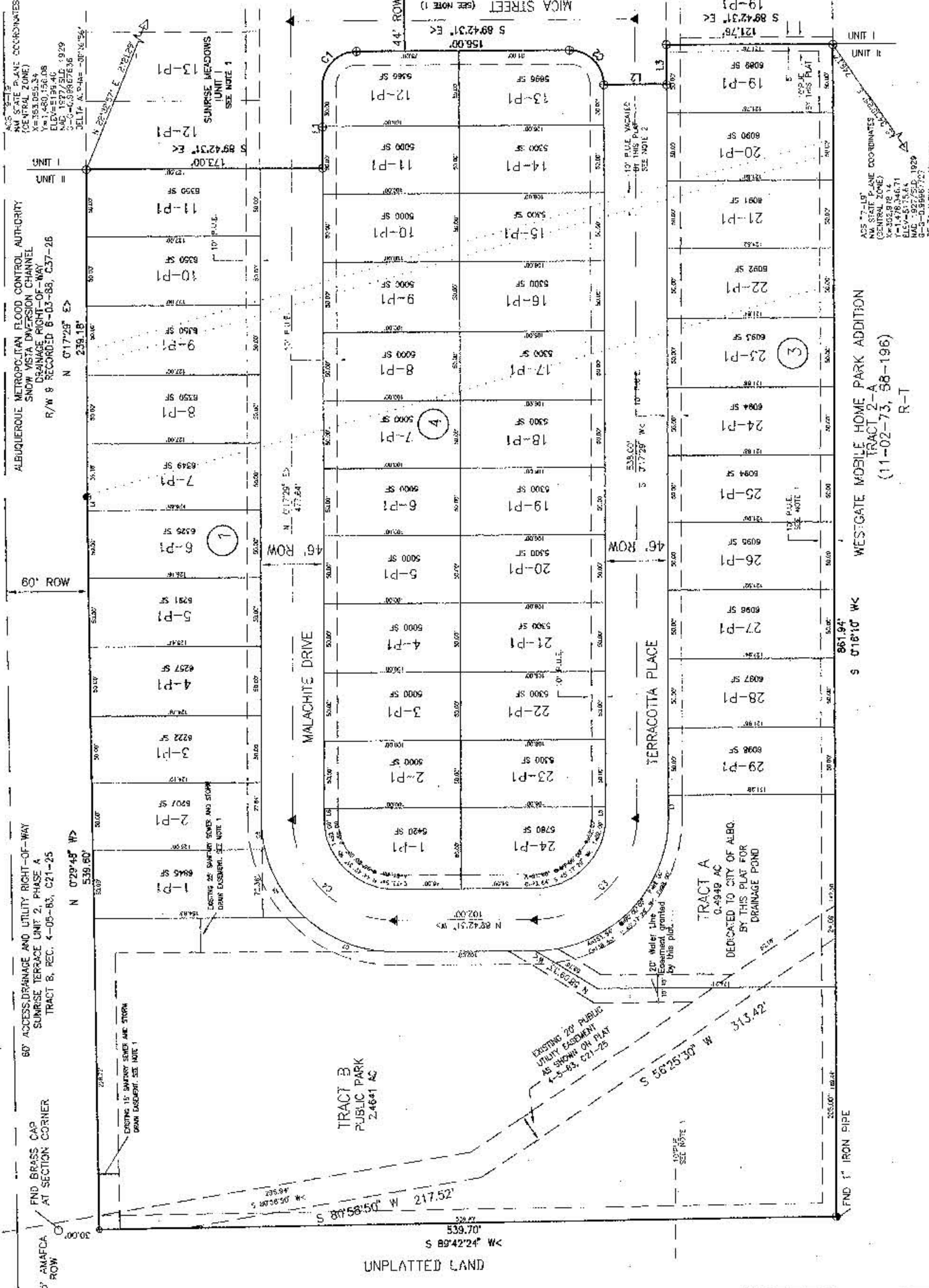
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989) and is true and correct to the best of my knowledge and belief."

TIMOTHY ALDRICH N.M.R.P.S. No. 7719 Date

ARCH LAND
SURVEYING
SHEET
NO. 1 OF 2

PLAT OF
SUNRISE MEADOWS UNIT II
SUBDIVISION
BERNALILLO COUNTY, NEW MEXICO



TRACT	AREA	DELTA	PERCENT	CHANGING LENGTH	CHANGING BEARING	TOTAL LENGTH
1	33.27	0.0000	0.0000	33.27	N 89°42'31" E	33.27
2	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
3	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
4	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
5	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
6	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
7	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
8	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
9	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
10	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
11	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
12	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
13	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
14	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
15	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
16	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
17	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
18	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
19	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
20	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
21	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
22	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
23	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
24	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
25	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
26	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
27	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
28	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
29	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
30	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
31	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
32	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
33	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
34	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
35	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
36	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
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38	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
39	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
40	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
41	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
42	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
43	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
44	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
45	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
46	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
47	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
48	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
49	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27
50	13.27	0.0000	0.0000	13.27	N 89°42'31" E	13.27

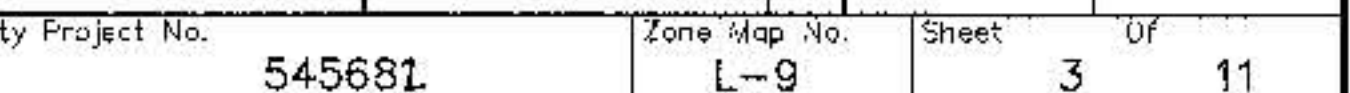
NOTE: 1. GRANTED, CREATED OR DEDICATED BY PLAT OF SUNRISE MEADOWS UNIT I, RECORDED JULY 12, 1996, VOL. 96C, FOLIO 309.
2. EXISTING 10' UTILITY EASEMENT, AS SHOWN ON COURT DECREE DOC. NO. A-1723-E AND REFERENCED IN COURT DECREE DOC. NO. 8614388 (1-20-86, BK.421-A, PGS 82-85) VACATED BY THIS PLAT.

ARCH LAND
SURVEYING
SHEET
NO. 2 OF 2

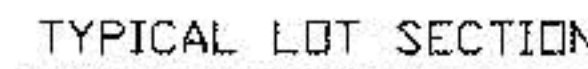
CPN 545681

SHEET 2 of 2

Robert B. Ryals, P.E.



TYPICAL LOT DETAIL



THE CONTRACTOR MUST OBTAIN A TOPSOIL DISBURSANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

THE CONTRACTOR IS TO COMPLY WITH EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT SUPPLIED BY THE OWNER.

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR FINANCING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE CONSTRUCTION SITE. EROSION ARREST IS INTENDED TO CONTROL RUNOFF FLOWS AND PREVENT THE RELEASE OF SEDIMENT INTO ADJACENT STREETS AND PROPERTY. TEMPORARY EROSION CONTROL BARRIERS SHALL BE CONSTRUCTED IN ADDITION WITH THE IDEAL ON THE GRADING PLAN AT LOCATIONS SHOWN.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY BARRIERS THROUGHOUT THE CONSTRUCTION PHASE. THIS WORK WILL MAINTAIN BARRIERS AFTER COMPLETION AND ACCEPTANCE OF CONSTRUCTION.

TEMPORARY EROSION CONTROL BARRIERS LOCATED ON INDIVIDUAL LOTS SHALL REMAIN IN PLACE UNTIL THE CONSTRUCTION OF EACH RESPECTIVE BUILDING IS COMPLETED ON A LOT BY LOT BASIS.

THE TOLERANCES FOR ROUGH GRADING SHALL CONFORM TO THE FOLLOWING:

PAD SURFACE	± 0.1'
STREET SUBGRADE	± 0.1'
ALL OTHER AREAS	± 0.3'

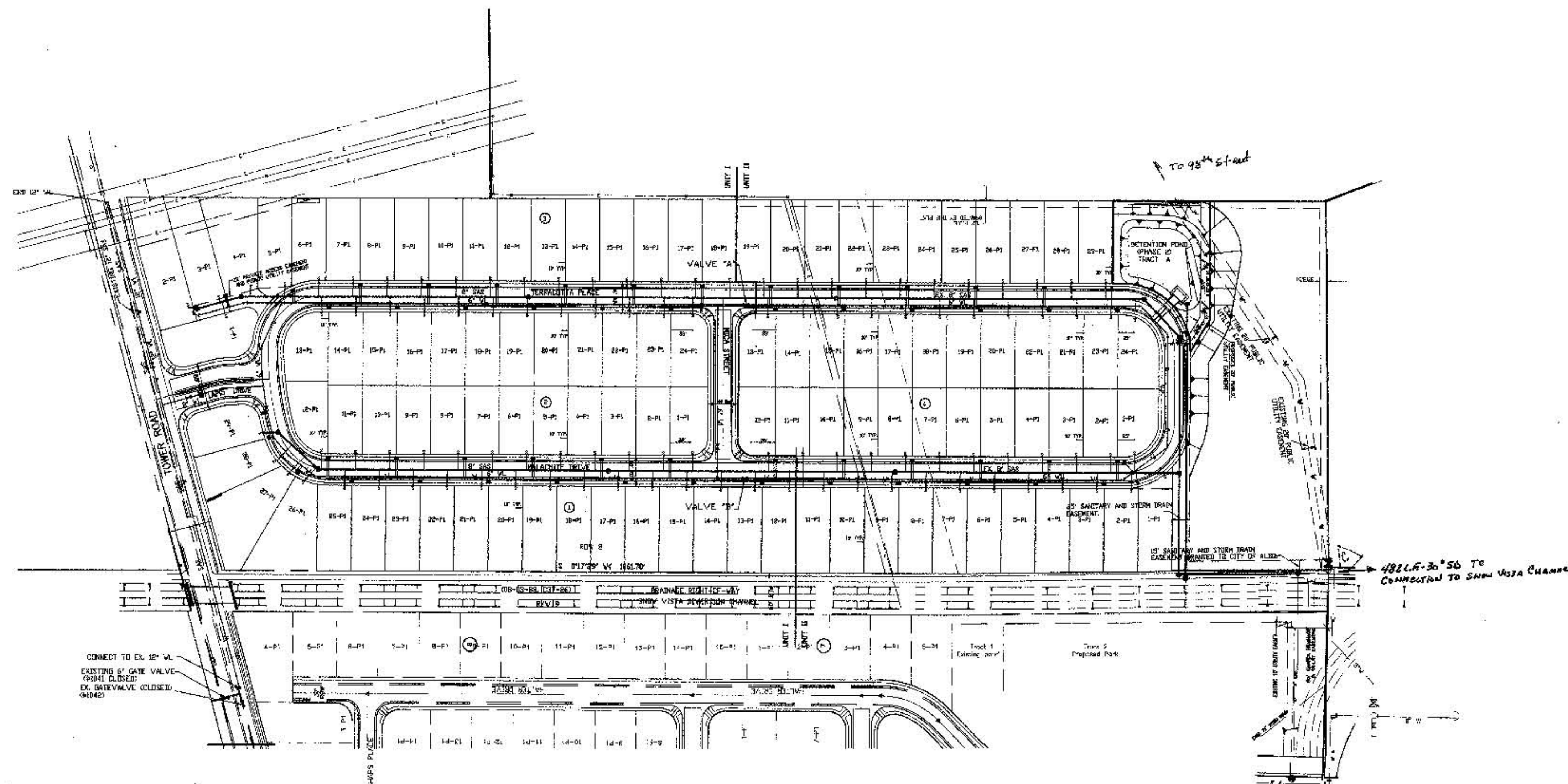
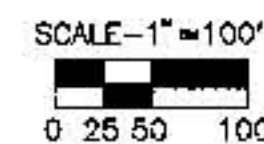
THERE ARE EXISTING WALLS LOCATED ADJACENT TO THIS PROJECT. ANY WALLS DAMAGED OR REMOVED BY THE CONTRACTOR DURING THE CONSTRUCTION ACTIVITIES SHALL BE REINSTATEL OR REPLACED BY THE CONTRACTOR TO AN EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.

10. FOR ALL RETAINING WALLS GREATER THAN 10' A BUILDING PERMIT MUST BE OBTAINED FROM THE CITY OF ALBUQUERQUE CODE ADMINISTRATION JENSEN.

WATER SHUT OFF PLAN REQUIRES
THAT EXISTING 6" GATE VALVE "A" & "B"
IN UNIT 1 BE CLOSED

For connection to existing w/in easement
valve #6, located near Snow Vista Channel

and valve #82 located in 98TH Street,
at ENTRANCE TO TRAILER PARK



FITTING		RESTRAINED LENGTH (ft)	
4" GATE VALVE		38"	
6" GATE VALVE		55"	
8" GATE VALVE		72"	
10" GATE VALVE		88"	
11 1/4" BEND (6")		2'	
11 1/4" BEND (8")		3'	
22 1/4" BEND (6")		5'	
22 1/4" BEND (8")		6'	
45° BEND (6")		10'	
45° BEND (8")		13'	
90° BEND (6")		25'	
90° BEND (8")		32'	
ALL CAPS			
CONCRETE BLOCKING			
4" x 6" TEE	RESTRAIN @	FITTING ONLY (BRANCH	
4" x 8" TEE		54" (6" SIDE)	
6" x 6" TEE	RESTRAIN @	FITTING OR (BRANCH	
6" x 6" TEE		16" (6" SIDE)	
6" x 6" REDUCER		25" (6" SIDE) OR 33" (8" SIDE)	
6" x 5" TEE	RESTRAIN @	FITTING ONLY (BRANCH	
12" VALVE/CAP		65" EACH WAY	
12" 45 DEGREE BEND	27"	EACH WAY	
12" 22-1/2 VERTICAL BEND		13" EACH WAY	
12" 11-1/4 VERTICAL BEND		6" EACH WAY	

1. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
2. ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
3. ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THIS SHEET.
4. CONSTRUCT 4" WATER SERVICES PER STD. DWG. #2125.
5. CONSTRUCT 8" DRAINAGE RESTR. JOINTS DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2340.
6. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS #2361; #2362 & #2363.
7. SEE THIS SHEET FOR WATER SHUT-OFF PLAN
8. UNLESS OTHERWISE INDICATED, ALL SAS MAINHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG# 2102.
9. INSTALL VALVES AND TYPE "B" VALVE BOXES PER STD. DWGS 2325 AND 2333.

DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE		
SAS MANHOLE		
NEW CURB AND GUTTER		
EXISTING CURB AND GUTTER		
REMOVE EXISTING TEMPORARY ASPHALT		
TRANSITION OF ASPHALT VALLEY CUTTER		
WHEELCHAIR RAMP		
WATER VALVE		
FIRE HYDRANT		
STREET LIGHT		
STORM DRAIN MANHOLE		
STORM DRAIN INLET		
MANHOLE		
CURBS & GUTTER		
WATER LINE		
SEWER LINE		
STORM DRAIN		
POWER POLE #1/ GUY WIRE		

UNCLASSIFIED//FOR OFFICIAL USE ONLY DATE 10/07/88 TIME 1328 R/S: S Engineering-48

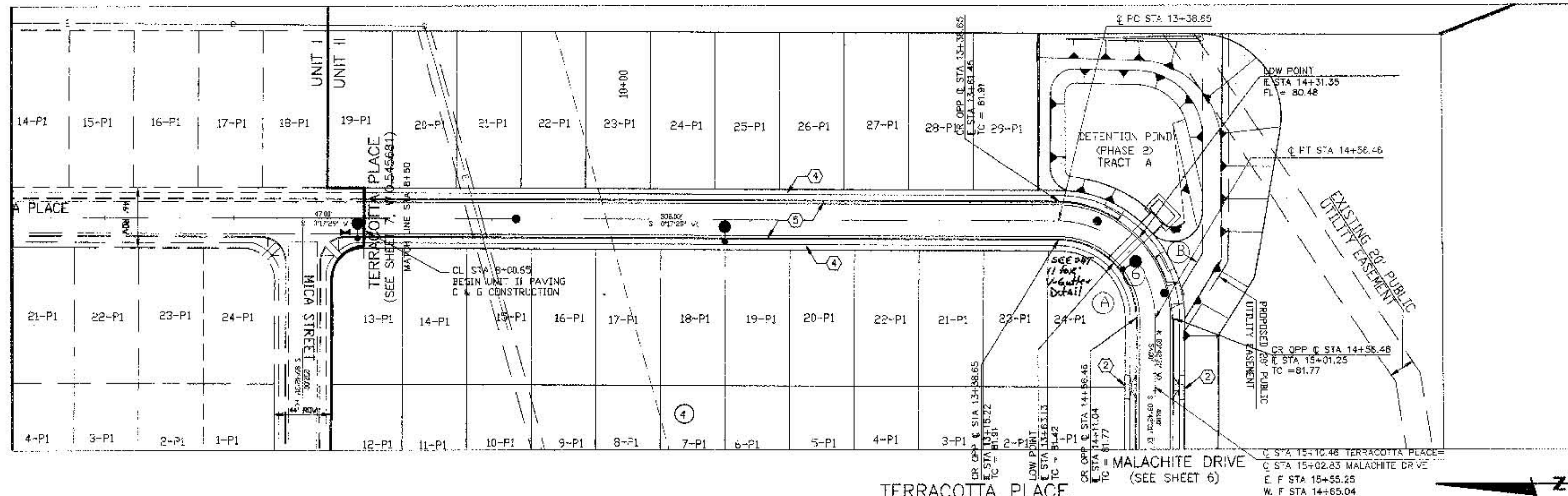
RYALS
5301 Central, N.E.
(505) 256-4701

engineering &
construction services
Albuquerque, NM 87108
238-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: SUNRISE MEADOWS SUBDIVISION, UNIT II
COMPOSITE UTILITY PLAN

Design Review Committee	City Engineer Approval	No. / Day / Yr.	No. / Day / Yr.
	Last Design Update		
City Project No.	Zone Map No.	Sheet	Cf
545582	1-9	5	11

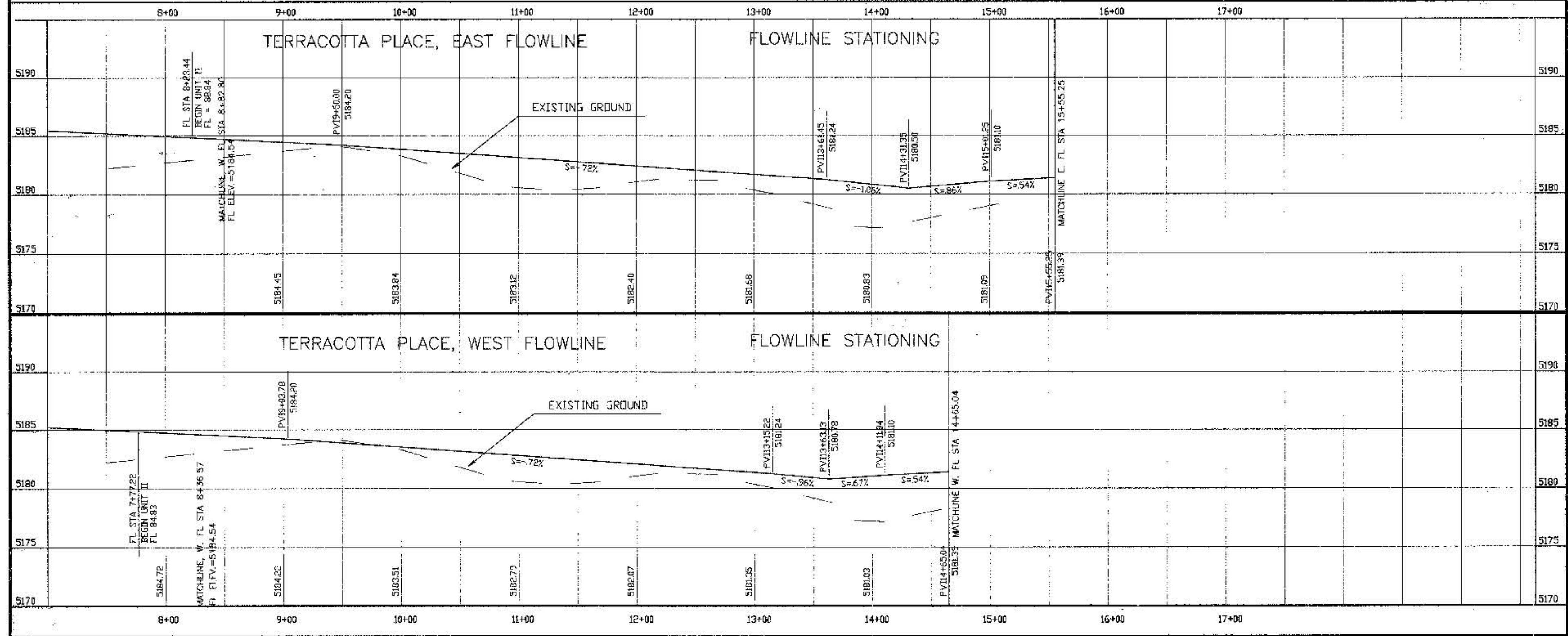


ARC	17.91
DETA	50'00'00"
RADIUS	75.00
CHORD	106.07
C BRG	S 45°17'59" W
TANGENT	73.00

CURB CURVE DATA			
NO.	RADIUS	ARC	DELTA
A	52	81.68	90 00'00"
B	98	153.94	90 00'00"

- GENERAL NOTES:
- CONC. VALLEY GUTTER PER C.O.A. DWG. 2420. (UNLESS OTHERWISE SHOWN.)
 - CONSTRUCT WHEELCHAIR RAMP PER DETAIL, SHEET 4.
 - 50' TRANSITION PER C.O.A. DWG. 2401.
 - 4' WIDE CONC. S.W. BY OTHERS
 - CONSTRUCT STANDARD CURB & GUTTER PER C.O.A. DWG #2415.
 - CONSTRUCT MOUNTABLE CURB & GUTTER PER C.O.A. DWG #2415.
 - ADJUST EXISTING M.H. RIM TO MATCH PAVEMENT GRADE.

SCALES:
HORIZ. 1"=50'
VERT. 1"=5'



LEGEND		
DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE	⊙	⊙
SAS MANHOLE	●	●
NEW CURB AND GUTTER		
EXISTING CURB AND GUTTER		
REMOVE EXISTING TEMPORARY ASPHALT		///
TRANSITION OF ASPHALT		▲
VALLEY GUTTER		▲
WHEELCHAIR RAMP		▲
STREET LIGHT		●

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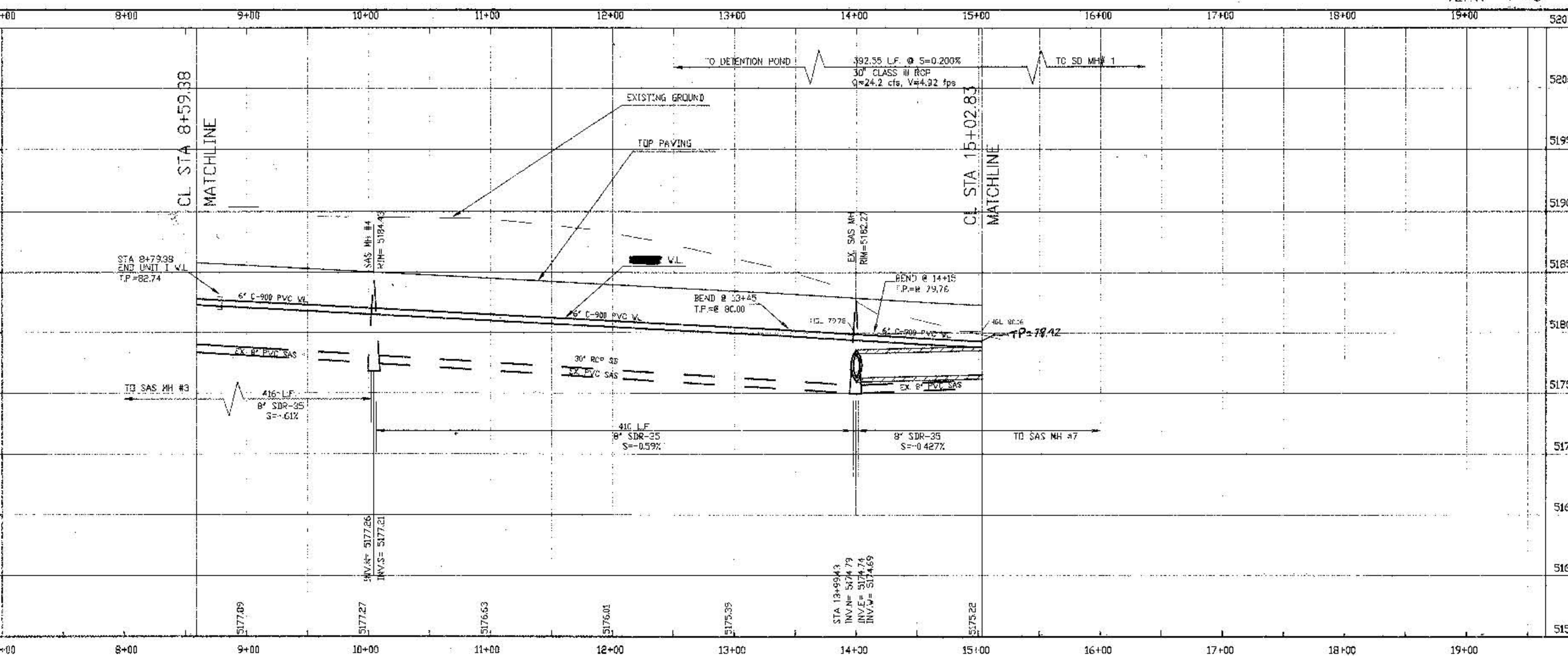
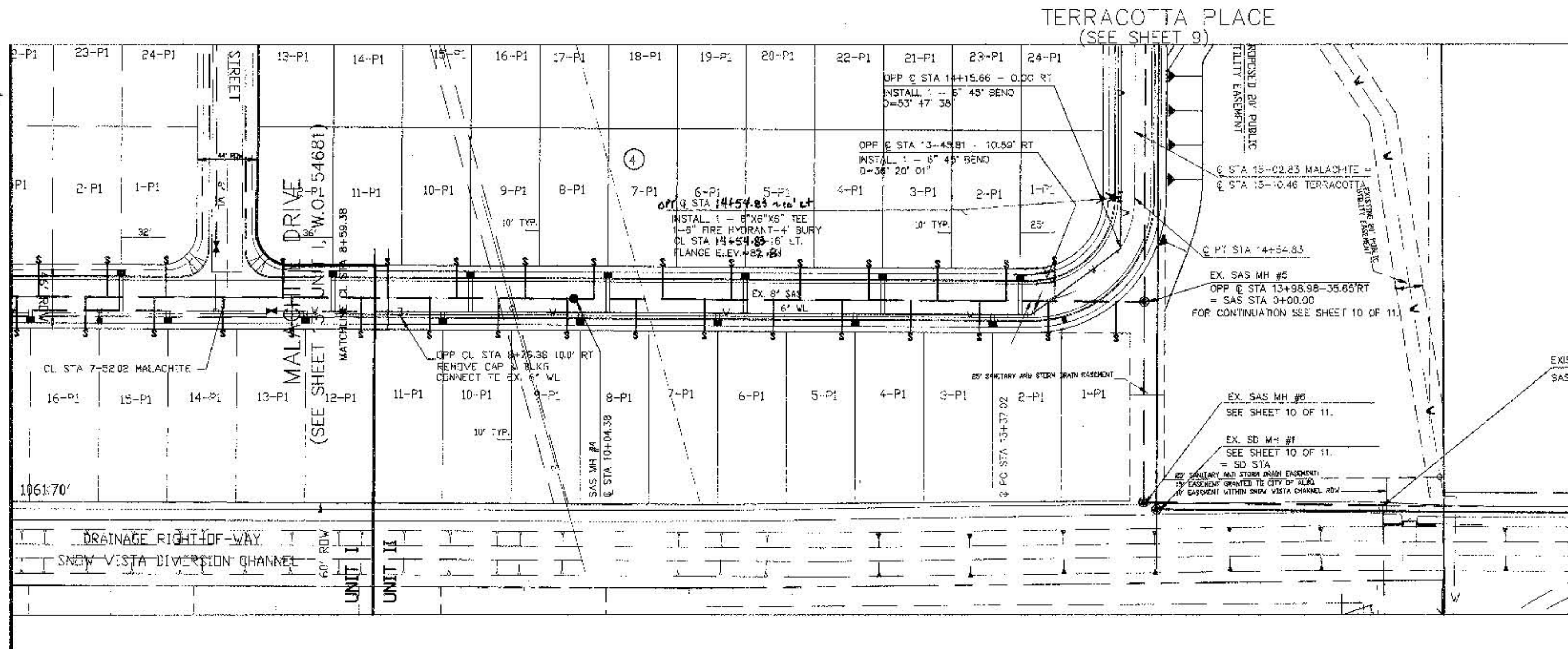
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: SUNRISE MEADOWS SUBDIVISION, UNIT II
PAVING PLAN AND PROFILE
STA. 8+60.00-15+10.46 TERRACOTTA PLACE



DESIGNED BY: JFB, JMN
DRAWN BY: HFB, JMN
CHECKED BY: JNR

DATE: 09/96
DATE: 09/96
DATE: 05/96



GENERAL NOTES:

1. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWERLINE COSTS.
2. ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
3. ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 5.
4. CONSTRUCT SAS SERVICES PER STD. DWG. #2125.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2360.
6. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS. #2361, #2362 & #2363.
7. SEE SHT. 5 FOR WATER SHUT-OFF PLAN.
8. UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG. #2102.
9. INSTALL VALVES AND TYPE "B" VALVE BOXES PER STD. DWGS. 2325 AND 2333.

SEWER SERVICE TABLE

BLK #	LOT #	E STA	INV @ PL
1	1	13+64	79.1
1	2	13+44	79.1
1	3	12+99	79.4
1	4	12+49	79.6
1	5	11+99	79.9
1	6	11+49	80.2
1	7	10+99	80.4
1	8	10+49	80.7
1	9	9+99	81.0
1	10	9+49	81.3
2	1	13+39	79.2
2	2	13+19	79.3
2	3	12+69	79.5
2	4	12+19	79.8
2	5	11+69	80.3
2	6	11+19	80.6
2	7	10+69	80.8
2	8	10+19	80.9
2	9	9+69	81.1

LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	W
FIRE HYDRANT	F
SINGLE WATER SERVICE	S
DOUBLE WATER SERVICE	D
STREET LIGHT	L
STORM DRAIN MANHOLE	M
CATCH BASIN	C
SAS MANHOLE	S
SEWER SERVICE	S
WATER LINE	W
SEWER LINE	S

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: SUNRISE MEADOWS SUBDIVISION, UNIT II
UTILITY PLAN AND PROFILE
STA. 8+68.00-15+02.83 MALACHITE DRIVE

DESIGNED BY HFE, JMN DATE 09/96
DRAWN BY HFE, JMN DATE 09/96
CHECKED BY RTR DATE 09/96

APPROVED
City Engineer Approval

City Project No. 545682

Zone Map No. L-9

Sheet 8 of 11

BENCH MARKS

ACS MONUMENT "7-18" ELEVATION=5175.64

SURVEY INFORMATION

NO. BY DATE

REVISIONS

DESIGN

NO. DATE

REVISIONS

DESIGN

AS BUILT INFORMATION

CONTRACTOR: Hydro Systems, Inc.

DATE: 09/96

REVISIONS

NO. BY DATE

REVISIONS

DESIGN

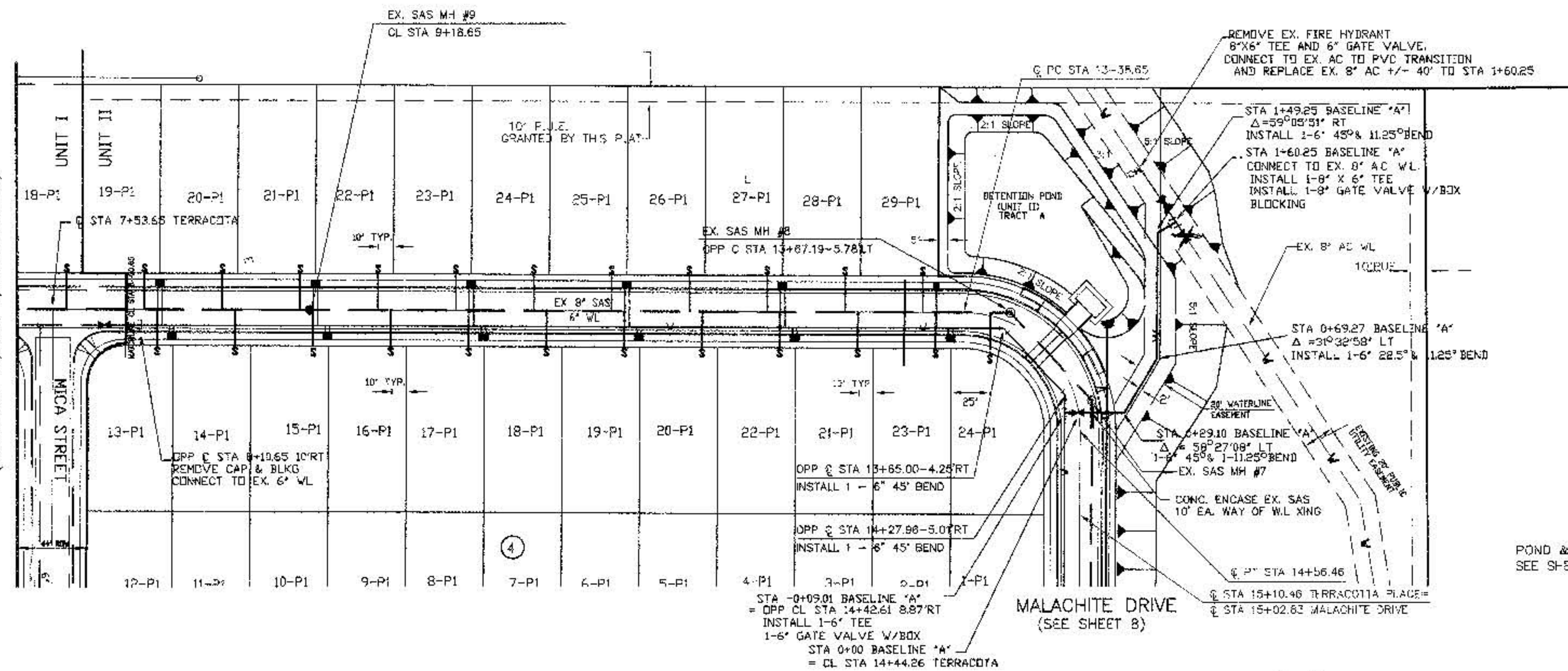
NO. DATE

REVISIONS

DESIGN

DESIGN

TERRACOTTA PLACE
(SEE SHEET 12, UNIT I, PROJ. 545681)



TERRACOTTA PLACE

MALACHITE DRIVE
(SEE SHEET 8)

POND & SPILLWAY GRADING DETAILS,
SEE SHEET 11 OF 11

SCALES:
HORIZ. 1"=50'
VERT. 1"=5'

GENERAL NOTES:

- CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
- ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 7.
- CONSTRUCT SAS SERVICES PER STD. DWG. #2125.
- CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2540.
- CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS. #2361, #2362 & #2363.
- SEE SHT. 7 FOR WATER SHUT-OFF PLAN.
- UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "C" PER STD. DWG. #2102.
- INSTALL VALVES AND TYPE "B" VALVE BOXES PER STD. DWGS. 2323 AND 2333.

BASELINE "A" WATERLINE TABLE

LINE	BEARING	DISTANCE
L1	S 1°16'10" W	9.81
L2	S 0°16'10" W	29.11
L3	S 58°09'33" E	48.19
L4	S 30°36'40" E	11.65

SEWER SERVICE TABLE

BLK #	LOT #	STA	INV @ P
4	16	8+7.0	80.7
4	17	10+2.0	80.3
4	18	10+7.0	79.9
4	19	11+2.0	79.6
4	20	11+7.0	79.2
4	21	12+2.0	78.9
4	22	12+7.0	78.5
4	23	13+2.0	78.1
4	24	13+7.0	77.7
3	22	9+5.2	80.7
3	23	10+1.2	80.4
3	24	10+6.2	80.0
3	25	11+1.2	79.6
3	26	11+6.2	79.3
3	27	12+1.2	78.9
3	28	12+6.2	78.5
3	29	13+1.2	78.2

LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	⊗
FIRE HYDRANT	⊙
SINGLE WATER SERVICE	—
DOUBLE WATER SERVICE	—
STREET LIGHT	⊙
STORM DRAIN MANHOLE	⊙
CATCH BASIN	⊙
SAS MANHOLE	⊙
SEWER SERVICE	—
WATER LINE	—
SEWER LINE	—

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: SUNRISE MEADOWS SUBDIVISION, UNIT II
UTILITY PLAN AND PROFILE
STA. 8+60.00-15+10.46 TERRACOTTA PLACE

DESIGNED BY: JLD, MMW
DRAWN BY: HPH, MMW
CHECKED BY: RBR

City Engineer Approval

City Project No. 545682

Zone Map No. L-9

Sheet 9 of 11

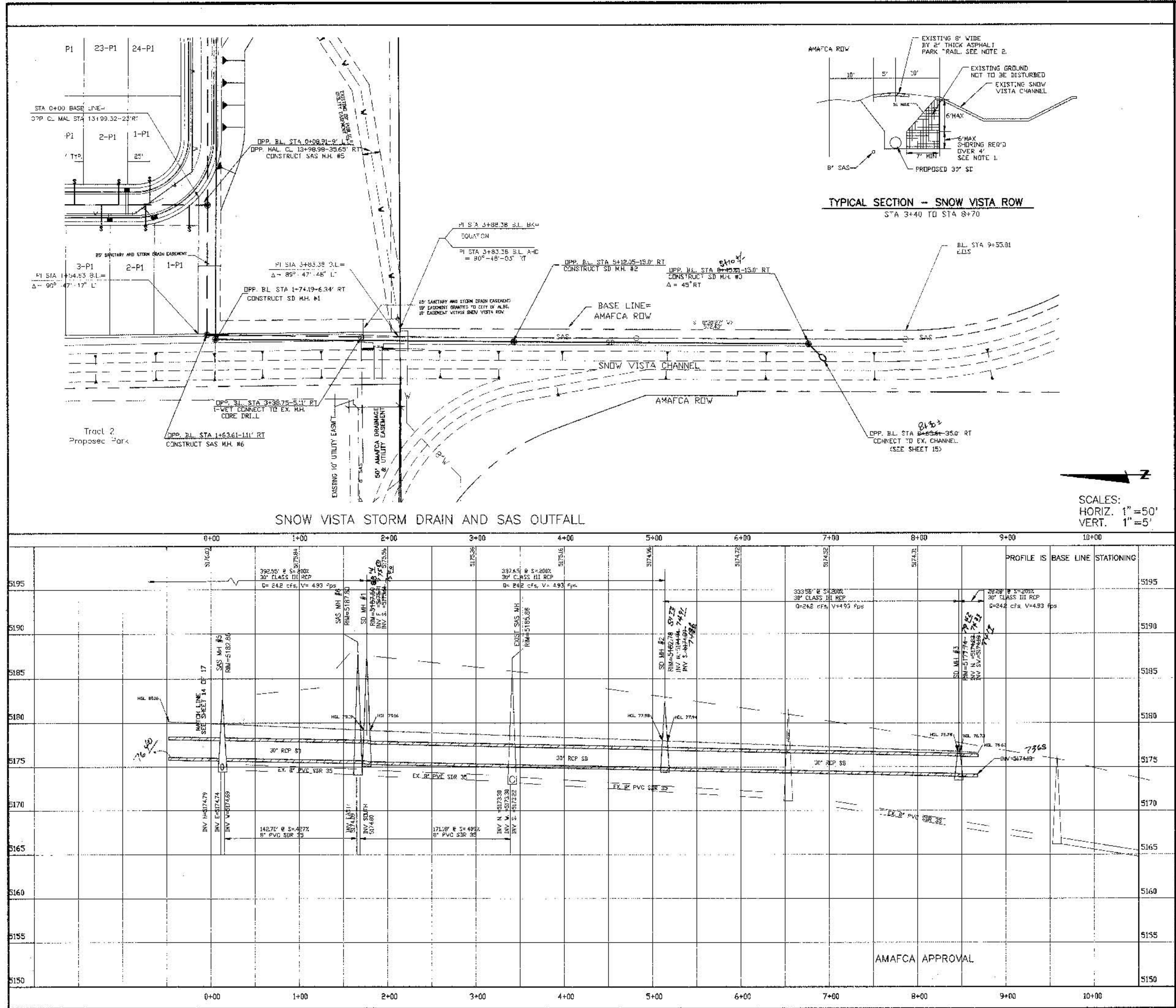
AS BUILT INFORMATION
DATE: 10/25/96
BY: RYALS

BENCH MARKS
DATE: 10/25/96
BY: RYALS

SURVEY INFORMATION
DATE: 10/25/96
BY: RYALS

ENGINEER'S SEAL
DATE: 10/25/96
BY: RYALS

REVISIONS
DATE: 10/25/96
BY: RYALS



GENERAL NOTES:

1. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
2. ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
3. ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 5.
4. CONSTRUCT SAS SERVICES PER STD. DWG. #2125.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2340.
6. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS. #2361, #2362 & #2363.
7. SEE SHIT. 5 FOR WATER SHUT-OFF PLAN.
8. UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG. #2102.

CONSTRUCTION NOTES:

1. PRIOR TO EXCAVATION ADJACENT TO EXISTING SNOW VISTA CHANNEL, EXISTING GROUND TO BE PREWEIGHTED TO OPTIMUM +2% FOR FULL DEPTH OF EXCAVATION. A TRENCH BOX OR OTHER SUITABLE METHOD OF SHORING WILL BE REQUIRED FOR INSTALLATION OF STORM DRAIN WHERE DEPTH EXCEEDS 7'. EXCAVATION SHALL NOT ENCROACH ON ENVELOPE SHOWN IN DETAIL NOT TO BE DISTURBED.
2. EXISTING 8' WIDE BY 2" THICK ASPHALT PARK TRAIL TO BE REMOVED AND REPLACED TO EXISTING GRADE AND LINE. ASPHALT SHALL BE C.D.A. RESIDENTIAL MIX TYPE C PLACED ON 12" OF SUBGRADE COMPACTED TO 95%.

LEGEND

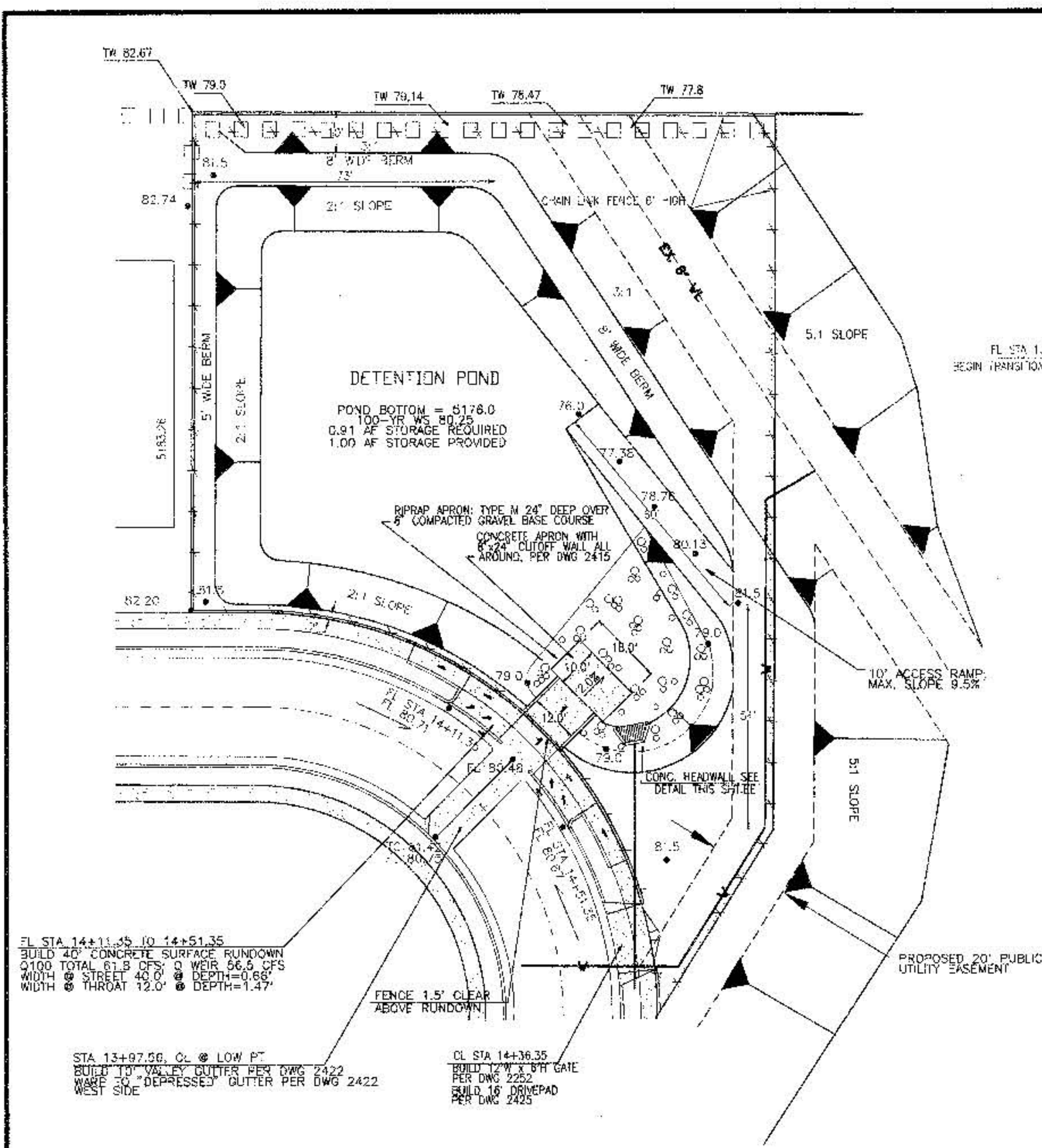
DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
STORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	
WATER LINE	
SEWER LINE	

RYALS

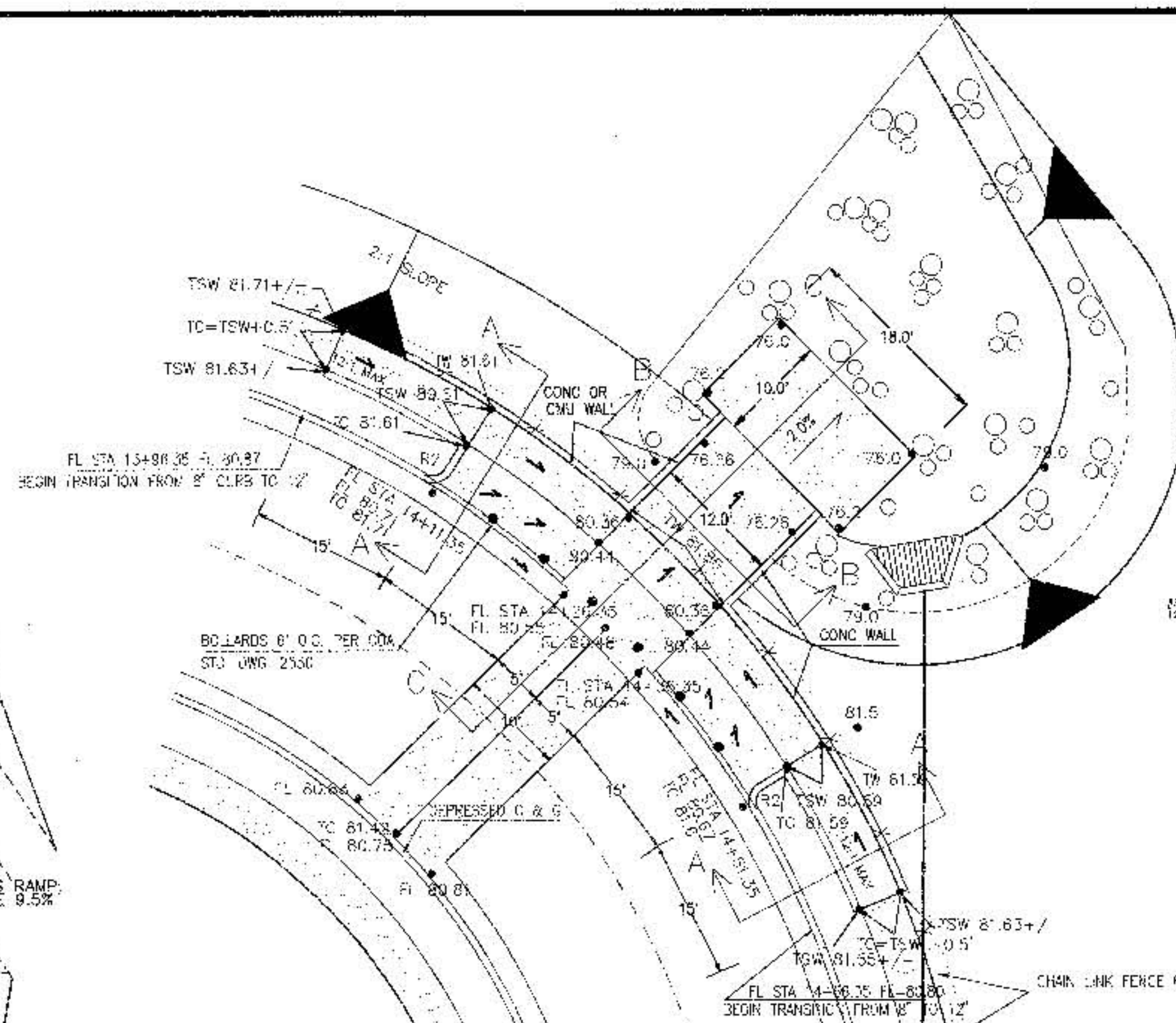
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: SUNRISE MEADOWS SUBDIVISION, UNIT II UTILITY PLAN AND PROFILE SAS & STORM DRAIN OUTFALL - SNOW VISTA CHANNEL	
DESIGN:	CITY ENGINEER APPROVAL:
DATE: 09/96	DATE: 09/96
DRAWN BY: HITS, JAN	CHECKED BY: HITS, JAN
REVISIONS	NO. DATE
DESIGNED BY: HITS, JAN	DATE: 09/96
DRAWN BY: HITS, JAN	DATE: 09/96
CHECKED BY: HITS, JAN	DATE: 09/96
City Project No. 545682	
Zone Map No. L-9	Sheet 10 of 11



TRACT A SUNRISE MEADOWS UNIT II
DETENTION POND (PHASE 2) 1" = 20.0'



POND SPILLWAY GRADING DETAIL 1" = 10.0'

