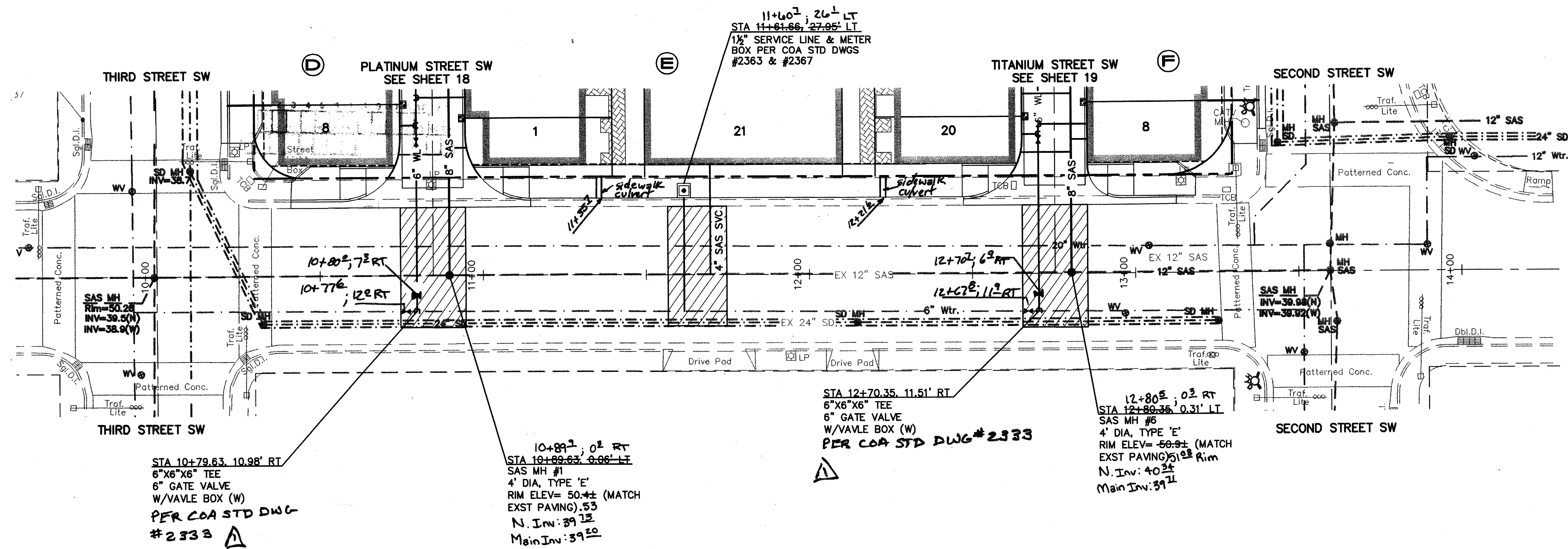
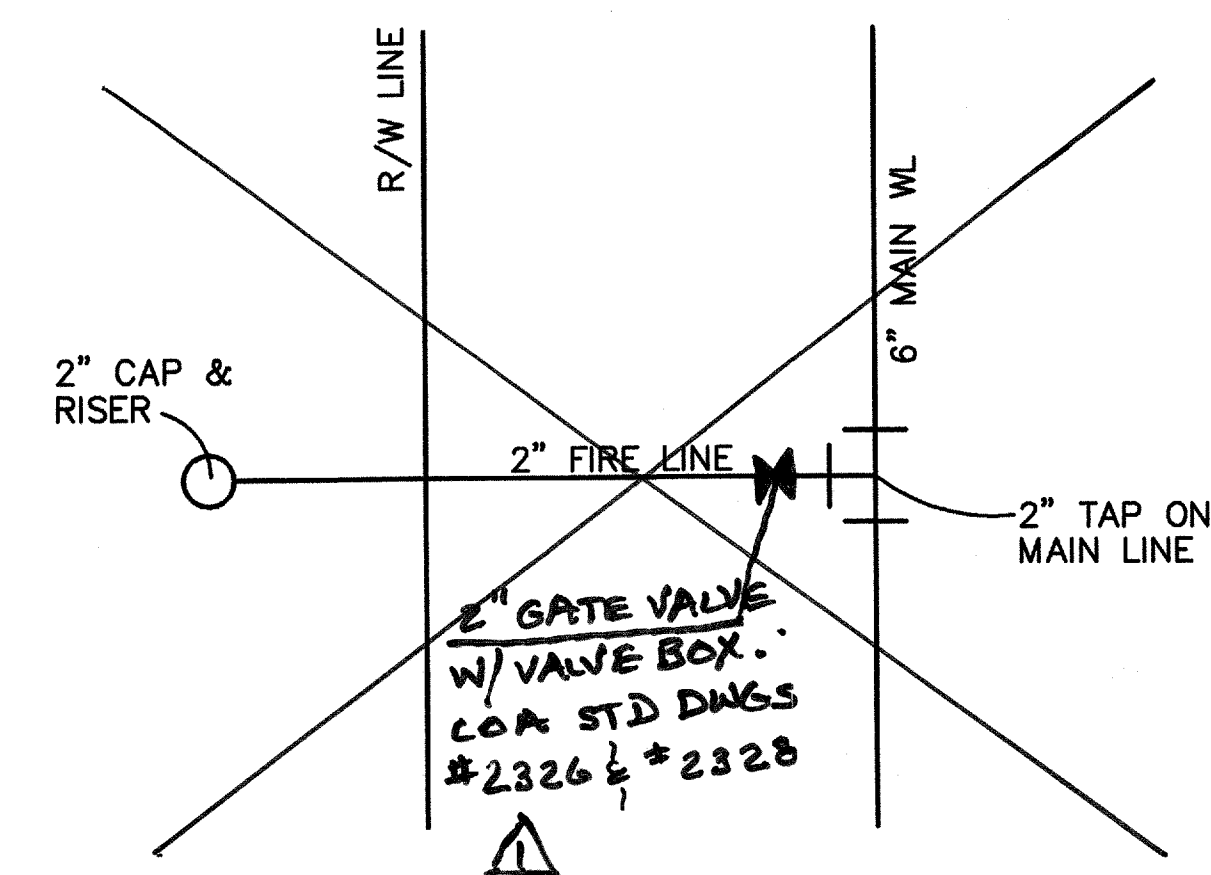




LEAD AVENUE SW



FIRE LINE DETAIL

NTS

GENERAL NOTES

1. CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
2. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.
3. SEE SHEET 16 FOR WATER SHUT-OFF PLAN.
4. SEE SHEET 16 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
6. SEE COA STD DWG #2326 & #2328 FOR VALVE BOX, VALVE RING & COVER DETAILS.
7. ALL WATER METER BOXES SHALL HAVE HEAVY WEIGHT COVERS & LIDS PER COA STD DWG #2369.
8. ALL WATERLINE SHALL BE C900-DR18, UNLESS OTHERWISE NOTED.
9. ALL SANITARY SEWER LINES SHALL BE SDR35, UNLESS OTHERWISE NOTED.



SAWCUT, REMOVE, & REPLACE
W/2" ADDITIONAL THICKNESS
PER COA STD DWG #2465
(MINOR ARTERIAL)

UTILITY SERVICE TABLE

LOT, BLK NO.	STATION		SAS INV @ R/W
	WATER LENGTH	SAS, LENGTH	
LOT 21, BLK E*	11+61.66, 35'	11+69.63, 25'	43.00

ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (*) SINGLE.

ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (*) SINGLE.

SURVEY INFORMATION	BENCH MARKS	AS-BUILT INFORMATION
FIELD NOTES		CONTRACTOR <i>Ralph Coast</i>
	A.C.S. Sta. "18-K14"	WORKING BY <i>Walker Surveying Co.</i>
	x = 387330.57	STARTED ON DATE
	y = 1485990.88	ACCEPTANCE BY DATE
	Gnd./Grid Fact = 0.99967846	DRAWINGS COMPLETED BY DATE
	Delta Alpha = -0'13.41"	MICRO-FILM INFORMATION
	NM S.P.C., Cent.Zone, NAD27	RECORDED BY DATE
	ELEVATION= 4960.723 NAVD 1929	NO.

ENGINEER'S SEAL

GENE VIEVE L. SMITH
NEW MEXICO
15086
PROFESSIONAL ENGINEER
03/19/08

[illegible]

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

► 128 Monroe Street N.E.

Albuquerque, New Mexico 87108

Ph. 505-268-8828 Fax. 505-268-2632

1582UTL3.dwg

Mar 18, 2008

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: SILVER TOWNHOMES
LEAD AVE. SW
UTILITY PLAN

Design Review Committee

City Engineer Approval

APPROVED
DEC 08 2008
CITY ENGINEER

DESIGN
REVIEW COMMITTEE

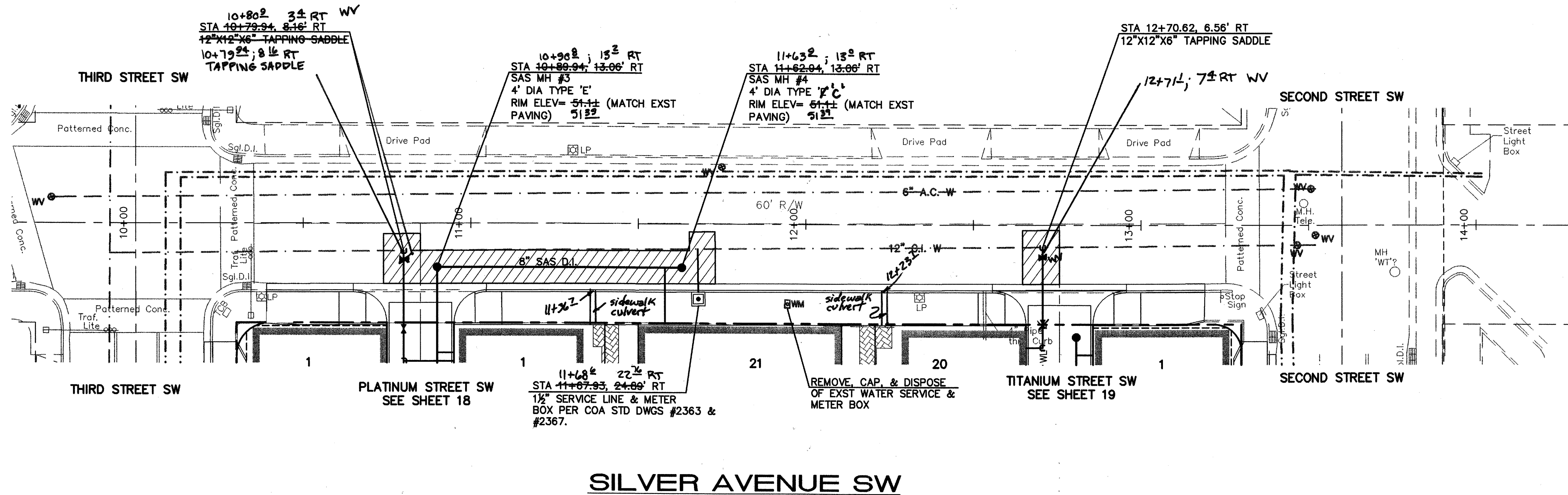
Zone Map No.

555482

Zone Map No.
K-14-Z

Sheet **21** Of **21**

RECORD DRAWING

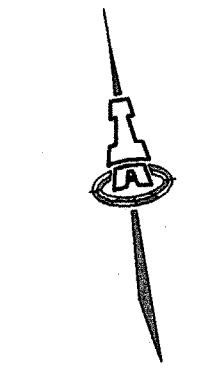


- GENERAL NOTES**
- CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
 - CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.
 - SEE SHEET 16 FOR WATER SHUT-OFF PLAN.
 - SEE SHEET 16 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
 - CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
 - SEE COA STD DWG #2326 & #2328 FOR VALVE BOX, VALVE RING & COVER DETAILS.
 - ALL WATER METER BOXES SHALL HAVE HEAVY WEIGHT COVERS & LIDS PER COA STD DWG #2369.
 - ALL WATERLINE SHALL BE C900-DR18, UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER LINES SHALL BE SDR35, UNLESS OTHERWISE NOTED.

SAWCUT, REMOVE, & REPLACE W/2" ADDITIONAL THICKNESS PER COA STD DWG #2465 (MINOR ARTERIAL)

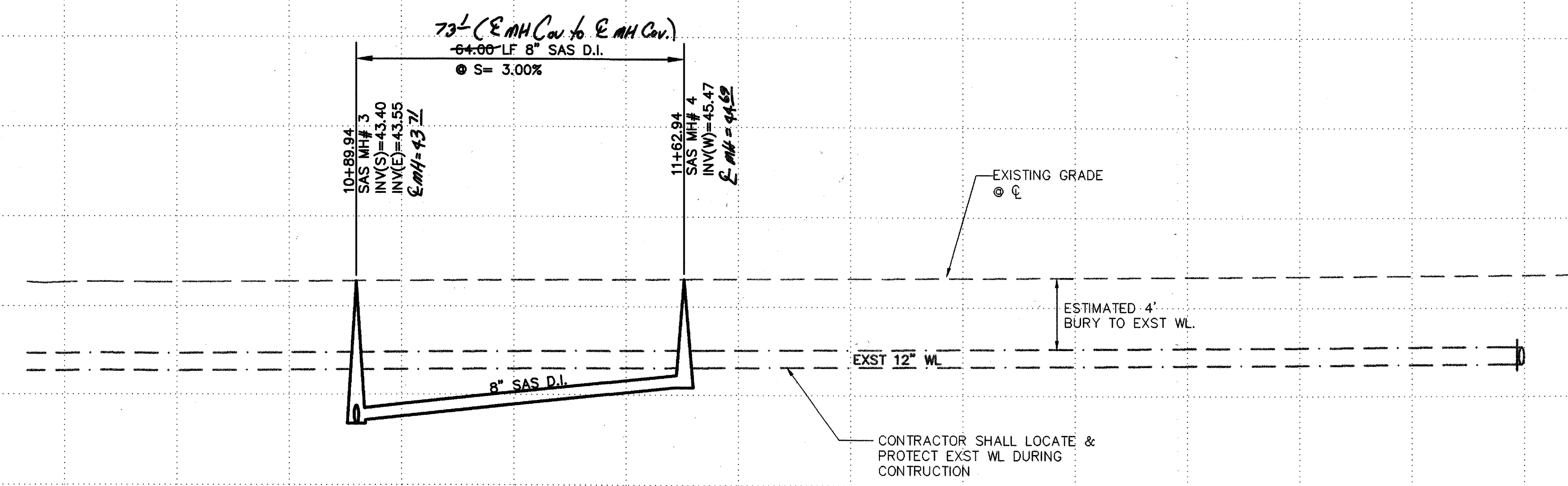
UTILITY SERVICE TABLE

LOT, BLK NO.	STATION		SAS INV @ R/W
	WATER LENGTH	SAS, LENGTH	
LOT 21, BLK B	11+67.85, 13.10'	11+57.94, 17'	46.52



SCALES:
1"=20' HOR.
1"=5' VERT.

Elevation Datum: NCVD 29



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1582/UTL2.dwg Mar 18, 2008

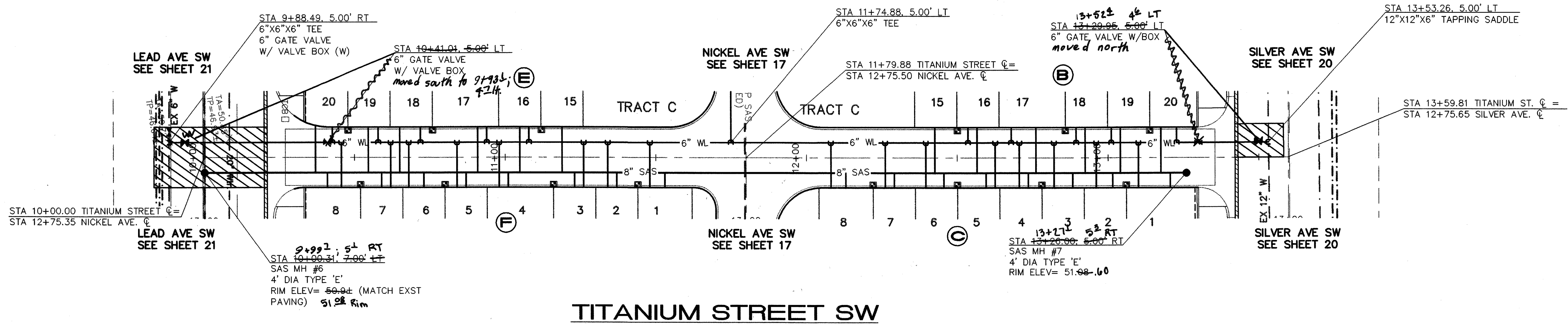
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

**TITLE: SILVER TOWNHOMES
SILVER AVE SW
STA 10+00.00 TO END
UTILITY PLAN**

Design Review Committee: **APPROVED** APR 15 2008
City Engineer Approval: **APPROVED** DEC 08 2008
DESIGN REVIEW COMMITTEE CITY ENGINEER

City Project No. **555482** Zone Map No. **K-14-Z**

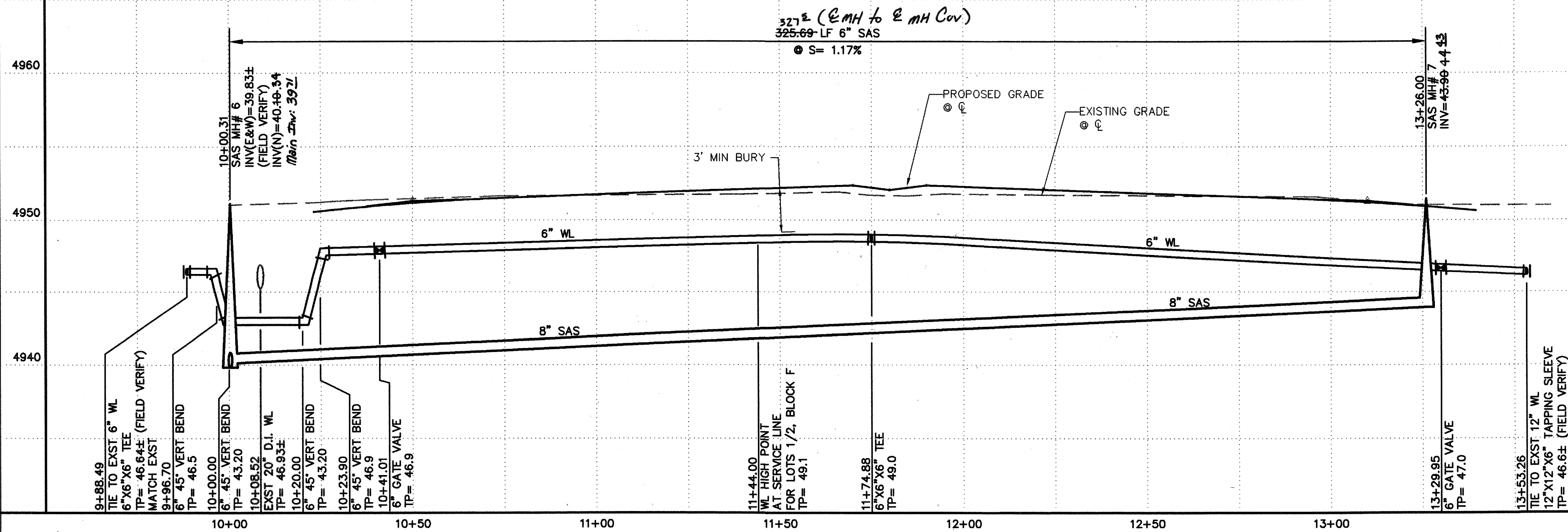
AS-BUILT INFORMATION		BENCH MARKS	SURVEY INFORMATION		ENGINEER'S SEAL	REVISIONS				DESIGN			CHECKED BY		
NO.	DATE		NO.	DATE		NO.	DATE	BY	REMARKS	NO.	DATE	BY	NO.	DATE	BY
1			1			1				1			1		
2			2			2				2			2		
3			3			3				3			3		
4			4			4				4			4		
5			5			5				5			5		
6			6			6				6			6		
7			7			7				7			7		
8			8			8				8			8		
9			9			9				9			9		
10			10			10				10			10		
11			11			11				11			11		
12			12			12				12			12		
13			13			13				13			13		
14			14			14				14			14		
15			15			15				15			15		
16			16			16				16			16		
17			17			17				17			17		
18			18			18				18			18		
19			19			19				19			19		
20			20			20				20			20		
21			21			21				21			21		
22			22			22				22			22		
23			23			23				23			23		
24			24			24				24			24		
25			25			25				25			25		
26			26			26				26			26		
27			27			27				27			27		
28			28			28				28			28		
29			29			29				29			29		
30			30			30				30			30		
31			31			31				31			31		
32			32			32				32			32		
33			33			33				33			33		
34			34			34				34			34		
35			35			35				35			35		
36			36			36				36			36		
37			37			37				37			37		
38			38			38				38			38		
39			39			39				39			39		
40			40			40				40			40		
41			41			41				41			41		
42			42			42				42			42		
43			43			43				43			43		
44			44			44				44			44		
45			45			45				45			45		
46			46			46				46			46		
47			47			47				47			47		
48			48			48				48			48		
49			49			49				49			49		
50			50			50				50			50		
51			51			51				51			51		
52			52			52				52			52		
53			53			53				53			53		
54			54			54				54			54		
55			55			55				55			55		
56			56			56				56			56		
57			57			57				57			57		
58			58			58				58			58		
59			59			59				59			59		
60			60			60				60			60		
61			61			61				61			61		
62			62			62				62			62		
63			63			63				63			63		
64			64			64				64			64		
65			65			65				65			65		
66			66			66				66			66		
67			67			67				67			67		
68			68			68				68			68		
69			69			69				69			69		
70			70			70				70			70		
71			71			71				71			71		
72			72			72				72			72		
73			73			73				73			73		
74			74			74				74			74		
75			75			75				75			75		
76			76			76				76			76		
77			77			77				77			77		
78			78			78				78			78		
79			79			79				79			79		
80			80			80				80			80		
81			81			81				81			81		
82			82			82				82			82		
83			83			83				83			83		
84			84			84				84			84		
85			85			85				85			85		
86			86			86				86			86		
87			87			87				87			87		
88			88			88				88			88		
89			89			89				89			89		
90			90			90				90			90		
91			91			91				91			91		
92			92			92				92			92		
93			93			93				93			93		
94			94			94				94			94		
95			95			95				95			95		
96			96			96				96			96		
97			97			97				97			97		
98			98			98				98			98		
99			99			99				99			99		
100			100			100				100			100		



 SAWCUT, REMOVE, & REPLACE
W/2" ADDITIONAL THICKNESS
PER COA STD DWG #2465
(MINOR ARTERIAL)

SCALES:
1"=20' HOR.
1"=5' VERT.

Elevation Datum: NGVD 29



GENERAL NOTES

1. CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
2. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.
3. SEE SHEET 16 FOR WATER SHUT-OFF PLAN.
4. SEE SHEET 16 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
6. SEE COA STD DWG #2326 & #2328 FOR VALVE BOX, VALVE RING & COVER DETAILS.
7. ALL WATER METER BOXES SHALL HAVE HEAVY WEIGHT COVERS & LIDS PER COA STD DWG #2369.
8. ALL WATERLINE SHALL BE C900-DR18, UNLESS OTHERWISE NOTED.
9. ALL SANITARY SEWER LINES SHALL BE SDR35, UNLESS OTHERWISE NOTED.

UTILITY SERVICE TABLE

LOT, BLK NO.	STATION		SAS INV @ 7/21
	WATER LENGTH	SAS, LENGTH	
LOT 1, BLK F		11+53.00, 5'	47.21
LOT 2, BLK F	11+44.00, 12.97'	11+37.00, 5'	47.07
LOT 3, BLK F		11+23.00, 5'	46.95
LOT 4, BLK F	11+16.00, 12.97'	11+01.00, 5'	46.71
LOT 5, BLK F	10+80.00, 12.97'	10+87.00, 5'	46.63
LOT 6, BLK F		10+73.00, 5'	46.50
LOT 7, BLK F	10+52.00, 12.97'	10+59.00, 5'	46.38
LOT 8, BLK F		10+47.00, 5'	46.01
LOT 1, BLK C	13+06.00, 13'	13+20.62, 5'	46.03
LOT 2, BLK C		13+01.58, 5'	46.34
LOT 3, BLK C	12+79.00, 13'	12+88.29, 5'	46.50
LOT 4, BLK C		12+73.59, 5'	46.62
LOT 5, BLK C	12+50.00, 13'	12+59.59, 5'	46.74
LOT 6, BLK C		12+45.58, 5'	46.87
LOT 7, BLK C	12+22.08, 13'	12+29.08, 5'	47.01
LOT 8, BLK C		12+16.08, 5'	47.16
LOT 15, BLK F	11+11.00, 13'	11+18.88, 15'	46.91
LOT 16, BLK F		11+04.88, 15'	46.79
LOT 17, BLK F	10+75.00, 13'	10+90.88, 15'	46.66
LOT 18, BLK F		10+64.88, 15'	46.54
LOT 19, BLK F	10+47.00, 13'	10+53.88, 15'	46.39
LOT 20, BLK F		10+37.07, 15'	46.05
LOT 15, BLK B	12+50.00, 13'	12+42.58, 15'	46.91
LOT 16, BLK B		12+32.15, 15'	46.79
LOT 17, BLK B	12+05.00, 13'	12+26.08, 15'	46.67
LOT 18, BLK B		12+92.46, 15'	46.54
LOT 19, BLK B	13+13.88, 13'	13+06.33, 15'	46.40
LOT 20, BLK B		13+17.58, 15'	46.12

ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (S) SINGLE.

FIRE LINE TABLE

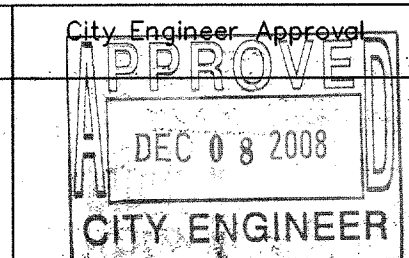
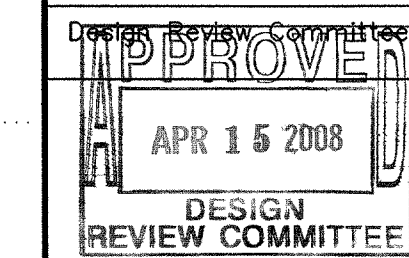
LOT, BLK NO.	STATION, LENGTH
LOT 1, BLK F	11+48.00, 15.00'
LOT 2, BLK F	11+34.00, 15.00'
LOT 3, BLK F	11+26.00, 15.00'
LOT 4, BLK F	10+88.00, 15.00'
LOT 5, BLK F	10+64.00, 15.00'
LOT 6, BLK F	10+68.00, 15.00'
LOT 7, BLK F	10+62.00, 15.00'
LOT 8, BLK F	10+45.63, 15.00'
LOT 1, BLK C	13+10.08, 18.00'
LOT 2, BLK C	12+98.08, 15.00'
LOT 3, BLK C	12+82.08, 15.00'
LOT 4, BLK C	12+70.58, 15.00'
LOT 5, BLK C	12+62.59, 15.00'
LOT 6, BLK C	12+39.58, 15.00'
LOT 7, BLK C	12+26.08, 15.00'
LOT 8, BLK C	12+08.08, 15.00'
LOT 16, BLK E	11+07.88, 5.00'
LOT 17, BLK E	10+93.88, 5.00'
LOT 18, BLK E	10+71.88, 5.00'
LOT 19, BLK E	10+57.88, 5.00'
LOT 20, BLK E	10+42.63, 5.00'
LOT 16, BLK B	12+53.58, 5.00'
LOT 17, BLK B	12+67.88, 5.00'
LOT 18, BLK B	12+89.46, 5.00'
LOT 19, BLK B	13+01.08, 5.00'
LOT 20, BLK B	13+22.79, 5.00'

INSTALL FIRELINE PER DETAIL ON SHEET 21.



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: SILVER TOWNHOMES
TITANIUM STREET SW
STA 10+00.00 TO END
UTILITY PLAN & PROFILE



City Project No.

Zone Map No.

555482 K-14-Z

SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
						CONTRACTOR	
						WORK STARTED BY	
						INSPECTOR'S	
						FIELD	
						VERIFICATION BY	
						DATE CORRECTED	
						MICRO-FILM	
						RECORDED BY	
						NO.	

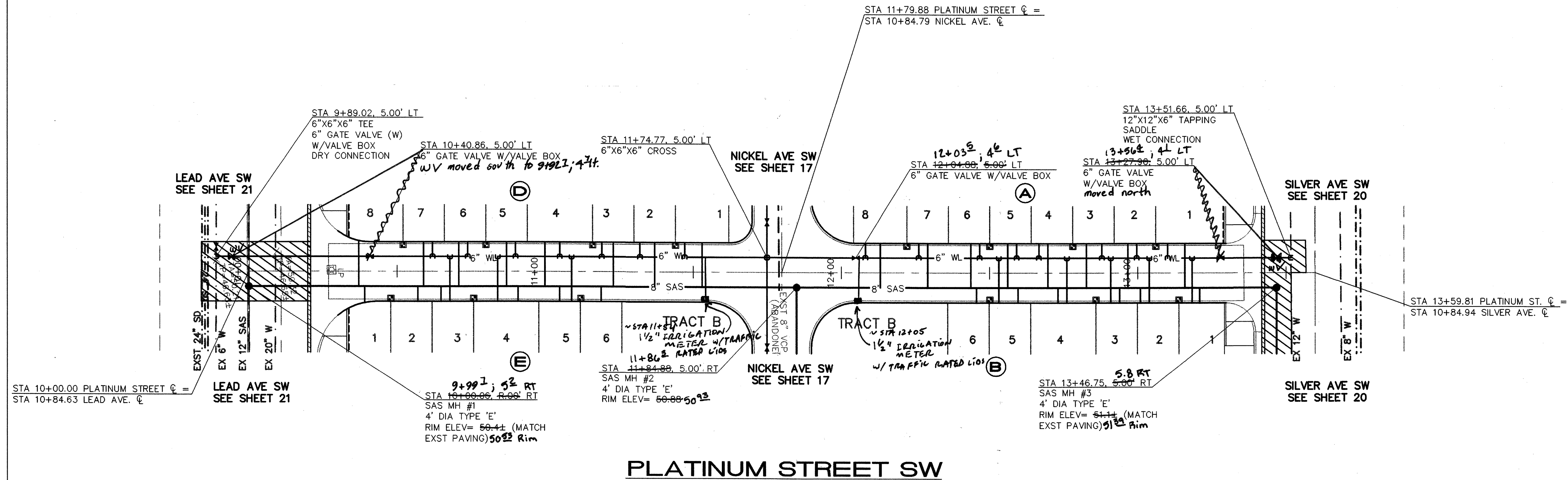
ENGINEER'S SEAL

GENIEVIEVE L. DUNN
NEW MEXICO
15086
LICENSED PROFESSIONAL ENGINEER

3/19/08

[illegible]

RECORD DRAWING



PLATINUM STREET SW

- GENERAL NOTES**
- CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
 - CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.
 - SEE SHEET 16 FOR WATER SHUT-OFF PLAN.
 - SEE SHEET 16 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
 - CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
 - SEE COA STD DWG #2326 & #2328 FOR VALVE BOX, VALVE RING & COVER DETAILS.
 - ALL WATER METER BOXES SHALL HAVE HEAVY WEIGHT COVERS & LIDS PER COA STD DWG #2369.
 - ALL WATERLINE SHALL BE C900-DR18, UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER LINES SHALL BE SDR35, UNLESS OTHERWISE NOTED.

UTILITY SERVICE TABLE

LOT, BLK NO.	STATION		SAS INV @ R/W
	WATER LENGTH	SAS, LENGTH	
LOT 1, BLK E	10+47.88, 13'	10+39.05, 5'	45.25
LOT 2, BLK E	10+57.01, 5'	10+57.01, 5'	45.45
LOT 3, BLK E	10+64.88, 5'	10+64.88, 5'	45.53
LOT 4, BLK E	10+90.88, 5'	10+90.88, 5'	45.60
LOT 5, BLK E	11+04.88, 5'	11+04.88, 5'	45.67
LOT 6, BLK E	11+18.88, 5'	11+18.88, 5'	45.74
LOT 1, BLK D	11+44.00, 3'	11+53.00, 15'	45.92
LOT 2, BLK D	11+37.15, 15'	11+37.15, 15'	45.82
LOT 3, BLK D	11+23.00, 15'	11+23.00, 15'	45.77
LOT 4, BLK D	11+16.21, 15'	11+16.21, 15'	45.65
LOT 5, BLK D	10+99.94, 15'	10+99.94, 15'	45.59
LOT 6, BLK D	10+87.00, 15'	10+87.00, 15'	45.51
LOT 7, BLK D	10+70.88, 15'	10+70.88, 15'	45.42
LOT 8, BLK D	10+52.07, 15'	10+52.07, 15'	45.23
LOT 1, BLK B	13+13.88, 13'	13+20.86, 5'	46.20
LOT 2, BLK B	13+00.86, 5'	13+00.86, 5'	46.41
LOT 3, BLK B	12+85.88, 13'	12+85.88, 5'	46.51
LOT 4, BLK B	12+73.08, 5'	12+73.08, 5'	46.56
LOT 5, BLK B	12+59.58, 5'	12+59.58, 5'	46.54
LOT 6, BLK B	12+45.58, 5'	12+45.58, 5'	46.46
LOT 1, BLK A	13+15.88, 15'	13+15.88, 15'	46.26
LOT 2, BLK A	13+06.12, 3'	12+96.62, 15'	46.46
LOT 3, BLK A	12+78.12, 3'	12+82.62, 15'	46.54
LOT 4, BLK A	12+69.62, 15'	12+69.62, 15'	46.56
LOT 5, BLK A	12+56.12, 15'	12+56.12, 15'	46.52
LOT 6, BLK A	12+40.62, 15'	12+40.62, 15'	46.42
LOT 7, BLK A	12+29.12, 15'	12+29.12, 15'	46.30
LOT 8, BLK A	12+13.10, 15'	12+13.10, 15'	46.11

ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (S) SINGLE.

FIRE LINE TABLE

LOT, BLK NO.	STATION, LENGTH
LOT 2, BLK E	10+45.00, 15.00'
LOT 3, BLK E	10+67.88, 15.00'
LOT 4, BLK E	10+84.00, 15.00'
LOT 5, BLK E	11+08.91, 15.00'
LOT 1, BLK D	11+47.09, 5.00'
LOT 2, BLK D	11+32.00, 5.00'
LOT 3, BLK D	11+19.09, 5.00'
LOT 4, BLK D	11+04.91, 5.00'
LOT 5, BLK D	10+90.00, 5.00'
LOT 6, BLK D	10+73.88, 5.00'
LOT 7, BLK D	10+62.07, 5.00'
LOT 8, BLK D	10+45.58, 5.00'
LOT 1, BLK B	13+18.29, 15.00'
LOT 2, BLK B	13+03.88, 15.00'
LOT 3, BLK B	12+90.71, 15.00'
LOT 4, BLK B	12+76.08, 15.00'
LOT 5, BLK B	12+53.12, 15.00'
LOT 1, BLK A	13+10.08, 5.00'
LOT 2, BLK A	12+99.62, 5.00'
LOT 3, BLK A	12+59.12, 5.00'
LOT 4, BLK A	12+66.62, 5.00'
LOT 5, BLK A	12+59.12, 5.00'
LOT 6, BLK A	12+46.62, 5.00'
LOT 7, BLK A	12+26.08, 5.00'
LOT 8, BLK A	12+08.08, 5.00'

INSTALL FIRELINE PER DETAIL ON SHEET 21.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1582UTL1.dwg Mar 18, 2008

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **SILVER TOWNHOMES
PLATINUM STREET SW
STA 10+00.00 TO END
UTILITY PLAN & PROFILE**

APPROVED
APR 15 2008
DESIGN REVIEW COMMITTEE

APPROVED
DEC 08 2008
CITY ENGINEER

City Project No. **555482** Zone Map No. **K-14-Z**

AS-BUILT INFORMATION

CONTRACTOR: **Urban Surveying Co.**

NO. SIGNED BY: **A.C.S. Sta. '18-K14'**

INSPECTOR'S ACCEPTANCE BY: **x=387330.57**

VERIFICATION BY: **y=1485990.88**

DATE: **Gnd./Grid Fact=0.99967846**

MICRO-FILM INFORMATION

RECORDED BY: **Delta Alpha=07134"**

NO.: **NM S.P.C., Cent.Zone, NAD27**

ELEVATION= **4960.723 NAVD 1929**

REMARKS

REVISIONS

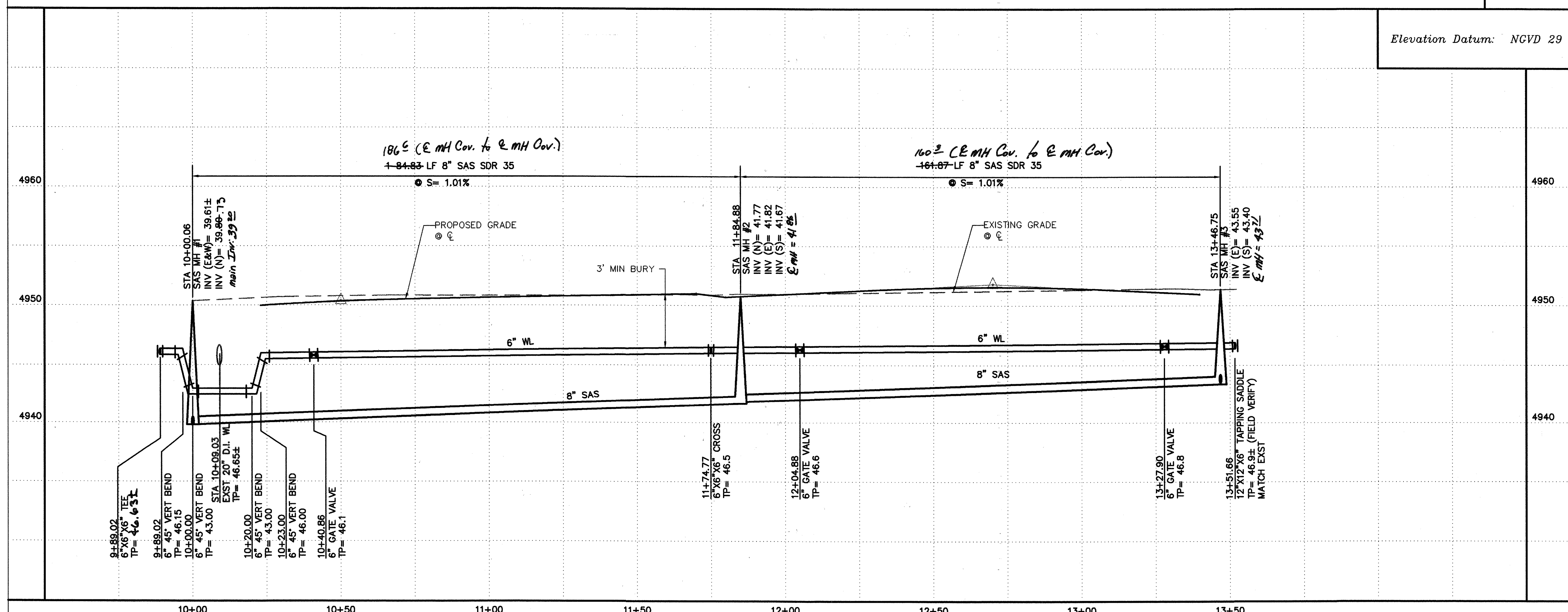
DESIGN

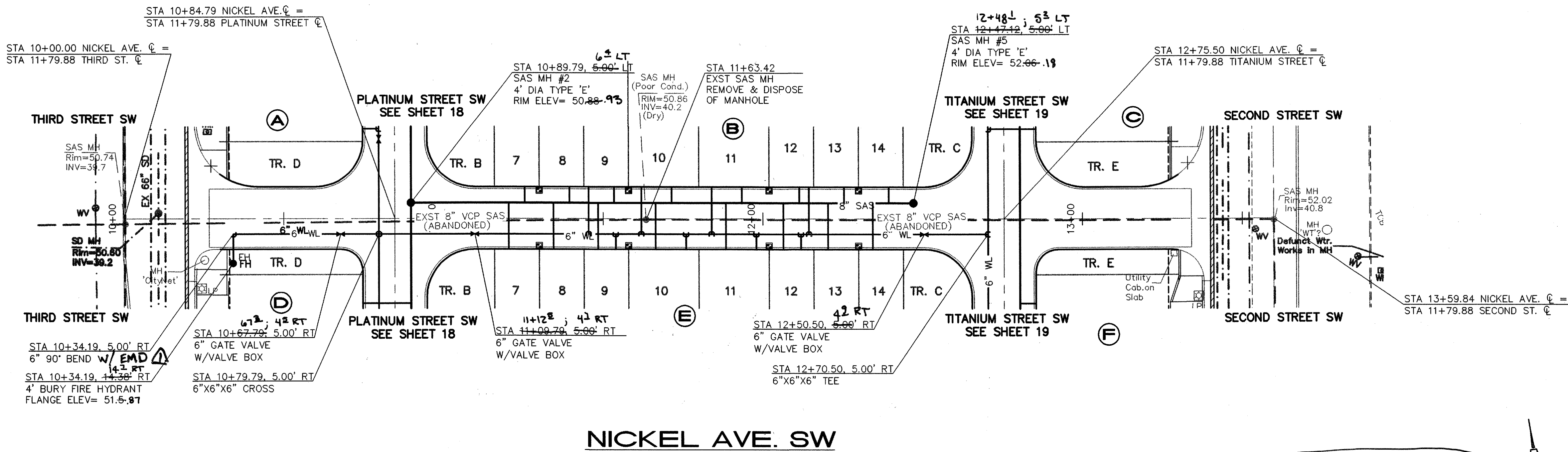
NO. DATE

DESIGNED BY: **xxx** DATE: **xx/xx/xx**

DRAWN BY: **xxx** DATE: **xx/xx/xx**

CHECKED BY: **xxx** DATE: **xx/xx/xx**





GENERAL NOTES

- CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
- CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.
- SEE SHEET 16 FOR WATER SHUT-OFF PLAN.
- SEE SHEET 16 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
- CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
- SEE COA STD DWG #2326 & #2328 FOR VALVE BOX, VALVE RING & COVER DETAILS.
- ALL WATER METER BOXES SHALL HAVE HEAVY WEIGHT COVERS & LIDS PER COA STD DWG #2369.
- ALL WATERLINE SHALL BE C900-DR18, UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER LINES SHALL BE SDR35, UNLESS OTHERWISE NOTED.

UTILITY SERVICE TABLE

LOT, BLK NO.	STATION		SAS INV @ R/W
	WATER LENGTH	SAS, LENGTH	
LOT 7, BLK E	11+20.42, 15'	45.96	
LOT 8, BLK E	11+34.42, 15'	46.07	
LOT 9, BLK E	11+48.42, 15'	46.17	
LOT 10, BLK E	11+62.42, 15'	46.26	
LOT 11, BLK E	11+76.42, 15'	46.35	
LOT 12, BLK E	11+90.42, 15'	46.44	
LOT 13, BLK E	12+04.42, 15'	46.53	
LOT 14, BLK E	12+18.42, 15'	46.62	
LOT 7, BLK B	11+20.42, 15'	46.82	
LOT 8, BLK B	11+34.42, 15'	46.91	
LOT 9, BLK B	11+48.42, 15'	47.00	
LOT 10, BLK B	11+62.42, 15'	47.09	
LOT 11, BLK B	11+76.42, 15'	47.18	
LOT 12, BLK B	11+90.42, 15'	47.27	
LOT 13, BLK B	12+04.42, 15'	47.36	
LOT 14, BLK B	12+18.42, 15'	47.45	

ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (S) SINGLE.

FIRE LINE TABLE

LOT, BLK NO.	STATION, LENGTH	
LOT 9, BLK B	11+45.42, 15'	
LOT 10, BLK B	11+59.42, 15'	
LOT 11, BLK B	11+73.42, 15'	
LOT 12, BLK B	11+87.42, 15'	
LOT 9, BLK E	11+53.92, 5'	
LOT 10, BLK E	11+67.92, 5'	
LOT 11, BLK E	11+81.92, 5'	
LOT 12, BLK E	11+95.92, 5'	

INSTALL FIRELINE PER DETAIL ON SHEET 21.

SAWCUT, REMOVE, & REPLACE W/2" ADDITIONAL THICKNESS PER COA STD DWG #2465 (MINOR ARTERIAL)

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1582UTL1.dwg Mar 18, 2008

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **SILVER TOWNHOMES
NICKEL AVE
STA 10+00.00 TO END
UTILITY PLAN & PROFILE**

APPROVED
APR 15 2008
DESIGN REVIEW COMMITTEE

APPROVED
DEC 08 2008
CITY ENGINEER

City Project No. **555482** Zone Map No. **K-14-Z** Sheet **17** Of **21**

RECORD DRAWING

(Plat Rec'd. 12/29/1882 as D-140)

ALLEY
BLOCK 3

THIRD STREET S.W.
(60' R/W)

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

60' R/W

18' SAS

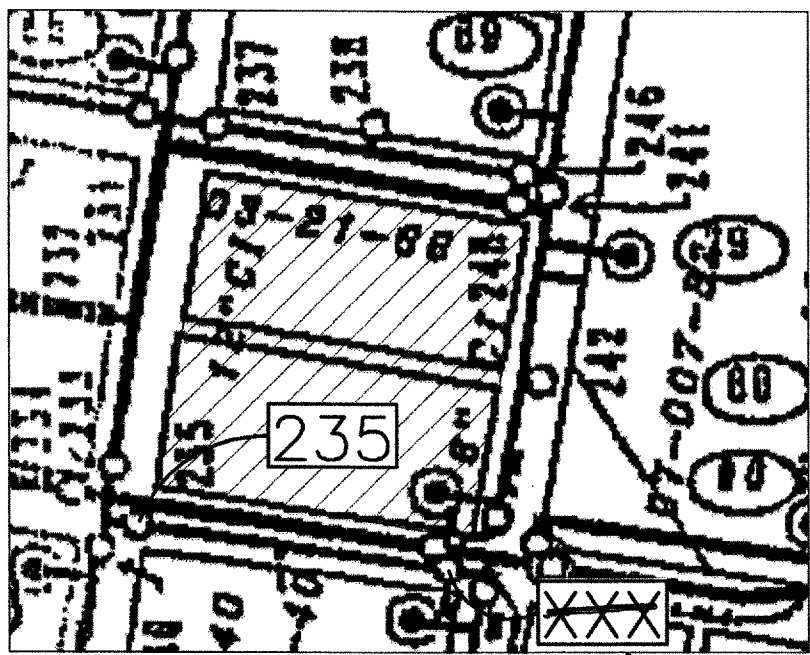
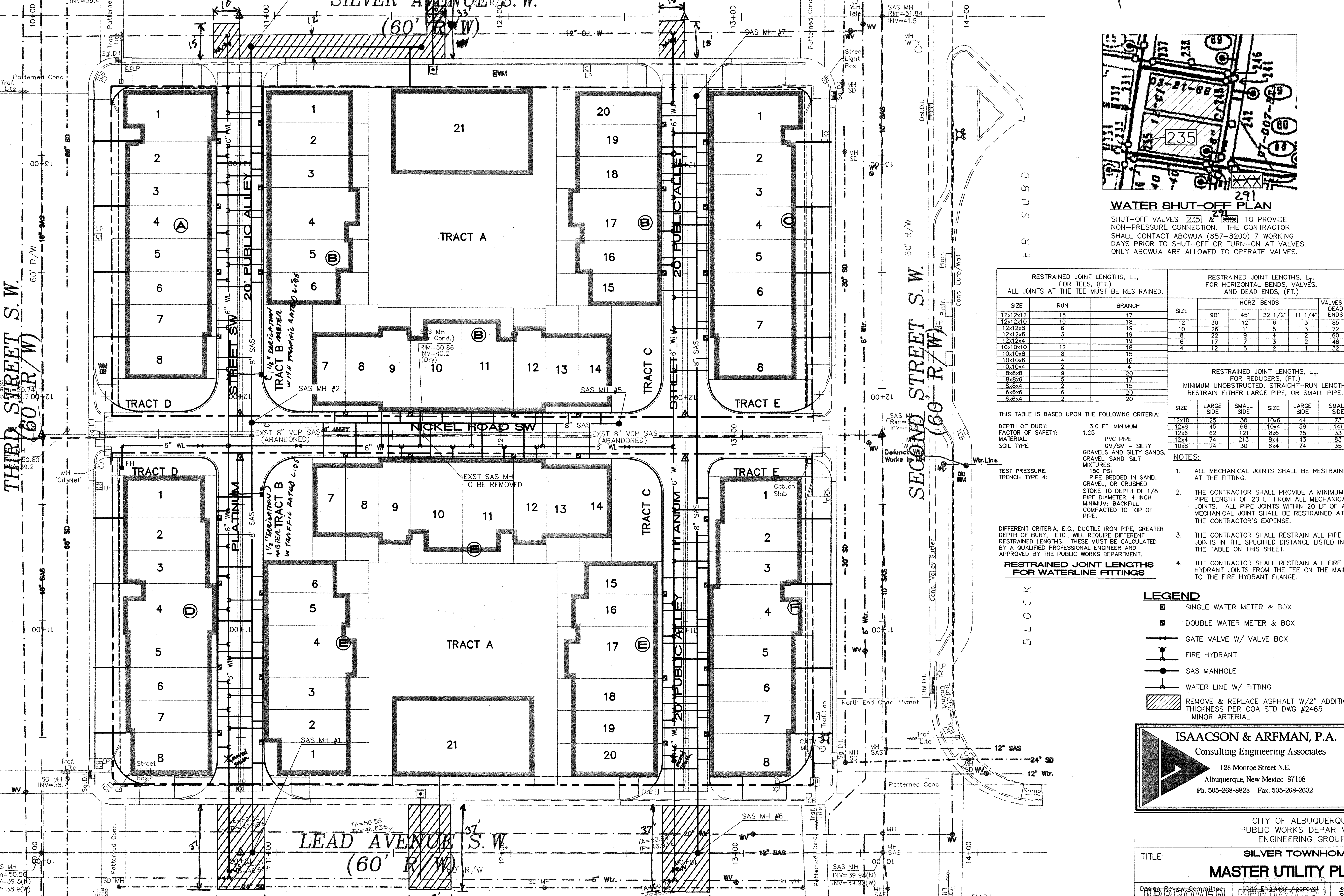
60' R/W

18' SAS

60' R/W

18' SAS

60' R/W



WATER SHUT-OFF PLAN
SHUT-OFF VALVES [235] & [236] TO PROVIDE NON-PRESSURE CONNECTION. THE CONTRACTOR SHALL CONTACT ABCWUA (857-8200) 7 WORKING DAYS PRIOR TO SHUT-OFF OR TURN-ON AT VALVES. ONLY ABCWUA ARE ALLOWED TO OPERATE VALVES.

RESTRAINED JOINT LENGTHS, L _T , FOR TEES, (FT.)			RESTRAINED JOINT LENGTHS, L _T , FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)		
SIZE	RUN	BRANCH	SIZE	HORIZ. BENDS	VALVES & DEAD ENDS
12x12x12	15	17	12	30	3
12x12x10	10	18	12	22 1/2	3
12x12x8	6	19	10	26	11
12x12x6	3	19	8	22	7
12x12x4	1	19	6	17	4
10x10x10	12	18	4	12	5
10x10x8	8	15			
10x10x6	4	16			
10x10x4	2	4			
8x8x8	9	20			
8x8x6	5	17			
8x8x4	2	15			
6x6x4	6	20			
6x6x4	2	20			

THIS TABLE IS BASED UPON THE FOLLOWING CRITERIA:
DEPTH OF BURY: 3.0 FT. MINIMUM
FACTOR OF SAFETY: 1.25
MATERIAL: PVC PIPE
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES, 150 PSI
PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
TEST PRESSURE: TRENCH TYPE 4:
DIFFERENT CRITERIA, E.G., DUCTILE IRON PIPE, GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.

RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS
NOTES:
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

- LEGEND**
- SINGLE WATER METER & BOX
 - DOUBLE WATER METER & BOX
 - GATE VALVE W/ VALVE BOX
 - FIRE HYDRANT
 - SAS MANHOLE
 - WATER LINE W/ FITTING
 - REMOVE & REPLACE ASPHALT W/ 2" ADDITIONAL THICKNESS PER COA STD DWG #2465 - MINOR ARTERIAL.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax: 505-268-2632

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

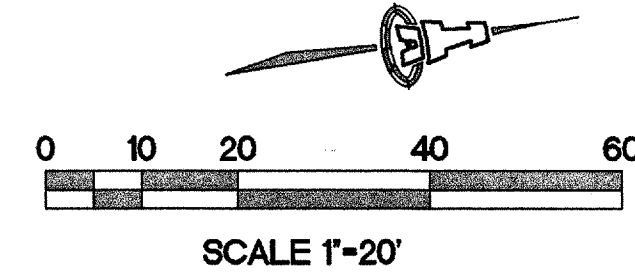
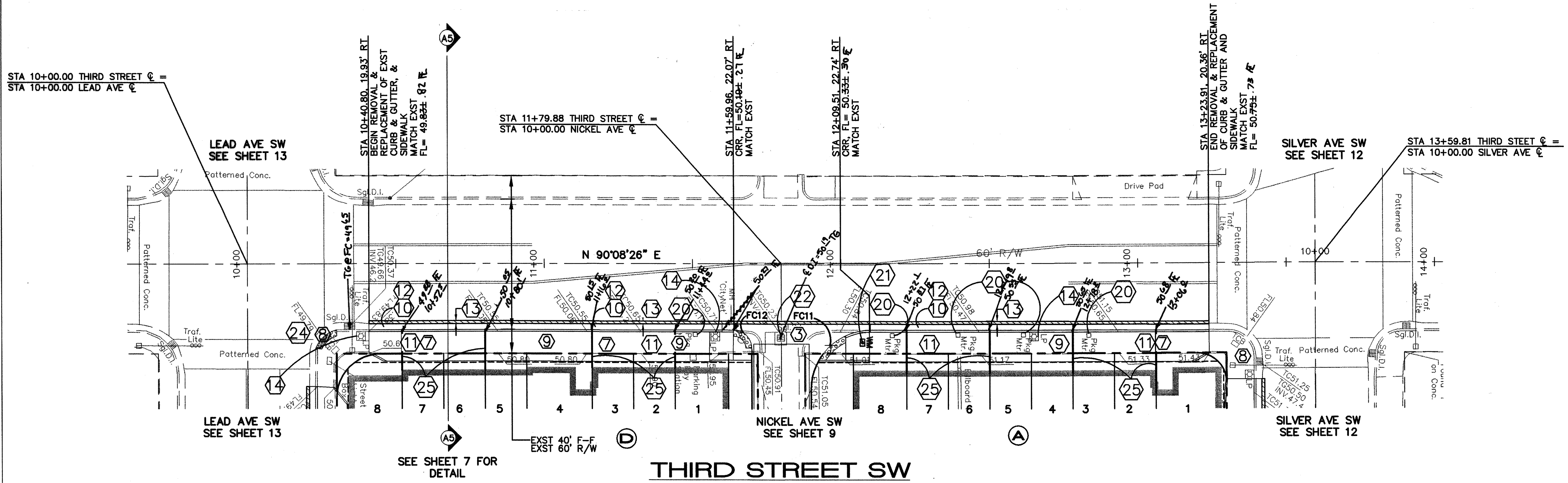
TITLE: **SILVER TOWNHOMES MASTER UTILITY PLAN**

APPROVED: APR 15 2008
DESIGN REVIEW COMMITTEE

APPROVED: DEC 08 2008
CITY ENGINEER

City Project No. **555482** Zone Map No. **K-14-Z** Sheet **16** of **21**

RECORDED DRAWING



BACK
FACE OF CURB CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
FC11	20.00	31.43	90°02'53"
FC12	6.00	9.39	89°42'29"

- KEYED CONSTRUCTION NOTES**
- CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET 7. INSTALL TRUNCATED DOMES PER ADA GUIDELINES.
 - 2' WIDE ALLEY GUTTER PER COA STD DWG #2415A.
 - CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
 - CROWN TO NO CROWN TRANSITION 50' MIN. LENGTH.
 - 8"x18" CUT-OFF WALL PER COA STD DWG #2415B.
 - TRANSITION FROM CUT-OFF WALL TO STANDARD CURB.
 - NOT USED.
 - PROTECT EXST ELEC MH'S, STREET LIGHT BOXES, AND/OR SIGNAL MAST ARMS DURING CONSTRUCTION.
 - REMOVE & DISPOSE OF EXST SIDEWALK.
 - REMOVE & DISPOSE OF EXST CURB & GUTTER.
 - 10' WIDE CONCRETE SIDEWALK PER COA STD DWG #2430 W/12" SUBGRADE COMPACTED TO 95% MIN. (DEFERRED)
 - STANDARD CURB & GUTTER PER COA STD DWG #2415A.
 - SAWCUT, REMOVE, & REPLACE 1" OF EXST ASPHALT W/2" ADDITIONAL THICKNESS PER COA STD DWG #2465. (ARTERIAL)
 - PROTECT EXST LIGHT POLE DURING CONSTRUCTION.
 - NOT USED.
 - NOT USED.
 - RELOCATE EXST TRAFFIC CONTROL BOX BEHIND PROPOSED CURB. COORDINATE W/CITY TRAFFIC MAINTENANCE AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
 - REMOVE & DISPOSE OF EXST LIGHT POLE. COORDINATE W/CITY TRAFFIC MAINTENANCE AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
 - 4" PVC DRAIN PER GRADING & DRAINAGE PLAN. PENETRATE CURB PER DETAIL ON SHEET 7.
 - EXST PARKING METERS TO BE REMOVED, SALVAGED, & REINSTALLED.
 - REMOVE & DISPOSE OF EXST WATER METER & BOX.
 - EXST TYPE 'D' INLET TO REMAIN IN PLACE. POUR VALLEY GUTTER AROUND EXST CONCRETE
 - PROTECT EXST FH DURING CONSTRUCTION. TO REMAIN IN PLACE.
 - REMOVE & REPLACE EXISTING TRUNCATED DOMES.
 - INSTALL 6" PVC PIPE @ S=2.0% FOR PRIVATE ROOF DRAIN. PENETRATE CURB PER COA STD DWG #2235 AND THICKEN SIDEWALK PER UNDERWALK PIPE DETAIL ON THIS SHEET. 14 OF 21

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1582PV2.dwg Mar 25, 2008

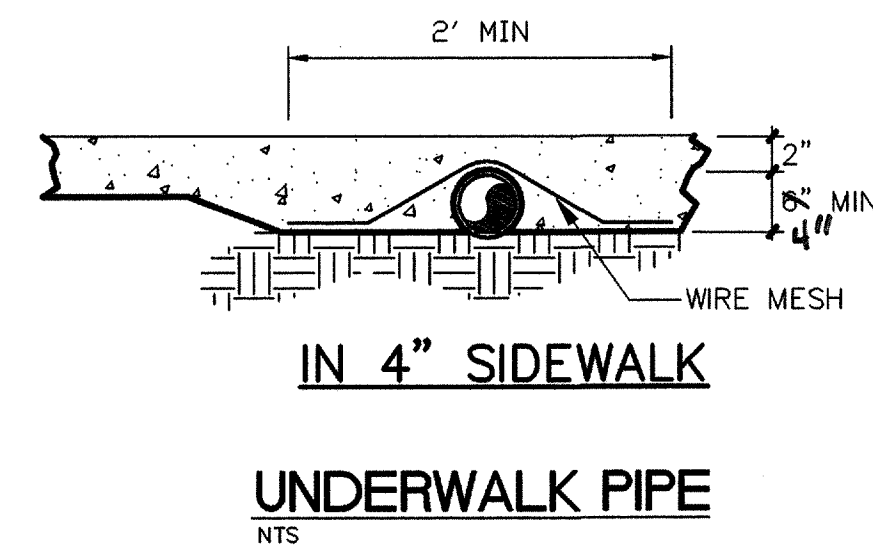
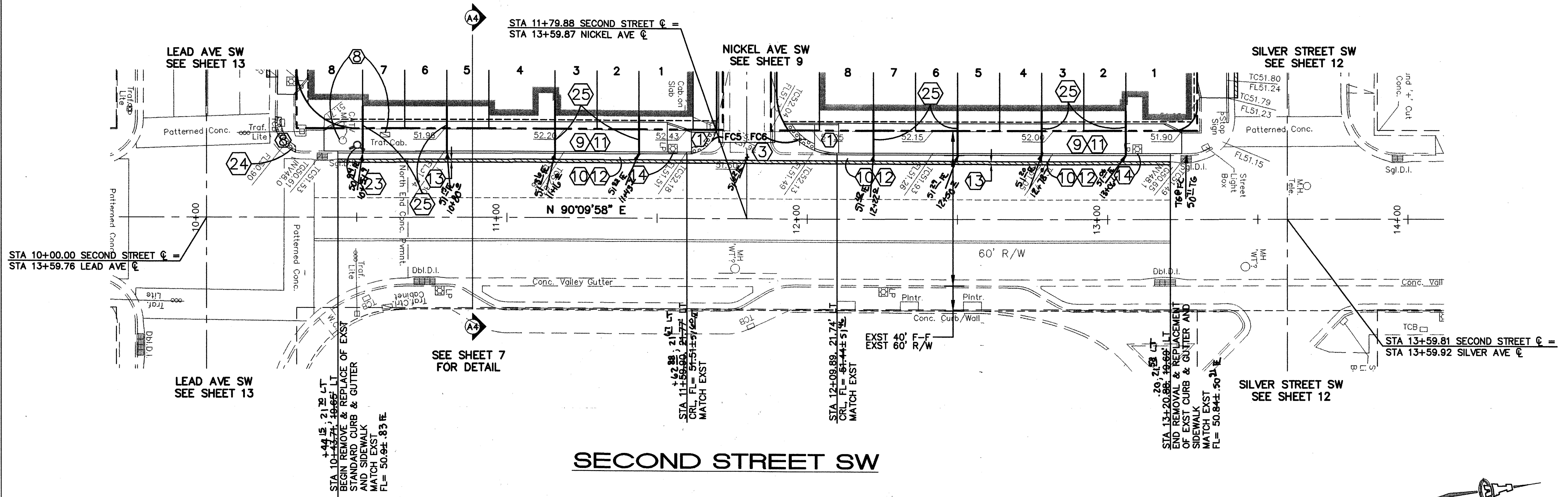
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE:
SILVER TOWNHOMES
THIRD STREET SW
PAVING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED APR 15 2008 DESIGN REVIEW COMMITTEE	APPROVED DEC 08 2008 CITY ENGINEER		
City Project No.	Zone Map No.	Sheet	Of
555482	K-14-Z	15	21

AS-BUILT INFORMATION	BENCH MARKS	SURVEY INFORMATION	ENGINEER'S SEAL
CONTRACTOR: <i>Water Surveying Co.</i>	A.C.S. Sta. '18-K14'	FIELD NOTES	
STANDARD BY: <i>Water Surveying Co.</i>	X=381330.57		
INSPECTOR'S FIELD DATE:	Y=1485990.88		
VERIFICATION BY:	Gnd./Grid Fact.=0.99967846		
DATE:	Delta Alpha=-0.1341"		
RECORDED BY:	NM S.P.C., Cent.Zone, NAD27		
DATE:	ELEVATION= 4960.723 NAVD 1929		
NO.			

REVISIONS	BY	DATE
DESIGN		
DESIGNED BY: xxx		DATE: xx/xx/xx
DRAWN BY: xxx		DATE: xx/xx/xx
CHECKED BY: xxx		DATE: xx/xx/xx



- KEYED CONSTRUCTION NOTES**
- CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET 7. INSTALL TRUNCATED DOMES PER ADA GUIDELINES.
 - 2' WIDE ALLEY GUTTER PER COA STD DWG #2415A.
 - CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
 - CROWN TO NO CROWN TRANSITION 50' MIN. LENGTH.
 - 8"x18" CUT-OFF WALL PER COA STD DWG #2415B.
 - TRANSITION FROM CUT-OFF WALL TO STANDARD CURB.
 - NOT USED.
 - PROTECT EXST ELEC MH'S, STREET LIGHT BOXES, AND OR SIGNAL MAST ARMS DURING CONSTRUCTION.
 - REMOVE & DISPOSE OF EXST SIDEWALK.
 - REMOVE & DISPOSE OF EXST CURB & GUTTER.
 - 10' WIDE CONCRETE SIDEWALK PER COA STD DWG #2430 W/12" SUBGRADE COMPACTED TO 95% MIN. (DEFERRED)
 - STANDARD CURB & GUTTER PER COA STD DWG #2415A.
 - SAWCUT, REMOVE, & REPLACE 1' OF EXST ASPHALT W/2" ADDITIONAL THICKNESS PER COA STD DWG #2465. (ARTERIAL)
 - PROTECT EXST LIGHT POLE DURING CONSTRUCTION.
 - NOT USED.
 - NOT USED.
 - RELOCATE EXST TRAFFIC CONTROL BOX BEHIND PROPOSED CURB. COORDINATE W/CITY TRAFFIC MAINTENANCE AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
 - REMOVE & DISPOSE OF EXST LIGHT POLE. COORDINATE W/CITY TRAFFIC MAINTENANCE AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
 - 4" PVC DRAIN PER GRADING & DRAINAGE PLAN. PENETRATE CURB PER DETAIL ON SHEET 7.
 - EXST PARKING METERS TO BE REMOVED, SALVAGED, & REINSTALLED.
 - REMOVE & DISPOSE OF EXST WATER METER BOX.
 - EXST TYPE 'D' INLET TO REMAIN IN PLACE. POUR VALLEY GUTTER AROUND EXST CONCRETE
 - PROTECT EXST FH DURING CONSTRUCTION. TO REMAIN IN PLACE.
 - REMOVE & REPLACE EXISTING TRUNCATED DOMES.
 - INSTALL 6" PVC PIPE @ S=2.0% FOR PRIVATE ROOF DRAIN. PENETRATE CURB PER COA STD DWG #2235 AND THICKEN SIDEWALK PER UNDERWALK PIPE DETAIL ON THIS SHEET.

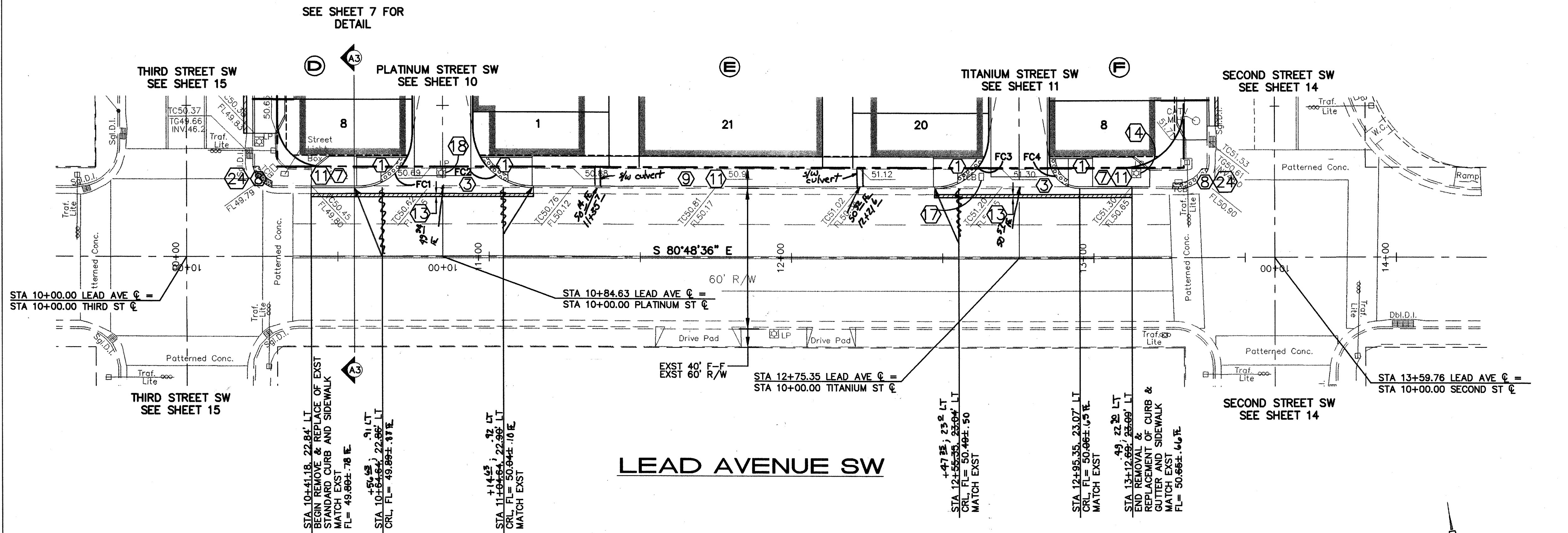
PAGE OF CURB CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
FC5	15.69	15.69	89°55'08"
FC6	20.00	31.41	89°59'42"

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632

1582PV2.dwg Mor 25, 2008

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: SILVER TOWNHOMES SECOND STREET SW PAVING PLAN	
Design Review Committee APPROVED APR 15 2008 DESIGN REVIEW COMMITTEE	City Engineer Approval APPROVED DEC 8 2008 CITY ENGINEER
City Project No. 555482	Zone Map No. K-14-Z
Sheet 14	Of 21

RECORD DRAWING



KEYED CONSTRUCTION NOTES

- CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET 7. INSTALL TRUNCATED DOMES PER ADA GUIDELINES.
- 2' WIDE ALLEY GUTTER PER COA STD DWG #2415A.
- CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
- CROWN TO NO CROWN TRANSITION 50' MIN. LENGTH.
- 8"x18" CUT-OFF WALL PER COA STD DWG #2415B.
- TRANSITION FROM CUT-OFF WALL TO STANDARD CURB.
- NOT USED.
- PROTECT EXST ELEC MH'S, STREET LIGHT BOXES, AND OR SIGNAL MAST ARMS DURING CONSTRUCTION.
- REMOVE & DISPOSE OF EXST SIDEWALK.
- REMOVE & DISPOSE OF EXST CURB & GUTTER.
- 10' WIDE CONCRETE SIDEWALK PER COA STD DWG #2430 W/12" SUBGRADE COMPACTED TO 95% MIN. (DEFERRED)
- STANDARD CURB & GUTTER PER COA STD DWG #2415A.
- SAWCUT, REMOVE, & REPLACE 1' OF EXST ASPHALT W/2" ADDITIONAL THICKNESS PER COA STD DWG #2465. (ARTERIAL)
- PROTECT EXST LIGHT POLE DURING CONSTRUCTION.
- NOT USED.
- NOT USED.
- RELOCATE EXST TRAFFIC CONTROL BOX BEHIND PROPOSED CURB. COORDINATE W/CITY TRAFFIC MAINTENANCE AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
- REMOVE & DISPOSE OF EXST LIGHT POLE. COORDINATE W/CITY TRAFFIC MAINTENANCE AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
- 4" PVC DRAIN PER GRADING & DRAINAGE PLAN. PENETRATE CURB PER DETAIL ON SHEET 7.
- EXST PARKING METERS TO BE REMOVED, SALVAGED, & REINSTALLED.
- REMOVE & DISPOSE OF EXST WATER METER & BOX.
- EXST TYPE 'D' INLET TO REMAIN IN PLACE. POUR VALLEY GUTTER AROUND EXST CONCRETE
- PROTECT EXST FH DURING CONSTRUCTION. TO REMAIN IN PLACE.
- REMOVE & REPLACE EXISTING TRUNCATED DOMES.

BACK
PAGE OF CURB CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
FC1	18.00	28.26	89°56'53"
FC2	20.00	31.43	90°03'07"
FC3	18.00	28.26	89°56'53"
FC4	10.00	15.72	90°03'07"

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1582PV2.dwg Mar 25, 2008

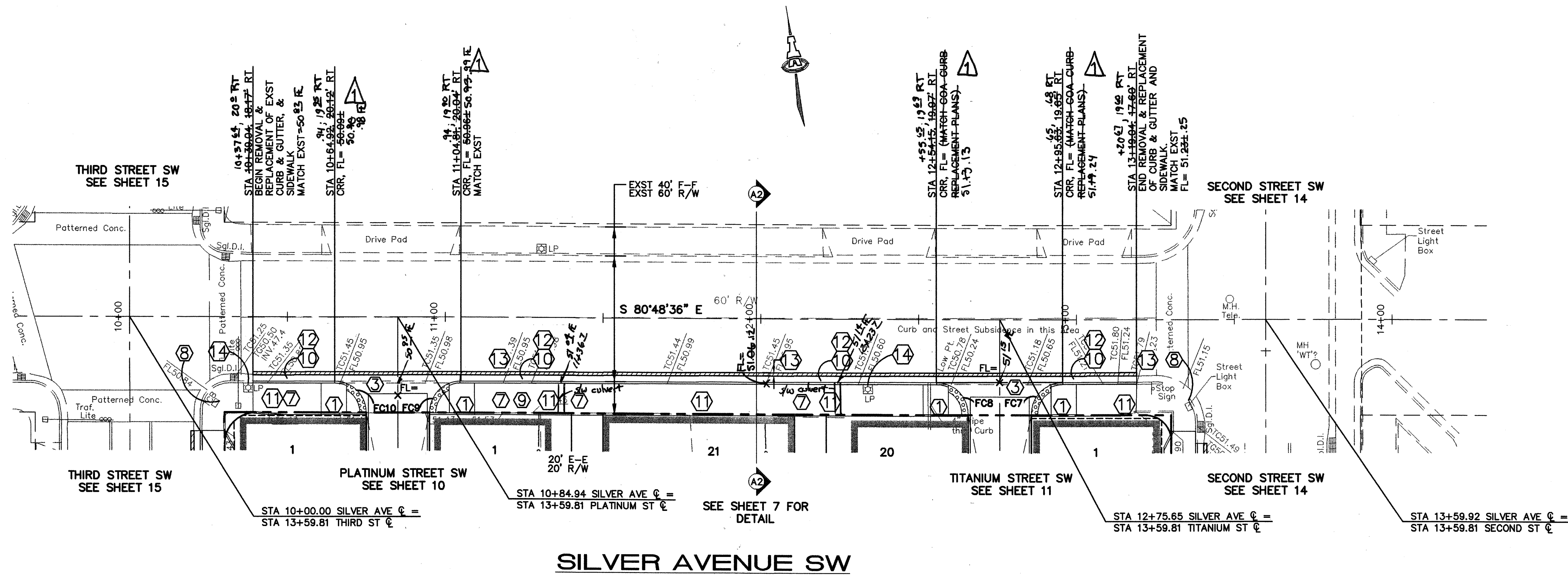
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **SILVER TOWNHOMES
LEAD AVE. SW
PAVING PLAN**

DESIGNED BY	xxx	DATE	xx/xx/xx	DESIGNED BY	xxx	DATE	xx/xx/xx
DRAWN BY	xxx	DATE	xx/xx/xx	DRAWN BY	xxx	DATE	xx/xx/xx
CHECKED BY	xxx	DATE	xx/xx/xx	CHECKED BY	xxx	DATE	xx/xx/xx

City Project No. **555482** Zone Map No. **K-14-Z** Sheet **13** Of **21**

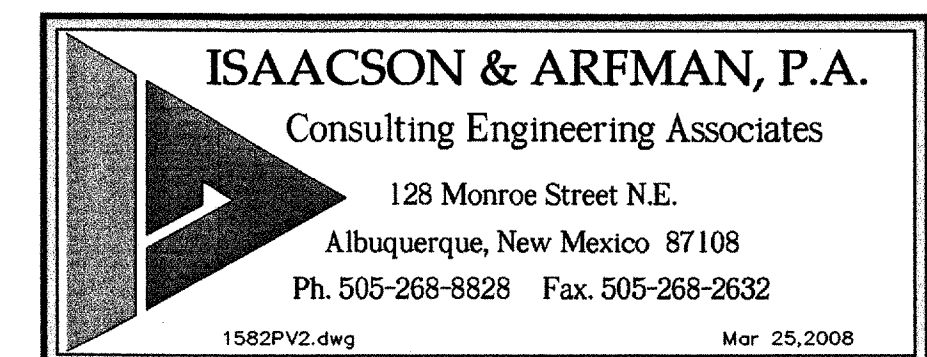
RECORD DRAWING



KEYED CONSTRUCTION NOTES

- CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET 7. INSTALL TRUNCATED DOMES PER ADA GUIDELINES.
- 2' WIDE ALLEY GUTTER PER COA STD DWG #2415A.
- CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
- CROWN TO NO CROWN TRANSITION 50' MIN. LENGTH.
- 8"x18" CUT-OFF WALL PER COA STD DWG #2415B.
- TRANSITION FROM CUT-OFF WALL TO STANDARD CURB.
- NOT USED.
- PROTECT EXST ELEC MH'S, STREET LIGHT BOXES, AND OR SIGNAL MAST ARMS DURING CONSTRUCTION.
- REMOVE & DISPOSE OF EXST SIDEWALK.
- REMOVE & DISPOSE OF EXST CURB & GUTTER.
- 10' WIDE CONCRETE SIDEWALK PER COA STD DWG #2430 W/12" SUBGRADE COMPACTED TO 95% MIN. (DEFERRED)
- STANDARD CURB & GUTTER PER COA STD DWG #2415A.
- SAWCUT, REMOVE, & REPLACE 1' OF EXST ASPHALT W/2" ADDITIONAL THICKNESS PER COA STD DWG #2465. (ARTERIAL)
- PROTECT EXST LIGHT POLE DURING CONSTRUCTION.
- NOT USED.
- NOT USED.
- RELOCATE EXST TRAFFIC CONTROL BOX BEHIND PROPOSED CURB. COORDINATE W/CITY TRAFFIC MAINTENANCE AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
- REMOVE & DISPOSE OF EXST LIGHT POLE. COORDINATE W/CITY TRAFFIC MAINTENANCE AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
- 4" PVC DRAIN PER GRADING & DRAINAGE PLAN. PENETRATE CURB PER DETAIL ON SHEET 7.
- EXST PARKING METERS TO BE REMOVED, SALVAGED, & REINSTALLED.
- REMOVE & DISPOSE OF EXST WATER METER BOX.
- EXST TYPE 'D' INLET TO REMAIN IN PLACE. POUR VALLEY GUTTER AROUND EXST CONCRETE
- PROTECT EXST FH DURING CONSTRUCTION. TO REMAIN IN PLACE.
- REMOVE & REPLACE EXISTING TRUNCATED DOMES.

FACE OF CURB CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
FC7	10.00	15.69	89°53'02"
FC8	10.00	15.86	90°51'23"
FC9	10.00	15.69	89°53'04"
FC10	10.00	15.73	90°07'00"

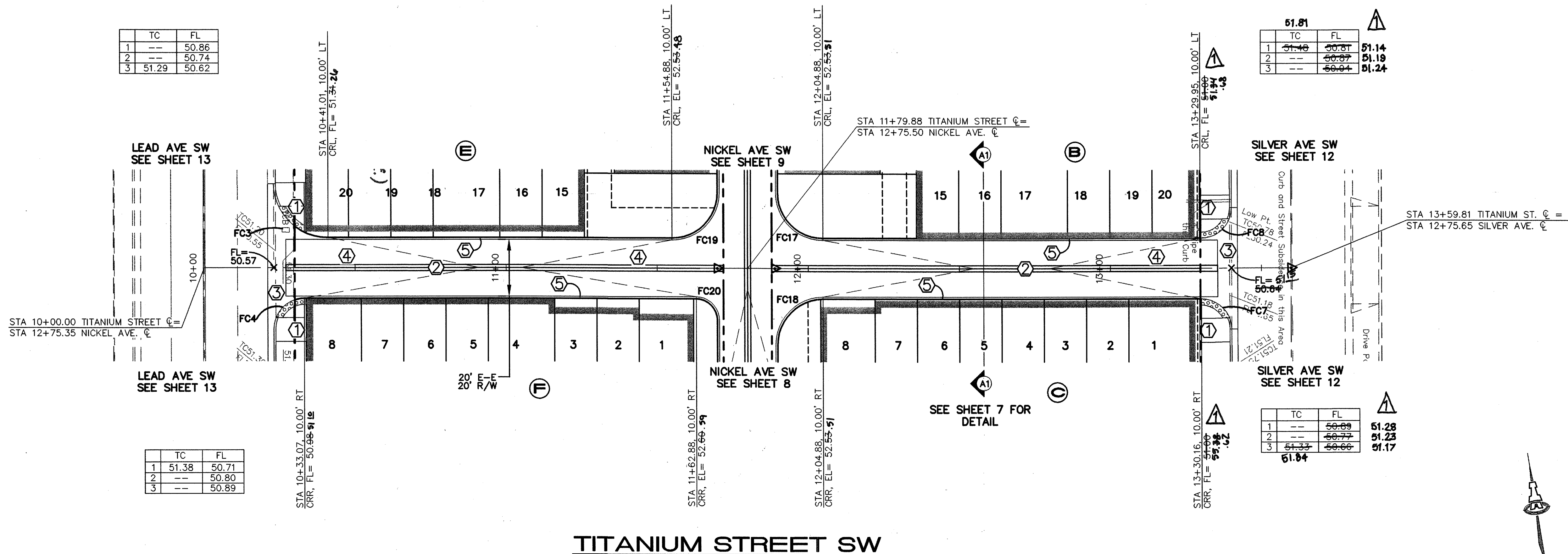


CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: SILVER TOWNHOMES SILVER AVE SW STA 10+00.00 TO END PAVING PLAN	
DESIGN REVIEW COMMITTEE APR 15 2008	CITY ENGINEER APPROVAL DEC 08 2008
DESIGNED BY: xxx	CHECKED BY: xxx
DRAWN BY: xxx	DATE: xx/xx/xx
CITY PROJECT NO. 555482	ZONE MAP NO. K-14-Z
SHEET 12 OF 21	

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR Carha Const	DATE	A.C.S. Sta. '18-K14'		FIELD NOTES		15088	
WROTE BY Walter Sorey Co	DATE	x=381330.57				15088	
INSPECTED BY	DATE	y=1485990.88				15088	
ACCEPTANCE BY	DATE	Gnd./Grid Fact=0.99967846				15088	
VERIFIED BY	DATE	Delta Alpha=-0.1341				15088	
DRAWN BY	DATE	NM S.P.C., CentZone, NAD27				15088	
RECORDED BY	DATE	ELEVATION= 4960.723 NAVD 1929				15088	
NO.						15088	

TC	FL
1	50.86
2	50.74
3	51.29

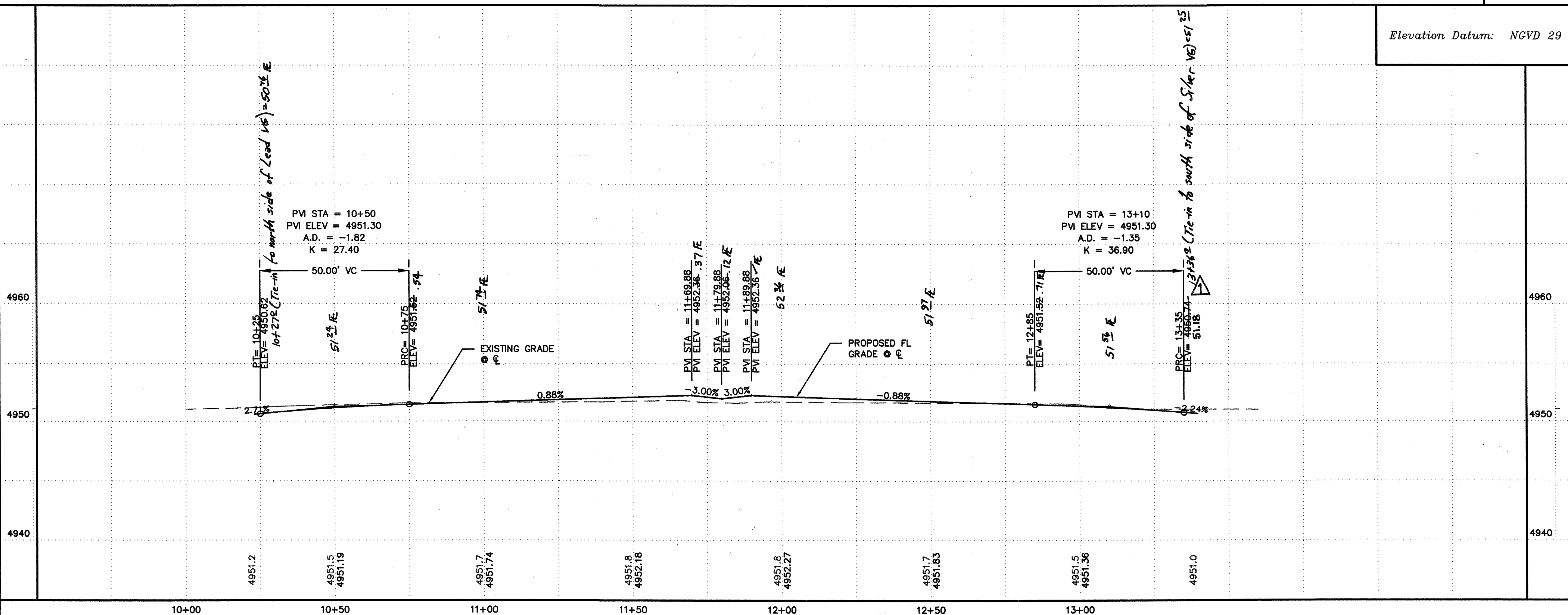
TC	FL
1	51.38
2	50.80
3	50.89



TITANIUM STREET SW

SCALES:
1"=20' HOR.
1"=5' VERT.

Elevation Datum: NGVD 29



KEYED CONSTRUCTION NOTES

- CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET 7. INSTALL TRUNCATED DOMES PER ADA GUIDELINES. SUBMIT SPECS TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
- 2' WIDE ALLEY GUTTER PER COA STD DWG #2415A.
- CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
- INVERTED CROWN TO NO CROWN TRANSITION, 50' MIN LENGTH PER COA STD DWG #2401.
- ESTATE CURB PER COA STD DWG #2415A. ESTATE CURB
- TRANSITION FROM CUT-OFF WALL TO STANDARD CURB.

BACK PAGE OF CURB CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
FC3	18.00	28.26	89°56'53"
FC4	10.00	15.72	90°03'07"
FC7	10.00	15.69	89°53'02"
FC8	10.00	15.86	90°51'23"
FC17	15.00	23.56	90°00'00"
FC18	15.00	23.56	90°00'00"
FC19	15.00	23.56	90°00'00"
FC20	7.00	11.00	90°00'00"

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AC.S. Sta. '18-K14'	FIELD NOTES	GLD	GLD	REMARKS	REVISIONS
STATIONED BY	DATE	x=381330.57				NO.	DATE
INSPECTOR'S	DATE	y=1465990.88				DESIGN	DATE
FIELD	DATE	Grid/Grd Fact=0.99967846				DRAWN BY	DATE
VERIFICATION BY	DATE	Delta Alpha=-0.1341"				CHECKED BY	DATE
CORRECTED BY	DATE	NM S.P.C., Cent.Zone, NAD27					
MICRO-FILM INFORMATION	DATE	ELEVATION= 4960.723 NAVD 1929					
RECORDED BY	DATE						
NO.							

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1582PVI.dwg Mar 25, 2008

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: SILVER TOWNHOMES
TITANIUM STREET SW
STA 10+00.00 TO END
PAVING PLAN & PROFILE

DESIGN REVIEW COMMITTEE
APPROVED
APR 15 2008
DESIGN REVIEW COMMITTEE

CITY ENGINEER
APPROVED
DEC 8 2008
CITY ENGINEER

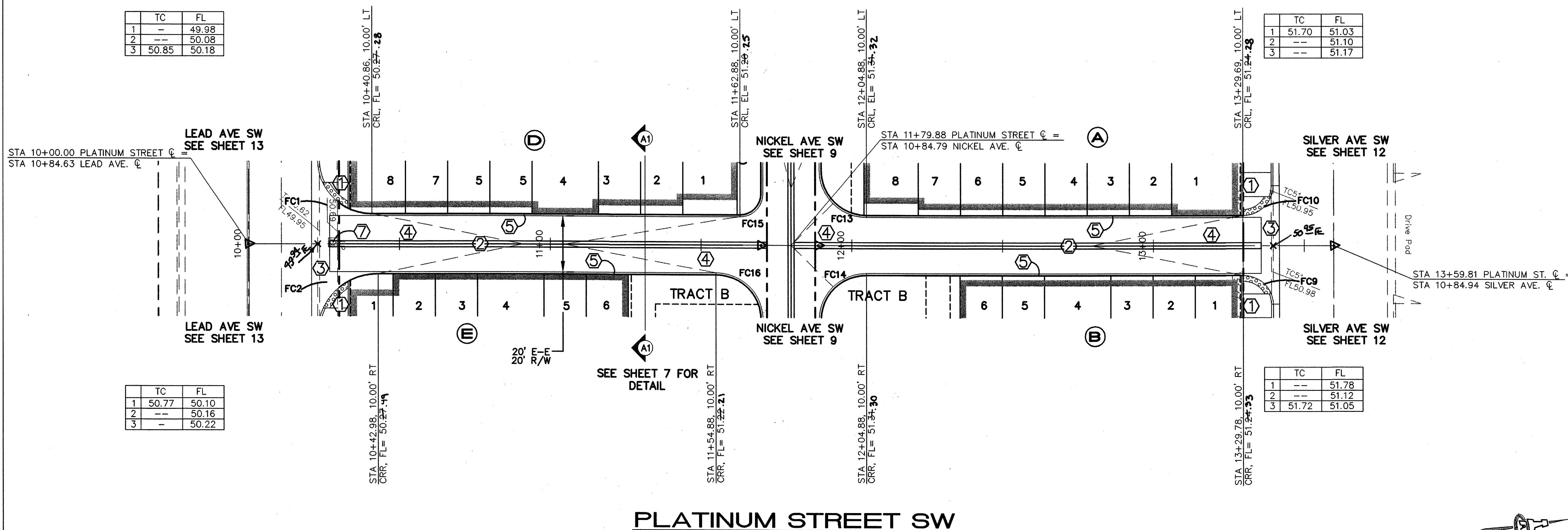
City Project No. 555482 Zone Map No. K-14-Z Sheet 11 of 21

	TC	FL
1	---	49.98
2	---	50.08
3	50.85	50.18

	TC	FL
1	50.77	50.10
2	---	50.16
3	---	50.22

	TC	FL
1	51.70	51.03
2	---	51.10
3	---	51.17

	TC	FL
1	---	51.78
2	---	51.12
3	51.72	51.05



KEYED CONSTRUCTION NOTES

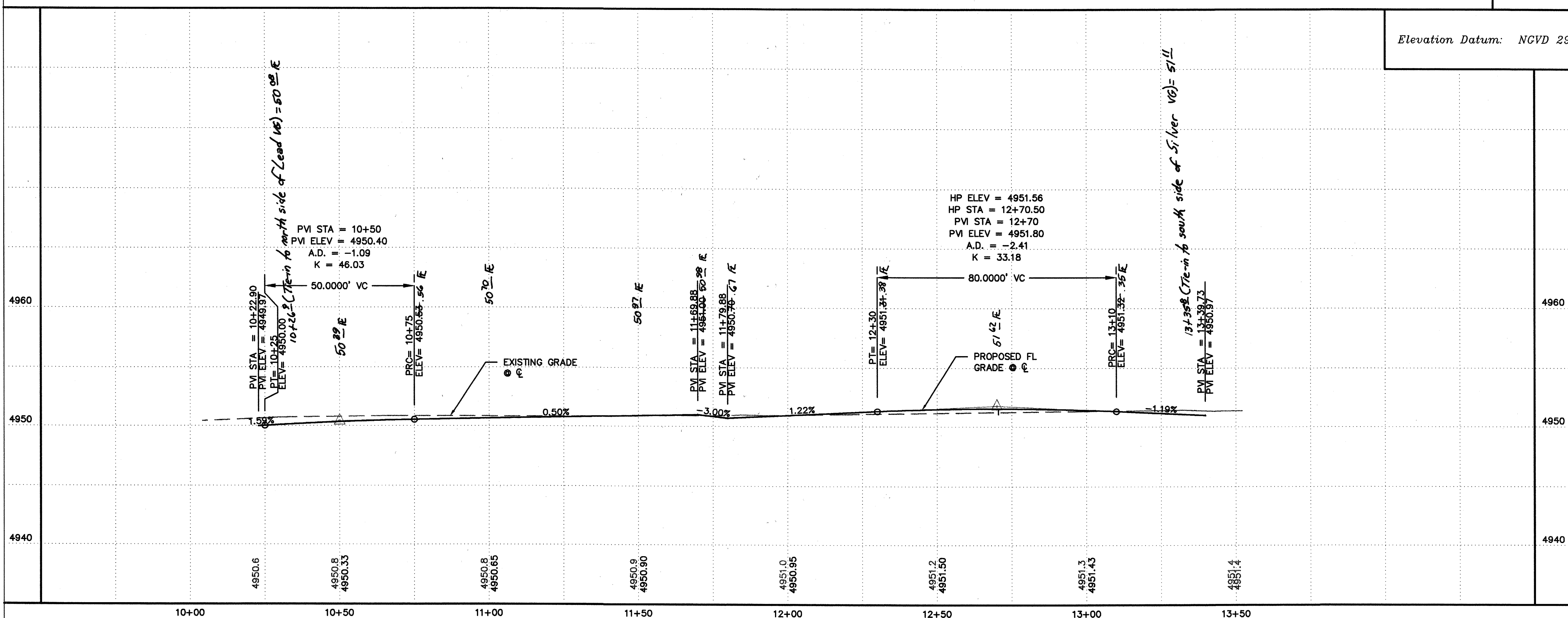
- CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET 7. INSTALL TRUNCATED DOMES PER ADA GUIDELINES. SUBMIT SPECS TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
- 2' WIDE ALLEY GUTTER PER COA STD DWG #2415A.
- CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
- INVERTED CROWN TO NO CROWN TRANSITION, 50' MIN LENGTH PER COA STD DWG #2401.
- ESTATE CURB CUT-OFF WALL PER COA STD DWG #2415B. ESTATE CURB CUT-OFF WALL TO STANDARD CURB.
- RELOCATE EXISTING LIGHT POLE. COORDINATE RELOCATION WITH CITY OF ALBUQUERQUE TRAFFIC OPERATIONS.

BACK
PAGE OF CURB CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
FC1	18.00	28.26	89°56'53"
FC2	20.00	31.43	90°03'07"
FC9	10.00	15.69	89°53'04"
FC10	10.00	15.73	90°07'00"
FC13	15.00	23.56	90°00'00"
FC14	15.00	23.56	90°00'00"
FC15	7.00	11.00	90°00'00"
FC16	15.00	23.56	90°00'00"

SCALES:
1"=20' HOR.
1"=5' VERT.

Elevation Datum: NGVD 29



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE:
**SILVER TOWNHOMES
PLATINUM STREET SW
STA 10+00.00 TO END
PAVING PLAN & PROFILE**

DESIGN REVIEW COMMITTEE
APR 15 2008
CITY ENGINEER
DEC 08 2008

City Project No. **555482**
Zone Map No. **K-14-Z**
Sheet **10** Of **21**

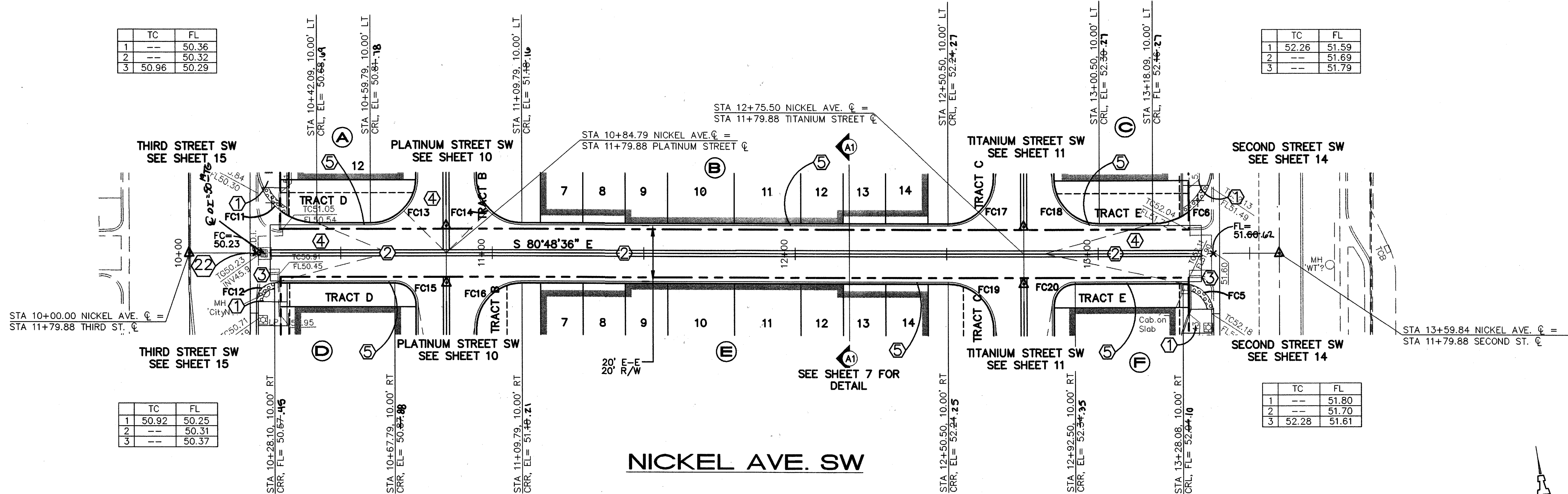
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR: <i>Isaacson & Arfman</i>		A.C.S. Sta. '18-K14'		FIELD NOTES		GEOLOGICAL	
WITNESSED BY: <i>Walter Serrano</i>		X=381330.57				BY	
ACCEPTANCE BY: DATE		Y=1485990.88				REMARKS	
VERIFICATION BY: DATE		Grid/Grd Fact=0.99967846				NO. DATE	
CORRECTED BY: DATE		Delta Alpha=-0.1341				DESIGN	
MICRO-FILM INFORMATION		NM S.P.C. Cent.Zone, NAD27				CHECKED BY: xxx	
RECORDED BY: DATE		ELEVATION= 4960.723 NAVD 1929				DATE: xx/xx/xx	
NO.						DATE: xx/xx/xx	

TC	FL
1	50.36
2	50.32
3	50.29

TC	FL
1	50.92
2	50.31
3	50.37

TC	FL
1	52.26
2	51.59
3	51.79

TC	FL
1	52.28
2	51.61
3	51.61



KEYED CONSTRUCTION NOTES

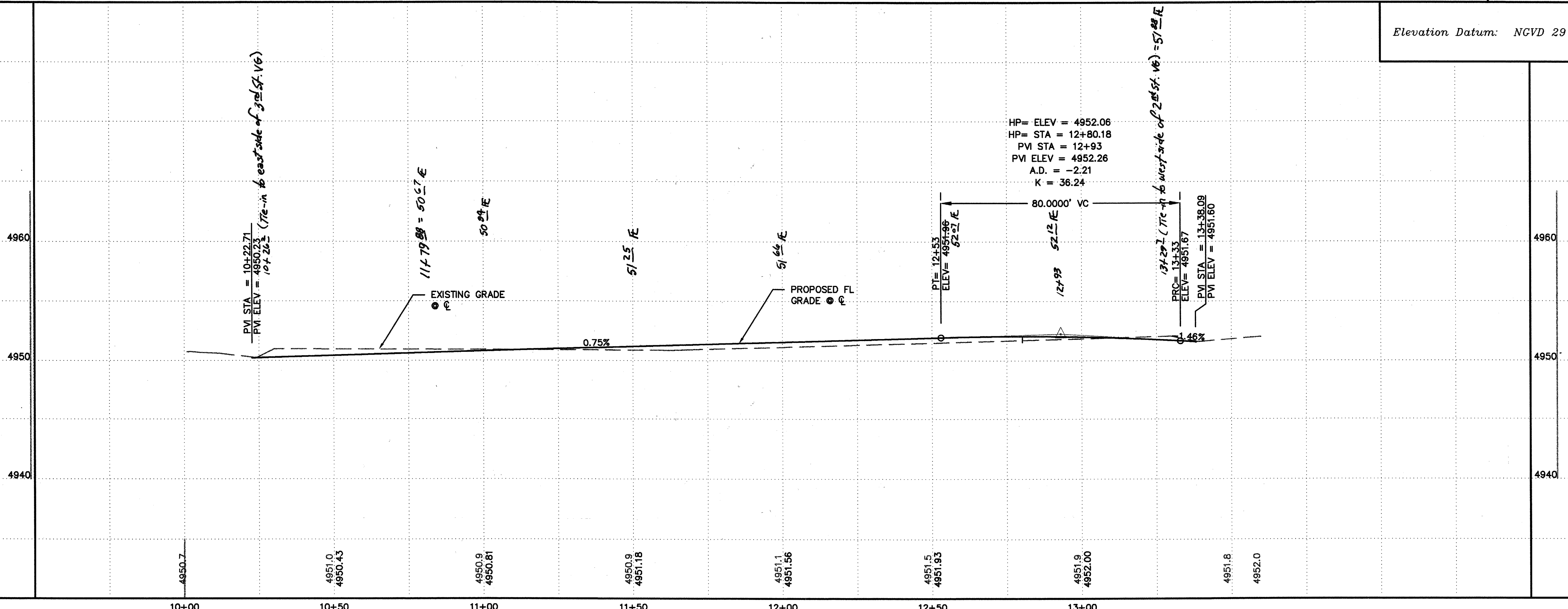
- CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET 7. INSTALL TRUNCATED DOMES PER ADA GUIDELINES. SUBMIT SPECS TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
- 2' WIDE ALLEY GUTTER PER COA STD DWG #2415A.
- CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
- INVERTED CROWN TO NO CROWN TRANSITION, 50' MIN LENGTH PER COA STD DWG #2401.
- ESTATE CURB 6"x18" OUT-OFF-WALL PER COA STD DWG #2415A. ESTATE CURB 6"x18" OUT-OFF-WALL TO STANDARD CURB.
- REMOVE & DISPOSE OF EXST TYPE 'D' INLET. DISPOSE OF EXST GRATE. CONSTRUCT NEW TYPE 'D' SINGLE INLET WITH GRATE PER COA STD DWG #2220. MATCH EXST INV & GRATE ELEVATIONS. POUR VALLEY GUTTER AROUND INLET.

BACK-FACTOR OF CURB CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
FC5	15.00	15.69	89°55'08"
FC6	20.00	31.41	89°59'42"
FC11	20.00	31.43	90°02'53"
FC12	6.00	9.39	89°42'29"
FC13	15.00	23.56	90°00'00"
FC14	15.00	23.56	90°00'00"
FC15	7.00	11.00	90°00'00"
FC16	15.00	23.56	90°00'00"
FC17	15.00	23.56	90°00'00"
FC18	15.00	23.56	90°00'00"
FC19	15.00	23.56	90°00'00"
FC20	7.00	11.00	90°00'00"

SCALES:
1"=20' HOR.
1"=5' VERT.

Elevation Datum: NCVD 29



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632

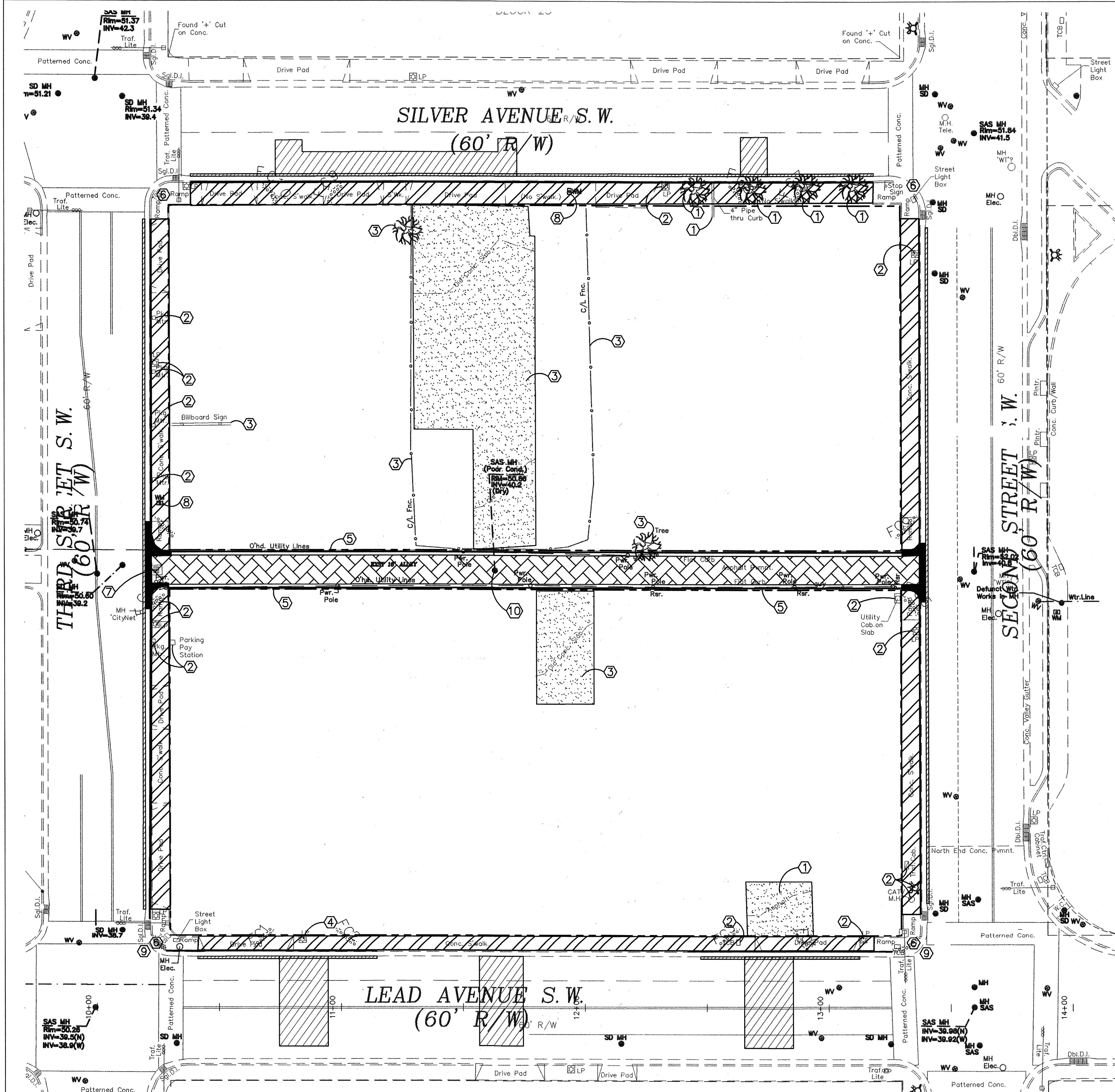
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **SILVER TOWNHOMES
NICKEL AVE SW
STA 10+00.00 TO END
PAVING PLAN & PROFILE**

DESIGN REVIEW COMMITTEE
APR 15 2008
CITY ENGINEER
DESIGN REVIEW COMMITTEE

City Project No. **555482**
Zone Map No. **K-14-Z**
Sheet **9** Of **21**

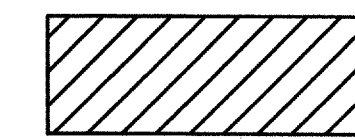
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	INSPECTOR	DATE	DATE	FIELD NOTES	GLD	REMARKS	BY
By <i>John Conner</i>	By <i>John Conner</i>	DATE	DATE				
MICRO-FILM INFORMATION				DESIGN			
RECORDED BY	NO.	DATE	DATE	DESIGNED BY xxx			
				DRAWN BY xxx			
				CHECKED BY xxx			



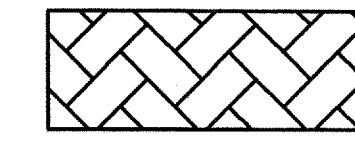
KEYED CONSTRUCTION NOTES

1. REMOVE & DISPOSE OF EXISTING ITEM.
2. PROTECT ITEM DURING CONSTRUCTION.
3. TO BE REMOVED BY SEPARATE CONTRACT.
4. COORDINATE RELOCATION W/COA TRAFFIC OPERATIONS.
5. EXST POWER LINES TO BE RELOCATED BY PNM.
6. PROTECT EXST WHEELCHAIR RAMP AND ITEM WITHIN RAMP AREA DURING CONSTRUCTION.
7. REMOVE & DISPOSE OF EXSTING INLET.
8. REMOVE, CAP, & DISPOSE OF EXST WATER SERVICE AND METER BOX.
9. REMOVE & DISPOSE OF EXISTING TRUNCATED DOMES.
10. REMOVE & DISPOSE OF EXSTING SAS MANHOLE.

LEGEND



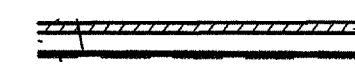
SAWCUT, REMOVE, & REPLACE EXST PAVING WITH 2" ADDITIONAL THICKNESS PER COA STD DWG #2465 (MINOR ARTERIAL) AS PART OF WATER & SEWER INSTALLATION



REMOVE & DISPOSE EXISTING PAVING



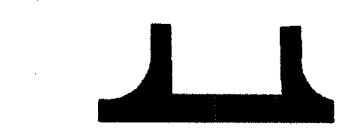
REMOVE & DISPOSE OF EXISTING SIDEWALKS, WHEELCHAIR RAMPS, AND DRIVE PADS.



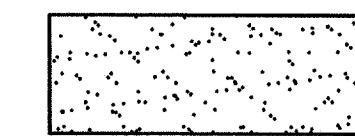
NEATLY SAWCUT, REMOVE & REPLACE 1' OF EXISTING ASPHALT WITH 2" ADDITIONAL THICKNESS PER COA STD DWG #2465 (MINOR ARTERIAL).



REMOVE & DISPOSE OF EXISTING CURB & GUTTER



REMOVE & DISPOSE OF EXISTING VALLEY GUTTER



TO BE REMOVED BY SEPARATE CONTRACT

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1582PV-DEM0.dwg Mar. 25, 2008

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

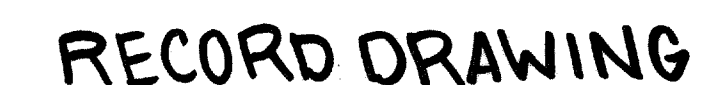
TITLE: **SILVER TOWNHOMES
DEMOLITION PLAN**

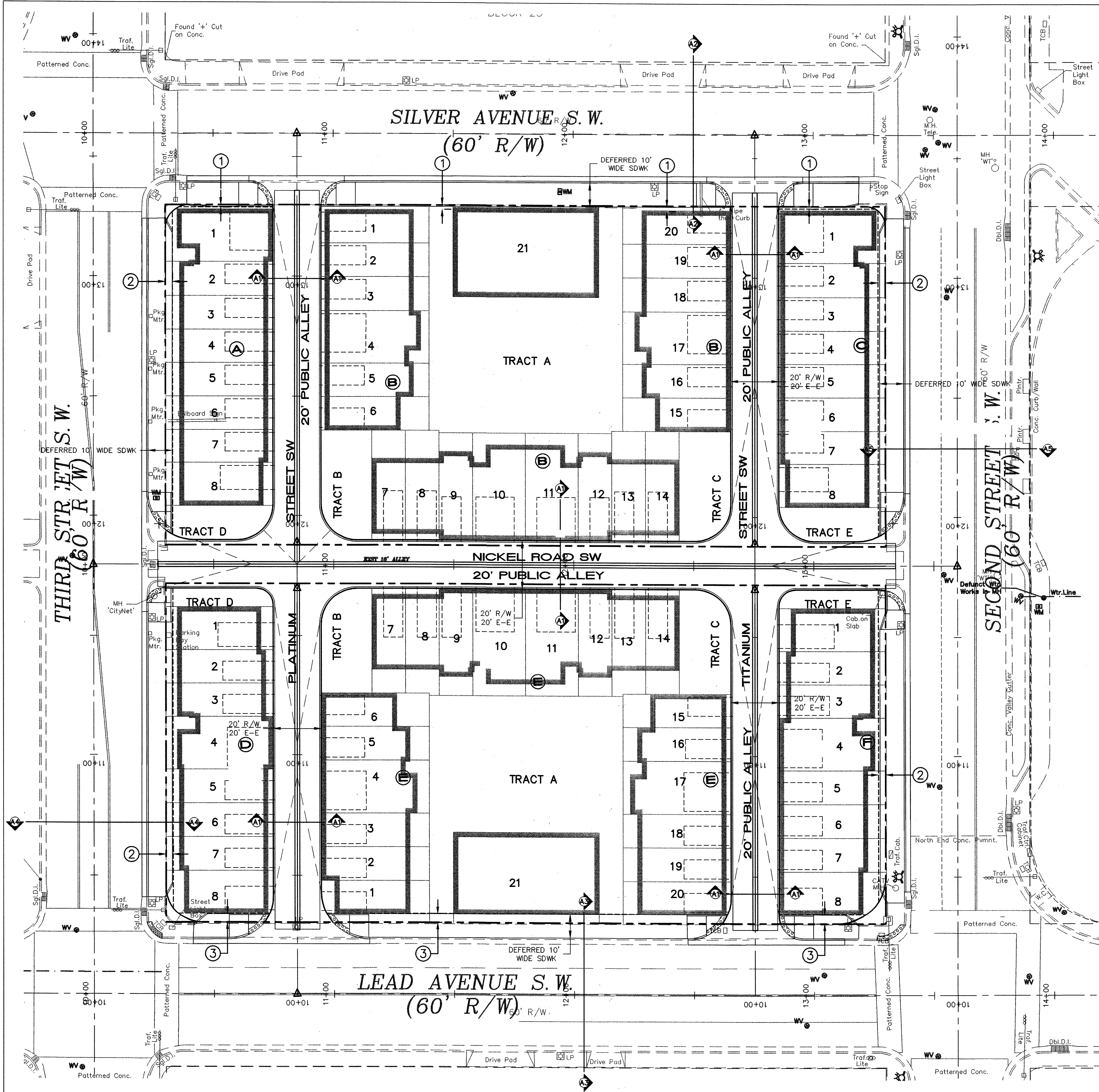
DESIGN REVIEW COMMITTEE	CITY ENGINEER	NO.	DATE	REVISIONS	BY
APR 15 2008	DEC 08 2008				
DESIGN REVIEW COMMITTEE	CITY ENGINEER				

City Project No.	555482	Zone Map No.	K-14-Z	Sheet	8	Of	21
------------------	--------	--------------	--------	-------	---	----	----

RECORD DRAWING

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	FIELD NOTES			
INSPECTOR'S ACCEPTANCE BY	DATE	A.C.S. Sta. '18-K14'					
VERIFICATION BY	DATE	x=381330.57					
COMPLETED BY	DATE	y=1485990.88					
MICRO-FILM INFORMATION		Grid/Grd Fact.=0.99967846					
RECORDED BY	DATE	Delta Alpha=-0.1341"					
		NM S.P.C. Cent.Zone, NAD27					
		ELEVATION= 4960.723 NAVD 1929					





EASEMENT NOTES

- 1' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED BY FINAL PLAT.
- 3' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED BY FINAL PLAT.
- 3.8' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED BY FINAL PLAT.

LEGEND

- EXISTING STREET IMPROVEMENTS
- PROPOSED DRIVEPAD & WHEELCHAIR RAMPS
- PROPOSED STREET IMPROVEMENTS
- PROPOSED ALLEY GUTTER
- PROPOSED CROWN TRANSITION
- EXISTING LIGHT POLE
- EXISTING TRAFFIC SIGNAL

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1582PMSTR.dwg Mar 25, 2008

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: SILVER TOWNHOMES MASTER PAVING PLAN	
Design Review Committee APPROVED APR 15 2008 DESIGN REVIEW COMMITTEE	City Engineer Approval APPROVED DEC 08 2008 CITY ENGINEER
City Project No. 555482	Zone Map No. K-14-Z
Sheet 6	Of 21

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	FIELD NOTES		ENGINEER'S SEAL	
INSPECTOR	DATE	INSPECTOR	DATE				
VERIFICATION BY	DATE	VERIFICATION BY	DATE				
CONNECTION BY	DATE	CONNECTION BY	DATE				
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE
NO.		NO.		NO.		NO.	

1582PMSTR.dwg

Mar 25, 2008

15088

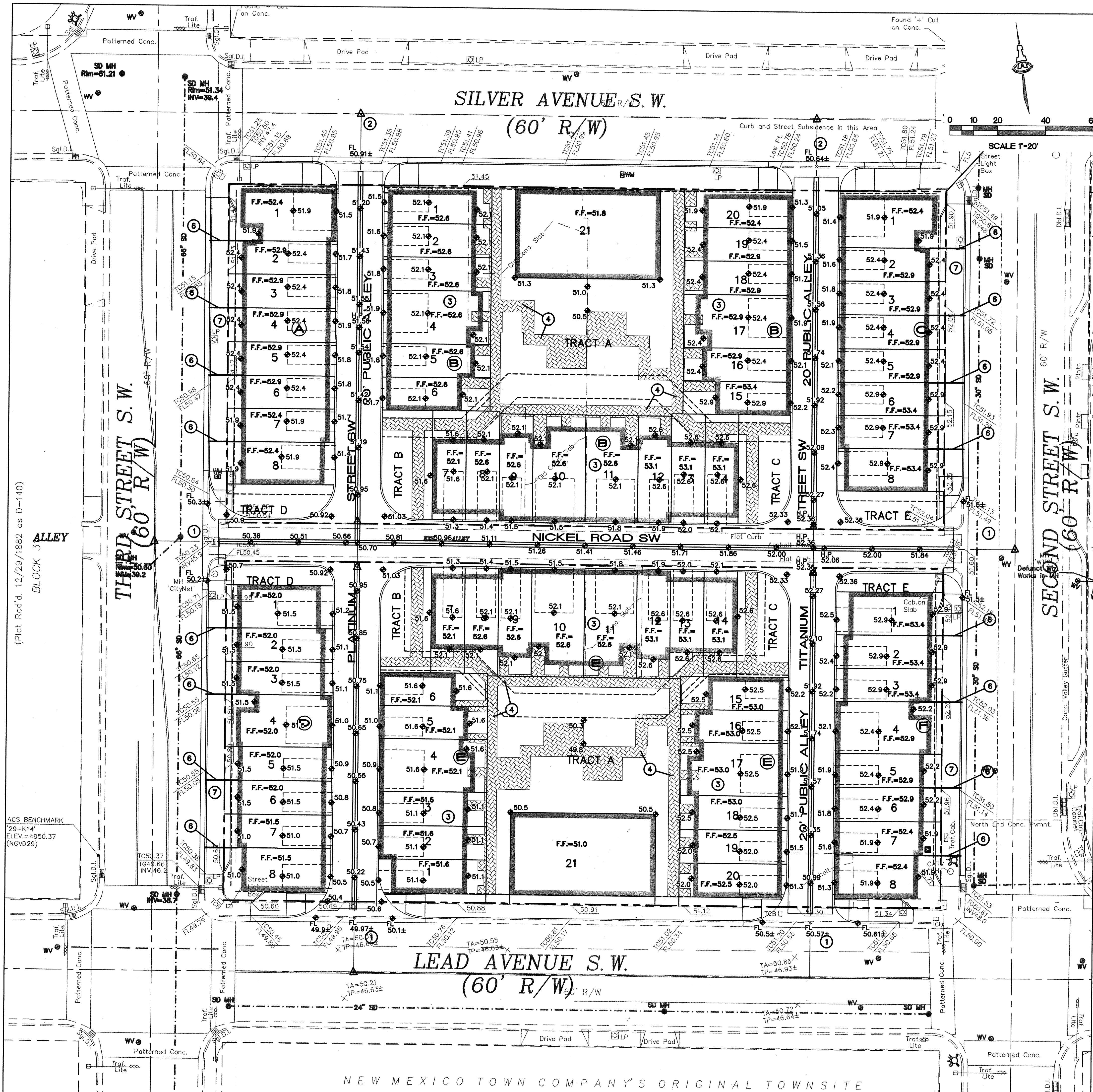
NEW MEXICO

Professional Engineer

Isaacson & Arfman, P.A.

3/25/08

NO.	DATE	REVISIONS	BY
		DESIGN	
DESIGNED BY	xxx	DATE	xx/xx/xx
DRAWN BY	xxx	DATE	xx/xx/xx
CHECKED BY	xxx	DATE	xx/xx/xx

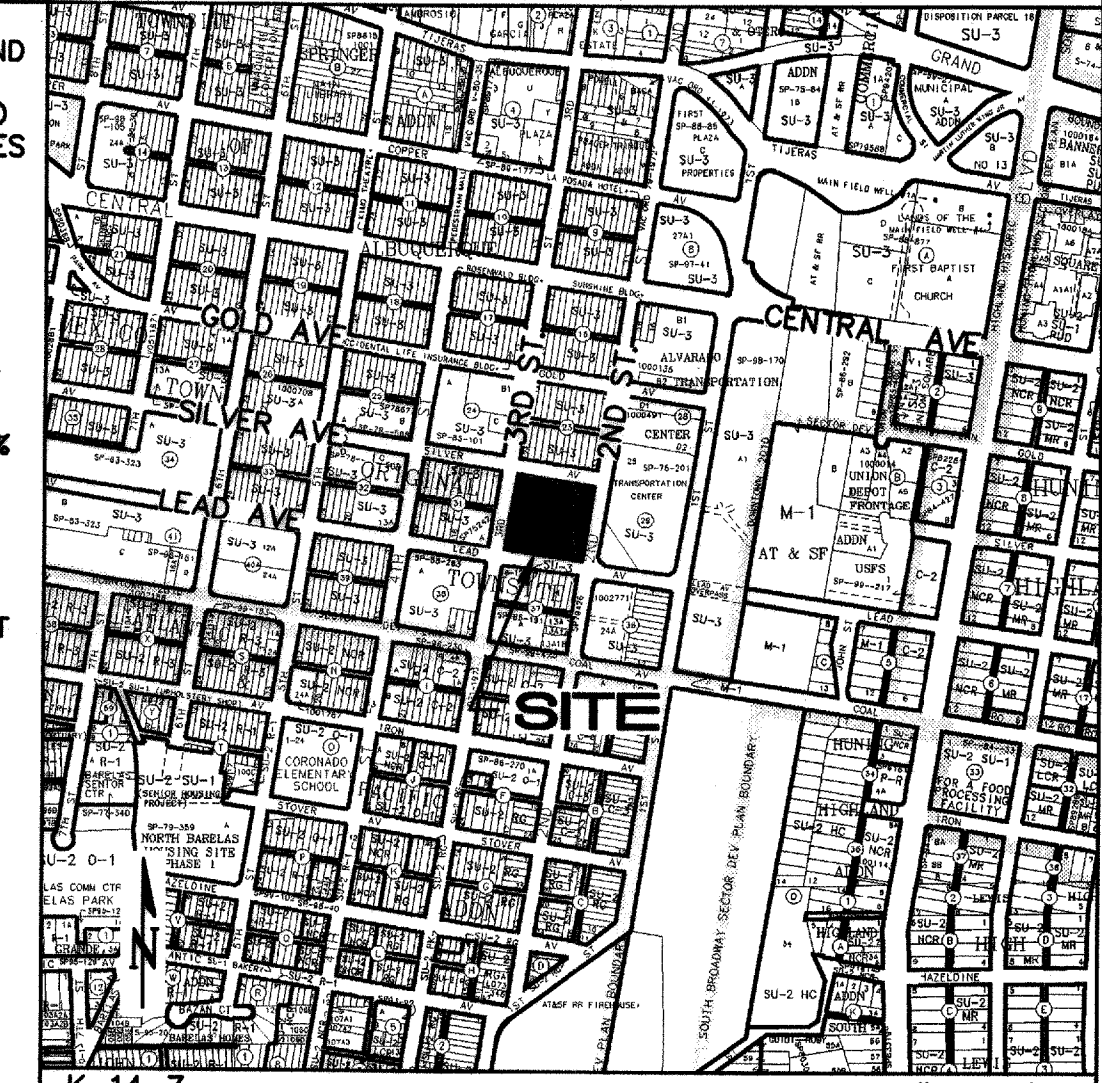


KEYED NOTES

- 1 ALL NEW INFRASTRUCTURE WITHIN THE R.O.W. OF LEAD AVE., 2ND STREET, 3RD STREET, AND PUBLIC ALLEYS INCLUDING PAVING, PUBLIC SIDEWALK, HANDICAP RAMPS AND CURB AND GUTTER TO BE CONSTRUCTED UNDER SEPARATE C.O.A. WORK ORDER. GRADES SHOWN ARE FOR GENERAL INFORMATION ONLY.
- 2 ALL NEW INFRASTRUCTURE WITHIN THE SILVER AVE. R.O.W. TO BE CONSTRUCTED UNDER SEPARATE C.O.A. WORK ORDER BY OTHERS.
- 3 SEE ARCHITECTURAL FOR SPECIFIC ROOF DISCHARGE LOCATIONS. TYPICAL.
- 4 CONSTRUCT ALL PEDESTRIAN WALKS AT MAXIMUM SLOPE = 5.0% LOCATIONS PER LANDSCAPE PLAN.
- 5 PVC DRAIN PIPES COLLECTING ROOF DRAINAGE. SEE WORK ORDER PLANS FOR PIPE PENETRATION THROUGH CURB.
- 6 SEE ARCHITECTURAL FOR STEPS TO TRANSITION FROM GRADE AT UNIT ACCESS TO PROPOSED WALK GRADES. TYPICAL.

SEE SHEET C-2 FOR PRIVATE STORM DRAIN SYSTEM DESIGN AND DETAILS.

VICINITY MAP



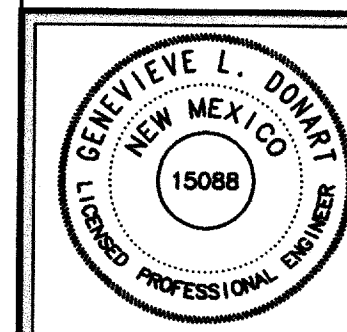
LEGEND

---	PROPERTY LINE
+78.16	EXISTING SPOT ELEVATION
79	EXISTING CONTOUR
78.0	PROPOSED SPOT ELEVATION
30	PROPOSED CONTOUR
→	SURFACE FLOW DIRECTION
TG	TOP OF GRADE
TW	TOP OF WALL
TC	TOP OF CURB
FL	FLOW LINE
FF	FINISHED FLOOR
R.O.W.	RIGHT OF WAY
PL	PROPERTY LINE

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND DETAILS.
- DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITION SHALL BE SMOOTH AND LEVEL.
- GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL. CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.

FOR INFORMATION
ONLY



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
PH: 505-268-8828 Fax: 505-268-2632
1582GRD.dwg Mar 12, 2008

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A.

SILVER TOWNHOMES

WORKSHOP ARCHITECTS

GRADING AND DRAINAGE PLAN

Date:	Rev:	Date:	Job No.
MAY 2007	1		1582
Drawn By:	Check By:	Scale:	Sheet
BJB	FCA		C-1
Of:			SH OF

SHEET 4 OF 21

**AMENDED
PLAT
FOR
SILVER
TOWNHOMES**

BEING A REPLAT OF
LOTS 1 THRU 24, BLOCK 30
NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER 2009

PROPOSED EASEMENTS

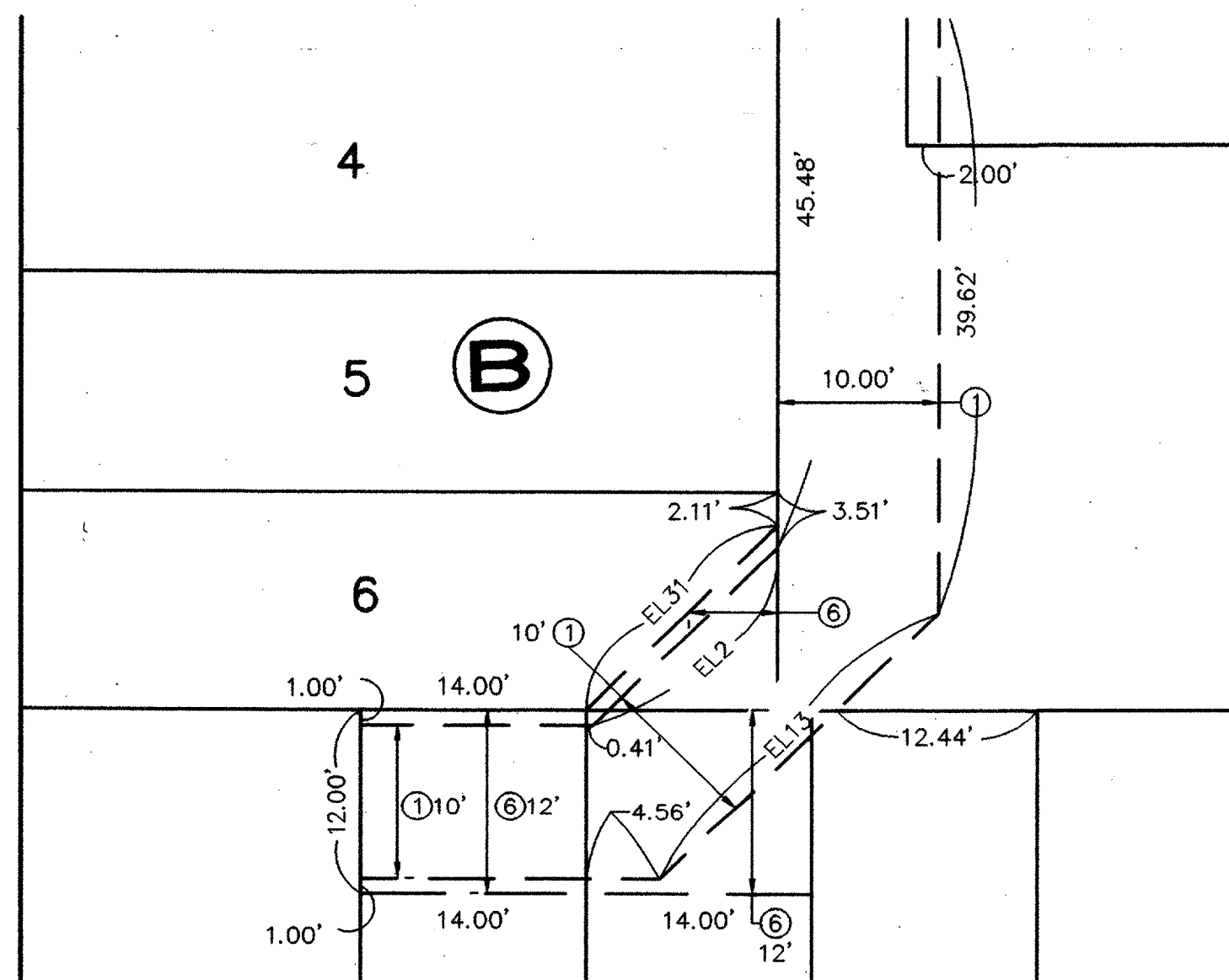
- ① PUE TO BE GRANTED BY THIS PLAT.
- ② PUE COVERS TRACT EXCLUSIVE OF AREA OF PNM AND QWEST EASEMENT (SEE ⑬) TO BE GRANTED BY THIS PLAT.
- ③ 1' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ④ 3' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑤ 3.80' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑥ PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER.
- ⑦ BLANKET PRIVATE LANDSCAPE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.
- ⑧ BLANKET PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.
- ⑨ BLANKET PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.
- ⑩ ~~5'x7' PRIVATE DRAINAGE EASEMENT TO BE JOINTLY MAINTAINED BY THE BENEFITING PROPERTY OWNERS, 2.5' ON EACH SIDE OF SIDE LOT PROPERTY LINE.~~

AMENDED EASEMENT NOTE ⑩

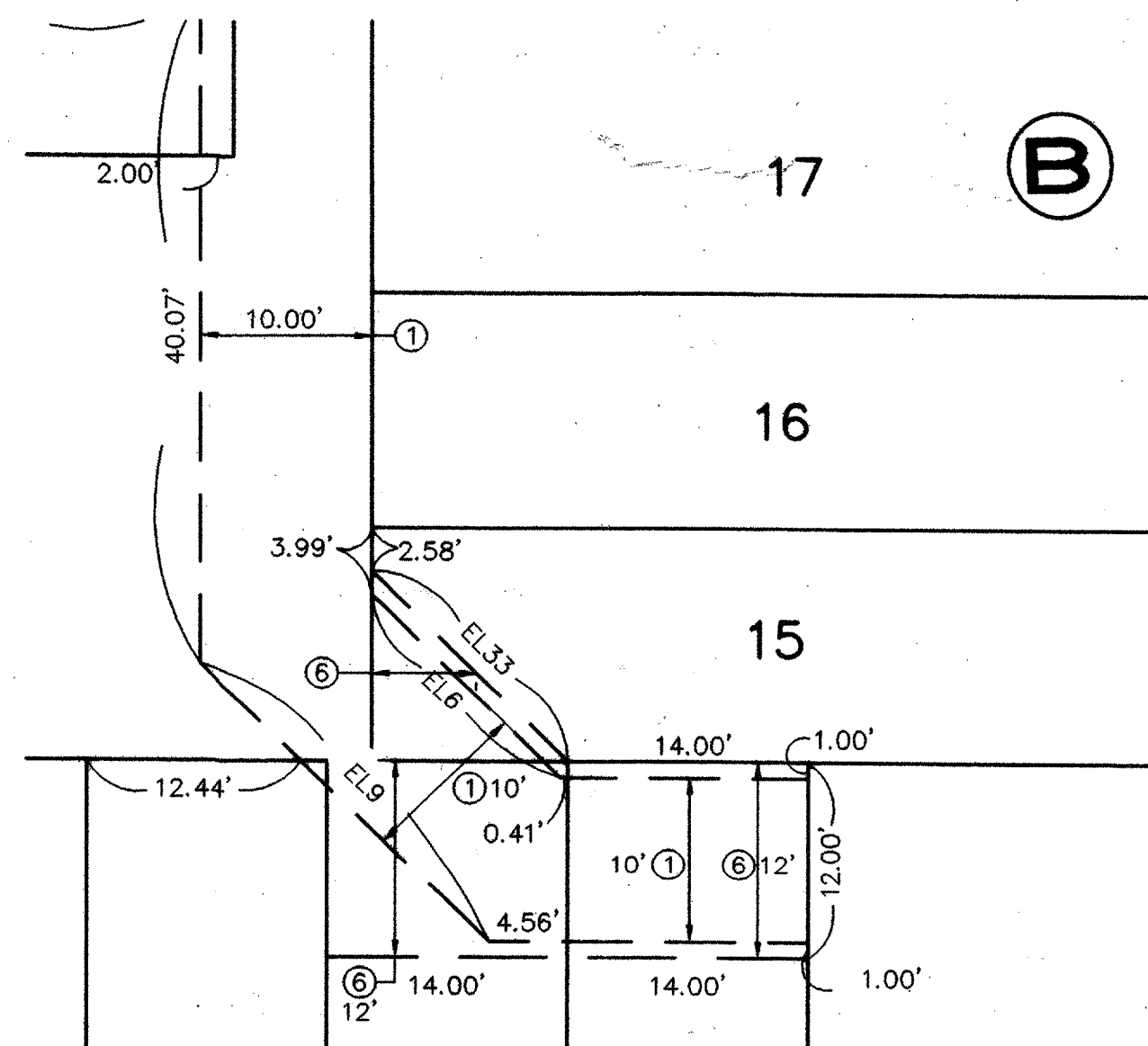
- 5' WIDE PRIVATE DRAINAGE EASEMENT EXTENDING FROM THE PUBLIC RIGHT-OF-WAY LINE TO THE FACE OF THE STRUCTURE ON EACH LOT AS SHOWN. TO BE JOINTLY MAINTAINED BY THE BENEFITING PROPERTY OWNERS, 2.5 FEET ON EACH SIDE OF THE SHOWN LOT LINE.
- ⑪ 20.08' PRIVATE PEDESTRIAN ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.
- ⑫ BLANKET PRIVATE UTILITY EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF TRACT A.
- ⑬ UTILITY EASEMENT GRANTED TO PUBLIC SERVICES CO. OF NEW MEXICO AND QWEST BY FINAL PLAT.

NOTES

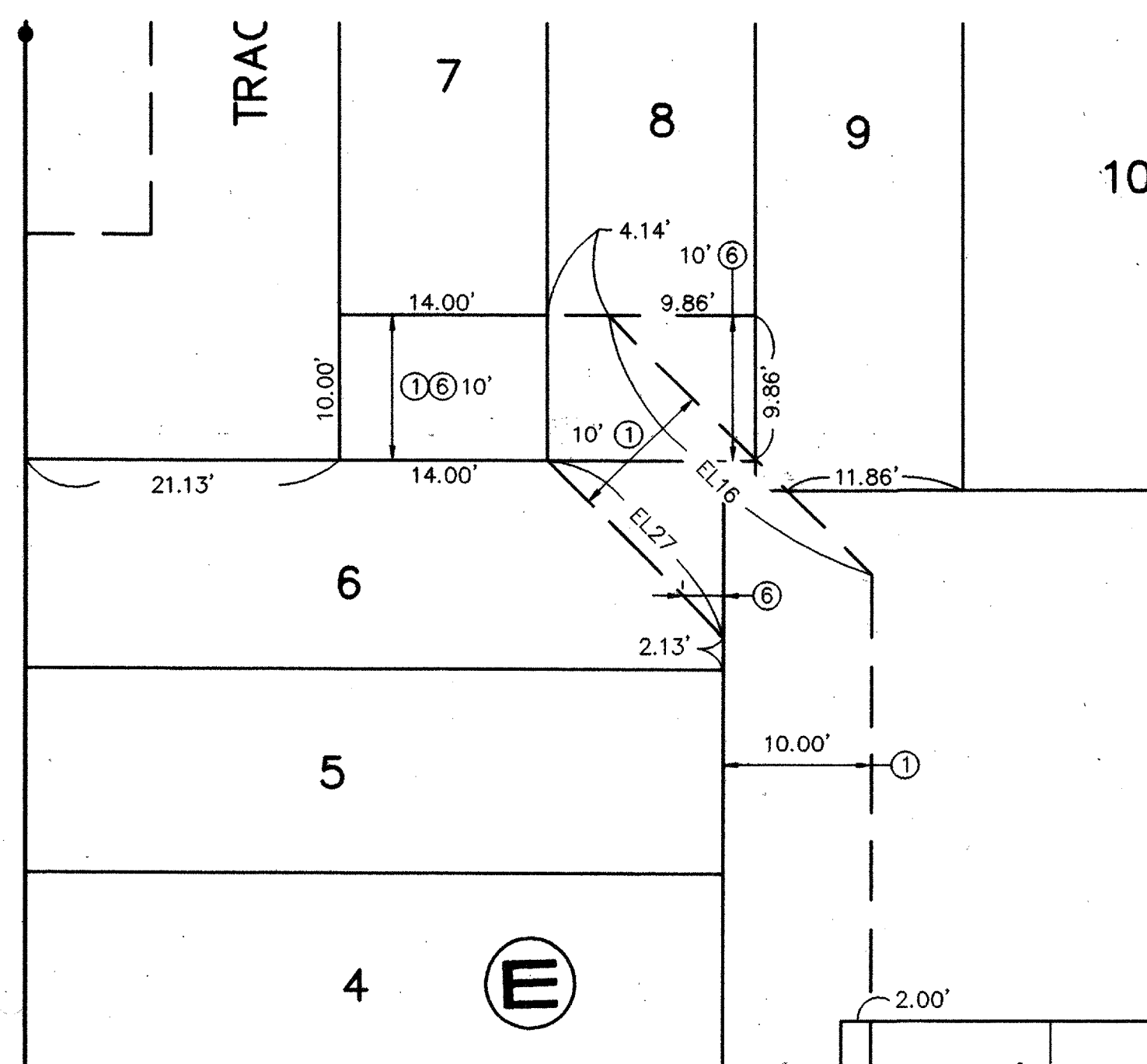
1. SEE SHEET 7 FOR LINE & CURVE TABLE.
2. SEE SHEET 7 FOR EASEMENT LINE TABLE
3. SEE SHEETS 5 & 6 FOR EASEMENT NOTES & LABELS
4. SEE SHEET 7 FOR LOT AREA TABLE



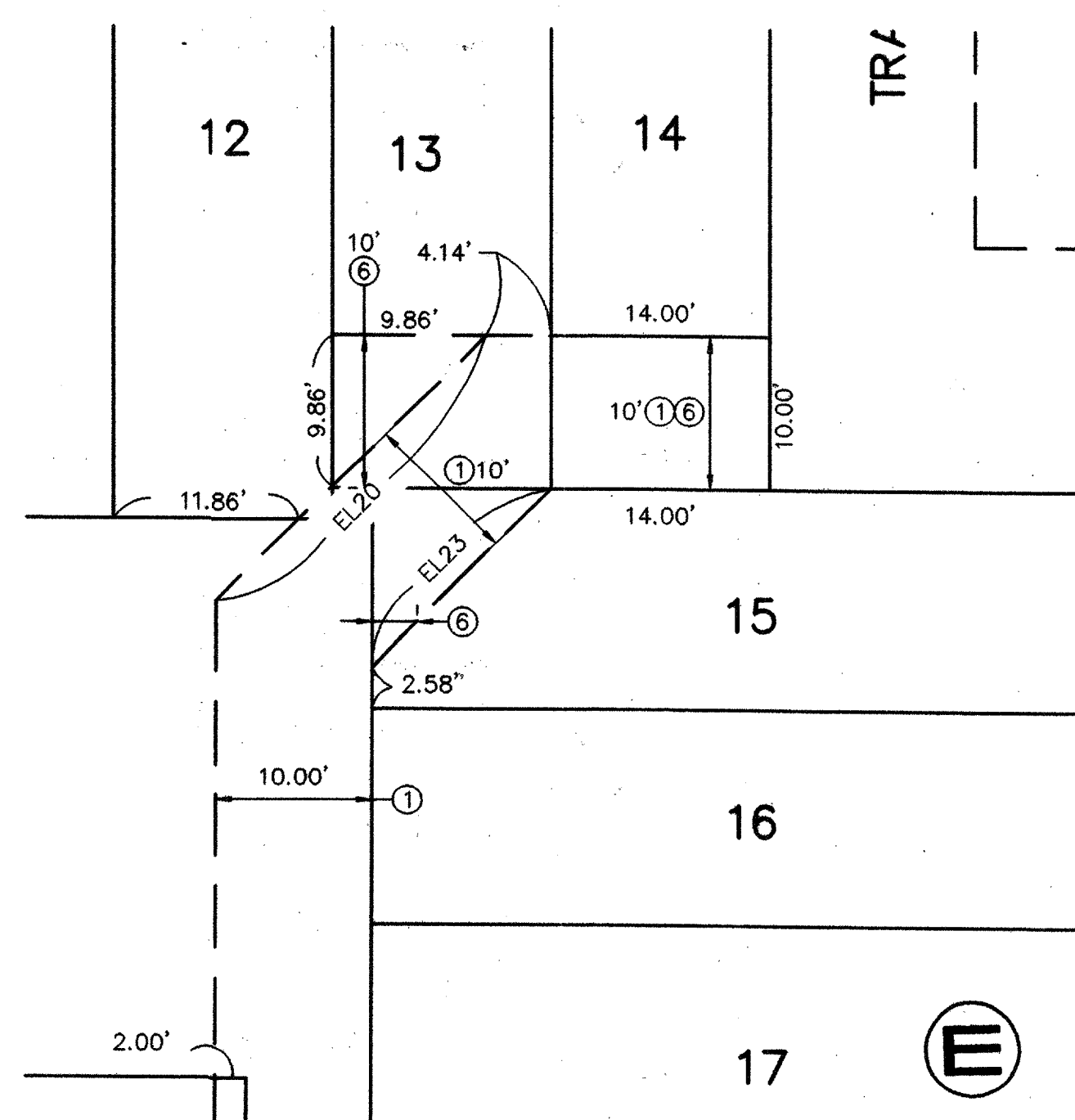
EASEMENT DETAIL A
1"=10'



EASEMENT DETAIL B
1"=10'



EASEMENT DETAIL C
1"=10'



EASEMENT DETAIL D

DOC# 2010007859

01/28/2010 04:21 PM Page: 8 of 8
tyPLAT R:\$42.00 B: 2010C P: 0012 M. Toulouse Olivere, Bernalillo Co

EASEMENT DETAILS

SHEET 8 OF 8

1582PT1.dwg

Oct 29 2009

Sheet 3 F of 21

AMENDED PLAT FOR SILVER TOWNHOMES

BEING A REPLAT OF
LOTS 1 THRU 24, BLOCK 30
NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER 2009

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	10.00	15.72	10.01	14.15	S 54°09'33" W	90°03'42"
C2	8.00	12.56	7.99	11.31	N 35°50'27" W	89°56'18"
C3	20.00	12.67	6.55	12.46	N 81°02'40" E	36°17'26"
C4	15.00	22.76	14.22	20.64	S 37°20'07" E	86°56'58"
C5	15.00	0.80	0.40	0.80	S 07°39'53" W	3°03'02"
C6	15.00	23.56	15.00	21.21	N 54°11'24" E	90°00'00"
C7	15.00	23.56	15.00	21.21	S 35°48'36" E	90°00'00"
C8	15.00	0.80	0.40	0.80	N 10°42'55" E	3°03'02"
C9	15.00	22.76	14.22	20.64	N 55°42'55" E	86°56'58"
C10	20.00	12.97	6.72	12.74	S 62°14'17" E	37°08'40"
C11	7.00	11.00	7.00	9.90	N 35°48'36" W	90°00'00"
C12	15.00	23.56	15.00	21.21	S 54°11'24" W	90°00'00"
C13	15.00	23.56	15.00	21.21	N 35°48'36" W	90°00'00"
C14	7.00	11.00	7.00	9.90	S 54°11'24" W	90°00'00"
C15	10.00	1.81	0.91	1.80	N 75°38'05" W	10°21'03"
C16	20.00	31.42	20.00	28.29	N 54°11'07" E	90°00'35"
C17	10.00	3.12	1.57	3.11	S 00°14'36" W	17°53'34"
C18	18.00	11.84	6.14	11.63	N 28°02'19" E	37°41'51"
C19	20.00	14.00	7.30	13.72	S 10°52'04" E	40°06'56"
C20	18.00	11.65	6.04	11.45	N 27°44'11" E	37°05'36"
C21	15.00	23.56	15.00	21.21	S 35°48'54" E	89°59'27"

LINE	BEARING	DISTANCE
EL2	N 54°10'18" E	16.24
EL6	S 35°48'36" E	15.56
EL9	S 35°48'36" E	23.85
EL13	N 54°11'24" E	24.48
EL16	S 35°48'36" E	25.07
EL20	N 54°11'24" E	24.43
EL23	N 54°11'24" E	16.15
EL27	S 35°48'36" E	16.78
EL31	N 54°11'24" E	16.78
EL33	S 35°48'36" E	16.15

AREA TABLE

BLOCK	LOT	AREA (sf)
A	1	1044
A	2	628
A	3	628
A	4	628
A	5	628
A	6	628
A	7	627
A	8	806
B	1	749
B	2	658
B	3	658
B	4	1034
B	5	658
B	6	658
B	7	644
B	8	644
B	9	644
B	10	1012
B	11	1012
B	12	644
B	13	644
B	14	644
B	15	658
B	16	658
B	17	1034
B	18	658
B	19	658
B	20	749
B	21	3526
C	1	1037
C	2	620
C	3	621
C	4	621
C	5	621
C	6	621
C	7	621
C	8	799
A	TRACT D	572
B	TRACT A	3678
B	TRACT B	924
B	TRACT C	944
C	TRACT E	568

AREA TABLE CONT'D

BLOCK	LOT	AREA (sf)
D	1	804
D	2	625
D	3	625
D	4	983
D	5	625
D	6	625
D	7	625
D	8	922
E	1	821
E	2	658
E	3	658
E	4	1034
E	5	658
E	6	658
E	7	616
E	8	616
E	9	644
E	10	1012
E	11	1012
E	12	644
E	13	616
E	14	616
E	15	658
E	16	658
E	17	1034
E	18	658
E	19	658
E	20	827
E	21	3526
F	1	799
F	2	621
F	3	621
F	4	977
F	5	622
F	6	622
F	7	622
F	8	890
D	TRACT D	342
E	TRACT A	3685
E	TRACT B	882
E	TRACT C	901
F	TRACT E	339

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. New Mexico Gas Company for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
2. Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonable necessary to provide electrical service.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from, and over said right of way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

LEGAL DESCRIPTION

CONTINUED FROM SHEET 1

N. 09°10'49"E., 141.88 feet distant; thence,

N. 08°53'53"E., 16.02 feet distant; thence,

N. 09°07'42"E., 141.91 feet distant to the northwest corner, a point of intersection of said easterly right-of-way line of Third Street S.W. with said southerly right-of-way line of Silver Avenue S.W.; thence, leaving said easterly right-of-way line of Third Street S.W. and continuing along said southerly right-of-way line of Silver Avenue S.W.,

S. 80°48'36"E., 299.91 feet to the northeast corner and POINT OF BEGINNING.

Containing 2.0637 acres, more or less.

DOCH 2010007859
01/29/2010 04:21 PM Page 7 of 8
tyPLAT R: \$42.00 B: 2010C 0012 H. Toulous Olivere, Bernalillo Co

DATA TABLES, EASEMENTS NOTES

1582PT1.dwg

Oct 29, 2009

SHEET 7 OF 8

Sheet 3E of 21

EXISTING EASEMENTS

NONE

PROPOSED EASEMENTS

- ① PUE TO BE GRANTED BY THIS PLAT.
- ② PUE COVERS TRACT EXCLUSIVE OF AREA OF PNM AND QWEST EASEMENT (SEE ⑬) TO BE GRANTED BY THIS PLAT.
- ③ 1' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ④ 3' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑤ 3.80' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑥ PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER.
- ⑦ BLANKET PRIVATE LANDSCAPE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.

- ⑧ BLANKET PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.
- ⑨ BLANKET PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.
- ⑩ ~~5'x7' PRIVATE DRAINAGE EASEMENT TO BE JOINTLY MAINTAINED BY THE BENEFITING PROPERTY OWNERS, 2.5' ON EACH SIDE OF SIDE LOT PROPERTY LINE.~~

AMENDED EASEMENT NOTE ⑩

5' WIDE PRIVATE DRAINAGE EASEMENT EXTENDING FROM THE PUBLIC RIGHT-OF-WAY LINE TO THE FACE OF THE STRUCTURE ON EACH LOT AS SHOWN, TO BE JOINTLY MAINTAINED BY THE BENEFITING PROPERTY OWNERS, 2.5 FEET ON EACH SIDE OF THE SHOWN LOT LINE.

- ⑪ 20.08' PRIVATE PEDESTRIAN ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.

- ⑫ BLANKET PRIVATE UTILITY EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF TRACT A.
- ⑬ UTILITY EASEMENT GRANTED TO PUBLIC SERVICES CO. OF NEW MEXICO, COMCAST AND QWEST BY FINAL PLAT.

LEGEND

- 1 LOT IDENTIFICATION
- Ⓐ BLOCK IDENTIFICATION
- PROPERTY LINE
- - - EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT

NOTES

1. SEE SHEET 7 FOR LINE & CURVE TABLE.
2. SEE SHEET 7 FOR EASEMENT LINE TABLE.
3. SEE SHEETS 5 & 6 FOR EASEMENT NOTES & LABELS.
4. SEE SHEET 7 FOR LOT AREA TABLE.

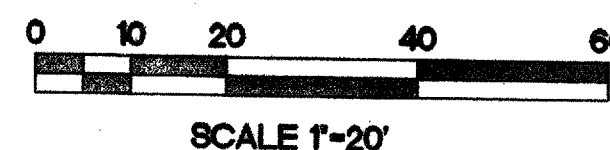
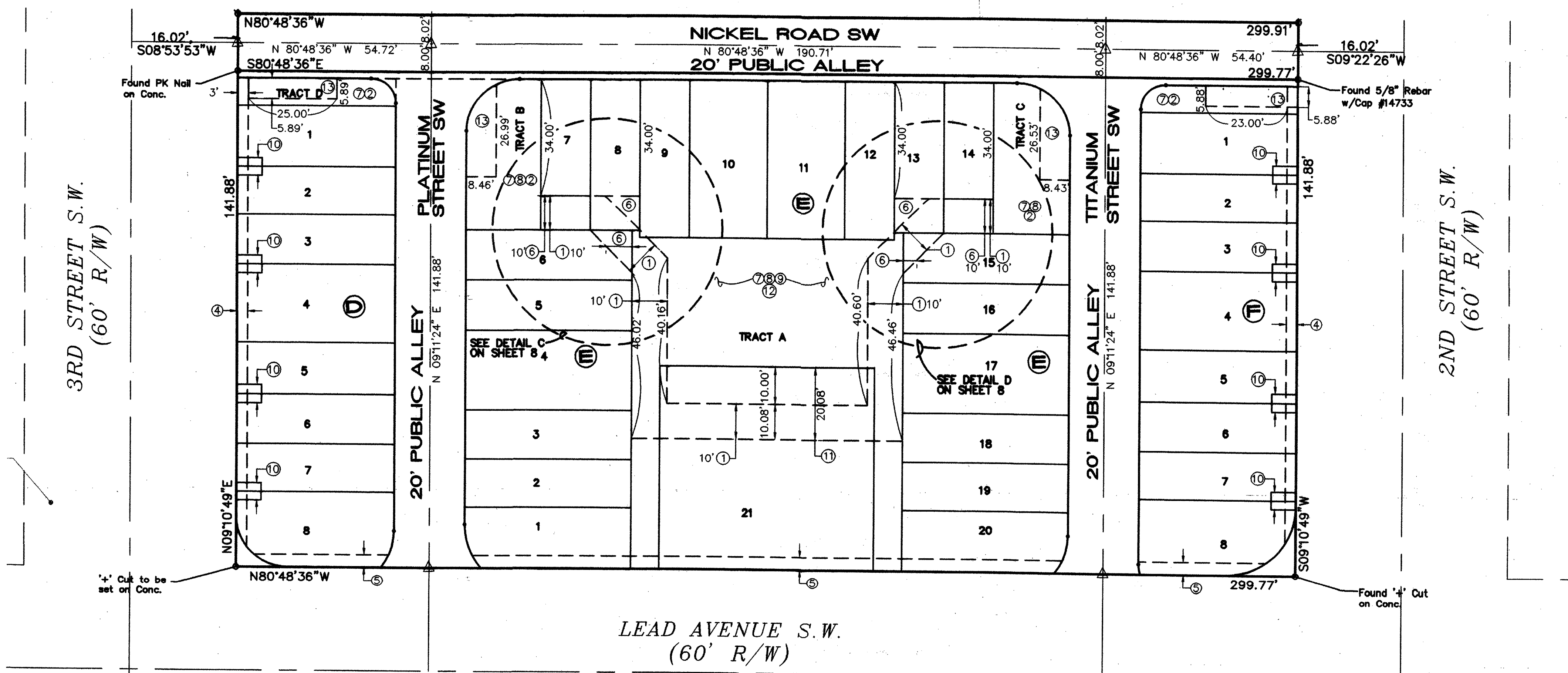
AMENDED PLAT FOR SILVER TOWNHOMES

BEING A REPLAT OF
LOTS 1 THRU 24, BLOCK 30
NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER 2009

SCANNED BY
PLANNING



DOCH 2010007859
01/28/2010 04:21 PM Page: 6 of 8
PLAT R: \$42.00 B: 2010C P: 0012 M: Toulous Oliveira, Bernalillo Co.

1582PT1.dwg

EASEMENTS SOUTH 1/2

SHEET 6 OF 8

Sheet 3D of 21

EXISTING EASEMENTS

NONE

PROPOSED EASEMENTS

- ① PUE TO BE GRANTED BY THIS PLAT.
- ② PUE COVERS TRACT EXCLUSIVE OF AREA OF PNM AND QWEST EASEMENT (SEE ⑬) TO BE GRANTED BY THIS PLAT.
- ③ 1' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ④ 3' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑤ 3.80' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- ⑥ PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER.
- ⑦ BLANKET PRIVATE LANDSCAPE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.

- ⑧ BLANKET PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.
- ⑨ BLANKET PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.
- ⑩ ~~5'x7' PRIVATE DRAINAGE EASEMENT TO BE JOINTLY MAINTAINED BY THE BENEFITING PROPERTY OWNERS, 2.5' ON EACH SIDE OF SIDE LOT PROPERTY LINE.~~

AMENDED EASEMENT NOTE ⑩
 5' WIDE PRIVATE DRAINAGE EASEMENT EXTENDING FROM THE PUBLIC RIGHT-OF-WAY LINE TO THE FACE OF THE STRUCTURE ON EACH LOT AS SHOWN. TO BE JOINTLY MAINTAINED BY THE BENEFITING PROPERTY OWNERS, 2.5 FEET ON EACH SIDE OF THE SHOWN LOT LINE.

⑪ 20.08' PRIVATE PEDESTRIAN ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF THE UNDERLYING TRACT.

- ⑫ BLANKET PRIVATE UTILITY EASEMENT GRANTED BY THIS PLAT, TO BE MAINTAINED BY THE OWNER OF TRACT A.
- ⑬ UTILITY EASEMENT GRANTED TO PUBLIC SERVICES CO. OF NEW MEXICO, COMCAST AND QWEST BY FINAL PLAT.

LEGEND

- 1 LOT IDENTIFICATION
- Ⓐ BLOCK IDENTIFICATION
- PROPERTY LINE
- - - EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT

NOTES

1. SEE SHEET 7 FOR LINE & CURVE TABLE.
2. SEE SHEET 7 FOR EASEMENT LINE TABLE.
3. SEE SHEETS 5 & 6 FOR EASEMENT NOTES & LABELS.
4. SEE SHEET 7 FOR LOT AREA TABLE.

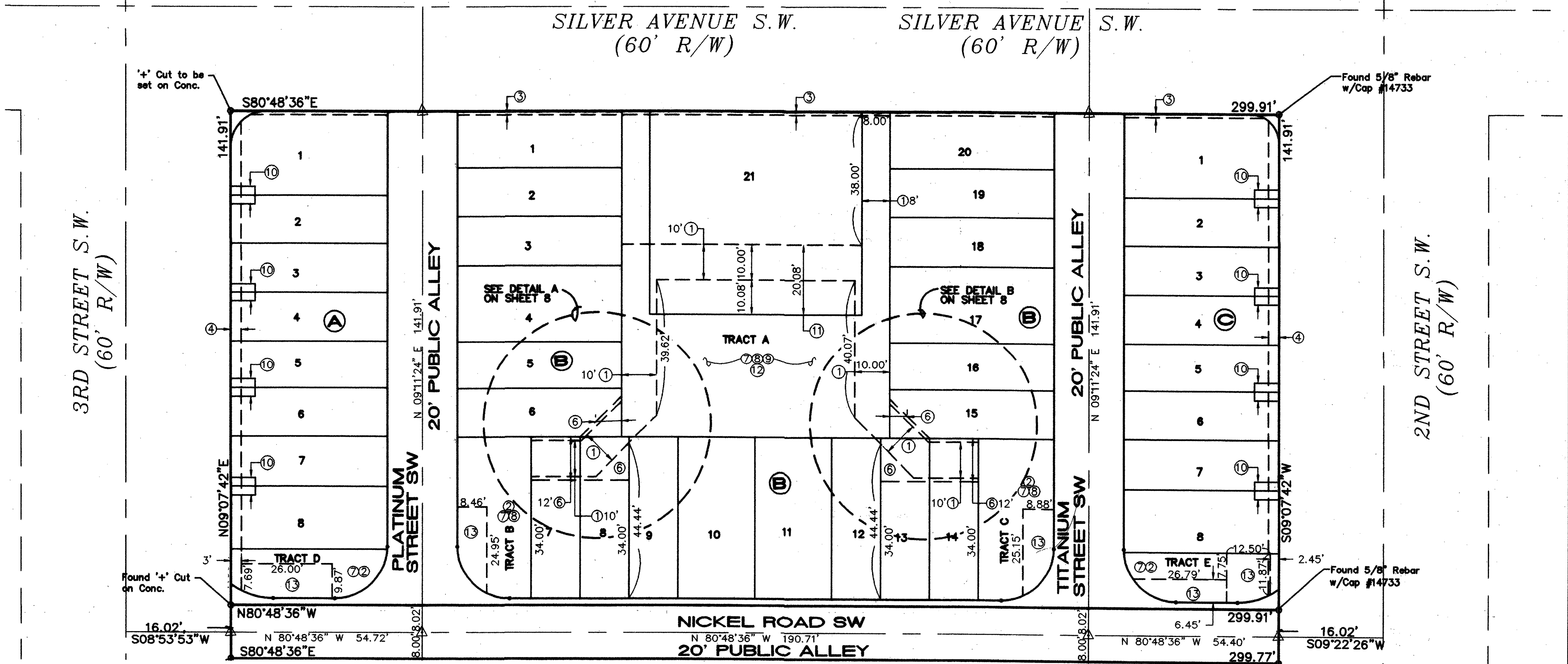
AMENDED PLAT FOR SILVER TOWNHOMES

BEING A REPLAT OF
 LOTS 1 THRU 24, BLOCK 30
 NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE

CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER 2009

SCANNED BY
 PLANNING



DOCH 2010007859
 01/29/2010 04:21 PM Page: 5 of 8
 City: PLAT R: 342.00 S: 20100 P: 0012 Toulous Olivero, Bernalillo Co

EASEMENTS NORTH 1/2

SHEET 5 OF 8

Sheet 3C of 21

SCANNED BY
PLANNING

AMENDED PLAT FOR SILVER TOWNHOMES

BEING A REPLAT OF
LOTS 1 THRU 24, BLOCK 30
NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

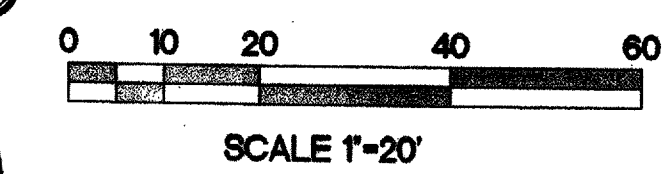
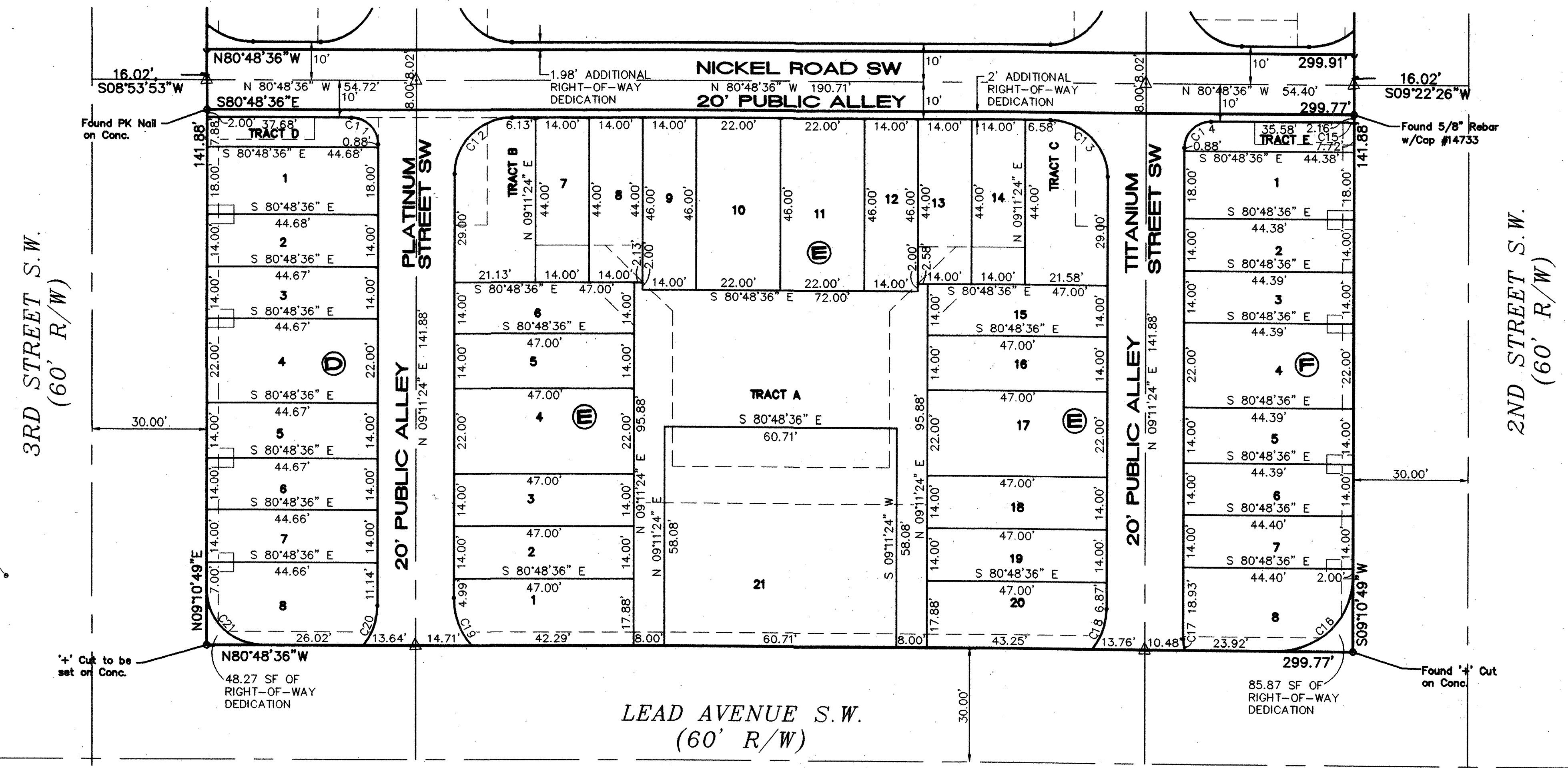
SEPTEMBER 2009

NOTES

1. SEE SHEET 7 FOR LINE & CURVE TABLE.
2. SEE SHEET 7 FOR EASEMENT LINE TABLE
3. SEE SHEETS 5 & 6 FOR EASEMENT NOTES & LABELS
4. SEE SHEET 7 FOR LOT AREA TABLE

LEGEND

- 1 LOT IDENTIFICATION
- Ⓐ BLOCK IDENTIFICATION
- PROPERTY LINE
- - - EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT



DOCH 2010007859
01/28/2010 04:21 PM Page: 4 of 8
tyPLAT R:542.00 B: 2010C P: 8012 M: Toulouse Oliveira, Bernalillo Co.

GEOMETRY, SOUTH 1/2

SHEET 4 OF 8

Sheet 3B of 21

M:\CAD FILES\1500-1599\1582.dwg, 9/28/2009 4:05:16 PM, thor

AMENDED PLAT FOR SILVER TOWNHOMES

BEING A REPLAT OF
LOTS 1 THRU 24, BLOCK 30

NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER 2009

LEGEND

- 1 LOT IDENTIFICATION
- Ⓐ BLOCK IDENTIFICATION
- PROPERTY LINE
- - - EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT

NOTES

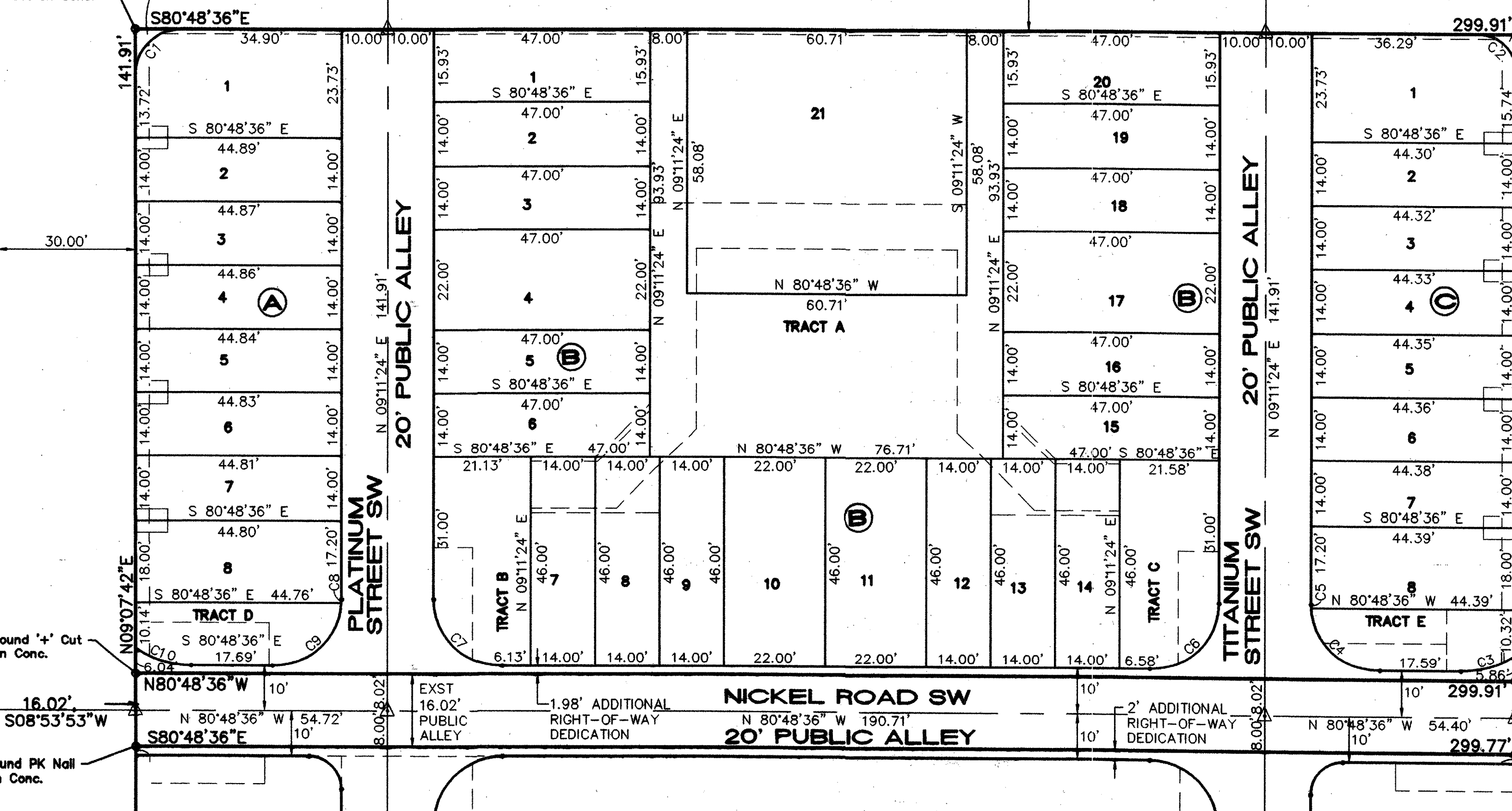
1. SEE SHEET 7 FOR LINE & CURVE TABLE.
2. SEE SHEET 7 FOR EASEMENT LINE TABLE.
3. SEE SHEETS 5 & 6 FOR EASEMENT NOTES & LABELS.
4. SEE SHEET 7 FOR LOT AREA TABLE.

SILVER AVENUE S.W.
(60' R/W)

13.70 SF OF
RIGHT-OF-WAY
DEDICATION

Found 5/8" Rebar
w/Cap #14733

4' Cut to be
set on Conc.



DOC# 2010007859
01/28/2010 04:21 PM Page: 3 of 8
City of Albuquerque, Bernalillo County, New Mexico
Taulous Oliviera, Bernalillo County

GEOMETRY, NORTH 1/2

Sep 28, 2009 SHEET 3 OF 8

Sheet 3A of 21

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

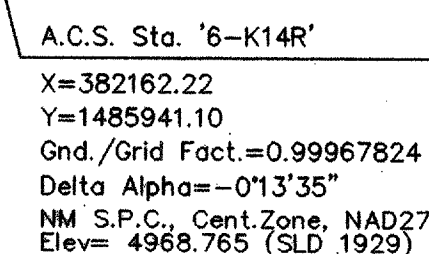
SEPTEMBER 2009

LEGEND

- 1 LOT IDENTIFICATION
 (A) BLOCK IDENTIFICATION
 _____ PROPERTY LINE
 - - - - - EASEMENT LINE
 - - - - - ADJOINING PROPERTY LINE
 (A) CENTERLINE MONUMENT
 EXISTING PROPERTY LINE TO
 BE VACATED BY FINAL PLAT
 LOT 22 EXISTING LOT IDENTIFICATION
 BLOCK 30 EXISTING BLOCK IDENTIFICATION

NOTES

- NOTES
1. SEE SHEET 7 FOR LINE & CURVE TABLE.
 2. SEE SHEET 7 FOR EASEMENT LINE TABLE
 3. SEE SHEETS 5 & 6 FOR EASEMENT NOTES & LABELS
 4. SEE SHEET 7 FOR LOT AREA TABLE



DOC# 2010007859

01/28/2010 04:21 PM Page: 2 of 8
 CityPLAT R:\$42.00 B: 2010C P: 0012 M. Toulouse Olivere, Bernallillo Co
 [Barcode]

GENERAL PLAT PLAN

1582PT1.dwg

Sep 28, 2009

SHEET 2 OF 8

Sheet 2B of 21



SUBDIVISION DATA / NOTES

1. Total Number of Existing Lots: 24
2. Total Number of Lots created: 72
3. Total Number of Tracts created: 10
4. Gross Subdivision Acreage: 2.0637 Ac.
5. Total Mileage of Full Width Streets Created: 0.1704 mi.
6. Bearings are New Mexico State Plane Grid Bearings (Central Zone), Based on observations from ACS '18-K14' to 'Beta West' (N 54°52'23"W, NAD27).
7. Distances are ground distances.
8. Bearings and distances in parenthesis are record.
9. Basis of boundary are the following plats of record entitled:

"New Mexico Town Company's Original Townsite" filed Dec. 29, 1882 in Plat Book 'D', folio 140.

- all being records of Bernalillo County, New Mexico.
10. Field Survey performed in January of 2007.
11. Title Report: Fidelity National Title, File #07-1071828-B-VG Dated MAR. 27, 2008.
12. Address of Property: None provided.
13. City Standard Utility Note II:
ABCWUA water and sanitary sewer service must be verified and coordinated with the ABCWUA
14. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #10466".
15. ZONING: SU-3, Housing Focus.
16. Subject land is located within Town of Albuquerque Grant, Projected Section 20, Township 10 North, Range 3 East, N.M.P.M.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject lots into 72 residential lots, 2 commercial lots, and 10 tracts, to (Recorded on 12/12/08, BK. 2008C, Pg. 262) dedicate public rights-of-way, to grant easements necessary to serve the residential development, vacate existing lot lines, and to name an existing public alley.

AMENDMENT NOTE

Plat amended to provide alternate easement description of easement note 10 Shts. 5 & 6 of 8.

LEGAL DESCRIPTION

Lot 1 through Lot 24, inclusive, in Block 30, together with the Alley in Block 30, of NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE, as the same are shown and designated on the plat thereof, filed in the office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico on December 29, 1882 in Plat Book 'D', folio 140, and being more particularly described as follows:

BEGINNING at the northeast corner of the land herein described, being also the northeast corner of aforesaid Lot 1 in Block 30, and being the point of intersection of the southerly right-of-way line of Silver Avenue S.W. with the westerly right-of-way line of Second Street S.W., whence the ACS Station '18-K14' (x=381330.57, y=1485990.88, N.M. State Plane Coordinates, Central Zone, NAD27) bears N. 50°54'17"E., 961.03 feet distant, and running thence along said westerly right-of-way line of Second Street S.W.,

S. 09°07'42"W., 141.91 feet distant; thence,

S. 09°22'26"W., 16.02 feet distant; thence,

S. 09°10'49"W., 141.88 feet distant to the southeast corner, a point of intersection of said westerly right-of-way line of Second Street S.W. with the northerly right-of-way line of Lead Avenue S.W.; thence leaving said westerly right-of-way line of Second Street S.W. and continuing along said northerly right-of-way line of Lead Avenue S.W.,

N. 80°48'36"W., 299.77 feet distant to the southwest corner, a point of intersection of said northerly right-of-way line of Lead Avenue S.W. with the easterly right-of-way line of Third Street S.W.; thence, leaving said northerly right-of-way line of Lead Avenue S.W. and continuing along said easterly right-of-way line of Third Street S.W.,

CONTINUED ON SHEET 7

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all public streets and rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The private pedestrian access, landscaping, drainage, and utility easements [Proposed Easements nos. 6,7,8,9,10,11, and 12] shall be maintained by the Owner. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to Lots 1-24 in Block 30, New Mexico Town Company's Original Townsite, and do hereby certify that this subdivision is their free act and deed.

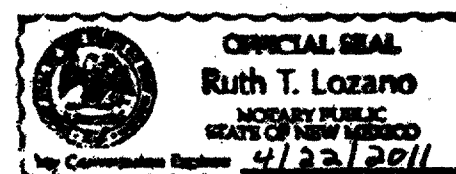
OWNER

ALVARADO-SG, LLC

Sean Gilligan
Sean Gilligan, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS



This instrument was acknowledged before me on September 21, 2009, by Sean Gilligan, Managing Member of ALVARADO-SG, LLC, a New Mexico limited liability company, on behalf of said company.

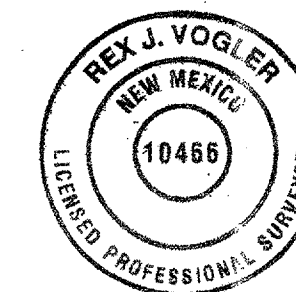
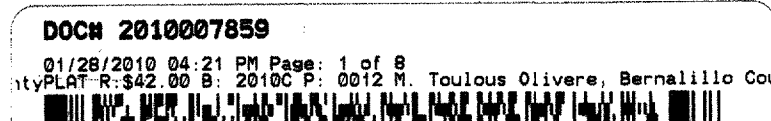
My Commission Expires: 04/22/2011

Ruth T. Lozano
Notary Public

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 84 parcels listed
PROPERTY OWNER OF RECORD
Alvarado-SG, LLC
BERNALILLO COUNTY TREASURER'S OFFICE
Angela Wright 1/28/10

SUBDIVISION DATA / NOTES (CONT'D.)

17. No Property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.
18. At the time of creation of the Homeowner's Association, responsibility for maintenance of all easements listed on this plat as being "maintained by the Owner" shall be transferred to the Homeowner's Association. This DOES NOT include drainage easements that are to be "jointly maintained by the benefitting property owners."



AMENDED PLAT FOR SILVER TOWNHOMES

BEING A REPLAT OF
LOTS 1 THRU 24, BLOCK 30
NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER 2009

APPROVALS

DRB PROJECT NO. 1003094
APPLICATION NO.

Utility Approvals

Emmanuel Vigil 1-12-10
RNM ELECTRIC DATE
Paula R. ... 10/29/2009
PNM GAS CO. DATE
Paula R. ... 10/26/09
QUEST DATE
Robert Montano 1-26-10
COMCAST DATE

City Approvals

Sean Gilligan 9-28-09
CITY SURVEYOR DATE
N/A
REAL PROPERTY DIVISION DATE
N/A
ENVIRONMENTAL HEALTH DEPARTMENT DATE
Christina Sandora 10-07-09
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
Bradley L. Bingham 10-7-09
ABCWUA DATE
Bradley L. Bingham 10/7/09
PARKS AND RECREATION DEPARTMENT DATE
AMAFCA DATE
Bradley L. Bingham 10/7/09
CITY ENGINEER DATE
Jack Cloud 01-28-10
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S CERTIFICATION

"I, Rex Vogler, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest, and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and May 2007), and is true and correct to the best of my knowledge and belief."

Rex Vogler
Rex Vogler, P.S. No. 10466

Sept. 28, 2009
Date

COVER SHEET

SHEET 1 OF 8
Sheet 2A of 21

RIO GRANDE SURVEYING CO., PC

P.O. BOX 7155 ABQ., NM 87194

PHONE & FAX (505) 764-8891

email - rgsc@flash.net

2 3 4 5 6 7 8 9 10 11 12 13 14 15
16-20554.182-2016

PUBLIC IMPROVEMENT PLANS

FOR

SILVER TOWNHOMES

ALBUQUERQUE, NEW MEXICO

MARCH 2008

PREPARED FOR:
ROMERO ROSE, LLC
601 TIJERAS AVE NW
ALBUQUERQUE, NM 87105

PREPARED BY:
ISAACSON & ARFMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NM 87108

INDEX TO DRAWINGS

SHEET NO.	TITLE
1	COVER SHEET
2-3	PLAT
4	GRADING AND DRAINAGE PLAN
5	NOT USED
6	<u>PAVING PLAN & PROFILE SHEETS</u>
7	MASTER PAVING PLAN
8	PAVING DETAILS
9	DEMOLITION PLAN
10	NICKEL AVE SW - STA 10+00.00 TO END
11	PLATINUM STREET SW - STA 10+00.00 TO END
12	TITANIUM STREET SW - STA 10+00.00 TO END
13	SILVER AVE SW - STA 10+00.00 TO END
14	LEAD AVE SW - STA 10+00.00 TO END
15	SECOND STREET SW - STA 10+00.00 TO END
16	THIRD STREET SW - STA 10+00.00 TO END
17	<u>UTILITY PLAN & PROFILE SHEETS</u>
18	MASTER UTILITY PLAN
19	NICKEL AVE SW - 10+00.00 TO END
20	PLATINUM STREET SW - 10+00.00 TO END
21	TITANIUM STREET SW - 10+00.00 TO END
22	SILVER AVE SW - STA 10+00.00 TO END
23	LEAD AVE SW - STA 10+00.00 TO END

CERTIFICATE OF SUBSTANTIAL COMPLIANCE OF PLANS

I, David S. Harrison, of the firm GND LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the asbuilt construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Stephen E. Walker NMPS number 6401.

David S. Harrison
DAVID S. HARRISON, NMPE 14704

DATE 12-02-09



ADDED IRRIGATION METERS SHOWN IN 16 AND 18
2-24-10 DSH

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7, INCLUDING AMENDMENT 1.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, NM ONE CALL SYSTEMS, INC. @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- TRAFFIC CONTROL: FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWINGS NUMBERS 2315 & 2465.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATERLINE MATERIALS SHALL BE EITHER PVC PIPE MEETING AWWA C900 DR18 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS UPDATE #7.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR. THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- ANY WORK OCCURRING WITHIN A FULLY DEVELOPED ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE ENGINEER.
- PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF PERFORMED THERMOPLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ELECTRONIC MARKER DISKS (EMD) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
- ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE EXECUTION OF THE WATER VALVE SHUT-OFF PLAN WITH ABCWUA. ALL WATER VALVES TO BE SHUT-OFF WILL BE OPERATED BY ABCWUA. CONTRACTOR SHALL NOTIFY ABCWUA AT 857-8200 TWENTY FOUR (24) HOURS PRIOR TO WATERLINE CONSTRUCTION AND SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT EXISTING PUBLIC WATER FACILITIES IN COMPLIANCE WITH SECTION 18 OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY.
- THE CONTRACTOR SHALL NOTIFY THE ALBUQUERQUE TRAFFIC CONTROL ENGINEERING DIVISION THREE (3) WORKING DAYS IN ADVANCE OF ANY WORK THAT REMOVES, RELOCATES, OR REINSTALLS ANY EXISTING REGULATORY SIGNS.
- RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION WILL BE IDENTIFIED AS PART OF THE FINAL INSPECTION.



APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Anthony Rose
DATE: 04/12/10

DRB NO. 1003094
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax: 505-268-2632
1582CVR.dwg Mar 12, 2008

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE		*****	
<i>David S. Harrison</i> 15088		DRC Chairman		<i>Supadach</i>		4/15/08		APPROVED FOR CONSTRUCTION <i>Anthony Rose</i> 12-08-09 City Engineer Date	
		Transportation		<i>Supadach</i>		3/25/08			
		Water/Wastewater		<i>Supadach</i>		3/25/08			
		Hydrology		<i>Supadach</i>		3/25/08			
		Constr. Mngmt.		<i>Supadach</i>		3/25/08			
Constr. Coord.									
City Project No.				555482				Sheet 1 of 21	