

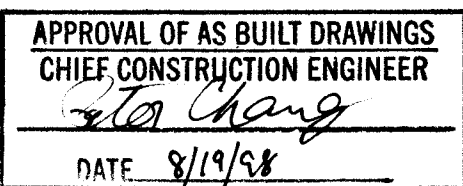
VALLE DEL CANTO
SUBDIVISION UNIT I
ALBUQUERQUE, NEW MEXICO
IMPROVEMENTS FOR
GRADING, PAVING, AND UTILITIES

INDEX OF DRAWINGS

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PAVING PLAN AND PROFILES

7.	COMPOSITE PAVING PLAN
8.	SAN TOMAS LANE PAVING (STA 1+04.08 - STA 6+79.17)
9.	VISTA DEL ANGEL PAVING (STA 0+00 - STA 7+98.50)
10.	CALLE AMARILLO PAVING (STA 1+69.27 - STA 7+83.15)
11.	LA VIDA LANE PAVING (STA 1+71.68 - STA 8+10.17)
12.	86TH STREET PAVING (STA 0+00 - STA 8+67.54)
13.	SUNSET GARDENS ROAD PAVING (STA 3+27.86 - STA 11+03.40)
14.	PAVING SECTIONS AND DETAILS

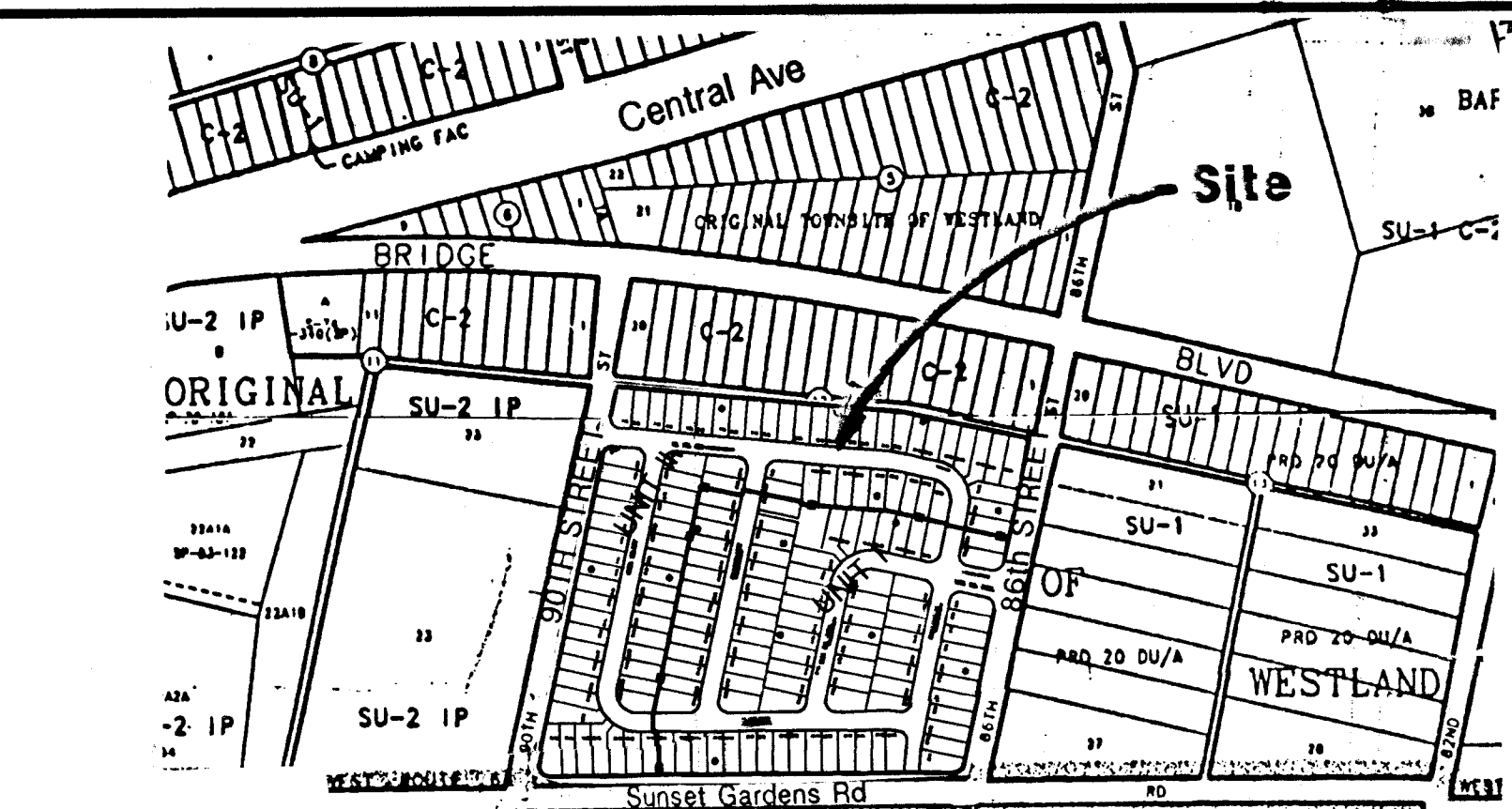


UTILITY PLAN AND PROFILES

15.	COMPOSITE UTILITY PLAN
16.	VIA DEL ORO UTILITY (STA 0+00 - STA 9+58.75)
17.	SAN TOMAS LANE UTILITY (STA 0+00 - STA 6+79.17)
18.	VISTA DEL ANGEL UTILITY (STA 0+00 - STA 7+98.50)
19.	CALLE AMARILLO UTILITY (STA 1+69.27 - STA 7+83.15)
20.	LA VIDA LANE UTILITY (STA 1+71.68 - STA 8+10.17)
21.	86TH STREET UTILITY (STA 0+00 - STA 8+67.54)
22.	SUNSET GARDENS ROAD UTILITY (STA 3+27.86 - STA 11+03.40)

26 5776 81198409

AS CONSTRUCTED CERTIFICATION
I, Robert B. Ryals, being a licensed Professional Engineer in the State of New Mexico, do hereby certify that, based on field surveys performed by Community Sciences Corporation, information shown on these "AS-CONSTRUCTED" drawings is true and accurate to the best of my knowledge and belief.
Robert B. Ryals, P.E. 2/16/98



VICINITY MAP
N.T.S.
ZONE ATLAS PAGE NO. L-9-Z

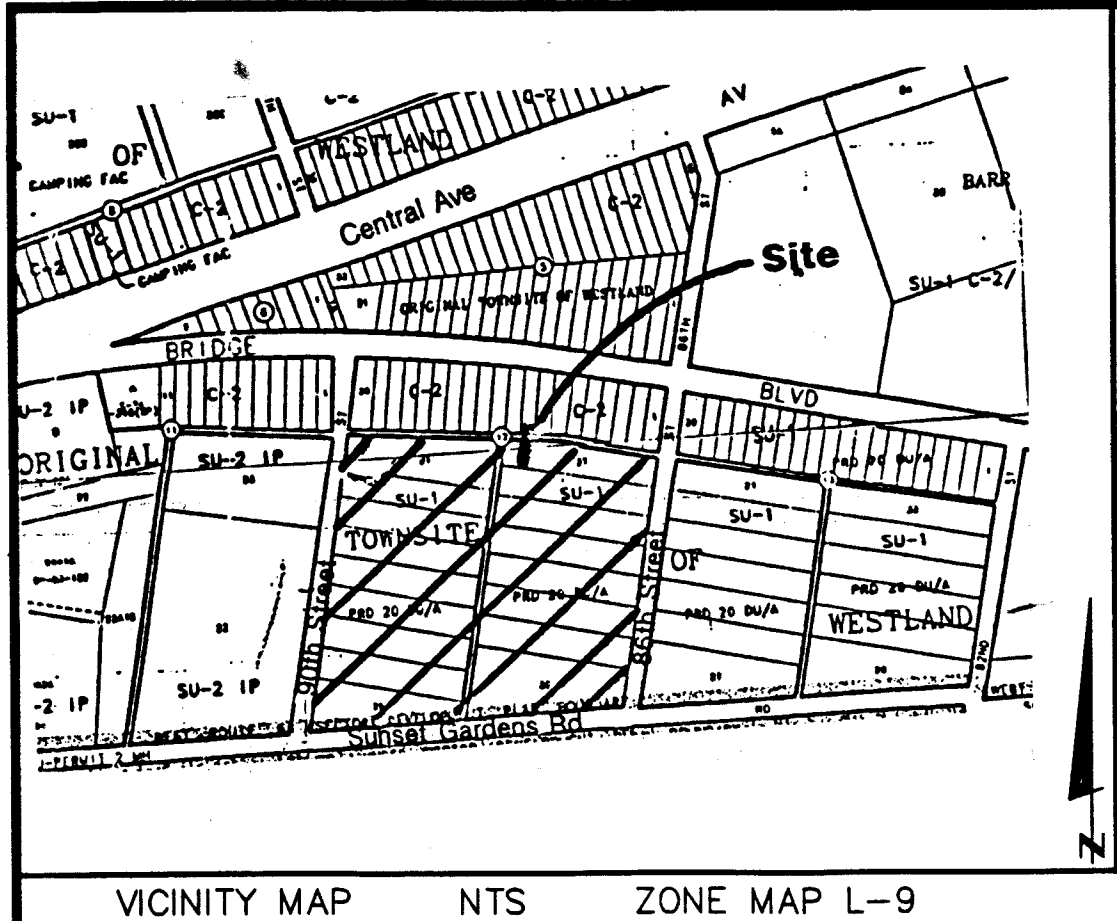
GENERAL NOTES

- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction 1986 Edition as amended with Update No. 6.
- Prior to construction, the Contractor shall excavate & verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with minimum delay.
- Two (2) working days prior to any excavation, Contractor must contact Line Locating Service @ 260 - 1990 for location of existing utilities.
- Warning - EXISTING UTILITY LINE LOCATIONS are shown in an approximate manner only, and such lines may exist where none are shown. The location of any such existing lines is based upon information provided by the utility company, the owner, or by others, and the information may be incomplete or may be obsolete by the time construction commences.

The engineer has undertaken no field verification of the location, depth, size, or type of existing underground utility lines, makes no representation pertaining therefor. The contractor shall inform itself of the location of any utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify, and preserve any and all existing utilities. The contractor shall comply with State statutes, municipal and local ordinances, rules and regulations pertaining to the location of these lines and facilities, in planning and conducting excavation, whether by calling or notifying the utilities, complying with "Blue Stakes" procedures, or otherwise.

- TRAFFIC CONTROL: Five (5) working days prior to beginning construction the contractor shall submit to the Construction Coordination Division a detailed construction schedule. Two (2) working days prior to construction the contractor shall obtain a barricading permit from the Construction Coordination Division. Contractor shall notify Barricade Engineer (768-2551) prior to occupying an intersection. See section 19 of the specifications. All street striping altered or destroyed shall be replaced by contractor to location and in kind as existing at no additional cost to the owner.
- The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
- The contractor is responsible for protecting and maintaining all existing monumentation controls. In the event of inadvertent destruction or alteration the contractor must immediately notify the City Chief Surveyor.
- Any work effecting an arterial roadway requires twenty-four hour completion.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman	Billy G. Beckley	11-3-97	APPROVED FOR CONSTRUCTION City Engineer 1/16/98		
		Transportation	R. W. Jones	11-28-97			
		Water/Wastewater	R. W. Jones	10-24-97			
		Hydrology	John H. Hunsell	10-22-97			
		CIP					
		Constr. Mngmt.					
CITY PROJECT No.		577681		Sheet 1 of 22			
Turnkey							



PURPOSE OF THE PLAT

1. Create lots and tracts, dedicate public right of way and grant public and private access, utility and drainage easements as shown hereon.

SUBDIVISION DATA

1. Case No.: DRB-97-311 Z-97-60 V-97-87
2. Zone Atlas Index No.: L-9
3. Number of Lots Created: 88
4. Number of Tracts Created: 5
5. Gross Area: 21.4394 acres
6. Date of Survey: April 8, 1997
7. Talos Log: 97-0929-0121-0181.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plots of record: THE ORIGINAL TOWNSITE OF WESTLAND (05-23-35, D-53)
5. City of Albuquerque water and sanitary service to Valle Del Canto, Unit I must be verified and coordinated with the Public Works Department, City of Albuquerque.
6. Centerline (in lieu of ROW) monumentation to be installed at all centerline P.C.S, P.T.S, angle points and street intersections prior to acceptance of street improvements and will consist of a 4" aluminum cap stamped "City of Albuquerque Centerline Monumentation Survey Marker Do Not Disturb P.L.S. 11000."

OWNERS FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned owner and/or proprietor thereof and said owner and/or proprietor do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant all access utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein, and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground services for buried distribution lines, conduits, and pipes for underground and/or overhead utilities shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs (see notes). Said owner and/or proprietor do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

American Southwest Homes, LTD Company
By: L.L. Bell, Registered New Mexico Agent

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
On this 29th day of September, 1997, the foregoing instrument was acknowledged before me. My commission expires 4-19-98
R. Angie Bynum
Notary Public

DWG: WORK (WCA, CANTO, DRB, PSHT) DATE: 09/29/97 TIME: 18:41 RYALS Engineering-HB

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. **Phil Electric Services**
for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, structures and related facilities reasonably necessary to provide electrical services.
2. **PNM Gas Services**
for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. **U.S. West** for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and structures.
4. **Jones Interconnect** for the installation, maintenance, and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included: the right to build, relocate, construct, reconstruct, locate, relocate, change, remove, modify, repair, operate and maintain facilities for the purpose described above, together with free access to, from, and over said easements, including sufficient working area for the purpose set forth herein. No building, sign, pole (aboveground or underground), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or installed hereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code covered by construction or posted, existing or any structure adjacent to within or near easements shown on this plat. In approving this plat, Phil Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, Phil does not vouch for release any easement or any easement rights to which it may be entitled.

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND LYING AND BEING SITUATE WITHIN THE TOWN OF ATRISCO GRANT ("PROJECTED" SECTIONS 21 & 28, TOWNSHIP 10 NORTH, RANGE 2 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND COMPRISING ALL OF LOTS 21 THROUGH 37, BLOCK 12, TOGETHER WITH AN EXISTING 20' WIDE ALLEY RIGHT-OF-WAY, "THE ORIGINAL TOWNSITE OF WESTLAND" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 23, 1935 IN VOLUME D, FOLIO 53, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, SAID POINT OF BEGINNING LYING ON THE EASTERLY RIGHT OF WAY LINE OF 90TH STREET S.W. (60' R/W) AND THE SOUTHERLY RIGHT-OF-WAY LINE OF A 20' WIDE ALLEY AND BEING MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000, FROM WHENCE THE ACS MONUMENT "7-K9" BEARS THE FOLLOWING COURSE DISTANT, N30°36'42"E A DISTANCE OF 860.79 FEET,

THENCE CONTINUING FROM SAID POINT OF BEGINNING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF A 20' WIDE ALLEY ON S84°10'50"E A DISTANCE OF 704.57 FEET TO A POINT MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000,

THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF A 20' WIDE ALLEY ON S77°16'50"E A DISTANCE OF 319.00 FEET TO THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000 AND LYING ON THE WESTERLY RIGHT-OF-WAY LINE OF 86TH STREET S.W. (64' R/W),

THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY LINE OF A 20' WIDE ALLEY AND CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY OF 86TH STREET S.W. ON S12°37'48"W A DISTANCE OF 834.43 FEET TO SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000 AND LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF SUNSET GARDENS ROAD S.W.,

THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE OF 86TH STREET S.W. AND CONTINUING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF SUNSET GARDENS S.W. ON N89°35'06"W, A DISTANCE OF 1043.14 FEET TO THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED MARKED BY A 5/8" REBAR WITH ALUMINUM CAP HAVING NMPS #11000 AND LYING ON THE EASTERLY RIGHT-OF-WAY LINE OF 90TH STREET S.W.,

THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY OF SUNSET GARDENS ROAD S.W. AND CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY OF 90TH STREET S.W. ON N12°41'04"E A DISTANCE OF 972.08 FEET TO THE POINT AND PLACE OF BEGINNING AND CONTAINING 21.4394, MORE OR LESS.

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #'s:

LOT 21 BLOCK 12, UPC# 1-009-056-355-521-1-03-30
LOT 22 BLOCK 12, UPC# 1-009-056-353-510-1-03-31
LOT 23 BLOCK 12, UPC# 1-009-056-350-500-1-03-32
LOT 24 BLOCK 12, UPC# 1-009-056-348-491-1-03-33
LOT 25 BLOCK 12, UPC# 1-009-056-346-481-1-03-34
LOT 26 BLOCK 12, UPC# 1-009-056-345-471-1-03-35
LOT 27 BLOCK 12, UPC# 1-009-056-343-462-1-03-36
LOT 28 BLOCK 12, UPC# 1-009-056-341-452-1-03-37
LOT 29 BLOCK 12, UPC# 1-009-056-339-441-1-03-01
LOT 30 BLOCK 12, UPC# 1-009-056-392-444-1-03-02
LOT 31 BLOCK 12, UPC# 1-009-056-396-458-1-03-03
LOT 32 BLOCK 12, UPC# 1-009-056-398-468-1-03-04
LOT 33 BLOCK 12, UPC# 1-009-056-400-478-1-03-05
LOT 34 BLOCK 12, UPC# 1-009-056-402-488-1-03-06
LOT 35 BLOCK 12, UPC# 1-009-056-405-497-1-03-07
LOT 36 BLOCK 12, UPC# 1-009-056-408-508-1-03-08
LOT 37 BLOCK 12, UPC# 1-009-056-410-517-1-03-09

PROPERTY OWNER OF RECORD: AMERICAN SOUTHWEST HOMES, LTD

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: _____ DATE: _____

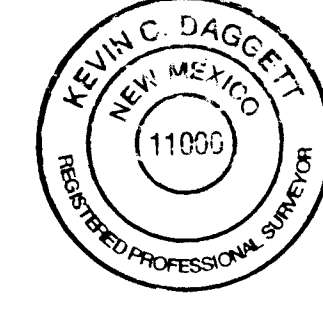
APPROVED AND ACCEPTED BY

Subdivision Case No. **S-97-65**
Paula J. Pomeroy **10-30-97**
City Planner/Albuquerque, Bernalillo Co. Planning Division Date
Frank J. Gargi **10-17-97**
City Engineer, Engineering Division Date
Frank J. Gargi **10-17-97**
Albuquerque Metropolitan Arroyo Flood Control Authority Date
Paula J. Pomeroy **10-29-97**
Traffic Engineer, Transportation Department Date
Robert J. Pomeroy **10-7-97**
Utility Development Date
Paula J. Pomeroy **10-2-97**
Parks Division Date
Neil C. Daggett **07-27-97**
City Surveyor, Engineering Division Date
Robert J. Pomeroy **10-29-97**
Property Management, City of Albuquerque N.M. Date
Paula J. Pomeroy **10-24-97**
PNM Gas Services Date
Norman G. Carrillo **10-9-97**
U.S. West Telecommunications Date
Paula J. Pomeroy **10-24-97**
PNM Electric Services Date
Viola Watson **10-24-97**
Jones Interconnect, Inc. Date

SURVEYOR'S CERTIFICATION

"I, KEVIN C. DAGGETT, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OF OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Kevin C. Daggett **9/29/97**
KEVIN C. DAGGETT N.M.R.P.L.S. No. 11000 Date



SHEET 1 of 3

community sciences corporation

DATE: SEPTEMBER 1997
SCALE: 1"=100'
DESIGNED: RYALS
DRAWN: RYALS
JOB NO.: 423-05-600
LAND PLANNING P.O. Box 1328
ENGINEERING CORRAL, N.M. 87048
SURVEYING

CURVE TABLE FOR PAGES 2&3 OF 3

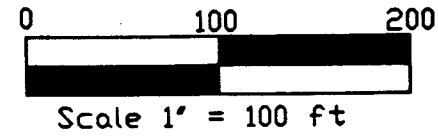
CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING	TAN LENGTH
C1	37.73	86°27'38"	25.00	34.25	N 55°51'47" E	23.50
C2	37.73	86°27'38"	25.00	34.25	N 30°36'11" W	23.50
C3	45.11	86°27'38"	885.00	45.41	S 11°03'36" W	52.71
C4	35.22	86°43'30"	25.00	32.38	N 50°03'99" E	21.25
C5	45.11	86°27'38"	885.00	45.41	N 11°03'36" W	52.71
C6	39.27	90°00'00"	25.00	35.36	S 32°22'02" E	25.00
C7	16.42	12°15'54"	77.00	16.38	S 83°28'39" E	8.24
C8	38.40	88°00'20"	25.00	34.73	S 33°22'02" E	24.14
C9	67.42	9°30'54"	406.00	67.35	S 5°52'38" W	53.79
C10	53.43	9°16'23"	370.00	53.39	N 5°19'32" E	56.76
C11	14.24	0°55'19"	885.00	14.24	S 10°09'04" W	7.12
C12	20.46	3°10'03"	370.00	20.45	N 11°02'46" E	10.23
C13	31.17	2°01'05"	885.00	31.17	S 11°37'15" W	15.59
C14	39.27	90°00'00"	25.00	35.36	N 57°37'48" E	25.00
C15	15.98	9°20'39"	98.00	15.96	S 7°45'39" W	8.61
C16	38.10	87°19'35"	25.00	34.36	S 48°45'07" W	23.66
C17	43	9°15'05"	98.00	43	S 12°30'29" W	22
C18	44.62	102°16'10"	25.00	38.93	N 38°27'01" W	31.62
C19	14.24	8°19'26"	98.00	14.22	S 7°10'02" W	7.13
C20	38.10	87°19'35"	25.00	34.36	S 48°45'07" W	23.66
C21	2.18	1°15'18"	98.00	2.18	S 12°02'54" W	1.09
C22	29.79	17°24'59"	98.00	29.68	S 21°23'33" W	15.01
C23	23.56	12°46'21"	98.00	23.50	S 36°59'13" W	11.84
C24	14.24	8°19'26"	98.00	14.00	S 50°41'30" W	7.02
C25	23.56	12°46'21"	98.00	23.50	S 63°40'30" W	11.84
C26	37.71	22°08'45"	98.00	37.48	S 81°35'09" W	19.09
C27	17.14	10°01'23"	98.00	17.12	S 68°22'53" W	8.59
C28	39.27	90°00'00"	25.00	35.36	S 57°37'48" W	25.00
C29	44.62	102°16'10"	25.00	38.93	N 38°27'01" W	31.62
C30	38.10	87°19'35"	25.00	34.36	S 48°45'07" W	23.66
C31	23.56	12°46'21"	98.00	23.50	S 36°59'13" W	11.84
C32	39.27	90°00'00"	25.00	35.36	S 57°37'48" W	25.00
C33	26.22	12°12'54"	123.00	26.17	N 83°28'39" W	13.16
C34	89.09	7°13'12"	630.00	89.02	S 6°42'12" W	81.05
C35	16.06	12°15'10"	75.00	16.03	S 6°32'59" W	8.06
C36	21.32	12°12'54"	100.00	21.28	S 83°28'39" E	10.70
C37	16.06	12°15'10"	75.00	16.03	N 6°30'59" E	8.06
C38	17.14	10°01'23"	98.00	17.12	S 57°39'26" E	74.93
C39	78.79	11°29'10"	393.00	78.65	S 6°32'12" W	39.53
C40	8.08	4°43'17"	98.00	8.07	S 46°14'02" E	4.04

LINE TABLE FOR PAGES 2&3 OF 3

LINE	BEARING	DISTANCE
L1	S 12°37'48" W	59.76
L2	S 47°36'37" W	30.45
L3	S 12°37'48" W	59.78
L4	S 12°37'48" W	59.78
L5	S 22°21'01" E	30.45
L6	S 48°19'28" W	25.27
L7	N 89°35'06" E	23.00
L8	N 89°35'06" E	13.00
L9	N 89°35'06" E	6.34
L10	N 6°24'54" E	23.00
L11	N 6°24'54" E	23.00
L12	N 12°41'04" E	14.20
L13	S 77°18'56" E	23.00
L14	S 77°18'56" E	23.00
L15	S 77°18'56" E	5.04
L16	S 12°37'48" W	3.46
L17	S 77°22'12" E	23.00
L18	S 12°41'04" W	23.00
L19	S 0°24'54" W	5.00
L20	S 12°37'48" W	15.76
L21	N 89°35'06" E	29.66
L22	N 12°37'48" E	21.54
L23	S 89°35'06" E	5.00
L24	S 77°20'10" E	29.66
L25	S 77°22'12" E	41.04
L26	N 12°41'04" E	62.77
L27	S 36°01'55" E	30.09
L28	S 36°01'55" E	25.63
L29	S 36°01'55" E	26.16
L30	N 77°18'56" E	35.14
L31	S 19°28'19" E	44.91
L32	S 12°41'04" W	44.91
L33	N 77°22'12" E	8.03
L34	S 0°24'54" W	42.26
L35	S 89°35'06" E	47.87
L36	S 89°35'06" E	46.62
L37	S 77°22'12" E	48.83
L38	N 0°24'54" W	42.26
L39	S 77°22'12" E	46.00
L40	S 77°22'12" E	34.00
L41	S 12°37'48" W	71.54
L42	S 12°37'48" W	48.00
L43	S 12°37'48" W	33.00
L44	N 12°41'04" E	10.00

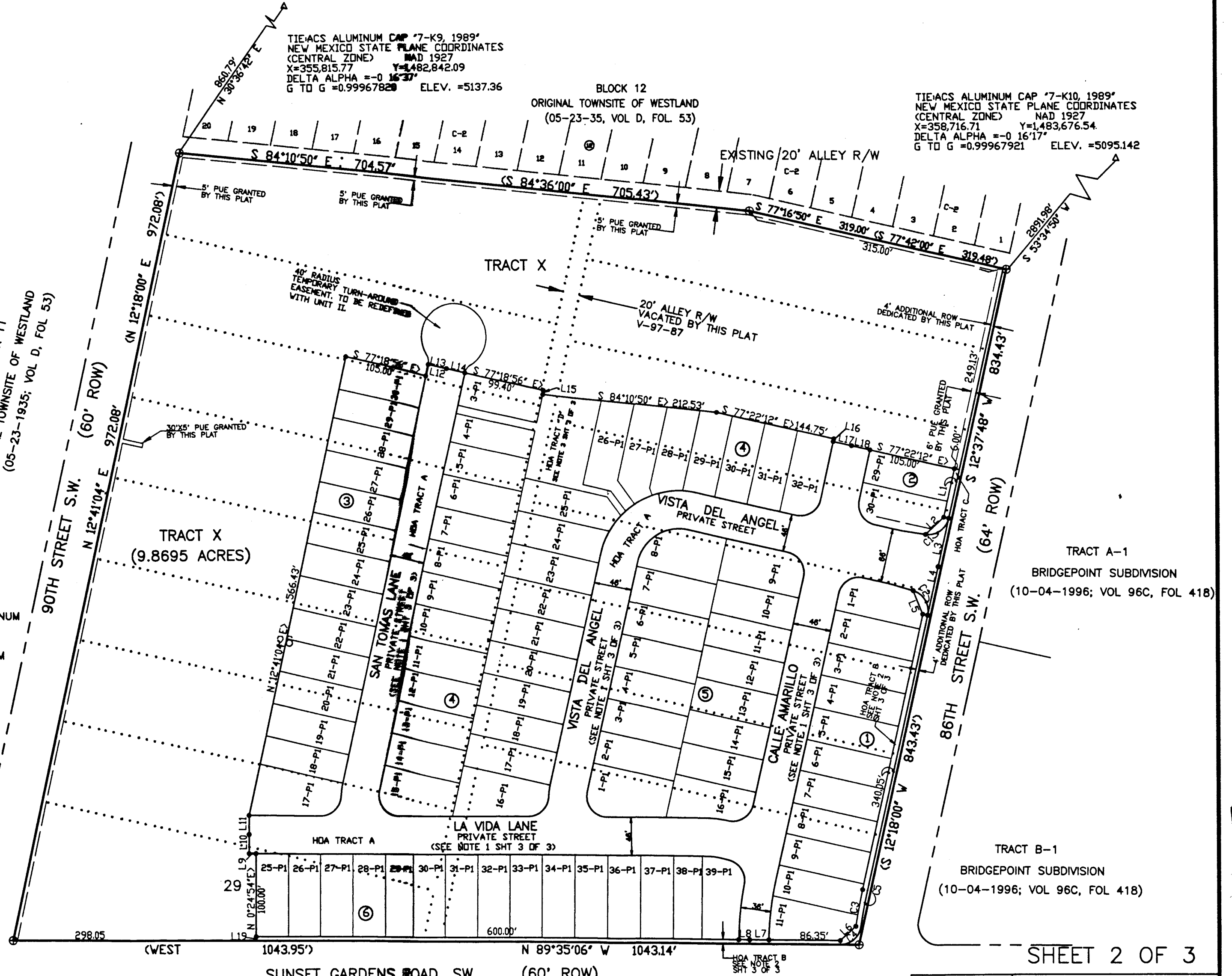
LEGEND

- BOUNDARY
- ROW LINE
- LOT LINE
- PROPERTY LINE ELIMINATED BY THIS PLAT
- EASEMENT
- ADJACENT PROPERTY LINE
- ⊙ FOUND 5/8" REBAR WITH ALUMINUM CAP BEARING NMPS #11000.
- SET 5/8" REBAR WITH ALUMINUM CAP BEARING NMPS #11000.



PLAT OF VALLE DEL CANTO SUBDIVISION, UNIT I

State of New Mexico } SS
County of Bernalillo
This instrument was filed for record on
4:13 OCT 30 1997
At _____ o'clock P.M. Recorded in Vol. _____
of records of said County Clerk
Andy Woodward Clerk & Recorder
Deputy Clerk



SHEET 2 OF 3

community sciences corporation

DATE: SEPTEMBER 1997
SCALE: 1"=100'
DESIGNED: RYALS
DRAWN: RYALS
JOB NO.: 423-05-600
LAND PLANNING P.O. Box 1328
ENGINEERING CORRAL, N.M. 87048
SURVEYING

SCANNED BY
RYALSON
SWF 20722

97114276

NOTE: FOR LINE AND CURVE TABLES
SEE SHEET 2 OF 3.

TRACT "X"
(9.8695 ACRES)

NOTES

1. TRACT "A" IS DEDICATED IN FEE SIMPLE TO THE VALLE DEL CANTO HOME OWNERS ASSOCIATION AS A COMMON AREA FOR A PRIVATE STREET BY THIS PLAT. A PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT IS GRANTED TO EACH LOT OWNER ACROSS THIS TRACT BY THIS PLAT. A PUBLIC WATER, SANITARY SEWER AND STORM SEWER EASEMENT IS GRANTED WITHIN TRACT "A" TO THE CITY OF ALBUQUERQUE BY THIS PLAT. MAINTENANCE AND OPERATION OF THE PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE VALLE DEL CANTO HOA. WATER, SANITARY SEWER AND STORM DRAIN SYSTEMS SHALL BE MAINTAINED AND OPERATED BY THE CITY OF ALBUQUERQUE. A P.U.E. IS ALSO GRANTED ACROSS THIS TRACT TO US WEST, JONES INTERCABLE, PNM GAS SERVICES AND PNM ELECTRIC SERVICES BY THIS PLAT.

2. TRACT "B" AND "C" ARE DEDICATED TO THE VALLE DEL CANTO HOME OWNERS ASS. BY THIS PLAT. THESE TRACTS ARE CREATED TO SERVE AS LANDSCAPE BUFFERS FOR THE BENEFIT OF THE HOME OWNERS. MAINTENANCE OF THESE TRACTS TO BE BY THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION (HOA). A P.U.E. IS ALSO GRANTED ACROSS THESE TRACTS TO US WEST, JONES INTERCABLE, PNM GAS SERVICES AND PNM ELECTRIC SERVICES BY THIS PLAT.

3. TRACT "D" IS DEDICATED TO THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION (HOA) BY THIS PLAT. IT IS CREATED TO SERVE AS A PLACE FOR THE HOME OWNERS TO GATHER AND RECREATE. MAINTENANCE IS THE RESPONSIBILITY OF THE VALLE DEL CANTO HOME OWNER'S ASSOCIATION.

LEGEND:

- BOUNDARY
- ROW LINE
- LOT LINE
- EASEMENT
- HOA TRACTS
- CENTERLINE MONUMENTS

Scale 1" = 50 ft

PLAT OF
VALLE DEL CANTO
SUBDIVISION, UNIT 1

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on
13 OCT 30 1997
at 10:00 a.m. in Book 22, Page 114
of records of said County Filed
Judy Woodward, Clerk & Recorder
Dep't of Public Safety

4' ADDITIONAL ROW
DEDICATED TO THE CITY
OF ALBUQUERQUE BY THIS
PLAT (3362 S.F. OR 0.0772 AC)

HOA TRACT "C"
(SEE NOTE 2.)

HOA TRACT "B"
(6408.49 S.F. OR 0.1471 AC)
(SEE NOTE 2.)

HOA TRACT "A"
(2681 ACRES)

HOA TRACT "D"
(0.2093 AC)

HOA TRACT "E"
(0.1002 AC)

HOA TRACT "F"
(0.1002 AC)

HOA TRACT "G"
(0.1002 AC)

HOA TRACT "H"
(0.1002 AC)

HOA TRACT "I"
(0.1002 AC)

HOA TRACT "J"
(0.1002 AC)

HOA TRACT "K"
(0.1002 AC)

HOA TRACT "L"
(0.1002 AC)

HOA TRACT "M"
(0.1002 AC)

HOA TRACT "N"
(0.1002 AC)

HOA TRACT "O"
(0.1002 AC)

HOA TRACT "P"
(0.1002 AC)

HOA TRACT "Q"
(0.1002 AC)

HOA TRACT "R"
(0.1002 AC)

HOA TRACT "S"
(0.1002 AC)

HOA TRACT "T"
(0.1002 AC)

HOA TRACT "U"
(0.1002 AC)

HOA TRACT "V"
(0.1002 AC)

HOA TRACT "W"
(0.1002 AC)

HOA TRACT "X"
(0.1002 AC)

HOA TRACT "Y"
(0.1002 AC)

HOA TRACT "Z"
(0.1002 AC)

HOA TRACT "AA"
(0.1002 AC)

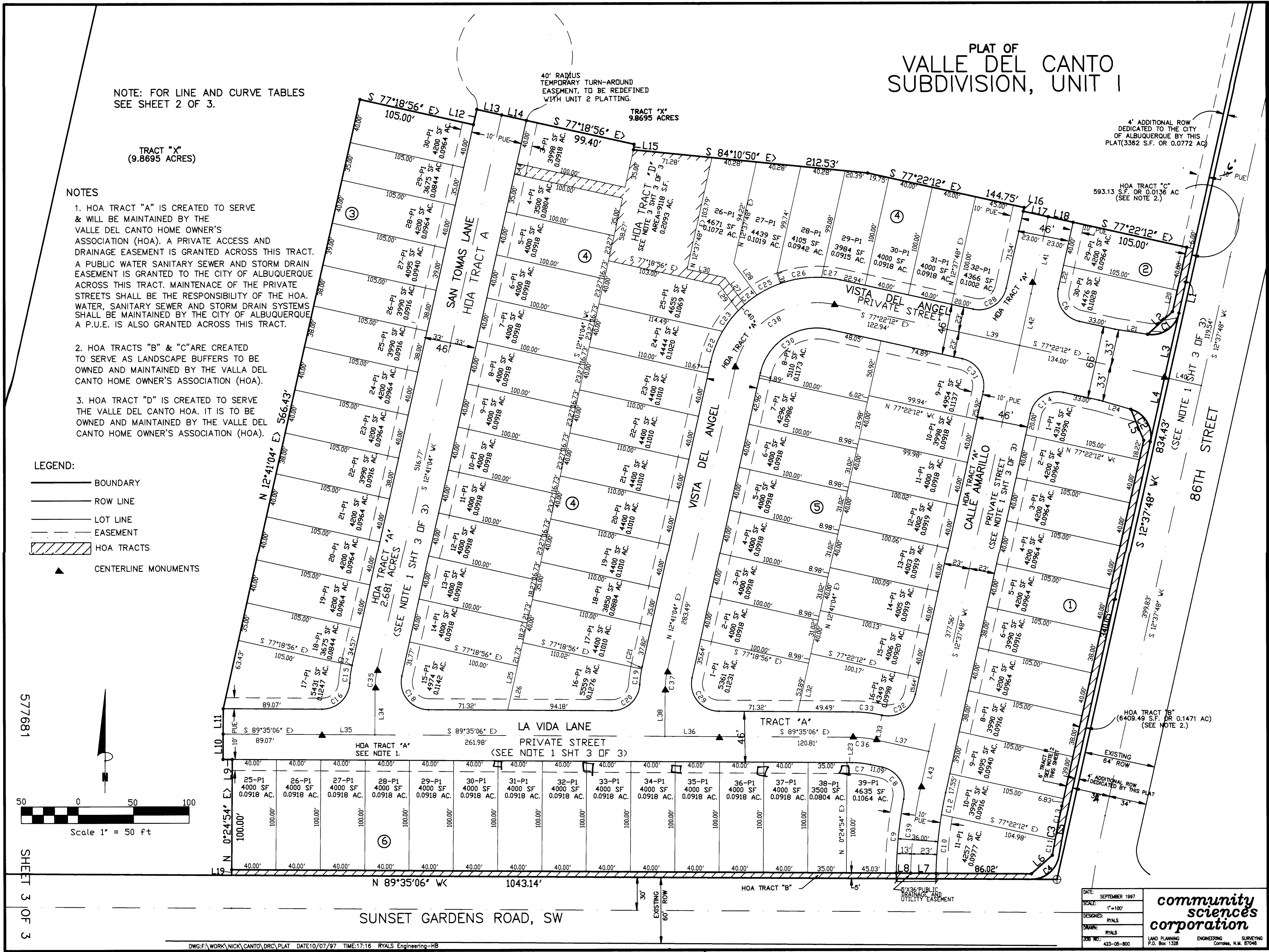
HOA TRACT "AB"
(0.1002 AC)

HOA TRACT "AC"
(0.1002 AC)

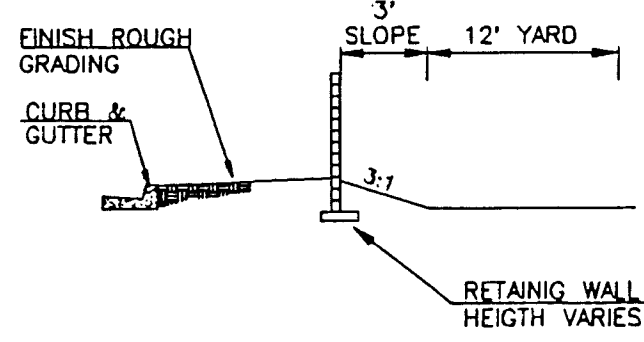
HOA TRACT "AD"
(0.1002 AC)

SHEET 3 OF 3

DATE: SEPTEMBER 1997
SCALE: 1"=50'
DESIGNED: [Signature]
DRAWN: [Signature]
community sciences corporation

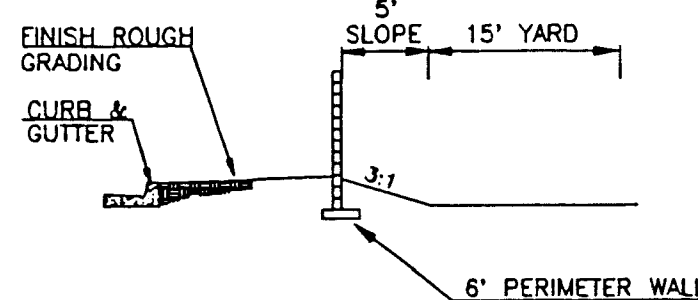


COMPACT SLOPE TO 90% OF OPTIMUM
USING PLACEMENT EQUIPMENT WHEELS
AS REQUIRED



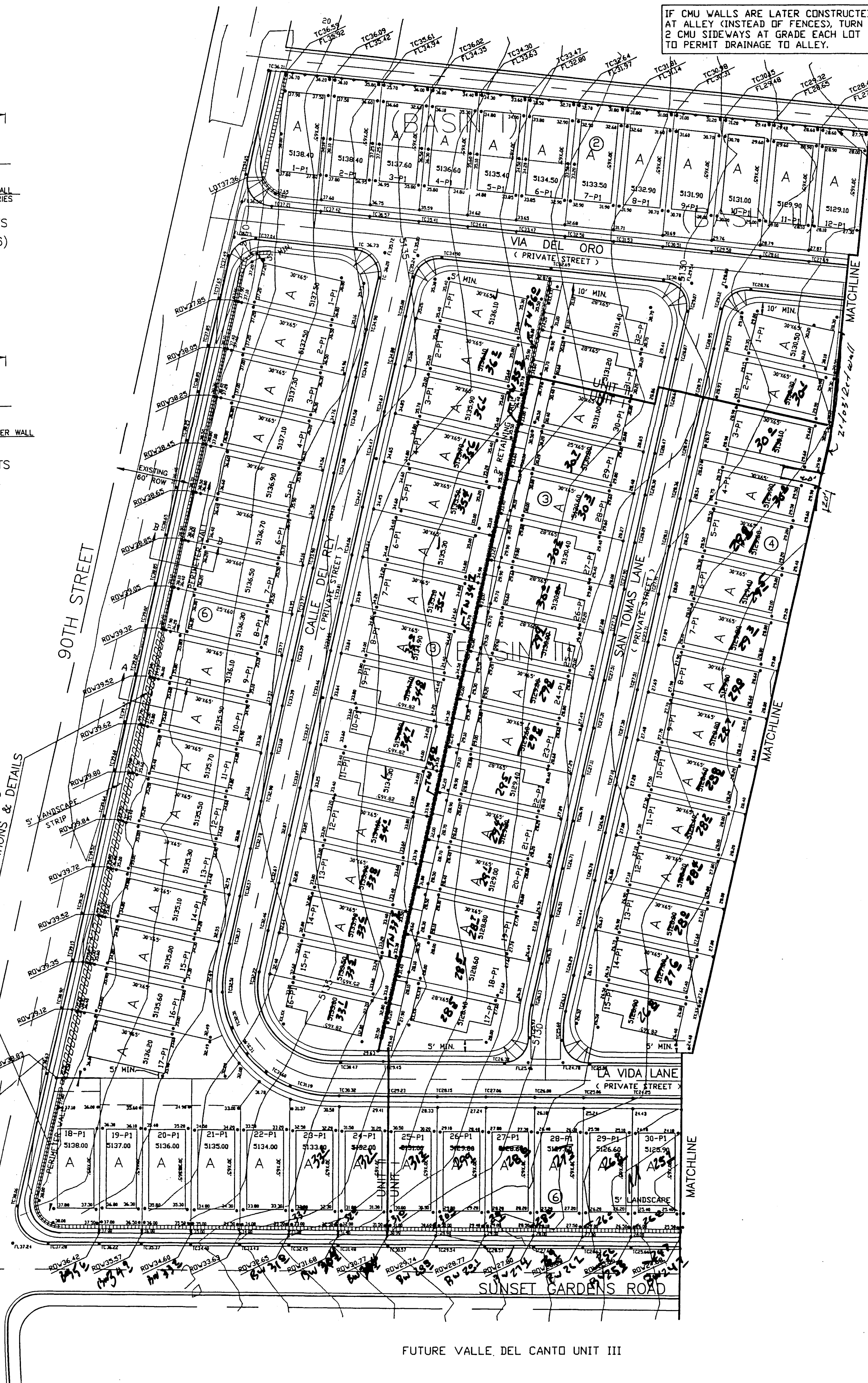
SECTION "A-A" NTS
(LOTS 9-17, BLOCK 6)

COMPACT SLOPE TO 90% OF OPTIMUM
USING PLACEMENT EQUIPMENT WHEELS
AS REQUIRED



SECTION "B-B" NTS
(LOTS 5-8, BLOCK 6)

SEE SHEET XX FOR RETAINING
WALL PROFILE ELEVATIONS & DETAILS



IF CMU WALLS ARE LATER CONSTRUCTED
AT ALLEY (INSTEAD OF FENCES), TURN
2 CMU SIDEWAYS AT GRADE EACH LOT
TO PERMIT DRAINAGE TO ALLEY.

FOR DRAINAGE AT ALLEY, CONSTRUCT
WOOD FENCE W/ VERTICAL BOARDS
STAGGERED INSIDE & OUTSIDE OF
STRINGER, OR OMIT BOTTOM 6" OF
1 BOARD EVERY 8 FT.

WOOD FENCE @ PL
AT ALLEY, TYP

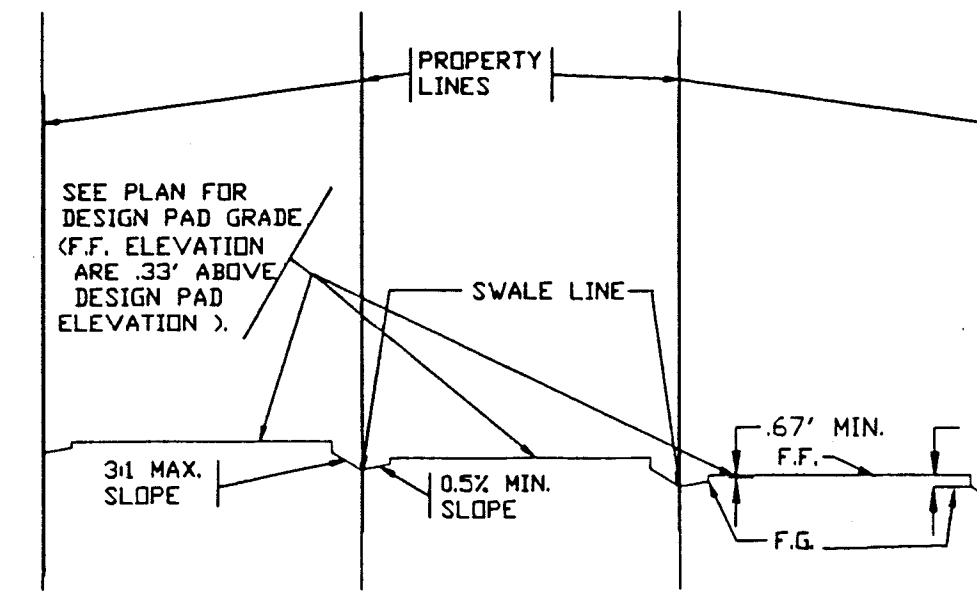
GRADING CERTIFICATION

I, Robert B. Ryals, being a licensed Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that, based on as constructed elevations determined from field surveys conducted in November 1997 by Community Sciences Corporation, the grading and retaining walls have been constructed in substantial compliance to this approved plan.

Robert B. Ryals, P.E. 2/16/98

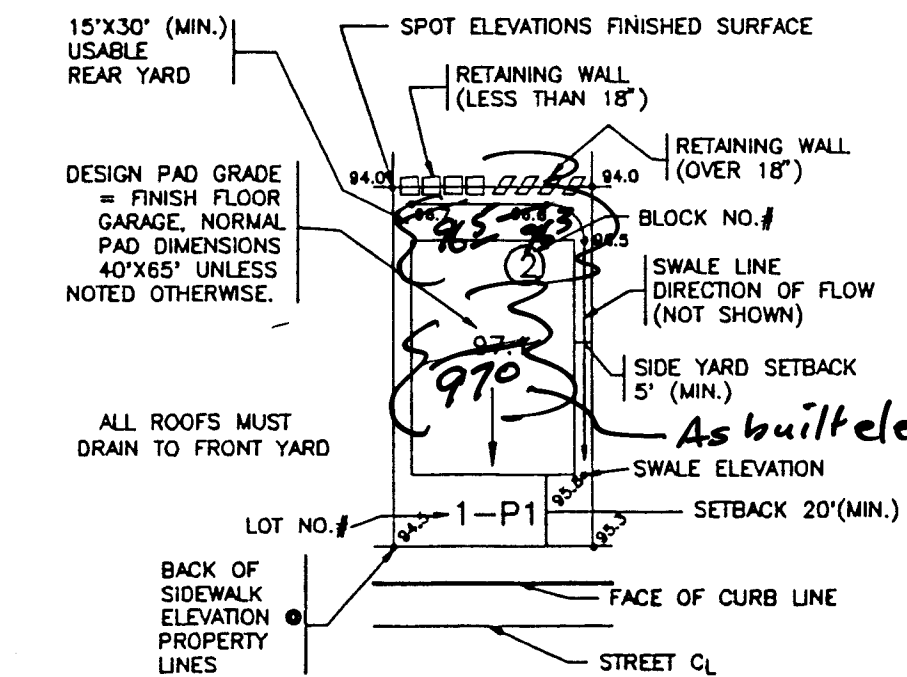
GENERAL NOTES

- THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO COMPLY WITH EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT SUPPLIED BY THE OWNER.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE CONSTRUCTION SITE. EROSION CONTROL MEASURES ARE INTENDED TO CONTROL MINOR FLOWS AND PROHIBIT THE RELEASE OF SEDIMENT INTO ADJACENT STREETS AND PROPERTY. TEMPORARY EROSION CONTROL BERMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL ON THIS GRADING PLAN AT LOCATIONS SHOWN.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY BERMS THROUGHOUT THE CONSTRUCTION PHASE. THE OWNER WILL MAINTAIN BERMS AFTER COMPLETION AND ACCEPTANCE OF CONSTRUCTION.
- TEMPORARY EROSION CONTROL BERMS LOCATED ON INDIVIDUAL LOTS SHALL REMAIN IN PLACE UNTIL THE CONSTRUCTION OF EACH RESPECTIVE BUILDING IS COMPLETED ON LOT BY LOT BASIS.
- THE TOLERANCES FOR ROUGH GRADING SHALL CONFORM TO THE FOLLOWING:
PAD SUBGRADE: $\pm 0.1'$
STREET SUBGRADE: $\pm 0.1'$
ALL OTHER AREAS: $\pm 0.3'$
- THERE ARE EXISTING WALLS LOCATED ADJACENT TO THIS PROJECT. ANY WALLS DAMAGED OR REMOVED BY THE CONTRACTOR DURING THE CONSTRUCTION ACTIVITIES SHALL BE REINSTALLED OR REPLACED BY THE CONTRACTOR TO AN EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- EARTH WORK OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS CONTAINED IN THE SOIL AND FOUNDATION INVESTIGATION REPORT PREPARED BY FOXCONSULTING ENGINEERS & GEOLOGISTS DATED OCTOBER 14TH, 1980.
- FOR ALL RETAINING WALLS GREATER THAN 18", A BUILDING PERMIT MUST BE OBTAINED FROM THE CITY OF ALBUQUERQUE CODE ADMINISTRATION DIVISION.
- MAXIMUM COMBINED HEIGHT OF GARDEN WALL PLUS RETAINING WALL MUST NOT EXCEED 8' FEET UNLESS A VARIANCE IS APPROVED THROUGH THE C.O.A. ZONING HEARING EXAMINER.



TYPICAL LOT SECTION

NTS



TYPICAL LOT DETAIL

LEGEND

- 5180- 5' CONTOUR
- 5181- 1' CONTOUR
- 0.00 X SPOT ELEVATION
- STORM DRAIN MANHOLE
- STORM DRAIN
- EXISTING SAS MH
- E- OVERHEAD ELECTRIC
- POWER POLE
- POWER POLES
- EXISTING TOP OF CURB AND FLOWLINE ELEVATIONS AND PROPOSED TOP OF CURB
- RETAINING WALL
- COMBINATION RETAINING/GARDEN WALL
- 6" CEDAR FENCE
- 6" BLOCK WALL W/ STOCCO

APPROVED FOR ROUGH GRADING
(± 1 FT.)

CITY HYDROLOGY DATE

RYALS engineering & construction services
5301 Central, N.E. Albuquerque, NM 87108
(505) 256-4701 239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLA DEL CANTO SUBDIVISION
GRADING AND DRAINAGE PLAN
(WEST SIDE)

Design Review Committee City Engineer Approval

Plan approved
J. R. B.

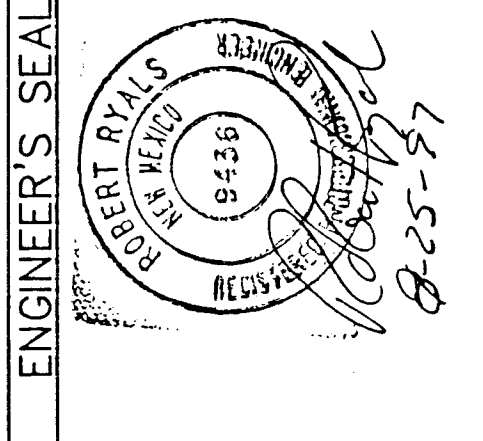
City Project No. 577681

Zone Map No. L-9

Sheet 4 OF 22

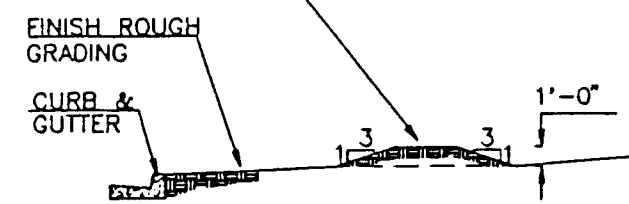
AS BUILT INFORMATION	
CONTRACTOR	RYALS
STARTED BY	CSC
INSPECTOR'S	DATE 10/10/97
FIELD ENGINEER	DATE 10/10/97
VERIFICATION BY	DATE 10/10/97
CORRECTED BY	DATE 10/10/97
MICRO-FILM INFORMATION	
RECORDED BY	NO.
DATE	

SURVEY INFORMATION	
CITY OF ALBUQUERQUE SURVEY MONUMENT	
FIELD NOTES	DATE
NO.	BY
ACS CAP "7-K9"	
ELEV. = 5137.36	



ENGINEER'S SEAL	
REMARKS	BY
REVISIONS	
DESIGN	
NO.	DATE
DESIGNED BY RBB, HFB, CC	DATE
DRAWN BY HFB, CC	DATE
CHECKED BY	DATE

TEMPORARY EROSION CONTROL BERM
COMPACT BERM TO 90% OF OPTIMUM
USING PLACEMENT EQUIPMENT WHEELS
AS REQUIRED



EROSION CONTROL BERM
TYPICAL SECTION THROUGH BERM N.T.S.

EROSION CONTROL BERMS ARE TO BE
INSTALLED ON ALL LOTS ADJACENT TO
THE PROPOSED STREETS OF THIS
PROJECT, AND FOR THE 1ST 25' BACK
FROM THE CURB ON EVERY FIFTH LOT

CONSTRUCTION NOTES

- BACKYARDS OF LOTS 1 THRU 25, BLOCK 2 DRAIN
TO ALLEY AT LOW POINT OF BACKYARD.

DRAINAGE BASIN NOTES

- BASIN I INCLUDES BACKYARDS OF LOTS 1 THRU 25, BLOCK 2
TOTAL BASIN DISCHARGE IS 3.75 CFS TO THE ALLEY.
- BASIN II DISCHARGES 15 CFS TO 86TH STREET VIA VISTA
DEL ANGEL. THE REMAINDER FLOWS TO BASIN I ON CALLE
AMARILLO.
- BASIN III DISCHARGES 57.6 CFS TO SUNSET GARDENS
VIA CALLE AMARILLO.

SEE SPECIAL TYPICAL LOT DETAIL
FOR GRADING LOTS ALONG ALLEY

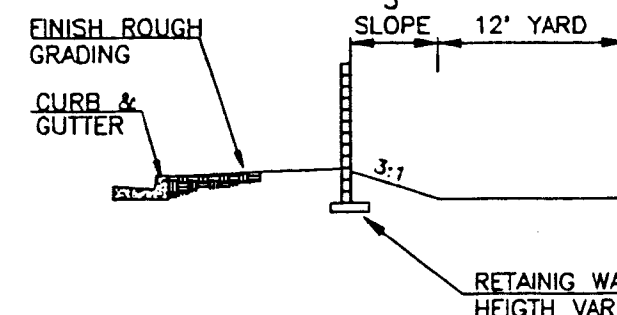
IF CMU WALLS ARE LATER CONSTRUCTED
AT ALLEY (INSTEAD OF FENCES), TURN
2 CMU SIDEWAYS AT GRADE EACH LOT
TO PERMIT DRAINAGE TO ALLEY.

FOR DRAINAGE AT ALLEY, CONSTRUCT
WOOD FENCE V. VERTICAL BOARDS
STAGGERED INSIDE & OUTSIDE OF
STRINGER, OR OMIT BOTTOM 6' OF
1 BOARD EVERY 8 FT.

WOOD FENCE AT
ALLEY PL, TYP

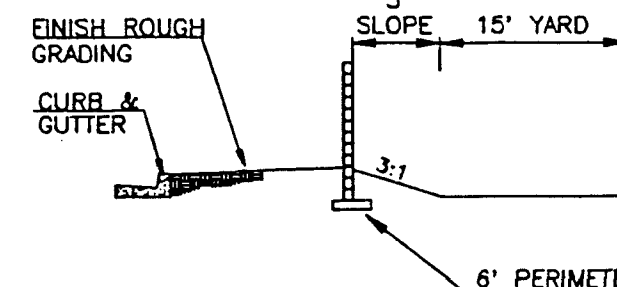
WOOD FENCE @ PL
ABOVE RETAINING
WALL, LOTS 21-25
SEE DETAIL THIS SHEET

COMPACT SLOPE TO 90% OF OPTIMUM
USING PLACEMENT EQUIPMENT WHEELS
AS REQUIRED

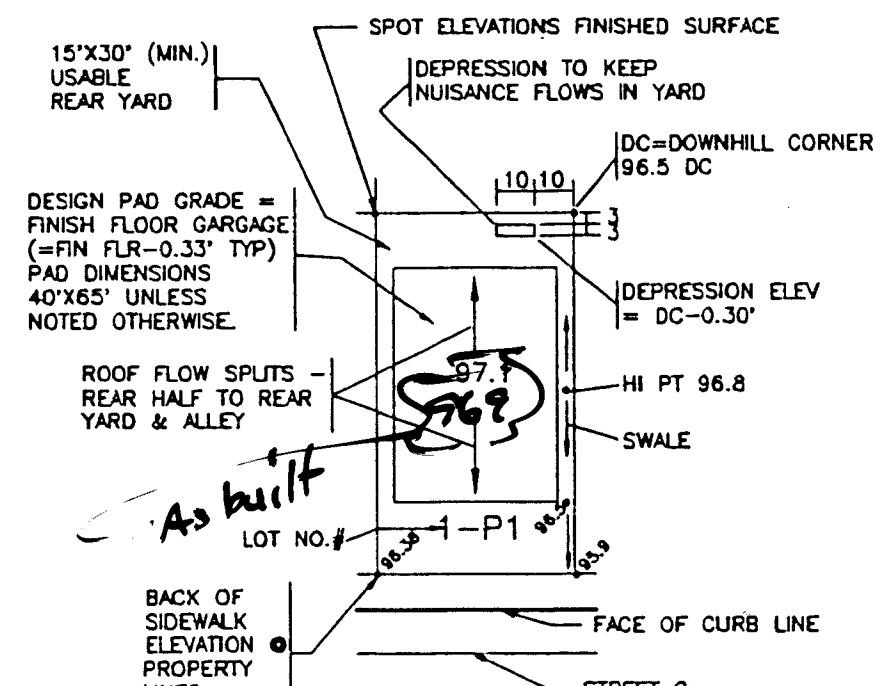


SECTION "A-A" NTS
(LOTS 9-17, BLOCK 6)

COMPACT SLOPE TO 90% OF OPTIMUM
USING PLACEMENT EQUIPMENT WHEELS
AS REQUIRED

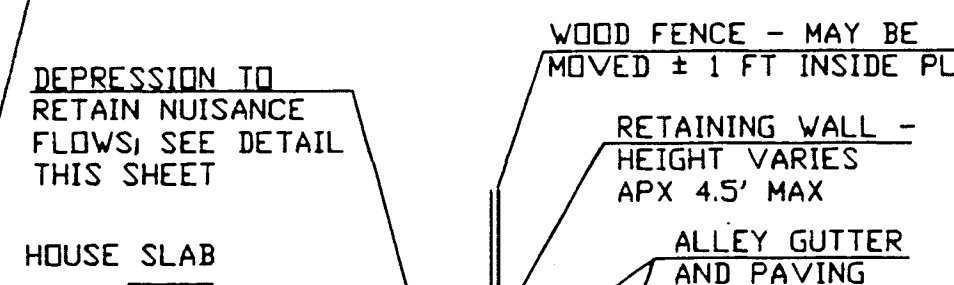


SECTION "B-B" NTS
(LOTS 5-8, BLOCK 6)



TYPICAL REAR YARD GRADING DETAIL

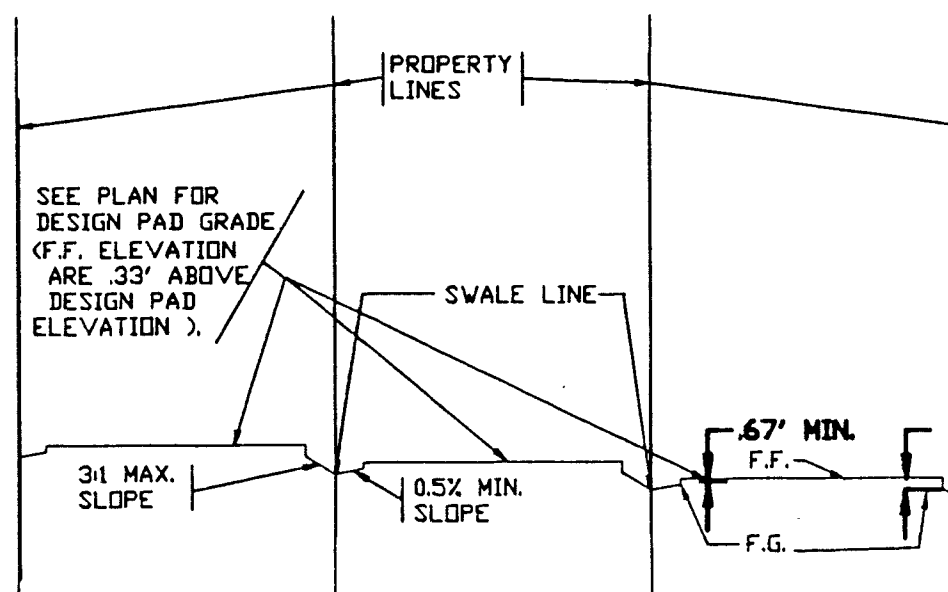
ALL LOTS DRAINING REAR OF LOT TO ALLEY
(LOTS 11-25 BLOCK 2) N.T.S.
GRADING SHOWN IS SCHEMATIC ONLY



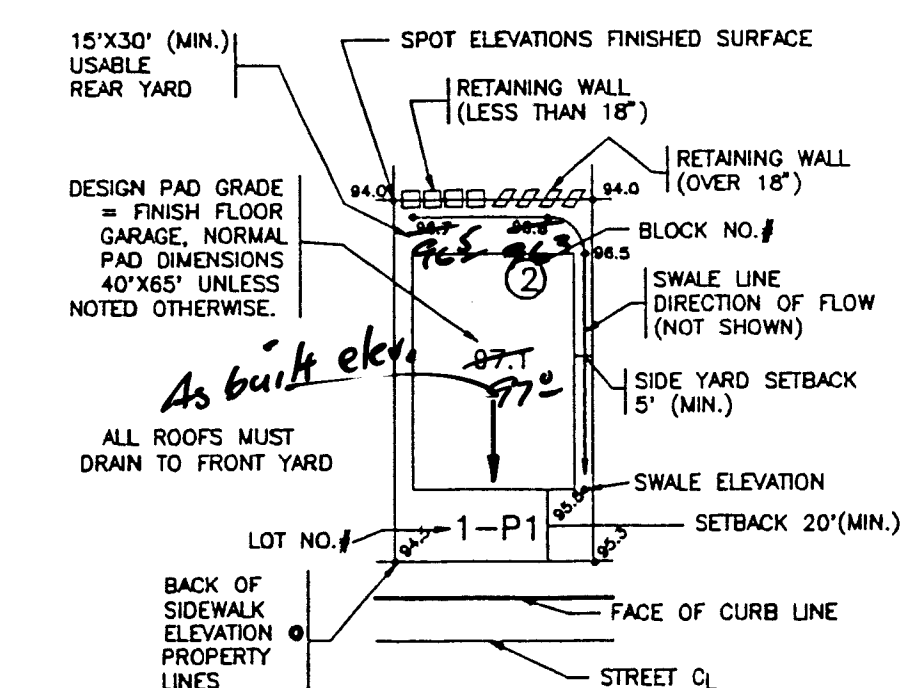
SECTION AT RETAINING WALL
LOTS 21-25, BLOCK 2 NO SCALE

GENERAL NOTES

- THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM
THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND
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RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY
APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE
CONSTRUCTION SITE. EROSION CONTROL MEASURES ARE INTENDED TO
CONTROL MINOR FLOWS AND PROHIBIT THE RELEASE OF SEDIMENT INTO
ADJACENT STREETS AND PROPERTY. TEMPORARY EROSION CONTROL BERMS
SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL ON THIS
GRADING PLAN AT LOCATIONS SHOWN.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY BERMS
THROUGHOUT THE CONSTRUCTION PHASE. THE OWNER WILL MAINTAIN
BERMS AFTER COMPLETION AND ACCEPTANCE OF CONSTRUCTION.
- TEMPORARY EROSION CONTROL BERMS LOCATED ON INDIVIDUAL LOTS
SHALL REMAIN IN PLACE UNTIL THE CONSTRUCTION OF EACH
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- THERE ARE EXISTING WALLS LOCATED ADJACENT TO THIS PROJECT. ANY
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INVESTIGATION REPORT PREPARED BY FOXCONSULTING ENGINEERS & GEOLOGISTS
DATED OCTOBER 14TH, 1980.
- FOR ALL RETAINING WALLS GREATER THAN 18", A BUILDING PERMIT MUST BE
OBTAINED FROM THE CITY OF ALBUQUERQUE CODE ADMINISTRATION DIVISION.
EXCEED 10 FEET UNLESS A VARIANCE IS APPROVED THROUGH THE C.O.A. ZONING
HEARING EXAMINER
- MAXIMUM COMBINED HEIGHT OF GARDEN WALL PLUS RETAINING WALL MUST NOT
EXCEED 7 FEET UNLESS A VARIANCE IS APPROVED THROUGH THE C.O.A. ZONING
HEARING EXAMINER



TYPICAL LOT SECTION



TYPICAL LOT DETAIL

DWG. P.1 WORK\WICK\CAUTO\ORC\DC460 DATE06/25/97 TIME:15:00 RYALS Engineering-HB

RYALS engineering & construction services
5301 Central, N.E. Albuquerque, NM 87108
(505) 256-4701 239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: VILLA DEL CANTO SUBDIVISION
GRADING AND DRAINAGE PLAN
(EAST SIDE)

Design Review Committee City Engineer Approval

Plan approved
C D R B

City Project No. 577681

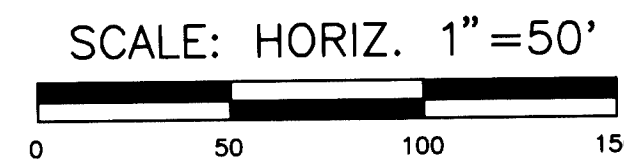
Zone Map No. L-9

Sheet 5 OF 22

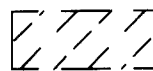
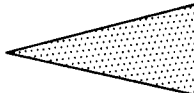
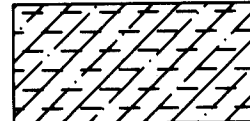
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS		DESIGN	
CONTRACTOR	DATE	CITY OF ALBUQUERQUE	DATE	FIELD NOTES	BY	NO.	SEAL	NO.	DATE	DESIGNED BY	DATE
RYALS	6/25/97	"NM47-12" LOCATED 1200' NORTH OF	6/25/97							RER, HFB, CC	
STARTED BY	DATE	PHOENIX, ON MEDIAN OF 2ND STREET NW.	DATE							DRAWN BY	DATE
ACCEPTANCE BY	DATE	ELEV. = 4967.899	DATE							CHECKED BY	DATE
FIELD NOTES BY	DATE		DATE								
DRAWINGS	DATE		DATE								
CORRECTED BY	DATE		DATE								
MICRO-FILM INFORMATION											
RECORDED BY	NO.										

FUTURE VALLE DEL CANTO UNIT III

SCANNED BY
BY LASON



- CONSTRUCTION NOTES:**
- ① 4' WIDE CONC. S.W. BY OTHERS
 - ② SEE SHEET 14 OF 22 FOR PAVING DETAILS & X-SECTIONS

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
TEMPORARY PAVEMENT		
BOUNDARY		
R.O.W. LINE		
CENTERLINE		
NEW CURB AND GUTTER		
VALLEY GUTTER		
WHEELCHAIR RAMP		
6' BLOCK WALL		
STREET LIGHT		
86TH ST. PAVEMENT		
STORM INLETS		
50' TRANSITION CROWN-NO CROWN		
REMOVE TEMP.PAVEMENT REPLACE W/ PERMANENT PAVEMENT		
BARRICADES TYPE 3		

DWG: P:\WORK\NICK\CANTO\1\BASEP DATE: 10/21/97 TIME: 11:03 RYALS Engineering-PH

RYALS
engineering & construction services
5301 Central, N.E.
Albuquerque, NM 87108
(505) 256-4701
239-4726 mobile telephone

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: VALLE DEL CANTO SUBDIVISION, UNIT I COMPOSITE PAVING PLAN	
Design Review Committee NOV - 3 1997	City Engineer Approval
City Project No. 577681	Zone Map No. L-9-Z
Sheet 7	Of 22

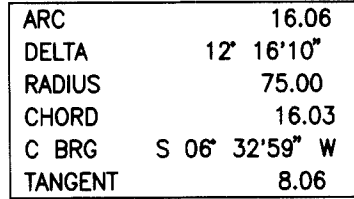
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CONTRACTOR: <i>Hydra-Systems</i>	DATE: <i>11/25/97</i>
WORK STARTED BY: <i>CIC</i>	DATE: <i>11/25/97</i>
INSPECTION BY: <i>CIC</i>	DATE: <i>11/25/97</i>
FIELD NO.: <i>5137.36</i>	ELEV. = 5137.36
REVISION BY: <i>CIC</i>	DATE: <i>11/25/97</i>
CORRECTED BY: <i>CIC</i>	DATE: <i>11/25/97</i>
MICRO-FILM INFORMATION	
RECORDED BY: <i>CIC</i>	DATE: <i>11/25/97</i>
NO.	DATE

BENCH MARKS	
CITY OF ALBUQUERQUE SURVEY MONUMENT	LOCATED
"7-K9"	LOCATED
ELEV. = 5137.36	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL	

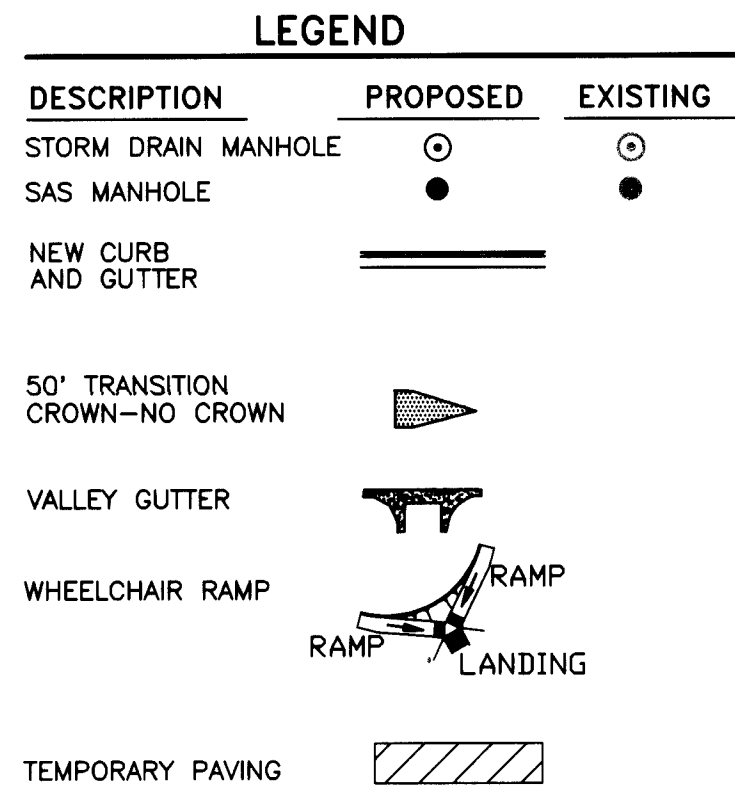
REMARKS	
DESIGN	
NO. DATE	BY
DESIGNED BY: RBR, HFB, MJC	DATE
DRAWN BY: HFB	DATE
CHECKED BY:	DATE



CURB CURVE DATA				(E)
NO.	RADIUS	ARC	DELTA	
E	20.00	33.81	96°51'54"	
F	20.00	29.02	83°08'06"	
G	20.00	31.42	90°00'00"	
H	20.00	31.42	90°00'00"	

- ① CONC. VALLEY GUTTER PER C.O.A. DWG. 2420. (UNLESS OTHERWISE SHOWN.)
- ② CONSTRUCT WHEELCHAIR RAMP PER DETAIL SHEET 14 OF 22
- ③ 50" TRANSITION PER C.O.A. DWG. 2401.
- ④ 4' WIDE CONC. S.W. BY OTHERS
- ⑤ CONSTRUCT STANDARD CURB & GUTTER PER C.O.A. DWG #2415.
- ⑥ CONSTRUCT MOUNTABLE CURB & GUTTER PER C.O.A. DWG #2415.
- ⑦ ADJUST EXISTING M.H. RIM TO MATCH PAVEMENT GRADE.
- ⑧ TRANSITION MOUNTABLE TO STANDARD CURB PER DETAIL, SHT.14 OF 22.
- ⑨ TRANSITION MOUNTABLE TO STANDARD CURB AT WHEELCHAIR RAMP PER C.O.A. DWG. #2418.

E		F		G		H	
PT	FL	PT	FL	PT	FL	PT	FL
1	29.82	1	28.79	1	25.56	1	24.51
2	29.60	2	28.93	2	25.50	2	24.84
3	30.09	3	28.60	3	25.56	3	24.84



DVG\WORK\NICK\CANTO\CANTO\TOMASP DATE10/21/97 TIME0916 RYALS Engineering-H2

RYALS	engineering & construction services
5301 Central, N.E. (505) 256-4701	Albuquerque, NM 87108 239-4726 mobile telephone

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE:	VILLA DEL CANTO SUBDIVISION, UNIT I PAVING PLAN AND PROFILE STA. 0+00.00-6+79.17 SAN TOMAS LANE

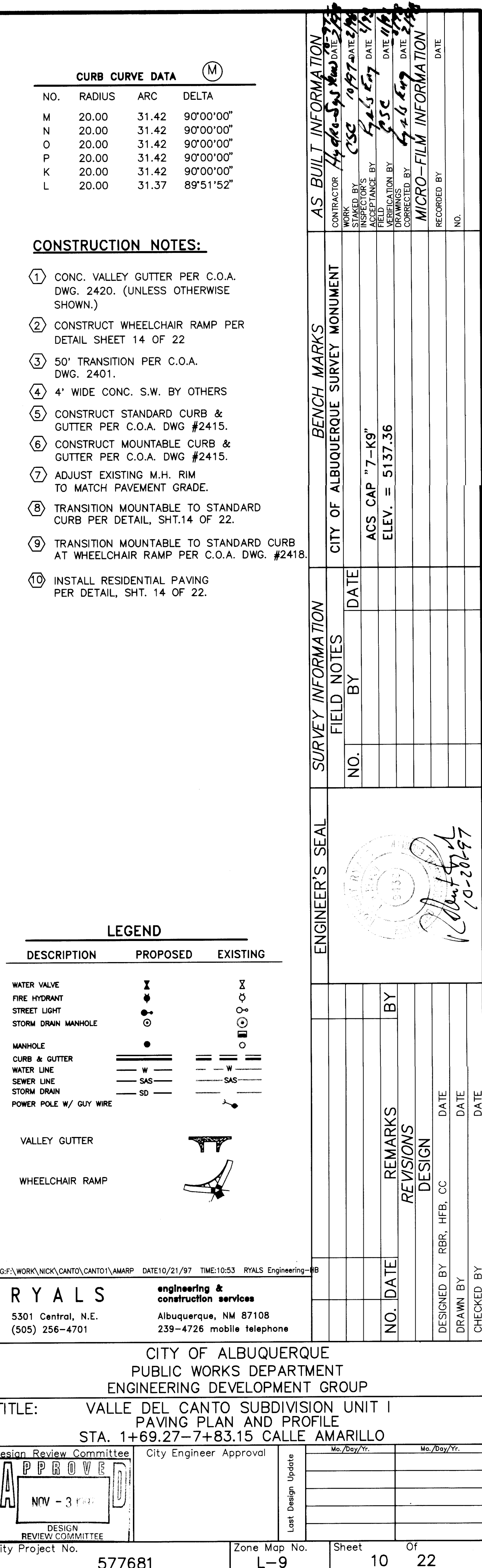
Design Review Committee	City Engineer Approval
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APPROVED
NOV - 3 1964
DESIGN
REVIEW OFFICER

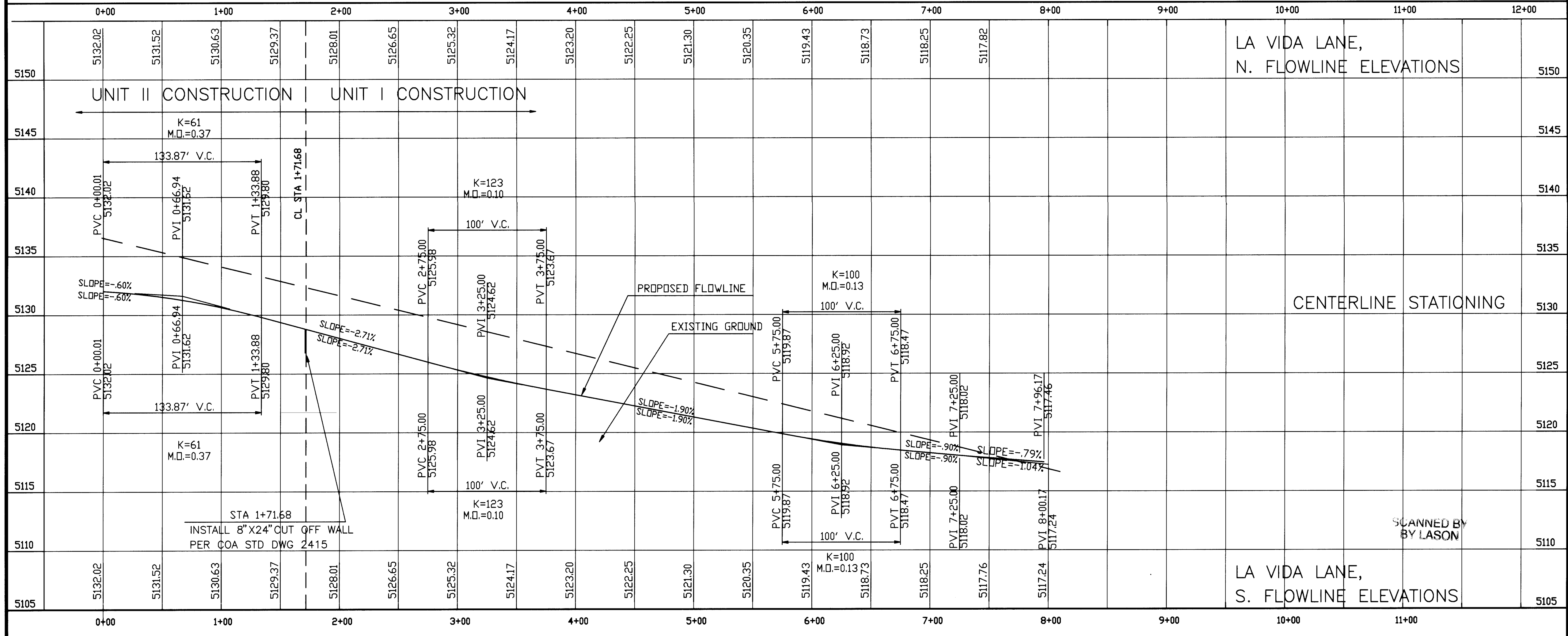
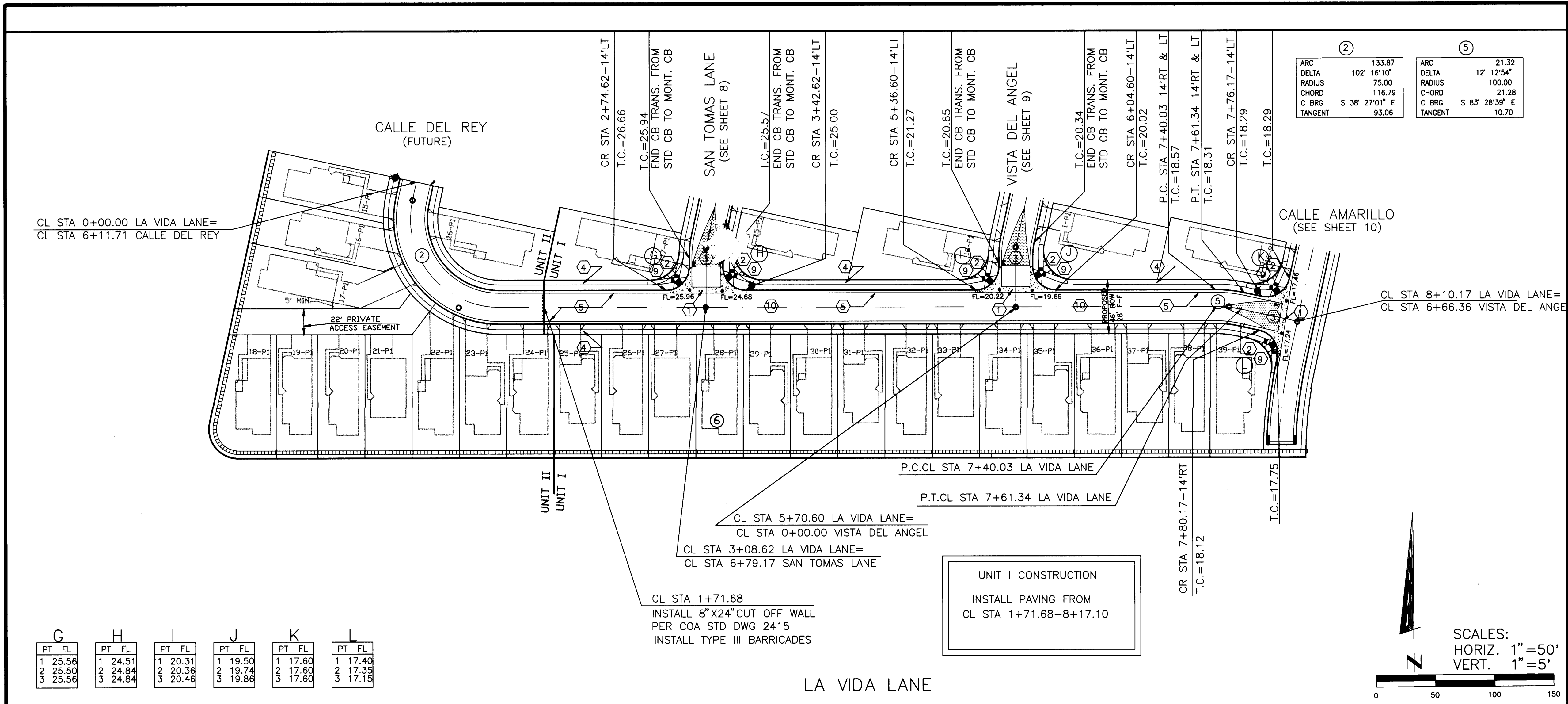
City Project No. 576681

Zone Map No.
L-9

Sheet	Of
8	22



City Project No.	Zone Map No.	Sheet	Of
577681	L-9	10	22



CONSTRUCTION NOTES:

- CONC. VALLEY GUTTER PER C.O.A. DWG. 2420. (UNLESS OTHERWISE SHOWN.)
- CONSTRUCT WHEELCHAIR RAMP PER DETAIL SHEET 14 OF 22
- 50' TRANSITION PER C.O.A. DWG. 2401.
- 4' WIDE CONC. S.W. BY OTHERS
- CONSTRUCT STANDARD CURB & GUTTER PER C.O.A. DWG. #2415.
- CONSTRUCT MOUNTABLE CURB & GUTTER PER C.O.A. DWG. #2415.
- ADJUST EXISTING M.H. RIM TO MATCH PAVEMENT GRADE.
- TRANSITION MOUNTABLE TO STANDARD CURB PER DETAIL, SHT.14 OF 22.
- TRANSITION MOUNTABLE TO STANDARD CURB AT WHEELCHAIR RAMP PER C.O.A. DWG. #2418.
- INSTALL RESIDENTIAL PAVING PER DETAIL, SHT. 14 OF 22.

LEGEND

DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE	○	○
SAS MANHOLE	●	●
NEW CURB AND GUTTER	==	
EXISTING CURB AND GUTTER		==
REMOVE EXISTING TEMPORARY ASPHALT	///	
50' TRANSITION CROWN-NO CROWN	▲	
VALLEY GUTTER	▽	
WHEELCHAIR RAMP	///	
WHEELCHAIR RAMP	///	

ENGINEER'S SEAL

RYALS

5301 Central, N.E.
(505) 256-4701

Albuquerque, NM 87108
239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

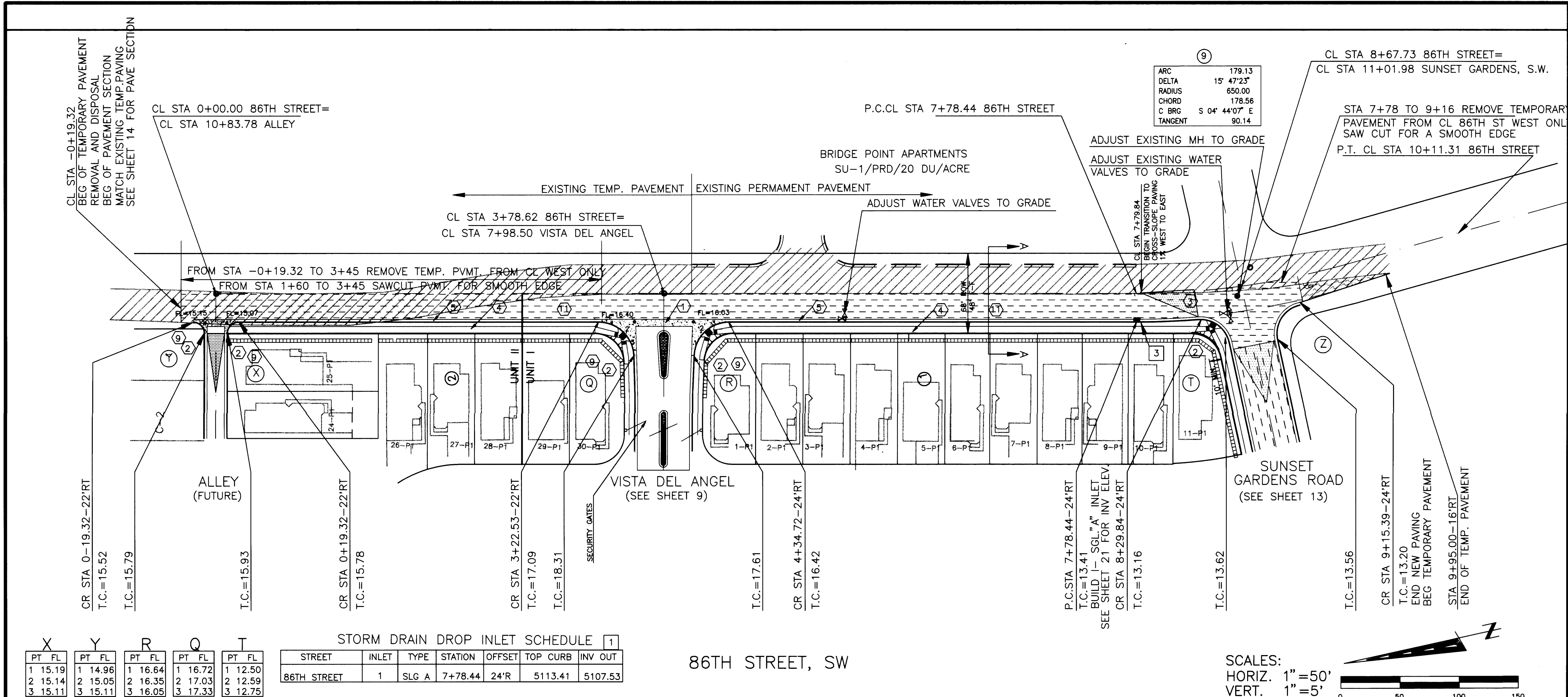
TITLE: VALLE DEL CANTO SUBDIVISION, UNIT I
PAVING PLAN AND PROFILE
STA. 1+71.68-8+10.17 LA VIDA LANE

APPROVED

City Project No. 577681

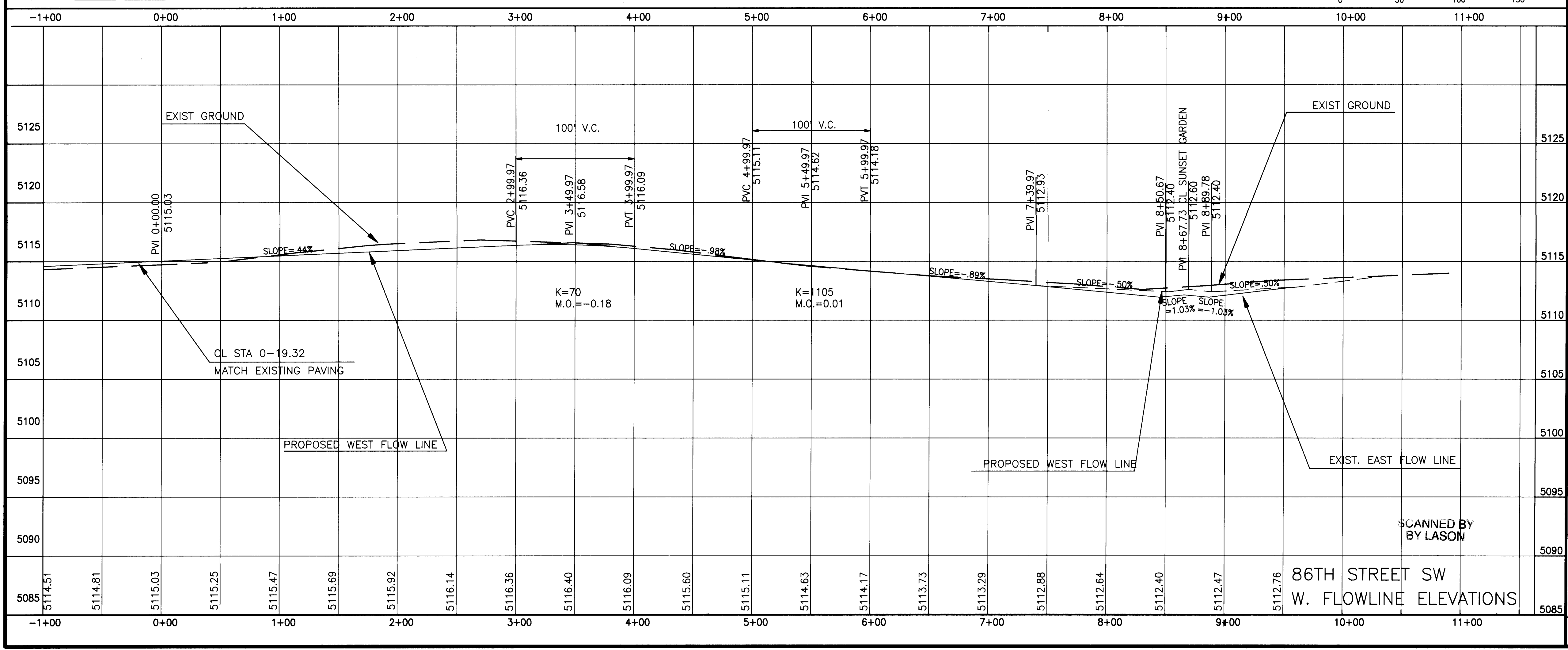
Zone Map No. L-9

Sheet 11 of 22



STORM DRAIN DROP INLET SCHEDULE 1				
STREET	INLET	TYPE	STATION	OFFSET
86TH STREET	1	SLG A	7+78.44	24'R

PT	FL	PT	FL	PT	FL	PT	FL	PT	FL
1	15.19	1	14.96	1	16.64	1	16.72	1	12.50
2	15.14	2	15.05	2	16.35	2	17.03	2	12.59
3	15.11	3	15.11	3	16.05	3	17.33	3	12.75



CURB CURVE DATA

NO.	RADIUS	ARC	DELTA
Q	30.00	45.27	86°27'58"
R	30.00	45.27	86°27'58"
T	25.00	35.88	82°14'09"
X	10.00	15.69	89°54'38"
Y	10.00	15.72	90°05'32"
Z	25.00	39.43	90°21'48"

CONSTRUCTION NOTES:

- CONC. VALLEY GUTTER PER C.O.A. DWG. 2420. (UNLESS OTHERWISE SHOWN.)
- CONSTRUCT WHEELCHAIR RAMP PER DETAIL SHEET 14 OF 22.
- 50' TRANSITION PER C.O.A. DWG. 2401.
- 6' WIDE CONC. S.W. PER STD DWG 2430
- CONSTRUCT STANDARD CURB & GUTTER PER C.O.A. DWG #2415.
- CONSTRUCT MOUNTABLE CURB & GUTTER PER C.O.A. DWG #2415.
- ADJUST EXISTING M.H. RIM TO MATCH PAVEMENT GRADE.
- TRANSITION MOUNTABLE TO STANDARD CURB PER DETAIL, SHT.14 OF 22.
- TRANSITION MOUNTABLE TO STANDARD CURB AT WHEELCHAIR RAMP PER C.O.A. DWG. #2418
- INSTALL ARTERIAL PAVING PER DETAIL, SHT. 14 OF 22.
- CONTRACTOR SHALL SUBMIT A STRIPING PLAN TO THE ENGINEER FOR APPROVAL. STRIPING PLAN TO INCLUDE STRIPING REQUIRED BY COA TRAFFIC ENGINEER FOR TRANSITION FROM TEMPORARY TO PERMANENT PAVEMENT SECTIONS, APPROACH AND DEPARTURE AND TRAFFIC DELINEATION WITHIN PERMANENT SECTIONS.

LEGEND

DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE	⊙	⊙
SAS MANHOLE	●	●
NEW CURB AND GUTTER	=====	
EXISTING CURB AND GUTTER		=====
EXISTING ASPHALT		
50' TRANSITION CROWN-NO CROWN		▲
VALLEY GUTTER		⌢
WHEELCHAIR RAMP		⌢
PERMANENT PAVEMENT		=====
REMOVE TEMP. PAVEMENT REPLACE W/PERMANENT PAVEMENT		

DESIGNER'S SEAL

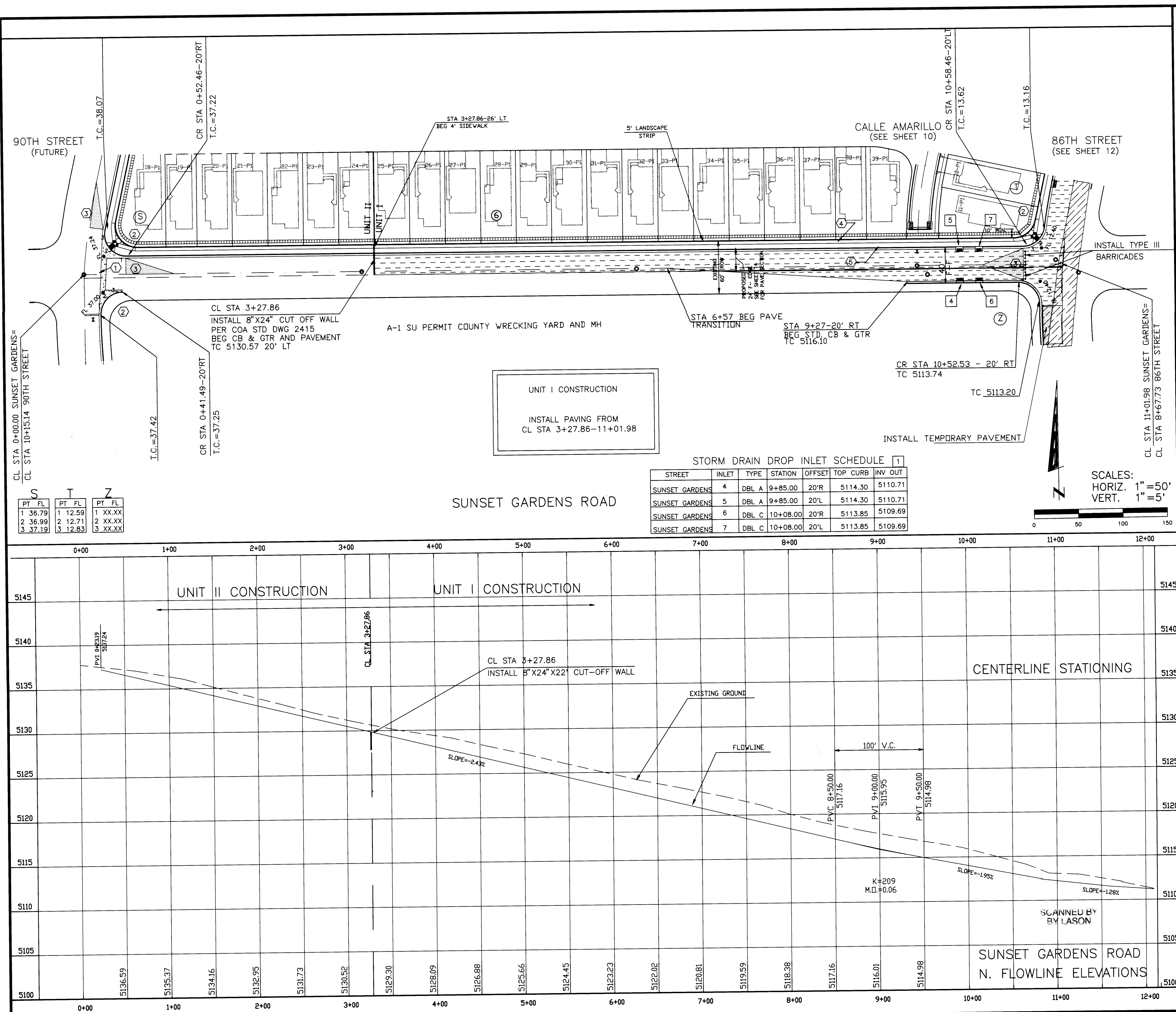
ENGINEERING & CONSTRUCTION SERVICES
5301 Central, N.E.
Albuquerque, NM 87108
(505) 256-4701
239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VALLE DEL CANTO SUBDIVISION, UNIT I
PAVING PLAN AND PROFILE
STA.-0+19.32-9+15.39 86TH STREET, SW

APPROVED
NOV - 3 1997
DESIGN REVIEW COMMITTEE

City Project No. 577681
Zone Map No. L-9
Sheet 12 Of 22



CURB CURVE DATA			
NO.	RADIUS	ARC	DELTA
S	25.00	42.88	98°16'06"
T	25.00	35.88	82°14'09"

- CONSTRUCTION NOTES:**
- 1 CONC. VALLEY GUTTER PER C.O.A. DWG. 2420. (UNLESS OTHERWISE SHOWN.)
 - 2 CONSTRUCT WHEELCHAIR RAMP PER DETAIL SHEET 14 OF 22.
 - 3 50' TRANSITION FROM 2% TO 1% SLOPE
 - 4 4' WIDE CONC. S.W.
 - 5 CONSTRUCT STANDARD CURB & GUTTER PER C.O.A. DWG #2415.
 - 6 CONSTRUCT MOUNTABLE CURB & GUTTER PER C.O.A. DWG #2415.
 - 7 ADJUST EXISTING M.H. RIM TO MATCH PAVEMENT GRADE.
 - 8 TRANSITION MOUNTABLE TO STANDARD CURB PER DETAIL, SHT.14 OF 22.
 - 9 TRANSITION MOUNTABLE TO STANDARD CURB AT WHEELCHAIR RAMP PER C.O.A. DWG. #2418.
 - 10 INSTALL PAVING PER DETAIL, SHT 14 OF 22.

STORM DRAIN DROP INLET SCHEDULE						
STREET	INLET	TYPE	STATION	OFFSET	TOP CURB	INV OUT
SUNSET GARDENS	4	DBL A	9+85.00	20'R	5114.30	5110.71
SUNSET GARDENS	5	DBL A	9+85.00	20'L	5114.30	5110.71
SUNSET GARDENS	6	DBL C	10+08.00	20'R	5113.85	5109.69
SUNSET GARDENS	7	DBL C	10+08.00	20'L	5113.85	5109.69

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN MANHOLE	⊙	⊙
SAS MANHOLE	●	●
NEW CURB AND GUTTER	—	—
EXISTING CURB AND GUTTER	—	—
REMOVE EXISTING TEMPORARY ASPHALT	▨	
50' TRANSITION CROWN-NO CROWN	▽	
VALLEY GUTTER	⌞	
WHEELCHAIR RAMP	⌞	
CATCH BASIN	⌞	
PERMANENT PAVEMENT	▨	

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(505) 256-4701

engineering & construction services
Albuquerque, NM 87108
239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VALLE DEL CANTO SUBDIVISION, UNIT I
PAVING PLAN AND PROFILE
STA. 3+27.86-11+01.98 SUNSET GARDENS ROAD

DESIGNED BY: RBR, HFB, CC
DRAWN BY: [blank]
CHECKED BY: [blank]

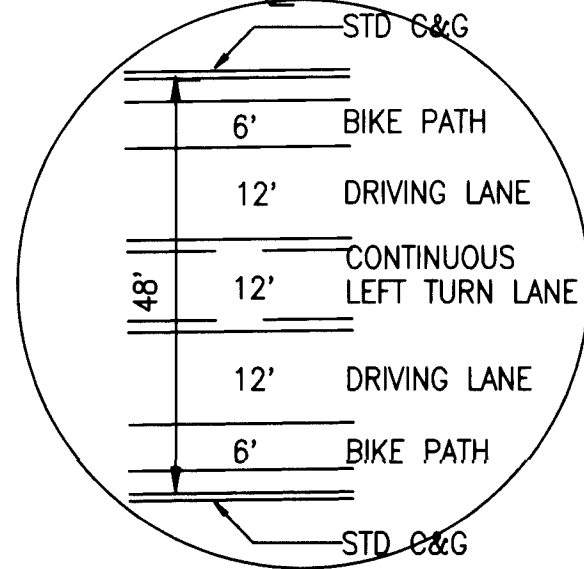
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City Project No. 577681

Zone Map No. L-9

Sheet 13 of 22

AS BUILT INFORMATION	CONTRACTOR: [blank]	DATE: [blank]
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SURVEY INFORMATION	NO. [blank]	DATE [blank]
FIELD NOTES	BY [blank]	DATE [blank]
ENGINEER'S SEAL	REMARKS	REVISIONS
	NO. DATE	DESIGN
	DESIGNED BY	DATE
	DRAWN BY	DATE
	CHECKED BY	DATE



NOTE:
PRIOR TO STRIPING, THE CONTRACTOR
TO SUBMIT MATERIAL LIST, SCHEDULE
OF WORK AND DETAILED STRIPING PLAN
TO CITY TRAFFIC ENGINEER FOR APPROVAL
CONTACT KEVIN BRODERICK 924-3992

D. A.C. PAVEMENT.
E. 12" COMPACTED SUBBASE, 95% COMPACTION.
F. COMPACTED SUBGRADE, 90% COMPACTION.



TYPICAL PAVING SECTION,
SUNSET GARDENS ROAD

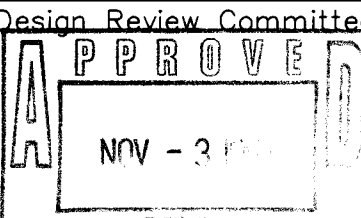
SEE C.O.A. STD DWG #2407 FOR GENERAL NOTES

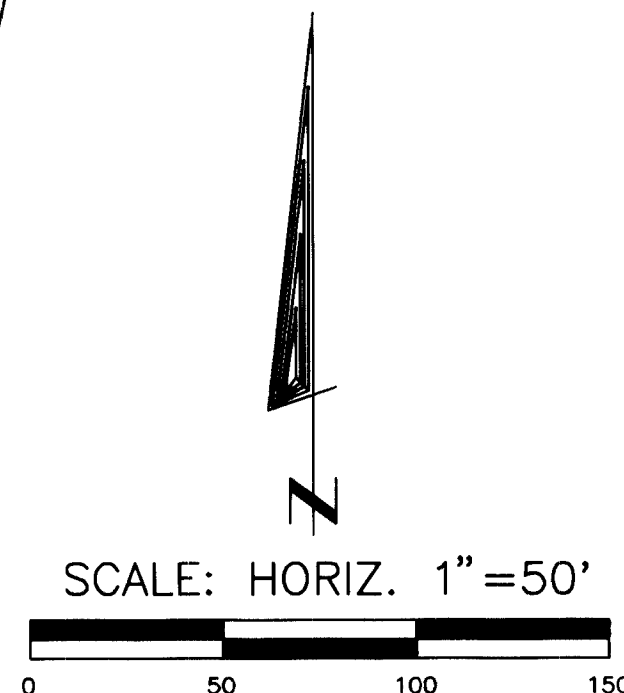
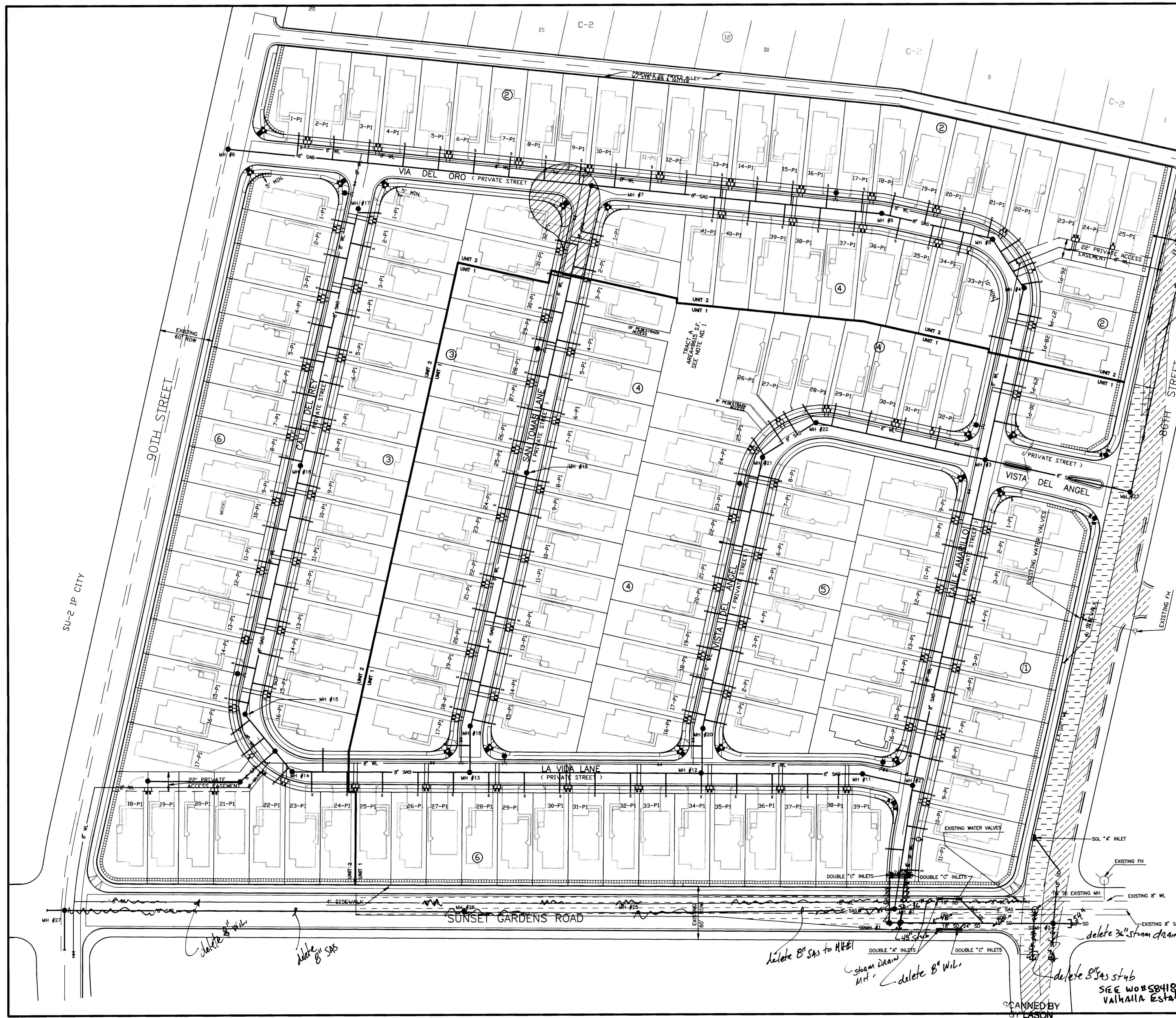
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SUBGRADE PREP DETAIL FOR RES. PAVING SECTIONS

SUBGRADE PREP DETAIL FOR ART. PAVING SECTIONS



DWG: F:\WORK\WORK\CANTO\CANTO1\DETAILS DATE: 10/21/97 TIME: 15:30 RYALS Engineering & Construction		NO. DATE		DESIGNED BY		DRAWN BY		CHECKED BY	
RYALS 5301 Central, N.E. (505) 256-4701		engineering & construction services Albuquerque, NM 87108 239-4726 mobile telephone							
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP									
TITLE: VALLE DEL CANTO SUBDIVISION UNIT I PAVING SECTIONS & DETAILS									
Design Review Committee 		City Engineer Approval		Last Design Update		Mo./Day/Yr.		Mo./Day/Yr.	
City Project No.		Zone Map No.		Sheet		Of			
577681		L-9		14		22			



RESTRAINED JOINT SCHEDULE	
FITTING	RESTRAINED LENGTH (ft)
4" GATE VALVE	39"
6" GATE VALVE	55"
8" GATE VALVE	72"
10" GATE VALVE	86"
11 1/4" BEND (6")	2'
11 1/4" BEND (8")	3'
22 1/2" BEND (6")	5'
22 1/2" BEND (8")	6'
45° BEND (6")	10'
45° BEND (8")	13'
90° BEND (6")	25'
90° BEND (8")	32'
ALL CAPS	
4" x 6" TEE	CONCRETE BLOCKING
4" x 8" TEE	RESTRAIN @ FITTING ONLY (BRANCH OR MAIN)
8" x 8" TEE	34' (4" SIDE)
8" x 8" TEE	RESTRAIN @ FITTING ONLY (BRANCH OR MAIN)
8" x 6" TEE	16' (6" SIDE)
8" x 6" REDUCER	25' (8" SIDE) OR 33' (6" SIDE)
6" x 6" TEE	RESTRAIN @ FITTING ONLY (BRANCH OR MAIN)
12" VALVE/CAP	65' EACH WAY
12" 45 VERTICAL BEND	27' EACH WAY
12" 22-1/2 VERTICAL BEND	13' EACH WAY
12" 11-1/4 VERTICAL BEND	6' EACH WAY

LEGEND		
DESCRIPTION	PROPOSED	EXISTING
WATER VALVE		
FIRE HYDRANT		
SINGLE WATER SERVICE		
DOUBLE WATER SERVICE		
STREET LIGHT		
STORM DRAIN MANHOLE		
CATCH BASIN		
SAS MANHOLE		
SEWER SERVICE		
WATER LINE		
SEWER LINE		
STORM DRAIN		
PERMANENT PAVEMENT		
TEMPORARY PAVEMENT		
EXISTING CB & GTR.		

DWG: F:\WORK\NICK\CACTO\DRG\UTILITY DATE: 10/07/97 TIME: 13:33 RYALS Engineering-HB

RYALS engineering & construction services
5301 Central, N.E. Albuquerque, NM 87108
(505) 256-4701 239-4726 mobile telephone

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: VALLE DEL CANTO SUBDIVISION UNIT I COMPOSITE UTILITY PLAN	
DESIGN REVIEW COMMITTEE	City Engineer Approval
NOV - 3 - 97	
City Project No. 577681	Zone Map No. L-9
Sheet 15	Of 22

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS	
CONTRACTOR	Hydrotech	CITY OF ALBUQUERQUE	SURVEY MONUMENT	FIELD NOTES	DATE	NO.	BY	NO.	DATE
WORK	AS BUILT								
INSPECTED BY	CSC								
ACCEPTANCE BY	CSC								
VERIFICATION BY	CSC								
DRAWINGS	CSC								
CORRECTED BY	CSC								
MICRO-FILM INFORMATION									
RECORDED BY									
DATE									

DESIGNED BY RBR, HFB, CC
DRAWN BY HFB
CHECKED BY

NO. DATE

REMARKS

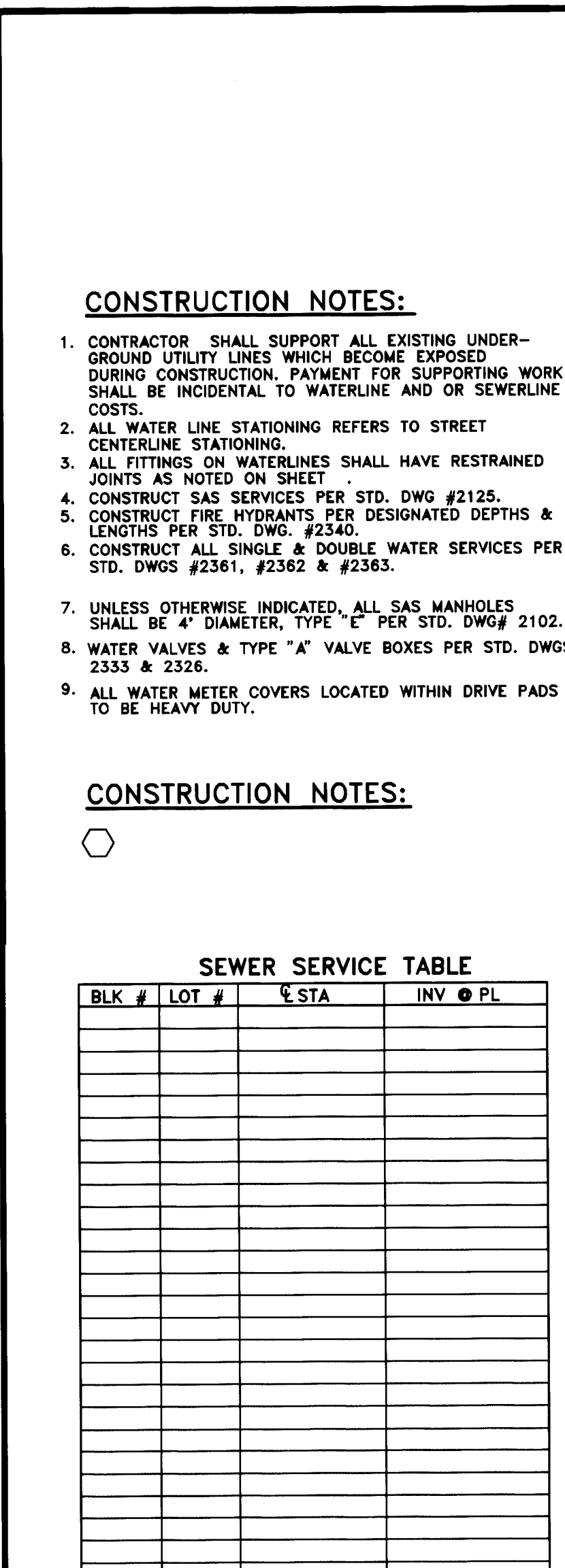
REVISIONS

DESIGN

DATE

DATE

DATE



LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
STORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	_____ S
WATER LINE	_____ W
SEWER LINE	_____ SAS

DWG: F:\WORK\NICK\CANTO\DRG\ORDU DATE: 10/07/97 TIME: 19:01 RYALS Engineering

R Y A L S

**engineering &
construction services**
 Albuquerque, NM 87108
 239-4726 mobile telepho

5301 Central, N.E.
 (505) 256-4701

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT

TITLE: VILLA DEL CANTO SUBDIVISION
 UTILITY PLAN AND
 STA. 4+03.07-9+58.75

Design Review Committee

APPROVED
 NOV - 3 1997

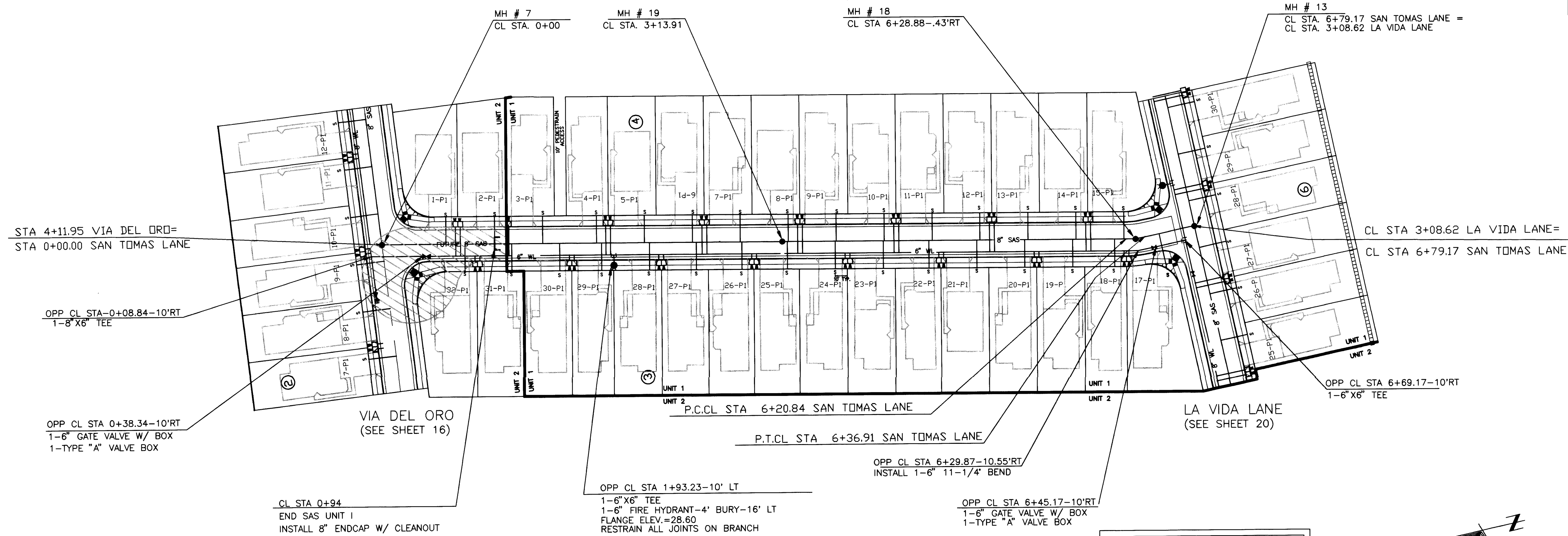
 DESIGN REVIEW COMMITTEE

City Engineer Approval

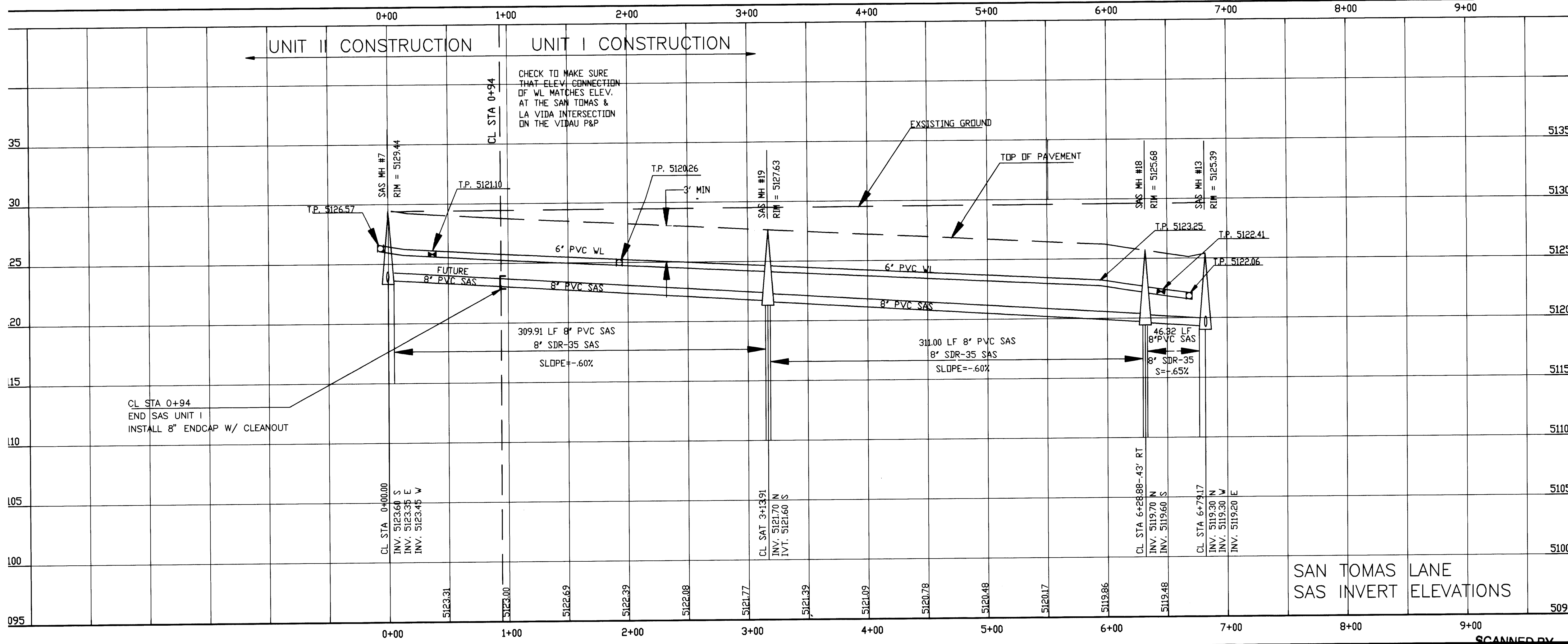
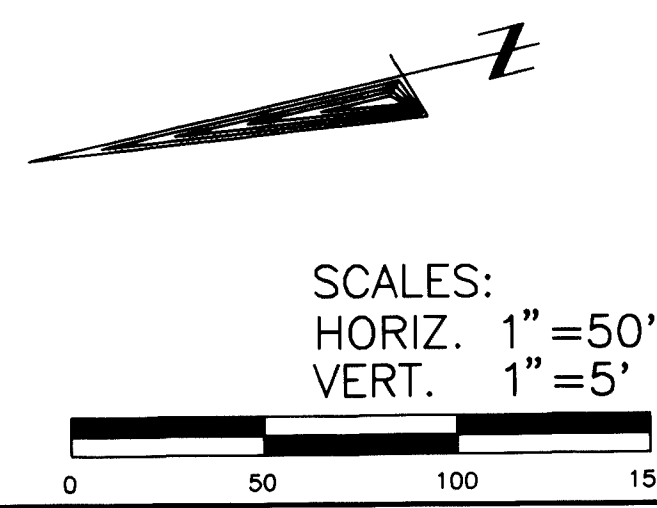
City Project No. 577681

Zone: Major

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UNIT I CONSTRUCTION
INSTALL 6" WL STA 0+08.84-6+69.17
DO NOT INSTALL UNIT II SERVICES
INSTALL 8" SAS FROM CL
STA 0+94.00-6+79.17
DO NOT INSTALL UNIT II SERVICES



- CONSTRUCTION NOTES:**
- CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
 - ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
 - ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET.
 - CONSTRUCT SAS SERVICES PER STD. DWG #2125.
 - CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG #2340.
 - CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS #2361, #2362 & #2363.
 - UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4" DIAMETER, TYPE "E" PER STD. DWG# 2102.
 - WATER VALVES & TYPE "A" VALVE BOXES PER STD. DWGS 2333 & 2326.
 - ALL WATER METER COVERS LOCATED WITHIN DRIVE PADS TO BE HEAVY DUTY.

CONSTRUCTION NOTES:

○

SEWER SERVICE TABLE				
BLK #	LOT #	STA	INV @ PL	
3	31	1+08	24.50	
4	3	1+34	24.30	
3	30	1+48	24.20	
4	4	1+79	24.00	
3	29	1+83	24.00	
4	5	2+19	23.80	
3	28	2+23	23.75	
4	6	2+59	23.50	
3	27	2+62	23.50	
4	7	2+99	23.30	
3	26	3+00	23.30	
3	25	3+38	23.00	
4	8	3+39	23.00	
3	24	3+78	22.70	
4	9	3+79	22.70	
3	23	4+18	22.50	
4	10	4+19	22.50	
3	22	4+56	22.20	
4	11	4+59	22.20	
3	21	4+96	22.00	
4	12	4+99	22.00	
3	20	5+36	21.80	
4	13	5+39	21.80	
3	19	5+76	21.50	
4	14	5+79	21.50	
3	18	6+11	21.30	
4	15	6+19	21.30	
3	17	6+50	21.00	

LEGEND	
DESCRIPTION	PROPOSED
WATER VALVE	⊗
FIRE HYDRANT	⊙
SINGLE WATER SERVICE	—
DOUBLE WATER SERVICE	—
STREET LIGHT	⊙
STORM DRAIN MANHOLE	⊙
CATCH BASIN	⊙
SAS MANHOLE	⊙
SEWER SERVICE	— S
WATER LINE	— W
SEWER LINE	— SAS

RYALS engineering & construction services
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(505) 256-4701 239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

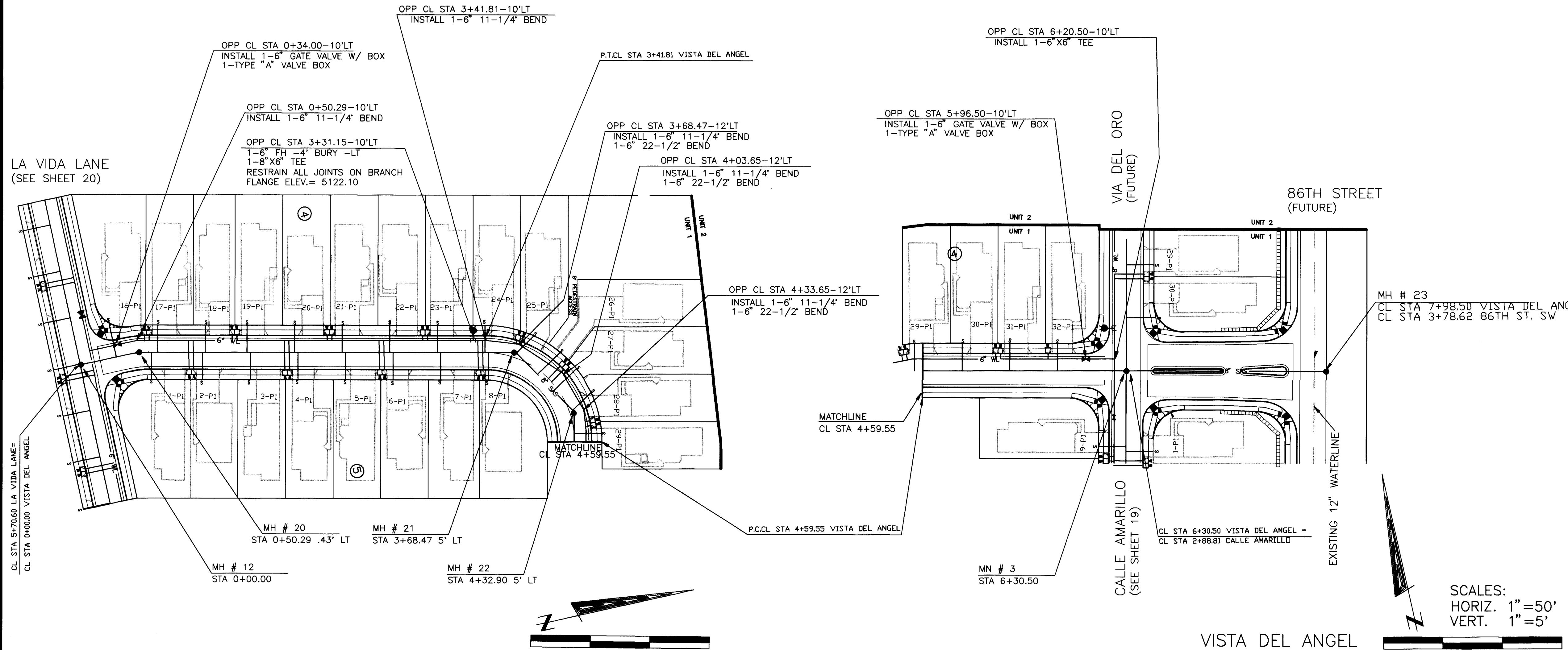
TITLE: VILLA DEL CANTO SUBDIVISION, UNIT I
UTILITY PLAN AND PROFILE
STA. 0+00.00-6+79.17 SAN TOMAS LANE

Design Review Committee City Engineer Approval

City Project No. 577681 Zone Map No. L-9 Sheet 17 Of 22

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	Hydra Systems	CITY OF ALBUQUERQUE	SURVEY MONUMENT	FIELD NOTES	DATE	NO.	DATE
STARTED BY	CSG	DATE		BY			
INSPECTOR'S FIELD VERIFICATION BY	CSG	DATE					
CORRECTED BY	CSG	DATE					
MICRO-FILM INFORMATION							
RECORDED BY							
DATE							

REVISIONS
DESIGN
NO. DATE
REMARKS
BY
DATE
DESIGNED BY RBR, HFB, CC
DRAWN BY HFB
CHECKED BY



CONSTRUCTION NOTES:

1. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
2. ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
3. ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 15.
4. CONSTRUCT SAS SERVICES PER STD. DWG #2125.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2340.
6. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS. #2361, #2362 & #2363.
7. UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG# 2102.
8. WATER VALVES & TYPE "A" VALVE BOXES PER STD. DWGS. 2333 & 2326.
9. ALL WATER METER COVERS LOCATED WITHIN DRIVE PADS TO BE HEAVY DUTY.

CONSTRUCTION NOTES:



SEWER SERVICE TABLE

BLK #	LOT #	STA	INV @ PL
4	16	0+30	16.60
5	1	0+60	16.70
4	17	0+66	16.80
5	2	1+03	17.00
4	18	1+06	17.00
4	19	1+41	17.20
5	3	1+44	17.20
4	20	1+81	17.30
5	4	1+84	17.30
4	21	2+21	17.60
5	5	2+24	17.60
4	22	2+61	17.70
5	6	2+64	17.70
4	23	3+01	18.00
5	7	3+04	18.00
4	24	3+41	18.10
5	8	3+44	18.10
4	25	3+65	18.20
4	26	3+88	18.20
4	27	4+08	18.20
4	28	4+30	18.00
4	29	4+52	17.80
4	30	4+92	17.30
4	31	5+32	16.80
4	32	5+72	16.30

LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
STORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	
WATER LINE	
SEWER LINE	

DWG: F:\WORK\NICK\CAITO\DRG\ANGELU DATE: 10/07/97 TIME: 19:04 RYALS Engineering-HB

RYALS

5301 Central, N.E.
(505) 256-4701

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construction services
Albuquerque, NM 87108
239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: VILLA DEL CANTO SUBDIVISION UNIT I
UTILITY PLAN AND PROFILE
STA. 0+00.00-7+98.50 VISTA DEL ANGEL

Design Review Committee

City Engineer Approval

APPROVED

NOV - 3

DESIGN REVIEW COMMITTEE

City Project No.

577681

Zone Map No.

L-9

Sheet

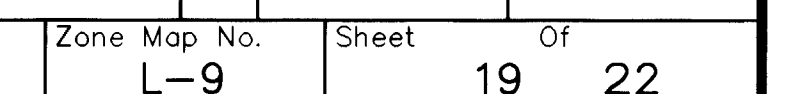
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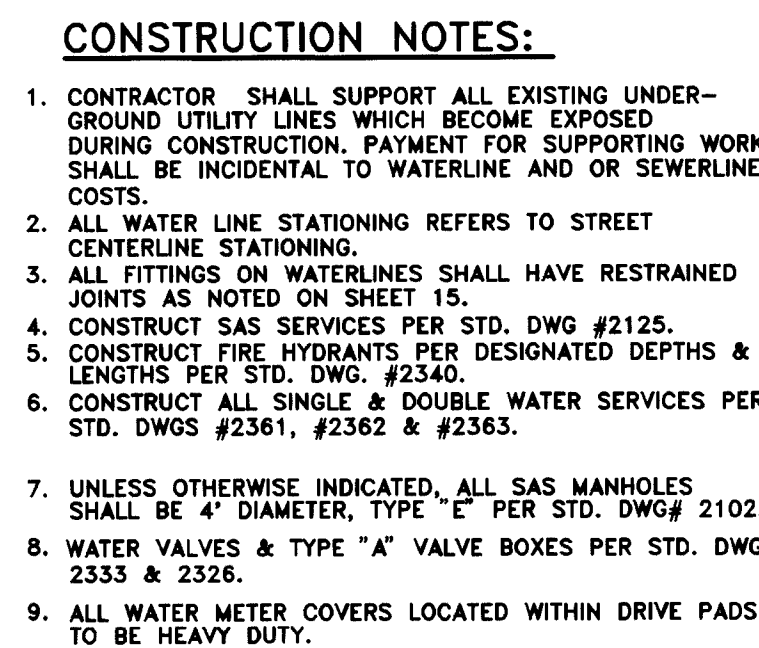
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22

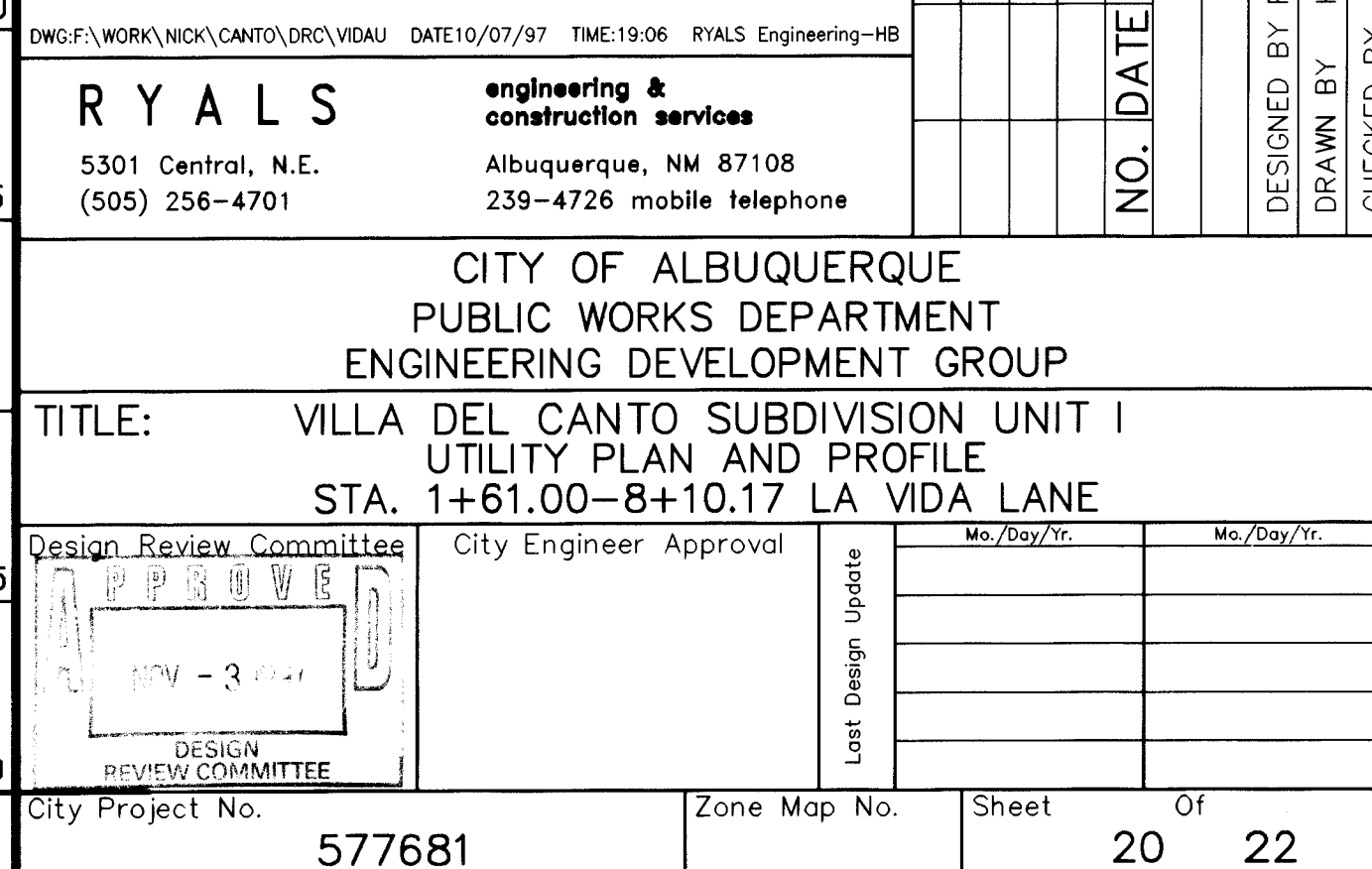
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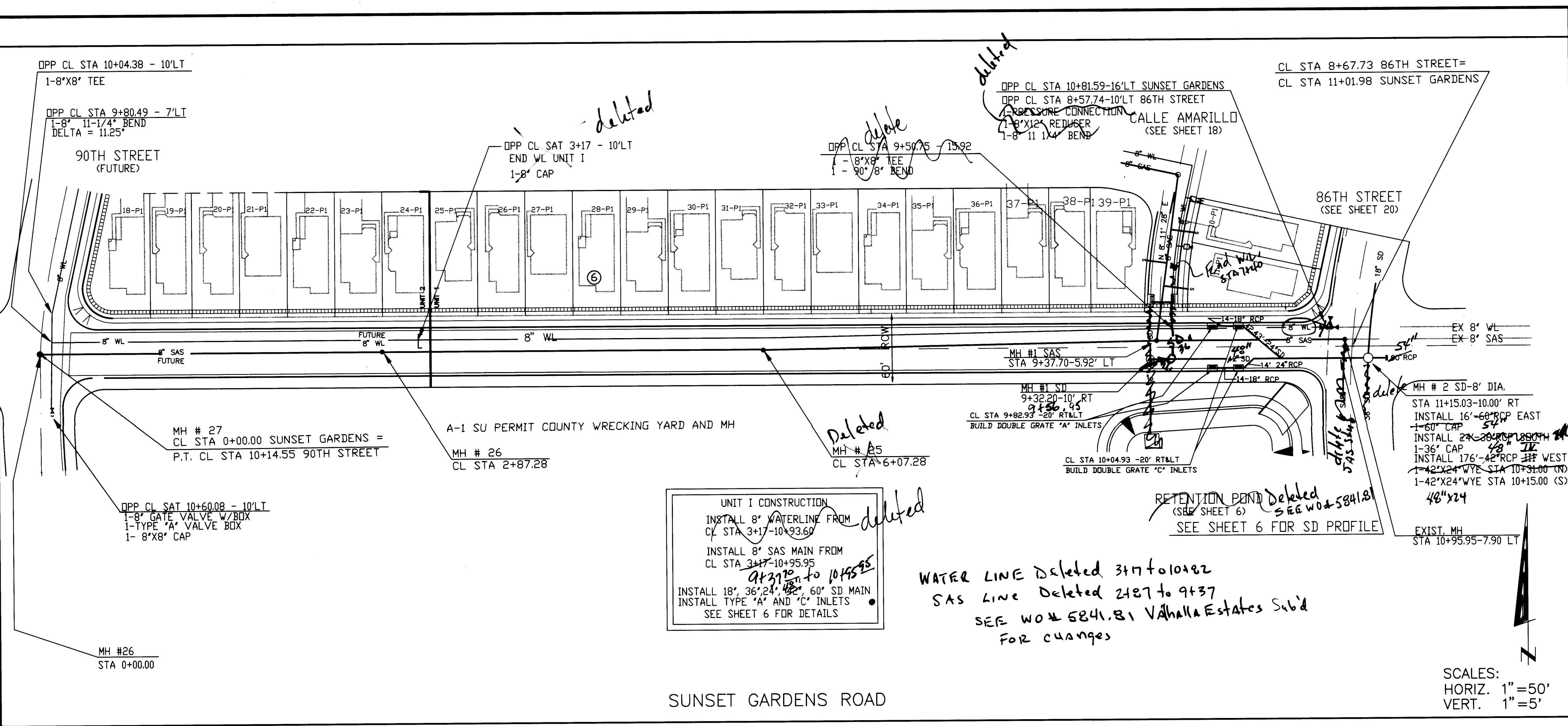
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CITY OF ALBUQUERQUE	SURVEY MONUMENT	FIELD NOTES	DATE	NO.	BY
RYALS	10-20-97						
STATIONED BY	DATE						
INSPECTED BY	DATE						
FIELD ASSESSMENT BY	DATE						
ADJUSTMENT BY	DATE						
CORRECTED BY	DATE						
MICRO-FILM INFORMATION		REMARKS		REVISIONS		DESIGN	
RECORDED BY	DATE						
NO.							

[illegible]



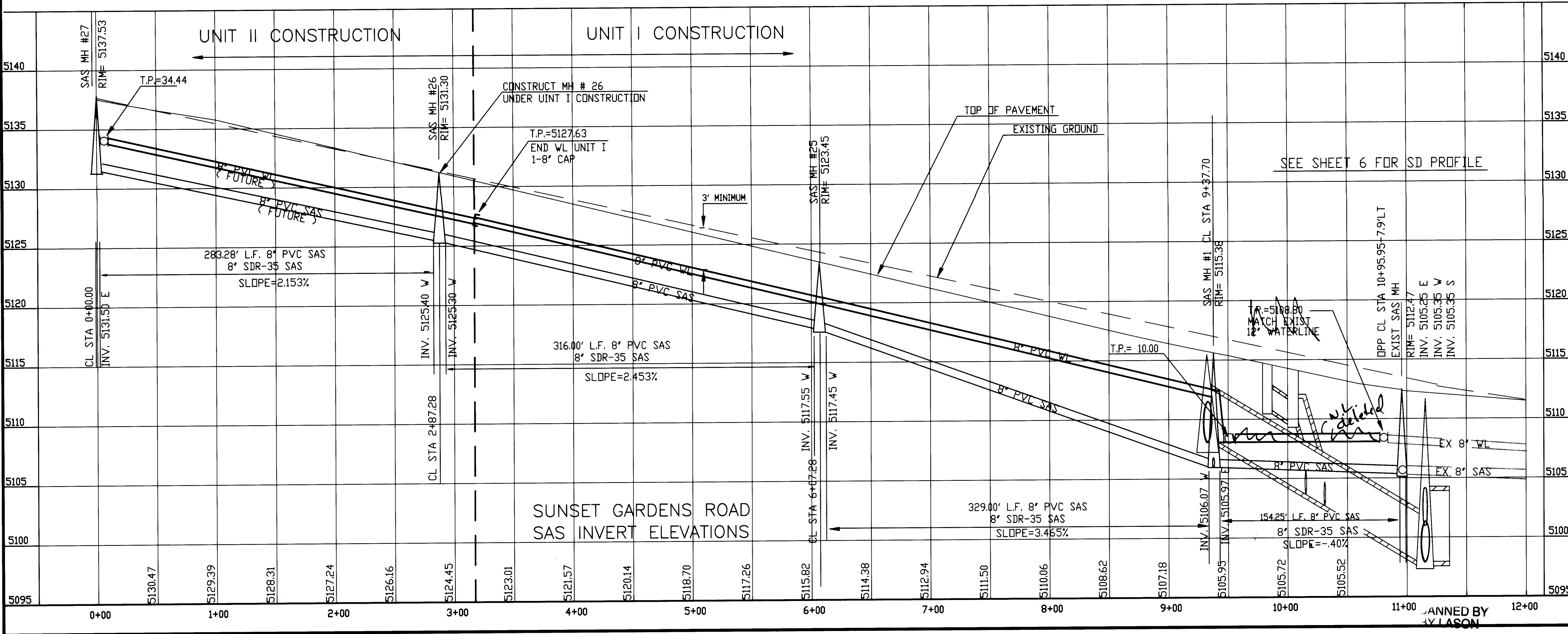
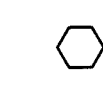
DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
STORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	_____ S
WATER LINE	_____ W
SEWER LINE	_____ SAS





- GENERAL NOTES:**
1. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND OR SEWERLINE COSTS.
 2. ALL WATER LINE STATIONING REFERS TO STREET CENTERLINE STATIONING.
 3. ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON SHEET 15.
 4. CONSTRUCT SAS SERVICES PER STD. DWG #2125.
 5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER STD. DWG. #2340.
 6. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER STD. DWGS #2361, #2362 & #2363.
 7. UNLESS OTHERWISE INDICATED, ALL SAS MANHOLES SHALL BE 4' DIAMETER, TYPE "E" PER STD. DWG# 2102.
 8. WATER VALVES & TYPE "A" VALVE BOXES PER STD. DWGS. 2333 & 2326.

CONSTRUCTION NOTES:



LEGEND

DESCRIPTION	PROPOSED
WATER VALVE	
FIRE HYDRANT	
SINGLE WATER SERVICE	
DOUBLE WATER SERVICE	
STREET LIGHT	
STORM DRAIN MANHOLE	
CATCH BASIN	
SAS MANHOLE	
SEWER SERVICE	
WATER LINE	
SEWER LINE	

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(505) 256-4701
Albuquerque, NM 87108
239-4726 mobile telephone

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLA DEL CANTO SUBDIVISION, UNIT I
UTILITY PLAN AND PROFILE
STA. 0+00.00-11+03.40 SUNSET GARDENS ROAD

APPROVE
NOV - 3 1997
DESIGN REVIEW COMMITTEE

DESIGNED BY: RBR, HFB, CC
DRAWN BY: HFB
CHECKED BY:

NO. DATE **REMARKS** **REVISIONS** **DESIGN**

City Project No. 577681 **Zone Map No.** L-9 **Sheet** 22 **Of** 22