

VICINITY MAP

ZONE ATLAS J-12-Z

SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED AND UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO OR CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. IF A CONFLICT EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2251) PRIOR TO OCCUPYING AN INTERSECTION.
SEE SECTION 19 OF THE SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR IN EXISTING OR NEW LOCATION AS INDICATED BY THIS SET.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISRUPT PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
8. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOURS CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DERESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

INDEX TO DRAWINGS

SHEET NO.	SHEET
1	TITLE SHEET
2-6	PLAT
7-8	GRADING AND DRAINAGE PLAN
9-10	MASTER PAVING PLAN
11-14	PAVING IMPROVEMENTS
15-18	MASTER UTILITY PLAN
17-20	UTILITY IMPROVEMENTS
21-22	TRAFFIC CONTROL PLANS

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with the information furnished by the contractor, Condore Construction Co. and Universal Constructors Inc., and by the surveyor, Walker Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the approved Plan.

Diane Hoelzer 3-29-90
Diane Hoelzer NMPE 1967

CAUTION

NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITY AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.
CONSULTING ENGINEERS
P. O. BOX 90608
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE			APPROVALS	ENGINEER	DATE	*****	
			DRC CHAIRMAN	<i>Billing Hoelzer</i>	6-2-98	APPROVED FOR CONSTRUCTION	
			TRANSPORTATION	<i>W. B. Jones</i>	6-9-98		
			WATER/WASTEWATER	<i>R. W. Jones</i>	6-9-98		
			HYDROLOGY	<i>B. M. Jones</i>	6-9-98		
			CIP				
			CONSTR. MNGT.			CITY ENGINEER	DATE
CONSTR. COORD.	<i>J. B. Jones</i>	6-10-98					
CITY PROJECT NO.				572581		SHEET OF	
						1 22	

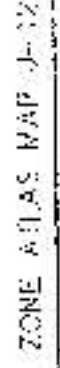
PLAT OF
THE GARDENS
ON THE RIO GRANDE
SUBDIVISION
UNIT III
within the
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 13
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMP
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
MARCH 1997

PURPOSE OF PLAN

1. SUBDIVIDE FIVE (5) EXISTING TRACTS INTO 26 RESIDENTIAL LOTS AND 1 TRACT.

2. TO GRANT NEW EASEMENTS AND VACATE UNNECESSARY EXISTING EASEMENTS AS SHOWN.

1. SUBDIVIDE FIVE (5) EXISTING TRACTS INTO 26 RESIDENTIAL LOTS AND 1 TRAP.



SUBDIVISION DATA		DRR. 90-480 S	V. 77-75
FLAT C-SE NOS.	4.6527		
ZONE	ADAGE		
ZONE ATLAS NO.	J-12		
NO. OF EXISTING TRACTS/LOTS	5 TRACTS		
NO. OF TRACTS/LOTS CREATED	23 LOTS, 1 TRACT		
NO. OF TRACTS/LOTS ELIMINATED	5 TRACTS		
MILES OF PRIVATE STREETS CREATED	0.1546		
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0		
DATE OF SURVEY	NOV. 1998		
DRAWN BY: JEFFREY L. MCNINCH		9702071330303	

[illegible]

Heddes Children's Trust Under Trust Agreement dated June 24, 1957
 By Trustee

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on March 14 1931
John W. Bland Notary Public
MY COMMISSION EXPIRES March 16 1931

STATE OF NEW MEXICO }
COUNTY OF DORNALILLO } ss
I, the undersigned, Notary Public and Secretary of said
County, do hereby certify that the within and foregoing is a true and correct copy of the original as the same appears from the records of said County.

Notary Public and Secretary of said County

My Commission Expires: _____

Notary Public

NOTARY PUBLIC
My Comm. Expires 8/30/2022
Barbara Goodwin
MY COMMISSION EXPIRES

TO GRANDE SUBDIVISION
UNIT 3
M.R.G.C.D. MAP NO. 33
WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 13
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 1998

W33B43TY REF: 06-25-45. 116. 225. PG. 571)

166-63 47-90-80, 350171 47-90-80 349-1

(95, -0.47-81-21), MOSAICO'S ADV. D. 10/11/11

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

[illegible][illegible]

RECORDING at the south-east corner of the barren described tract said plot being on the west foot of LOT 6, MAP 100-240620, at the same is shown and designated in said plan and map of the County of Beveridge County, New Nelson on July 8, 1935 in Volume C27, Table 331 and further being on the north right-of-way line of Granite Avenue N.W. from their intersection with the Alouette Creek Survey Marquette, B.C. 36°28'41" N. 802.15 feet.

THESE, along with north right-of-way line S 35°37'25" W, 164.00' feet to a point, said point being common with the southeast corner of TRACT F, HANSEN, said PLACE, said line, said point is shown and designated by a small black flag for record in the office of the County Clerk of Butte County, San Francisco, California, on January 25, 1943 in Volume B, Page 7335.

THENCE leaving said north right-of-way line S 35°37'25" W, 164.00' feet along a line common with the east line of said TRACT F to a point, said point being common with the northeast corner of said TRACT F.

THE PLACE S 88°22'50" W, 272.31 feet along a line commencing with the north line of said TRACT F and TRACT E, NANTANIAN PLATE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernillo County, New Mexico, bearing reference to Volume B, Folio 133 of said county clerk's office.

[illegible]

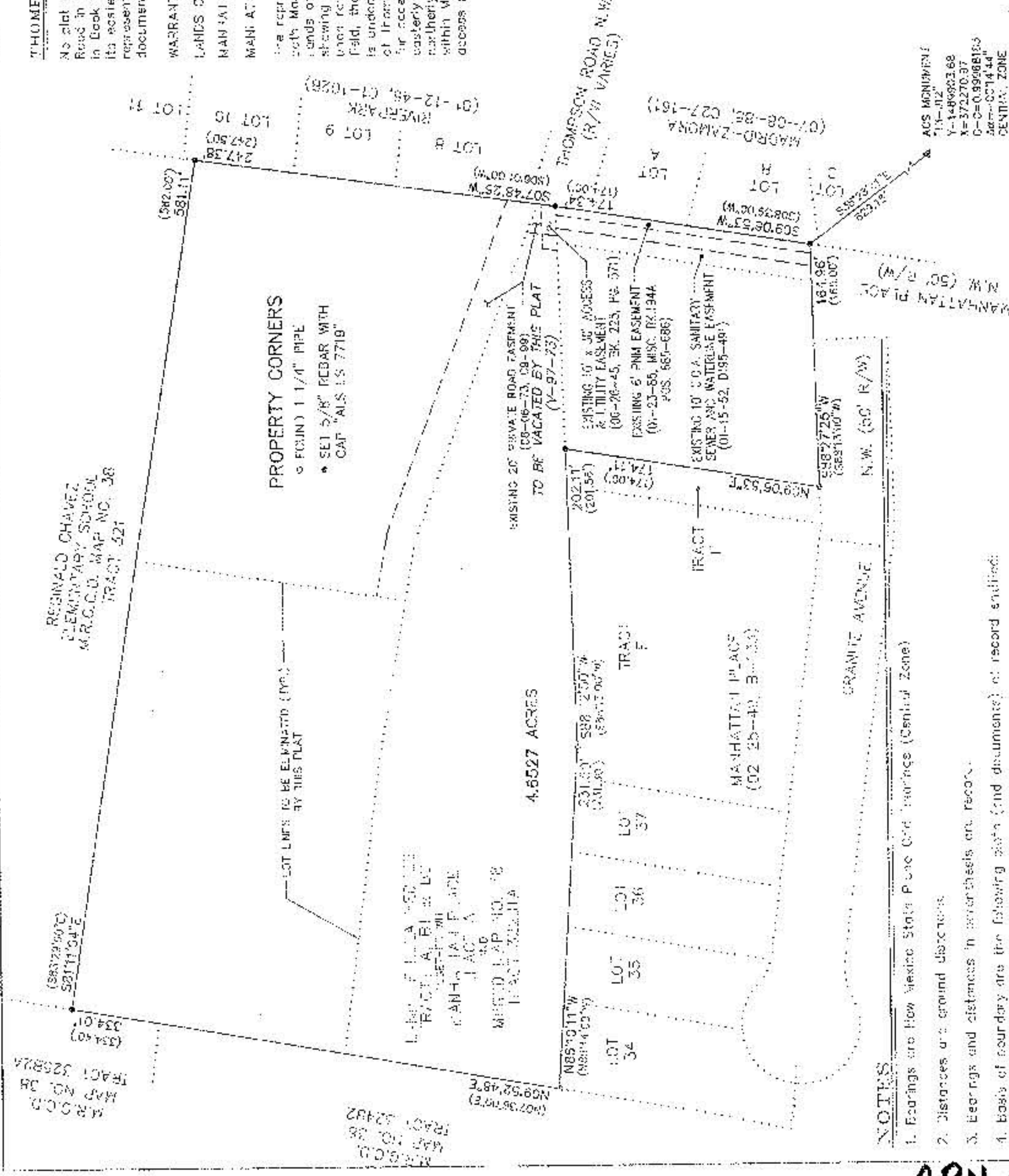
WISCONSIN 0895248" E, 334.31 feet along a line corner with the east line of said TRACT 324B2 and TRACT 425B2A, MAP 338, in the northwest corner, sec. 31; hence common with the southwest corner of TRACT 321, U.S.G.C.D. MAP NO. 38.

TRACT, S. 811104, E. 2011, 1st, about a line corner, with the south line of said TRACT 120 to the northern corner, said point being corner with the southeast corner of said TRACT 120, and further being on the west line of LOT 16, BEHAWANG, as the same is shown and designated on said plat filed for record in the office of the Clerk of Deuel County, Nebraska, on January 19, 1916 (in Volume 21, page 109).

THE 402 S. 074825" W. 247.35' feet along a line corner with the west line of LOTS 10 and 11 in T. 12N. R. 12E. S. 12E. NW 1/4 Sec. 36, as shown and described on said plat here for record in the office of the County Clerk of Garfield County, New Mexico on January 12, 1948 in Volume C, Folio 132B in a plat.

IN CASE 92-090653, in 17434 (see also in this connection with the next line of LOIS A. and E. TARDIEA-MAESTRO as the same is shown are mentioned an article filed for record in the office of the County Clerk of Boreville County, New York, on July 8, 1995, in Volume 227, Folio 161 to the point of beginning and containing 0.0557 acres more or less.

and to be maintained by the Homeowner's Association. A \$500 refund to the City of Albuquerque as public utility easement granted to the City of Albuquerque.



1. **Engineers are Now Mexican** **State Police Officers (Central Zone)**

2. Distances and ground directions.
3. Bearings and distances in order sheets on record.
4. Basis of boundary are the following data (and documents) of record entries:

W. G. D. K. P. 10. 38

(b) (5) DPP, (c)

[illegible][illegible]

1. *Phylogenetic relationships*—The phylogenetic relationships among the 10 species of *Phrynosoma* were determined using the parsimony method of analysis. The parsimony method was chosen because it is the most commonly used method of analysis in systematics (Nelson & Platnick 1981). The parsimony method was used to determine the most parsimonious tree (MPT) for the 10 species of *Phrynosoma*. The MPT was determined using the parsimony method of analysis. The MPT was determined using the parsimony method of analysis. The MPT was determined using the parsimony method of analysis.

LAURENCE M. LUTCH, PH.D., is an associate professor of psychology at the University of North Carolina at Charlotte.

ANS C: COX HEPATITIS F-8

an being records of Barretto County, New

5. Field Survey performed November, 1998.

C. Title Report: None provided.

7. Letters otherwise noted at points are so

8. City of Albuquerque water and sewer

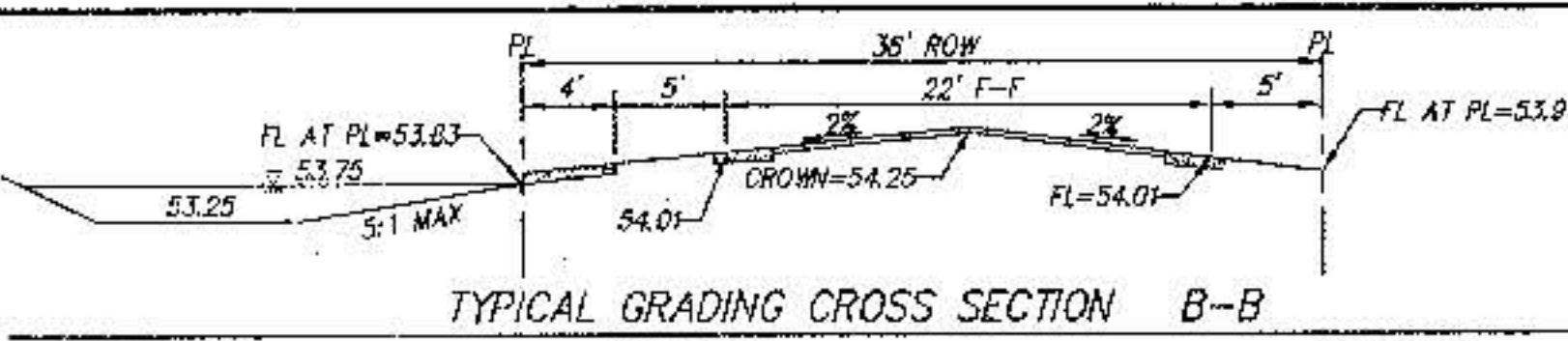
and the percentage of positive results must be verified and corrected when the

g. Trans. A is to function as a pre-tax asset

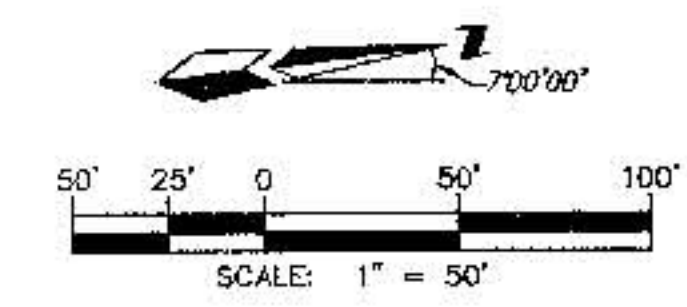
as people's utility assessment centered on the

10. 99 EUR also and adding 1 cc. A is

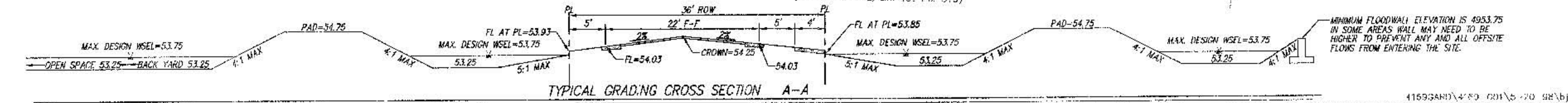
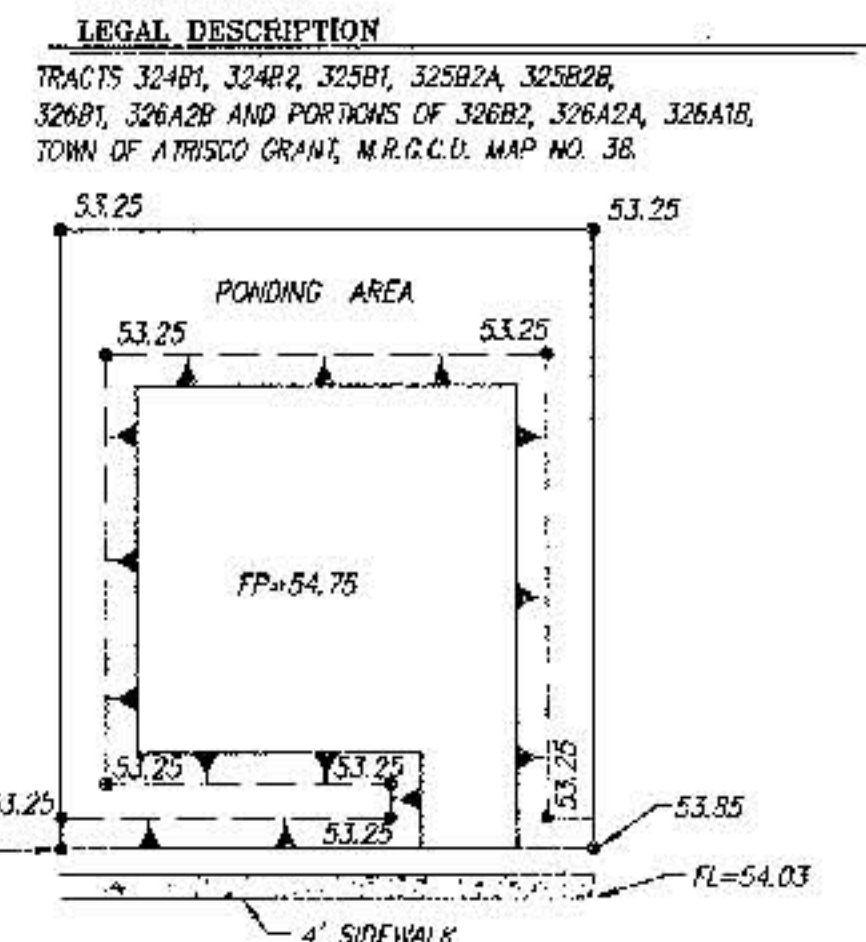
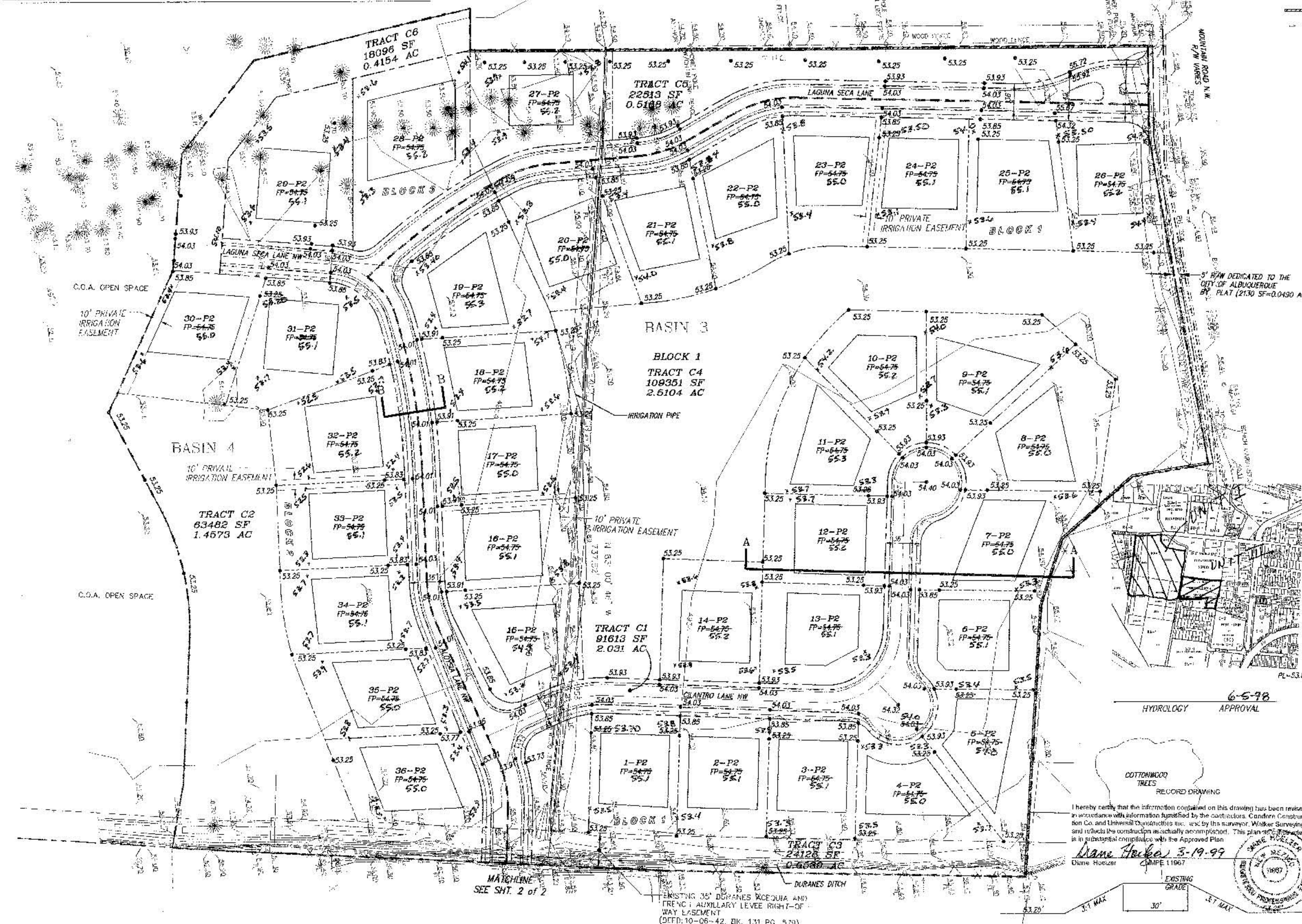
Country	Year	Population (millions)	Urban population (millions)	Urban population (%)
Algeria	2000	24.0	10.0	41.7
Algeria	2001	24.2	10.2	42.2
Algeria	2002	24.4	10.4	42.6
Algeria	2003	24.6	10.6	43.1
Algeria	2004	24.8	10.8	43.6
Algeria	2005	25.0	11.0	44.0
Algeria	2006	25.2	11.2	44.5
Algeria	2007	25.4	11.4	44.9
Algeria	2008	25.6	11.6	45.3
Algeria	2009	25.8	11.8	45.7
Algeria	2010	26.0	12.0	46.2
Algeria	2011	26.2	12.2	46.6
Algeria	2012	26.4	12.4	47.0
Algeria	2013	26.6	12.6	47.4
Algeria	2014	26.8	12.8	47.8
Algeria	2015	27.0	13.0	48.1
Algeria	2016	27.2	13.2	48.5
Algeria	2017	27.4	13.4	48.9
Algeria	2018	27.6	13.6	49.3
Algeria	2019	27.8	13.8	49.7
Algeria	2020	28.0	14.0	50.0



M.H.G.C.D. MAP NO. 38
TRACT 31583A1C2



- LEGEND**
- EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING TREE
 - NEW SPOT ELEVATION
 - NEW ESTATE CURB
 - FLOODWALL
 - DRAINAGE BASIN BOUNDARY
- NOTES**
- 1) ALL SIDEWALKS TO BE DEFERRED, THIS PROJECT.
 - 2) CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - 3) CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 - 4) THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - 5) THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DTL, THIS SHT, AND SETTING THE SOIL TO KEEP IT FROM BLOWING.
 - 6) THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 - 7) THE COMPUTED 100% - 10 DAY WATER SURFACE ELEV. (WSEL) IS LESS THAN 6 INCHES FOR BASINS 3 AND 4. THE MAXIMUM DESIGN WSEL IS 4953.75 WHICH PROVIDES 6 INCHES OF RUNOFF RETENTION VOLUME. THE DESIGN CRITERIA FOR FLAT GRADING SCHEME REQUIRES ALL PADS MUST BE 1.0' ABOVE MAXIMUM WSEL OR IN THIS CASE 4954.75. THE CROWN OF THE STREET MUST BE 4-6 INCHES ABOVE THE MAXIMUM WSEL.
 - 8) ADD 4900.00 TO ALL SPOT ELEV. TO DETERMINE ACTUAL ELEV.
 - 9) FLOW ACROSS SIDE YARD PROPERTY LINES MUST NOT BE RESTRICTED. ANY BLOCK WALLS CONSTRUCTED ALONG THE SIDE YARD PROPERTY LINES MUST HAVE OPENINGS AT GRADE TO ALLOW RUNOFF TO FLOW FREELY BETWEEN LOTS TO ALLOW A SHARED AND EQUALIZED PEAK WATER SURFACE ELEVATION AMONG THE LOTS.
- LEGAL DESCRIPTION**
- TRACTS 32481, 32482, 32581, 32582A, 32582B, 32681, 32682B AND PORTIONS OF 32682, 32682A, 32681B, TOWN OF ATRISCO GRANT, M.H.G.C.D. MAP NO. 38.



TYPICAL LOT GRADING DETAIL

POUNDING AREA TO

- * PAD 4:1 MAX SLOPE
- * DRIVEWAY 4:1 MAX SLOPE
- * SIDEWALK 3:1 MAX SLOPE
- * FRONT P.L. 5:1 MAX SLOPE
- * FLOOD WALL 4:1 MAX SLOPE
- * DURANES DITCH 3:1 MAX SLOPE

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87196
(505) 522-2200, FAX (505) 797-9524

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
THE GARDENS ON THE RIO GRANDE - UNIT 1
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
Approved
CDRB
CITY PROJECT NO. 572581 ZONE MAP NO. J-12 SHEET 7 OF 22

PS DULY INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	WALKER SURVEYING	DATE	12-11-97	NO.	1	BY	DATE
DESIGNED BY	MARK GOODWIN	DATE	12-11-97	BY	DATE	DATE	DATE
CHECKED BY	MARK GOODWIN	DATE	12-11-97	DATE	DATE	DATE	DATE
APPROVED BY	MARK GOODWIN	DATE	12-11-97	DATE	DATE	DATE	DATE
RECORDED BY	MARK GOODWIN	DATE	12-11-97	DATE	DATE	DATE	DATE
FILED BY	MARK GOODWIN	DATE	12-11-97	DATE	DATE	DATE	DATE

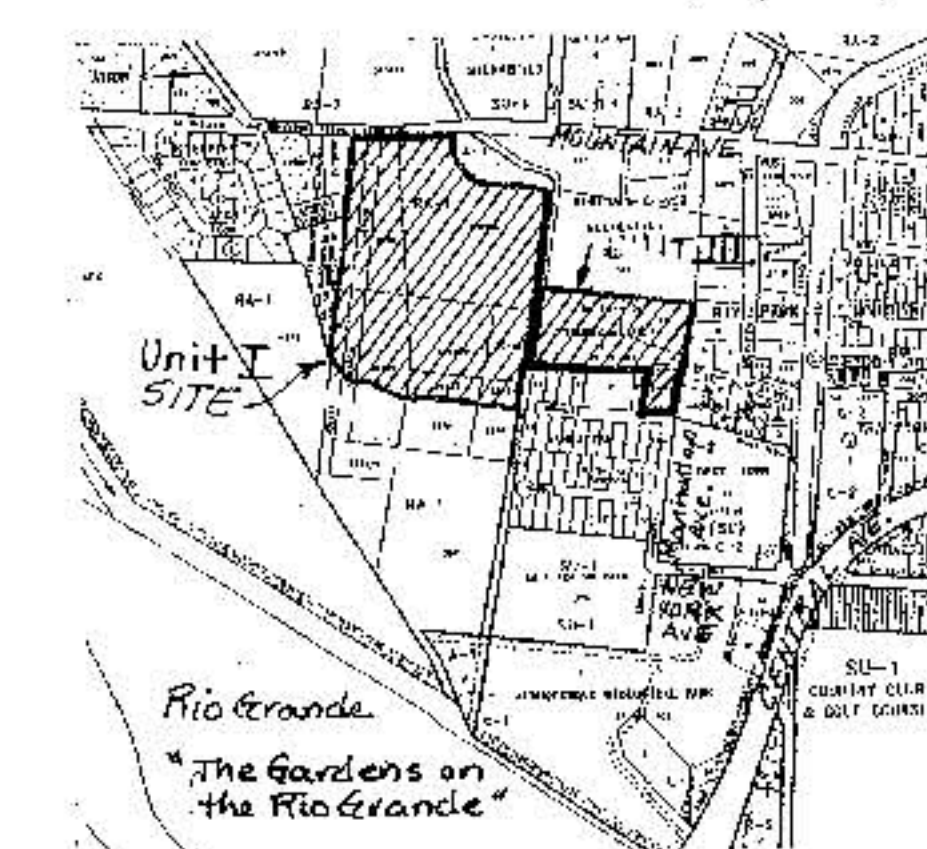
- LEGEND**
- EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING TREE
 - NEW SPOT ELEVATION
 - NEW ESTATE CURB
 - FLOODWALL
 - UNIT BOUNDARY
 - DRAINAGE BASIN BOUNDARY

NOTES

- 1) ALL SIDEWALK TO BE DEFERRED
- 2) CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- 3) CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- 4) THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- 5) THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DTL. THIS SHT. AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
- 6) THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- 7) THE COMPUTED 100Y - 10 DAY WATER SURFACE ELEV. (WSEL) IS LESS THAN 8 INCHES FOR BASINS 1 AND 2. THE MAXIMUM DESIGN WSEL IS 4953.30 WHICH PROVIDES 6 INCHES OF RUNOFF RETENTION VOLUME. THE DESIGN CRITERIA FOR FLAT GRADING SCHEME REQUIRES ALL PADS MUST BE 1.0' ABOVE MAXIMUM WSEL OR IN THIS CASE 4954.30. THE CROWN OF THE STREET MUST BE 4-6 INCHES ABOVE THE MAXIMUM WSEL.
- 8) ADD 4900.00 TO ALL SPOT ELEV. TO DETERMINE ACTUAL ELEV.
- 9) FLOW ACROSS SIDE YARD PROPERTY LINES MUST NOT BE RESTRICTED. ANY BLOCK WALLS CONSTRUCTED ALONG THE SIDE YARD PROPERTY LINES MUST HAVE OPENINGS AT GRADE TO ALLOW RUNOFF TO FLOW FREELY BETWEEN LOTS TO ALLOW A SHARED AND EQUALIZED PEAK WATER SURFACE ELEVATION AMONG THE LOTS.

LEGAL DESCRIPTION

LAND OF LOLA HEDGES, TRACTS A, B1 AND B2; MANHATTAN PLACE, TRACT A; M.R.G.C.D. MAP NO. 38, TRACT 322B1A; WITHIN TOWN OF ALBUQUERQUE GRANT

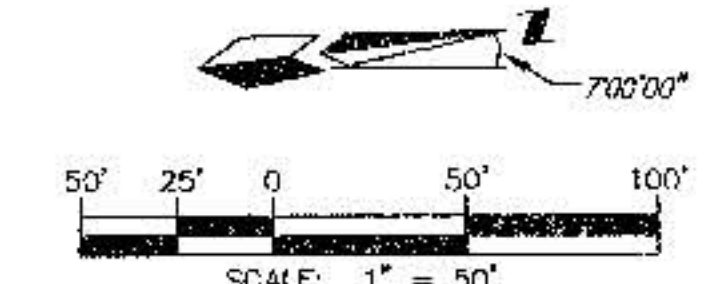


HYDROLOGY 6-5-98 APPROVAL

RECORD DRAWING

I hereby certify that the information contained on this drawing has been reviewed in accordance with information furnished by the contractors, Condore Construction Co. and Universal Constructors Inc., and by the surveyor Walker Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Donna Hoelzer 3-19-99
Donna Hoelzer (NAPE 11967)

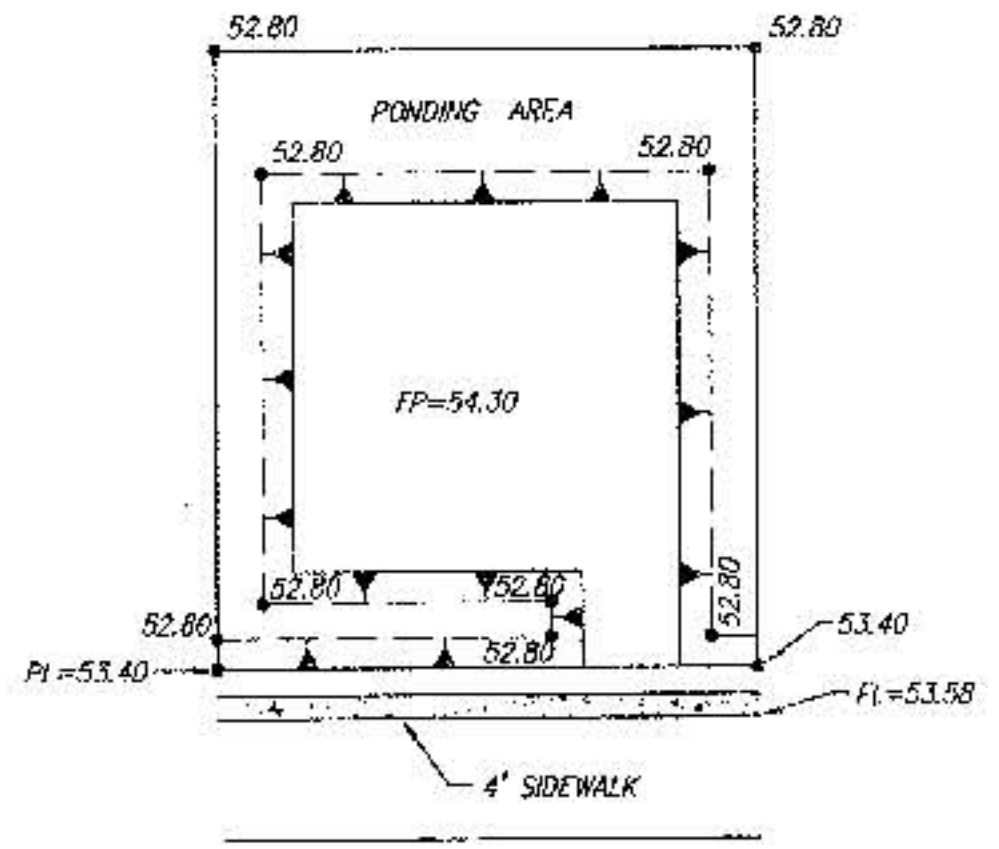
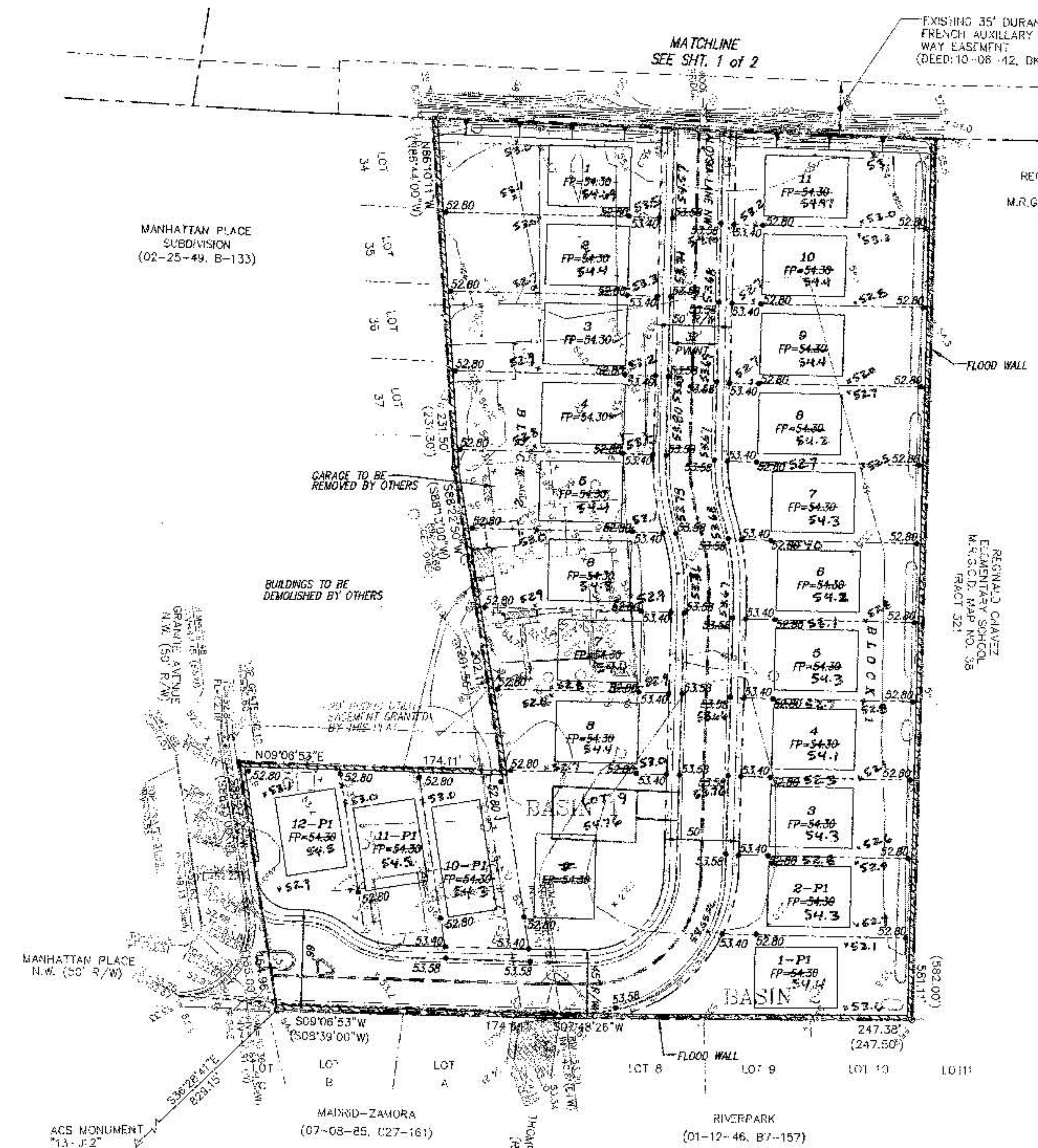


dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 791-9530

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

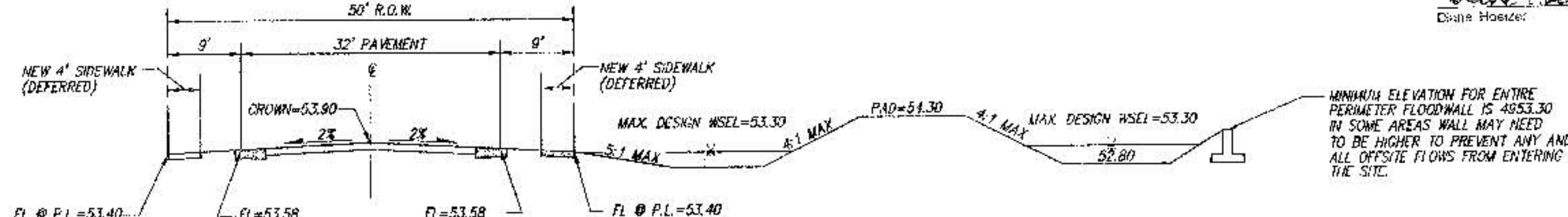
**THE GARDENS ON THE RIO GRANDE - UNIT III
GRADING AND DRAINAGE PLAN**

DESIGN REVIEW (X) INITIALS	CITY ENGINEER APPROVAL	DATE	BY
Approved @ DRB		DATE	BY
		DATE	BY
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
572581	J-12	8	22

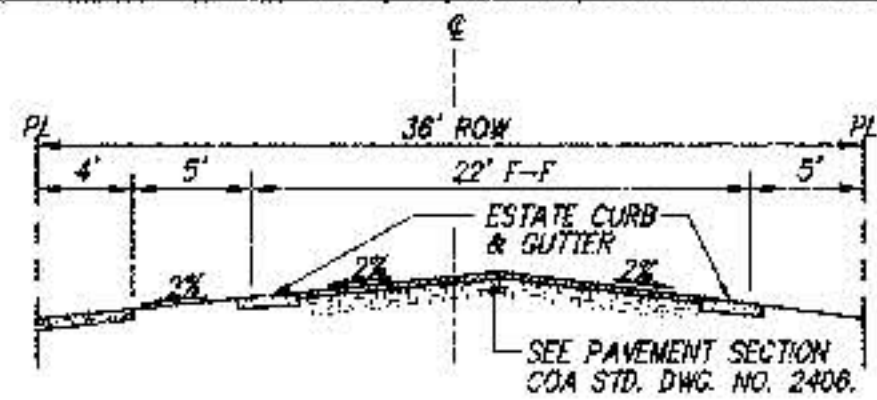


TYPICAL LOT GRADING DETAIL

- PONDING AREA TO
- PAD 4:1 MAX SLOPE
- DRIVEWAY 4:1 MAX SLOPE
- SIDEWALK 5:1 MAX SLOPE
- FRONT P.L. 5:1 MAX SLOPE
- FLOOD WALL 4:1 MAX SLOPE
- DURANES DITCH 3:1 MAX SLOPE

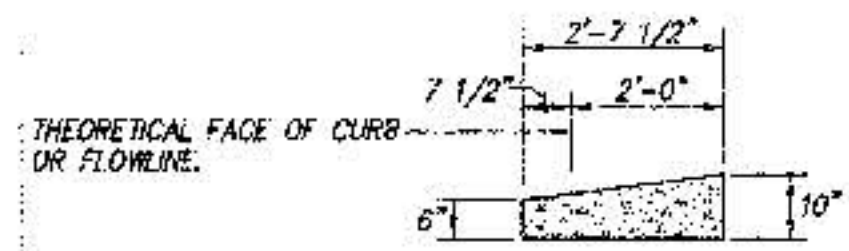


MINIMUM ELEVATION FOR ENTIRE PERIMETER FLOODWALL IS 4953.30 IN SOME AREAS WALL MAY NEED TO BE HIGHER TO PREVENT ANY AND ALL OFFSITE FLOWS FROM ENTERING THE SITE.



TYPICAL 36' RESIDENTIAL STREET SECTION

NOT TO SCALE



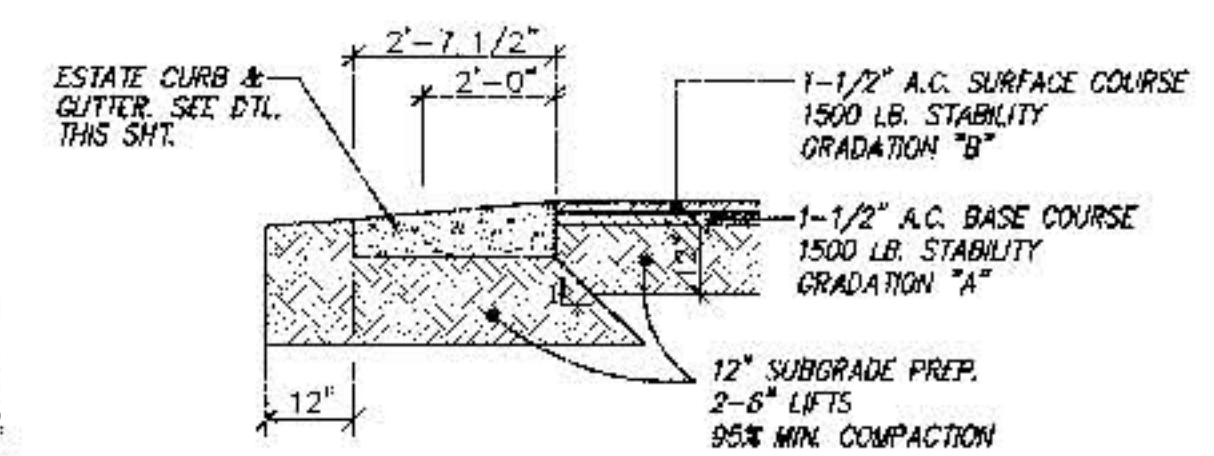
ESTATE TYPE CURB

STD. DWG. NO. 2415
NOT TO SCALE

LEGEND

- PROPERTY LINE
- NEW ESTATE CURB
- EXISTING CURB AND GUTTER
- 26-P2 LOT NUMBER

SEE INTERSECTION DETAIL
SHEET 11 OF 22



RESIDENTIAL PAVEMENT SECTION

NOT TO SCALE
PAVEMENT SECTION PER COA STD. DWG. 2406
R VALUE = 50

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with the information furnished by the contractor, Condore Construction Co. and Universal Constructors Inc., and by the surveyor, Walker Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the approved Plan.

Diane Hoezler 3-29-99
Diane Hoezler NMPE #1967



NOTE:
1) PAE = PRIVATE ACCESS EASEMENT

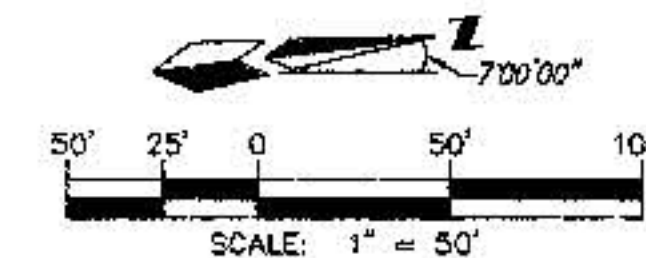
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 328-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

THE GARDENS ON THE RIO GRANDE - UNIT I
MASTER PAVING PLAN

DESIGN BY	CITY ENGINEER APPROVAL	NO. DAY/98	NO. DAY/98
DRAWN BY	LAST DESIGN UPDATE		
CHECKED BY			

CITY PROJECT NO. 572581 ZONE MAP NO. J-12 SHEET 9 OF 22



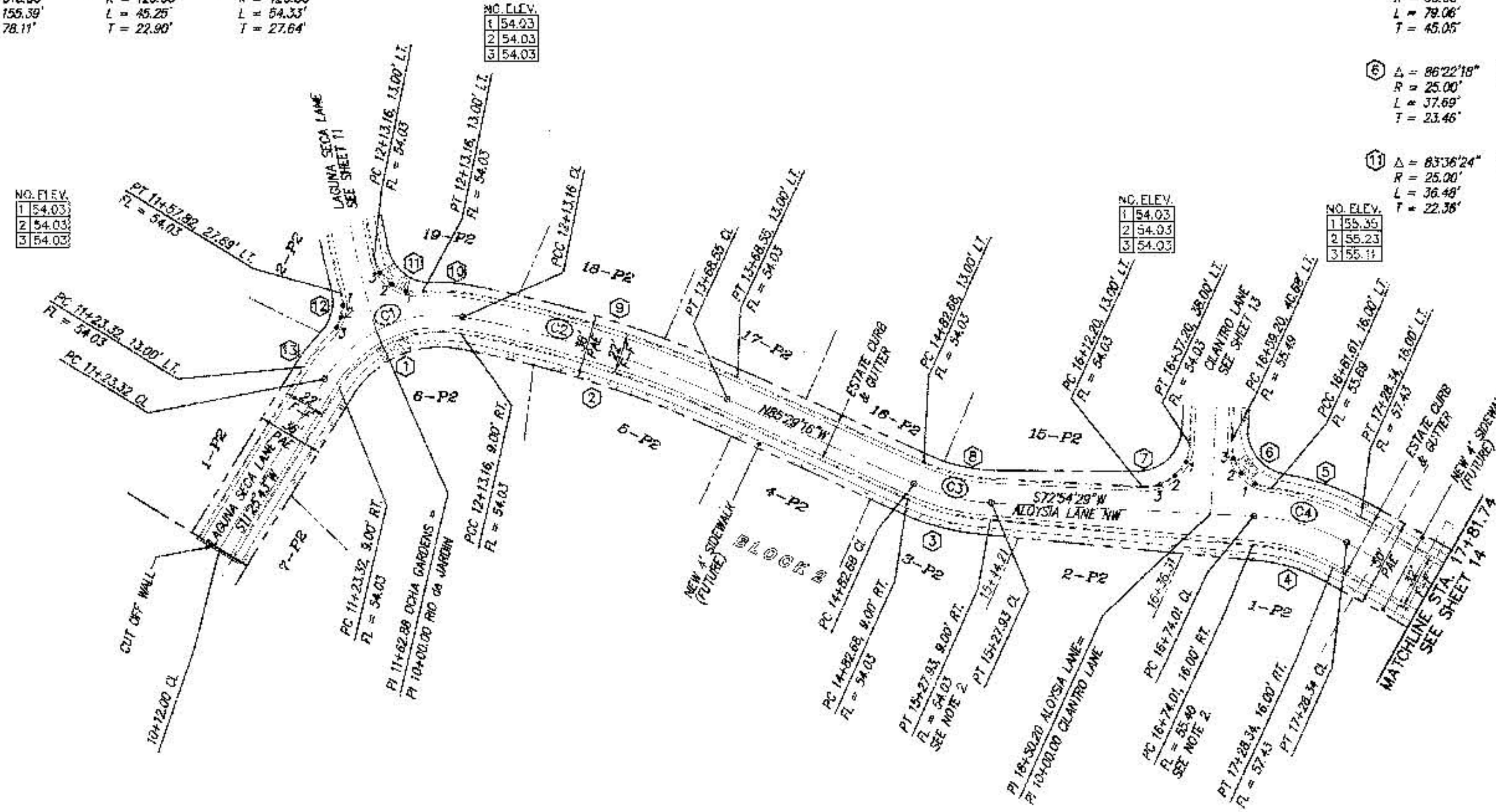
41896ARD\MAPE-1\5-26-98\3LN

CURVE DATA - DESCRIBES CENTERLINE

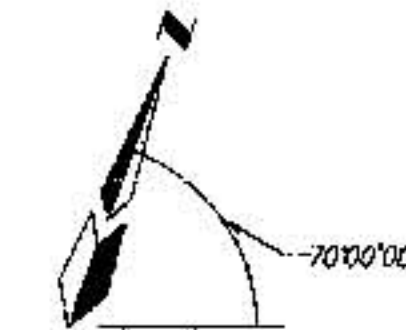
① $\Delta = 68^{\circ}37'50''$ $R = 75.00'$ $L = 88.84'$ $T = 51.19'$	② $\Delta = 142^{\circ}7'11''$ $R = 616.00'$ $L = 155.39'$ $T = 78.11'$	③ $\Delta = 21^{\circ}36'15''$ $R = 120.00'$ $L = 45.25'$ $T = 22.90'$	④ $\Delta = 25^{\circ}56'29''$ $R = 120.00'$ $L = 54.33'$ $T = 27.64'$
--	--	---	---

CURVE DATA - DESCRIBES FACE OF NEW CURB

① $\Delta = 68^{\circ}37'50''$ $R = 75.00'$ $L = 88.84'$ $T = 51.19'$	② $\Delta = 142^{\circ}7'11''$ $R = 607.00'$ $L = 153.12'$ $T = 76.97'$	③ $\Delta = 18^{\circ}51'38''$ $R = 128.00'$ $L = 42.46'$ $T = 21.43'$	④ $\Delta = 20^{\circ}25'12''$ $R = 104.00'$ $L = 37.07'$ $T = 18.73'$	⑤ $\Delta = 22^{\circ}18'47''$ $R = 136.00'$ $L = 52.96'$ $T = 26.82'$
⑥ $\Delta = 86^{\circ}22'19''$ $R = 25.00'$ $L = 37.69'$ $T = 23.46'$	⑦ $\Delta = 90^{\circ}03'00''$ $R = 25.00'$ $L = 39.27'$ $T = 25.00'$	⑧ $\Delta = 21^{\circ}36'15''$ $R = 107.00'$ $L = 40.35'$ $T = 20.42'$	⑨ $\Delta = 142^{\circ}7'11''$ $R = 629.00'$ $L = 158.87'$ $T = 79.76'$	⑩ $\Delta = 16^{\circ}24'06''$ $R = 88.00'$ $L = 25.19'$ $T = 12.68'$
⑪ $\Delta = 83^{\circ}36'24''$ $R = 25.00'$ $L = 36.48'$ $T = 22.36'$	⑫ $\Delta = 59^{\circ}43'06''$ $R = 25.00'$ $L = 20.96'$ $T = 14.35'$	⑬ $\Delta = 14^{\circ}13'25''$ $R = 88.00'$ $L = 21.85'$ $T = 10.98'$		



ALOYIA LANE NW
STA. 10+12.00 TO STA. 17+81.74
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'



NOTES

- 1.) ALL STATIONING IS CENTERLINE STATIONING.
- 2.) STA. 15+27.83 TO STA. 16+74.01 TRANSITION FROM 22" F-T TYPICAL SECTION TO 32" F-T TYPICAL SECTION. SEE MASTER PAVING SHEETS 9 & 10 FOR TYPICAL SECTIONS.

CONTRACT NO.	DATE
STANDARD BY	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
REVISIONS	

NO.	DATE	REVISIONS
1	05/08	BY
2	05/08	BY
3	05/08	BY
4	05/08	BY
5	05/08	BY
6	05/08	BY
7	05/08	BY
8	05/08	BY
9	05/08	BY
10	05/08	BY

I hereby certify that the information contained on this drawing has been revised in accordance with the information furnished by the contractor, Condore Construction Co. and Universal Construction Inc., and by the surveyor, Walker Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the approved Plan.



Mark Goodwin
3-29-99
Diane Hootner 11967

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 30606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

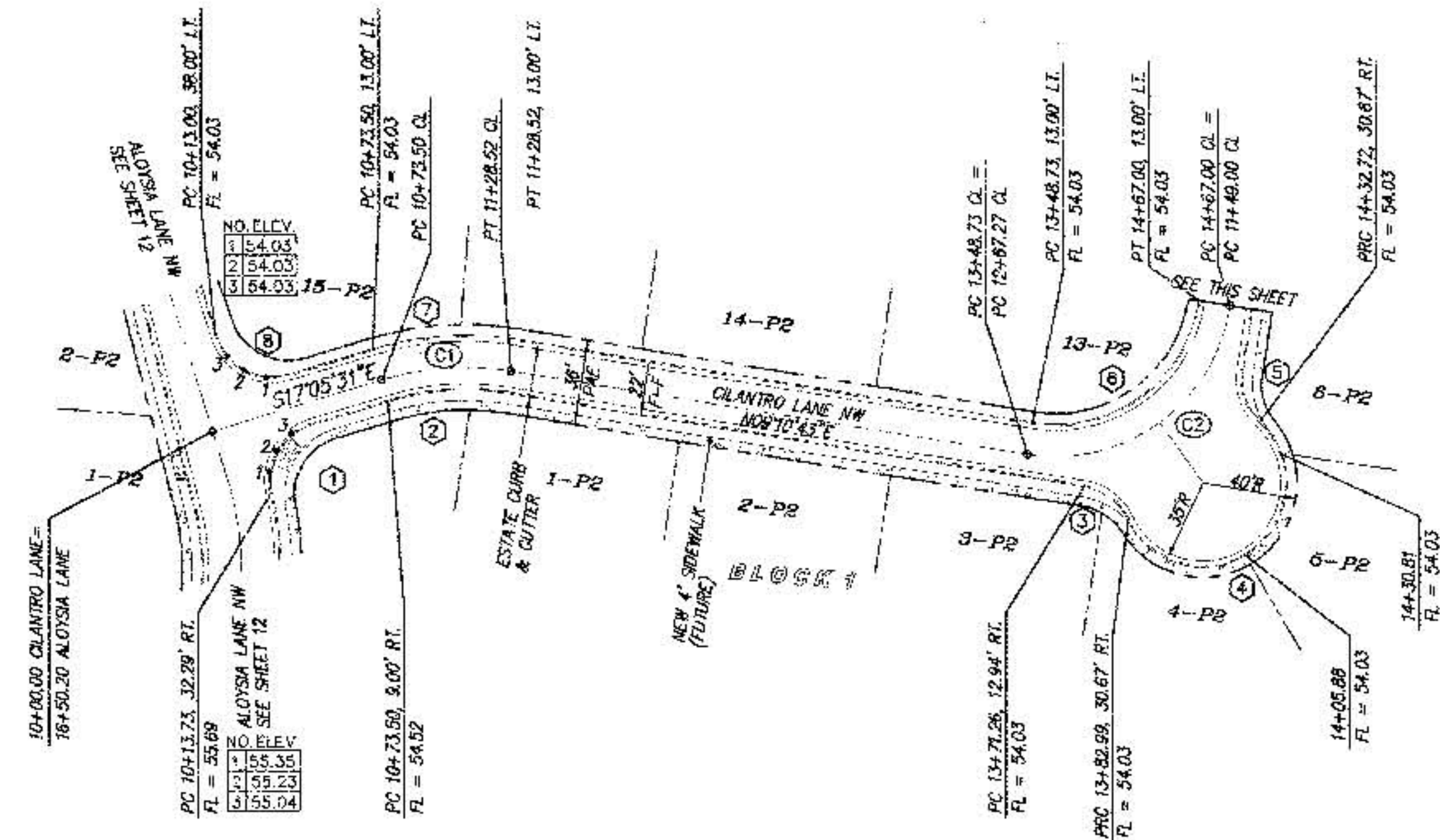
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
THE GARDENS ON THE RIO GRANDE - UNIT 1
PAVING IMPROVEMENTS

DESIGNED BY	CITY ENGINEER APPROVAL	NO.	DATE
INCH BY			
CHECKED BY			

CITY PROJECT NO. 572581 ZONE MAP NO. J-12 SHEET 12 OF 22

CURVE DATA - DESCRIBES CENTERLINE

- ① $\Delta = 26^\circ 16' 14''$
 $R = 120.00'$
 $L = 58.02'$
 $T = 28.00'$
- ② $\Delta = 90^\circ 20' 53''$
 $R = 75.00'$
 $L = 118.27'$
 $T = 75.46'$



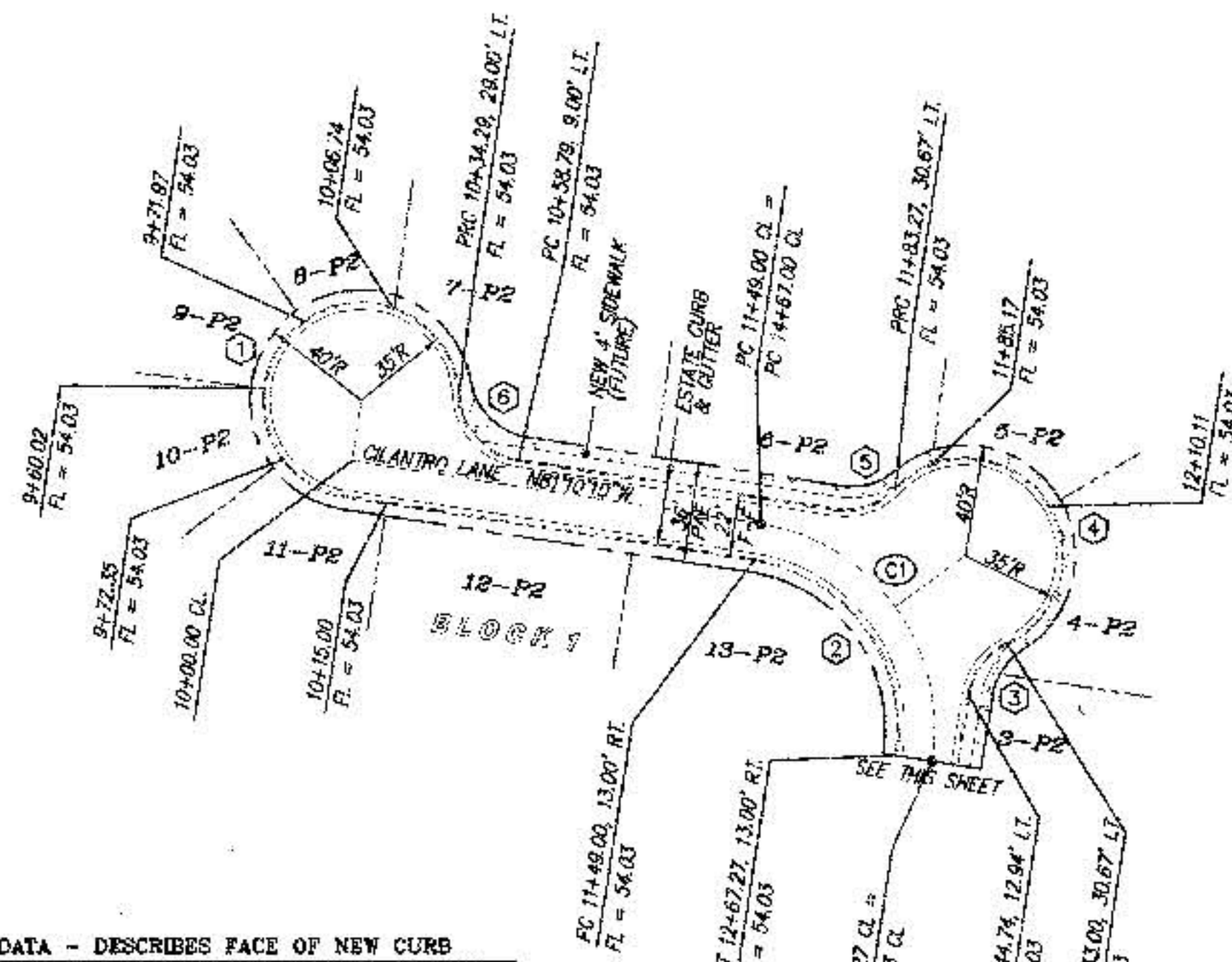
CURVE DATA - DESCRIBES FACE OF NEW CURB

- ① $\Delta = 86^\circ 22' 16''$
 $R = 25.00'$
 $L = 37.69'$
 $T = 21.46'$
- ② $\Delta = 26^\circ 16' 14''$
 $R = 111.00'$
 $L = 60.89'$
 $T = 25.90'$
- ③ $\Delta = 55^\circ 28' 55''$
 $R = 25.00'$
 $L = 24.21'$
 $T = 13.15'$
- ④ $\Delta = 158^\circ 41' 17''$
 $R = 35.00'$
 $L = 122.97'$
 $T = 186.02'$
- ⑤ $\Delta = 55^\circ 28' 55''$
 $R = 25.00'$
 $L = 24.21'$
 $T = 13.15'$
- ⑥ $\Delta = 90^\circ 20' 53''$
 $R = 62.00'$
 $L = 97.77'$
 $T = 62.38'$
- ⑦ $\Delta = 26^\circ 16' 14''$
 $R = 133.00'$
 $L = 60.98'$
 $T = 31.04'$
- ⑧ $\Delta = 90^\circ 20' 53''$
 $R = 25.00'$
 $L = 39.27'$
 $T = 25.00'$

CILANTRO LANE
 STA. 10+00.00 TO STA. 14+67.00
 SCALE: HORIZ. 1" = 50'
 VERT. 1" = 10'

CURVE DATA - DESCRIBES CENTERLINE

- ① $\Delta = 90^\circ 20' 53''$
 $R = 75.00'$
 $L = 118.27'$
 $T = 75.46'$



CURVE DATA - DESCRIBES FACE OF NEW CURB

- ① $\Delta = 101^\circ 32' 13''$
 $R = 35.00'$
 $L = 157.89'$
 $T = 42.87'$
- ② $\Delta = 90^\circ 20' 53''$
 $R = 62.00'$
 $L = 97.77'$
 $T = 62.38'$
- ③ $\Delta = 55^\circ 28' 55''$
 $R = 25.00'$
 $L = 24.21'$
 $T = 13.15'$
- ④ $\Delta = 158^\circ 41' 17''$
 $R = 35.00'$
 $L = 122.97'$
 $T = 186.02'$
- ⑤ $\Delta = 55^\circ 28' 55''$
 $R = 25.00'$
 $L = 24.21'$
 $T = 13.15'$
- ⑥ $\Delta = 78^\circ 17' 14''$
 $R = 25.00'$
 $L = 34.24'$
 $T = 20.41'$

CILANTRO LANE
 STA. 10+00.00 TO STA. 12+67.27
 SCALE: HORIZ. 1" = 50'
 VERT. 1" = 10'

NOTES

1.) ALL STATIONING IS CENTERLINE STATIONING.

RECORD DRAWING
 I hereby certify that the information contained on this drawing has been reviewed in accordance with the information furnished by the contractor, Condore Construction Co., and the information furnished by the City of Albuquerque, New Mexico, and that the construction shown on this drawing is in substantial compliance with the approved plans.



Mark Goodwin
 3-27-99
 DATE

MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 200 BOX 50506
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 428-2200, FAX (505) 737-9536

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
 TITLE: THE GARDENS ON THE RIO GRANDE - UNIT 1
 PAVING IMPROVEMENTS

DESIGN	REVIEW	APPROVAL	DATE	NO. OF SHEETS	NO. OF SHEETS
DESIGNED BY	DESIGNED BY	DESIGNED BY	DATE	NO. OF SHEETS	NO. OF SHEETS
DRAWN BY	DRAWN BY	DRAWN BY	DATE	NO. OF SHEETS	NO. OF SHEETS
CHECKED BY	CHECKED BY	CHECKED BY	DATE	NO. OF SHEETS	NO. OF SHEETS

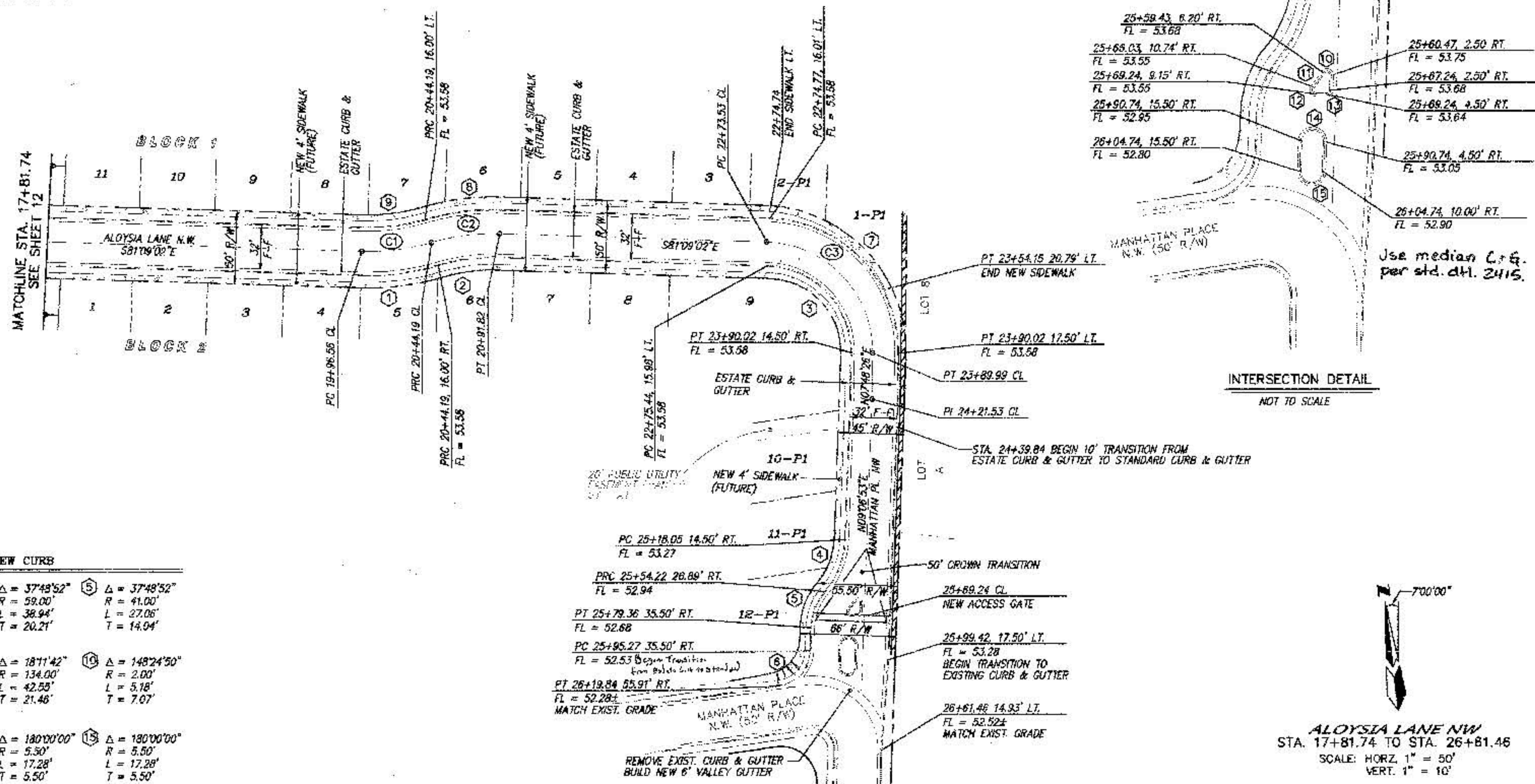
CITY PROJECT NO. 572581 ZONE MAP NO. J-12 SHEET 13 OF 22

CURVE DATA - DESCRIBES CENTERLINE

① $\Delta = 1811'42"$ $R = 150.00'$ $L = 47.83'$ $T = 24.02'$	② $\Delta = 1811'42"$ $R = 150.00'$ $L = 47.83'$ $T = 24.02'$	③ $\Delta = 8857'29"$ $R = 75.00'$ $L = 116.45'$ $T = 73.65'$
--	--	--

CURVE DATA - DESCRIBES FACE OF NEW CURB

① $\Delta = 1811'42"$ $R = 150.00'$ $L = 47.83'$ $T = 24.02'$	② $\Delta = 1811'42"$ $R = 150.00'$ $L = 47.83'$ $T = 24.02'$	③ $\Delta = 8857'29"$ $R = 75.00'$ $L = 116.45'$ $T = 73.65'$	④ $\Delta = 3749'52"$ $R = 59.00'$ $L = 38.94'$ $T = 20.21'$	⑤ $\Delta = 3749'52"$ $R = 59.00'$ $L = 38.94'$ $T = 20.21'$
⑥ $\Delta = 7325'18"$ $R = 26.00'$ $L = 34.65'$ $T = 20.78'$	⑦ $\Delta = 8857'29"$ $R = 91.00'$ $L = 141.29'$ $T = 89.36'$	⑧ $\Delta = 1811'42"$ $R = 150.00'$ $L = 47.83'$ $T = 24.02'$	⑨ $\Delta = 1811'42"$ $R = 150.00'$ $L = 47.83'$ $T = 24.02'$	⑩ $\Delta = 14824'30"$ $R = 2.00'$ $L = 5.18'$ $T = 7.07'$
⑪ $\Delta = 0548'43"$ $R = 78.00'$ $L = 8.01'$ $T = 4.01'$	⑫ $\Delta = 12723'53"$ $R = 2.00'$ $L = 4.45'$ $T = 2.00'$	⑬ $\Delta = 9000'00"$ $R = 2.00'$ $L = 5.50'$ $T = 5.50'$	⑭ $\Delta = 18000'00"$ $R = 5.50'$ $L = 17.28'$ $T = 5.50'$	⑮ $\Delta = 18000'00"$ $R = 5.50'$ $L = 17.28'$ $T = 5.50'$



NOTES

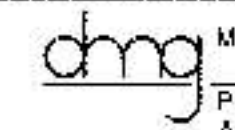
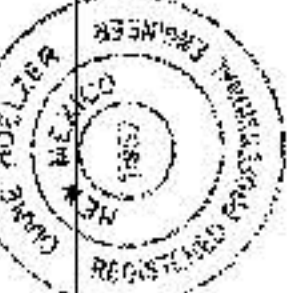
1) ALL STATIONING IS CENTERLINE STATIONING.

Use median C+G.
per std. d.H. 2415.

INTERSECTION DETAIL
NOT TO SCALE

ALOYSIA LANE NW
STA. 17+81.74 TO STA. 26+81.46
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'

RECORD DRAWING
I hereby certify that the information contained on this drawing has been revised in accordance with the information furnished by the engineer, contractor, or other person responsible for the design and construction of the project. This plan as shown, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the approved plan.



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
THE GARDENS ON THE RIO GRANDE - UNIT I
PAVING IMPROVEMENTS

DESIGN BY D.S.	CITY ENGINEER APPROVAL	NO. DAY/YR.	NO. DAY/YR.
DRAWN BY BLN			
CHECKED BY DMG			
DESIGNED BY D.S.			
DRAWN BY BLN			
CHECKED BY DMG			

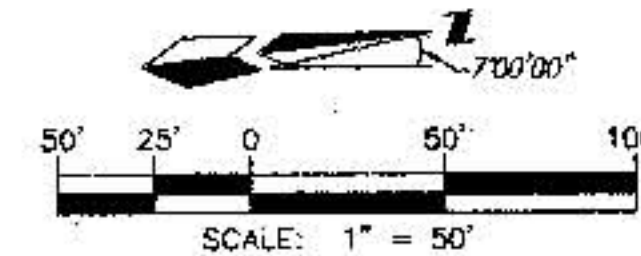
CITY PROJECT NO. **572581** ZONE MAP NO. **J-12** SHEET **14** OF **22**

LENGTH OF RESTRAINED PIPE (FEET)						
PIPE SIZE	90	45	22.5	11.25	TEE	VALVE
6"	18'	7'	4'	2'	•	55'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY. MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

MATCHLINE - UNIT III MASTER UTILITY PLAN
SEE SHEET 16

EXISTING 35' DURANES ACQUITA AND
FRENCH AUXILIARY LEVEE R.O.T.-O-
WAY EASEMENT
(DRED:10-08-42, BK. 13, PG. 579)



LEGEND	
	PROPERTY LINE
	NEW ESTATE CURB
	EXISTING CURB AND GUTTER
	LOT NUMBER
	NEW 6" WATERLINE
	NEW FIRE HYDRANT
	NEW GATE VALVE
	NEW WATERLINE TEE
	NEW WATERLINE BEND
	NEW DOUBLE WATER SERVICE
	NEW SINGLE WATER SERVICE
	NEW 8" SANITARY SEWER
	NEW SANITARY SEWER MANHOLE NO. 1
	NEW SANITARY SEWER SERVICE
	STREET ADDRESS

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with the information furnished by the contractor, Condore Construction Co., and Universal Constructors Inc., and by the surveyor, Walker Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the approved Plan.

Diane Hoelzer 3-29-99
Diane Hoelzer NMPE 11987



dmg MARK GOODMAN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90506
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2700, FAX: (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
THE GARDENS ON THE RIO GRANDE - UNIT I
MASTER UTILITY PLAN

DESIGNED BY EJS	CHECKED BY BLM	DATE 05-98
DRAWN BY DMG	DATE 05-98	
CITY PROJECT NO. 572581	ZONE MAP NO. J-12	SHEET OF 15 22

AS BUILT INFORMATION	
CONTRACTOR Condore Construction Co.	DATE 4/98
DESIGNED BY Walker Surveying	DATE 3/99
CHECKED BY Walker Surveying	DATE 3/99
DRAWN BY Walker Surveying	DATE 3/99
PROVIDED BY Walker Surveying	DATE 3/99



NO.	DATE	BY

NO.	DATE	BY

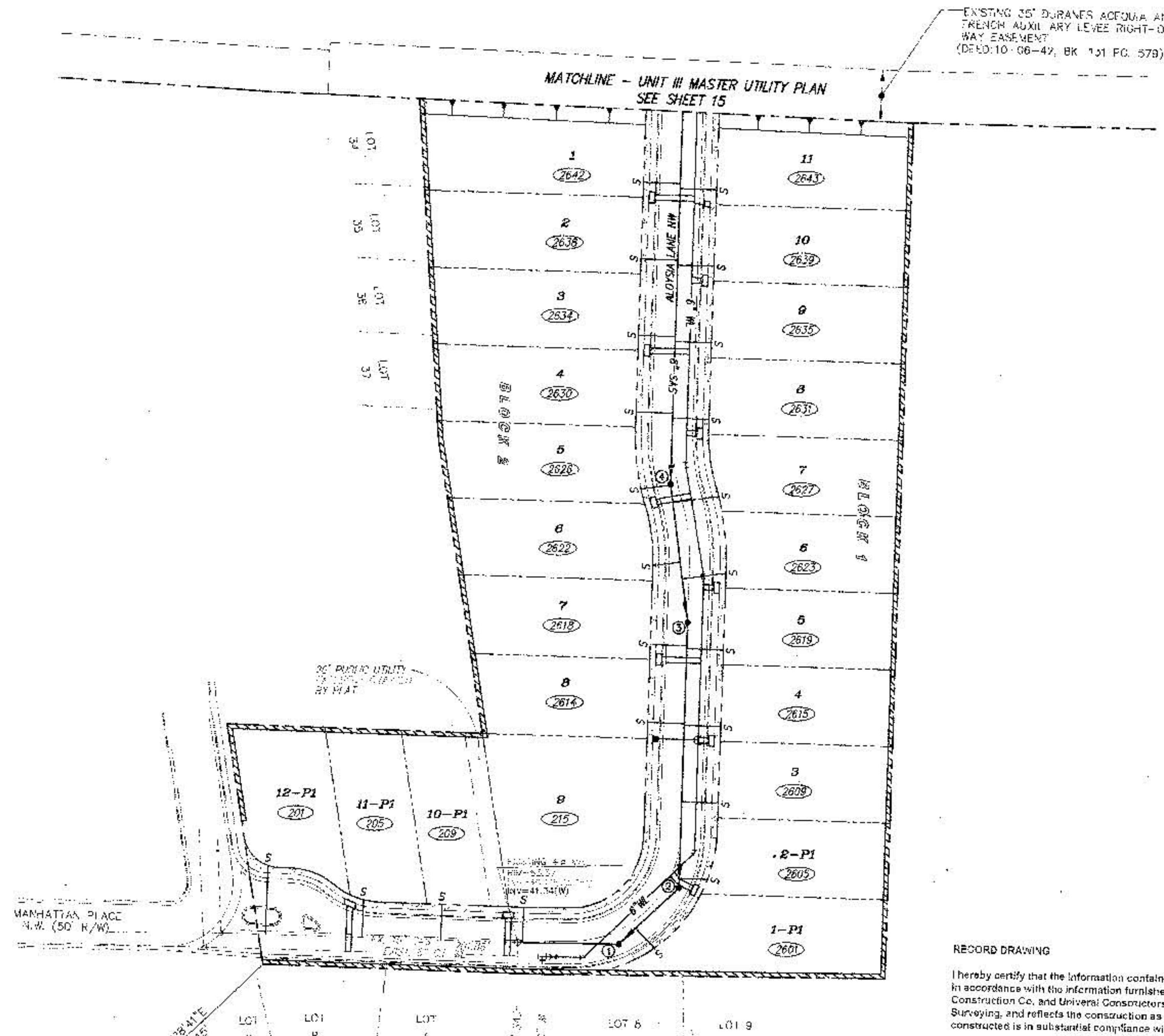
NO.	DATE	BY

NO.	DATE	BY

NO.	DATE	BY

NO.	DATE	BY

NO.	DATE	BY

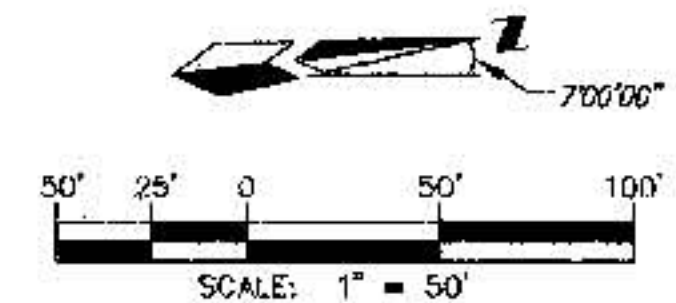
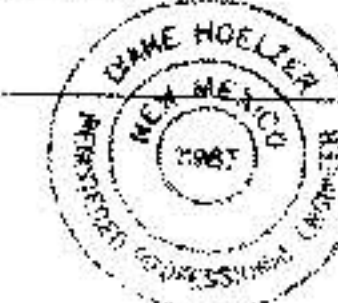


LEGEND	
---	PROPERTY LINE
---	NEW ESTATE CURB
---	EXISTING CURB AND GUTTER
26-P2	LOT NUMBER
6" W	NEW 6" WATERLINE
W	NEW FIRE HYDRANT
X	NEW GATE VALVE
+	NEW WATERLINE TEE
+	NEW WATERLINE BEND
+	NEW DOUBLE WATER SERVICE
+	NEW SINGLE WATER SERVICE
8" SAS	NEW 8" SANITARY SEWER
①	NEW SANITARY SEWER MANHOLE NO. 1
②	NEW SANITARY SEWER SERVICE
2622	STREET ADDRESS

RECORD DRAWING

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Diane Hoeller 3-29-99
Diane Hoeller NMPE 11967

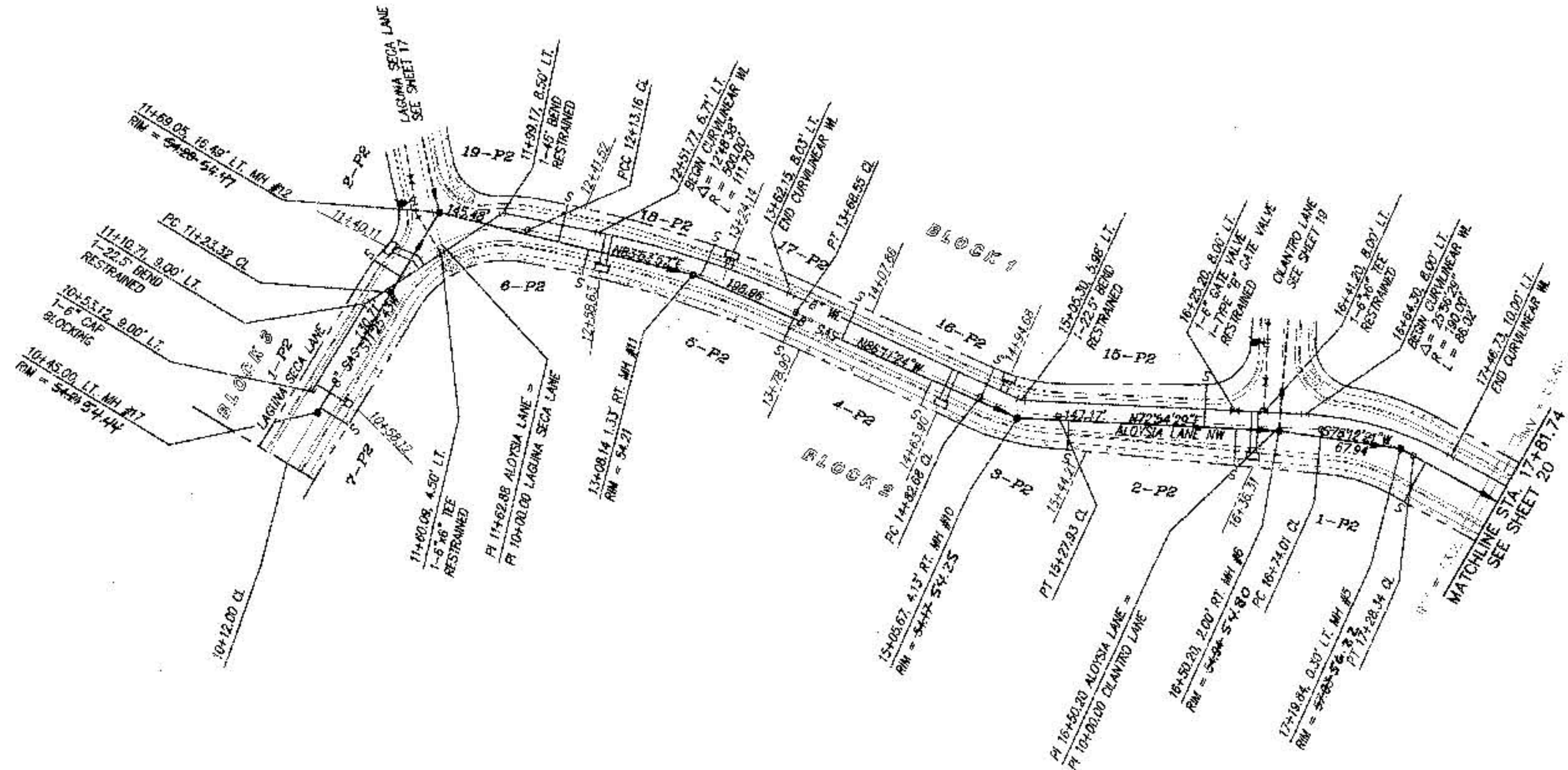


ACS MONUMENT
13-072
Y=1489903.85
X=372270.87
G=0.99998183
Z=0.01444
CENTRAL ZONE
(NAD 1977/SLD 1928)
ELEVATION=4962.78

LENGTH OF RESTRAINED PIPE (FEET)						
PIPE SIZE	90	45	22.5	11.25	TEE	VALVE
6"	18'	7'	4'	2'	*	55'

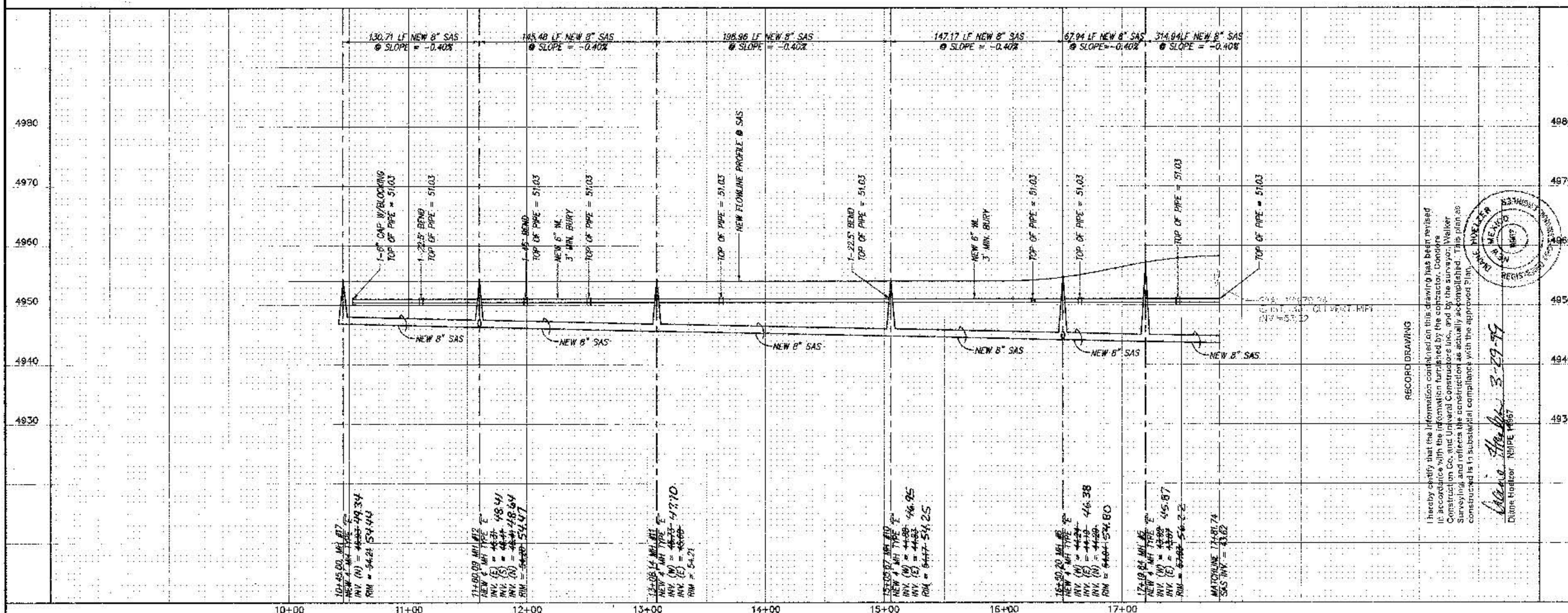
LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY. MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9538	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE THE GARDENS ON THE RIO GRANDE - UNIT I MASTER UTILITY PLAN	
DESIGNED BY 125 PLAN	DATE 5-98
CHECKED BY DMG	DATE 5-98
APPROVED BY 125 PLAN	DATE 5-98
QTY ENGINEER APPROVAL	NO. DAY/YR
LAST DESIGN UPDATE	NO. DAY/YR
CITY PROJECT NO. 572581	ZONE MAP NO. J-12
SHEET 16	OF 22



SANITARY SEWER SERVICES					
BLOCK	LOT	STA.	TOP ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ R.A.
1	15-P2	16+08.20	50.05	23.65'	N/A
1	16-P2	14+84.68	50.03	20.15'	N/A
1	17-P2	13+97.88	50.03	21.19'	N/A
1	18-P2	13+14.14	50.03	19.71'	N/A
1	19-P2	12+31.52	50.03	21.24'	N/A
2	1-P2	17+38.11	51.63	25.00'	N/A
2	2-P2	16+26.31	50.20	20.46'	N/A
2	3-P2	15+34.21	50.03	16.26'	N/A
2	4-P2	14+63.90	50.03	15.90'	N/A
2	5-P2	13+68.90	50.03	14.46'	N/A
2	6-P2	12+48.63	50.03	14.37'	N/A
2	7-P2	10+48.12	50.03	18.00'	N/A
3	1-P2	11+30.11	50.03	17.41'	N/A

ALOYSIA LANE NW
STA. 10+12.00 TO STA. 17+81.74
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'



NOTES
1.) ALL STATIONING IS CENTERLINE STATIONING.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DESIGN GROUP
THE GARDENS ON THE RIO GRANDE - UNIT 1
UTILITY IMPROVEMENTS

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9579

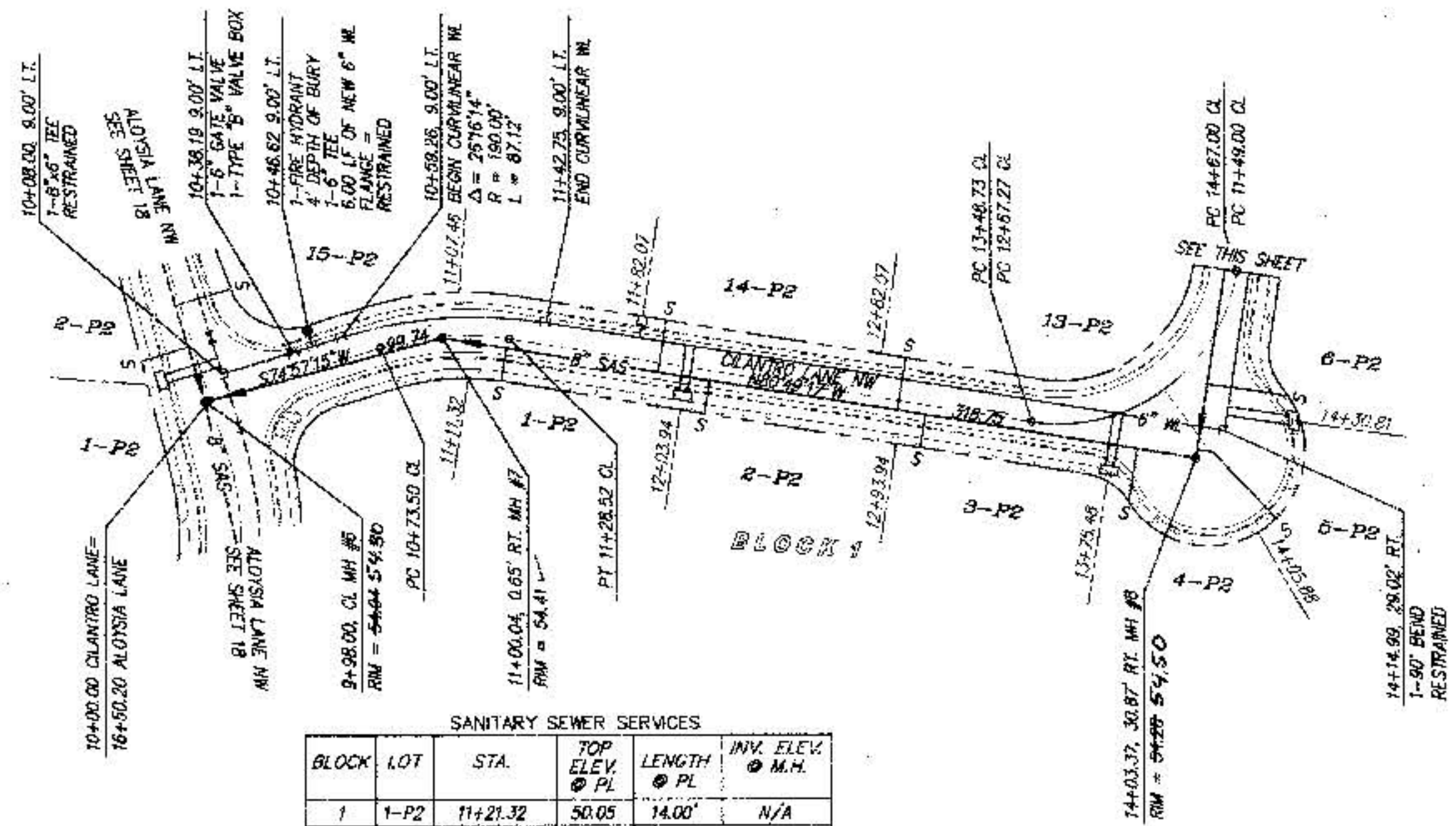
DESIGNED BY: **DS**
DRAWN BY: **BLV**
CHECKED BY: **DMG**

DATE: **05/98**
DATE: **05/98**
DATE: **05/98**

CITY PROJECT NO. **572581**
ZONE MAP NO. **J-12**
SHEET NO. **18** OF **22**

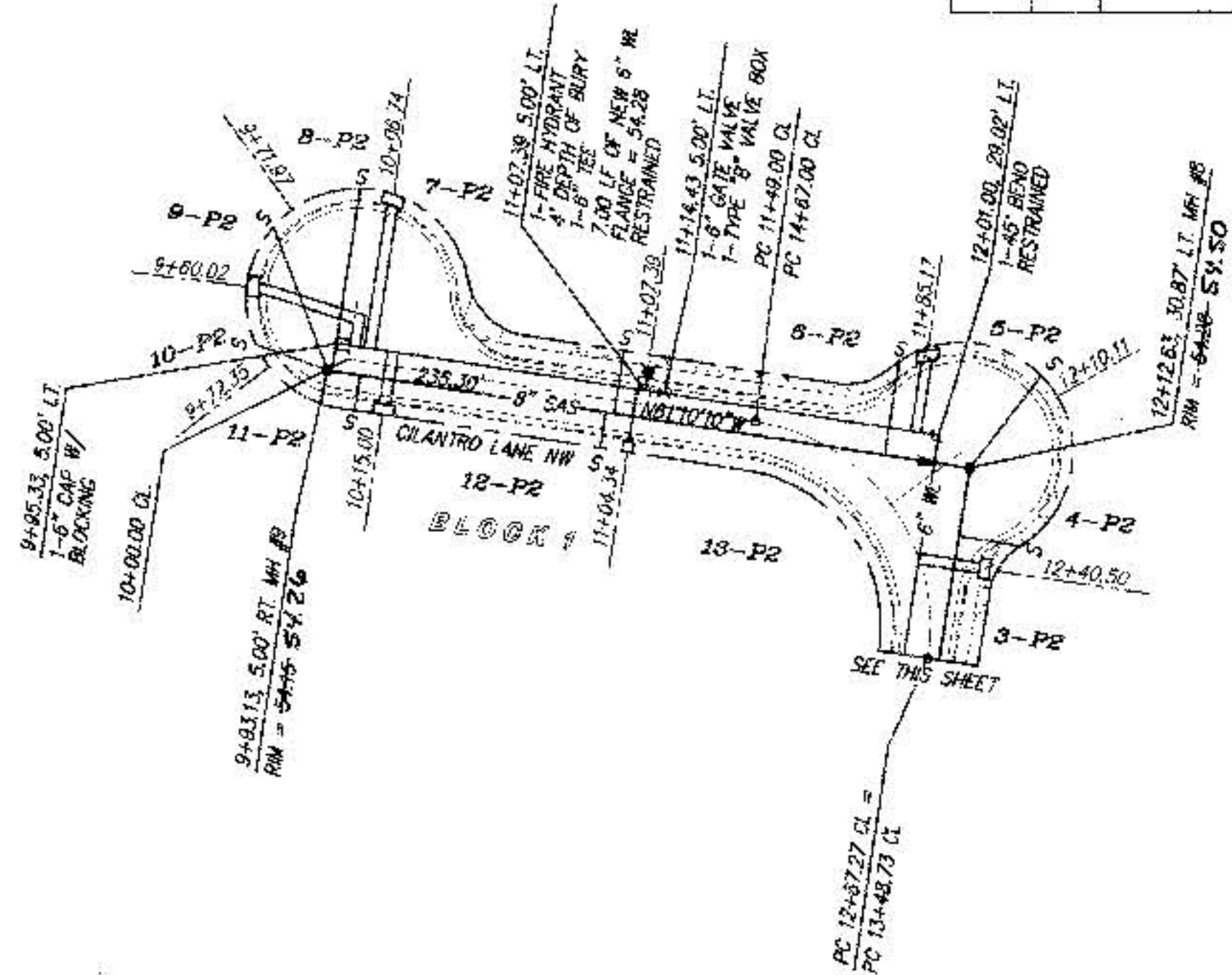
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CONTRACTOR		CONTRACTOR		DATE	
CONTRACTOR		CONTRACTOR		DATE	
CONTRACTOR		CONTRACTOR		DATE	
CONTRACTOR		CONTRACTOR		DATE	





SANITARY SEWER SERVICES					
BLOCK	LOT	STA.	TOP ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
1	1-P2	11+21.32	50.05	14.00'	N/A
1	2-P2	12+13.94	50.03	14.00'	N/A
1	3-P2	13+03.94	50.03	14.00'	N/A
1	4-P2	13+85.40	50.03	22.46'	N/A
1	5-P2	14+15.88	50.03	45.00'	N/A
1	6-P2	14+40.81	50.03	34.31'	N/A
1	13-P2	12+92.07	50.03	22.00'	N/A
1	14-P2	11+92.07	50.03	22.00'	N/A

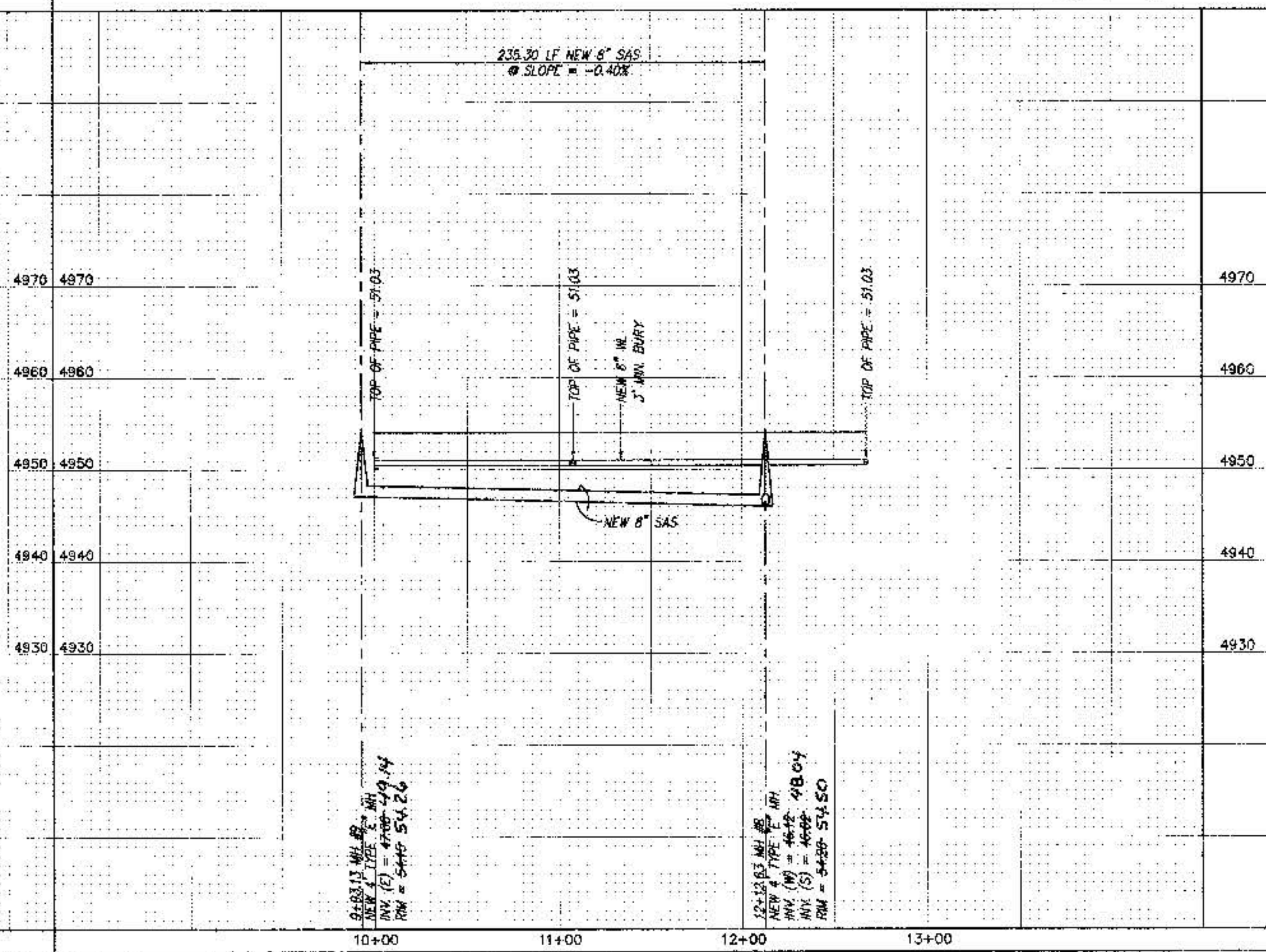
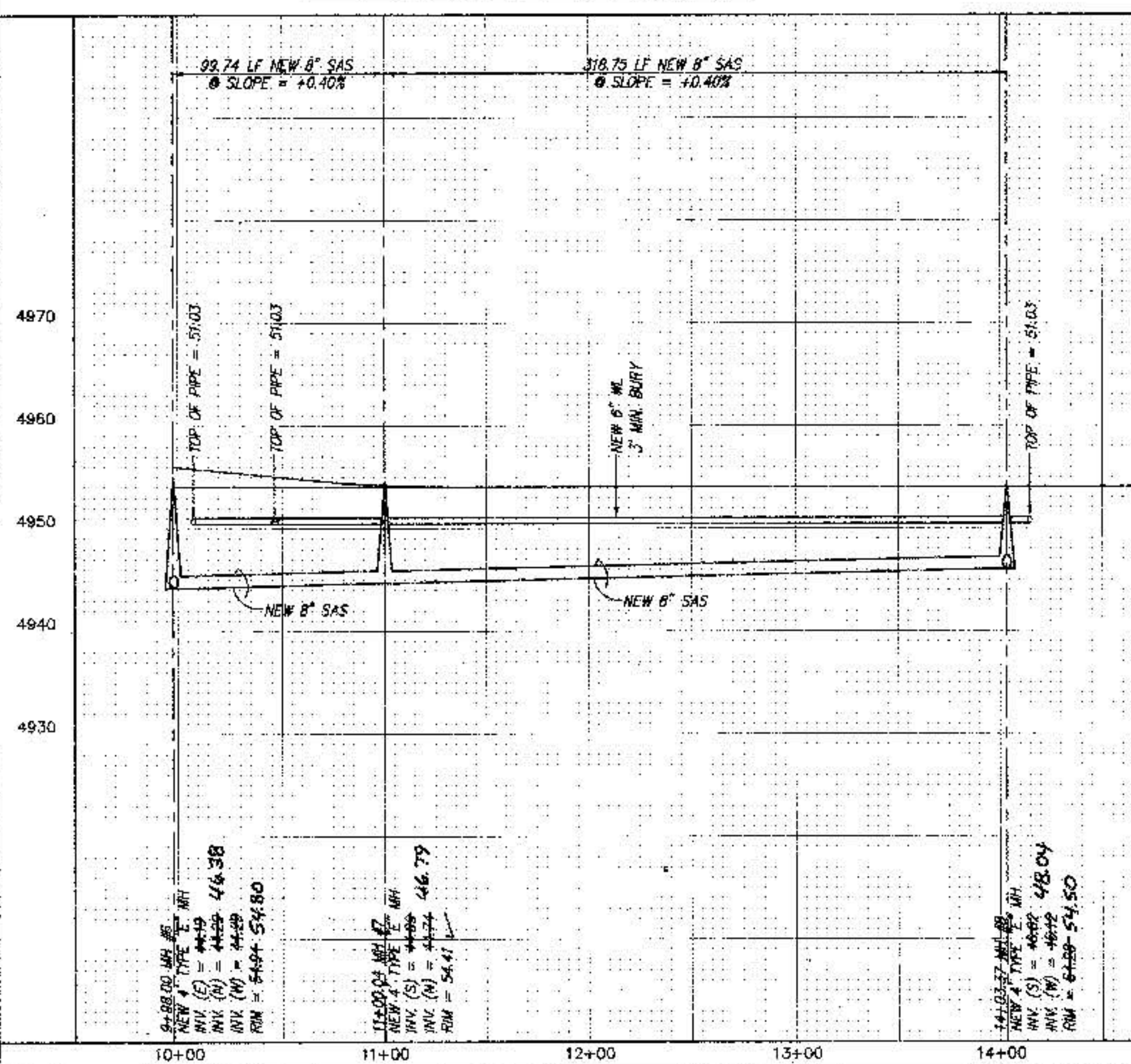
CILANTRO LANE NW
STA. 10+00.00 TO STA. 14+67.27
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'



CILANTRO LANE NW
STA. 9+83.13 TO STA. 12+40.50
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'

SANITARY SEWER SERVICES					
BLOCK	LOT	STA.	TOP ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
1	7-P2	10+97.39	50.03	23.00'	N/A
1	8-P2	9+94.84	50.03	66.67'	N/A
1	9-P2	9+66.11	50.03	55.30'	48.92
1	10-P2	9+88.59	50.03	27.00'	48.49
1	11-P2	10+05.00	50.03	13.00'	N/A
1	12-P2	10+94.34	50.03	13.00'	N/A

NOTES
1.) ALL STATIONING IS CENTERLINE STATIONING.



RECORD DRAWING
I hereby certify that the information contained on this drawing has been revised in accordance with the information furnished by the contractor, Condore Construction Co. and Universal Constructors Inc., and by the surveyor, Walker Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the approved Plan.



Mark Goodwin
Civil Engineer
N.M.P.E. #10281

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 95506
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: THE GARDENS ON THE RIO GRANDE - UNIT 1
UTILITY IMPROVEMENTS

DESIGNER'S REVIEW		CITY ENGINEER APPROVAL		DATE	
DATE	BY	DATE	BY	DATE	BY
05/13/14	DMG	05/13/14	DMG	05/13/14	DMG

CITY PROJECT NO. 572581 ZONE MAP NO. J-12 SHEET 19 22

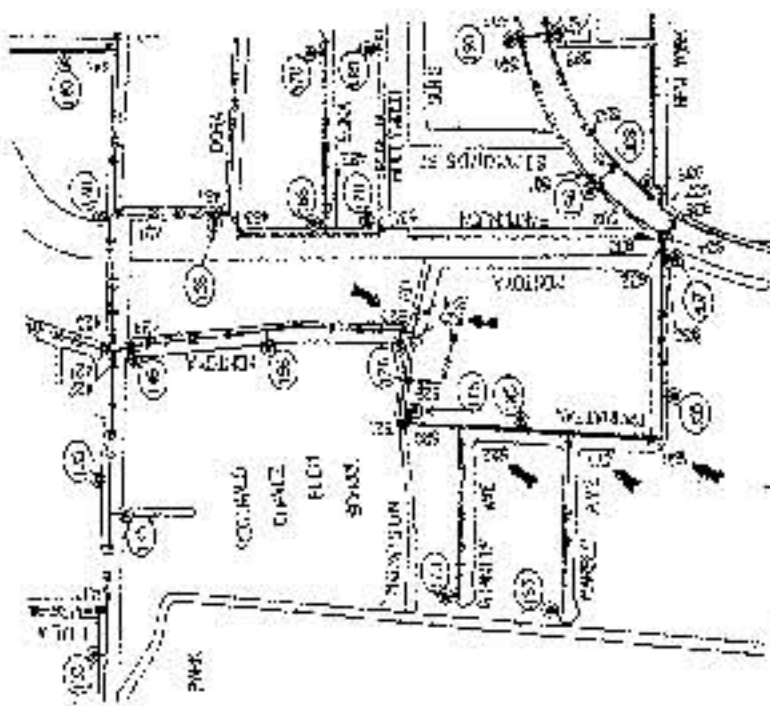
NOTES

- 1) ALL STATIONING IS CENTERLINE STATIONING.
2) LOTS 10-12 SHALL SERVE FROM EXISTING LINE.

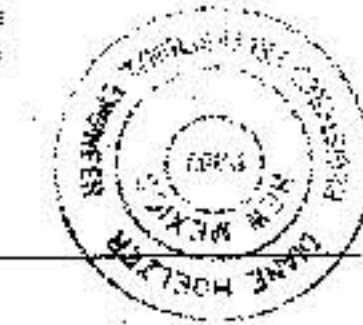
SANITARY SEWER SERVICES					INVERT ELEVATION	
BLOCK	LOT	STA.	TOP OF PIPE	LENGTH	INVERT ELEVATION	INVERT ELEVATION
1	1-1	23+42.26	48.60	19.12'	N/A	N/A
1	2-1	23+44.72	48.60	19.82'	N/A	N/A
1	3-1	23+51.57	48.60	25.00'	N/A	N/A
1	4-1	21+98.51	48.60	25.00'	N/A	N/A
1	5-1	21+47.51	48.60	25.00'	N/A	N/A
1	6-1	20+55.51	48.60	30.11'	N/A	N/A
1	7-1	20+48.71	48.60	31.64'	N/A	N/A
1	8-1	19+50.59	48.60	25.00'	N/A	N/A
1	9-1	19+37.02	48.60	25.00'	N/A	N/A
1	10-1	18+55.02	48.60	25.00'	N/A	N/A
1	11-1	18+33.92	48.60	25.00'	N/A	N/A
1	12-1	18+30.56	48.60	25.00'	N/A	N/A
2	1-2	18+42.56	48.60	25.00'	N/A	N/A
2	2-2	19+34.56	48.60	25.00'	N/A	N/A
2	3-2	19+46.56	48.60	25.00'	N/A	N/A
2	4-2	20+31.56	48.60	25.00'	N/A	N/A
2	5-2	20+50.15	48.60	25.00'	N/A	N/A
2	6-2	21+45.46	48.60	25.00'	N/A	N/A
2	7-2	21+56.34	48.60	25.00'	N/A	N/A
2	8-2	21+56.34	48.60	25.00'	N/A	N/A
2	9-2	21+56.34	48.60	25.00'	N/A	N/A
2	10-2	21+56.34	48.60	25.00'	N/A	N/A
2	11-2	21+56.34	48.60	25.00'	N/A	N/A
2	12-2	21+56.34	48.60	25.00'	N/A	N/A

VALVE SHUT-OFF PLAN

1. CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200, FIVE (5) DAYS PRIOR TO NECESSARY SHUT-OFF. VALVES SHALL BE OPERATED BY CITY WATER EMPLOYEES ONLY.
2. TO MAKE A NON-PRESSURE CONNECTION AT THE PLAN LOCATION, THE FOLLOWING VALVES MUST BE CLOSED: 522, 511, 921, 525, 533.



I hereby certify that the information contained on this drawing has been reviewed in accordance with the information furnished by the contractor, Condore Construction Co., and Universal Constructors Inc., and by the surveyor, Walter Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the approved plan.



NAME HOELLER
3-29-99

MARK GOODMAN & ASSOCIATES, P.A.
REGISTERED PROFESSIONAL ENGINEERS
ALBUQUERQUE, NEW MEXICO 87109
(505) 828-2200, FAX (505) 797-9539

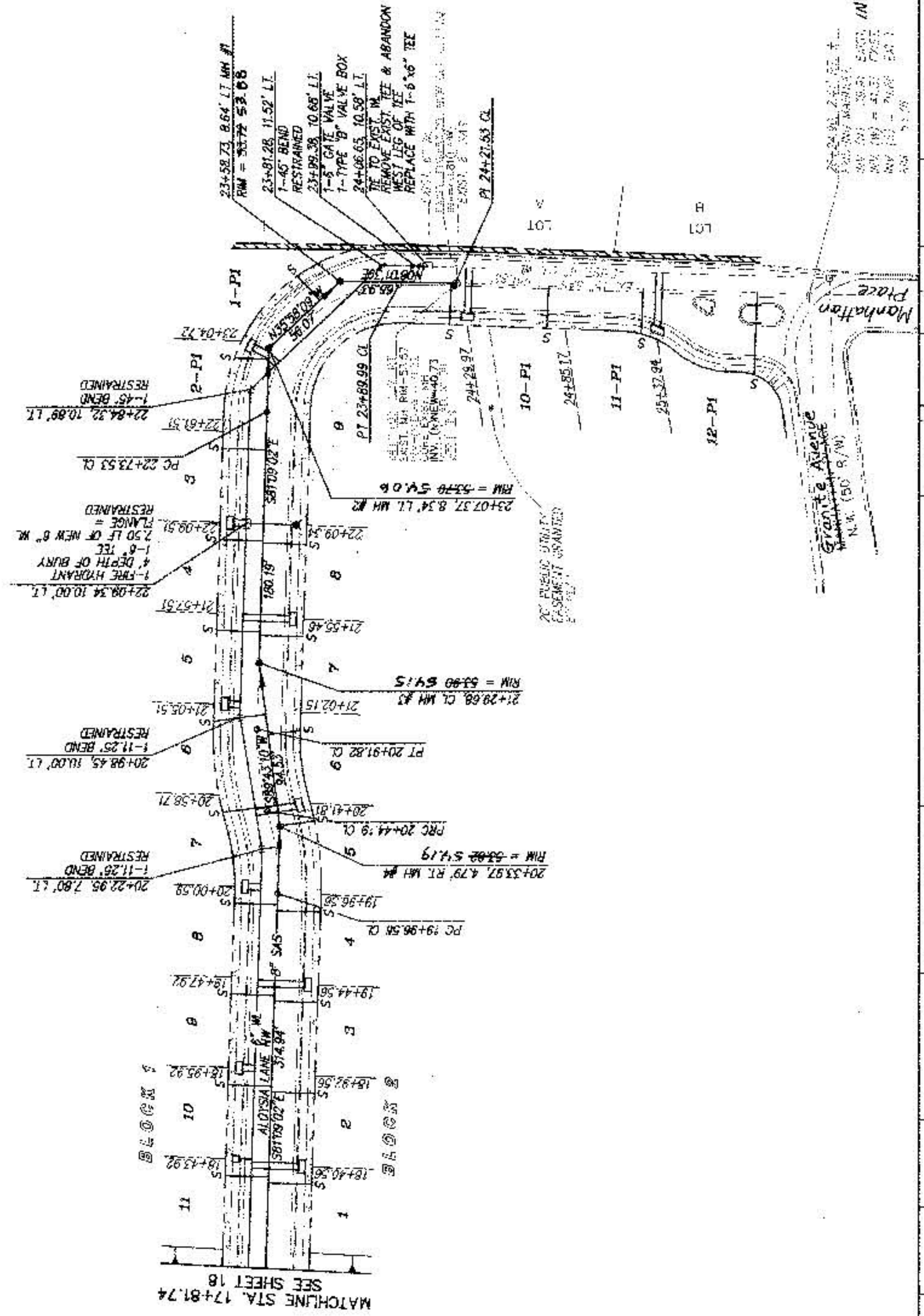
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
THE GARDENS ON THE RIO GRANDE - UNIT
UTILITY IMPROVEMENTS



CITY PROJECT NO. 572581

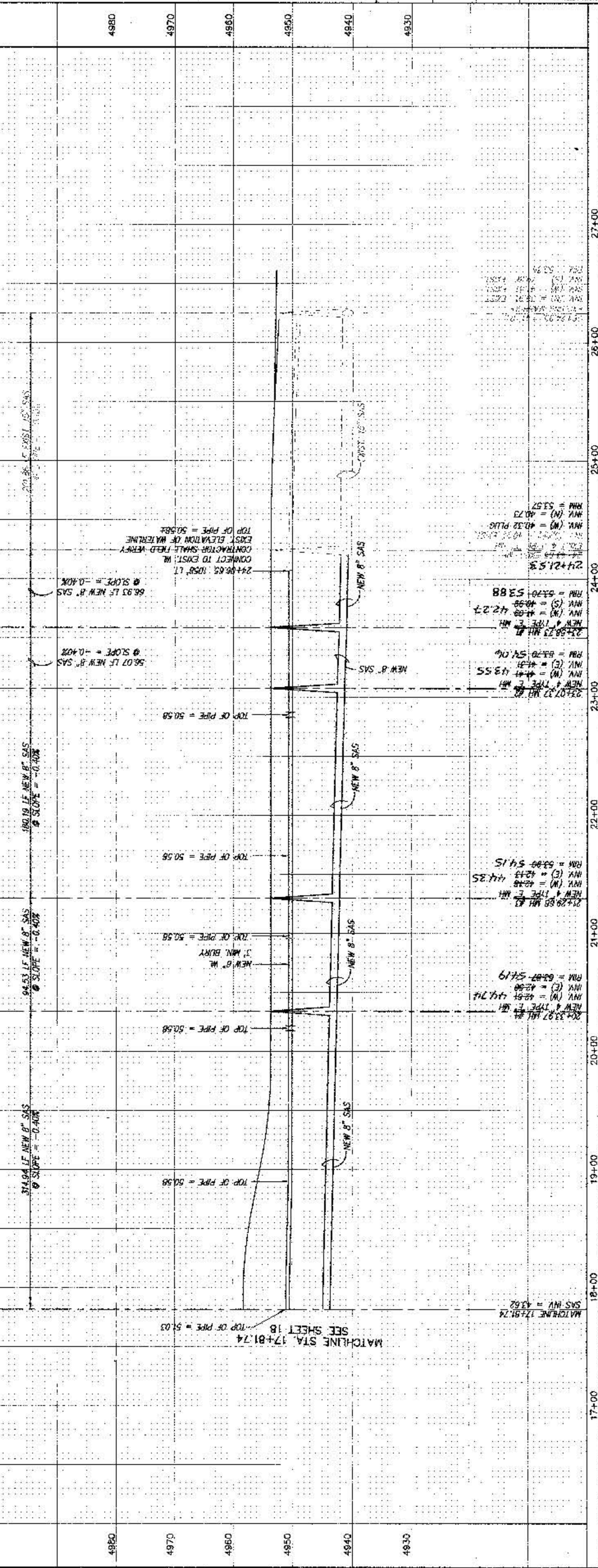
ZONE MAP NO. J-12

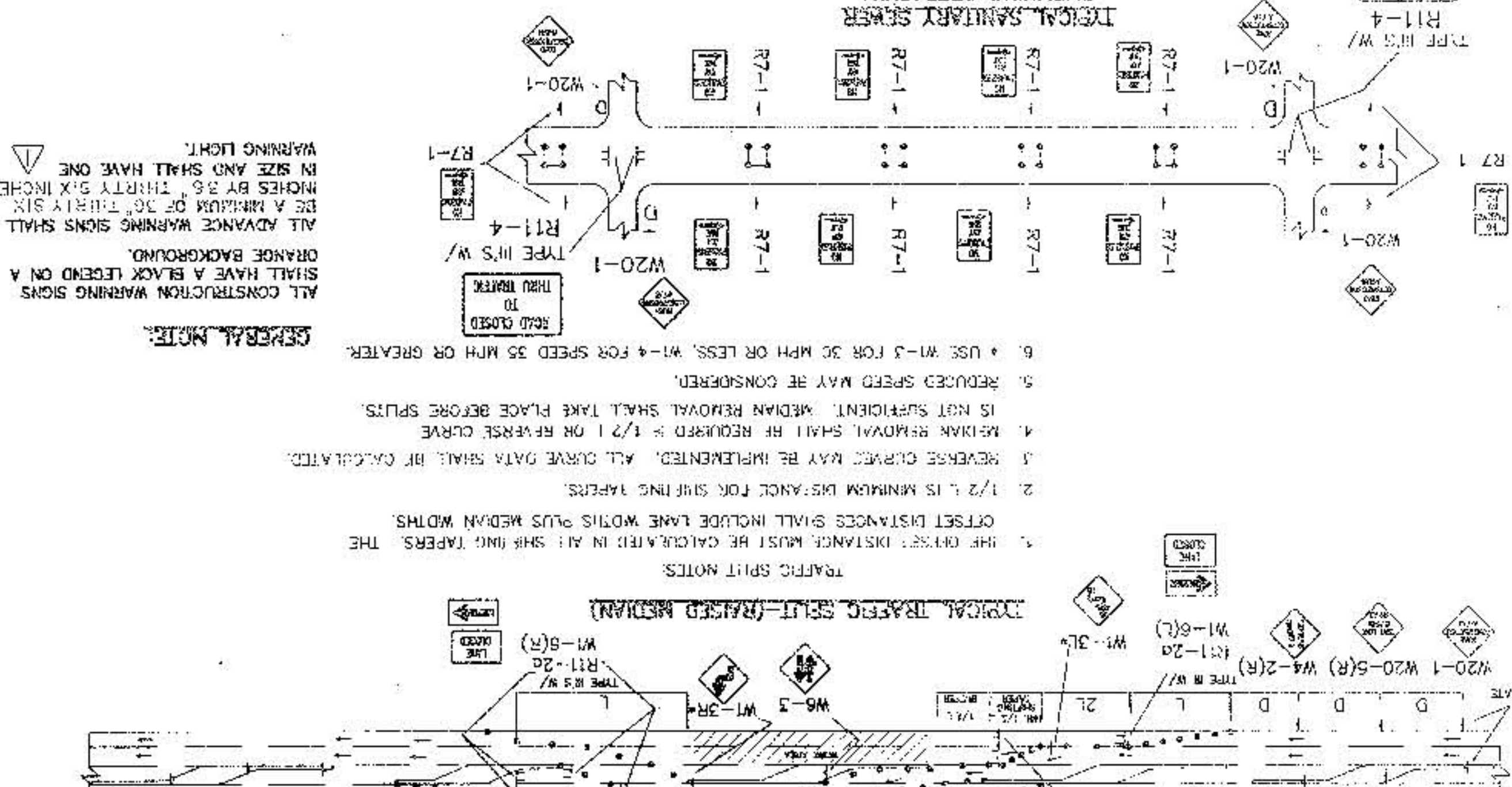
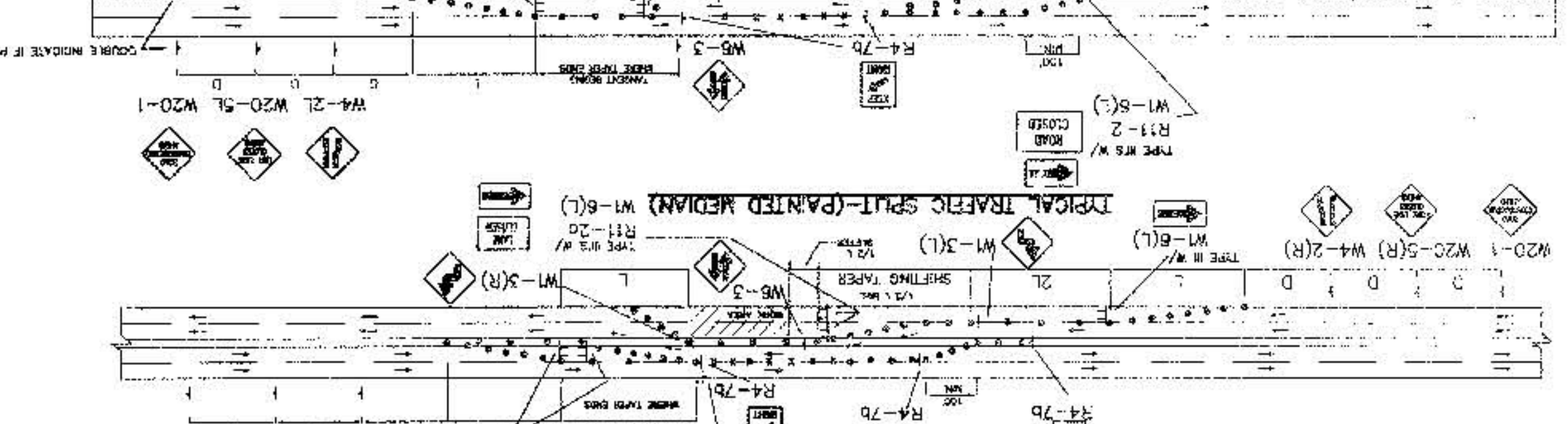
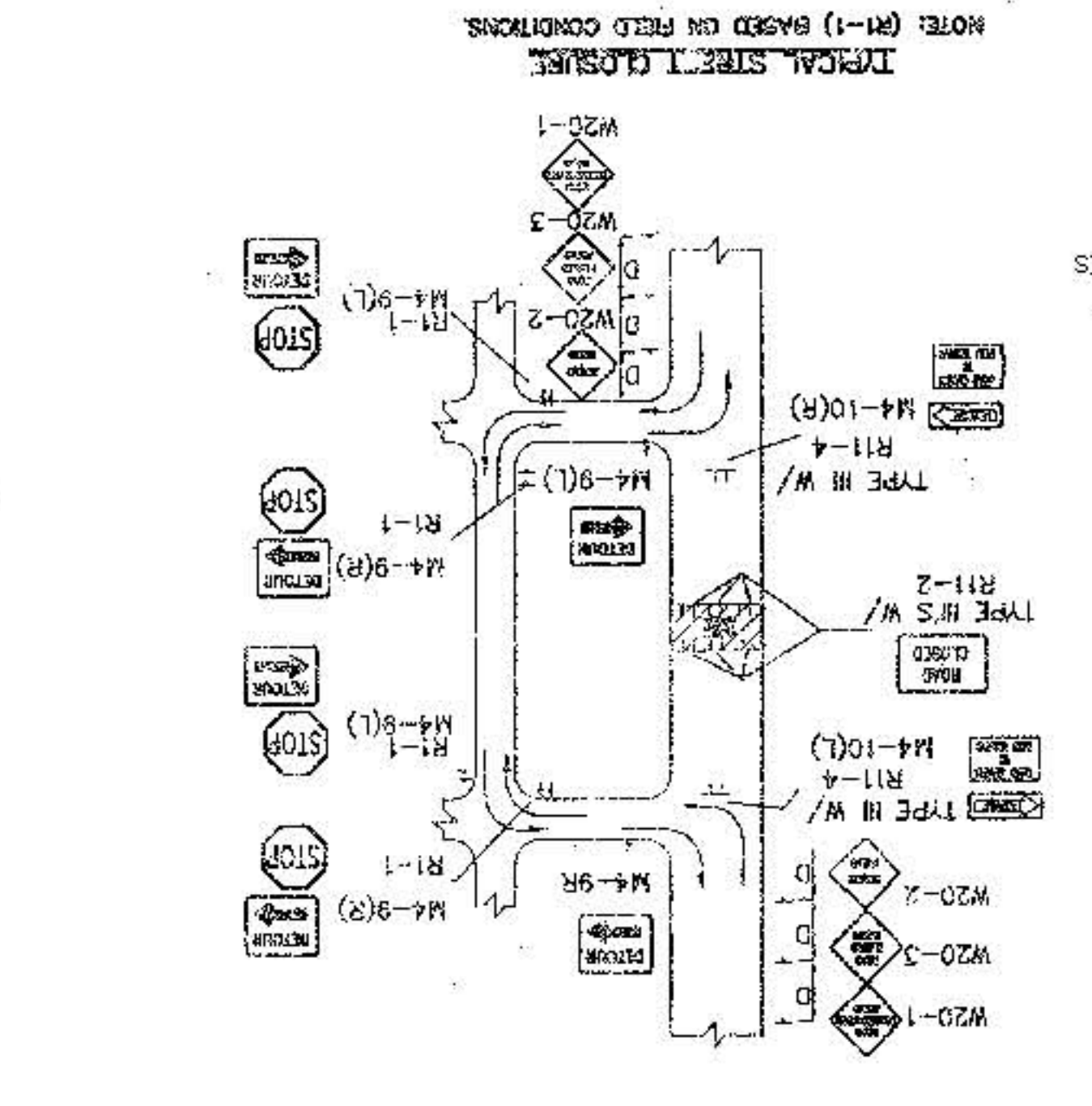
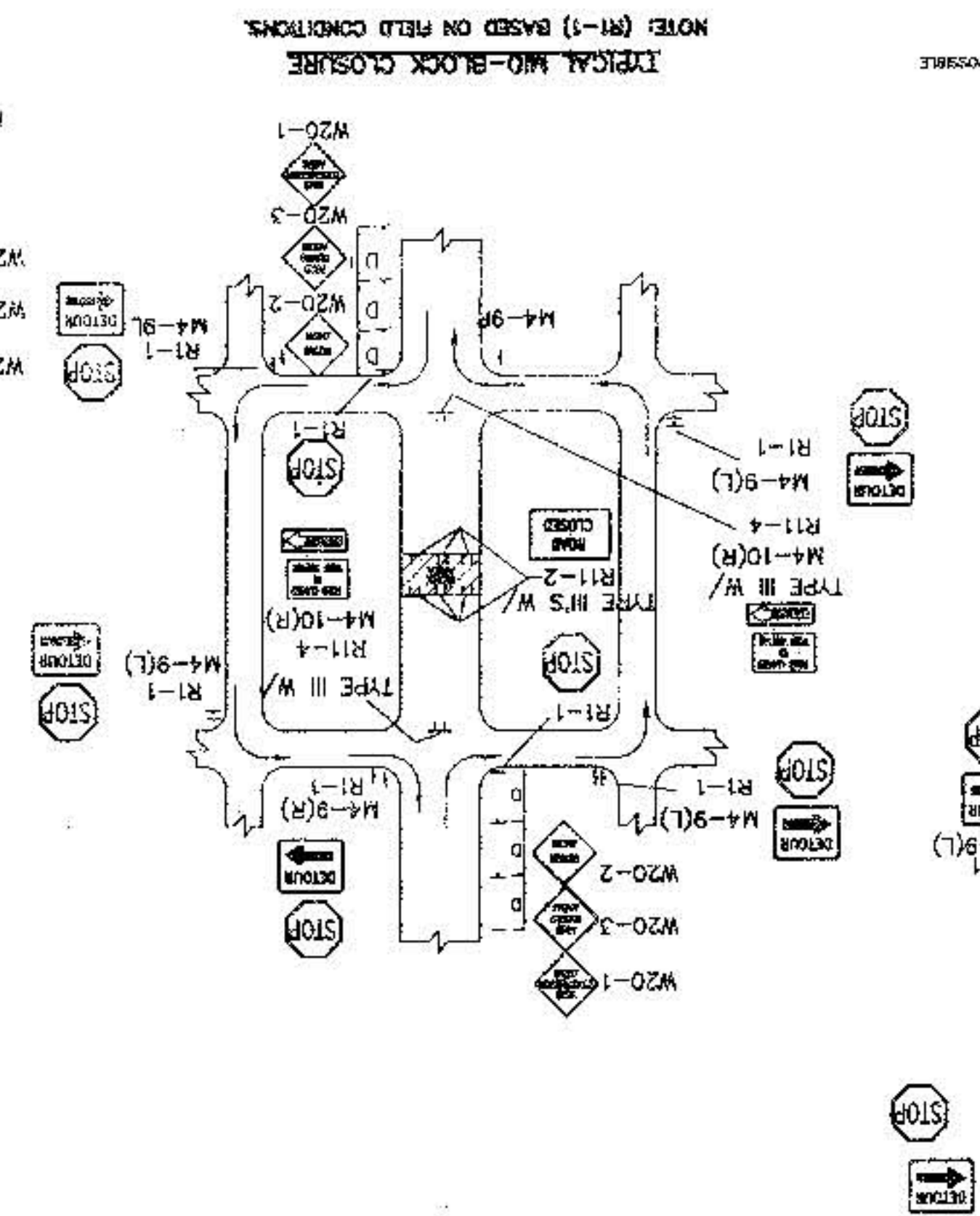
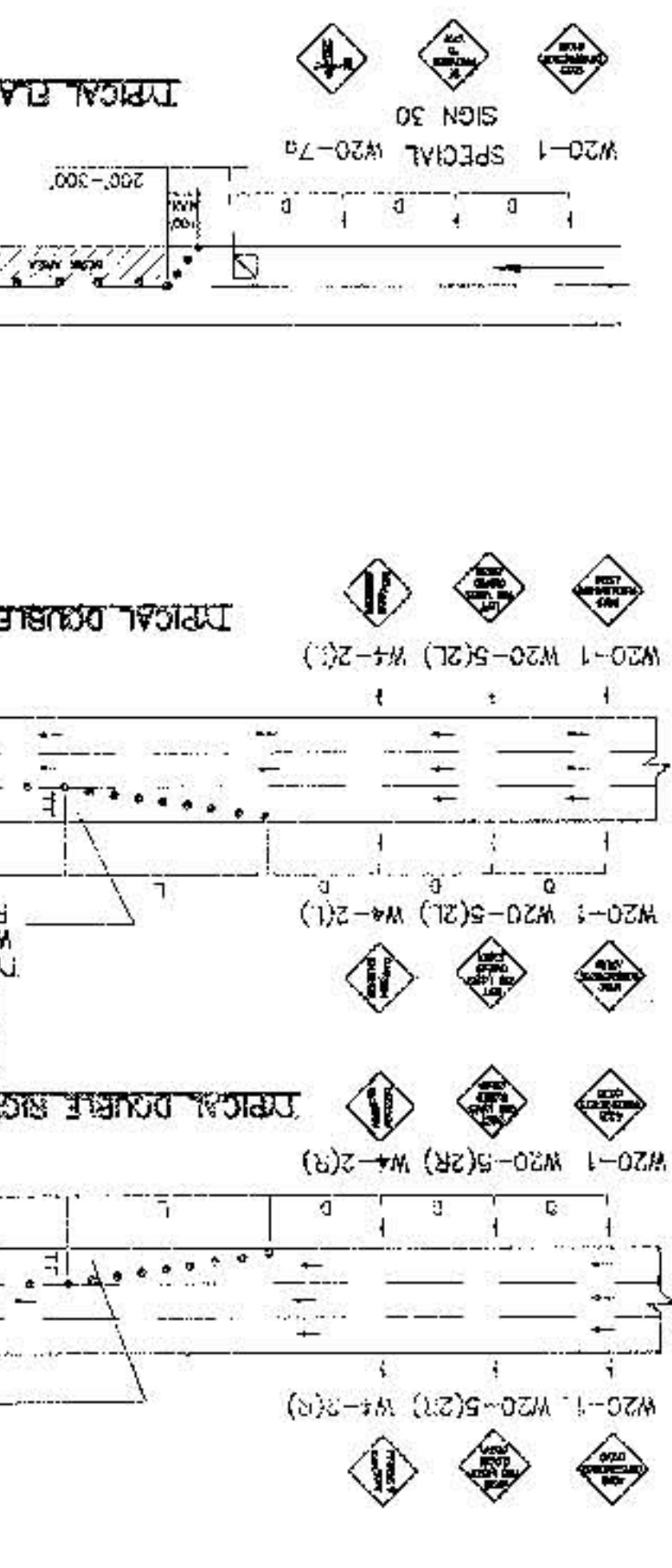
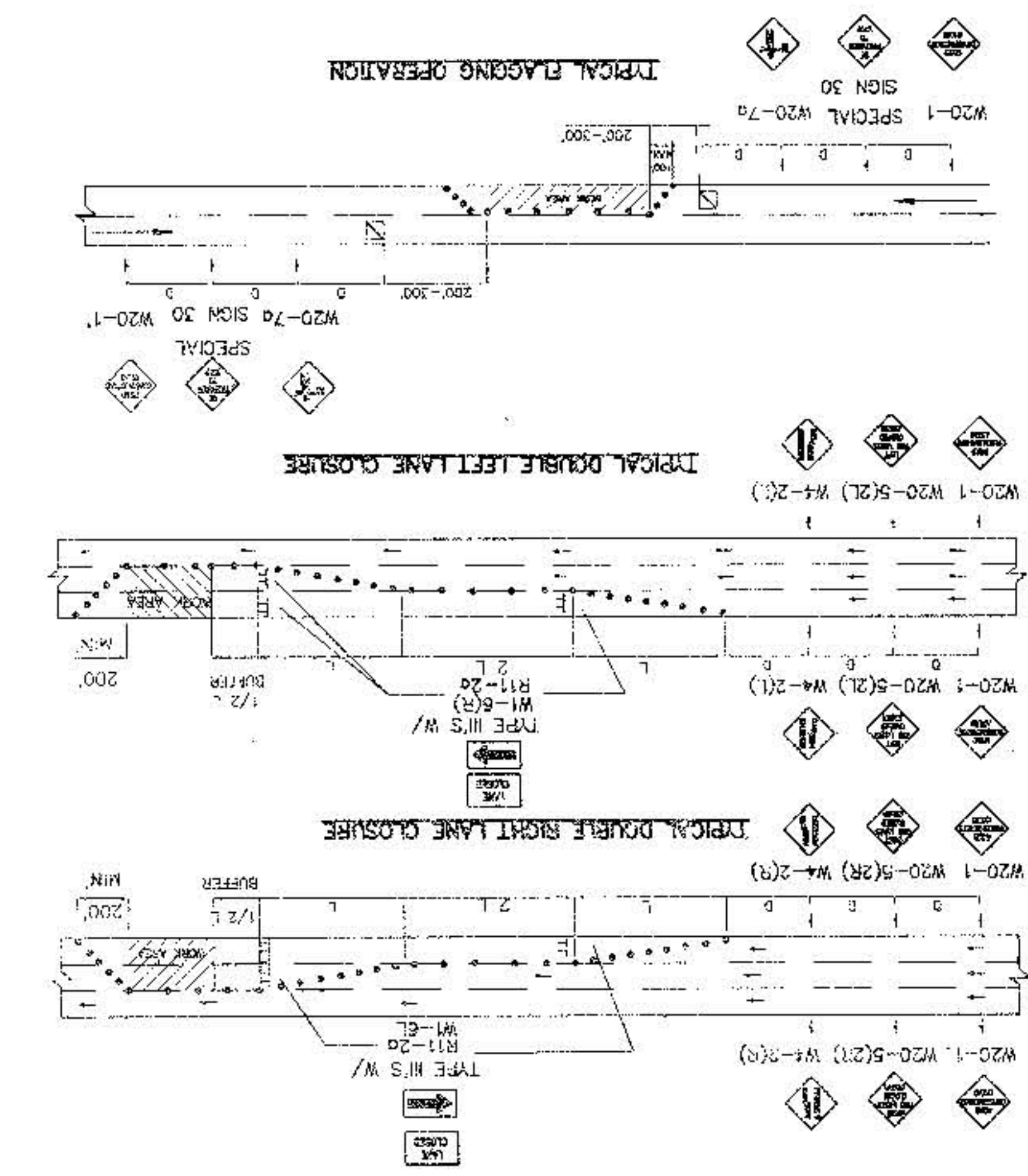
SHEET 20 OF 20



ALOYSIA LANE NW
STA. 17+81.74 TO STA. 26+24.90

IN(11)-43.43 (NEW)





GENERAL NOTE:
ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.
ALL ADVANCE WARNING SIGNS SHALL HAVE A MINIMUM OF 36 THIRTY SIX INCHES BY 36 THIRTY SIX INCHES IN SIZE AND SHALL HAVE ONE WARNING LIGHT.

CONSTRUCTION SHALL BE APPROVED BY CONSTRUCTION

20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION

19. CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL AND TRAFFIC SIGNALS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL AND TRAFFIC SIGNALS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

18. ADVANCE WARNING SIGNS SHALL BE PLACED AT THE MINIMUM REQUIRED DISTANCE FROM THE CONSTRUCTION AREA. ADVANCE WARNING SIGNS SHALL BE PLACED AT THE MINIMUM REQUIRED DISTANCE FROM THE CONSTRUCTION AREA.

17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR ALL EMPLOYEES LOCATED WITHIN THE CONSTRUCTION AREA. ACCESS SIGNS SHALL BE PLACED AT THE MINIMUM REQUIRED DISTANCE FROM THE CONSTRUCTION AREA.

16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.

15. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT FROM THEFT AND DAMAGE.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CIRCUMVENTING TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.

13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.

12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION A WEEKLY LOG OF DAILY INSPECTIONS OF PARKING AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.

11. ALL WORK IN EXISTING ROADWAYS SHALL BE ON A CONTINUOUS BASIS. NO STOP WORKS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTED SECTION 6A-4.

10. ALL BARRICADES, ALL TAPES AND TANGLES SHALL BE PLACED APART, A DISTANCE OF 15 FEET, FROM THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTED SECTION 6A-4.

9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTIPLE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.

8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTED, LATEST EDITION.

7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY ASSOCIATES (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICE SHALL ALSO BE DONE BY AN ATSSA CERTIFIED TRAFFIC SUPERVISOR OR EQUIVALENT.

6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MUTED ON UNIFORM TRAFFIC CONTROL DEVICES (MUTED), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION. PER SECTION 6A-4 OF THE MUTED, LATEST EDITION.

5. CONTRACTOR SHALL MAINTAIN A TRAFFIC CONTROL PLAN THAT IS REFLECTING SUCH CHANGES.

4. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES REQUESTED BY CONTRACTOR. THAT ARE NOT PREVIOUSLY APPROVED. WHEN TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WORKING AGREEMENT WITH A TRAFFIC CONTROL PLAN.

3. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES REQUESTED BY CONTRACTOR. THAT ARE NOT PREVIOUSLY APPROVED. WHEN TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WORKING AGREEMENT WITH A TRAFFIC CONTROL PLAN.

2. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES REQUESTED BY CONTRACTOR. THAT ARE NOT PREVIOUSLY APPROVED. WHEN TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WORKING AGREEMENT WITH A TRAFFIC CONTROL PLAN.

1. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES REQUESTED BY CONTRACTOR. THAT ARE NOT PREVIOUSLY APPROVED. WHEN TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WORKING AGREEMENT WITH A TRAFFIC CONTROL PLAN.

[illegible]

WATER AREA

BARRELS

BARRELS TYPE II

VERTICAL PANEL

WARNING SIGN

20' A VARIOUS OF TEN LANE'S A DISTANCE MEASURED IN FEET

15' A VARIOUS OF TEN LANE'S A DISTANCE MEASURED IN FEET

SPACING BETWEEN BARRELS

EQUAL TO THE SPEED LIMIT OF THE STREET

TAPER LENGTH H - SEE CHART BELOW

THE TAPER LENGTH SHOULD BE EQUAL TO THE TAPER LENGTH FOR A GIVEN SPEED

TABLE REQUIREMENTS

SP-10	SP-11	SP-12	SP-13	SP-14	SP-15	SP-16	SP-17	SP-18	SP-19	SP-20	SP-21	SP-22	SP-23	SP-24	SP-25	SP-26	SP-27	SP-28	SP-29	SP-30	SP-31	SP-32	SP-33	SP-34	SP-35	SP-36	SP-37	SP-38	SP-39	SP-40	SP-41	SP-42	SP-43	SP-44	SP-45	SP-46	SP-47	SP-48	SP-49	SP-50	SP-51	SP-52	SP-53	SP-54	SP-55	SP-56	SP-57	SP-58	SP-59	SP-60	SP-61	SP-62	SP-63	SP-64	SP-65	SP-66	SP-67	SP-68	SP-69	SP-70	SP-71	SP-72	SP-73	SP-74	SP-75	SP-76	SP-77	SP-78	SP-79	SP-80	SP-81	SP-82	SP-83	SP-84	SP-85	SP-86	SP-87	SP-88	SP-89	SP-90	SP-91	SP-92	SP-93	SP-94	SP-95	SP-96	SP-97	SP-98	SP-99	SP-100	SP-101	SP-102	SP-103	SP-104	SP-105	SP-106	SP-107	SP-108	SP-109	SP-110	SP-111	SP-112	SP-113	SP-114	SP-115	SP-116	SP-117	SP-118	SP-119	SP-120	SP-121	SP-122	SP-123	SP-124	SP-125	SP-126	SP-127	SP-128	SP-129	SP-130	SP-131	SP-132	SP-133	SP-134	SP-135	SP-136	SP-137	SP-138	SP-139	SP-140	SP-141	SP-142	SP-143	SP-144	SP-145	SP-146	SP-147	SP-148	SP-149	SP-150	SP-151	SP-152	SP-153	SP-154	SP-155	SP-156	SP-157	SP-158	SP-159	SP-160	SP-161	SP-162	SP-163	SP-164	SP-165	SP-166	SP-167	SP-168	SP-169	SP-170	SP-171	SP-172	SP-173	SP-174	SP-175	SP-176	SP-177	SP-178	SP-179	SP-180	SP-181	SP-182	SP-183	SP-184	SP-185	SP-186	SP-187	SP-188	SP-189	SP-190	SP-191	SP-192	SP-193	SP-194	SP-195	SP-196	SP-197	SP-198	SP-199	SP-200	SP-201	SP-202	SP-203	SP-204	SP-205	SP-206	SP-207	SP-208	SP-209	SP-210	SP-211	SP-212	SP-213	SP-214	SP-215	SP-216	SP-217	SP-218	SP-219	SP-220	SP-221	SP-222	SP-223	SP-224	SP-225	SP-226	SP-227	SP-228	SP-229	SP-230	SP-231	SP-232	SP-233	SP-234	SP-235	SP-236	SP-237	SP-238	SP-239	SP-240	SP-241	SP-242	SP-243	SP-244	SP-245	SP-246	SP-247	SP-248	SP-249	SP-250	SP-251	SP-252	SP-253	SP-254	SP-255	SP-256	SP-257	SP-258	SP-259	SP-260	SP-261	SP-262	SP-263	SP-264	SP-265	SP-266	SP-267	SP-268	SP-269	SP-270	SP-271	SP-272	SP-273	SP-274	SP-275	SP-276	SP-277	SP-278	SP-279	SP-280	SP-281	SP-282	SP-283	SP-284	SP-285	SP-286	SP-287	SP-288	SP-289	SP-290	SP-291	SP-292	SP-293	SP-294	SP-295	SP-296	SP-297	SP-298	SP-299	SP-300	SP-301	SP-302	SP-303	SP-304	SP-305	SP-306	SP-307	SP-308	SP-309	SP-310	SP-311	SP-312	SP-313	SP-314	SP-315	SP-316	SP-317	SP-318	SP-319	SP-320	SP-321	SP-322	SP-323	SP-324	SP-325	SP-326	SP-327	SP-328	SP-329	SP-330	SP-331	SP-332	SP-333	SP-334	SP-335	SP-336	SP-337	SP-338	SP-339	SP-340	SP-341	SP-342	SP-343	SP-344	SP-345	SP-346	SP-347	SP-348	SP-349	SP-350	SP-351	SP-352	SP-353	SP-354	SP-355	SP-356	SP-357	SP-358	SP-359	SP-360	SP-361	SP-362	SP-363	SP-364	SP-365	SP-366	SP-367	SP-368	SP-369	SP-370	SP-371	SP-372	SP-373	SP-374	SP-375	SP-376	SP-377	SP-378	SP-379	SP-380	SP-381	SP-382	SP-383	SP-384	SP-385	SP-386	SP-387	SP-388	SP-389	SP-390	SP-391	SP-392	SP-393	SP-394	SP-395	SP-396	SP-397	SP-398	SP-399	SP-400	SP-401	SP-402	SP-403	SP-404	SP-405	SP-406	SP-407	SP-408	SP-409	SP-410	SP-411</
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[illegible]