



MANZANO MESA WATER SPRAYGROUND

City of Albuquerque

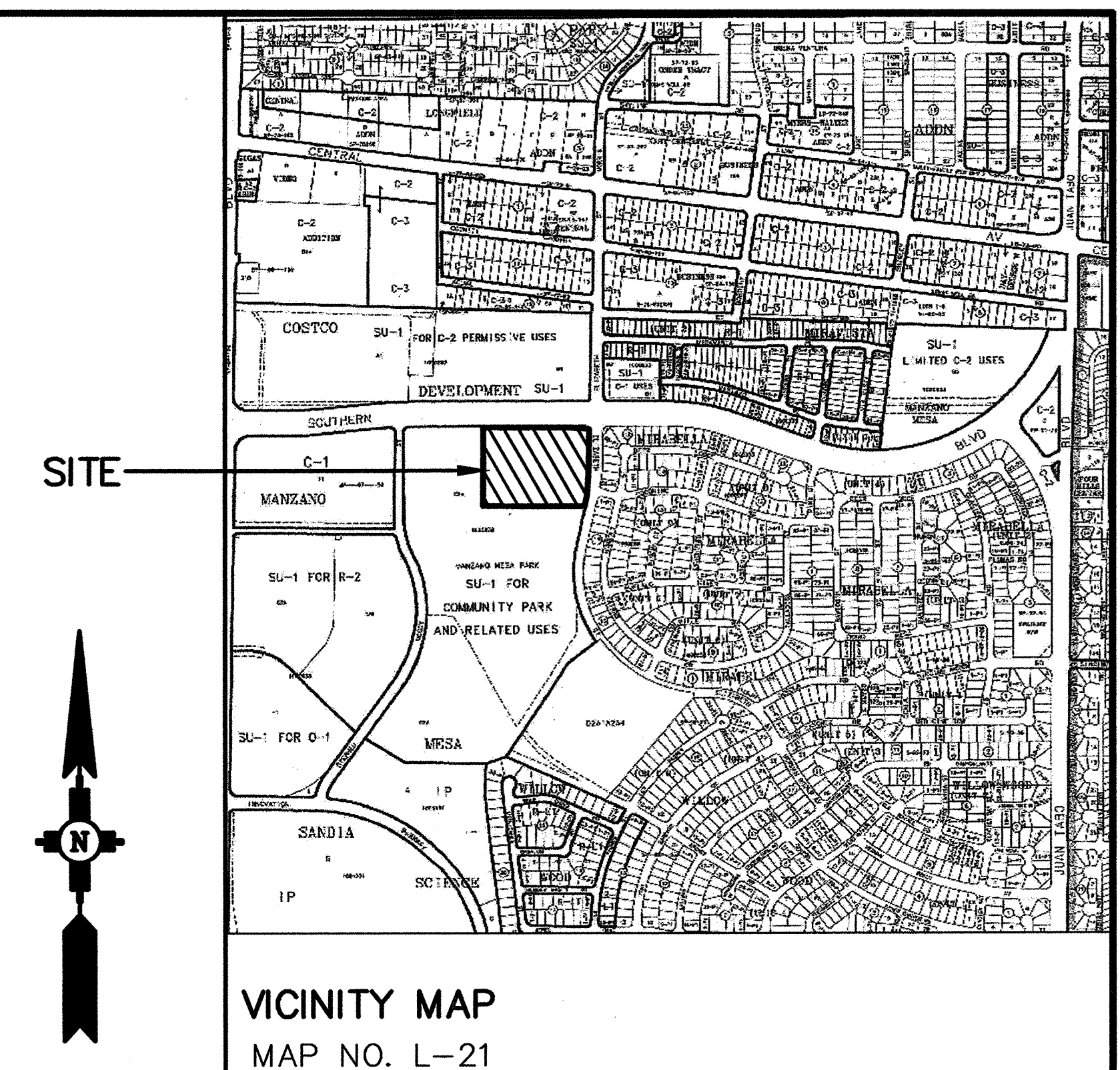
Department of Senior Affairs - Owner

Department of Municipal Development - Managing Department

Park Design and Construction Division

Albuquerque, New Mexico

May 18, 2005



CONSENSUS PLANNING, INC.

PLANNING / LANDSCAPE ARCHITECTURE

924 PARK AVENUE SW

ALBUQUERQUE, NM 87102

(505) 764-9801

Property Information

Legal Description: Lot A1, Paradise Skies, Unit 5

Meter Address: 501 Elizabeth SE

Zoning: SU-1/Community Park and Related Facilities

Total Site Area: 9,642 S.F.

Total Landscape Area: 938 S.F.

Total Turf Area: 3,400 S.F.

Consultants

Architectural

Kells + Craig Architects

400 Gold Avenue SW, Suite 880

Albuquerque, NM 87102

(505) 243-2724

Civil Engineering

Smith Engineering Company

2201 San Pedro Drive NE, Bldg. 4, Suite 200

Albuquerque, NM 87110

(505) 884-0700

Mechanical/Electrical

The Response Group

11930 Menaul NE, Suite 214

Albuquerque, NM 87112

(505) 323-7629

Index of Drawings

G1.0	Cover Sheet
G1.1	General Notes
G1.2	Code Analysis & Plan
G1.3	Acceptance Forms
C1.0	Grading Plan
C1.1	Utility Plan
L1.0	Irrigation Plan
L1.1	Planting Plan
L1.2	Sprayground layout Plan
ASD1.0	Site Demolition Plan
AS1.0	Architectural Site Plan
A2.1	Building Elevations
A3.1	Building Sections & Details
A4.1	Enlarged Plans & Details
A4.2	Enlarged Plans & Details
A8.1	Specifications
P1.0	Plumbing/Mechanical Plan
E1.0	Electrical Plan

UTILITY COMPANY CONTACTS

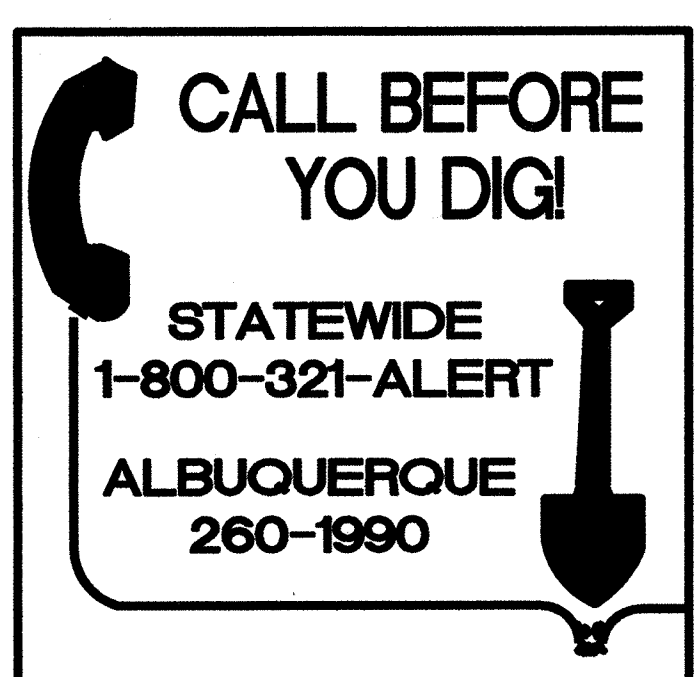
PNM-ELECTRIC
4201 Edith Boulevard NE
Albuquerque, New Mexico 87107
(505) 241-0525

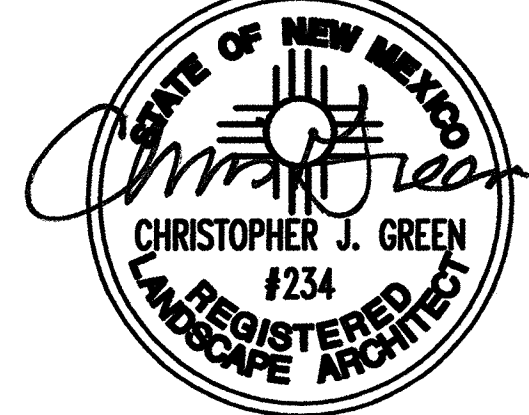

PNM-GAS
4625 Edith Boulevard NE
Albuquerque, New Mexico 87107
(505) 241-7745

QWEST
201 Third Street NW, Suite 700
Albuquerque, New Mexico 87103
(505) 245-8706

COMCAST
4611 Montbel Place NE
Albuquerque, NM 87107
(505) 761-6235

**CITY OF ALBUQUERQUE
UTILITY DEVELOPMENT**
P.O. Box 1293
Albuquerque, New Mexico 87103
(505) 768-2719








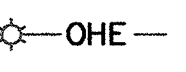
REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVED	ENGINEER		DATE		
 CHRISTOPHER J. GREEN #234 REGISTERED LANDSCAPE ARCHITECT 5-18-05		DRC Chairman				 5/21/05	
		Transportation					
		Water/Wastewater					
		Hydrology					
		CIP					
		Constr. Mngmt.				CITY ENGINEER	
		Constr. Coord.				DATE	
				PROJECT NUMBER	575194	SHEET 1 OF 18	
						G1.0	

- 1 FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE CITY CONSTRUCTION COORDINATION DIVISION. TWO (2) DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF SPECIFICATIONS.
- 2 THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE CITY SURVEY SECTION MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR WILL NOTIFY THE ENGINEER IF A MONUMENT IS DISTURBED. REPLACEMENT WILL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION AT THE CONTRACTOR'S EXPENSE. WHEN A CHANGE IS MADE IN THE FINISHED ELEV. OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR WILL, AT HIS OWN EXPENSE, HAVE THE CITY SURVEY SECTION ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4 OF SPECIFICATIONS.
- 3 THE SPECIFICATIONS USED FOR THIS PROJECT ARE THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1994 EDITION, UPDATE NO.6.
- 4 ALL NEW MANHOLES SHALL BE TYPE "E" (COA DWG. 2102) UNLESS OTHERWISE NOTED ON THE PLANS.
- 5 THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- 6 ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- 7 SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER IS CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.
- 8 THE CONTRACTOR WILL REPLACE ANY STRIPPING THAT HAS BEEN RUINED OR REMOVED IN THE COURSE OF CONSTRUCTION.
- 9 ALL EXCAVATION WILL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 10 ALL SIGNS AND CODING WILL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.
- 11 THE CONTRACTOR IS TO EXERCISE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT WILL BE HIS RESPONSIBILITY TO COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION. SEE SECTION 18 "UTILITIES", CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR CONTRACTOR REQUIREMENTS.
- 12 WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS, SAW CUT EXISTING PAVEMENT TO A STRAIGHT LINE AND AT RIGHT ANGLES AND REMOVE ANY BROKEN OR CRACKED PAVEMENT. NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.
- 13 ALL GAS VALVES, GAS MANHOLES, ELECTRICAL MANHOLES, TELEPHONE MANHOLES, AND UTILITY POLES WILL BE ADJUSTED TO GRADE BY EACH UTILITY COMPANY. CONTRACTOR WILL COORDINATE THROUGH CITY UTILITY COORDINATOR.
- 14 WHEN REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK IS REQUIRED, REMOVE BACK TO NEAREST SUITABLE JOINT UNLESS OTHERWISE DIRECTED BY THE CITY FIELD ENGINEER.
- 15 THE CONTRACTOR WILL NOTIFY THE NEW MEXICO ONE CALL SYSTEM 260-1990 TWO (2) WORKING DAYS PRIOR TO COMMENCING WORK IN NEW AREAS.
- 16 CONTRACTOR WILL MAKE ALL WATER VALVES AND MANHOLES ACCESSIBLE TO THE CITY AT ALL TIMES.
- 17 CONTRACTOR WILL PLACE BITUMINOUS MATERIAL WITH THE USE OF A LAYDOWN MACHINE WHERE PAVEMENT IS 8 FEET IN WIDTH OR WIDER.
- 18 ALL SUBGRADE AND SUBBASE MATERIAL ENCOUNTERED IN PAVEMENT REMOVAL AND REPLACEMENT THAT IS DETERMINED BY THE FIELD ENGINEER TO MEET THE SPECIFICATIONS, CAN BE REUSED. HOWEVER, THE MATERIAL WILL BE PROCESSED AND COMPACTED TO MEET MOISTURE CONTENT AND PERCENT COMPACTION REQUIRED BY THE SPECIFICATIONS.
- 19 CONTRACTOR WILL NOT PAVE OVER ANY SURFACE FEATURE, I.E., GAS VALVE, MANHOLE COVER, ETC. WITHOUT PRIOR APPROVAL FROM THE CITY FIELD ENGINEER.
- 20 CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY, OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO THE CITY OF ALBUQUERQUE.
- 21 ALL WATER VALVES AND FIRE HYDRANTS REMOVED TO BE SALVAGED AND RETURNED TO THE C.O.A.
- 22 MINIMUM BOTTOM WIDTH OF TRENCHES FOR RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 16 INCHES. BEDDING MATERIAL SHALL BE CLASS II, III, OR IV UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.
- 23 MINIMUM BOTTOM WIDTH OF TRENCHES FOR NON-RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 12 INCHES. BEDDING MATERIAL SHALL BE CLASS I, II, OR III.
- 24 THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES.
- 25 ALL STRUCTURAL CONCRETE WILL BE 4000 PSI UNLESS OTHERWISE NOTED ON PLANS.
- 26 ALL REINFORCING STEEL WILL BE GRADE 60.
- 27 ALL EXPOSED EDGES ON CAST-IN-PLACE CONCRETE STRUCTURES WILL HAVE A 1" CHAMFER UNLESS OTHERWISE NOTED.
- 28 ALL SPLICES IN REINFORCING STEEL TO BE 2-FOOT 6-INCH MINIMUM UNLESS OTHERWISE NOTED.

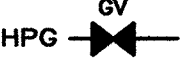
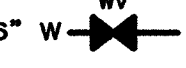




- 29 PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES. SHOULD A CONFLICT EXIST BETWEEN THE FIELD INFORMATION AND THE PLANS, THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- 30 THE REPLACEMENT OF THE EXISTING UTILITIES AND THE INSTALLATION OF NEW UTILITY LINES WILL BE COMPLETED IN ADVANCE OF STARTING THE PAVEMENT WORK. TEMPORARY PAVEMENT WILL BE PLACED IN ALL TRENCHES REQUIRED FOR THE UTILITY REPLACEMENTS IN THOSE AREAS THAT MUST MAINTAIN TRAFFIC UNTIL THE FINAL PAVEMENT WORK STARTS IN EACH AREA. TEMPORARY STRIPING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MAINTENANCE OF THE TEMPORARY PAVING AND STRIPING WILL BE AT THE CONTRACTOR'S EXPENSE.
- 31 TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE FIELD ENGINEER.
- 32 THE CONTRACTOR WILL CONTACT THE CITY OF ALBUQUERQUE TRAFFIC DIVISION 857-8025, ONE (1) WEEK IN ADVANCE OF ANY CHANGES REQUIRED IN THE TRAFFIC SIGNALIZATION OF THIS PROJECT. ALL WORK ASSOCIATED WITH NEW TRAFFIC SIGNALIZATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 33 ALL NEW STREET PAVING, DRIVEWAYS, SIDEWALKS, AND CURB AND GUTTERS, ABUTTING EXISTING AREAS SHALL MATCH THE ELEVATION OF THOSE AREAS.
- 34 PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. ROAD SHALL NOT BE OPENED TO TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 35 ALL EXCAVATED MATERIAL THAT IS NOT REQUIRED TO BE REUSED MUST BE REMOVED FROM THE PROJECT AREA WITHIN FOUR DAYS OF EXCAVATION. SPOIL PILES WILL BE ALLOWED ONLY AS DIRECTED BY THE CITY FIELD ENGINEER.
- 36 THE CONTRACTOR WILL COORDINATE THE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCE CAUSED BY UTILITY COMPANY WORK CREWS. A CONTRACT EXTENSION MAY BE ALLOWED AS DELINEATED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- 37 ALL CONSTRUCTION EASEMENTS ON PRIVATE PROPERTY WILL BE OBTAINED BY THE CITY OF ALBUQUERQUE PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 38 EXISTING MEDIAN CURB AND GUTTER AND STANDARD CURB AND GUTTER, NOT DISTURBED BY CONTRACTOR, BUT OUT OF ALIGNMENT, DISPLACED VERTICALLY, BADLY BROKEN AND/OR DETERIORATED, WILL BE REPLACED AS DIRECTED BY THE FIELD ENGINEER AND PAID FOR AT CONTRACT UNIT PRICES.
- 39 ALL TRAFFIC CONTROL DEVICES REQUIRED FOR DRIVEWAY CLOSURES, UTILITY CONSTRUCTION OR FOR OTHER REASONS AND NOT SHOWN ON THE SIGNING PLANS WILL BE FURNISHED BY THE CONTRACTOR AND WILL BE PAID AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND BID PROPOSAL. PRIOR TO PLACING THE TRAFFIC CONTROL DEVICES, THE CONTRACTOR WILL NOTIFY THE AFFECTED OWNERS IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR MUST MAKE PROVISIONS TO PROVIDE ACCESS TO PROPERTIES. REFER TO SECTION 19 OF THE SPECIFICATIONS.
- 40 ALL UTILITY LINES WHICH ARE NOT SPECIFICALLY DESIGNATED TO BE REMOVED AND REPLACED ON THE PLANS, WILL BE MAINTAINED IN SERVICE. SHORING, SHEETING AND OTHER MEANS OF SUPPORT SHALL BE EMPLOYED BY THE CONTRACTOR TO PREVENT DAMAGE OR LOSS OF THESE EXISTING UTILITIES AND THESE SHORING, SHEETING, AND SUPPORTS ARE CONSIDERED INCIDENTAL TO THIS PROJECT. BEAM AND CABLE OR OTHER ADEQUATE SUPPORTS WILL BE USED FOR TEMPORARY SUPPORT OF ALL UTILITY LINES WHICH CROSS THE TRENCH. ANY DAMAGE TO EXISTING UTILITIES WILL PROMPTLY BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SIGNIFICANT DEVIATION OF EXPOSED UTILITIES FROM THE LOCATIONS SHOWN ON THE PLANS SO THAT CONFLICTS CAN BE RESOLVED IN A TIMELY MANNER.
- 41 THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING COA INFRASTRUCTURE (C & G, PAVING, ETC.) DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND WILL REPAIR OR REPLACE SAME AT HIS OWN EXPENSE. HE WILL SUITABLY PROTECT THE CURB AND GUTTER FROM INCIDENTAL SPLASHING DURING THE TACK COAT APPLICATION AND WILL BE RESPONSIBLE FOR CLEANING SAME AT HIS OWN COST SHOULD SPLASHING OCCUR.
- 42 ALL INTERFERING PORTIONS OF ABANDONED UTILITY LINES WHICH ARE EXPOSED AS A RESULT OF CONSTRUCTION WILL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- 43 STATIONS OF STORM DRAIN INLETS ARE TO THE CENTER OF GRATE. ALL STORM DRAIN INLETS WILL BE TYPE "A" UNLESS OTHERWISE NOTED ON THE PLANS.
- 44 SHORING COSTS WILL BE CONSIDERED INCIDENTAL TO THE TRENCH AND BACKFILL COSTS.
- 45 THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING NPDES PERMITS REQUIRED BY APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
- 46 ALL STORM DRAIN AND CONNECTOR PIPE WILL BE CLASS IV REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED ON THE PLANS.
- 47 THE TERM REMOVE USED IN THIS PLAN SET INCLUDES THE DISPOSAL OF SAID MATERIAL IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS, LATEST EDITION.
- 48 CONTRACTOR WILL SURVEY AND LOG EXISTING ELEVATIONS OF CURB-AND-GUTTER, SIDEWALK, AND PAVEMENT WHICH WILL BE REMOVED FOR CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR WILL REPLACE REMOVED CURB-AND-GUTTER, SIDEWALK, DRIVE PADS, AND PAVEMENT TO ELEVATIONS PRIOR TO REMOVAL UNLESS OTHERWISE INDICATED ON THE PLANS.
- 49 CONTRACTOR WILL CONSTRUCT TEMPORARY ASPHALT PAVEMENT AS DIRECTED BY THE FIELD ENGINEER TO PROVIDE ACCESS TO LOCAL BUSINESS, ETC. TEMPORARY PAVEMENT SHALL BE REMOVED AND DISPOSED OF PRIOR TO PLACEMENT OF FULL WIDTH PAVEMENT SECTION. TEMPORARY PAVING SHALL BE PER COA STD. DWG. 2415 AND PAID FOR PER COA STD. SPECIFICATIONS.

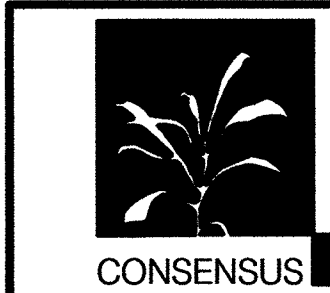
- 50 ALL CLASSES OF SEEDING SHALL BE DRY LAND MIX PLACED AT 1.5 LBS/1000 S.F. WITH FERTILIZER 21-12-12 PLACED AT 5 LBS/1000 S.F.
- 51 ALL ASPHALTIC CONCRETE SHALL BE MINIMUM 1800 LB. STABILITY AND COMPACTED TO 95% MODIFIED MARSHALL DENSITY UNLESS OTHERWISE NOTED ON THE PLANS.
- 52 ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
- 53 ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 54 THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF AT LEAST SEVEN (7) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION, 857-8200, TO INITIATE IMPLEMENTATION OF THE NON-PRESSURIZED CONNECTION PLAN.
- 55 FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- 56 CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- 57 CONTRACTOR SHALL ERECT TEMPORARY CHAIN LINK CONSTRUCTION FENCE. SUCH FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD AND REMOVED ONLY UPON FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.
- 58 QUANTITIES PROVIDED ON THE PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE IN ALL CASES.

EXISTING FEATURES LEGEND:

- EXISTING WOOD POST FENCE
- x— EXISTING CHAIN-LINK FENCE
- 2" HPG—— EXISTING GAS LINE W/ VALVE
- 6" W—— EXISTING WATERLINE W/ VALVE
- — EXISTING WATERLINE METER
- — EXISTING FIRE HYDRANT
- 6" SAS—— EXISTING SANITARY SEWER LINE W/ MANHOLE
- 36" RCP— EXISTING STORM DRAIN
- —OHE— EXISTING OVERHEAD ELECTRIC W/POLE
- UE— EXISTING UNDERGROUND ELECTRIC
- 44— EXISTING 1' CONTOUR
- 4945— EXISTING 5' CONTOUR
- ==== EXISTING CURB & GUTTER
- ===== EXISTING CONCRETE
- — — EXISTING BUILDING LINE
- — — EXISTING EASEMENT LINE
- s— EXISTING SPRINKLER HEAD

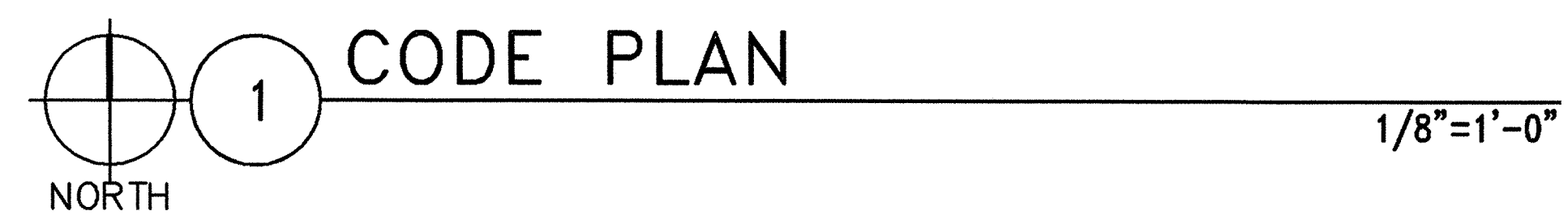
NEW FEATURES LEGEND:

- CONSTRUCTION CENTERLINE
- x— NEW CHAIN-LINK FENCE
- 2" HPG—— NEW GAS LINE W/ VALVE
- 6" W—— NEW WATERLINE W/ VALVE
- — NEW WATERLINE METER
- — NEW FIRE HYDRANT
- 6" SAS—— NEW SANITARY SEWER LINE W/ MANHOLE
- — NEW STORM DRAIN W/ MH
- NEW UTILITY POLE
- NEW 1' CONTOUR
- 4945— NEW 5' CONTOUR
- ==== NEW CURB & GUTTER
- ===== NEW CONCRETE
- — — NEW EASEMENT LINE
- s1— POT HOLE LOCATION W/ NO.
- ////// NEW EDGE OF PAVEMENT



CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

CITY OF ALBUQUERQUE DEPARTMENT OF SENIOR AFFAIRS			
TITLE: MANZANO MESA WATER SPRAYGROUND			
GENERAL NOTES			
Design Review Committee	City Engineer Approval	No. / Day / Yr.	
City Project No.	575194	Zone Map No. L-21	Sheet 2 Of 18 G1.1





City of Albuquerque
Martin J. Chavez, Mayor

Department of Municipal Development
John Castillo, Director

Final Acceptance Form

Date: _____
To: Dale Sekkary, Superintendent, Park Management, Parks & Recreation Department (PRD)
From: John Cassidos, Construction Manager, Park Design and Construction, DMD
Subject: _____ - PRD, Park Management Division Accepts Maintenance Responsibility

As of (date): _____
Project ID#: _____
Name of Facility: _____
Address: _____
Park Zoning: _____

... is officially assigned to the Park Management Division, Parks & Recreation Department, City of Albuquerque for maintenance. Outlined below is a description of work completed:

☐ Developed ☐ Renovation

Detailed Park Summary Information:

Total Park Acreage: _____

Acres Developed or Renovated: _____

Acres of Irrigated Turf: _____

_____ Cool Season: _____
_____ Warm Season: _____

Description of Project

Effective date: _____

NO MORE CHARGES for new water, electric and gas

... will be accepted by the contractor: _____

... are to occur against activity numbers: _____

Water Meter Reading: _____	Electric Meter Reading: _____	Gas Meter Reading: _____
Water Meter Number: _____	Electric Meter Number: _____	Gas Meter Number: _____

1

Project Name _____

Amenities	Total Existing	# Removed	# Added	Current Total
Backstops				
Baseball Fields (Lit)				
Basketball Courts (Full)				
Basketball Courts (Half)				
BBQ Grills				
Benches				
Bike Racks				
Bleachers				
Concrete Sidewalks				
Crusher Fines/Trail/Distance				
Drinking Fountains				
Exercise Stations				
Fencing(LF/Height)				
Horseshoe Courts				
Modular Skate Facility				
Mutt Mitt Box				
Parking Spaces				
Parking Spaces (ADA)				
Pedestrian Bridge				
Picnic Tables				
Play Areas				
Play Structures (2 to 5 yrs)				
Play Structures (5 to 12 yrs)				
Pools (Indoor)				
Pools (Outdoor)				
Recreation Fields				
Shade Structures				
Skate Facilities				
Softball Fields (Lit)				
Softball Fields (Unlit)				
Tennis Courts (Lit)				
Tennis Courts (Unlit)				
Trash Receptacles				
Turf Acres				
Visitors Center				
Volleyball Courts				
Walking Paths(LF)				
Youth Baseball Fields				

3

Warranty and Vendor Information:

The following is a listing of all labor, vendors and product warranties pertaining to project:
During the first year all calls regarding warranty information will go to the contractor. After one year calls regarding warranty go directly to the vendor.

Contractor: _____
Contact Name: _____
Phone: _____
Warranty: _____
One (1) year labor and installation
One (1) year growing season plant material
One (1) year irrigation/material

Vendor: _____
Phone: _____
Application: _____
Product: _____
Model#: _____
For a period of (time frame): _____
commencing on (starting date): _____
and ending on (ending date): _____

Vendor: _____
Phone: _____
Application: _____
Product: _____
Model#: _____
For a period of (time frame): _____
commencing on (starting date): _____
and ending on (ending date): _____

Vendor: _____
Phone: _____
Application: _____
Product: _____
Model#: _____
For a period of (time frame): _____
commencing on (starting date): _____
and ending on (ending date): _____

Vendor: _____
Phone: _____
Application: _____
Product: _____
Model#: _____
For a period of (time frame): _____
commencing on (starting date): _____
and ending on (ending date): _____

Vendor: _____
Phone: _____
Application: _____
Product: _____
Model#: _____
For a period of (time frame): _____
commencing on (starting date): _____
and ending on (ending date): _____

2

Other amenities added and/or removed (Please describe, note the number, and specify whether added or removed):

The DMD, Project Manager from Park Design and Construction Division for this Capital Project

(project name) _____

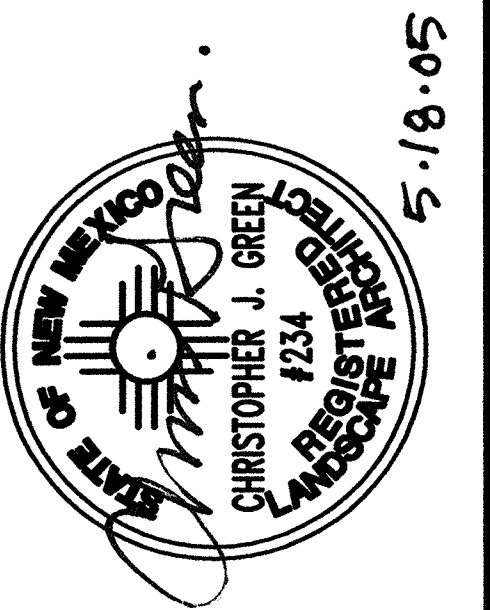
- ☐ John Cassidos
☐ David Flores
☐ Colleen Frenz
☐ Clay Gatewood
☐ Josie Martinez-Marino
☐ Dorothy Vinson

Email copies to:

jayhart@cabq.gov, szuschlan@cabq.gov, pyoung@cabq.gov, cfrenz@cabq.gov, rlostrom@cabq.gov,
jeffhart@cabq.gov, stevesierra@cabq.gov, rickrtve@cabq.gov, DJFlores@cabq.gov, cmsandoval@cabq.gov

4

AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEERS SEAL			
CONTRACTOR	WORK	DATE						FIELD NOTES	BY	DATE					
	STARTED BY	DATE													
	ACCEPTANCE BY	DATE													
	FIELD	DATE													
	DRAWINGS	DATE													
	CORRECTED BY	DATE													
MICRO-FILM INFORMATION															
	RECORDED BY	DATE													
	NO.														



NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	
DESIGNED BY	DATE		
DRAWN BY	DATE		
CHECKED BY	DATE		

CITY OF ALBUQUERQUE DEPARTMENT OF SENIOR AFFAIRS			
TITLE: MANZANO MESA WATER SPRAYGROUND ACCEPTANCE FORMS			
Design Review Committee	City Engineer Approval	Local Design Update	No. / Day / Yr.
			No. / Day / Yr.
City Project No.	575194	Zone Map No. L-21	Sheet 4 of 18 G1.3



EXISTING CONDITIONS:

PROJECT AREA: 16,268 SF = 0.373 AC

LAND TREATMENT TYPES: 65% B - TURF GRASS < 10% SLOPE
10% C - XERISCAPE AREAS
25% D - IMPERVIOUS CONC. PADS & WALKS

FROM TABLE A-9 OF THE DPM, THE PEAK DISCHARGE FROM THE EXISTING SITE IS:

$$Q_{P0} = (2.60 \text{ CFS/AC})(0.65)(0.373 \text{ AC}) + (3.45 \text{ CFS/AC})(0.10)(0.373 \text{ AC}) + (5.02 \text{ CFS/AC})(0.25)(0.373 \text{ AC})$$

QPO= 1.23 CFS



PROPOSED CONDITIONS:

PROJECT AREA: 7,196 SF = 0.165 AC

THE PROPOSED CONDITION WILL REMOVE 7196 SF (0.165 AC) OF AREA FROM THE STORM DRAIN SYSTEM. THE AREA WILL DRAIN TO A WATER RECYCLE SYSTEM AND AFTER SEVERAL CYCLES, WILL BE FLUSHED TO THE SANITARY SEWER.

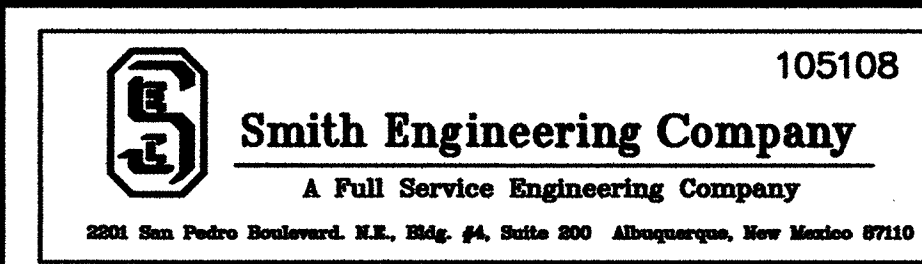
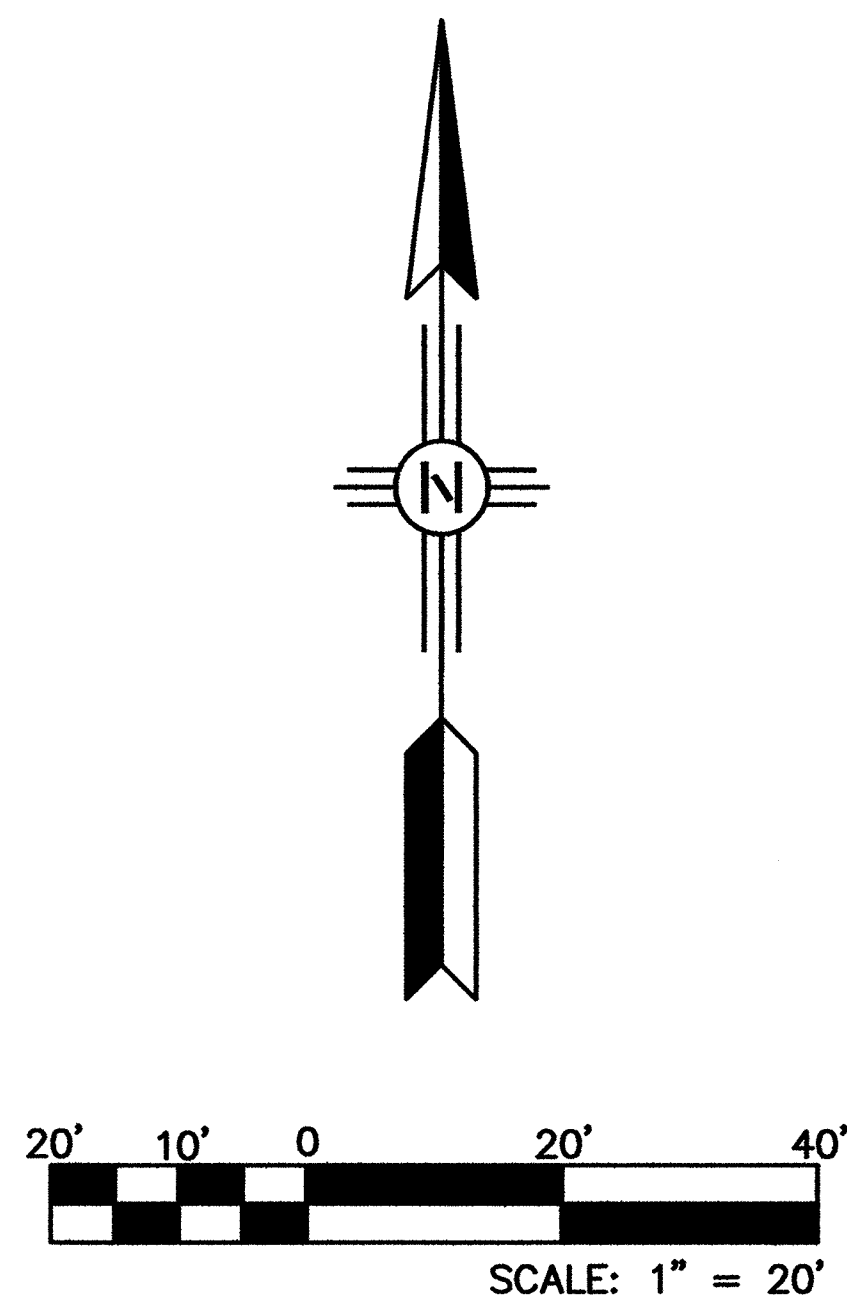
THE LAND TREATMENT TYPES FOR THE REMAINING AREA (16,268-7196 SF = 9072 SF (0.208 AC)) IS:

LAND TREATMENT TYPES: 45% B - TURF GRASS < 10% SLOPE
20% C - XERISCAPE AREAS
35% D - IMPERVIOUS CONC. PADS & WALKS



$$Q_P = (2.60 \text{ CFS/AC})(0.45)(0.208 \text{ AC}) + (3.45 \text{ CFS/AC})(0.20)(0.208 \text{ AC}) + (5.02 \text{ CFS/AC})(0.35)(0.208 \text{ AC})$$

$Q_P = 0.75 \text{ CFS}$

PEAK DISCHARGE IS REDUCED BY APPROXIMATELY 40% (FROM 1.23 CFS TO 0.75 CFS) FROM THE EXISTING DRAINAGE CONDITIONS TO THE PROPOSED DRAINAGE CONDITIONS.



LEGEND

	FLOW ARROW
	BASIN BOUNDARY



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924 Park Avenue SW
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e-mail: cp@consensusplanning.com

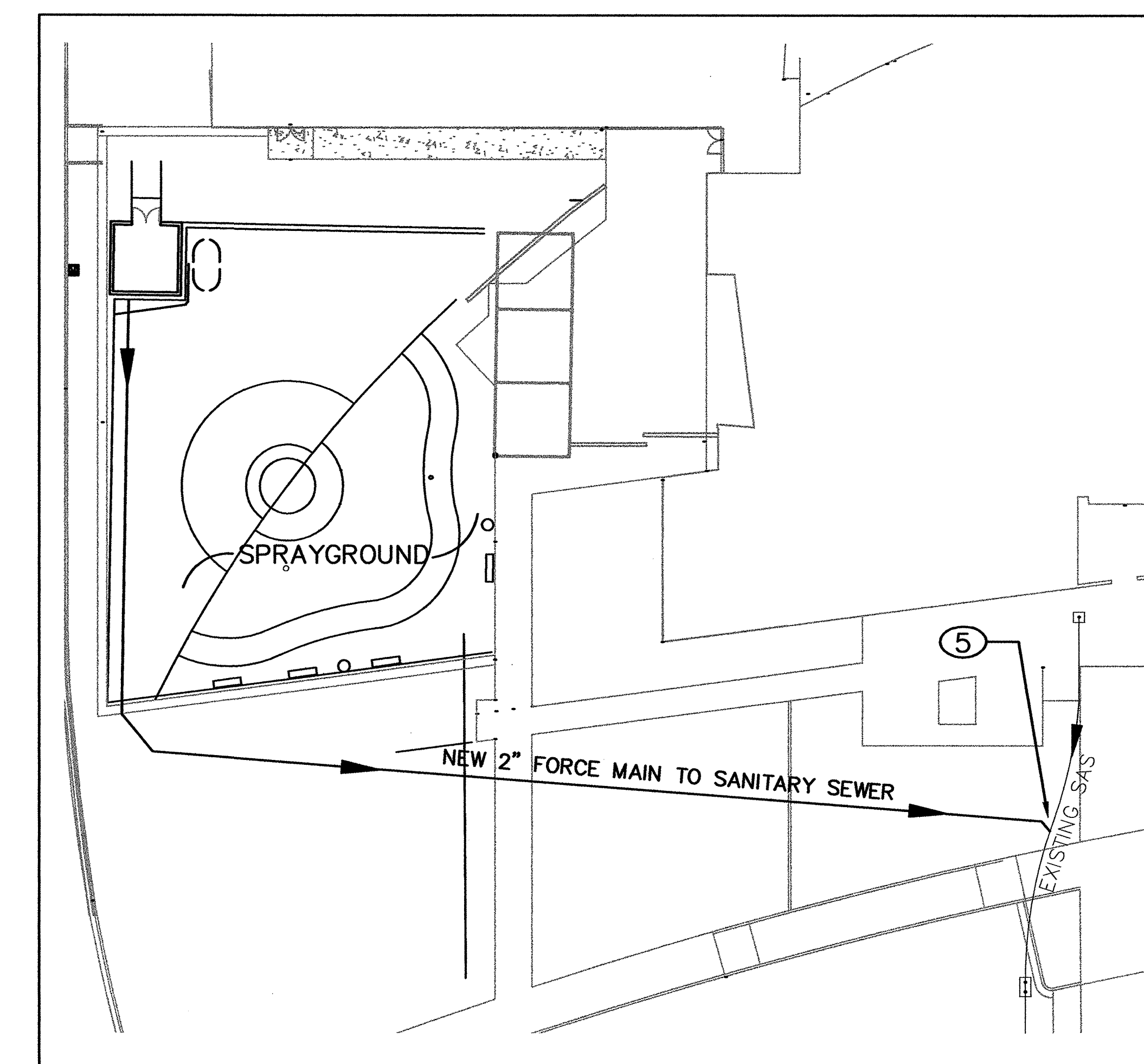
CITY OF ALBUQUERQUE
DEPARTMENT OF SENIOR AFFAIRS

TITLE: MANZANO MESA WATER SPRAYGROUND
DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.

City Project No.	Zone Map No. L-21	Sheet 1 Of 1 C1.0A
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[illegible]



						ENGINEERS SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
								NO. BY DATE 				CONTRACTOR 	
												WORK STARTED BY DATE ASSESSED BY DATE VERIFICATION BY DATE DRAWINGS PREPARED BY DATE MICRO-FILM INFORMATION RECORDED BY DATE NO.	

Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.
City Project No.	575194	Zone Map No.	1 of 1	Sheet 6 of 18

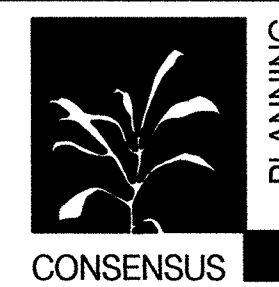
				REVISIONS				DESIGN			
NO.		DATE		REMARKS		BY		DESIGNED BY		DATE	
									CG		5/05
									DRAWN BY	MA	5/05
									CHECKED BY	CG	5/05



3,400 S.F. Park Blend Sod
COA Specification Section 1010 - Grass Sodding

GENERAL LANDSCAPE NOTES

1. Prior to beginning work on the project, the Landscape Contractor shall review the project in the field with the Owner's Representative.
2. If discrepancies occur between the drawings and the site, the Landscape Contractor shall notify the Owner's Representative for clarification prior to proceeding on that portion of work.
3. All planting areas are to have needs and competitive vegetation removed prior to preparation for planting.
4. All existing plant materials shall be protected during construction. Damaged materials shall be replaced in kind at the Contractor's expense.
5. Plant quantities are provided for Contractor's convenience only, plans shall take precedence.
6. The Owner's Representative shall approve all plant material prior to planting. In addition, the Owner's Representative reserves the right to refuse any plant material deemed unacceptable. The Owner's Representative is to approve any and all substitutions prior to installation. Contact Jeff Hart, Park Management Division Urban Forester, at 857-6650 for plant inspections.
7. It is the Landscape Contractor's responsibility to locate all underground utilities prior to commencement of planting operations. Any damage to utilities will be repaired at Contractor's expense.
8. Planting installation shall be in accordance with all City of Albuquerque standard specifications (Section 1005 - Planting) and details (Isolated Tree Planting - 2714, Tree Planting on Slope - 2716, and Isolated Shrub Planting - 2717).
9. Planting areas shall be top dressed with a 3" layer of Santa Fe Brown rock mulch (1/8") over Mirafit weed control fabric.

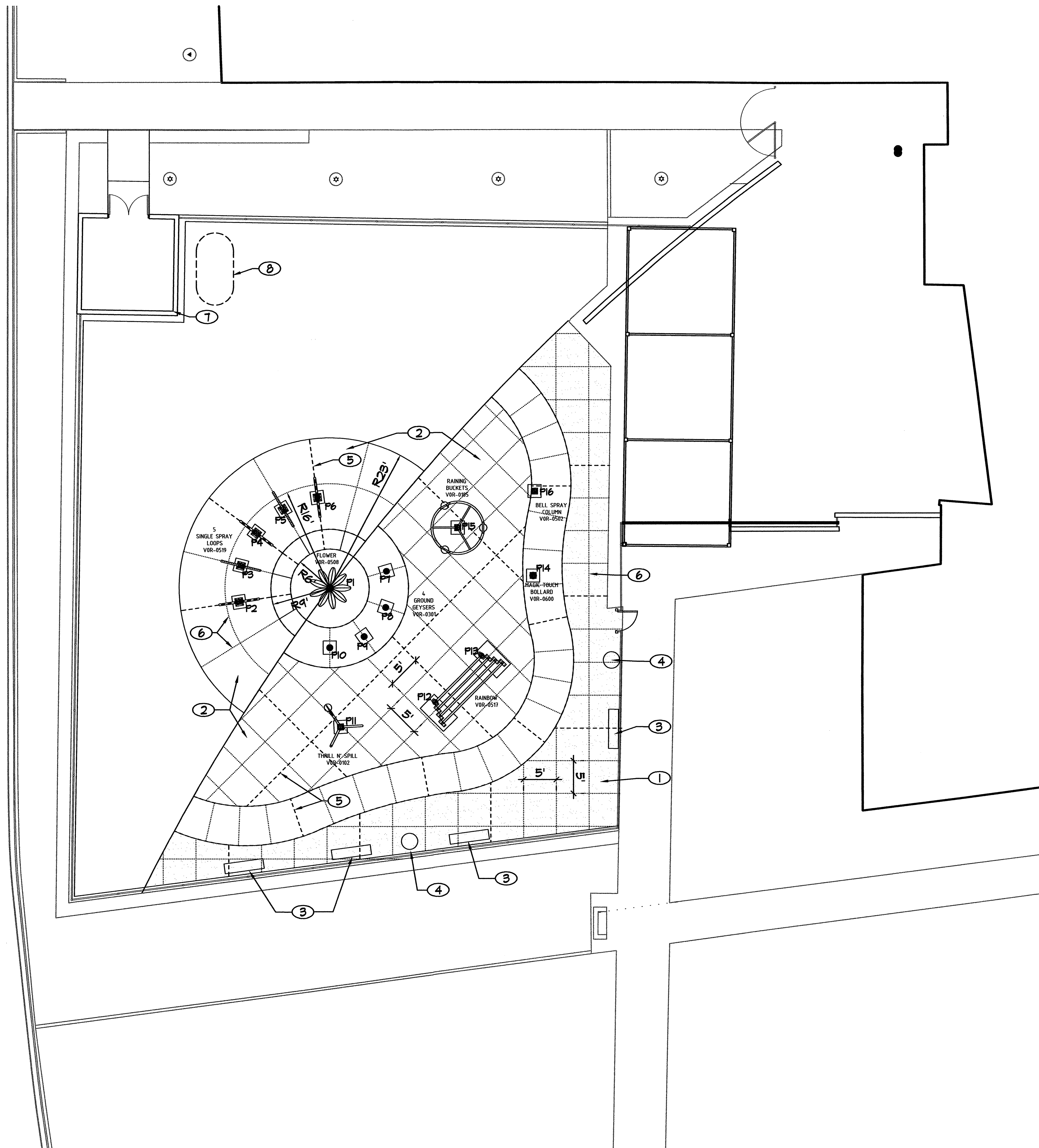


PLANNING
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CITY OF ALBUQUERQUE
DEPARTMENT OF SENIOR AFFAIRS

TITLE:	MANZANO MESA WATER SPRAYGROUND PLANTING PLAN
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Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.	Mo. / Day / Yr.
City Project No.	575194	Zone Map No. L-21	Sheet 8 of 18	
			L.1	



KEYED NOTES

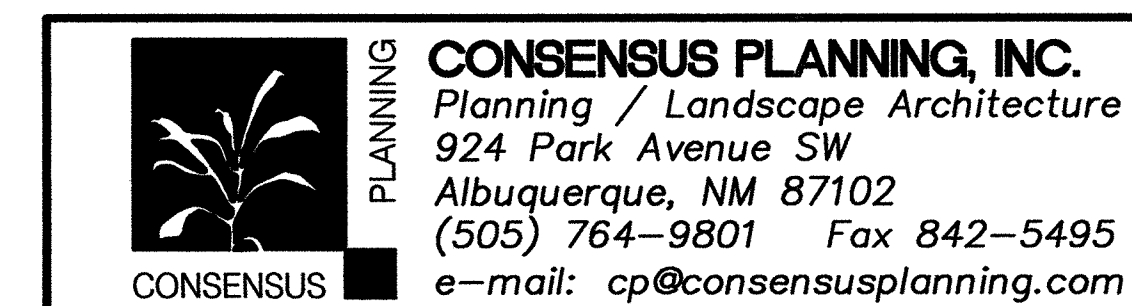
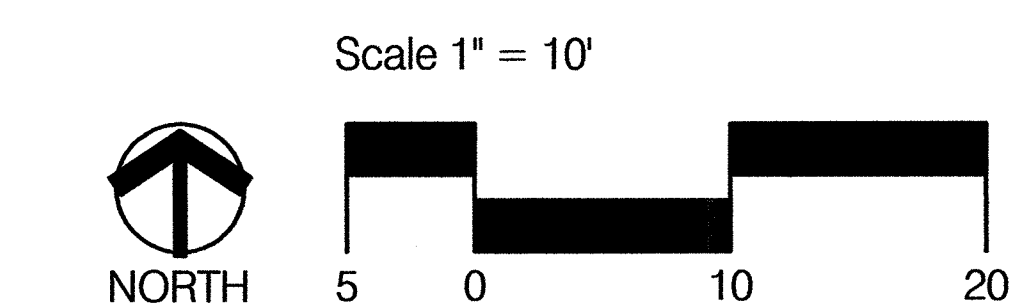
- 1 Integral Colored Concrete (GC Products, Color: Light Oak)
w/Medium Broom Finish and 4" smooth trowel edge around each panel.
- 2 Concrete Slab w/expansion joints and sawcut control joints as shown.
- 3 Bench (Mabash Valley CM8560, Color: Blue)
- 4 Litter Receptacle (McClintock RSO-25, Color: Green)
- 5 Expansion joint - typ. w/plastasized caulk.
- 6 Sawn control joint - typ. w/plastasized caulk.
- 7 Mechanical Building - see architectural/mechanical/electrical plans.
- 8 Underground water storage tank - see mechanical drawings.

SPRAY EQUIPMENT LIST

- VOR-0508 / Flower (1)
VOR-0514 / Single Spray Loop (5)
VOR-0301 / Ground geyser (4)
VOR-0102 / Thrill N'Spill (1)
VOR-0517 / Rainbow (1)
VOR-0105 / Raining Buckets (1)
VOR-0502 / Bell Spray Column (1)
VOR-0600 / Magic Touch Bollard (1)

POINT COORDINATES

#	NORTHING	EASTING
P1	4800008.37	417602.41
P2	4800006.24	417588.56
P3	4800011.71	417588.85
P4	4800016.77	417591.22
P5	4800020.44	417595.33
P6	4800022.24	417600.54
P7	4800010.93	417611.06
P8	4800005.43	417610.94
P9	4800001.03	417607.64
P10	4799999.37	417602.40
P11	4799987.36	417604.03
P12	4799991.08	417618.44
P13	4799998.15	417625.56
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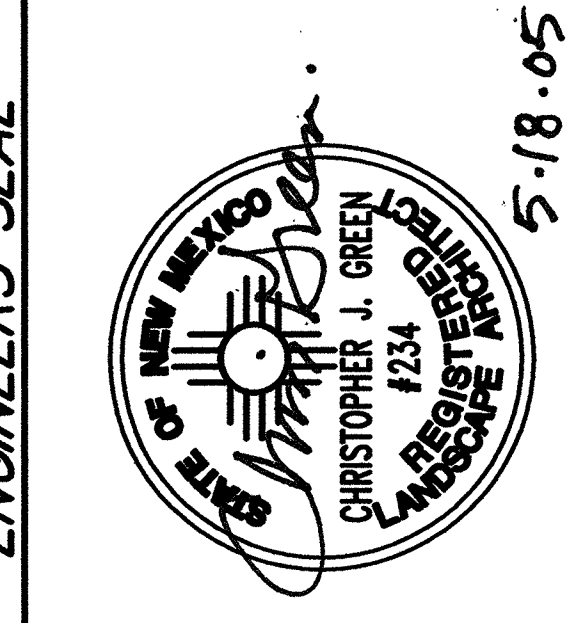


CITY OF ALBUQUERQUE
DEPARTMENT OF SENIOR AFFAIRS

TITLE: MANZANO MESA WATER SPRAYGROUND
SPRAYGROUND LAYOUT PLAN

Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.

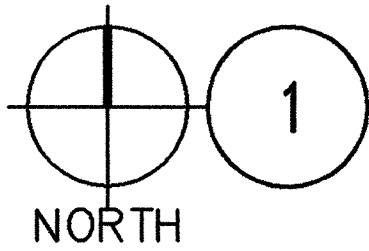
City Project No. 575194 Zone Map No. L-21 Sheet 9 of 18
L12



NO.	DATE	REMARKS	BY
		DESIGN	
		DESIGNED BY CG	5/05
		DRAWN BY MA	5/05
		CHECKED BY CG	5/05

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

BENCH MARKS	
CONTRACTOR	DATE
NO.	BY
AS BUILT INFORMATION	
CONTRACTOR	DATE
NO.	BY


$$1'' = 10' - 0''$$

NORTH

A. DRAWINGS OF EXISTING AREAS WERE DERIVED FROM CONSTRUCTION DOCUMENTS OF THE ORIGINAL BUILDING AS WELL AS FIELD MEASUREMENTS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK AFFECTED BY SUCH INCONSISTENCIES. THE CONTRACTOR SHALL MAKE SURE THAT THE INTENT OF THE DRAWINGS IS MET. ACTUAL CONDITIONS SHALL GOVERN OVER WRITTEN DIMENSIONS, WRITTEN DIMENSIONS SHALL GOVERN OVER ACTUAL DRAWING REPRESENTATION. ATTEMPTS TO UTILIZE SCALING OR ELECTRONIC MEANS TO DETERMINE QUANTITY TAKE-OFF MAY BE AFFECTED BY NOT-TO-SCALE ITEMS. THE ARCHITECT AND CONSULTING ENGINEERS ARE NOT RESPONSIBLE FOR, AND SHALL NOT BE HELD LIABLE FOR THE ACCURACY OF RESULTS OF SUCH TAKE OFFS.

B. ALL EXISTING SURFACES AND FINISHES WITHIN THE AREA OF WORK OR AFFECTED BY THE WORK SHALL BE PROTECTED DURING DEMOLITION AND (RE)CONSTRUCTION. EXISTING MATERIALS AND SYSTEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED & REPLACED AT THE CONTRACTOR'S EXPENSE.

1. EXISTING MULTI-GENERATIONAL CENTER TO REMAIN.
2. EXISTING CONCRETE SIDEWALK TO REMAIN.
3. EXISTING ROAD (PAVING, CURBS, ETC.) TO REMAIN.
4. EXISTING XERIS/ OR LANDSCAPING AREA TO REMAIN.
5. EXISTING TREE/SHRUB TO REMAIN.
6. EXISTING STEEL SHADE STRUCTURE TO REMAIN.
7. LINE OF EXISTING OVERHEAD CANOPY OR STRUCTURE ABOVE.
8. EXISTING SITE WALL TO REMAIN.
9. EXISTING SITE FURNISHING TO REMAIN.
10. EXISTING LIGHT POST TO REMAIN.
11. EXISTING CONCRETE CURB TO REMAIN.
12. REMOVE AND DISPOSE OF EXISTING TREE/SHRUB.
13. REMOVE AND DISPOSE OF EXISTING TURF/IRRIGATION AS NOTED ON THE PLANTING & IRRIGATION PLANS.
14. REMOVE STRIP OF CONCRETE WHERE SHOWN TO ALLOW FOUNDATION WORK. SEE SITE PLAN FOR EXTENT OF NEW GATE AT THIS LOCATION.
15. REMOVE CONCRETE WHERE SHOWN TO ALLOW FOUNDATION WORK. SEE SITE PLAN FOR EXTENT OF NEW CURB AT THIS LOCATION.
16. REMOVE SECTION OF CONCRETE CURB WHERE SHOWN TO ALLOW PLACEMENT OF NEW SIDEWALK RAMP. LOCATE RAMP CUT BY CENTERING NEW PAVING ON THE DOORS INTO THE MECHANICAL OUT-BUILDING. SEE SITE PLAN AND ENLARGED FLOOR PLANS FOR EXTENT OF NEW WORK AT THIS LOCATION.

<i>AS BUILT INFORMATION</i>		<i>MICRO-FILM INFORMATION</i>	
CONTRACTOR	DATE	RECORDED BY	DATE
WORKING BY	DATE	NO.	
INSPECTOR'S ACCEPTANCE BY	DATE		
FIELD VERIFICATION BY	DATE		
DRAWINGS CORRECTED BY	DATE		

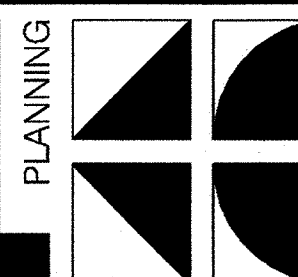
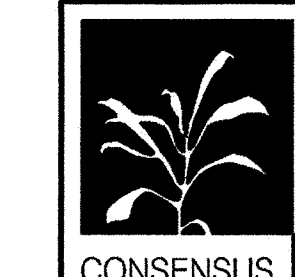
BENCH MARKS

SURVEY INFORMATION

ARCHITECT'S SEAL



NO.	DATE	REMARKS	BY
<i>REVISONS</i>			
DESIGN			
DESIGNED BY: KELLS + CRAIG ARCHITECTS		DATE: 5.18.2005	
DRAWN BY: SAM02		DATE	
CHECKED BY: SEK		DATE	

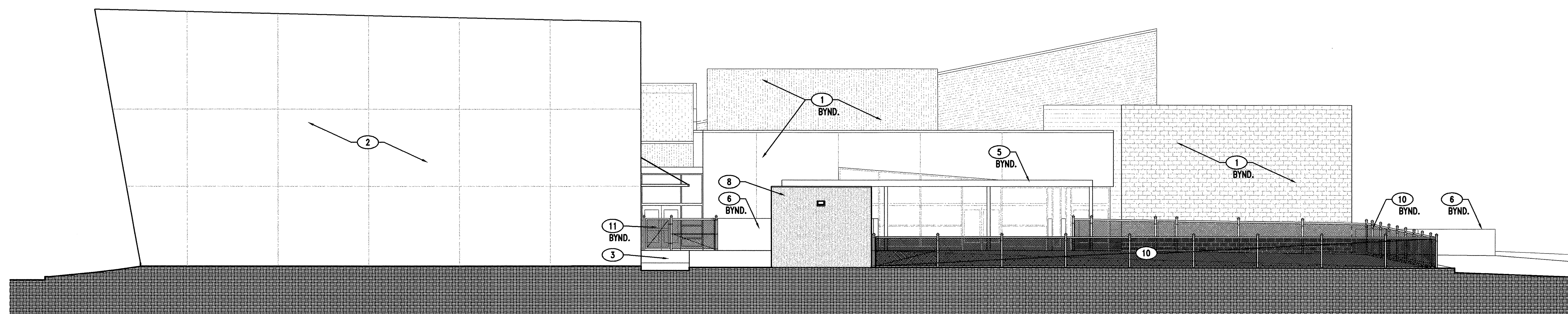
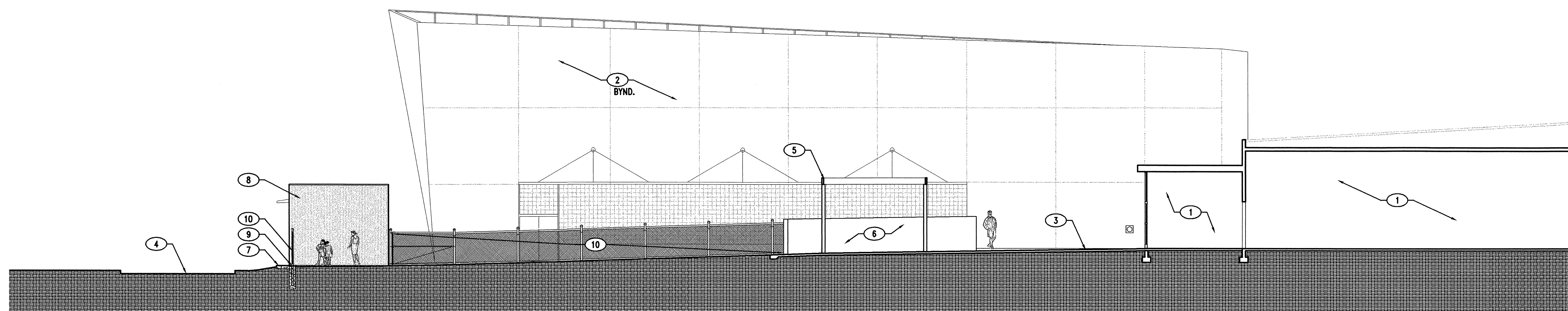
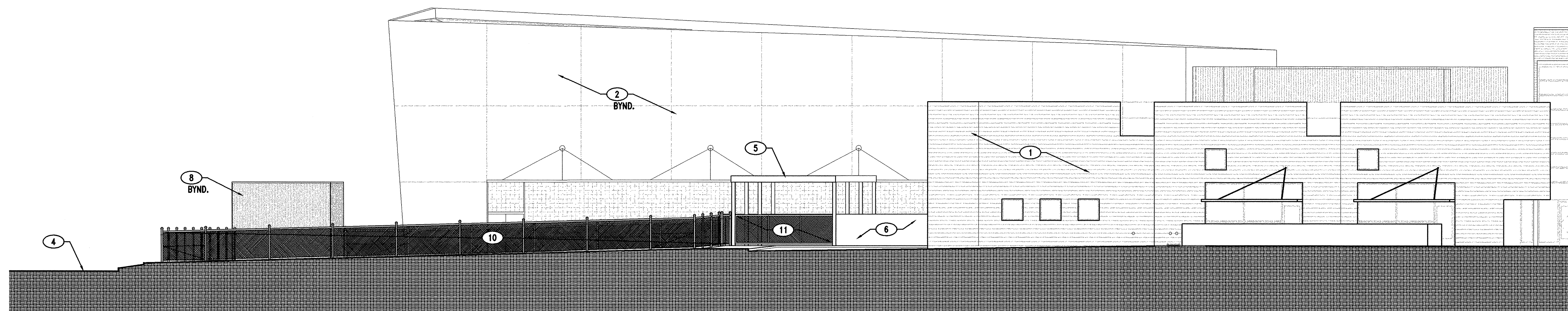


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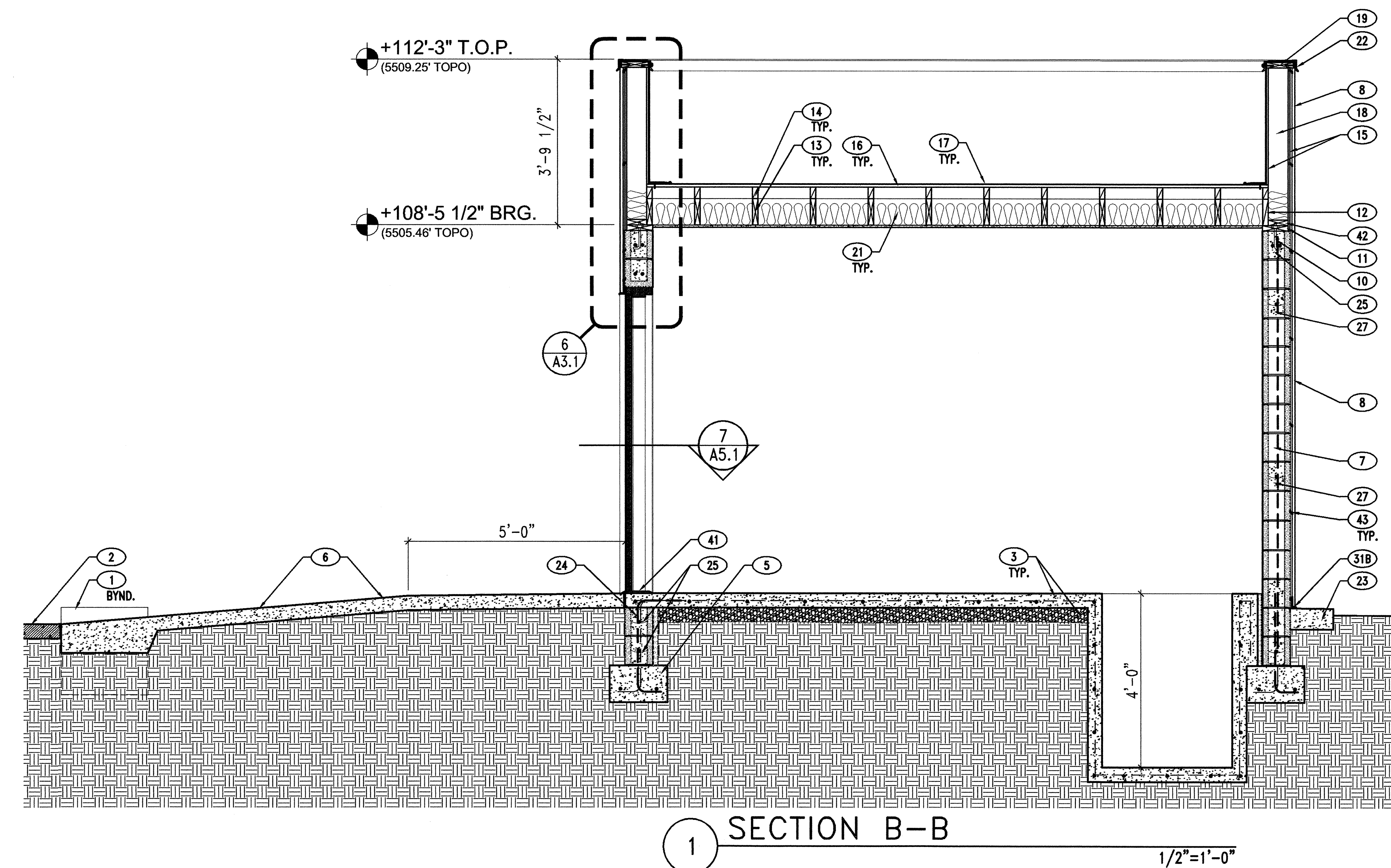
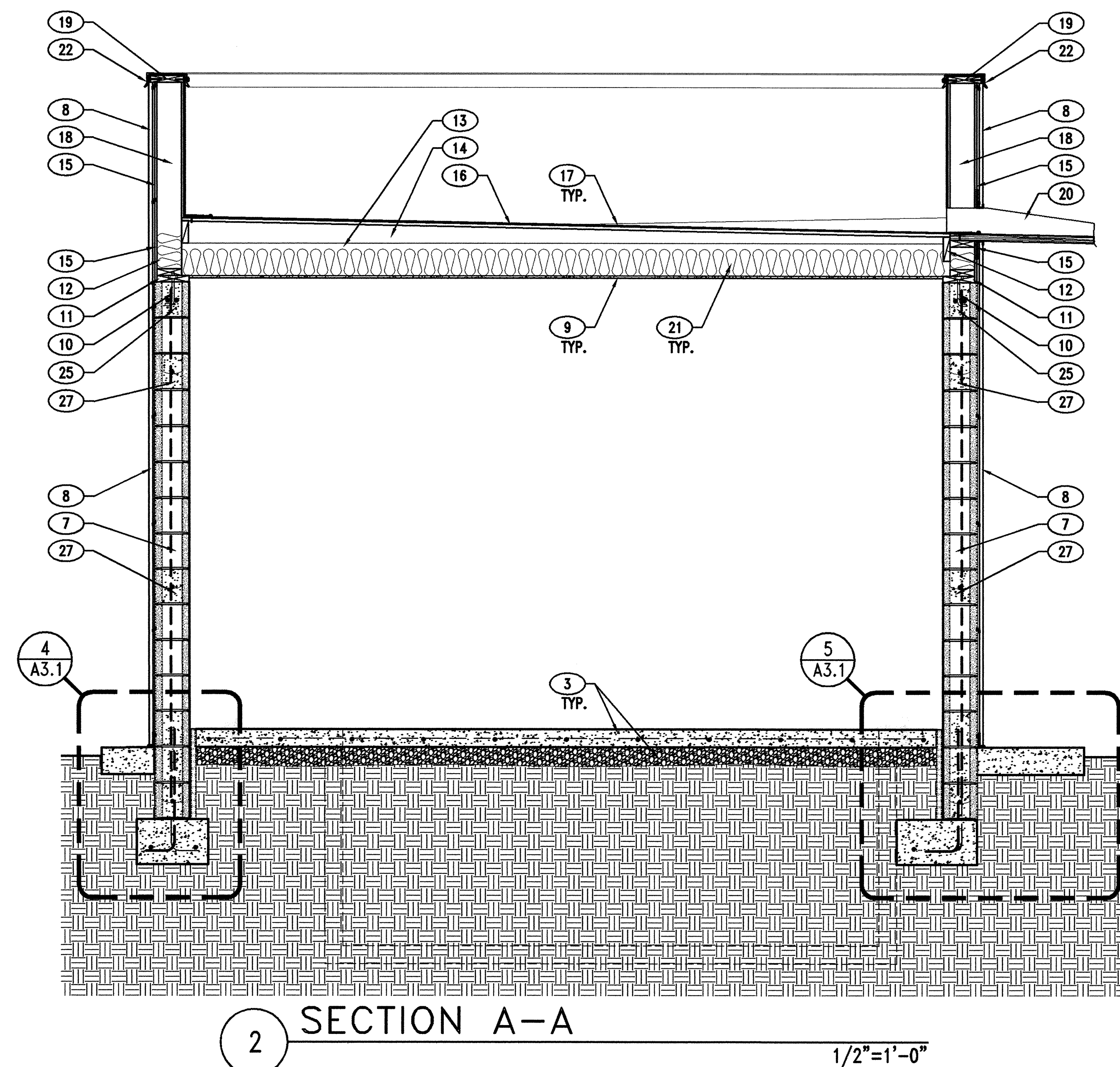
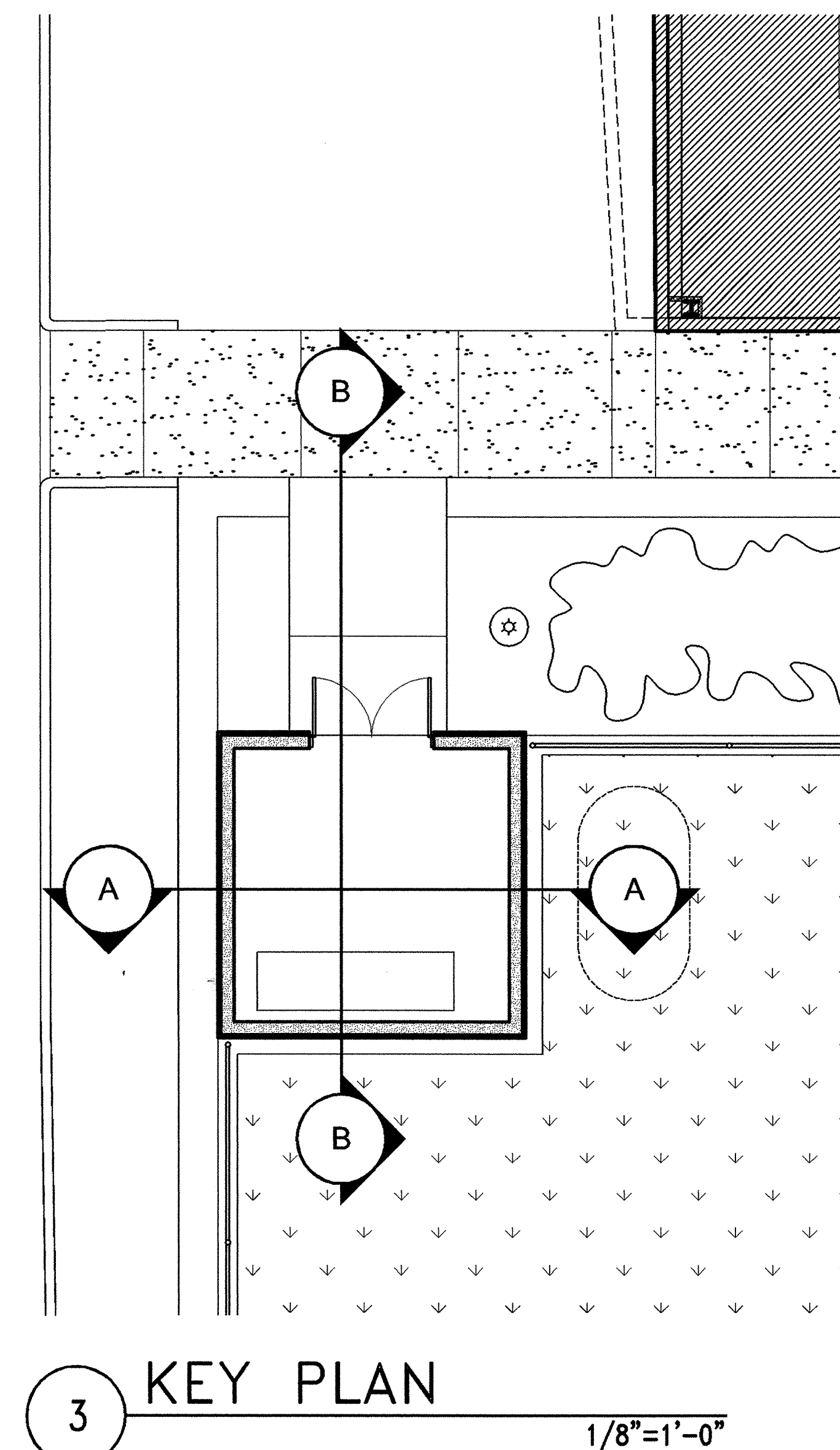
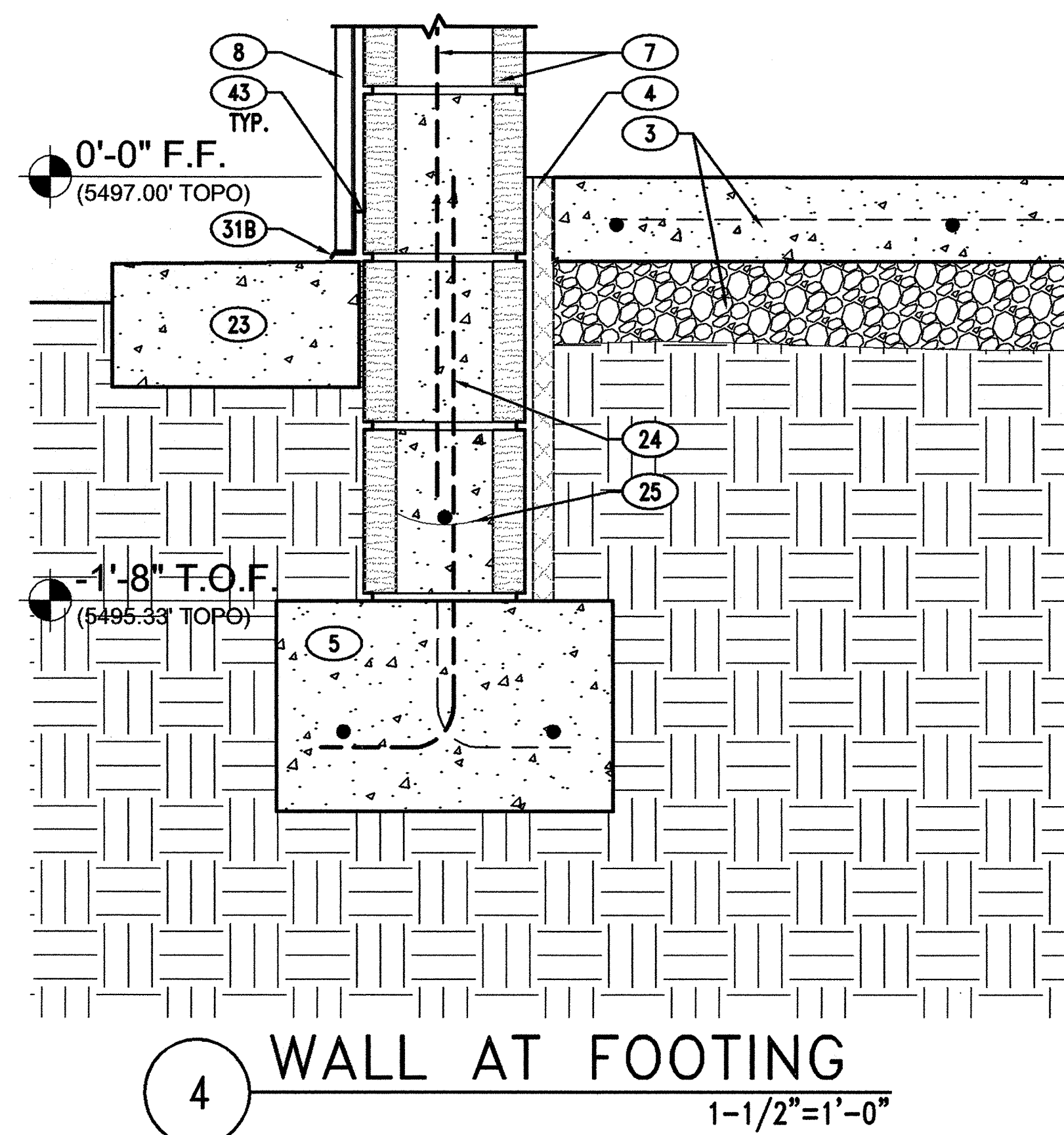
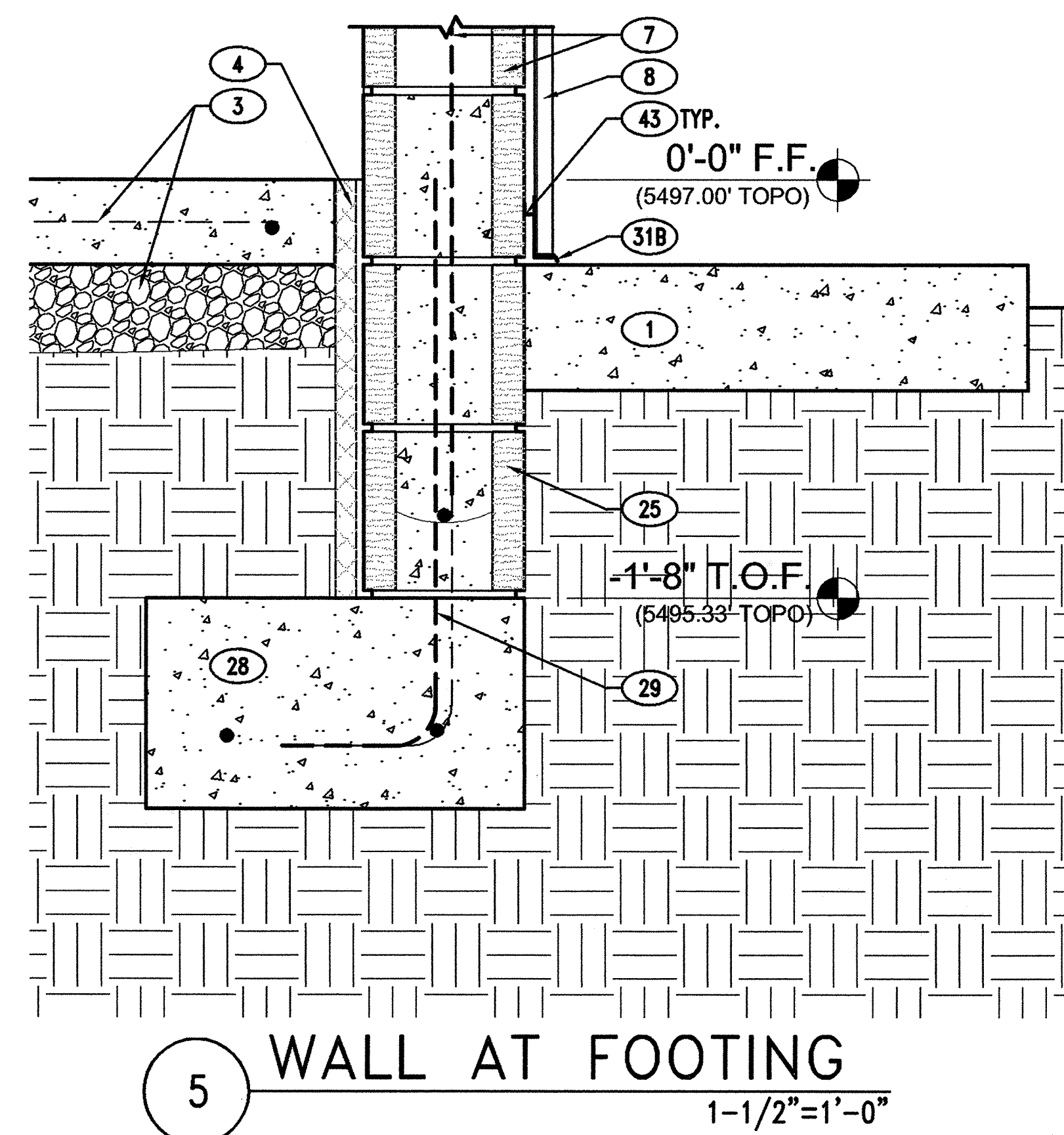
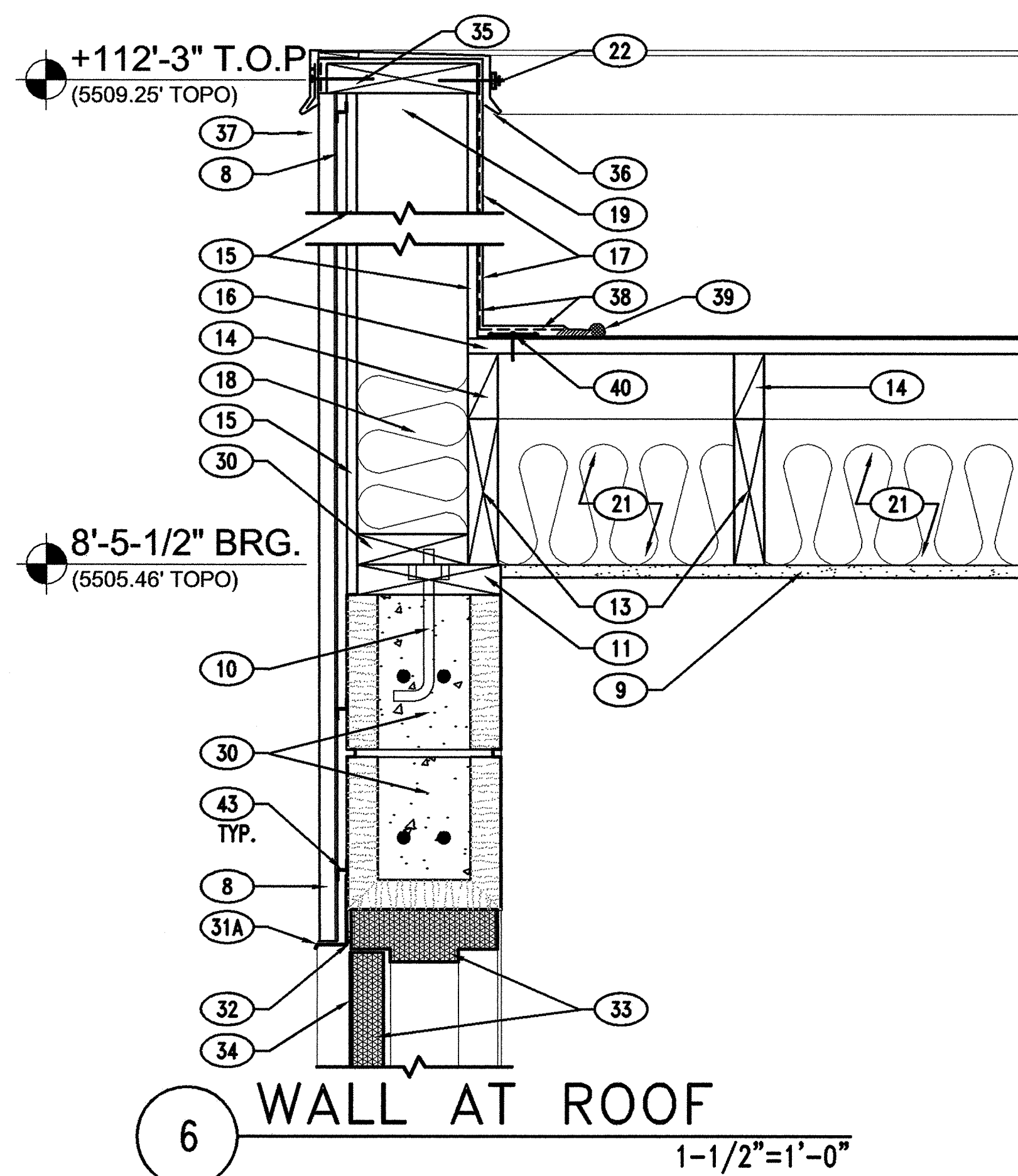
CITY OF ALBUQUERQUE DEPARTMENT OF SENIOR AFFAIRS				
TITLE: MANZANO MESA WATER SPRAYGROUND SITE DEMOLITION PLAN				
Design Review Committee		City Engineer Approval		Last Design Update No. / Day / Yr. No. / Day / Yr. No. / Day / Yr. No. / Day / Yr. No. / Day / Yr.
City Project No. #575194		Zone Map No. L-21		Sheet 10 of 18 ASD1.0



CITY OF ALBUQUERQUE DEPARTMENT OF SENIOR AFFAIRS				
TITLE: MANZANO MESA WATER SPRAYGROUND ARCHITECTURAL SITE PLAN				
Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.
City Project No. #575194	Zone Map No. L-21	Sheet 11 of 18	AS.1.0	



City Project No. #575194	Zone Map No. I-21	Sheet 12 of 18	A2.
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GENERAL NOTES:

- DRAWINGS OF EXISTING AREAS WERE DERIVED FROM CONSTRUCTION DOCUMENTS OF THE ORIGINAL BUILDING AS WELL AS FIELD MEASUREMENTS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK AFFECTED BY SUCH INCONSISTENCIES. THE CONTRACTOR SHALL MAKE SURE THAT THE INTENT OF THE DRAWINGS IS MET. ACTUAL CONDITIONS SHALL GOVERN OVER WRITTEN DIMENSIONS. WRITTEN DIMENSIONS SHALL GOVERN OVER ACTUAL DRAWING REPRESENTATION. ATTEMPTS TO UTILIZE SCALING OR ELECTRONIC MEANS TO DETERMINE QUANTITY TAKE-OFF MAY BE AFFECTED BY NOT-TO-SCALE ITEMS. THE ARCHITECT AND CONSULTING ENGINEERS ARE NOT RESPONSIBLE FOR, AND SHALL NOT BE HELD LIABLE FOR THE ACCURACY OF RESULTS OF SUCH TAKE-OFFS.
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KEYED NOTES:

- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- NEW 4" CONCRETE FLOOR SLAB WITH #3 REBAR AT 16" O.C.E.W. OVER 4" GRAVEL LAYER. TOP WITH SEALER & HARDENER.
- 1" POLY-ISO PERIMETER INSULATION.
- 16"x10" CONCRETE FOOTING WITH (2) #4 REBAR, CONTINUOUS, UNLESS OTHERWISE NOTED.
- NEW CONCRETE SIDEWALK. SLOPE TO MATCH EXISTING SIDEWALK GRADE. LEAVE AT LEAST 5'-0" LANDING IN FRONT OF DOORS WITH MINIMAL SLOPE TO DRAIN AWAY FROM THE MECHANICAL BUILDING.
- 8" CMU's GROUTED SOLID IN REINFORCED CELLS (SEE BUILDING SECTIONS ON SHEET A3.1) AND BELOW GRADE WITH #5 REBAR VERTICAL AT 32" O.C. SEE SPECIFICATIONS ON SHEET A8.1.
- CORRUGATED METAL GALVALUME FINISH PANELS. MATCH MATERIAL, THICKNESS, DIMENSION, FINISH, AND FASTENERS USED ON THE EXISTING MULTI-GENERATION CENTER. SEE SPECIFICATIONS.
- 5/8" TYPE 'X' M.R. GYP. BD., PAINTED W/ TWO COATS LATEX PAINT.
- 6" ANCHOR BOLTS EMBEDDED IN TOP BONDING COURSE @ 48" O.C.
- 2x8 P.T. SILL PLATE, CONTINUOUS
- 2x8 P.T. BLOCKING
- 2x8 P.T., DOUGLAS FIR #1 RAFTERS AT 16" O.C.
- P.T. 2x6's RIPPED TO SLOPE AT MINIMUM OF 1/4" PER FOOT
- 1/2" O.S.B. SHEATHING
- 5/8" EXTERIOR GRADE PLYWOOD SHEATHING.
- MECHANICALLY FASTENED TPO ROOFING SYSTEM.
- PARAPET WALL WITH P.T. 2x6's AT 16" O.C.
- NAIL TO RAFTERS ON BEARING SIDES.
- P.T. 2x8 TOP PLATE.
- STEEL SCUPPER. SEE DETAILS #10 & #11/A4.2 FOR MORE INFO.
- 6" BATT INSULATION
- CAP FLASHING. SEE SPECIFICATIONS ON SHEET A8.1.
- NEW 12" WIDE, CONCRETE MOWING CURB. SLOPE AWAY FROM BUILDING.
- #5 REBAR AT 32" O.C. DWL ALTERNATE BEND END DIRECTION.
- 8"x8" CONTINUOUS BOND BEAM WITH #5 REBAR CONTINUOUS. FILL CELLS SOLID AT BOND BEAM.
- 2x8 BLOCKING BETWEEN RAFTERS TO SUPPORT END OF PLYWOOD SHEATHING. NAIL TO EACH STUD WITH (2) 16D NAILS.
- 8"x8" CONTINUOUS BOND BEAMS AT 4'-0" O.C. VERTICAL WITH #5 REBAR CONTINUOUS HORIZ. FILL CELLS SOLID AT BOND BEAM.
- 18"x10" CONCRETE FOOTING WITH (2) #4 REBAR CONTINUOUS.
- #5 REBAR DWL AT 32" O.C.
- 8"x16" CMU LINTEL W/ (2) #5 REBAR CONTINUOUS, TOP & BOTTOM. BEAR 2'-0" EACH END.
- GALVALUME EDGE FLASHING WITH DRIP EDGE. HOLD FLASHING BACK A MINIMUM OF 1/4" OR MORE AS NEEDED TO ENSURE PROPER FUNCTIONING OF DOORS (AND HARDWARE) TO A FULLY OPEN POSITION. SEE SPEC'S.
- CONTINUOUS SEALANT BEAD AND BACKER ROD.
- SOLID PLASTIC DOOR AND FRAME PER SPECIFICATIONS.
- GALVALUME SHEET METAL TO ATTACHED TO THE EXTERIOR FACE OF DOOR PANELS. SEE DETAIL #7/A4.2 FOR FURTHER INFORMATION.
- 1/4" CONTINUOUS SHIM
- FASTENER W/ NEOPRENE OR EPDM WASHER 24" O.C.
- CONTINUOUS CLEAT FASTENED AT 12" O.C. TYP. BOTH SIDES.
- BONDING ADHESIVE
- SEAM CAULK
- PLATE/FASTENER INTO DECK. FASTENING RATE PER MANUFACTURER'S RECOMMENDATIONS.
- DOOR THRESHOLD.
- P.T. 2x6 PLATE.
- 1/2" HORIZONTAL, GALVANIZED Z-FURRING STRIPS AT 24" O.C. VERTICALLY.

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CITY OF ALBUQUERQUE
DEPARTMENT OF SENIOR AFFAIRS

TITLE: MANZANO MESA WATER SPRAYGROUND
BUILDING SECTIONS & DETAILS

Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.
City Project No. #575194	Zone Map No. L-21	Sheet 13 of 18	A3.1

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ARCHITECT'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK STARTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
FIELD CALCULATION BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DRAWINGS CORRECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION				REVISIONS			
RECORDED BY				DESIGN			
NO.				DATE			


DESIGNED BY: KELLS + CRAIG ARCHITECTS DATE: 5.18.2005
DRAWN BY: SAMOZ DATE: 5.18.2005
CHECKED BY: SEK DATE: 5.18.2005

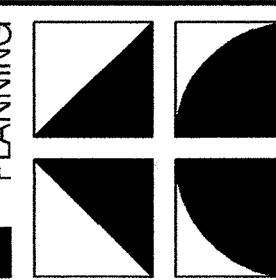
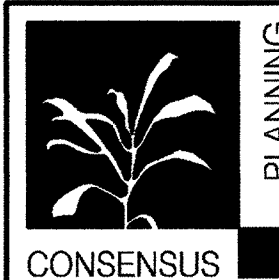
GENERAL NOTES:

- A. DRAWINGS OF EXISTING AREAS WERE DERIVED FROM CONSTRUCTION DOCUMENTS OF THE ORIGINAL BUILDING AS WELL AS FIELD MEASUREMENTS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK AFFECTED BY SUCH INCONSISTENCIES. THE CONTRACTOR SHALL MAKE SURE THAT THE INTENT OF THE DRAWINGS IS MET. ACTUAL CONDITIONS SHALL GOVERN OVER WRITTEN DIMENSIONS. WRITTEN DIMENSIONS SHALL GOVERN OVER ACTUAL DRAWING REPRESENTATION. ATTEMPTS TO UTILIZE SCALING OR ELECTRONIC MEANS TO DETERMINE QUANTITY TAKE-OFF MAY BE AFFECTED BY NOT-TO-SCALE ITEMS. THE ARCHITECT AND CONSULTING ENGINEERS ARE NOT RESPONSIBLE FOR, AND SHALL NOT BE HELD LIABLE FOR THE ACCURACY OF RESULTS OF SUCH TAKE OFFS.
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KEYED NOTES:

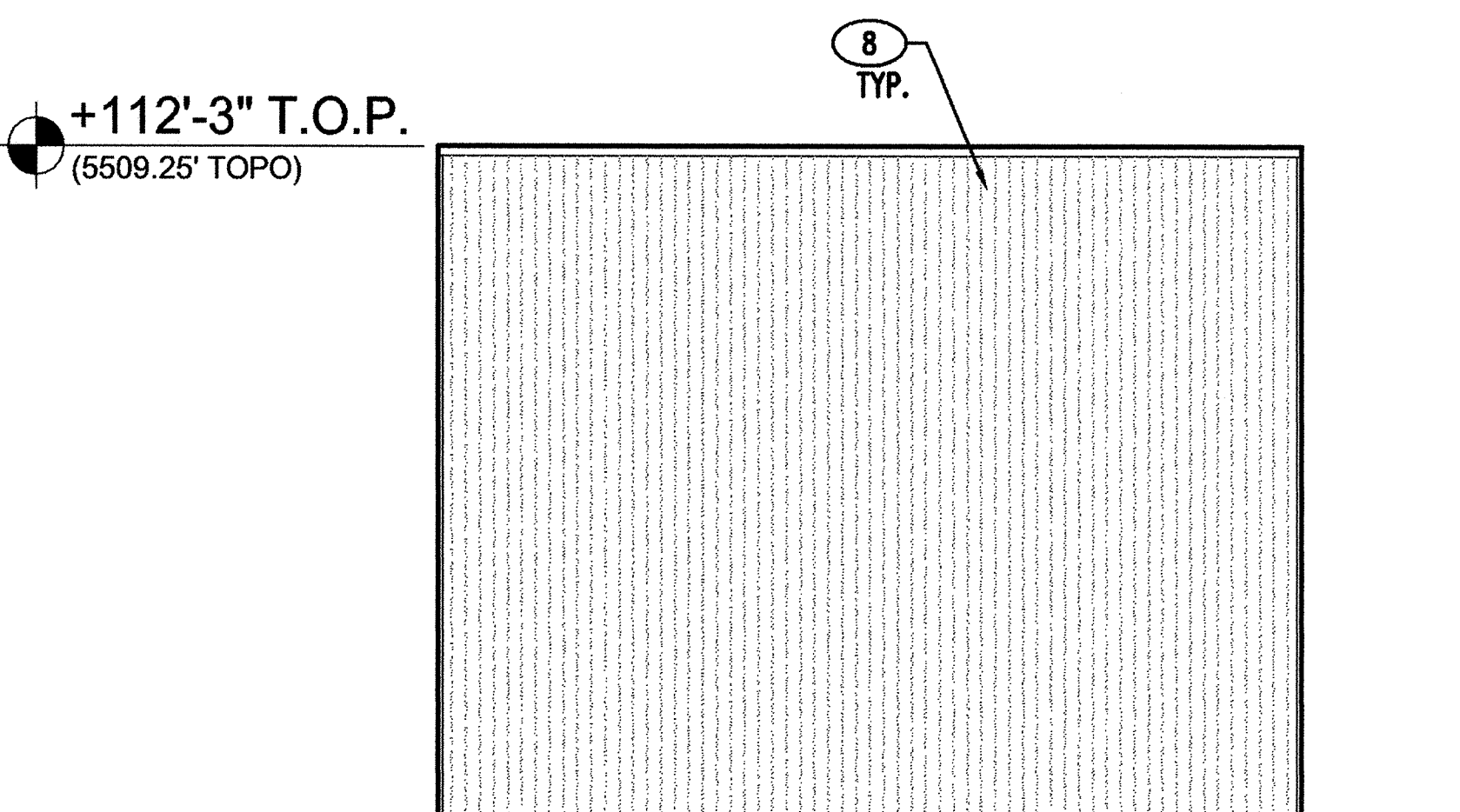
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- NEW 4" CONCRETE FLOOR SLAB WITH #3 REBAR AT 16" O.C.E.W. OVER 4" GRAVEL LAYER. TOP WITH SEALER & HARDENER.
- 1" POLY-ISO PERIMETER INSULATION.
- DASHED LINES REPRESENTING 16"x10" CONCRETE FOOTING WITH (2) #4 REBAR, CONTINUOUS, UNLESS OTHERWISE NOTED.
- NEW CONCRETE SIDEWALK CENTERED ON MECHANICAL ROOM DOORS. SLOPE TO MATCH EXISTING SIDEWALK GRADE. LEAVE AT LEAST 5'-0" LANDING IN FRONT OF DOORS WITH MINIMAL SLOPE TO DRAIN AWAY FROM THE MECHANICAL BUILDING.
- 8" CMU's GROUTED SOLID AT REINFORCED CELLS (SEE BUILDING SECTIONS ON SHEET A3.1) AND BELOW GRADE WITH #5 REBAR VERTICAL AT 32" O.C. SEE SPECIFICATIONS ON SHEET A8.1.
- CORRUGATED METAL GALVALUME FINISH PANELS. MATCH MATERIAL, THICKNESS, DIMENSION, FINISH, AND FASTENERS USED ON THE EXISTING MULTI-GENERATIONAL CENTER. SEE SPEC'S.
- 2x8 P.T. SILL PLATE, CONTINUOUS
- 2x8 P.T., DOUGLAS FIR #1 RAFTERS AT 16" O.C. WITH P.T. 2x8's ON TOP, RIPPED TO SLOPE AT MINIMUM OF 1/4" PER FOOT
- MECHANICALLY FASTENED TPO ROOFING SYSTEM.
- PARAPET WALL WITH P.T. 2x8's AT 16" O.C. NAIL TO RAFTERS ON BEARING SIDES.
- STEEL SCUPPER. SEE DETAILS #10 & #11/A4.2 FOR MORE INFO.
- NEW CONCRETE MOWING CURB. SLOPE AWAY FROM BUILDING.
- 2x8 BLOCKING BETWEEN RAFTERS TO SUPPORT END OF PLYWOOD SHEATHING. NAIL TO EACH STUD WITH (2) 16D NAILS.
- DASHED LINES REPRESENTING 18"x10" CONCRETE FOOTING WITH (2) #4 REBAR CONTINUOUS.
- SOLID PLASTIC DOOR AND FRAME PER SPECIFICATIONS. PROVIDE SHEET METAL FACING ON EXTERIOR SURFACES PER DETAIL #3/A4.2.
- DOOR THRESHOLD.
- COATED CHAIN LINK FENCING. SEE SHEET A4.2 FOR DETAILS.
- EXISTING LIGHT POST TO REMAIN.
- EXHAUST FAN. SEE MECHANICAL.
- INTAKE AIR GOOSENECK. SEE MECHANICAL.
- CONCRETE SUMP PIT. SEE MECHANICAL.

AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ARCHITECT'S SEAL			
CONTRACTOR	WORK	DATE	DATE	NO.	BY	DATE	DATE	NO.	BY	DATE	DATE				
STARTED BY	ACCEPTANCE BY	DATE	DATE	NO.	BY	DATE	DATE	NO.	BY	DATE	DATE				
VERIFICATION BY	DATE	DATE	DATE	NO.	BY	DATE	DATE	NO.	BY	DATE	DATE	REVISIONS			
DRAWINGS BY	DATE	DATE	DATE	NO.	BY	DATE	DATE	NO.	BY	DATE	DATE				
MICRO-FILM INFORMATION				DESIGN				DESIGNED BY: Kells + CRAIG ARCHITECTS				DATE: 5.18.2005			
								DRAWN BY: SAMO2				DATE			
								CHECKED BY: SEK				DATE			

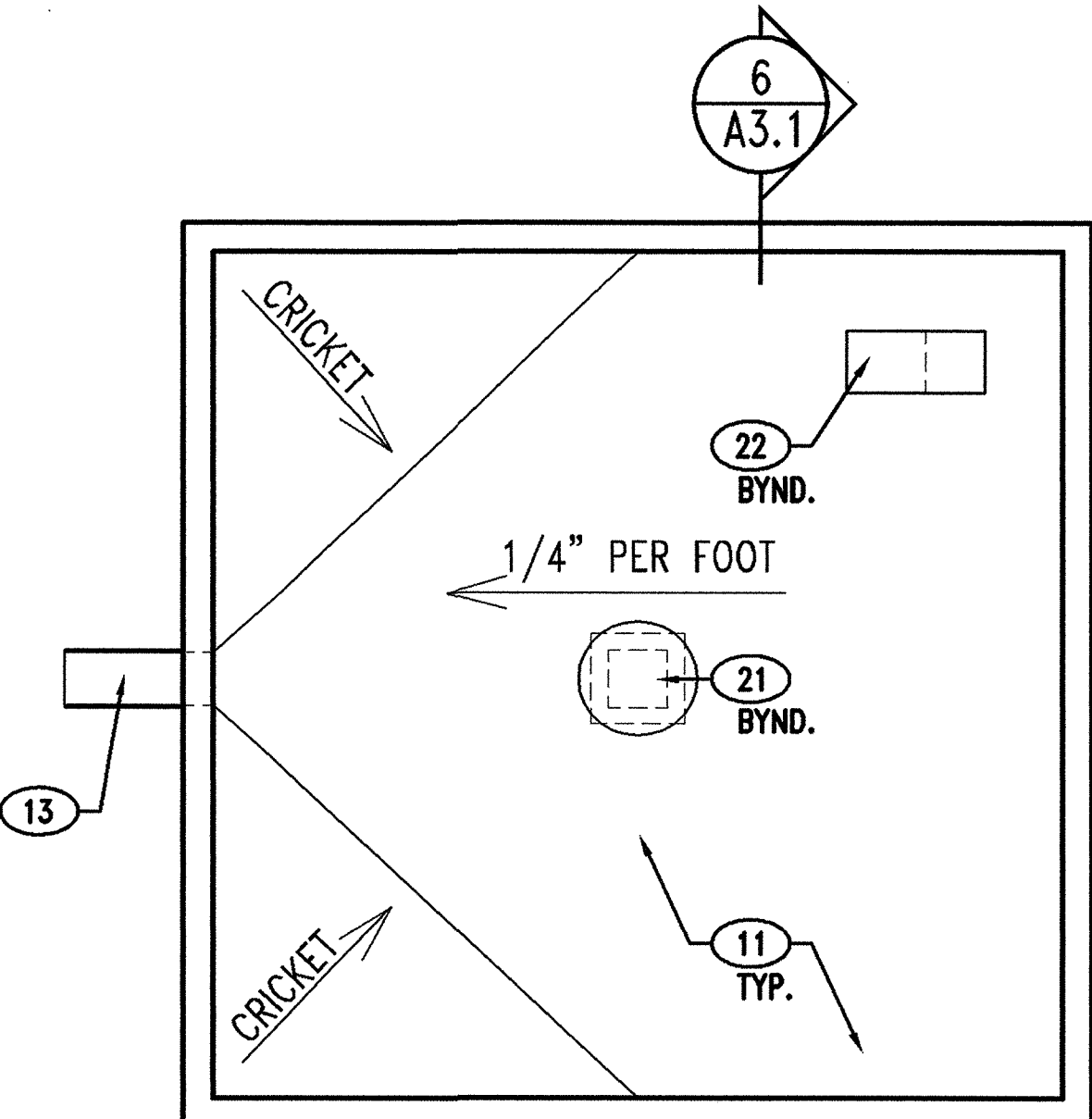


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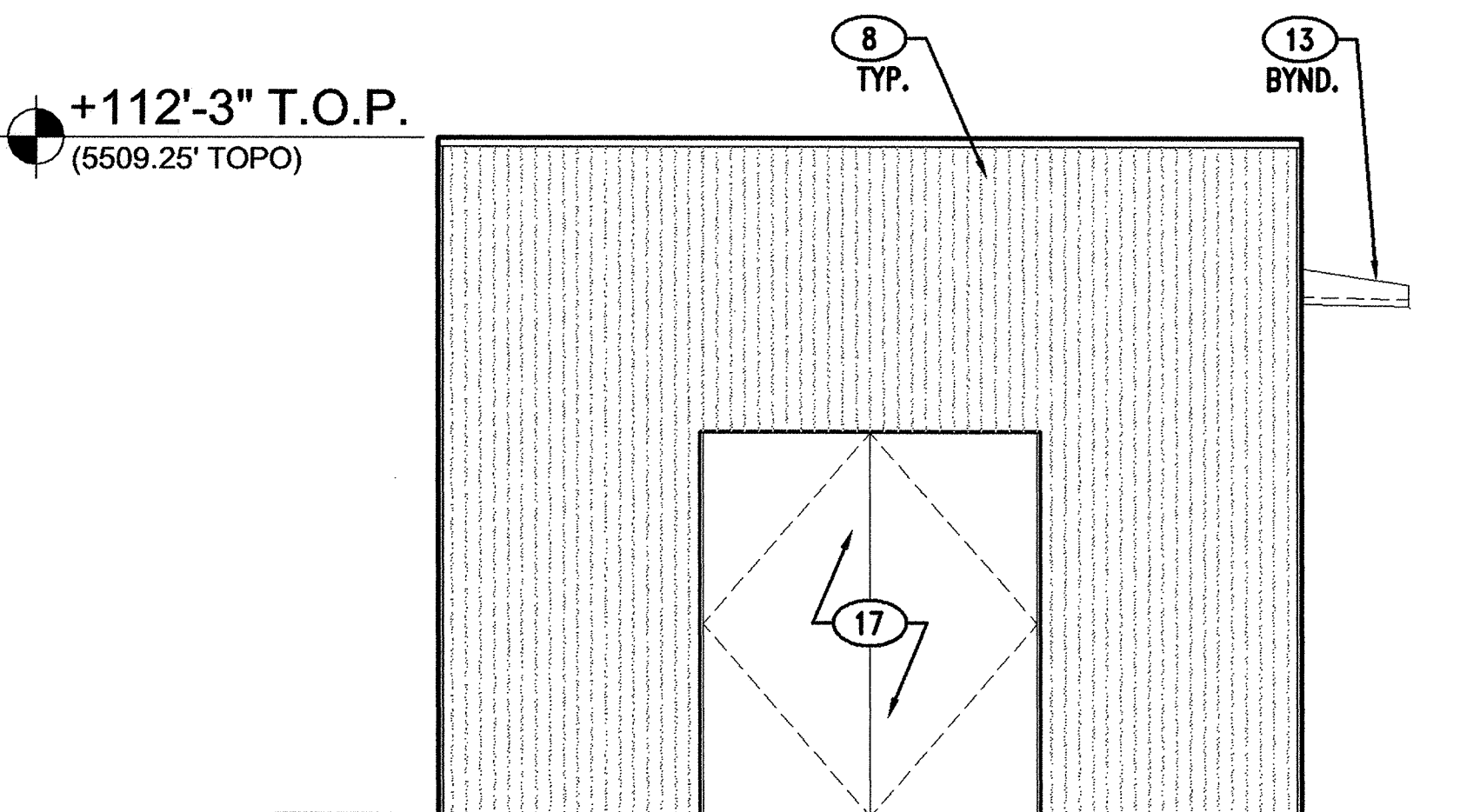
CITY OF ALBUQUERQUE DEPARTMENT OF SENIOR AFFAIRS											
TITLE: MANZANO MESA WATER SPRAYGROUND ENLARGED PLANS & DETAILS											
Design Review Committee				City Engineer Approval				Update Last Design	No. / Day / Yr.		No. / Day / Yr.
City Project No. #575194				Zone Map No. L-21				Sheet 14 of 18			
A4.1											



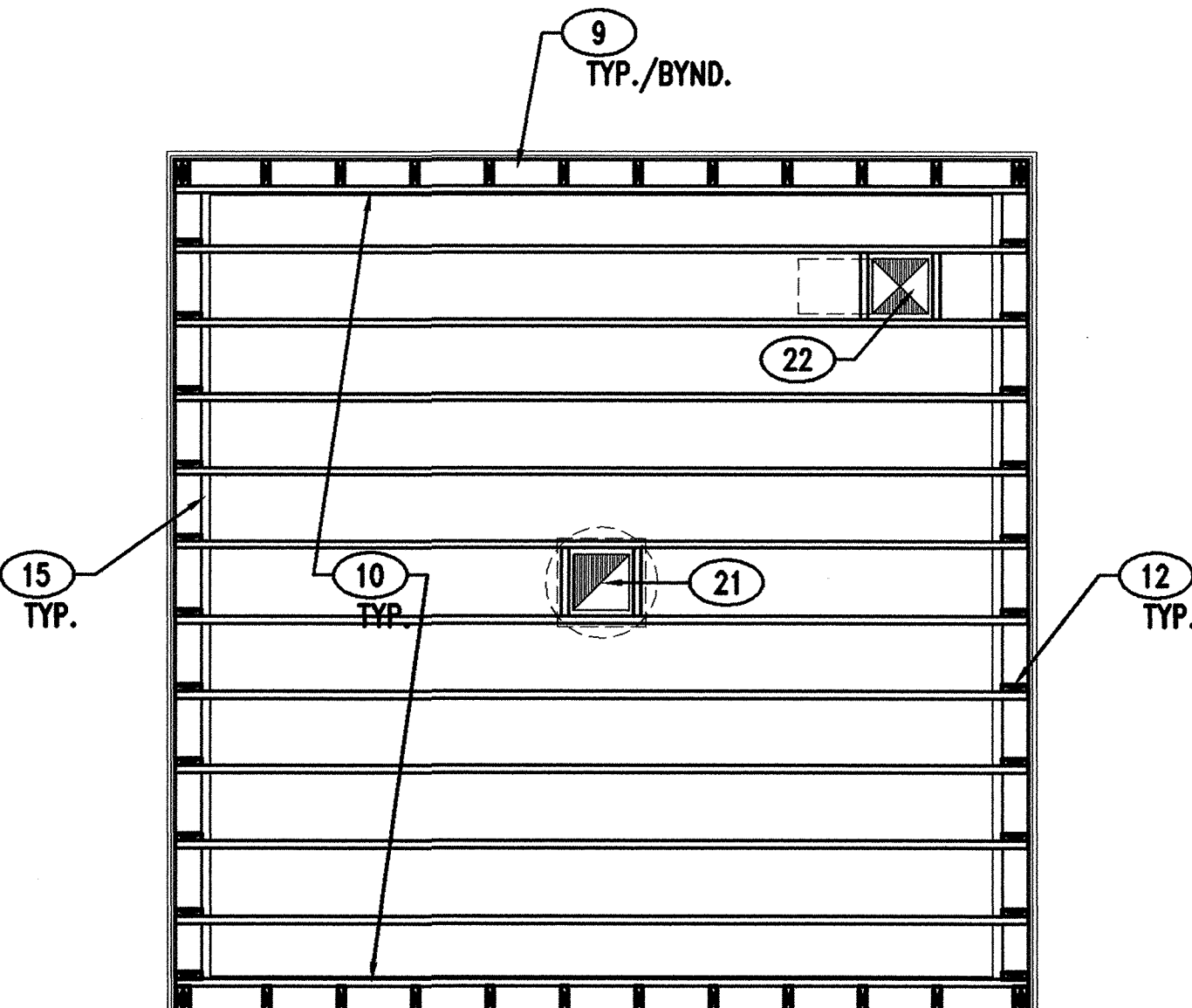
7 EAST/SOUTH ELEV.
1/4"=1'-0"



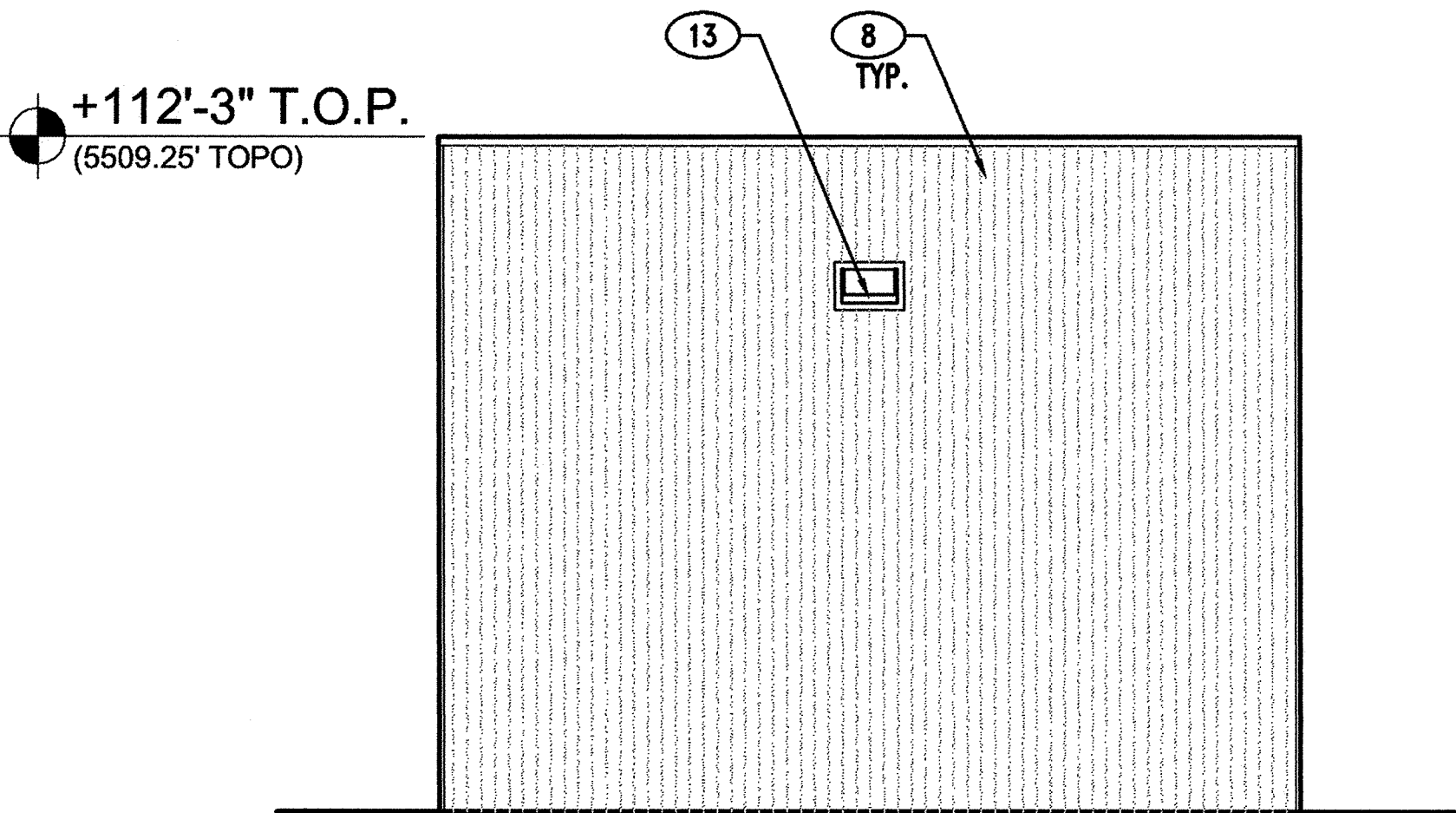
4 ROOF PLAN
1/4"=1'-0"



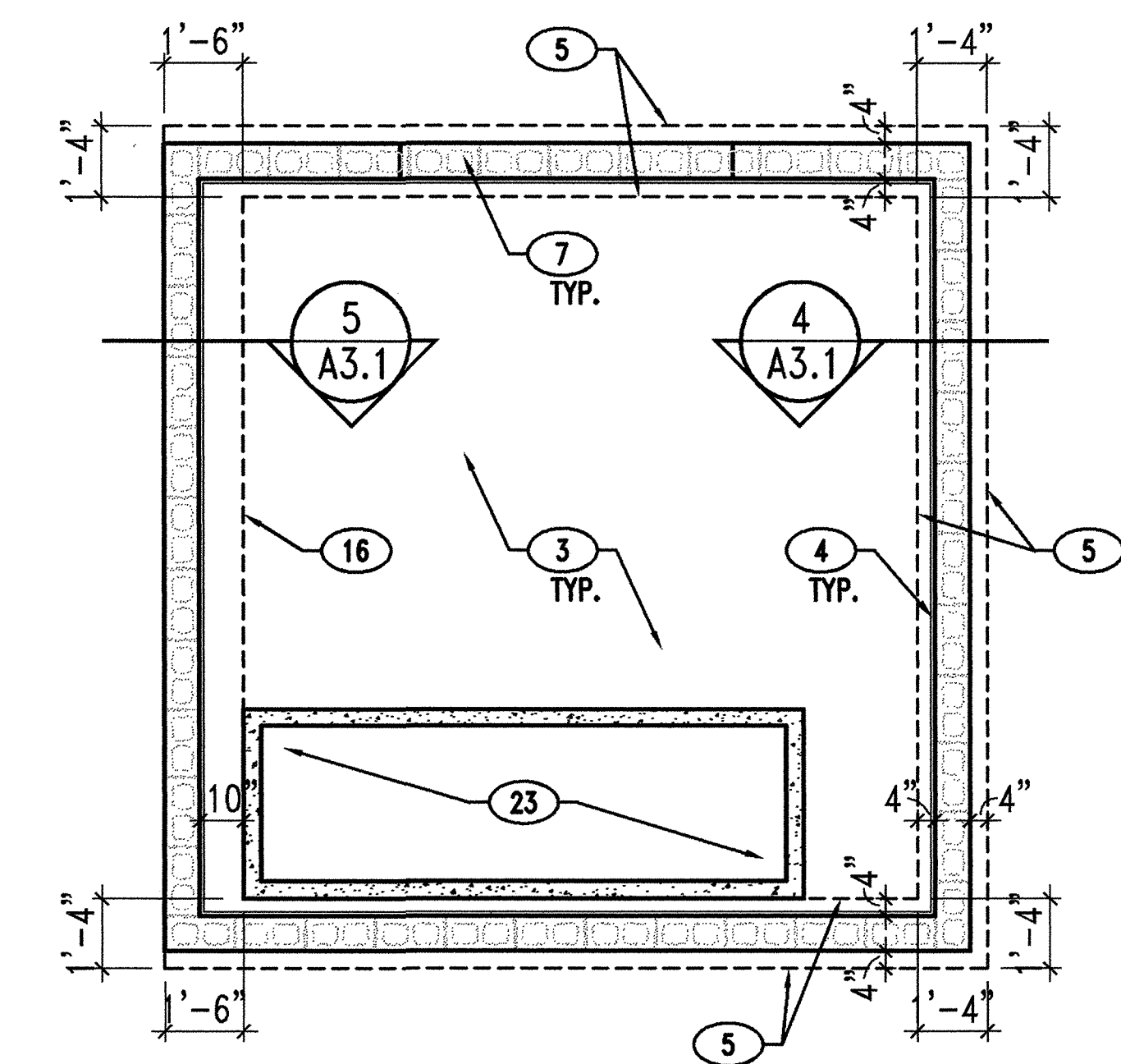
6 NORTH ELEVATION
1/4"=1'-0"



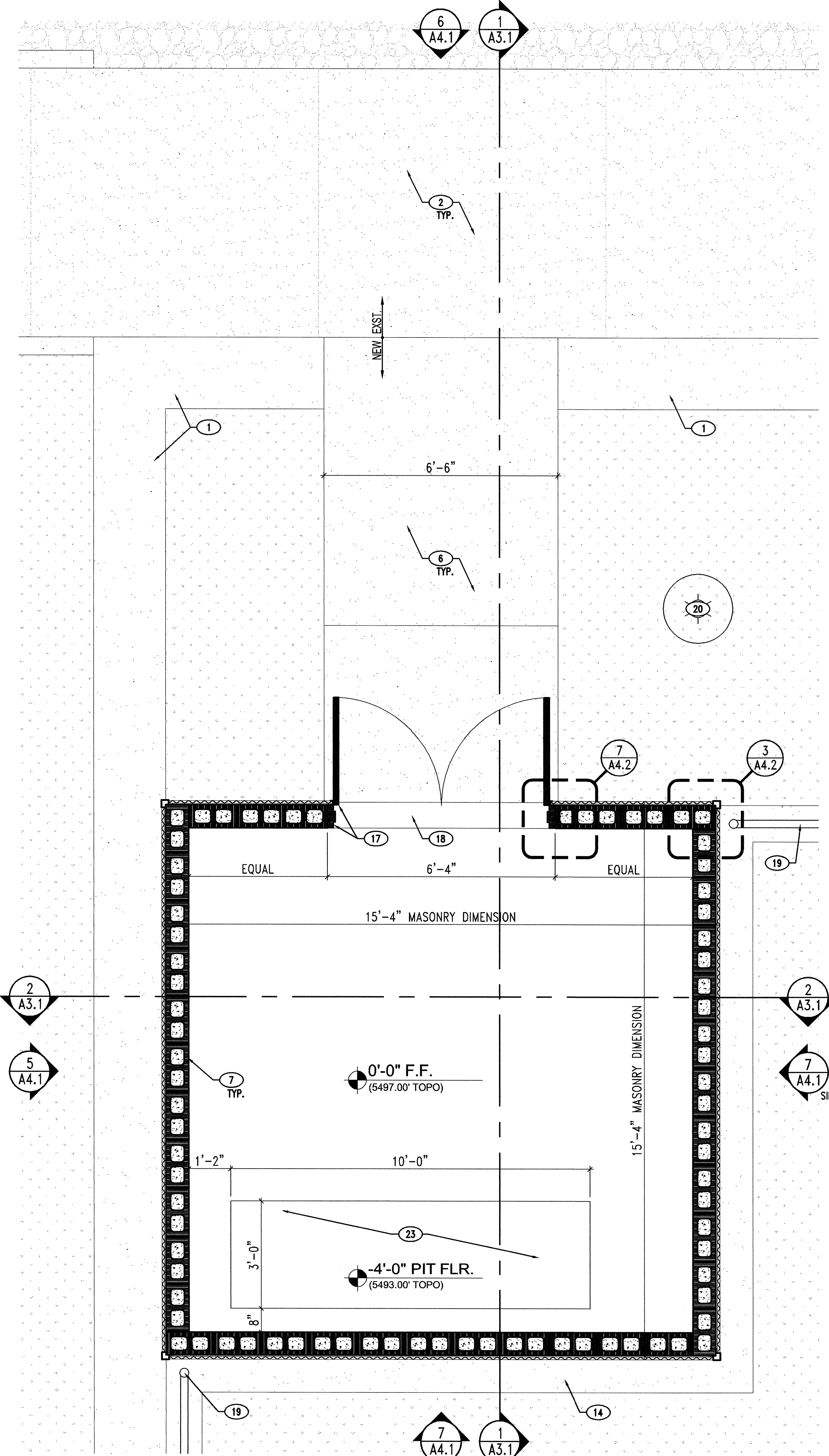
3 ROOF FRAMING
1/4"=1'-0"



5 WEST ELEVATION
1/4"=1'-0"



2 FOUNDATION PLAN
1/4"=1'-0"



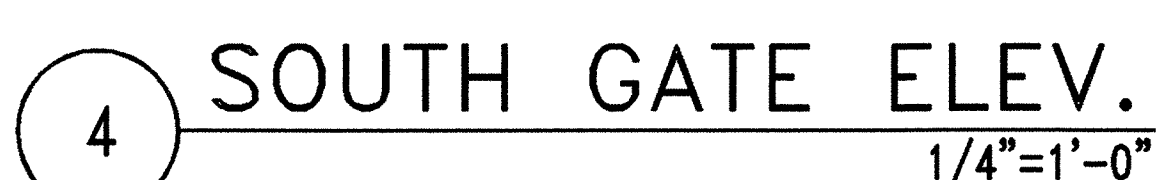
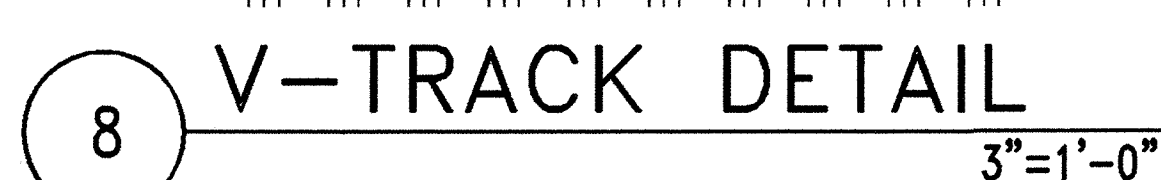
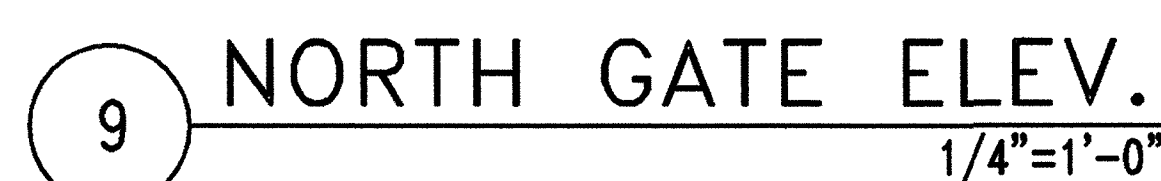
1 ENLARGED FLOOR PLAN
1/2"=1'-0"



A. DRAWINGS OF EXISTING AREAS WERE DERIVED FROM CONSTRUCTION DOCUMENTS OF THE ORIGINAL BUILDING AS WELL AS FIELD MEASUREMENTS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS. THE CONTRACTOR SHALL MAKE SURE THAT THE INTENT OF THE DRAWINGS IS MET. ACTUAL CONDITIONS SHALL GOVERN OVER WRITTEN DIMENSIONS. WRITTEN DIMENSIONS SHALL GOVERN OVER ACTUAL DRAWING REPRESENTATION. ATTEMPTS TO UTILIZE SCALING OR ELECTRONIC MEANS TO DETERMINE QUANTITY TAKE-OFF MAY BE AFFECTED BY NOT-TO-SCALE ITEMS. THE ARCHITECT AND CONSULTING ENGINEERS ARE NOT RESPONSIBLE FOR, AND SHALL NOT BE HELD LIABLE FOR THE ACCURACY OF RESULTS OF SUCH TAKE OFFS.

B. ALL EXISTING SURFACES AND FINISHES WITHIN THE AREA OF WORK OR AFFECTED BY THE WORK SHALL BE PROTECTED DURING DEMOLITION AND RECONSTRUCTION. EXISTING MATERIALS AND SYSTEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED & REPLACED AT THE CONTRACTOR'S EXPENSE.

1. EXISTING MULTI-GENERATIONAL CENTER TO REMAIN.
2. EXISTING CONCRETE CURB TO REMAIN.
3. EXISTING CONCRETE SIDEWALK TO REMAIN.
4. EXISTING STEEL SHADE STRUCTURE TO REMAIN.
5. LINE OF EXISTING OVERHEAD CANOPY OR STRUCTURE ABOVE.
6. EXISTING SITE WALL TO REMAIN.
7. EXISTING XERI-OR LANDSCAPING AREA TO REMAIN.
8. NEW LANDSCAPING AREA PER LANDSCAPING PLANS.
9. NEW CONCRETE PAVING/SIDEWALK.
10. NEW CONTINUOUS STRIP OF CONCRETE TO MATCH EXISTING.
11. NEW CONCRETE MOWING CURB.
12. COATED CHAIN LINK FENCING PER SPECIFICATIONS.
- 13A. COATED CORNER POST
- 13B. COATED LINE POST
14. COATED RAIL END
15. COATED TOP RAIL
16. COATED HORIZONTAL BRACE
17. TENSIONING WIRE
18. COATED STRETCHER BAR
19. 8" CMU'S GROUTED SOLID AT REINFORCED CELLS (SEE BUILDING SECTIONS ON SHEET A3.1 AND BLOW GRADE WITH #5 REBAR VERTICAL AT 32" O.C. SEE SPECIFICATIONS ON SHEET A8.1).
20. CORRUGATED METAL GALVALUME FINISH PANELS. MATCH MATERIAL, THICKNESS, DIMENSION, FINISH, AND FASTENERS USED ON THE EXISTING MULTI-GENERATIONAL CENTER. SEE SPEC'S.
22. GALVALUME CORNER FLASHING. SEE SPEC'S.
23. GALVALUME EDGE FLASHING. HOLD FLASHING BACK A MINIMUM OF 1/4" OR MORE AS NEEDED TO ENSURE PROPER FUNCTIONING OF DOORS TO A FULLY OPEN (90 DEGREE) POSITION. RESULTING REPAIR SHOULD BE THE SAME DIMENSION AT BOTH DOOR JAMBS. SEE SPEC'S.
24. CONTINUOUS SEALANT BEAD AND BACKER ROD.
25. SOLID PLASTIC DOOR AND FRAME PER SPECIFICATIONS.
26. 1/2" HORIZONTAL, GALVANIZED Z-FURRING STRIPS AT 24" O.C. VERTICALLY.
27. C4X7 25'S END POST SET VERTICALLY IN 4" O MINIMUM CONCRETE FOOTING. TOP OF POST TO MATCH TOP OF ROLLING CHAIN LINK GATE. PRIME AND PAINT COLOR PER ARCHITECT. PROVIDE BUMPERS AT GATE SIDE TO MINIMIZE PAINT DAMAGE.
28. 4X4 TUBE STEEL POST SET VERTICALLY IN 4" O MINIMUM CONCRETE FOOTING. TOP OF POST TO MATCH TOP OF GATE. PROVIDE WELDED STEEL PLATE AT TOP FOR CLOSURE AND GRIND SMOOTH. PRIME AND PAINT COLOR PER ARCHITECT.
29. PROVIDE GUIDE ROLLERS EITHER SIDE OF GATE. INCLUDE SAFETY GUARDS AND ATTACH ASSEMBLY AS NEEDED TO THE 4X4 T.S. POST TO ENSURE PROPER FUNCTIONING OF THE ROLLING GATE.
30. ROLLING CHAIN LINK FENCE. ALL ASPECTS OF GATE SHALL HAVE COATING PER SPECIFICATIONS. PROVIDE V-TRACK TYPE ROLLERS ON BOTTOM RAIL AT EQUAL SPACING AS RECOMMENDED TO ENSURE PROPER FUNCTIONING. SEE SPECIFICATIONS.
31. STEEL RUNNER TRACK COMPRISED OF STEEL ANGLE WELDED TO PLATES EITHER SIDE OF DIMENSIONS THAT ACCOMMODATE THE THE V-TRACK TYPE ROLLERS ON THE GATE. DRILL, EPOXY, & FASTEN THROUGH FLAT PLATES TO EXISTING CONCRETE PAVING AT 12" O.C. ON BOTH SIDES. PROVIDE CLEAR FINISH. RUNNER TRACK SHALL BE CONTINUOUS BETWEEN THE END POSTS. SEE DETAIL 8. THIS SHEET
32. 3/6" WIDE CHAIN LINK GATE. PROVIDE HYDRAULIC CLOSER PER SPEC'S. PROVIDE STRIKE TO STOP SWING OF DOOR UPON CLOSING.
33. POURED CONCRETE FOOTING.
34. LINE OF CONCRETE FOOTING BEYOND.
- 35A. SLOPE TOP OF CONCRETE TO DRAIN TOWARD WATER SPRAYGROUND
- 35B. SLOPE TOP OF CONCRETE TO DRAIN TO BOTH SIDES
36. PANIC HARDWARE PER SPECIFICATIONS.
37. HYDRAULIC GATE CLOSER PER SPECIFICATIONS.
38. GATE LATCH WITH CAPABILITY FOR PADLOCKING
39. GALVALUME SHEET METAL (MINIMUM OF 20 GA.) TO ATTACHED TO THE EXTERIOR FACE OF DOOR PANELS. FASTENERS TO MATCH MATCH METAL FINISH AND BE SPOOLED IN AT 12" O.C. IN A NEAT AND ORDERLY FASHION. MISMAIGNED AND RANDOM PATTERN APPLICATION OF FASTENERS WILL NOT BE ACCEPTED. PRE-CUT ALL NECESSARY OPENINGS FOR DOOR HARDWARE AND ACCESSORIES. LEAVE NO ROUGH OR JAGGED-LOOKING EDGES.
40. STANDARD COATED PIPE RAIL. PROVIDE NECESSARY ATTACHMENT AREAS AS NEEDED FOR A PROPERLY FUNCTIONING ROLLING GATE. SEE SPECIFICATIONS.
41. P.T. 1/2X12 FASTENED TO FRAME PARAPET THREE SIDES.
42. MONOLITHIC SHEET METAL (MINIMUM OF 20 GA.) FLASHING WRAPPER AROUND P.T. 1/2X12. FASTEN ON UNDERSIDE OF 1/2X12 ONLY.
43. DRIP EDGE.
44. FOLDLED FASTENING TABS (PART OF OVERALL SCUPPER ASSEMBLY) ATTACH TO ROOF SIDE OF PARAPET SHEATHING PRIOR TO ROOFING MEMBRANE INSTALLATION.
45. GALVANIZED SCREW FASTENERS W/ SMOOTH (LOW-REVEAL) HEADS. DASHED LINE REPRESENTING A V-TRACK TYPE ROLLER. THE DIMENSION OF WHICH WILL DETERMINE THE DIMENSIONS OF THE STEEL TRACK PLATE ASSEMBLY. SUBMIT SHOP DRAWINGS FOR BOTH.



1A	2	3	ARCHITECT'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
04					FIELD NOTES				CONTRACTOR	
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									INSPECTION ACCEPTANCE BY	DATE
									FIELD VERIFICATION BY	DATE
									DRAWINGS BY	DATE
									MICRO-FILM INFORMATION	
									RECORDED BY	DATE
									NO.	
DESIGNED BY: Kells + Craig Architects			DATE: 5.18.2005							
DRAWN BY: SAMOZ			DATE							

PLANNING

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Architects, Inc. A
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Albuquerque, New Mexico 87101
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CITY OF ALBUQUERQUE
DEPARTMENT OF SENIOR AFFAIRS

TITLE: MANZANO MESA WATER SPRAYGROUND
ENLARGED PLANS & DETAILS

Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.

City Project No. #575194	Zone Map No. 1-21	Sheet 15 of 18	A4
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SHORT FORM ARCHITECTURAL PRODUCT SPECIFICATIONS

Division 2 - SITE CONSTRUCTION

Chain Link Fence - Fence fabric to be galvanized 9 gage woven in 2" diamond mesh with black PVC coating minimum of 15 mils in thickness. Framework to be galvanized schedule 40 pipe with minimum 10 mil PVC coating to match color of fabric. Line post to be 1.9" o.d. Corner posts to be 2.375" o.d. Rails and bracing to be 1.66" o.d. Gates to be 1.9"o.d. pipe with 3/8" dia. truss rod cross bracing.

Gate hardware - Provide all required appropriate hardware for rolling gate. Provide latch with integral key lock for rolling gate. Provide panic hardware with integral battery powered alarm on one gate as indicated on the plan equal to Detex ECL 230D. Provide gate closer equal to Kant Slam hydraulic gate closer as indicated on the plans.

Division 3 - CONCRETE

Rock Salt Finish Walkways - Provide rock salt finish on integrally colored concrete walkway where indicated on drawings. Architect will provide color selection (to match existing). After placing and leveling concrete, trowel salt particles onto slab flush with top. After 24 hours, water spray slab to dissolve salt particles.

Division 4 - MASONRY

Concrete Masonry - Provide and install 8" x 16" x 8" double-cell units, ASTM C90, Grade N, Type I, moisture controlled, as shown on the drawings. Provide standard gray color. Provide other sizes and shapes as indicated on drawings, or as required. Portland cement mortar, ASTM C150, Type I.

Division 5 - METALS

Miscellaneous Metal - Provide and install steel shapes and fabrications as indicted on drawings. All exposed edges and welds are to be ground smooth.

Division 6 - WOOD & PLASTICS

Rough Carpentry - Pine, fir or spruce, construction grade, maximum moisture content of 19%. All framing to be pressure treated. Structural 2x8 rafters to be pressure treated, Douglas Fir #1 or better.

Division 7 - THERMAL & MOISTURE PROTECTION

Roofing - Stephens Roofing System, elastomeric membrane composed of ethylene propylene reinforced with polyester scrim. Thickness to be 20 mil. Minimum thickness to be .18 PSF. Color to match existing building. Flashings to be same membrane as roof. Field fabricate vent stacks, pipe flashings and corners from 55 mil thick uncured white ethylene propylene. Install roof in strict accordance with manufacturer's warranty requirements.

Flashing and Sheet Metal - Aluminum-zinc alloy coated sheet steel AZ 55 coating, 24 minimum gage. Use on parapet caps, trim, and flashing used in conjunction with galvalume wall panels and elsewhere as indicated on the drawings. Fasteners are to be corrosion resistant, galvanized steel with soft neoprene washers at exposed fasteners. Underlayment to be no. 15 asphalt saturated roofing felt.

Sealant - Silicone FS TT-S-001543, class A.. Minimum joint to be 1/8" x 1/8". Maximum joint to be 1" wide by 1/2" deep.

Metal Wall Panels - 24 gage minimum aluminum-zinc alloy coated sheet galvalume, Grade 50, coated class AZ55. Roll formed with 7/8" high corrugations at 2.67" o.c. "C" panels. Bare finish to match existing building. Corrugations to run vertically. Underlayment - 30 pound un-perforated asphalt saturated felt. Attach to horizontal "Z" furring strips at 24" o.c. maximum. Provide self-tapping hex head coated fastener with metal washer and neoprene sealing washers, size as recommended by manufacturer for recommended application.

Division 8 - DOORS

Hollow Metal Door - 1-3/4", 16 gage Grade III, Extra Heavy Duty.

Flush Plastic Doors and Frame - Fiberglass reinforced plastic doors with balsa core. 1-3/4" thick as manufactured by the Corrim Company of Oshkosh, Wisconsin, or Fib-R-Dor of Little Rock, Arkansas, or approved equal. Finish to be 15 mils, gelcoat. Custom color to be selected by architect. Provide non-swelling polymer type blocking to fit hardware templates. Install frame as per manufacturer's recommendations. Nominal size of frames to be 2" x 5-3/4".

Hardware - At plastic double doors into building provide:

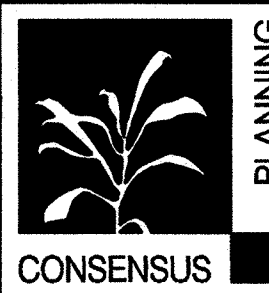
Qty Item Manufacturer + Number Finish

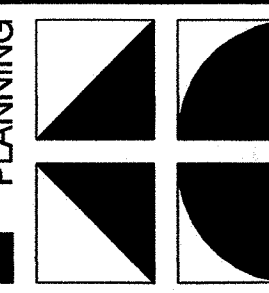
- 1.5 pr. Hinges McKinley, TA2714 4.5x4.5 x NRP 626
- 1 ea. Lockset Corbin, ML2057 LSA 626
- 2 ea. Flush Bolts Trimco, 3916 626
- 1 ea. Dustproof Strike Trimco, 3910 626
- 1 ea. Astragal Corbin, 357 SP
- 1 ea. Closer (on active leaf) Norton, PR 7500 AL X SNB
- 1 ea. Overhead Stop (on Rixson, 1-336 630 Inactive leaf)
- 1 ea. Threshold Pemko, 315 CN x DW 630
- 1 ea. Weatherstripping Pemko, 303 AV
- 2 ea. Door Bottom Pemko, 315 CN x DW
- 1 ea. Lock Protector GL, LP1

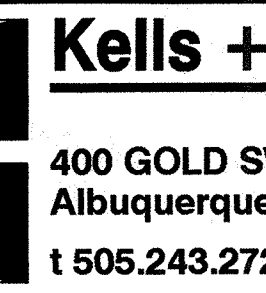
Coordinate keying to existing building.

Division 9 - FINISHES

Non-Slip Coating on existing concrete surfaces - Apply where indicated on the drawings. Clean existing surface of dirt, chalk, grease, oils, curing compounds, debris, loose particles, and any other contaminants. Level protrusions and fill cavities. Caulk and/or re-caulk all joints with clear elastomeric polyurethane sealant. Apply one coat primer/sealer (use MonoChem 1 or equal) as per manufacturer's recommendations. After the primer/sealer has been allowed sufficient time to set, apply two coats of a clear, two-component, waterborne, diglycidyl modified Bisphenol-A epoxy resin with modified amine activator, reinforced with non-toxic color stable and weather resistant pigments (use MonoChem 200 or equal). Prior to application, thoroughly mix in aggregate silica sand to create a non-skid finish. Install, protect, and clean up per manufacturer's recommendations.

 CONSENSUS

 PLANNING

 Kells + Craig

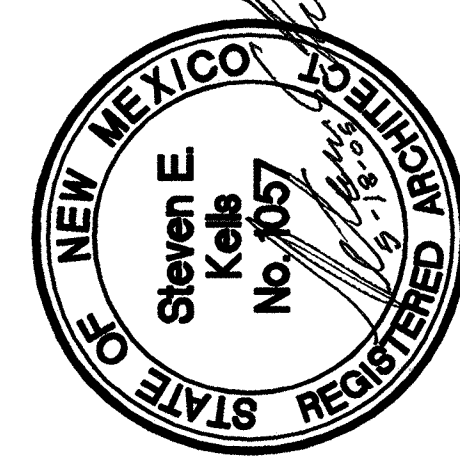
Architects, Inc. AIA

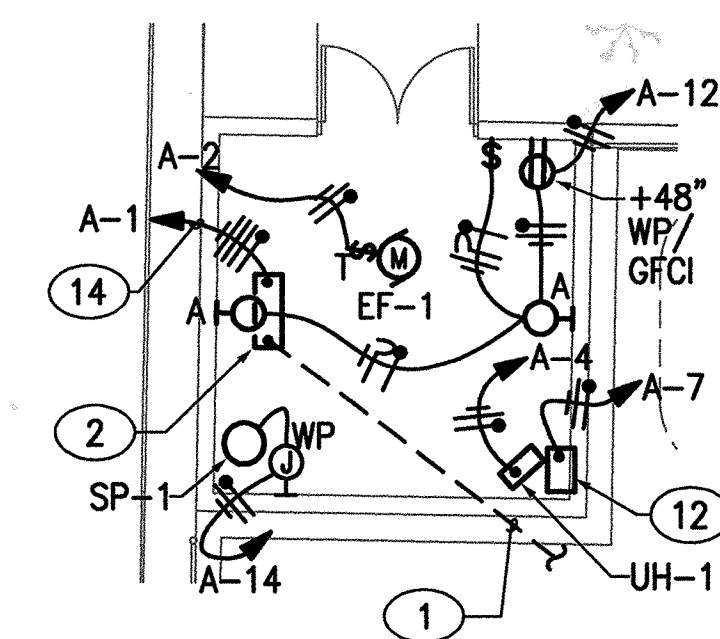
400 GOLD SW, SUITE 880

Albuquerque, New Mexico 87102

1 505.243.2724 1 505.842.5804

CITY OF ALBUQUERQUE DEPARTMENT OF SENIOR AFFAIRS			
TITLE: MANZANO MESA WATER SPRAYGROUND SPECIFICATIONS			
Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.
City Project No. #575194		Zone Map No. L-21	Sheet 16 of 18 A8.1

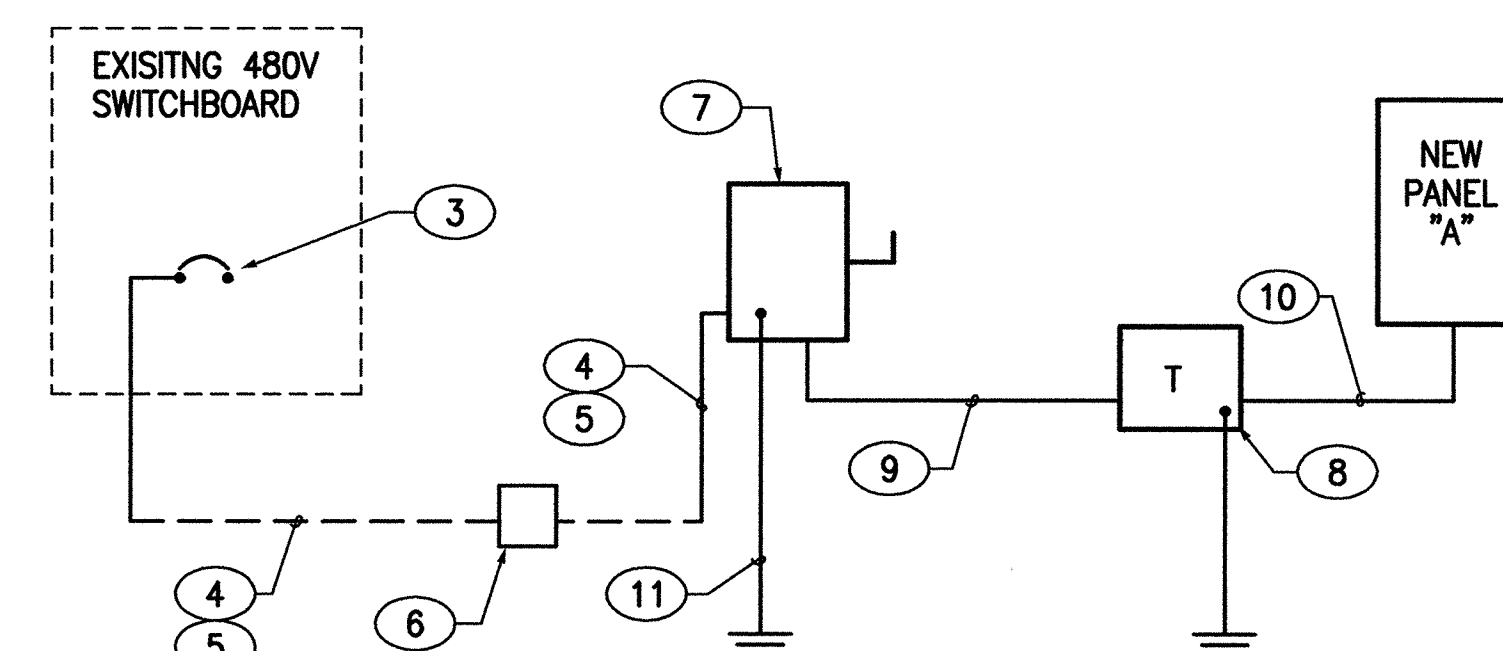
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REVISIONS											
DESIGN											
DESIGNED BY: KELLS + CRAIG ARCHITECTS											
DATE: 5.18.2005											
DRAWN BY: SAMO2											
DATE											
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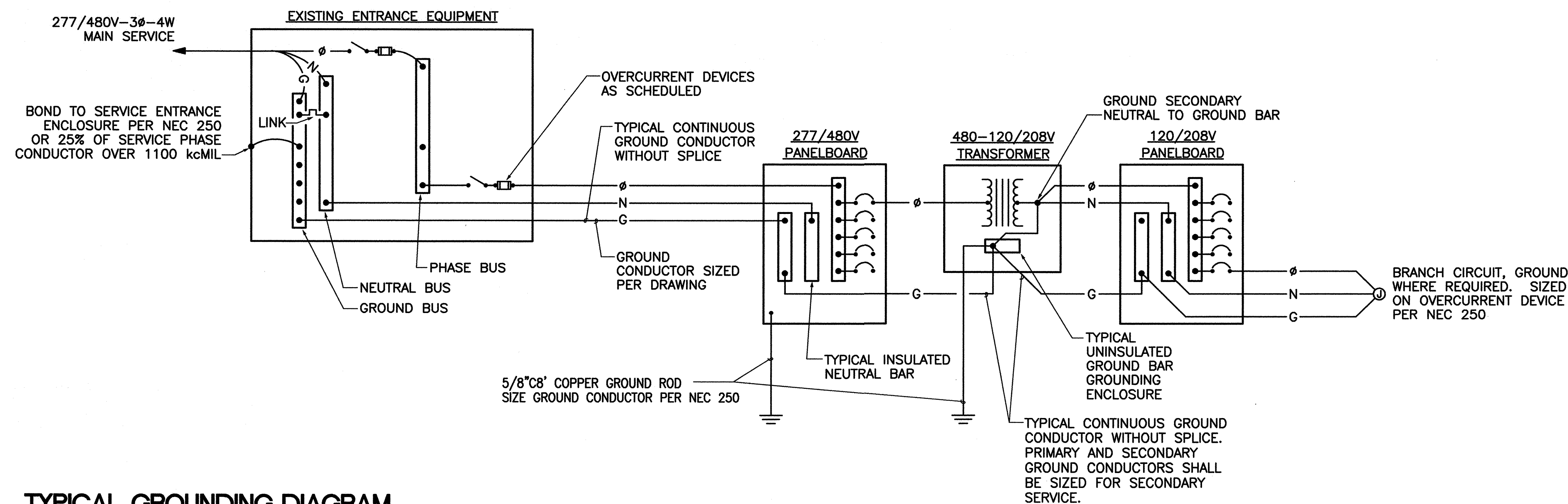
SCALE: 1" = 10'-0"

LOAD SUMMARY-PANEL - A	
CONNECTED LOAD AT 39.0 X 1.25%	48.7 KVA
117 AMPERES AT 240 VOLTS-3ø-4W	
MINIMUM RECOMMENDED SERVICE SIZE =	125 AMPS

LIGHT FIXTURE SCHEDULE			
TYPE	FIXTURE DESCRIPTION	LAMPS	MOUNTING
A	VAPOR TIGHT INCANDESCENT WALL MOUNTED FIXTURE WITH WIRE GUARD LUMARK #IC-V-W-1-G	1-200W INCANDESCENT	MOUNT ON WALL AT 7'-6"



SCALE: NONE



SCALE: NONE

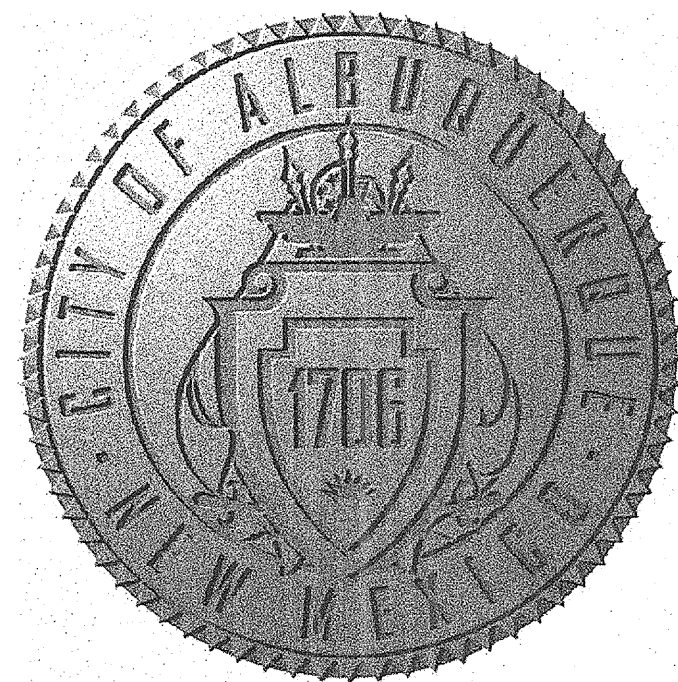
- ① EXTEND A 3/4" CONDUIT WITH 3 # 14 UNDER GROUND FORM MAGIC TOUCH BOLLARD TO EQUIPMENT CONTROLLER. STUB UP CONDUIT INTO BOLLARD AND SEAL.
- ② EQUIPMENT CONTROLLER PROVIDE BY OTHERS. CONNECT CONTROL WIRING AND CIRCUIT TO UNIT AS REQUIRED. ALL CONNECTIONS TO THE CONTROLLER SHALL BE PERFORMED USING A APPROVED NEMA 4X CONNECTOR. FIELD VERIFY LOCATION OF CONTROL PANEL ON EQUIPMENT.
- ③ PROVIDE AND INSTALL A 70 AMP -3 POLE CIRCUIT BREAKER IN EXISTING SPACE IN 480 VOLT DISTRIBUTION PANEL. FIELD VERIFY PANEL MANUFACTURE REQUIREMENTS FOR INSTALLATION OF NEW CIRCUIT BREAKER, A/C RATING.
- ④ 3 # 3, 1 # 8 GROUND 1 1/4" CONDUIT.
- ⑤ THE CONTRACTOR SHALL CUT EXISTING PAVEMENT, TRENCH AND BACKFILL. PATCH PAVEMENT WITH THE SAME TYPE ASPHALT. REPAIR CONCRETE CUTS AND LANDSCAPING BACK TO ORIGINAL FINISHES.
- ⑥ PROVIDE AND INSTALL A IN GROUND PRECAST CONCRETE 12' X 12' X 24 " DEEP PULLBOX, TRAFFIC RATED, SCREW DOWN COVER, LABEL "ELECTRICAL".
- ⑦ PROVIDE AND INSTALL A FUSIBLE DISCONNECT SWITCH, 100 AMPS, 480 VOLTS, 3 POLE, GROUND LUG, NEMA 3R ENCLOSURE, FUSE AT 70 AMPS. MOUNT ON UNISTRUT STAND OR TO WALL.
- ⑧ PROVIDE AND INSTALL A DRY TYPE TRANSFORMER, 480 VOLT PRIMARY TO 240 VOLT DELTA SECONDARY WITH 120 VOLT CENTER TAP, WEATHERPROOF ENCLOSURE. MOUNT ON GROUND. GROUND TRANSFORMER PER NEC 250.
- ⑨ 3 # 4, 1 # 8 GROUND 1 1/4" CONDUIT
- ⑩ 4 # 1, 1 # 6 GROUND 1 1/2" CONDUIT
- ⑪ REFER TO TYPICAL GROUNDING DETAIL.
- ⑫ POWER FOR WQMS SYSTEM. FIELD VERIFY LOCATION.
- ⑬ LABEL PANEL "DO NOT CONNECT OR INSTALL 120 VOLT CIRCUIT TO THE WILD LEG".
- ⑭ 4 # 4, 1 # 8 GROUND 1 1/4" CONDUIT.

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL ELECTRICAL FACILITIES IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS, PLANS AND ASSOCIATED NOTES. NATIONAL ELECTRICAL CODE, STATE & LOCAL CODES, AND IN A WORKMANLIKE MANNER.
2. CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AT JOB SITE.
3. THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL THERMOSTATS, CONTROLS AND MAKE REQUIRED CONNECTIONS TO EQUIPMENT FURNISHED BY OTHERS.
4. THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN HIS BID THE COSTS OF ALL PERMITS, TESTS AND INSPECTIONS, AND VISIT THE SITE OF WORK BEFORE SUBMITTING BID.
5. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OTHER TRADES AND REFER TO ARCHITECTURAL PLANS TO DETERMINE THE EXACT LOCATION OF OUTLETS.
6. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE.
7. A SET OF MARKED UP PRINTS SHALL BE PREPARED SHOWING ALL CHANGES MADE DURING CONSTRUCTION AND TURN IT OVER TO THE OWNER AT THE END OF THE JOB. ALL CHANGES MUST HAVE THE OWNERS APPROVAL.
8. ANY DISCREPANCY BETWEEN MATERIAL DESCRIPTION AND CATALOG NO. SHALL BE BROUGHT TO THE ARCHITECTS, ENGINEERS, OR OWNERS ATTENTION IMMEDIATELY.
9. INTERRUPTION OF ANY ELECTRICAL SERVICES SHALL BE COORDINATED WITH THE OWNER AT LEAST 7 DAYS PRIOR TO THE INTENDED OUTAGE AND SHALL BE REQUESTED IN WRITING WITH A COPY TO THE ARCHITECT AND OWNER.
10. ALL CONDUCTORS TO BE #12 AWG THWN EXCEPT WHERE OTHERWISE SHOWN OR NOTED. IT IS PERMISSIBLE FOR THE CONTRACTOR TO USE THIN WIRING IN EXISTING CONDUITS.
11. 120 VOLT BRANCH CIRCUIT RUNS WHICH EXCEED ONE HUNDRED FEET IN LENGTH SHALL BE #10 THWN.
12. CONDUIT SHALL BE ROUTED CONCEALED WHERE POSSIBLE IN FLOORS, WALLS OR CEILING IN A NEAT WORKMANLIKE MANNER.
13. CONDUIT BEING RUN EXPOSED ON CEILING OR WALL SHALL BE DONE IN A NEAT WORKMANLIKE MANNER, MAKING ALL RUNS AS STRAIGHT AS POSSIBLE.
14. ALL CONDUIT WHICH COMES IN CONTACT WITH EARTH SHALL BE WRAPPED IN SCOTCH WRAP #51 OR PLASTIC COATED. ALL FEEDERS AND HOMERUNS SHALL BE 1" MINIMUM.
15. ANY EXPOSED WIREMOLD, CONDUIT, BOXES, ETC. SHALL BE PAINTED TO MATCH WALL FINISH THAT IT IS INSTALLED ON.
16. ALL DUPLEX RECEPTACLES SHALL BE HUBBELL #5262-WORY.
17. ALL COVERPLATES SHALL BE STAINLESS STEEL.
18. ALL PULLBOXES SHALL BE CODE GA. AND MEET THE MINIMUM SIZES AS RECOMMENDED BY N.E.C.
19. FURNISH AND INSTALL ALL CHANNELS REQUIRED FOR THE SUPPORT OF RECESSED AND SURFACE FLOURESCENT AND INCANDESCENT LIGHTING FIXTURES.

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OF TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF TO THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES, AND REGULATIONS, IF ANY, RELATING TO THE PROTECTION OF UTILITY LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

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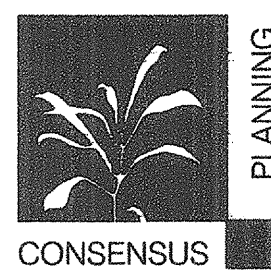
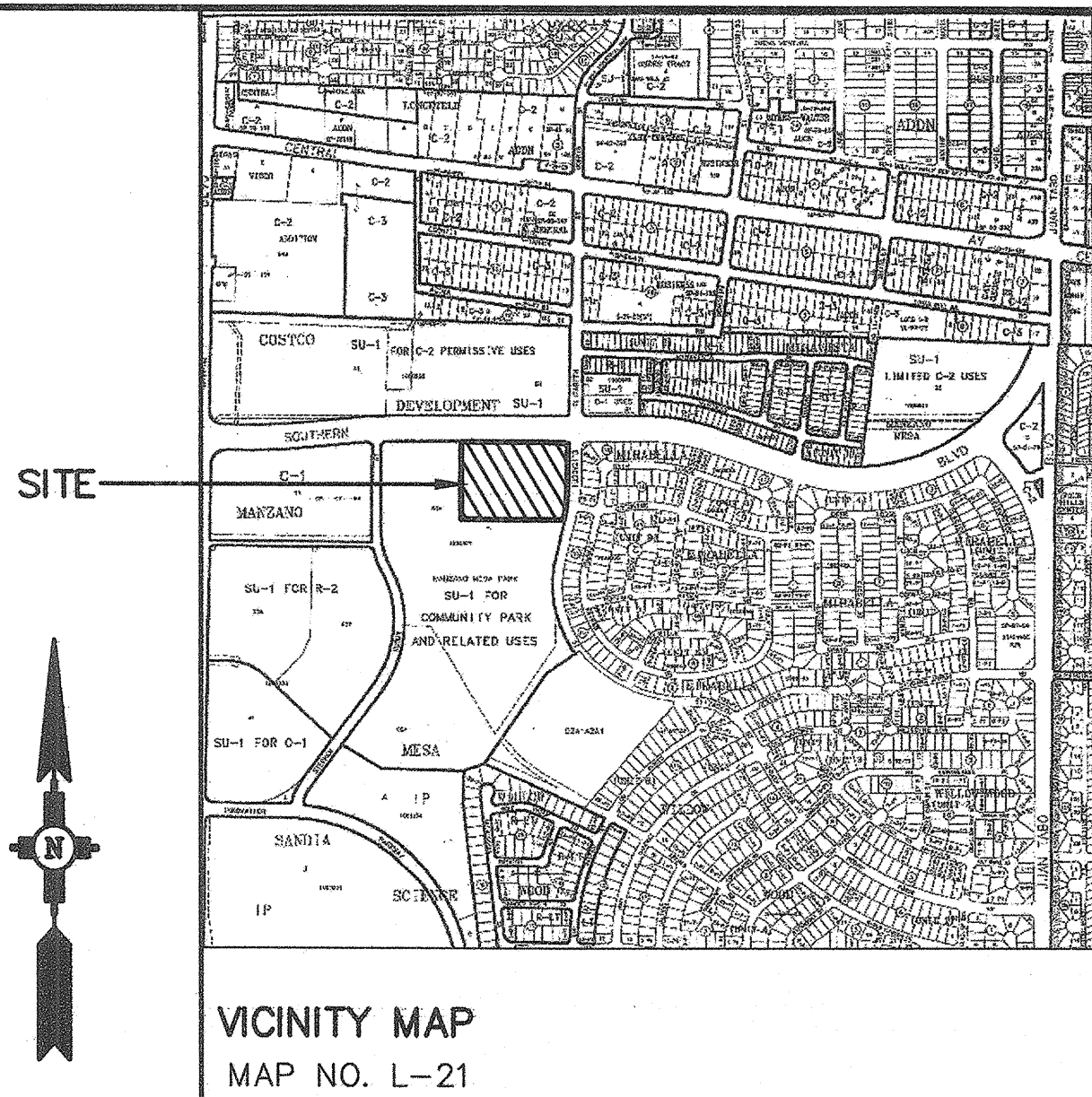


MANZANO MESA WATER SPRAYGROUND

PHASE 2 City of Albuquerque

Managing Department
Department of Municipal Development
Park Design and Construction Division

Owner
Department of Senior Affairs



CONSENSUS PLANNING, INC.

PLANNING / LANDSCAPE ARCHITECTURE
302 Eighth Street NW ALBUQUERQUE, NM 87102 (505) 764-9801

Property Information

Legal Description: Tract G2A, Manzano Mesa Addition
Meter Address: 501 Elizabeth SE
Zoning: SU-1/Community Park and Related Facilities
Total Site Area: 9,642 S.F.
Total Landscape Area: 938 S.F.

Index of Drawings

- | | |
|---|------------------|
| 1 | Cover Sheet |
| 2 | General Notes |
| 3 | Site Plan |
| 4 | Site Details |
| 5 | Irrigation Plan |
| 6 | Planting Plan |
| 7 | Acceptance Forms |

UTILITY COMPANY CONTACTS

PNM-ELECTRIC
4201 Edith Boulevard NE
Albuquerque, New Mexico 87107
(505) 241-0525

PNM-GAS
4625 Edith Boulevard NE
Albuquerque, New Mexico 87107
(505) 241-7745

QUEST
201 Third Street NW, Suite 700
Albuquerque, New Mexico 87103
(505) 245-8706

COMCAST
4611 Montbel Place NE
Albuquerque, NM 87107
(505) 761-6235

**CITY OF ALBUQUERQUE
UTILITY DEVELOPMENT**
P.O. Box 1293
Albuquerque, New Mexico 87103
(505) 768-2719



RECORD DRAWING

THIS RECORD DRAWING HAS BEEN PREPARED, BASED UPON INFORMATION FURNISHED BY THE CONTRACTOR. THE DESIGN PROFESSIONAL HAS NOT INDEPENDENTLY REVIEWED THE ACCURACY OF THE INFORMATION PROVIDED. THESE RECORD DRAWINGS ACCURATELY DEPICT THE FIELD CHANGES WHICH WERE REPORTED BY THE CONTRACTOR.

REDRAWN FOR RECORD PURPOSES



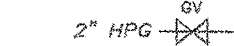
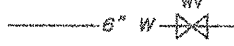





REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVED	ENGINEER	DATE			
		DRC Chairman					
		Transportation					
		Water/Wastewater					
		Hydrology					
		CIP					
		Constr. Mngmt.					
		Constr. Coord.					
				CITY ENGINEER	DATE		
						SHEET 1 OF 7	
						PROJECT NUMBER 575194	

- 1 FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE CITY CONSTRUCTION COORDINATION DIVISION. TWO (2) DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF SPECIFICATIONS.
- 2 THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE CITY SURVEY SECTION MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR WILL NOTIFY THE ENGINEER IF A MONUMENT IS DISTURBED. REPLACEMENT WILL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION AT THE CONTRACTOR'S EXPENSE. WHEN A CHANGE IS MADE IN THE FINISHED ELEV. OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR WILL, AT HIS OWN EXPENSE, HAVE THE CITY SURVEY SECTION ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4 OF SPECIFICATIONS.
- 3 THE SPECIFICATIONS USED FOR THIS PROJECT ARE THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 7.
- 4 ALL NEW MANHOLES SHALL BE TYPE "E" (COA DWG. 2102) UNLESS OTHERWISE NOTED ON THE PLANS.
- 5 THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- 6 ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- 7 SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER IS CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.
- 8 THE CONTRACTOR WILL REPLACE ANY STRIPPING THAT HAS BEEN RUINED OR REMOVED IN THE COURSE OF CONSTRUCTION.
- 9 ALL EXCAVATION WILL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 10 ALL SIGNS AND CODING WILL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.
- 11 THE CONTRACTOR IS TO EXERCISE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT WILL BE HIS RESPONSIBILITY TO COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION. SEE SECTION 18 "UTILITIES", CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR CONTRACTOR REQUIREMENTS.
- 12 WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS, SAW CUT EXISTING PAVEMENT TO A STRAIGHT LINE AND AT RIGHT ANGLES AND REMOVE ANY BROKEN OR CRACKED PAVEMENT. NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.
- 13 ALL GAS VALVES, GAS MANHOLES, ELECTRICAL MANHOLES, TELEPHONE MANHOLES, AND UTILITY POLES WILL BE ADJUSTED TO GRADE BY EACH UTILITY COMPANY. CONTRACTOR WILL COORDINATE THROUGH CITY UTILITY COORDINATOR.
- 14 WHEN REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK IS REQUIRED, REMOVE BACK TO NEAREST SUITABLE JOINT UNLESS OTHERWISE DIRECTED BY THE CITY FIELD ENGINEER.
- 15 THE CONTRACTOR WILL NOTIFY THE NEW MEXICO ONE CALL SYSTEM 260-1990 TWO (2) WORKING DAYS PRIOR TO COMMENCING WORK IN NEW AREAS.
- 16 CONTRACTOR WILL MAKE ALL WATER VALVES AND MANHOLES ACCESSIBLE TO THE CITY AT ALL TIMES.
- 17 CONTRACTOR WILL PLACE BITUMINOUS MATERIAL WITH THE USE OF A LAYDOWN MACHINE WHERE PAVEMENT IS 8 FEET IN WIDTH OR WIDER.
- 18 ALL SUBGRADE AND SUBBASE MATERIAL ENCOUNTERED IN PAVEMENT REMOVAL AND REPLACEMENT THAT IS DETERMINED BY THE FIELD ENGINEER TO MEET THE SPECIFICATIONS, CAN BE REUSED. HOWEVER, THE MATERIAL WILL BE PROCESSED AND COMPACTED TO MEET MOISTURE CONTENT AND PERCENT COMPACTION REQUIRED BY THE SPECIFICATIONS.
- 19 CONTRACTOR WILL NOT PAVE OVER ANY SURFACE FEATURE, I.E., GAS VALVE, MANHOLE COVER, ETC. WITHOUT PRIOR APPROVAL FROM THE CITY FIELD ENGINEER.
- 20 CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY, OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO THE CITY OF ALBUQUERQUE.
- 21 ALL WATER VALVES AND FIRE HYDRANTS REMOVED TO BE SALVAGED AND RETURNED TO THE C.O.A.
- 22 MINIMUM BOTTOM WIDTH OF TRENCHES FOR RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 16 INCHES. BEDDING MATERIAL SHALL BE CLASS II, III, OR IV UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.
- 23 MINIMUM BOTTOM WIDTH OF TRENCHES FOR NON-RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 12 INCHES. BEDDING MATERIAL SHALL BE CLASS I, II, OR III.
- 24 THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES.
- 25 ALL STRUCTURAL CONCRETE WILL BE 4000 PSI UNLESS OTHERWISE NOTED ON PLANS.
- 26 ALL REINFORCING STEEL WILL BE GRADE 60.
- 27 ALL EXPOSED EDGES ON CAST-IN-PLACE CONCRETE STRUCTURES WILL HAVE A 1" CHAMFER UNLESS OTHERWISE NOTED.
- 28 ALL SPLICES IN REINFORCING STEEL TO BE 2-FOOT 6-INCH MINIMUM UNLESS OTHERWISE NOTED.

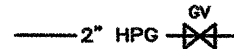






- 29 PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES. SHOULD A CONFLICT EXIST BETWEEN THE FIELD INFORMATION AND THE PLANS, THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- 30 THE REPLACEMENT OF THE EXISTING UTILITIES AND THE INSTALLATION OF NEW UTILITY LINES WILL BE COMPLETED IN ADVANCE OF STARTING THE PAVEMENT WORK. TEMPORARY PAVEMENT WILL BE PLACED IN ALL TRENCHES REQUIRED FOR THE UTILITY REPLACEMENTS IN THOSE AREAS THAT MUST MAINTAIN TRAFFIC UNTIL THE FINAL PAVEMENT WORK STARTS IN EACH AREA. TEMPORARY STRIPING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MAINTENANCE OF THE TEMPORARY PAVING AND STRIPING WILL BE AT THE CONTRACTOR'S EXPENSE.
- 31 TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE FIELD ENGINEER.
- 32 THE CONTRACTOR WILL CONTACT THE CITY OF ALBUQUERQUE TRAFFIC DIVISION 857-8025, ONE (1) WEEK IN ADVANCE OF ANY CHANGES REQUIRED IN THE TRAFFIC SIGNALIZATION OF THIS PROJECT. ALL WORK ASSOCIATED WITH NEW TRAFFIC SIGNALIZATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 33 ALL NEW STREET PAVING, DRIVEWAYS, SIDEWALKS, AND CURB AND GUTTERS, ABUTTING EXISTING AREAS SHALL MATCH THE ELEVATION OF THOSE AREAS.
- 34 PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. ROAD SHALL NOT BE OPENED TO TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 35 ALL EXCAVATED MATERIAL THAT IS NOT REQUIRED TO BE REUSED MUST BE REMOVED FROM THE PROJECT AREA WITHIN FOUR DAYS OF EXCAVATION. SPOIL PILES WILL BE ALLOWED ONLY AS DIRECTED BY THE CITY FIELD ENGINEER.
- 36 THE CONTRACTOR WILL COORDINATE THE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCE CAUSED BY UTILITY COMPANY WORK CREWS. A CONTRACT EXTENSION MAY BE ALLOWED AS DELINEATED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- 37 ALL CONSTRUCTION EASEMENTS ON PRIVATE PROPERTY WILL BE OBTAINED BY THE CITY OF ALBUQUERQUE PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 38 EXISTING MEDIAN CURB AND GUTTER AND STANDARD CURB AND GUTTER, NOT DISTURBED BY CONTRACTOR, BUT OUT OF ALIGNMENT, DISPLACED VERTICALLY, BADLY BROKEN AND/OR DETERIORATED, WILL BE REPLACED AS DIRECTED BY THE FIELD ENGINEER AND PAID FOR AT CONTRACT UNIT PRICES.
- 39 ALL TRAFFIC CONTROL DEVICES REQUIRED FOR DRIVEWAY CLOSURES, UTILITY CONSTRUCTION OR FOR OTHER REASONS AND NOT SHOWN ON THE SIGNING PLANS WILL BE FURNISHED BY THE CONTRACTOR AND WILL BE PAID AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND BID PROPOSAL. PRIOR TO PLACING THE TRAFFIC CONTROL DEVICES, THE CONTRACTOR WILL NOTIFY THE AFFECTED OWNERS IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR MUST MAKE PROVISIONS TO PROVIDE ACCESS TO PROPERTIES. REFER TO SECTION 19 OF THE SPECIFICATIONS.
- 40 ALL UTILITY LINES WHICH ARE NOT SPECIFICALLY DESIGNATED TO BE REMOVED AND REPLACED ON THE PLANS, WILL BE MAINTAINED IN SERVICE. SHORING, SHEETING AND OTHER MEANS OF SUPPORT SHALL BE EMPLOYED BY THE CONTRACTOR TO PREVENT DAMAGE OR LOSS OF THESE EXISTING UTILITIES AND THESE SHORING, SHEETING, AND SUPPORTS ARE CONSIDERED INCIDENTAL TO THIS PROJECT. BEAM AND CABLE OR OTHER ADEQUATE SUPPORTS WILL BE USED FOR TEMPORARY SUPPORT OF ALL UTILITY LINES WHICH CROSS THE TRENCH. ANY DAMAGE TO EXISTING UTILITIES WILL PROMPTLY BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SIGNIFICANT DEVIATION OF EXPOSED UTILITIES FROM THE LOCATIONS SHOWN ON THE PLANS SO THAT CONFLICTS CAN BE RESOLVED IN A TIMELY MANNER.
- 41 THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING COA INFRASTRUCTURE (C & G, PAVING, ETC.) DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND WILL REPAIR OR REPLACE SAME AT HIS OWN EXPENSE. HE WILL SUITABLY PROTECT THE CURB AND GUTTER FROM INCIDENTAL SPLASHING DURING THE TACK COAT APPLICATION AND WILL BE RESPONSIBLE FOR CLEANING SAME AT HIS OWN COST SHOULD SPLASHING OCCUR.
- 42 ALL INTERFERING PORTIONS OF ABANDONED UTILITY LINES WHICH ARE EXPOSED AS A RESULT OF CONSTRUCTION WILL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- 43 STATIONS OF STORM DRAIN INLETS ARE TO THE CENTER OF GRATE. ALL STORM DRAIN INLETS WILL BE TYPE "A" UNLESS OTHERWISE NOTED ON THE PLANS.
- 44 SHORING COSTS WILL BE CONSIDERED INCIDENTAL TO THE TRENCH AND BACKFILL COSTS.
- 45 THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING NPDES PERMITS REQUIRED BY APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
- 46 ALL STORM DRAIN AND CONNECTOR PIPE WILL BE CLASS IV REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED ON THE PLANS.
- 47 THE TERM REMOVE USED IN THIS PLAN SET INCLUDES THE DISPOSAL OF SAID MATERIAL IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS, LATEST EDITION.
- 48 CONTRACTOR WILL SURVEY AND LOG EXISTING ELEVATIONS OF CURB-AND-GUTTER, SIDEWALK, AND PAVEMENT WHICH WILL BE REMOVED FOR CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR WILL REPLACE REMOVED CURB-AND-GUTTER, SIDEWALK, DRIVE PADS, AND PAVEMENT TO ELEVATIONS PRIOR TO REMOVAL UNLESS OTHERWISE INDICATED ON THE PLANS.
- 49 CONTRACTOR WILL CONSTRUCT TEMPORARY ASPHALT PAVEMENT AS DIRECTED BY THE FIELD ENGINEER TO PROVIDE ACCESS TO LOCAL BUSINESS, ETC. TEMPORARY PAVEMENT SHALL BE REMOVED AND DISPOSED OF PRIOR TO PLACEMENT OF FULL WIDTH PAVEMENT SECTION. TEMPORARY PAVING SHALL BE PER COA STD. DWG. 2415 AND PAID FOR PER COA STD. SPECIFICATIONS.

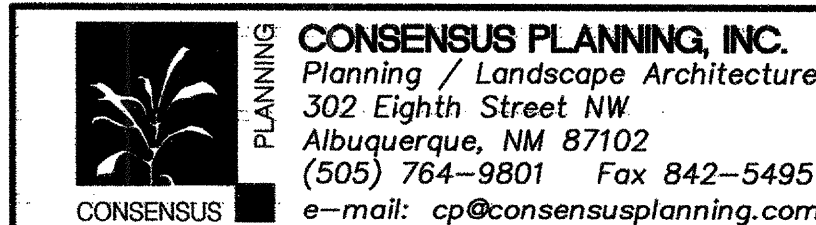
- 50 ALL CLASSES OF SEEDING SHALL BE DRY LAND MIX PLACED AT 1.5 LBS/1000 S.F. WITH FERTILIZER 21-12-12 PLACED AT 5 LBS/1000 S.F.
- 51 ALL ASPHALTIC CONCRETE SHALL BE MINIMUM 1800 LB. STABILITY AND COMPACTED TO 95% MODIFIED MARSHALL DENSITY UNLESS OTHERWISE NOTED ON THE PLANS.
- 52 ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
- 53 ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 54 THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF AT LEAST SEVEN (7) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION, 857-8200, TO INITIATE IMPLEMENTATION OF THE NON-PRESSURIZED CONNECTION PLAN.
- 55 FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- 56 CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- 57 CONTRACTOR SHALL ERECT TEMPORARY CHAIN LINK CONSTRUCTION FENCE. SUCH FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD AND REMOVED ONLY UPON FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.
- 58 QUANTITIES PROVIDED ON THE PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE IN ALL CASES.

EXISTING FEATURES LEGEND:

- EXISTING WOOD POST FENCE
- x— EXISTING CHAIN-LINK FENCE
- 2" HPG— EXISTING GAS LINE W/ VALVE
- 6" W— EXISTING WATERLINE W/ VALVE
- — EXISTING WATERLINE METER
- — EXISTING FIRE HYDRANT
- 6" SAS— EXISTING SANITARY SEWER LINE W/ MANHOLE
- 36" RCP— EXISTING STORM DRAIN
- —OHE— EXISTING OVERHEAD ELECTRIC W/POLE
- UE— EXISTING UNDERGROUND ELECTRIC
- 44— EXISTING 1' CONTOUR
- 4945— EXISTING 5' CONTOUR
- ==== EXISTING CURB & GUTTER
- ===== EXISTING CONCRETE
- — EXISTING BUILDING LINE
- — EXISTING EASEMENT LINE
- — EXISTING SPRINKLER HEAD

NEW FEATURES LEGEND:

- — CONSTRUCTION CENTERLINE
- x— NEW CHAIN-LINK FENCE
- 2" HPG— NEW GAS LINE W/ VALVE
- 6" W— NEW WATERLINE W/ VALVE
- — NEW WATERLINE METER
- — NEW FIRE HYDRANT
- 6" SAS— NEW SANITARY SEWER LINE W/ MANHOLE
- — NEW STORM DRAIN W/ MH
- — NEW UTILITY POLE
- 44— NEW 1' CONTOUR
- 4945— NEW 5' CONTOUR
- ==== NEW CURB & GUTTER
- ===== NEW CONCRETE
- — NEW EASEMENT LINE
- — POT HOLE LOCATION W/ NO.
- ////// NEW EDGE OF PAVEMENT

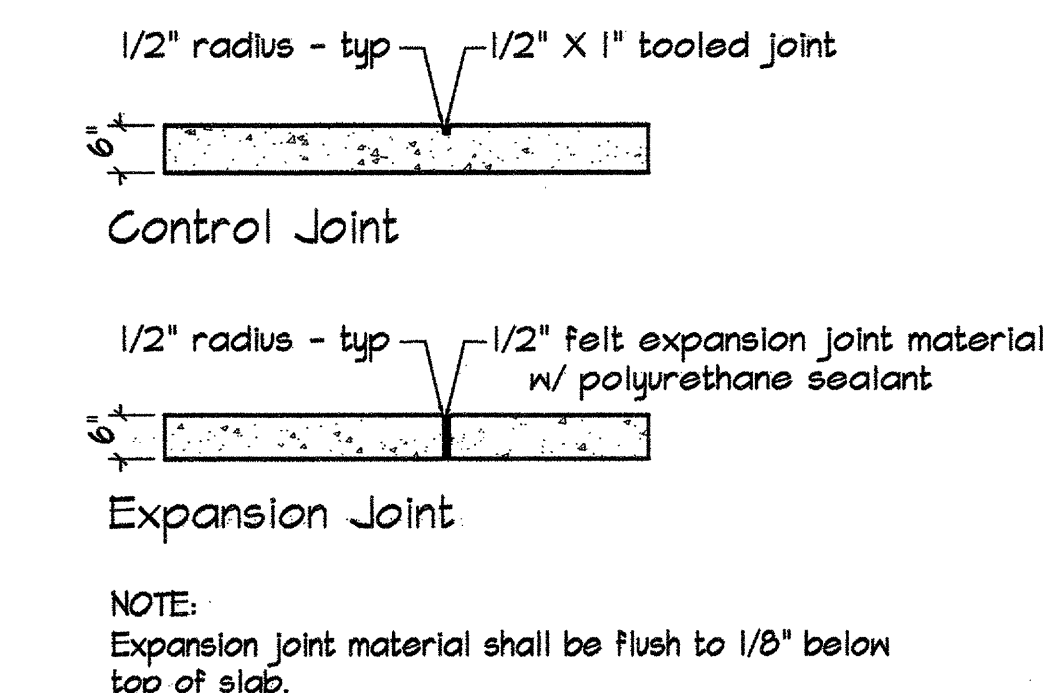
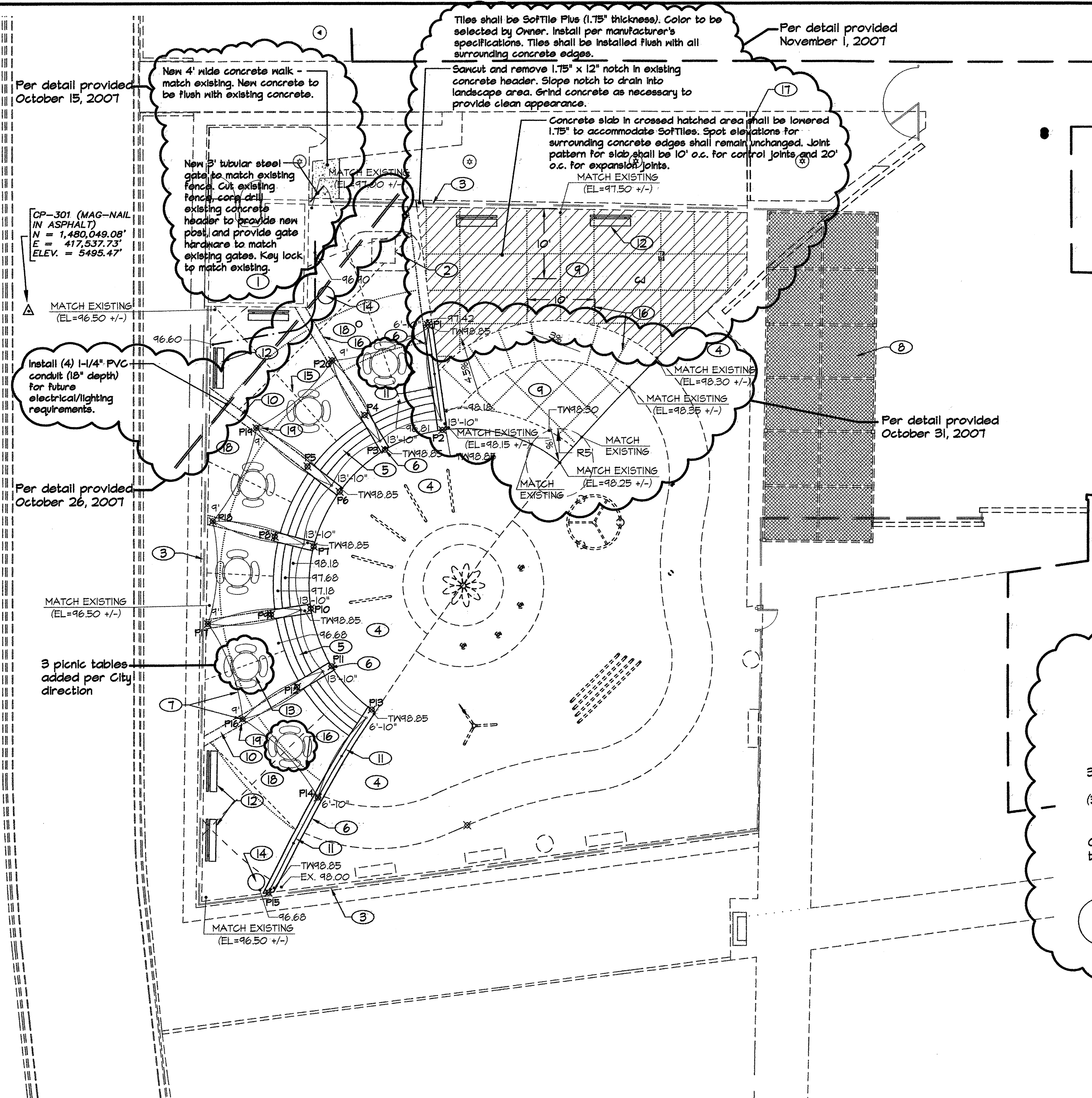


CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PARK DESIGN AND CONSTRUCTION DIVISION			
TITLE: MANZANO MESA WATER SPRAYGROUND - PHASE 2			
GENERAL NOTES			
Design Review Committee	City Engineer Approval	No. / Day / Yr.	
City Project No.	575194	Zone Map No. L-21	Sheet 2 Of 7

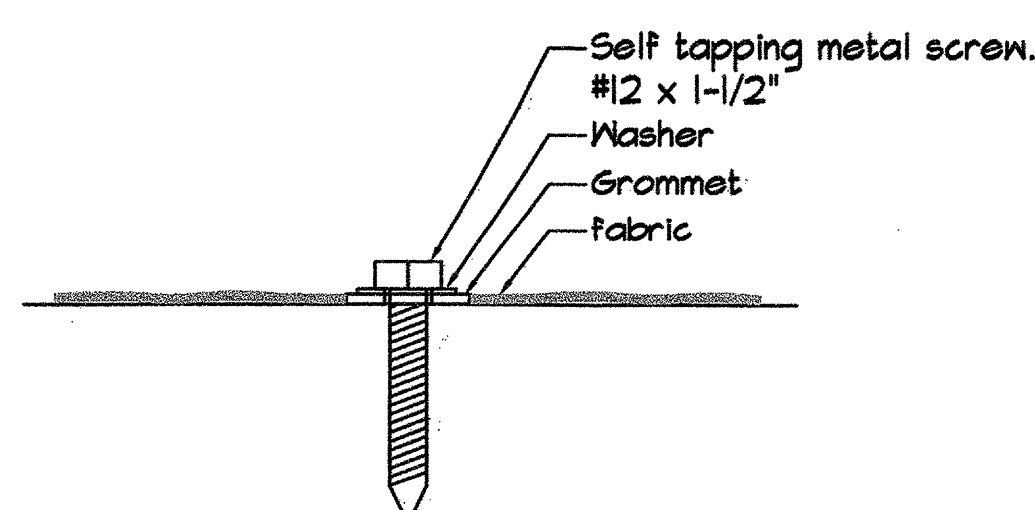
RECORD DRAWING

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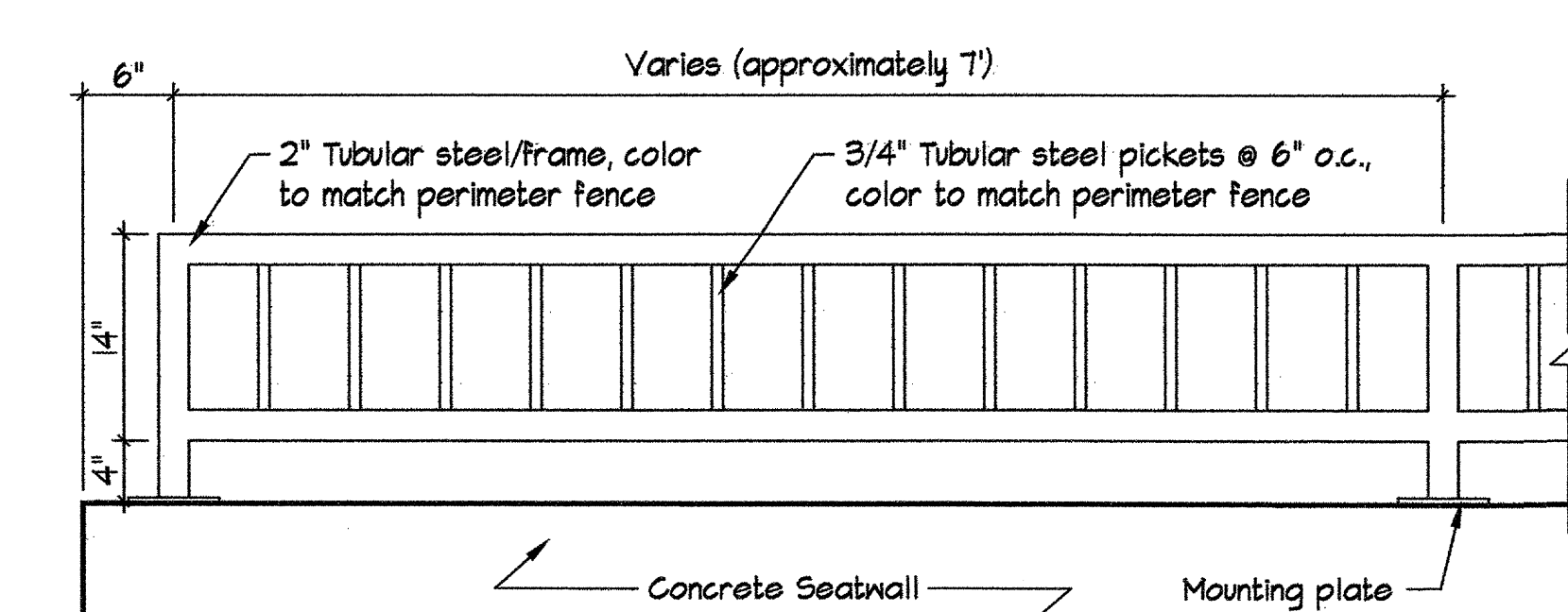
REDRAWN FOR RECORD PURPOSES



1 CONCRETE JOINTS
N.T.S.



2 SHADE FABRIC ATTACHMENT DETAIL
N.T.S.



3 TUBULAR STEEL FENCE
Scale 1" = 1' - 0"

GENERAL NOTES

- Contractor to review and coordinate all Contract Documents.
- Contractor to notify Landscape Architect of any discrepancies in Contract Documents.
- Contractor to notify Landscape Architect of any discrepancies between Contract Documents and Field Conditions.
- Contractor to refer to annotated dimensions only. Contractor not to scale off drawings.
- Larger scale drawings take precedence over smaller scale, typ.
- All disturbed areas not receiving specific treatment per these plans shall be revegetated per City specifications.

KEYED NOTES

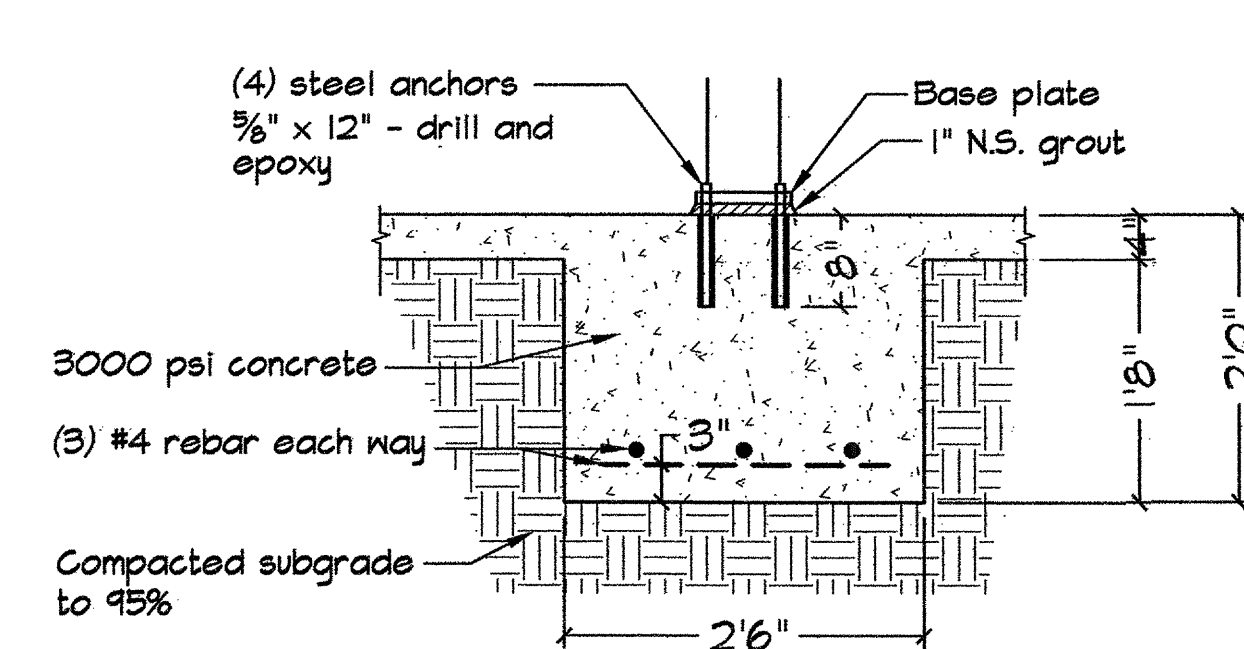
- Existing mechanical building.
- Existing cover to underground water storage tank.
- Existing concrete header/tubular steel fence.
- Existing concrete slab.
- Concrete stairs - see detail 3, sheet 4.
- Concrete seatwall - see detail 4, sheet 4.
- Supports shade structure. Posts to be surface mounted on slabs and concrete seatwalls. Colors: Laser Red/Sunflower Yellow. (By Supports)
- Shade fabric on existing metal structure - color to match structure. Fabric shall be high density polyethylene w/ultraviolet additives; rachel knitted to prevent unravelling if cut. Fabric shall be grommated at 18" o.c. around perimeter of each of 12 panels. Attach to structure per Detail 2 below.
- 4" Concrete pavement, 5' x 5' pattern w/medium broom finish and 4" smooth trowel edge around each panel. Match existing.
- Concrete banding aligned with seatwalls.
- Tubular steel fence. See detail 3 below.
- Bench (Nabash Valley CN420(W), Color: Blue, Portable)
- Picnic table (Nabash Valley 56150(P), Color: Red, Portable)
- Litter Receptacle (McGintock R50-25, Color: Green)
- Expansion joint - typ. See Detail 1 below.
- Tooled control joint - typ. See Detail 1 below.
- Existing concrete header to be removed.
- 4" Concrete pavement w/medium broom finish.

ADDITIVE ALTERNATES

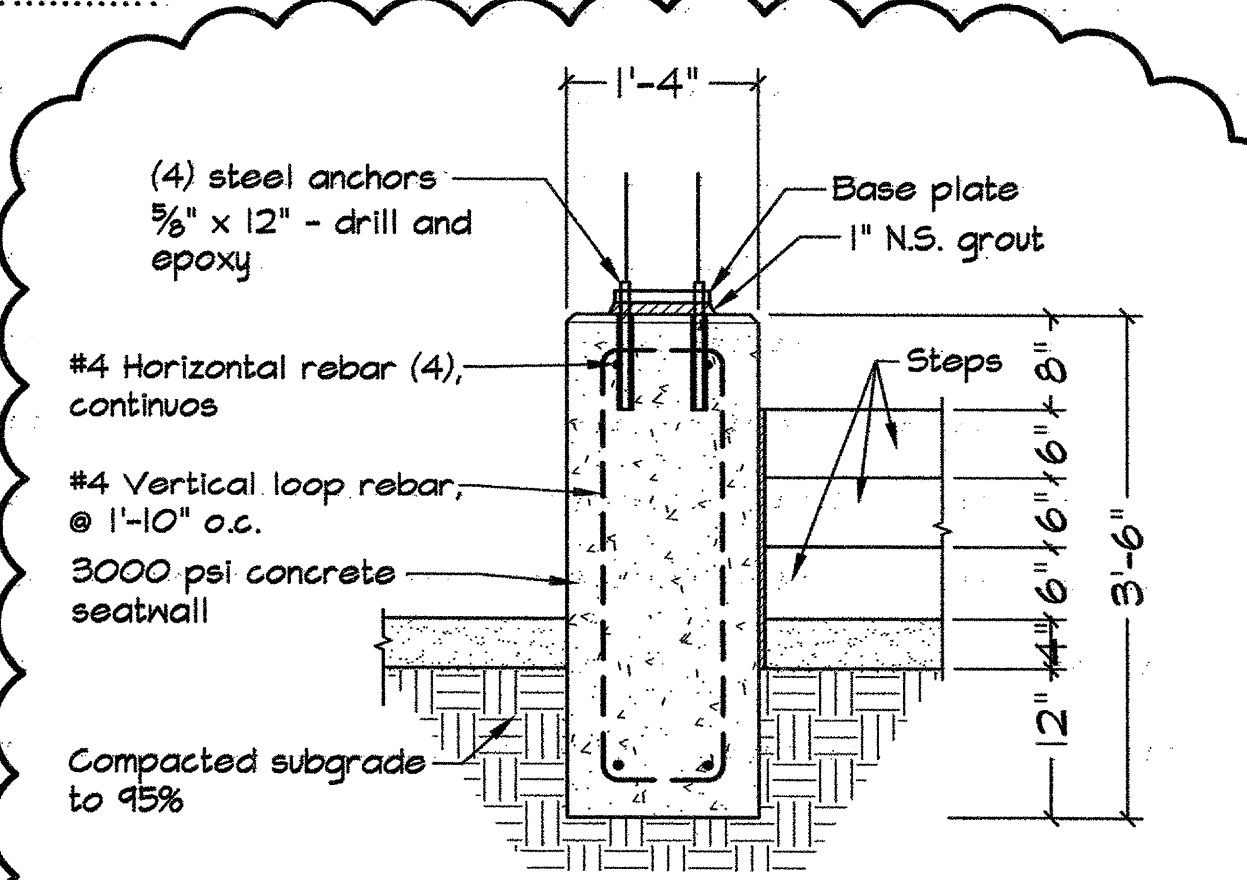
Base Bid - includes installation of footings for Supports shade structure per detail 4, this sheet. Shade structure shall not be installed under Base Bid.
Add Alternate 1 - installation of Supports shade structure and footings per detail 5, this sheet. Add Alternate 1 to be installed by Supports.

POINT COORDINATES

#	NORTHING	EASTING
P1	480047.01	417547.18
P2	480031.15	417544.33
P3	480028.19	417540.78
P4	480033.36	417547.74
P5	480025.75	417549.23
P6	480022.14	417544.01
P7	480013.98	417540.14
P8	480015.45	417544.32
P9	480004.05	417543.76
P10	480004.44	417549.70
P11	479996.43	417542.78
P12	479993.31	417547.66
P13	479984.88	417548.76
P14	479976.55	417540.74
P15	479962.73	417543.35
P16	479988.37	417549.53
P17	480002.63	417544.36
P18	480017.77	417545.10
P19	480031.45	417541.62
P20	480041.56	417542.56



4 POST FOOTING DETAIL
Per detail provided October 18, 2007
Scale 3/4" = 1' - 0"

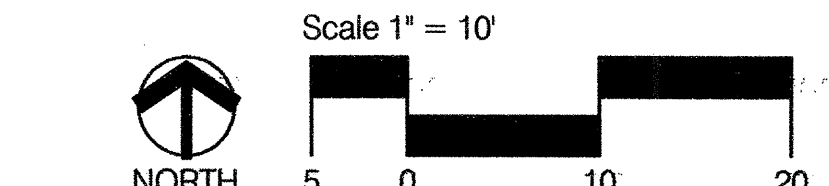


5 POST ANCHOR IN SEATWALL DETAIL
Per detail provided October 23, 2007
Scale 3/4" = 1' - 0"

RECORD DRAWING

THIS RECORD DRAWING HAS BEEN PREPARED, BASED UPON INFORMATION FURNISHED BY THE CONTRACTOR. THE DESIGN PROFESSIONAL HAS NOT INDEPENDENTLY REVIEWED THE ACCURACY OF THE INFORMATION PROVIDED. THESE RECORD DRAWINGS ACCURATELY DEPICT THE FIELD CHANGES WHICH WERE REPORTED BY THE CONTRACTOR.

REDRAWN FOR RECORD PURPOSES



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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: MANZANO MESA WATER SPRAYGROUND - PHASE 2

SITE PLAN

Design Review Committee	City Engineer Approval	Update
		No. / Day / Yr.
		No. / Day / Yr.
		No. / Day / Yr.
		No. / Day / Yr.

City Project No. 575194 Zone Map No. L-21 Sheet 3 of 7


AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEERS SEAL		REVISIONS	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE		BY	DATE	DATE
INSPECTOR	DATE	NO.	DATE	NO.	DATE		NO.	DATE	DATE
ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE		NO.	DATE	DATE
VERIFICATION BY	DATE	NO.	DATE	NO.	DATE		NO.	DATE	DATE
DRAWING BY		DRAWING BY		DRAWING BY		DRAWING BY		DRAWING BY	
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
RECORDED BY	DATE	NO.	DATE	NO.	DATE				

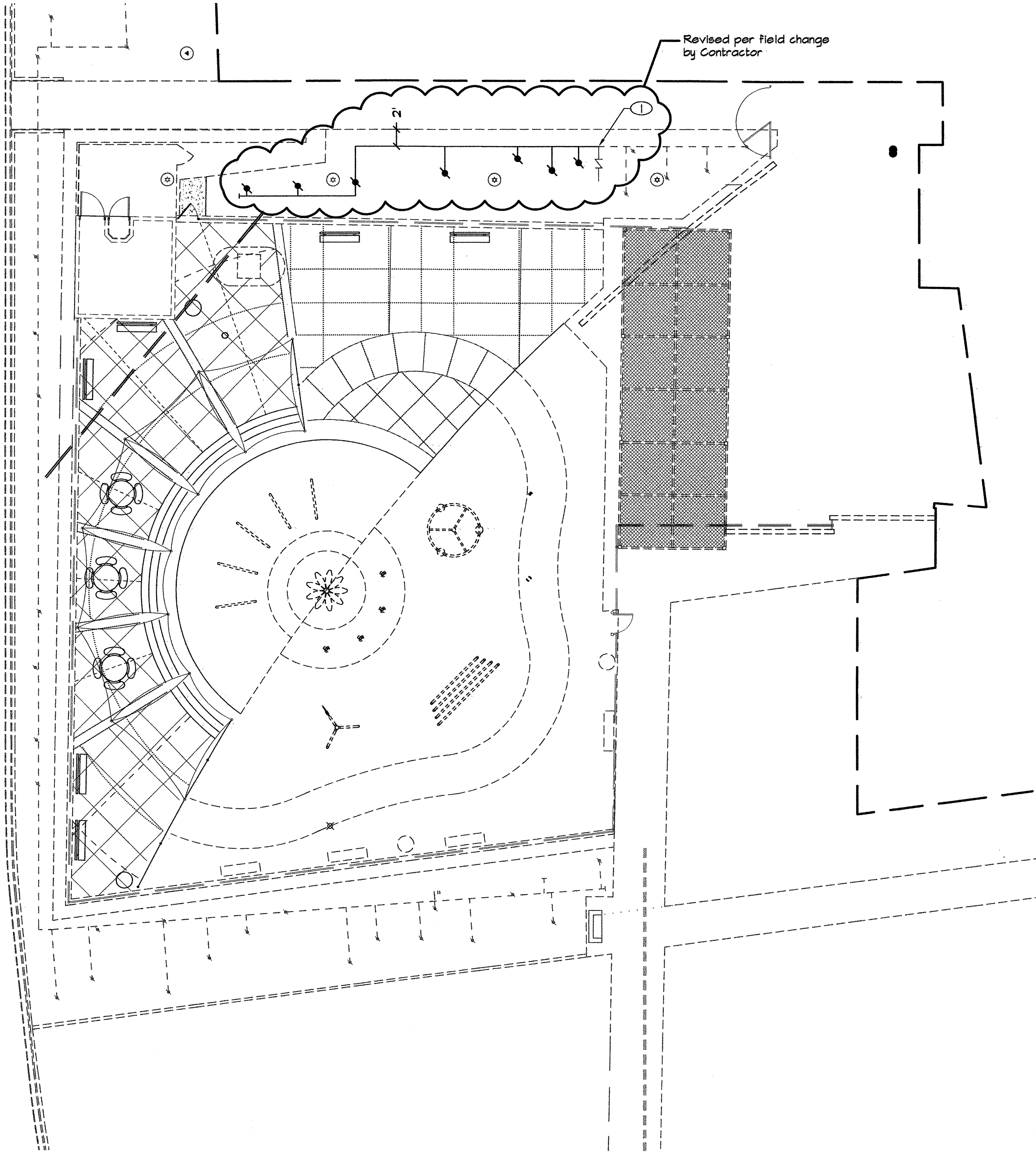


— Per revised detail
dated October 24, 2007

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REDRAWN FOR RECORD PURPOSES

	PLANNING	CITY OF ALBUQUERQUE				NO.	DATE	DRAWN BY	DESIGNED BY	CHECKED BY
	CONSENSUS PLANNING, INC.									
	Planning / Landscape Architecture									
	302 Eighth Street NW									
	Albuquerque, NM 87102									
	(505) 764-9801 Fax 842-5495									
e-mail: cp@consensusplanning.com										
TITLE: MANZANO MESA WATER SPRAYGROUND - PHASE 2										
ELEVATIONS / DETAILS										
Design Review Committee		City Engineer Approval			Last Design Update	No. / Day / Yr.		No. / Day / Yr.		
City Project No.		575194			Zone Map No.		Sheet		of	
					1-21		4		7	



IRRIGATION EQUIPMENT SCHEDULE

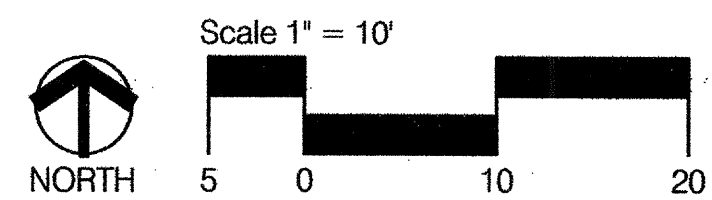
SYMBOL	DESCRIPTION
==	Sleeving: Class 200 PVC (2 sizes larger than pipe to be sleeved).
----	Main Line Pipe: Schedule 40 PVC (2")
—	Lateral Pipe: Class 40 PVC, 3/4" Unless Noted Otherwise
*	Emitter Device (shrubs): Rain Bird Xeri-Bird XBT-20 Multi-Outlet Xeri-Bug. 1/4" distribution tubing pinned at each tree and shrub. (1) gph Xeri-Bug emitter per shrub

GENERAL IRRIGATION NOTES

- The system design assumes a minimum static pressure of 60 PSI. The Irrigation contractor shall verify pressure and flow on site prior to construction.
- The Irrigation contractor shall become thoroughly familiar with the specifications for this and related work prior to construction.
- The Irrigation contractor shall determine the exact location of underground utilities and electrical wiring prior to construction.
- The Irrigation contractor shall not install the sprinkler system when it is obvious in the field that obstructions or grade differences exist that might not have been considered in the engineering, or if the discrepancies in construction details, legend, notes, or specifications are discovered. All such obstructions or discrepancies shall be brought to the attention of the Owner's Representative.
- The drawings are diagrammatic. In some cases, irrigation components may be shown outside of planting areas for clarity. The Irrigation contractor shall avoid any conflicts between the irrigation system, planting materials, and above ground utilities. Irrigation pipe and wiring shall be installed in landscaped areas whenever possible.
- All irrigation components shall be installed in accordance with section 1001- Landscape Irrigation System, and referenced details contained within the City of Albuquerque standard specifications manual, latest edition.
- All irrigation components which are illustrated with screened lines are existing.

CONSTRUCTION NOTES

- Tap existing lateral lines and extend new lateral lines as shown.



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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: MANZANO MESA WATER SPRAYGROUND - PHASE 2
IRRIGATION PLAN

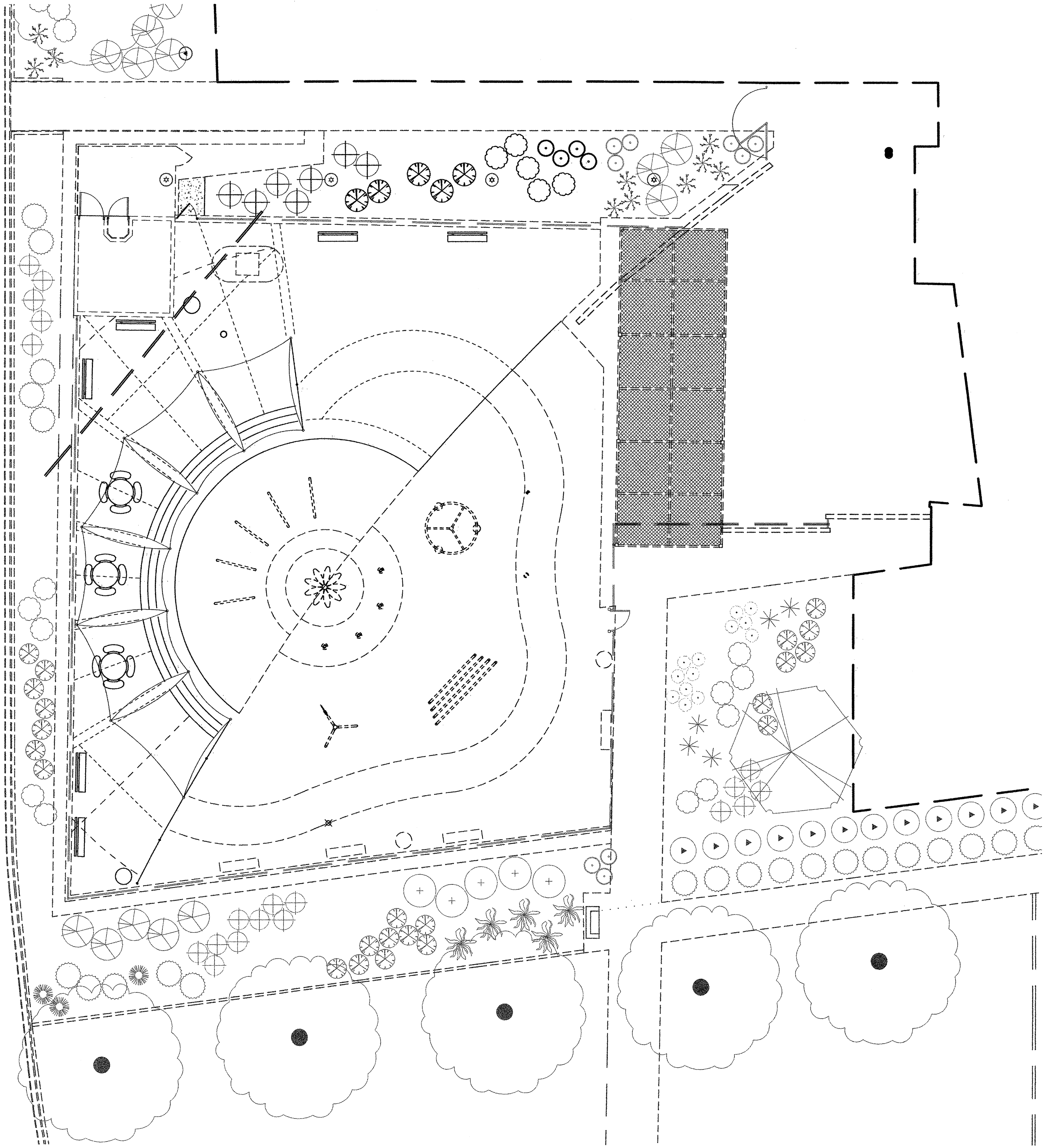
Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.

City Project No.	575194	Zone Map No.	L-21	Sheet	5	of	7
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RECORD DRAWING
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REDRAWN FOR RECORD PURPOSES

ENGINEERS SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES					
		NO.	BY	DATE		CONTRACTOR	
						WORK BY	DATE
						SUPERVISOR'S ACCEPTANCE BY	DATE
						VERIFICATION BY	DATE
						DRAWINGS CHECKED BY	DATE
						MICRO-FILM INFORMATION	
						RECORDED BY	DATE
						NO.	

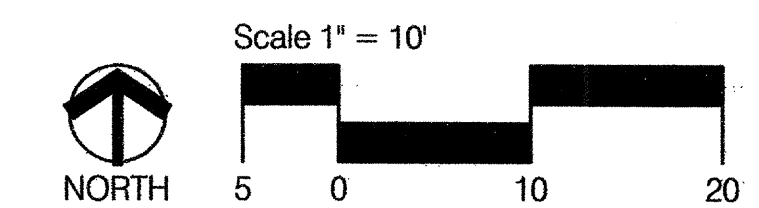


PLANT LEGEND

Quantity	Symbol	Scientific Name Common Name	Size	Remarks	Water Use
Existing trees and shrubs are shown with shaded linework - do not disturb.					
Shrubs					
5	○	Artemesia 'Powis Castle' 'Powis Castle' Sage	1-Gal	3' o.c. 3' ht. x 3' spr.	Medium
5	⊗	Caryopteris clandonensis Blue Mist	5-Gal	3' o.c. 3' ht. x 3' spr.	Medium
4	⊙	Rosmarinus off. 'Prostratus' Prostrate Rosemary	5-Gal	3' o.c. 2' ht. x 3' spr.	Medium
7	⊕	Salvia greggii Cherry Sage	1-Gal	3' o.c. 3' ht. x 3' spr.	Medium

GENERAL LANDSCAPE NOTES

- Prior to beginning work on the project, the Landscape Contractor shall review the project in the field with the Owner's Representative.
- If discrepancies occur between the drawings and the site, the Landscape Contractor shall notify the Owner's Representative for clarification prior to proceeding on that portion of work.
- All planting areas are to have weeds and competitive vegetation removed prior to preparation for planting.
- All existing plant materials shall be protected during construction. Damaged materials shall be replaced in kind at the Contractor's expense.
- Plant quantities are provided for Contractor's convenience only, plans shall take precedence.
- The Owner's Representative shall approve all plant material prior to planting. In addition, the Owner's Representative reserves the right to refuse any plant material deemed unacceptable. The Owner's Representative is to approve any and all substitutions prior to installation. Contact Jeff Hart, Park Management Division Urban Forester, at 851-8650 for plant inspections.
- It is the Landscape Contractor's responsibility to locate all underground utilities prior to commencement of planting operations. Any damage to utilities will be repaired at Contractor's expense.
- Planting installation shall be in accordance with all City of Albuquerque standard specifications (Section 1005 - Planting) and details (Isolated Tree Planting - 2114, Tree Planting on Slope - 2116, and Isolated Shrub Planting - 2117).
- Planting areas shall be top dressed with a 4" layer of Santa Fe Brown rock mulch (1/8") over Miraflo seed control fabric.



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CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PARK DESIGN AND CONSTRUCTION DIVISION	
TITLE: MANZANO MESA WATER SPRAYGROUND - PHASE 2 PLANTING PLAN	
Design Review Committee	City Engineer Approval
City Project No. 575194	Zone Map No. L-21
Sheet 6 of 7	

RECORD DRAWING
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REDRAWN FOR RECORD PURPOSES

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