CONSTRUCTION PLANS

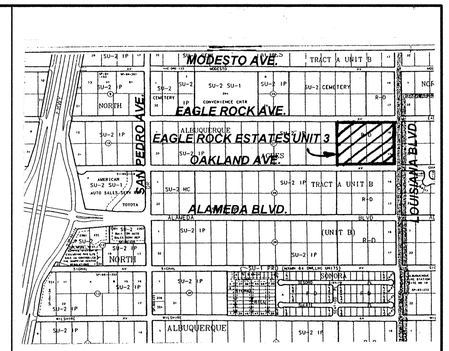
FOR

EAGLE ROCK ESTATES

UNIT III

ALBUQUERQUE, NEW MEXICO

SCANNED BY
MESA REPRO



VICINITY MAP — ZONE ATLAS C-18-Z

SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR IN EXISTING OR NEW LOCATION AS INDICATED BY THIS SET.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
8. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOURS CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- [x] ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- [x] BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- [ ] TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- [x] SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- [ ] IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- [x] ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Peter Chang
DATE 4-20-99

COA INSPECTOR: RUBEN ORTEGA

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

INDEX TO DRAWINGS

SHEET NO.	SHEET
1	TITLE SHEET
2-3	PLAT
4	GRADING AND DRAINAGE PLAN
5	MASTER PAVING PLAN
6-9	PAVING IMPROVEMENTS
10	MASTER UTILITY PLAN - ONSITE
11	MASTER UTILITY PLAN - OFFSITE
12-16	UTILITY IMPROVEMENTS
17	STORM DRAIN IMPROVEMENTS
18-19	TRAFFIC CONTROL

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

Timothy Aldrich, P.S. No. 7719 — Date 02-23-99

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE
DIANE HOELZER NEW MEXICO 11967 REGISTERED PROFESSIONAL ENGINEER 4-20-98	DRC CHAIRMAN	Billy J. Gonzales	4-29-98
	TRANSPORTATION	[illegible]	4-29-98
	WATER/WASTEWATER	K.W. Kane	4-29-98
	HYDROLOGY	[illegible]	4-29-98
	CONST. COOR.	[illegible]	4-29-98
	CONSTR. MNGMT.		

********** APPROVED FOR CONSTRUCTION

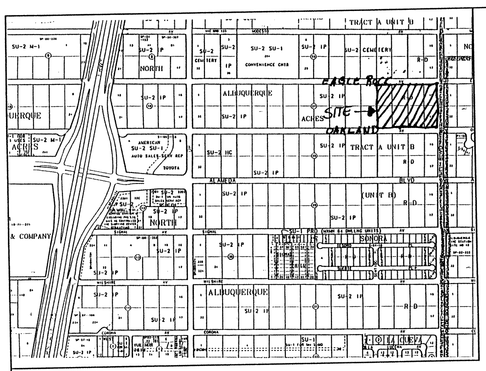
CITY ENGINEER — DATE 6/26/98

DRB NO.: 97-487

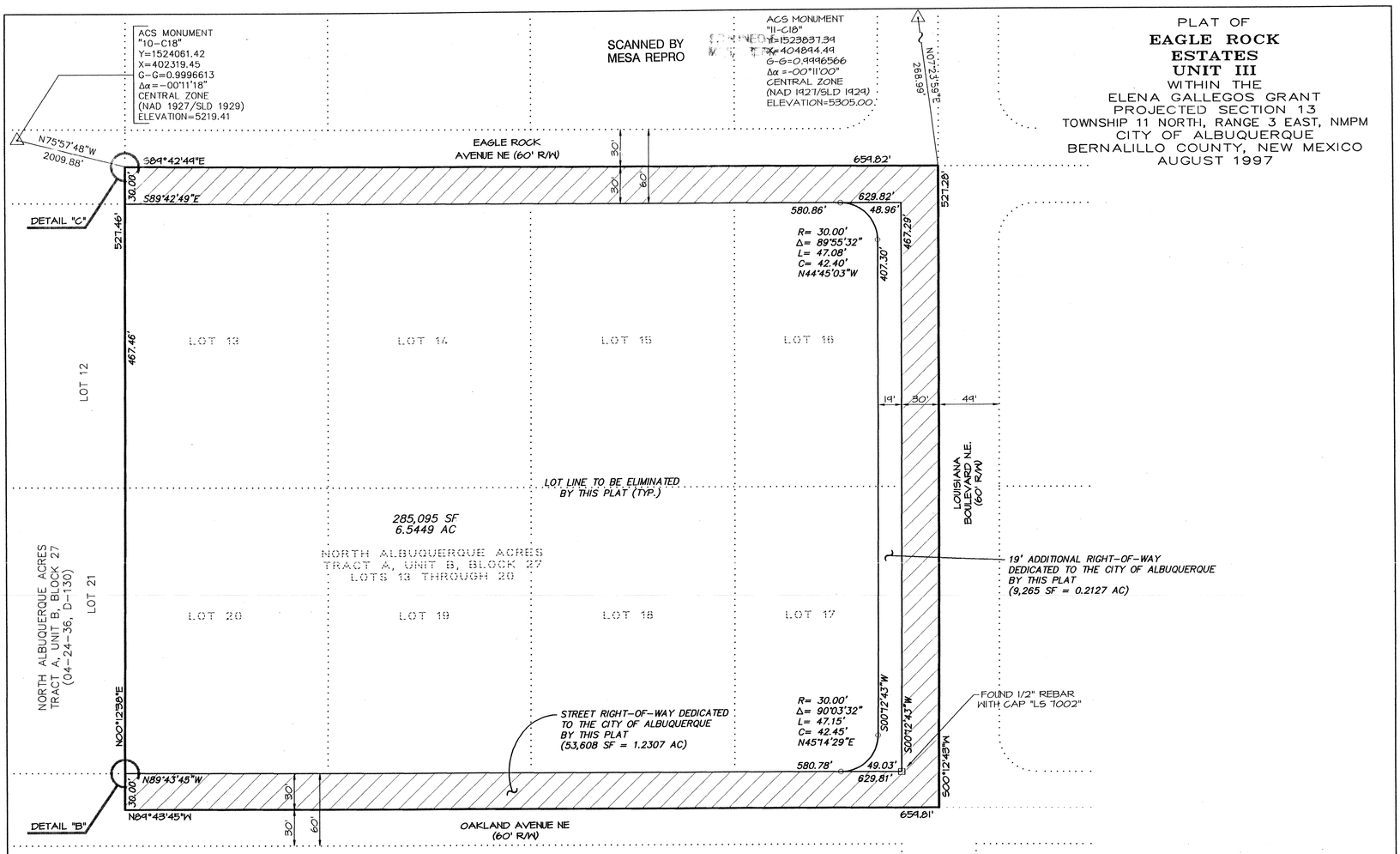
CITY PROJECT NO. 580183

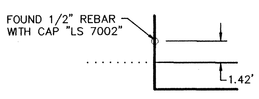
SHEET 1 OF 19

7058UNI3\TITLE\02-18-98

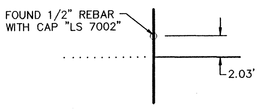

TRACT A UNIT B
EAGLE ROCK
SITE
OAKLAND
ALBUQUERQUE
TRACT A UNIT B
LOUISIANA
ALBUQUERQUE
NORTH
ALBUQUERQUE
COMMERCE CREK
SU-2 IP
SU-2 HC
SU-2 SU-1
SU-2 GW-1
SU-2 GW-2
SU-2 GW-3
SU-2 GW-4
SU-2 GW-5
SU-2 GW-6
SU-2 GW-7
SU-2 GW-8
SU-2 GW-9
SU-2 GW-10
SU-2 GW-11
SU-2 GW-12
SU-2 GW-13
SU-2 GW-14
SU-2 GW-15
SU-2 GW-16
SU-2 GW-17
SU-2 GW-18
SU-2 GW-19
SU-2 GW-20
SU-2

PLAT OF
EAGLE ROCK ESTATES UNIT III
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 1997





DETAIL "B"
NOT TO SCALE



DETAIL "C"
NOT TO SCALE

09-18-97

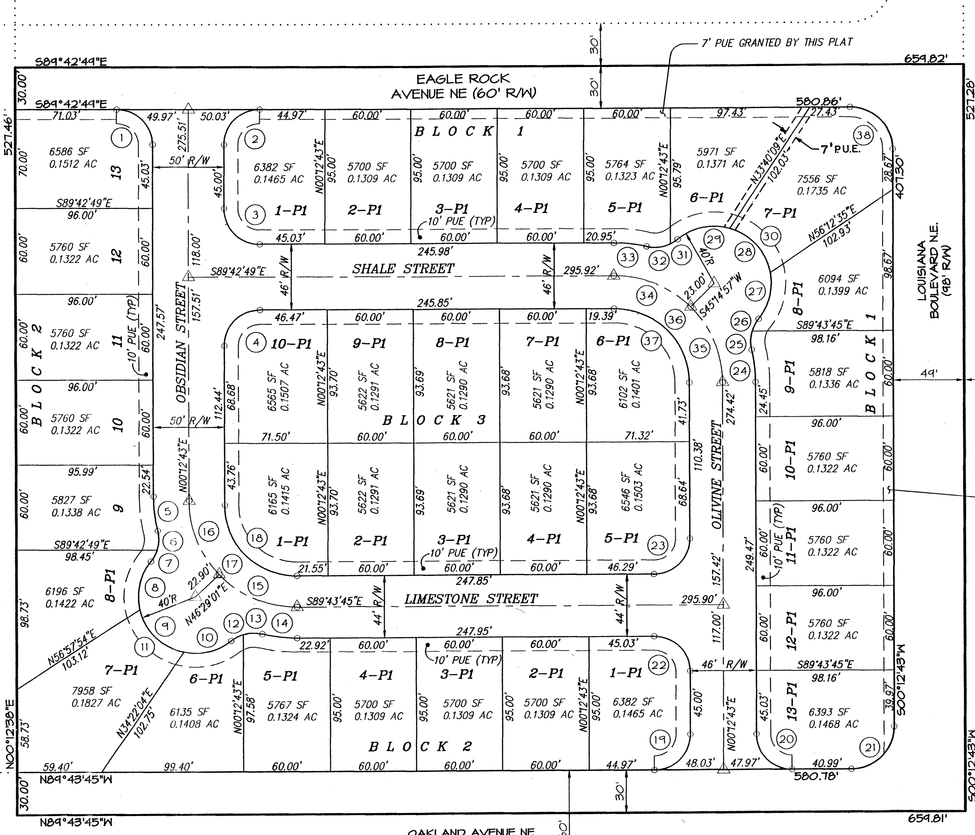
SCALE: 1" = 50'

EAGLE ROCK ESTATES UNIT III

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

dwg: 7058iii3	Drawn: DBC	Checked: ALS	Sheet 3 of 4
Scale: 1"=50'	Date: 9-18-97	Job: 97058	

PLAT OF
EAGLE ROCK ESTATES UNIT III
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 1997



N O T E S: *(continued)*

14. A 10' Private Drainage Easement is centered on all common side lot lines and on rear lot lines where they abut the side yard of the adjacent lot.

15. Each lot shall have a minimum of 2400 sq. ft. of on-site OPEN SPACE to meet the RD Zoning requirement.

△ CENTERLINE MONUMENTATION
Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points, and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped:
CITY OF ALBUQUERQUE
CENTERLINE MONUMENT
DO NOT DISTURB
PLS #7719

SCALE: 1" = 50'

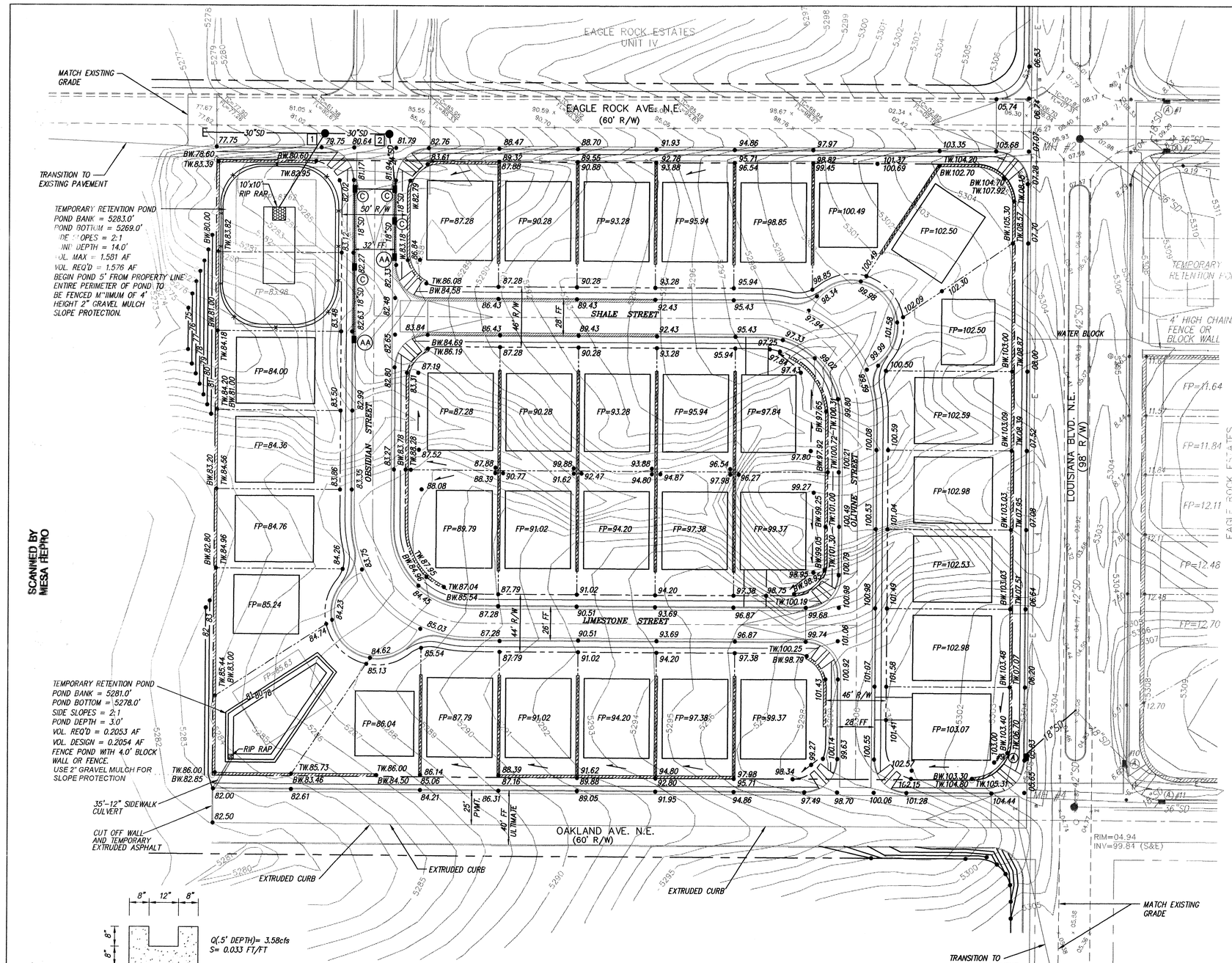
EAGLE ROCK ESTATES UNIT III

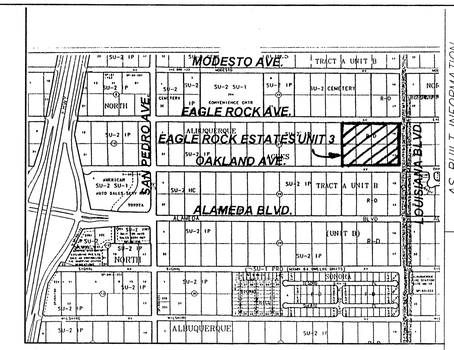
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

dwg: 7058iii4	Drawn: DBC	Checked: ALS	Sheet 4 of 4
Scale: 1"=50'	Date: 10-16-97	Job: 97058	

CPN 580183

Eagle Rock Estates Unit III Sht. 3 of 19

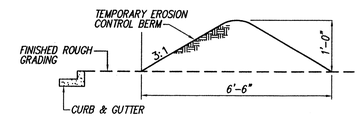




VICINITY MAP ZONE MAP: C-18-Z

LEGAL DESCRIPTION

NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3, BLOCK 2 LOTS 1 THRU 4 AND LOTS 29 THRU 32.



EROSION CONTROL BERM DETAIL

N.T.S.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
3. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
4. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.

LEGEND

	PROPERTY LINE	—51.35—	EXIST. CONTOUR
	NEW RETAINING WALL	TC= FL=	EXIST. TOP OF CURB EXIST. FLOWLINE
•97.21	NEW SPOT ELEVATION	43.83 X	EXIST. SPOT ELEV.
TW.21.01	TOP OF WALL		EXIST. CURB AND GUTTER
BW.18.31	BOTTOM OF WALL		EXIST. SAS MANHOLE
FP=48.72	NEW FINISHED PAD ELEV.		EXIST. CABLE T.V. PEDESTAL
	MOUNTABLE CURB & GUTTER		EXIST. WATER VALVE
	STANDARD 8" CURB & GUTTER	—E—	EXIST. OVERHEAD ELECTRIC LINE
28.53	PROPOSED SPOT ELEV.	—T—	EXIST. OVERHEAD TELEPHONE LINE
	3:1 SLOPE		EXIST. P.P.
	EXIST. SANITARY SEWER MANHOLE		EXIST. TEL. PEDESTAL
	EXIST. WATER VALVE	x 00.00	SPOT ELEVATION
	EXIST. FIRE HYDRANT		CURB AND GUTTER
	EXIST. STORM SEWER MANHOLE	—SD—	PROPOSED STORM DRAIN LINE
	EXIST. DROP INLET		PROPOSED MANHOLE
TC= FL=	EXIST. TOP OF CURB FLOWLINE		NEW FLOW ARROW
	PROPOSED STORM DRAIN INLET		EXISTING EDGE OF PAVEMENT
1	STORM DRAIN MANHOLE	AA	DOUBLE GRATE TYPE "A" INLET
C	TYPE "C" INLET		

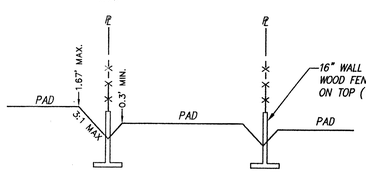
Hydrology Approved 3-17-98

APPROVED FOR ROUGH GRADING 1'± DATE

Q(.5' DEPTH)= 3.58cfs
S= 0.033 FT/FT

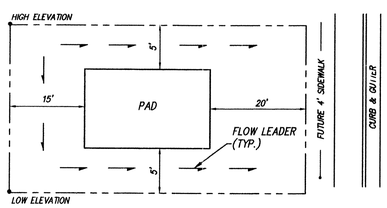
SIDEWALK CULVERT DETAIL

N.T.S.



TYPICAL LOT LAYOUT SECTION

N.T.S.



TYPICAL LOT LAYOUT PLAN

N.T.S.

NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DTL. THIS SHT. AND METTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

40' 20' 0 40' 80'

SCALE: 1" = 40'

7058EAGL\70583GR\03-04-98

AS BUILT INFORMATION

CONTRACTOR	Hawkins	DATE 08/99
WORK INSPECTORS	JLS, Inc	DATE 4/99
ACCEPTANCE BY		
VERIFICATION BY	JLS, Inc	DATE 01/99
DRAWINGS CORRECTED BY	JLS, Inc	DATE 01/99

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

THE STATION MARK IS A STANDARD ACS ALUMINUM CAP STAMPED "11-C18". IT IS RIVETED TO A 2 1/2" ALUMINUM TUBE SET WITH THE CAP PROJECTING 0.1 FT. ALOVE THE GROUND. TO REACH THE STATION, FROM THE INTERSECTION OF I-40 AND LOUISIANA BLVD., GO NORTH ON LOUISIANA BLVD. 6.25 MILES TO THE STATION ON THE LEFT.

X = 404,894.49
Y = 1,523,837.39
Z = 5305.00

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

DANA PETE HARRISON NEW MEXICO 10267 REGISTERED PROFESSIONAL ENGINEER

2-6-98

NO.	DATE	REMARKS	BY

REVISIONS

		DATE
DESIGN		
DESIGNED BY	DLH	10/97
DRAWN BY	MLV	10/97
CHECKED BY	DMG	10/97

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

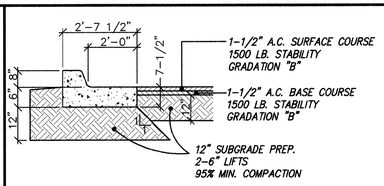
TITLE:

EAGLE ROCK ETATES UNIT III
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
Approved @ DRB				

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
580183	C-18	4	19

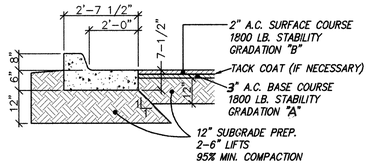
SCANNED BY MESA REPRO



RESIDENTIAL PAVEMENT SECTION

NOT TO SCALE

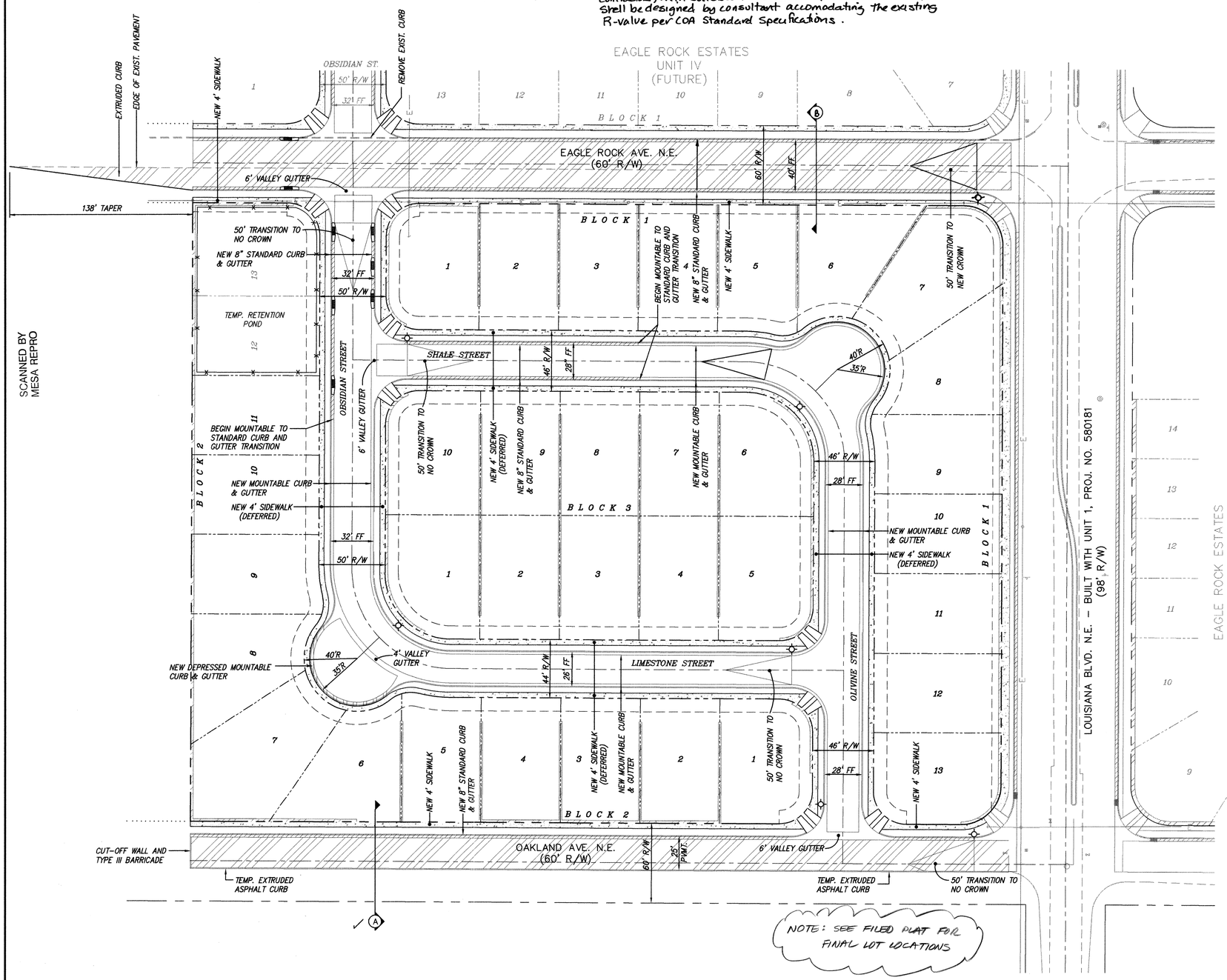
PAVEMENT SECTION PER COA STD. DWG. 2405



TYPICAL COLLECTOR STREET PAVEMENT SECTION
(EAGLE ROCK AVE. & OAKLAND AVE.)

NOT TO SCALE

Soil not having the minimum R-value of 50, shall be removed to a depth of 2 feet and replaced by the contractor, with suitable material or a pavement section shall be designed by consultant accomodating the existing R-value per COA Standard Specifications.



NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

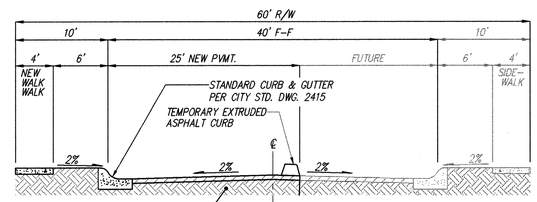
SCANNED BY MESA REPRO

LEGEND

- PROPERTY LINE
- NEW STANDARD CURB & GUTTER
- NEW MOUNTABLE CURB & GUTTER
- NEW DEPRESSED MOUNTABLE CURB & GUTTER
- NEW WHEEL CHAIR RAMP PER CITY STD. DWG. 2441 CASE II
- NEW STREET LIGHT
- NEW OFFSITE PAVEMENT SEE PVMT. SECTIONS THIS SHEET

NOTES

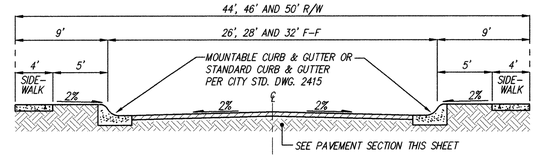
1. ALL SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2430.
2. ALL 6' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420.
3. ALL 4' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2421
4. ALL 4' INTERIOR SIDEWALKS ARE DEFERRED.
5. ALL HANDICAP RAMPS TO BE CASE II PER CITY OF ALBUQUERQUE STANDARD DRAWING 2441. WHERE GRADES DO NOT PERMIT A MAXIUMUM SLOPE OF 12:1 TO BE MAINTAINED WITHIN THE 7' LENGHT AS SPECIFIED. THEN THE "F" LENGTH AS SHOWN IN DWG. 2441 MUST BE INCREASED TO MAINTAIN A SLOPE <12:1.
6. TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB SHALL BE PER CITY OF ALBUQUERQUE STANDARD DRAWING 2418.
7. TRANSITION SECTION FROM FULL CROWN TO NO CROWN TO BE A MINIMUM OF 50 FEET.



TYPICAL 60' STREET SECTION
(OAKLAND AVE.)

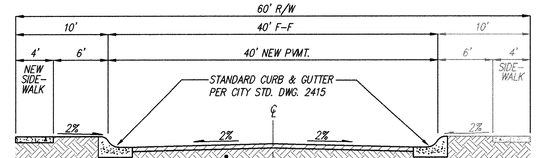
NOT TO SCALE

A



TYPICAL 44', 46' AND 50' RESIDENTIAL STREET SECTION

NOT TO SCALE



TYPICAL 60' STREET SECTION
(EAGLE ROCK AVE.)

NOT TO SCALE

B

N

40' 20' 0 40' 80'

SCALE: 1" = 40'

7058UNI3\MPAVE-U3\04-17-98

AS BUILT INFORMATION
CONTRACTOR Vrooman DATE 6/17
WORK STAKED BY CJS Inc DATE 6/17
INSPECTOR'S ACCEPTANCE BY [illegible] DATE 6/17
FIELD VERIFICATION BY CJS Inc DATE 6/17
DRAWINGS CORRECTED BY CJS Inc DATE 6/17
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5305.00

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
DUANE HOELZER NEW MEXICO 10867 REGISTERED PROFESSIONAL ENGINEER
4-20-98

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN		
DESIGNED BY	DLH	DATE 01/98
DRAWN BY	DBC, BLN, KJS	DATE 01/98
CHECKED BY	DMG	DATE 01/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: EAGLE ROCK ESTATES - UNIT III
MASTER PAVING PLAN

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE

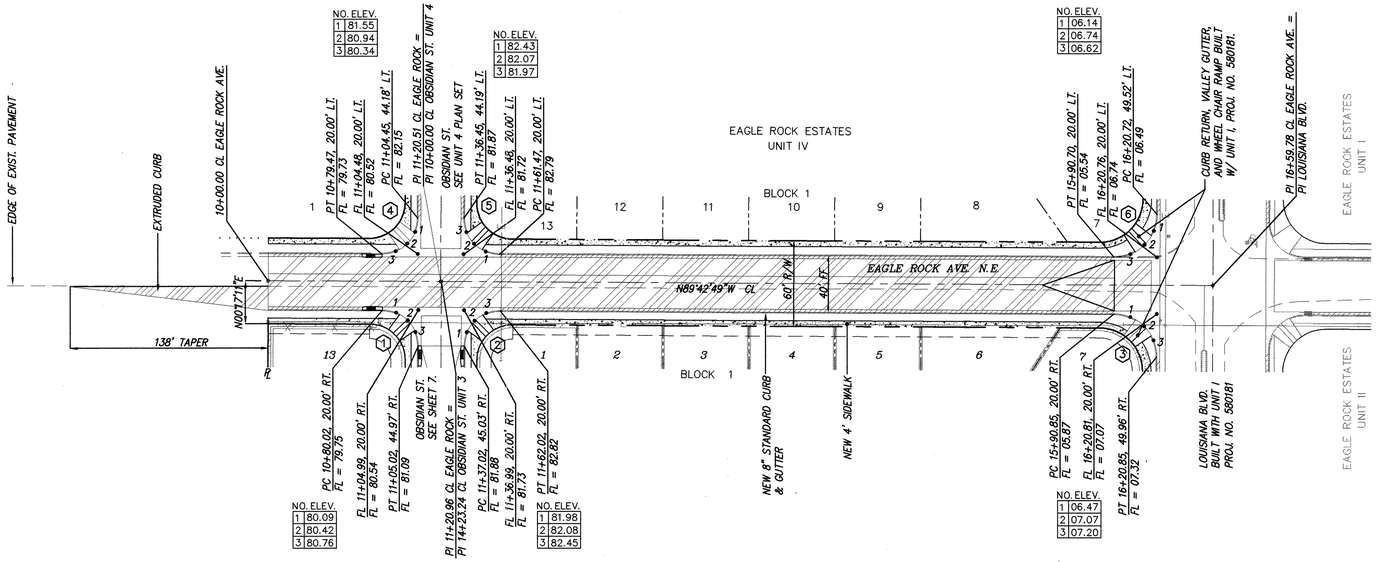
CITY ENGINEER APPROVAL

LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

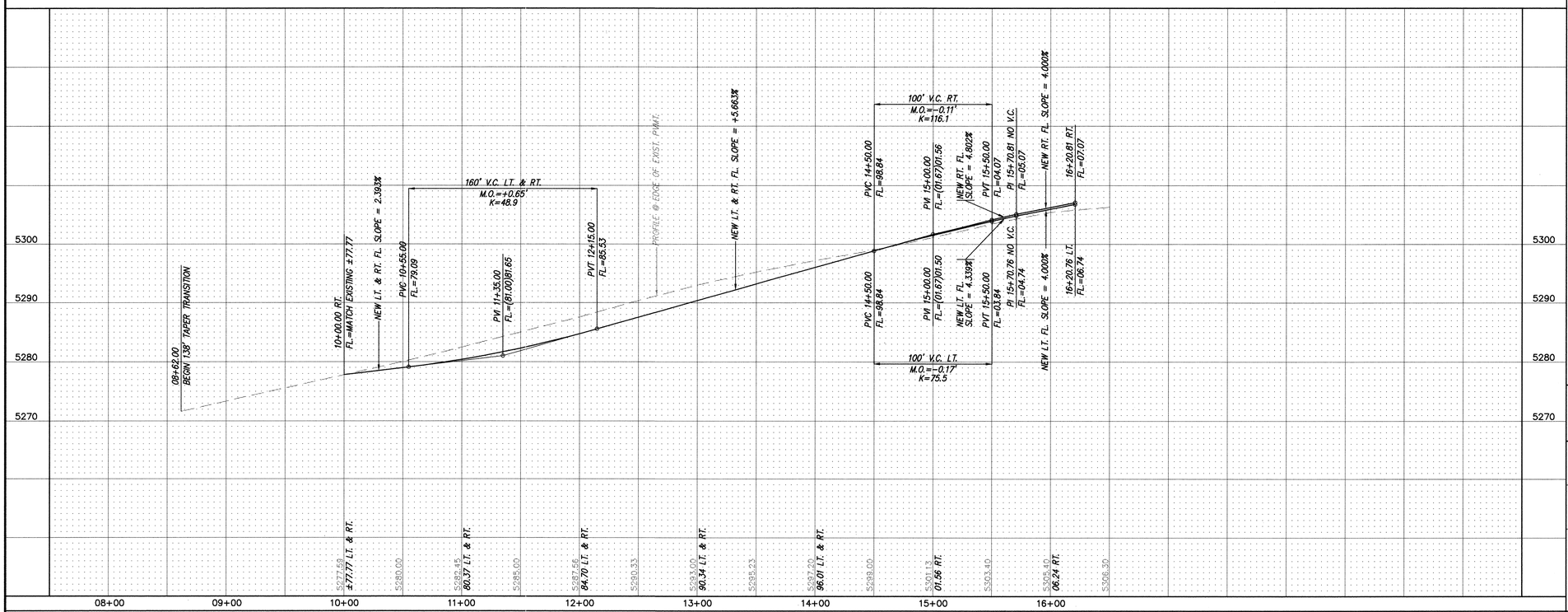
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
580183	C-18	5	19

CURVE DATA – DESCRIBES FACE OF NEW CURB

(1) Δ = 89°55'32"	(2) Δ = 90°04'28"	(3) Δ = 89°55'32"
R = 25.00'	R = 25.00'	R = 30.00'
L = 39.24'	L = 39.30'	L = 47.08'
T = 24.97'	T = 25.03'	T = 29.96'
(4) Δ = 90°01'00"	(5) Δ = 89°59'00"	(6) Δ = 90°07'00"
R = 25.00'	R = 25.00'	R = 30.00'
L = 39.28'	L = 39.26'	L = 47.18'
T = 25.01'	T = 24.99'	T = 30.02'



EAGLE ROCK AVE.
STA. 10+00.00 TO STA. 16+59.78
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

SCANNED BY MESA REPRO

AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY
INSPECTOR'S ACCEPTANCE BY
FIELD VERIFICATION BY
DRAWINGS CORRECTED BY
MICRO-FILM INFORMATION
RECORDED BY
DATE
NO.

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5305.00

SURVEY INFORMATION
FIELD NOTES
NO. | BY | DATE

ENGINEER'S SEAL
DANE HOELZER NEW MEXICO 10987 REGISTERED PROFESSIONAL ENGINEER
4-20-98

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

		DATE
DESIGNED BY	DLH	01/98
DRAWN BY	DBC, BLN, KJS	01/98
CHECKED BY	DMG	01/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: EAGLE ROCK ESTATES - UNIT III
PAVING IMPROVEMENTS
EAGLE ROCK AVENUE

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO. 580183 | ZONE MAP NO. C-18 | SHEET 6 OF 19

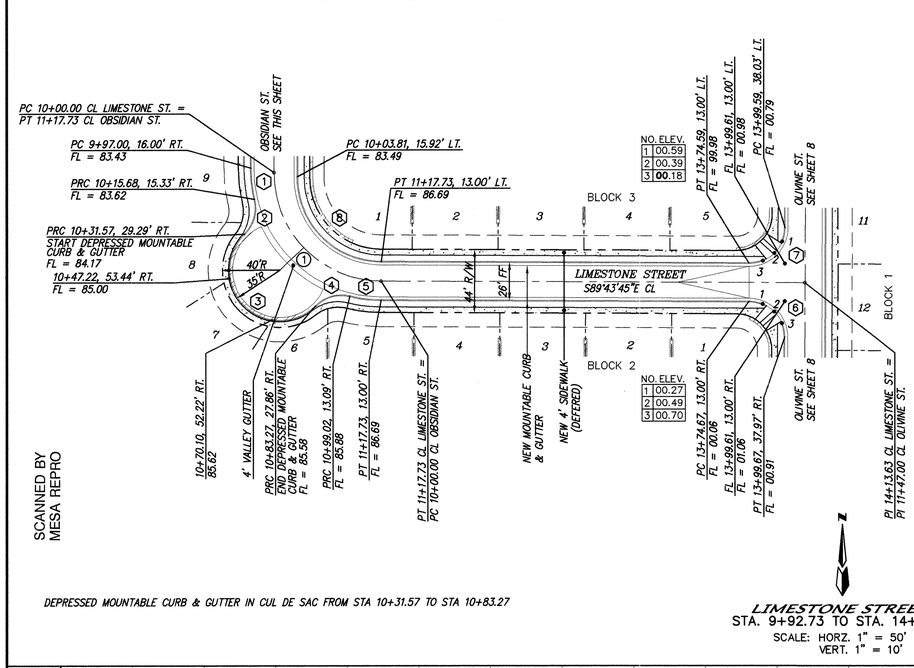
7058UNI3\PP-EAGLE\04-16-98

CURVE DATA – DESCRIBES FACE OF NEW CURB

① Δ = 13°49'32" R = 91.00' L = 21.96' T = 11.03'
② Δ = 59°32'34" R = 25.00' L = 25.98' T = 14.30'
③ Δ = 178°37'30" R = 35.00' L = 110.80' T = 2,916.74'
④ Δ = 59°32'34" R = 25.00' L = 25.98' T = 14.30'
⑤ Δ = 13°49'32" R = 91.00' L = 21.96' T = 11.03'
⑥ Δ = 89°56'28" R = 25.00' L = 39.24' T = 24.97'
⑦ Δ = 90°03'32" R = 25.00' L = 39.30' T = 25.03'
⑧ Δ = 89°56'28" R = 59.00' L = 92.62' T = 58.94'

CURVE DATA – DESCRIBES CENTERLINE

① Δ = 89°56'29" R = 75.00' L = 117.73' T = 74.92'



DEPRESSED MOUNTABLE CURB & GUTTER IN CUL DE SAC FROM STA 10+31.57 TO STA 10+83.27

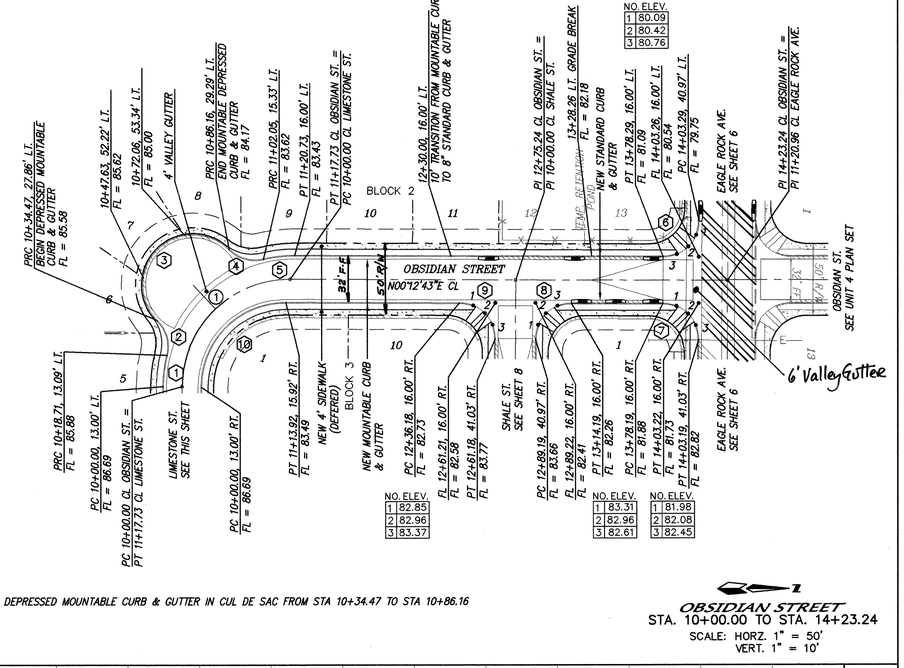
LIMESTONE STREET
STA. 9+92.73 TO STA. 14+13.63
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

CURVE DATA – DESCRIBES FACE OF NEW CURB

① Δ = 13°49'32" R = 91.00' L = 21.96' T = 11.03'
② Δ = 59°32'34" R = 25.00' L = 25.98' T = 14.30'
③ Δ = 178°37'30" R = 35.00' L = 110.80' T = 2,916.74'
④ Δ = 59°32'34" R = 25.00' L = 25.98' T = 14.30'
⑤ Δ = 13°49'32" R = 91.00' L = 21.96' T = 11.03'
⑥ Δ = 89°55'32" R = 25.00' L = 39.24' T = 24.97'
⑦ Δ = 90°04'28" R = 25.00' L = 39.30' T = 25.03'
⑧ Δ = 89°55'32" R = 25.00' L = 39.24' T = 24.97'
⑨ Δ = 90°04'28" R = 25.00' L = 39.30' T = 25.03'
⑩ Δ = 89°56'28" R = 59.00' L = 92.62' T = 58.94'

CURVE DATA – DESCRIBES CENTERLINE

① Δ = 89°56'29" R = 75.00' L = 117.73' T = 74.92'

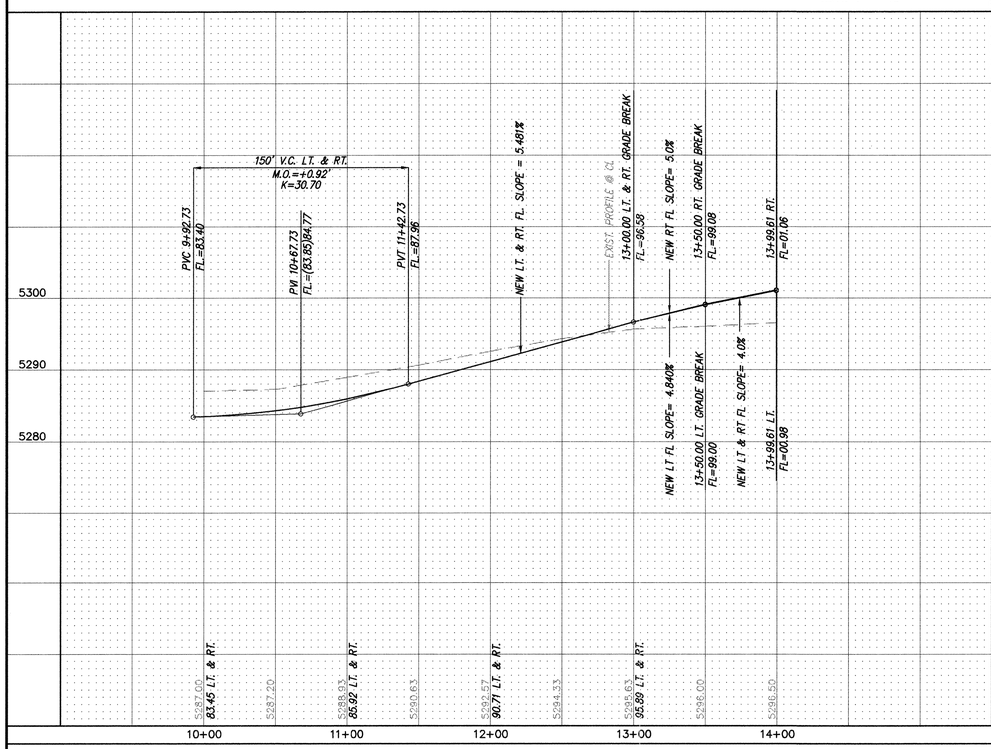


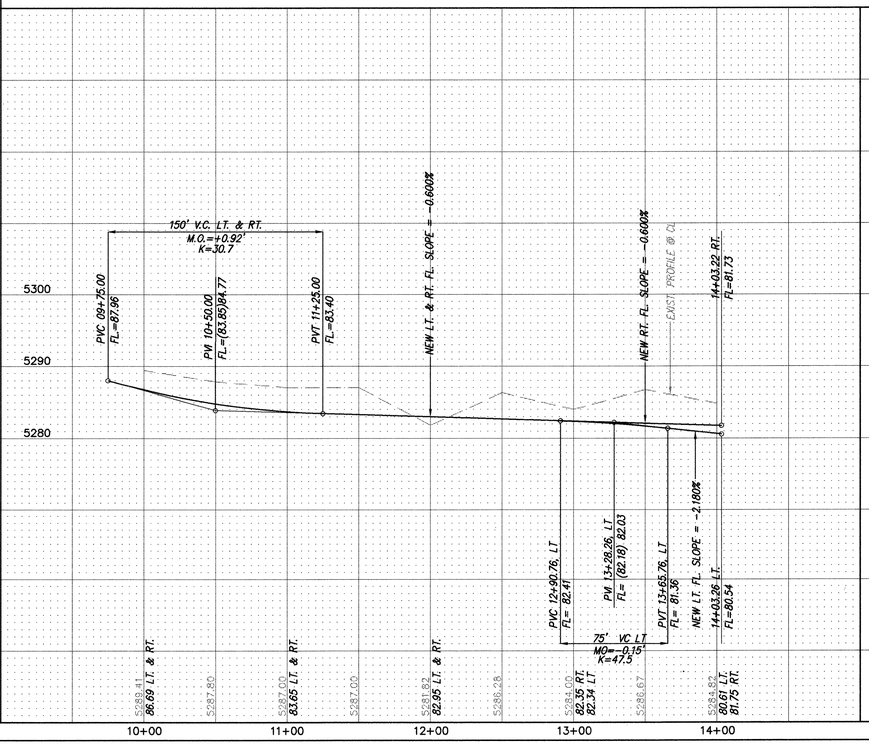
DEPRESSED MOUNTABLE CURB & GUTTER IN CUL DE SAC FROM STA 10+34.47 TO STA 10+86.16

OBSIDIAN STREET
STA. 10+00.00 TO STA. 14+23.24
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. 10' TRANSITION FROM MOUNTABLE TO DEPRESSED MOUNTABLE CURB AND GUTTER.





NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

SCANNED BY MESA REPRO

7058UNI3\PP-OBSID\04-17-98 fsm

AS BUILT INFORMATION
CONTRACTOR Franklin
WORK STAKED BY JS INC. DATE 04/98
INSPECTOR'S ACCEPTANCE BY MGM DATE 4/98
FIELD VERIFICATION BY JS INC. DATE 04/98
DRAWINGS CORRECTED BY JS INC. DATE 04/98
MICRO-FILM INFORMATION
RECORDED BY DATE
NO. DATE

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5,305.00

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
DANA HOELLER NEW MEXICO 12867 PROFESSIONAL ENGINEER REGISTERED
4-20-98

NO.	DATE	REMARKS	BY
		REVISIONS	

		DATE
DESIGNED BY	DLH	01/98
DRAWN BY	DBC, FSM, KJS	01/98
CHECKED BY	DMG	01/98

DESIGN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

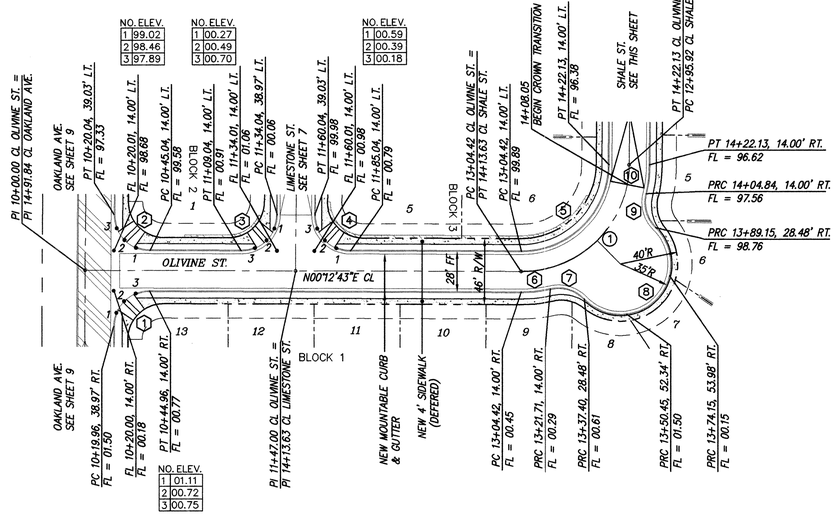
TITLE: EAGLE ROCK ESTATES - UNIT III
PAVING IMPROVEMENTS
LIMESTONE STREET AND OBSIDIAN STREET

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST DESIGN UPDATE MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. 580183 | ZONE MAP NO. C-18 | SHEET 7 OF 19

CURVE DATA – DESCRIBES FACE OF NEW CURB

1. Δ = 89°56'28" R = 25.00' L = 39.24' T = 24.97'
2. Δ = 90°03'32" R = 25.00' L = 39.30' T = 25.03'
3. Δ = 89°56'28" R = 25.00' L = 39.24' T = 24.97'
4. Δ = 90°03'32" R = 25.00' L = 39.30' T = 25.03'
5. Δ = 89°55'32" R = 61.00' L = 95.74' T = 60.92'
6. Δ = 13°12'41" R = 89.00' L = 20.52' T = 10.31'
7. Δ = 59°15'44" R = 25.00' L = 25.86' T = 14.22'
8. Δ = 177°58'23" R = 35.00' L = 111.19' T = 1978.49'
9. Δ = 59°15'44" R = 25.00' L = 25.86' T = 14.22'
10. Δ = 13°12'41" R = 89.00' L = 20.52' T = 10.31'



CURVE DATA – DESCRIBES CENTERLINE

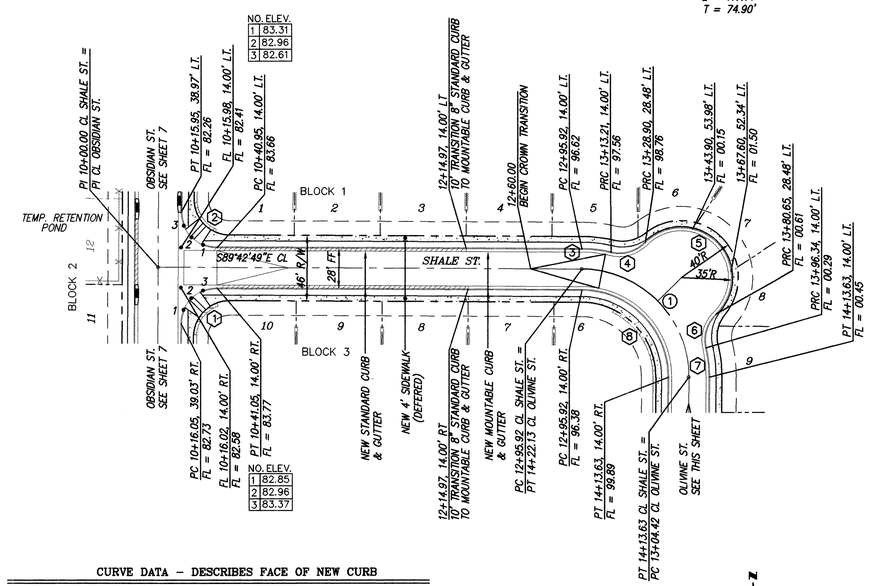
1. Δ = 89°55'32" R = 75.00' L = 117.71' T = 74.90'

SCANNED BY MESA REPRO

OLIVINE STREET
STA. 10+20.00 TO STA. 14+22.13
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

CURVE DATA – DESCRIBES CENTERLINE

1. Δ = 89°55'32" R = 75.00' L = 117.71' T = 74.90'



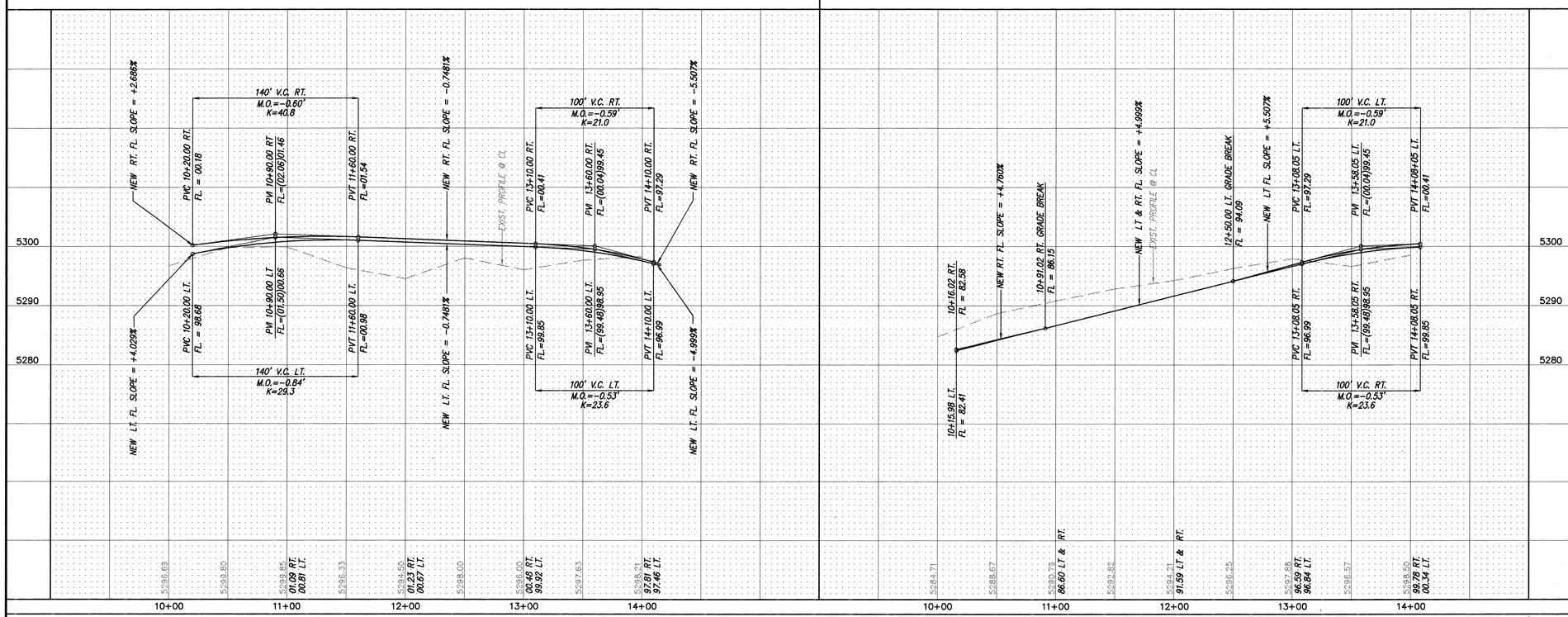
CURVE DATA – DESCRIBES FACE OF NEW CURB

1. Δ = 90°04'28" R = 25.00' L = 39.30' T = 25.03'
2. Δ = 89°55'32" R = 25.00' L = 39.24' T = 24.97'
3. Δ = 13°12'41" R = 89.00' L = 20.52' T = 10.31'
4. Δ = 59°15'44" R = 25.00' L = 25.86' T = 14.22'
5. Δ = 177°58'23" R = 35.00' L = 111.19' T = 1978.49'
6. Δ = 59°15'44" R = 25.00' L = 25.86' T = 14.22'
7. Δ = 13°12'41" R = 89.00' L = 20.52' T = 10.31'
8. Δ = 89°55'32" R = 61.00' L = 95.74' T = 60.92'

SHALE STREET
STA. 10+15.98 TO STA. 14+13.63
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.



NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS.

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: EAGLE ROCK ESTATES - UNIT III
PAVING IMPROVEMENTS
OLIVINE STREET AND SHALE STREET

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

NO.	DATE	REMARKS	BY
		REVISIONS	

		DATE
DESIGNED BY	DLH	01/98
DRAWN BY	DBC, KJS	01/98
CHECKED BY	DMG	01/98

AS BUILT INFORMATION
CONTRACTOR Vrooklin
WORK STAKED BY LHS, INC. DATE 10/97
INSPECTOR'S ACCEPTANCE BY MES A DATE 2/1/99
FIELD VERIFICATION BY LHS, INC. DATE 4/98
DRAWINGS CORRECTED BY LHS, INC. DATE 5/98
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523,837.39
Z = 5305.00

SURVEY INFORMATION
FIELD NOTES
NO. | BY | DATE

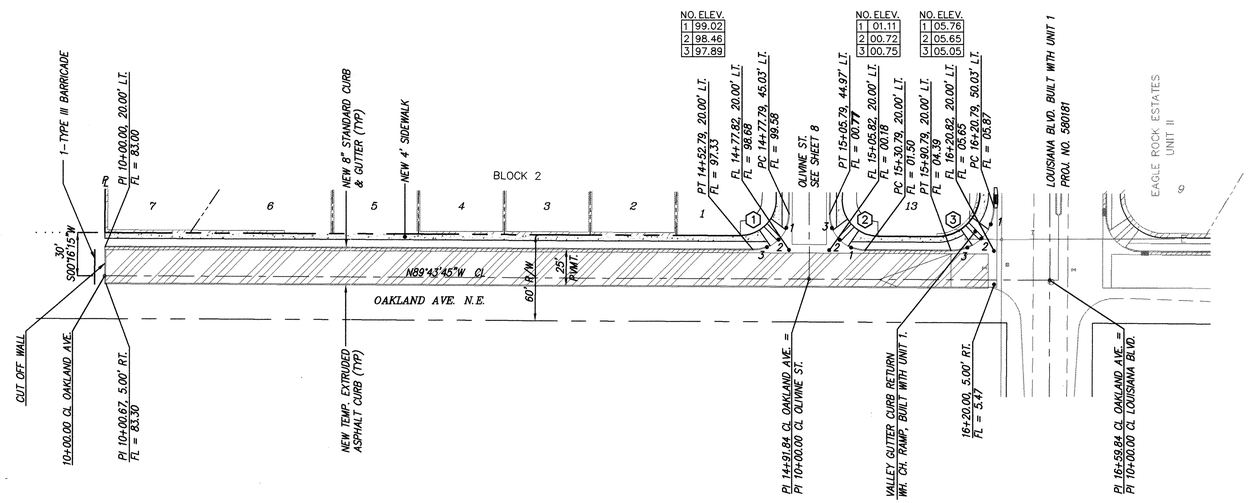
ENGINEER'S SEAL
DUANE HOELZER NEW MEXICO 10985 REGISTERED PROFESSIONAL ENGINEER
4-20-98

CITY PROJECT NO. 580183 | ZONE MAP NO. C-18 | SHEET 8 OF 19

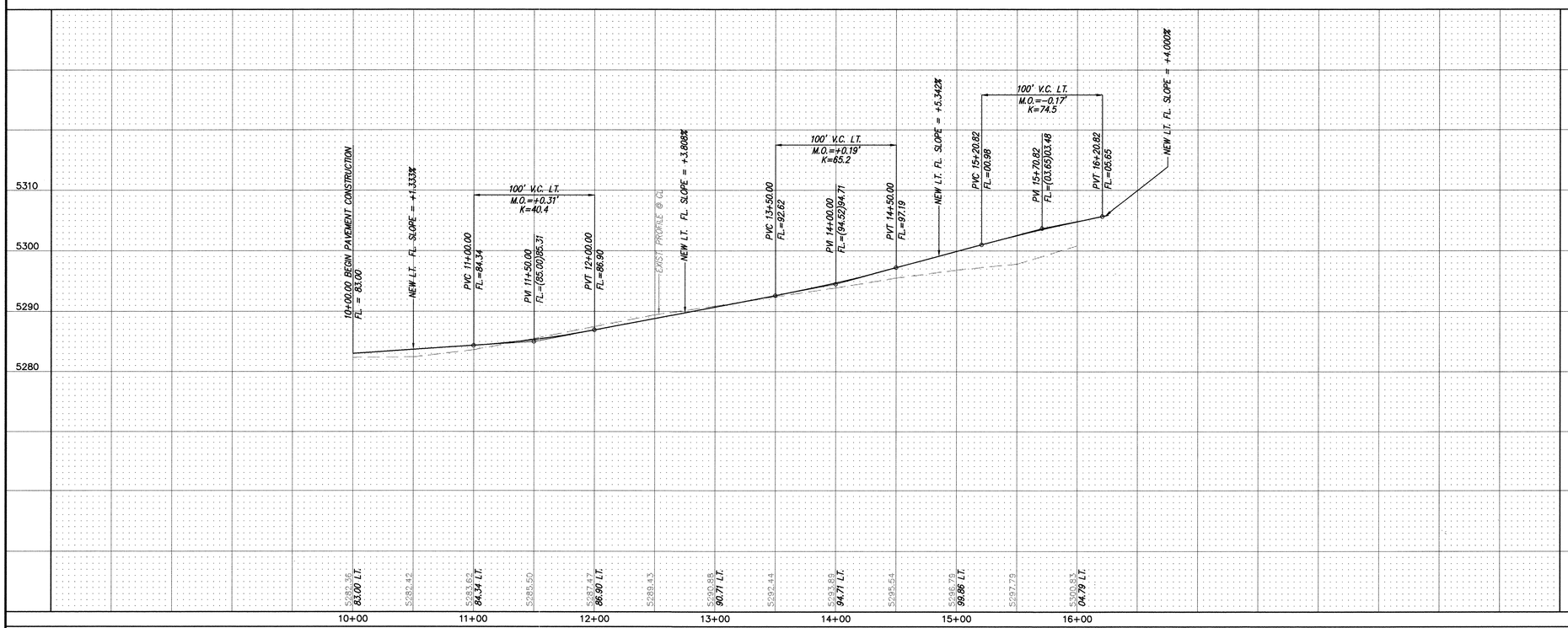
7058UNI3\PP-OLIVI\04-16-98

CURVE DATA – DESCRIBES FACE OF NEW CURB

①	②	③
Δ = 90°03'32"	Δ = 89°56'28"	Δ = 90°03'32"
R = 25.00'	R = 25.00'	R = 30.00'
L = 39.30'	L = 39.24'	L = 47.15'
T = 25.03'	T = 24.97'	T = 30.03'



OAKLAND AVENUE
STA. 10+00.00 TO STA. 16+59.84
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



7058UNI3\PP-OAK\04-16-98

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5305.00

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
DIANE HOELLER NEW MEXICO 10867 REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
		REVISIONS	

		DATE
DESIGNED BY	DLH	01/98
DRAWN BY	DBC, KJS	01/98
CHECKED BY	DMG	01/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

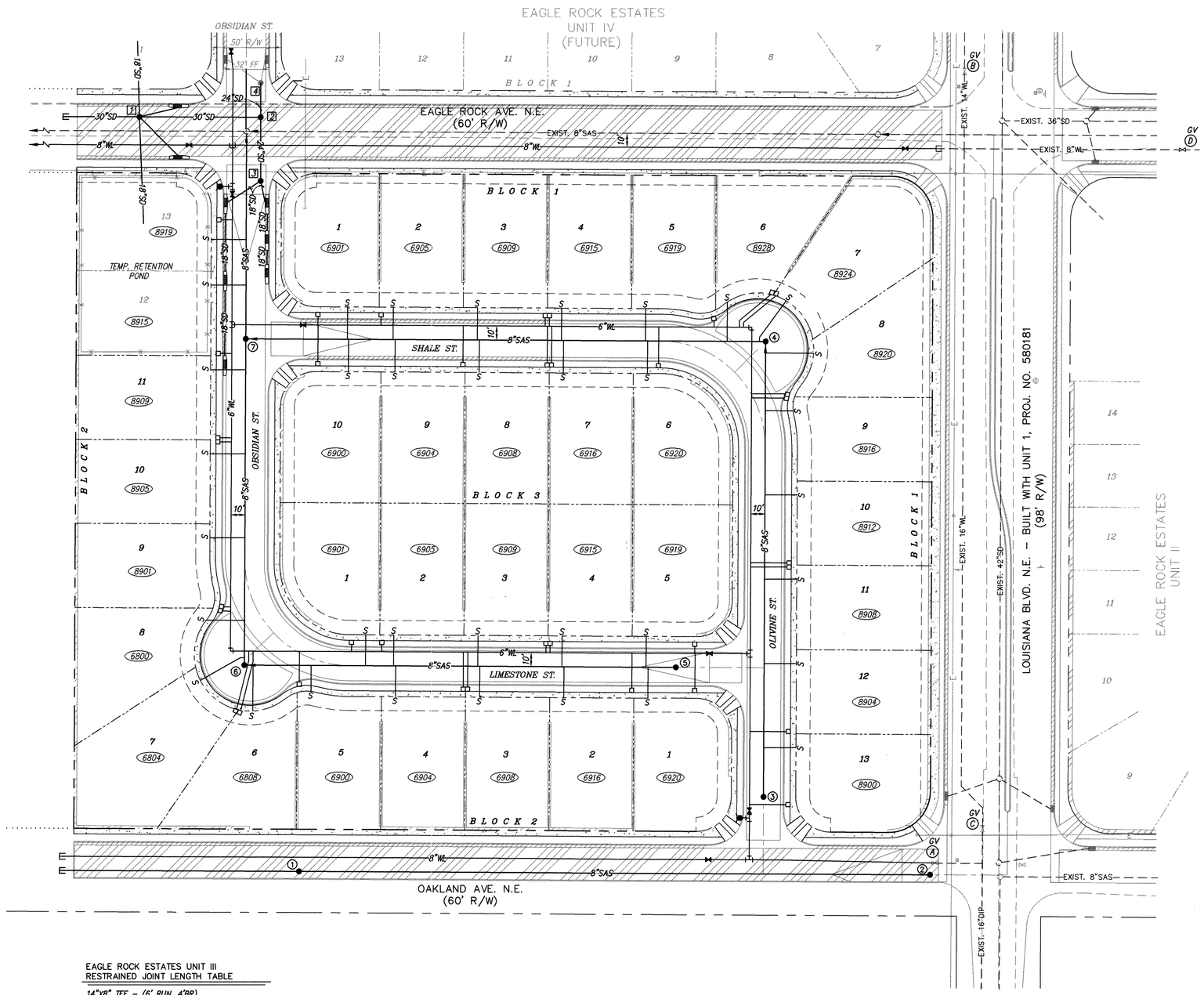
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: EAGLE ROCK ESTATES - UNIT III
PAVING IMPROVEMENTS
OAKLAND AVENUE

DESIGN REVIEW COMMITTEE — APPROVED APR 29 1998 — DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST DESIGN UPDATE — MO./DAY/YR. — MO./DAY/YR.

CITY PROJECT NO. 580183 | ZONE MAP NO. C-18 | SHEET 9 OF 19

SCANNED BY
MESA REPRO



EAGLE ROCK ESTATES UNIT III
RESTRAINED JOINT LENGTH TABLE

14"X8" TEE - (6' RUN, 4'BR)
8"X6" TEE - (5' RUN 17'BR) OR (7' RUN 5'BR)
6"X6" TEE - (6' RUN 4'BR) OR (10' RUN 2'BR)
8" DEAD END - 85'
14" DEAD END - 135'
16"X14" REDUCER - 35'
6" 90° BEND - 17'
16" 90° BEND - 18'

LEGEND

- PROPERTY LINE
- NEW STANDARD CURB & GUTTER
- NEW MOUNTABLE CURB & GUTTER
- NEW WHEEL CHAIR RAMP PER CITY STD. DWG. 2441 CASE II
- NEW STORM DRAIN MANHOLE
- NEW DROP INLET
- NEW 30" STORM DRAIN
- NEW 6" WATERLINE
- NEW FIRE HYDRANT
- NEW GATE VALVE
- NEW WATERLINE TEE
- NEW WATERLINE BEND
- NEW DOUBLE WATER SERVICE
- NEW SINGLE WATER SERVICE
- NEW 8" SANITARY SEWER
- NEW SANITARY SEWER MANHOLE NO. 1
- NEW SANITARY SEWER SERVICE
- STREET ADDRESS
- NEW OFFSITE PAVEMENT

NOTES

WATER SHUT-OFF PLAN (C-18, 19)

1. CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200, FIVE (5) DAYS PRIOR TO NECESSARY SHUT-OFF.
2. VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES.
3. A NON-PRESSURE CONNECTION TO THE EXISTING 8' WL STUBOUT WEST OF THE OAKLAND AVENUE/LOUISIANA BLVD. INTERSECTION WILL BE MADE AT GATE VALVE (A).
4. A NON-PRESSURE CONNECTION TO THE EXISTING 8" WL STUBOUT WEST OF EAGLE ROCK AVENUE/LOUISIANA BLVD. INTERSECTION WILL BE MADE BY SHUTTING OFF GV(B), GV(C) AND GV(D) AS DEPICTED ON THIS MASTER UTILITY PLAN.

NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

N

SCALE: 1" = 40'

7058UNI3\MUTIL-U3\04-16-98

AS BUILT INFORMATION
CONTRACTOR Franklin DATE
WORK STAKED BY JS Inc DATE
INSPECTOR'S ACCEPTANCE BY MGA DATE 4/99
FIELD VERIFICATION BY JS Inc DATE
DRAWINGS CORRECTED BY JS Inc DATE
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5305.00

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
DANE HOELZER NEW MEXICO 7867 REGISTERED PROFESSIONAL ENGINEER
4-20-98

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN		
DESIGNED BY	DLH	DATE 01/98
DRAWN BY	DBC, BLN	DATE 01/98
CHECKED BY	DMG	DATE 01/98

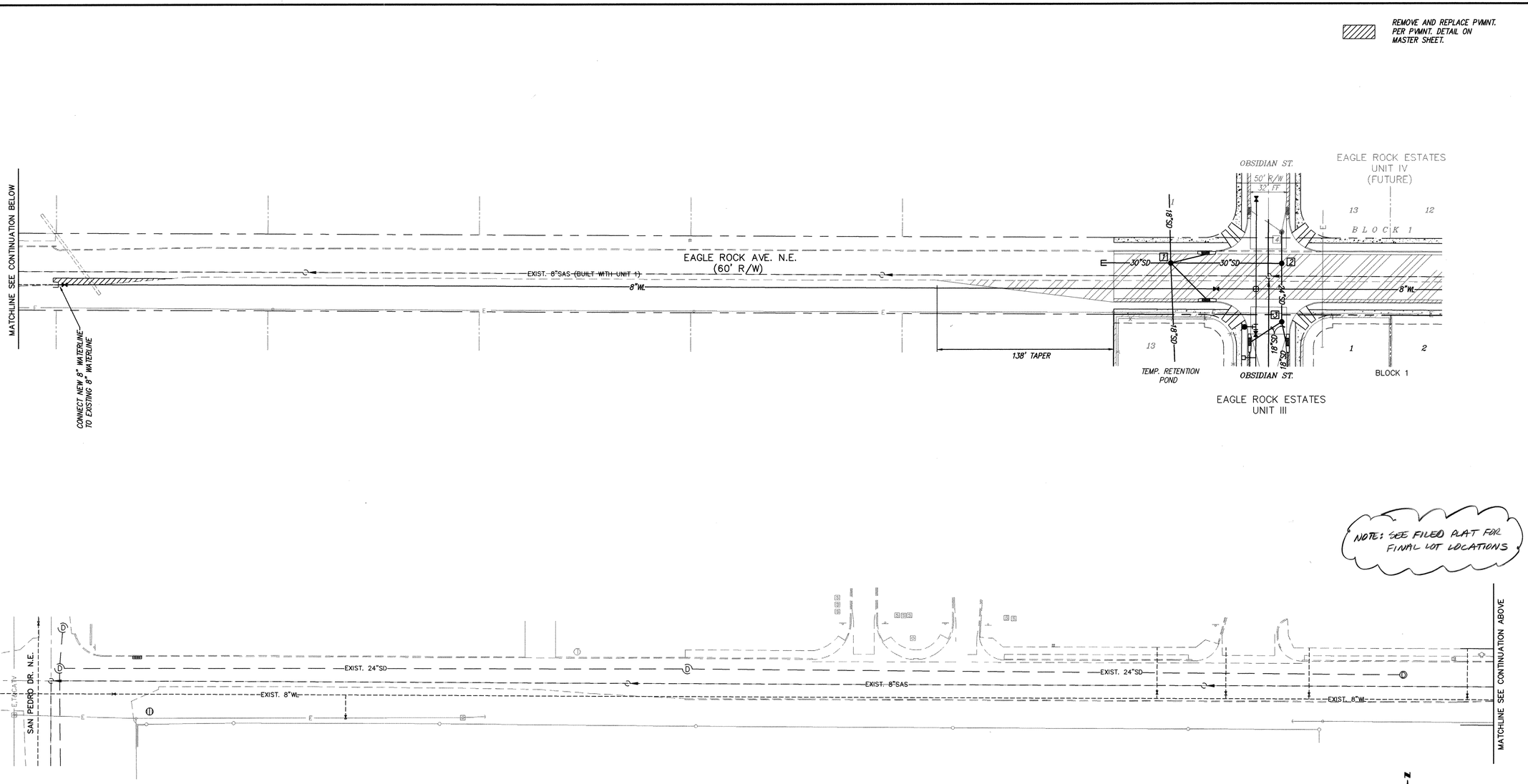
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE:
EAGLE ROCK ESTATES - UNIT III
MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE — APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST DESIGN UPDATE — MO./DAY/YR. — MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
580183	C-18	10	19



NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

SCANNED BY
MESA REPRO

NOTES

EAGLE ROCK ESTATES UNIT III
RESTRAINED JOINT LENGTH TABLE

14"X8" TEE – (6' RUN, 4'BR)
8"X6" TEE – (5' RUN 17'BR) OR (7' RUN 5'BR)
6"X6" TEE – (6' RUN 4'BR) OR (10' RUN 2'BR)
8" DEAD END – 85'
14" DEAD END – 135'
16"X14" REDUCER – 35'
6" 90° BEND – 17'
16" 90° BEND – 18'

7058UNI3\OFUTL-U3\04-15-98

AS BUILT INFORMATION
CONTRACTOR Franklin DATE 5/5/99
WORK STAKED BY JS, Inc DATE
INSPECTOR'S ACCEPTANCE BY DATE 4/99
FIELD VERIFICATION BY JS, Inc DATE
DRAWINGS CORRECTED BY JS, Inc DATE
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5305.00

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
DUANE HOELLER NEW MEXICO 10867 REGISTERED PROFESSIONAL ENGINEER
4-22-98

NO.	DATE	REMARKS	BY
		REVISIONS	

		DATE
DESIGNED BY	DLH	02/98
DRAWN BY	DBC, KJS	02/98
CHECKED BY	DMG	02/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

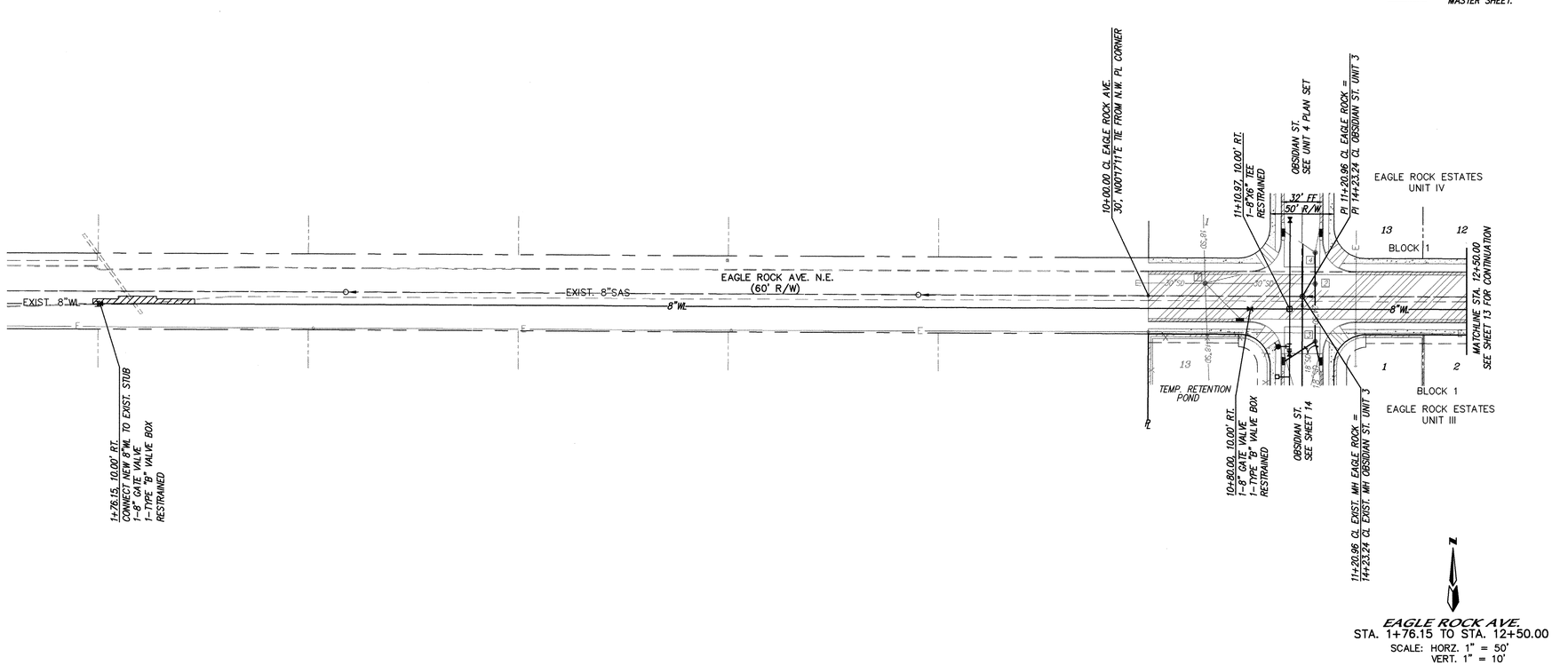
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE:
EAGLE ROCK ESTATES - UNIT III
OFF-SITE MASTER UTILITY PLAN

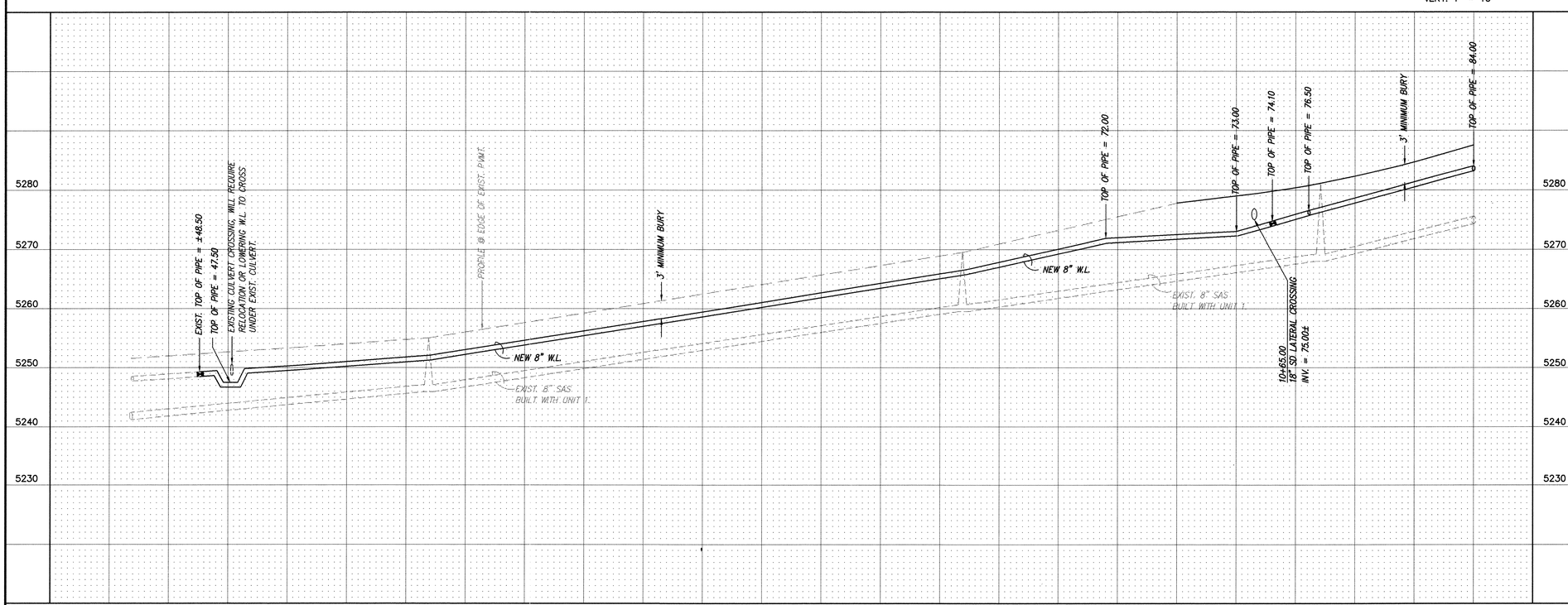
DESIGN REVIEW COMMITTEE — APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST DESIGN UPDATE — MO./DAY/YR. — MO./DAY/YR.

CITY PROJECT NO. 580183 | ZONE MAP NO. C-18 | SHEET 11 OF 19

SCANNED BY
MESA REPRO



EAGLE ROCK AVE.
STA. 1+76.15 TO STA. 12+50.00
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



7058UNI3\UP-EAGL1\04-16-98

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

AS BUILT INFORMATION		
CONTRACTOR	Vanderbilt	DATE 6/98
WORK STAKED BY	HS INC	DATE 4/98
INSPECTOR'S ACCEPTANCE BY	MGM	DATE
FIELD VERIFICATION BY	HS INC	DATE 04
DRAWINGS CORRECTED BY	HS INC	DATE 3/00
MICRO-FILM INFORMATION		
RECORDED BY		DATE
NO.		

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5,305.00

ENGINEER'S SEAL

DANE HOELLER NEW MEXICO 15967 REGISTERED PROFESSIONAL ENGINEER
4-29-98

NO.	DATE	REMARKS	BY
REVISIONS			

DESIGN		
DESIGNED BY	DLH	DATE 02/98
DRAWN BY	DBC, BLN, KJS	DATE 02/98
CHECKED BY	DMG	DATE 02/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: *EAGLE ROCK ESTATES - UNIT III*
UTILITY IMPROVEMENTS
EAGLE ROCK AVENUE

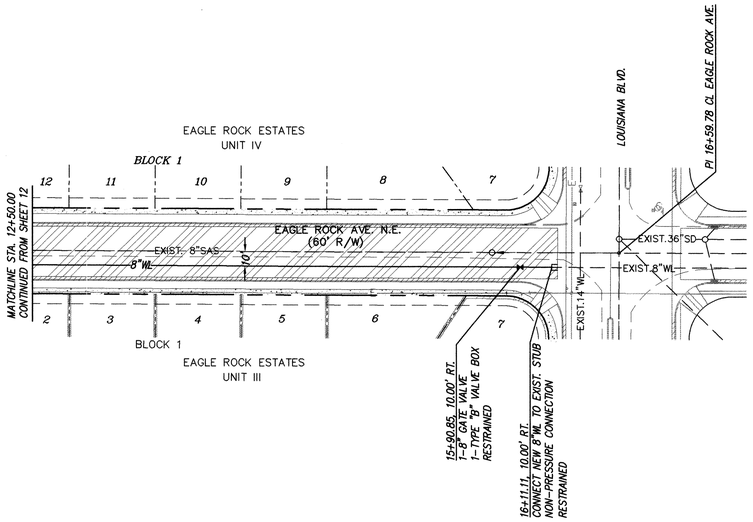
DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

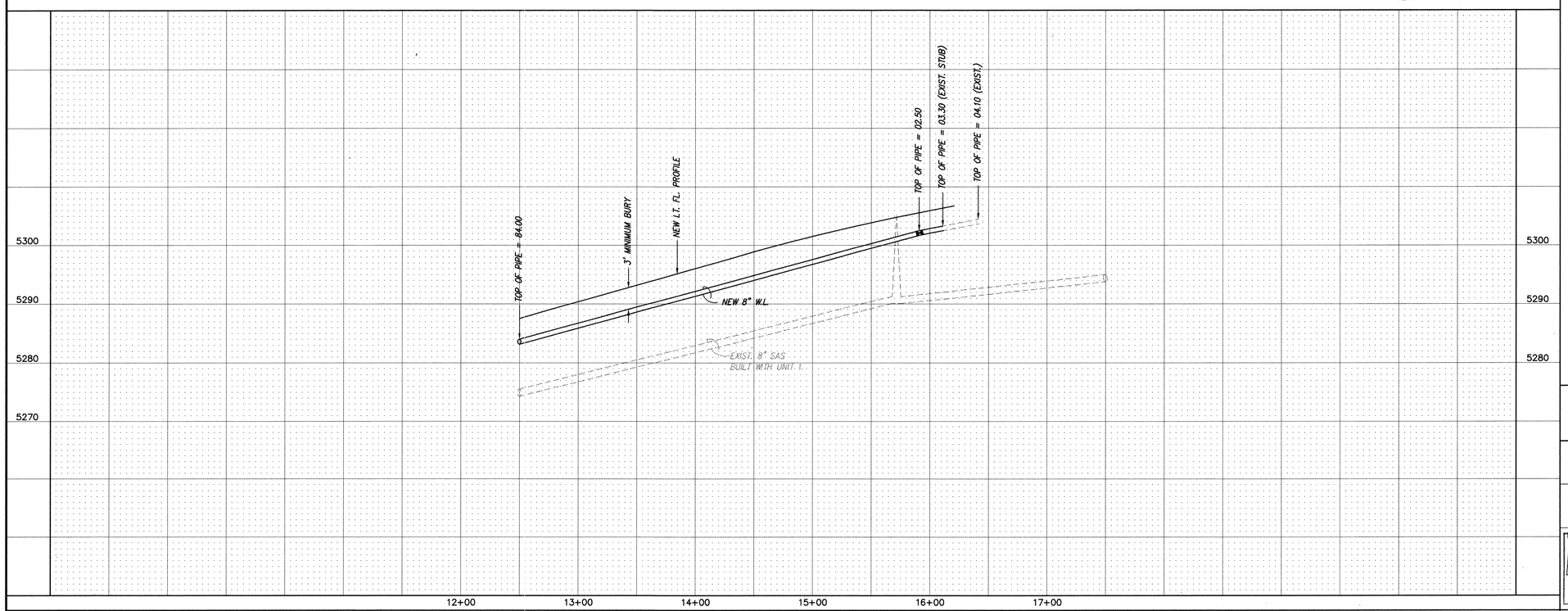
LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
580183	C-18	12	19

SCANNED BY
MESA REPRO



EAGLE ROCK AVE. CONTINUATION
STA. 12+50.00 TO STA. 16+59.78
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

NOTE:
SEE FILED PLAT FOR
FINAL LOT LOCATIONS

AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY
INSPECTOR'S ACCEPTANCE BY
FIELD VERIFICATION BY
DRAWINGS CORRECTED BY
MICRO-FILM INFORMATION
RECORDED BY
NO.
DATE

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5,305.00

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
DANA HOELZER
NEW MEXICO
15967
REGISTERED PROFESSIONAL ENGINEER
4-20-98

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN		
DESIGNED BY	DLH	02/98
DRAWN BY	DBC, BLN, KJS	02/98
CHECKED BY	DMG	02/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

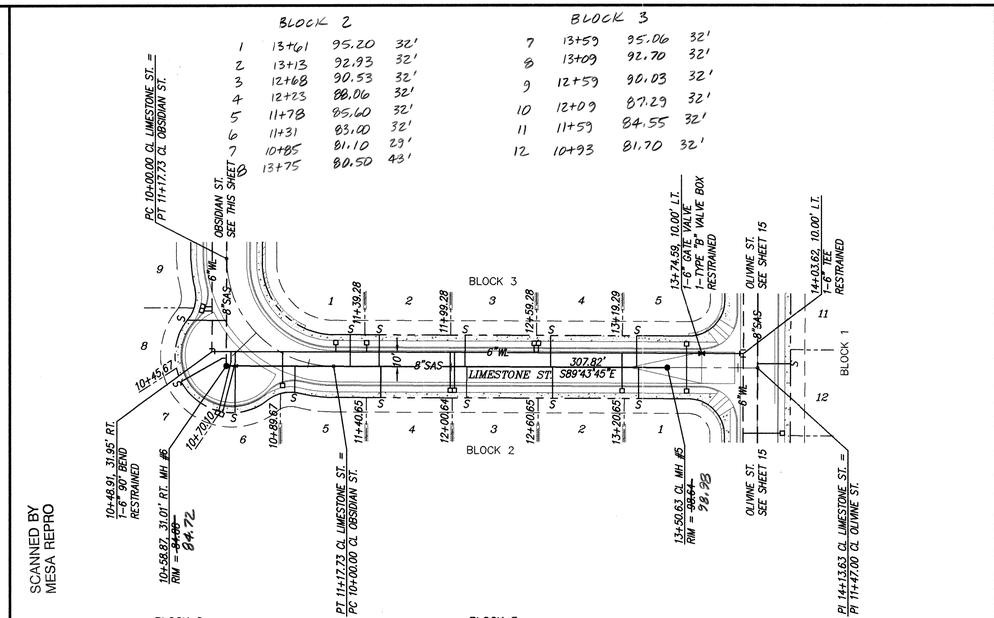
TITLE: EAGLE ROCK ESTATES - UNIT III
UTILITY IMPROVEMENTS
EAGLE ROCK AVENUE CONTINUATION

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
580183	C-18	13	19

7058UNI3\UP-EAGL2\04-16-98

SCANNED BY
MESA REPRO



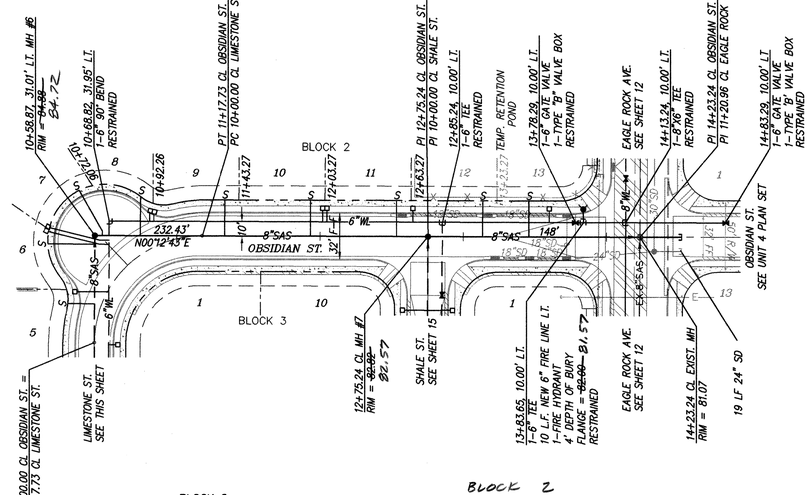
BLOCK 2
SANITARY SEWER SERVICES

LOT	STA.	INV. ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
1	13+30.5	93.94	22.00'	N\A
2	12+70.5	90.82	22.00'	N\A
3	12+10.5	87.53	22.00'	N\A
4	11+50.5	84.21	22.00'	N\A
5	10+96.5	81.68	18.53'	N\A
6	10+75.5	80.95	32.70'	N\A
7	10+50.5	80.26	32.70'	N\A
8	10+29.0	79.83	27.39'	N\A

BLOCK 3
SANITARY SEWER SERVICES

LOT	STA.	INV. ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
1	11+29.0	89.11	22.00'	N\A
2	11+49.0	84.11	22.00'	N\A
3	12+09.0	87.44	22.00	N\A
4	12+69.0	90.73	22.00'	N\A
5	13+29.0	93.87	22.00'	N\A

LIMESTONE STREET
STA. 10+00.00 TO STA. 14+13.63
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



BLOCK 2
SANITARY SEWER SERVICES

LOT	STA.	INV. ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
5	10+27.0	81.71	18.53'	N\A
6	10+42.5	80.95	32.70'	N\A
7	10+66.5	80.29	32.70'	N\A
8	10+88.5	79.84	27.39'	N\A
9	11+33.0	79.35	25.00'	N\A
10	11+93.5	78.99	25.00'	N\A
11	12+53.5	78.63	25.00'	N\A
12	13+13.5	78.21	25.00'	N\A
13	13+46.0	77.75	25.00'	N\A

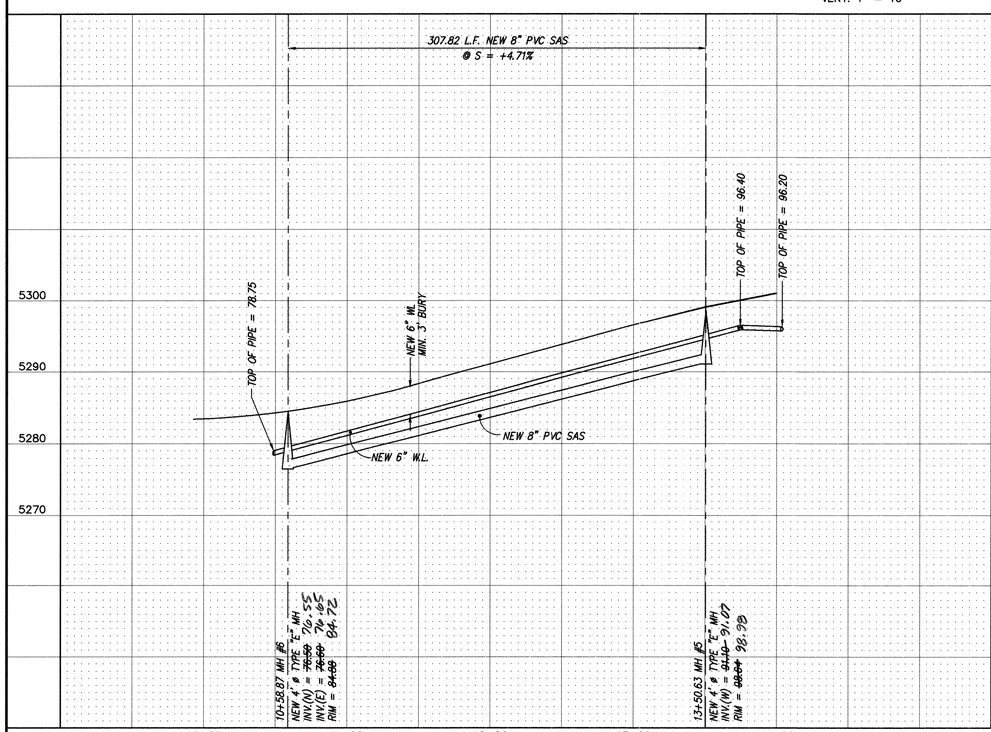
BLOCK 2

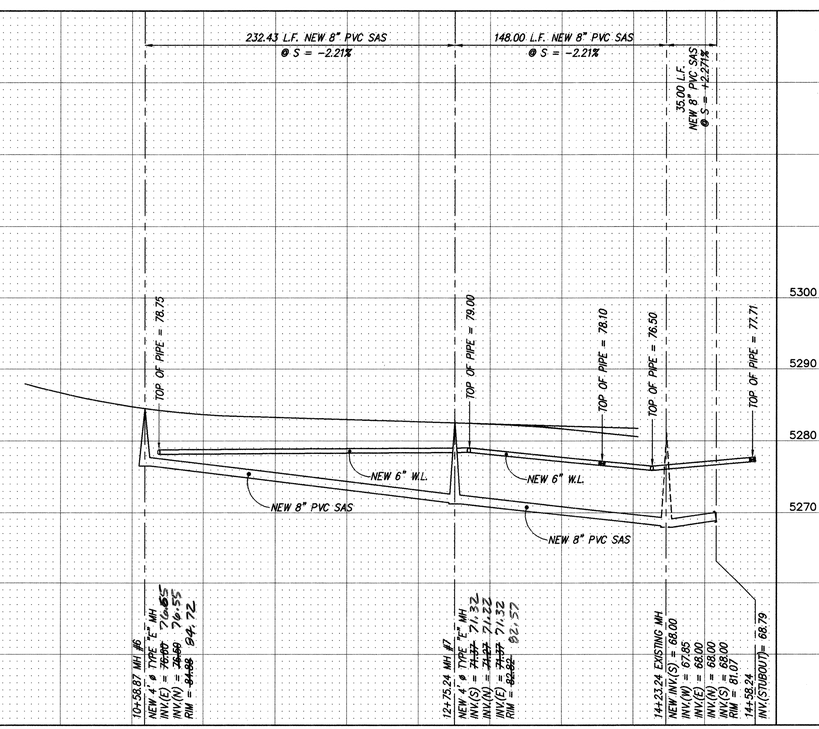
9	10+57	80.25	42'
10	10+39	79.95	46'
11	10+90	79.40	32'
12	11+35	79.04	35'
13	11+80	78.75	35'
14	12+25	78.50	35'
15	12+70	78.33	35'
16	13+15	75.97	35'
17	13+58	75.15	35'

OBSIDIAN STREET
STA. 10+00.00 TO STA. 14+23.24
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.





NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

AS BUILT INFORMATION
CONTRACTOR Yankee Line DATE
WORK STAKED BY Yankee Line DATE
INSPECTOR'S ACCEPTANCE BY MGA DATE 4/29
FIELD VERIFICATION BY JS DATE
DRAWINGS CORRECTED BY JS DATE
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5305.00

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
DUANE HOELZER NEW MEXICO 15987 REGISTERED PROFESSIONAL ENGINEER
4-20-98

NO.	DATE	REMARKS	BY
		REVISIONS	

		DATE
DESIGNED BY	DLH	02/98
DRAWN BY	DBC, BLN, FSM, KJS	02/98
CHECKED BY	DMG	02/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

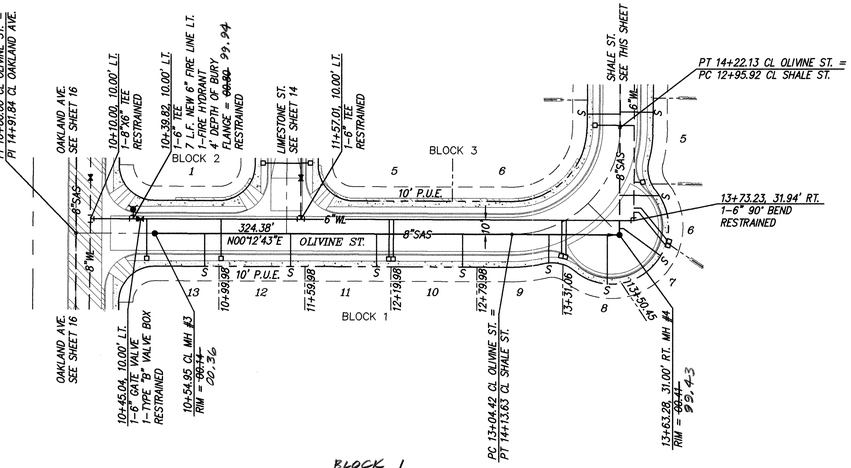
TITLE: *EAGLE ROCK ESTATES - UNIT III*
UTILITY IMPROVEMENTS
LIMESTONE STREET AND OBSIDIAN STREET

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST DESIGN UPDATE MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. 580183 | ZONE MAP NO. C-18 | SHEET 14 OF 19

7058UNI3\UP-LIME\04-17-98 fsm

SCANNED BY
MESA REPRO



SANITARY SEWER SERVICES
BLOCK 1

LOT	STA.	INV. ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
6	13+80.00	5294.22	27.81'	N/A
7	13+65.50	5294.74	35.05'	N/A
8	13+59.00	5294.94	34.25'	N/A
9	13+29.00	5295.63	19.86'	N/A
10	12+70.00	5296.16	23.00'	N/A
11	12+47.00	5296.61	23.00'	N/A
12	11+50.00	5297.03	23.00'	N/A
13	10+90.00	5296.65	23.00'	N/A

BLOCK 1

10	13+78	97.20	44'
11	13+34	95.50	30'
12	12+87	96.28	33'
13	12+43	96.61	33'
14	11+98	96.65	33'
15	11+53	97.27	33'
16	11+08	97.29	33'
17	10+55	96.70	33'

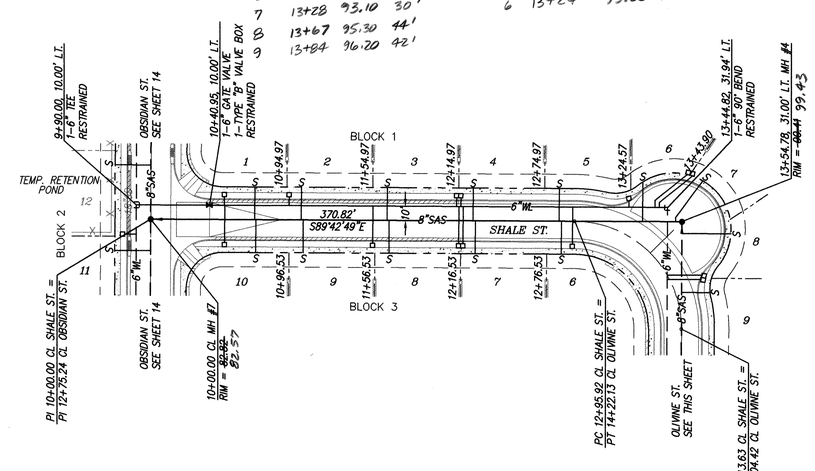
OLIVINE STREET
STA. 10+00.00 TO STA. 14+22.13
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

BLOCK 1

1	10+55	80.05	33'
2	11+02	82.40	33'
3	11+47	84.65	33'
4	11+92	86.90	33'
5	12+37	89.15	33'
6	12+82	91.40	33'
7	13+28	93.10	30'
8	13+67	95.30	44'
9	13+84	96.20	42'

BLOCK 3

1	10+56	80.18	33'
2	11+06	82.60	33'
3	11+56	85.10	33'
4	12+06	87.60	33'
5	12+56	90.10	33'
6	13+24	93.00	36'



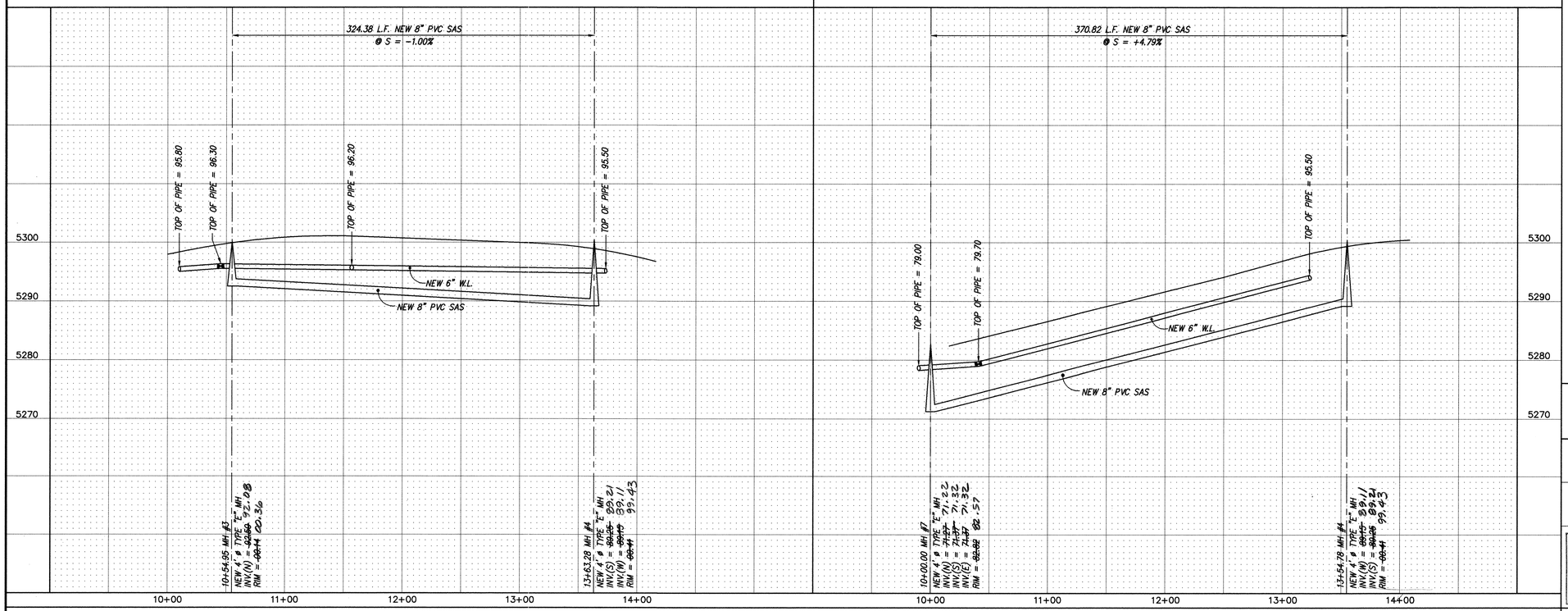
SANITARY SEWER SERVICES
BLOCK 1

LOT	STA.	INV. ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
1	10+72.50	5281.10	23.00'	N/A
2	11+05.00	5282.73	23.00'	N/A
3	11+65.00	5285.72	23.00'	N/A
4	12+25.00	5288.72	23.00'	N/A
5	12+86.50	5291.95	23.00'	N/A
6	13+38.00	5294.65	23.00'	N/A
7	13+52.50	5295.21	35.05'	N/A
8	13+59.00	5295.43	34.25'	N/A
9	13+89.00	5296.17	19.86'	N/A

SANITARY SEWER SERVICES
BLOCK 3

LOT	STA.	INV. ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
6	12+86.50	5291.95	23.00'	N/A
7	12+26.50	5288.79	23.00'	N/A
8	11+66.50	5285.80	23.00'	N/A
9	11+06.50	5282.80	23.00'	N/A
10	10+73.50	5281.54	23.00'	N/A

SHALE STREET
STA. 10+00.00 TO STA. 14+13.63
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



7058UNI3\UP-SHALE\04-17-98

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

AS BUILT INFORMATION
CONTRACTOR Franklin
WORK STAKED BY LIS, Inc DATE 8/98
INSPECTOR'S ACCEPTANCE BY LIS, Inc DATE 6/99
FIELD VERIFICATION BY LIS, Inc DATE 09
DRAWINGS CORRECTED BY LIS, Inc DATE 5/99
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523817.39
Z = 5305.00

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
DUANE HOELZER
NEW MEXICO
15867
REGISTERED PROFESSIONAL ENGINEER
4-20-98

NO.	DATE	REMARKS	BY

REVISIONS

		DATE
DESIGNED BY	DLH	02/98
DRAWN BY	DBC, KJS	02/98
CHECKED BY	DMG	02/98

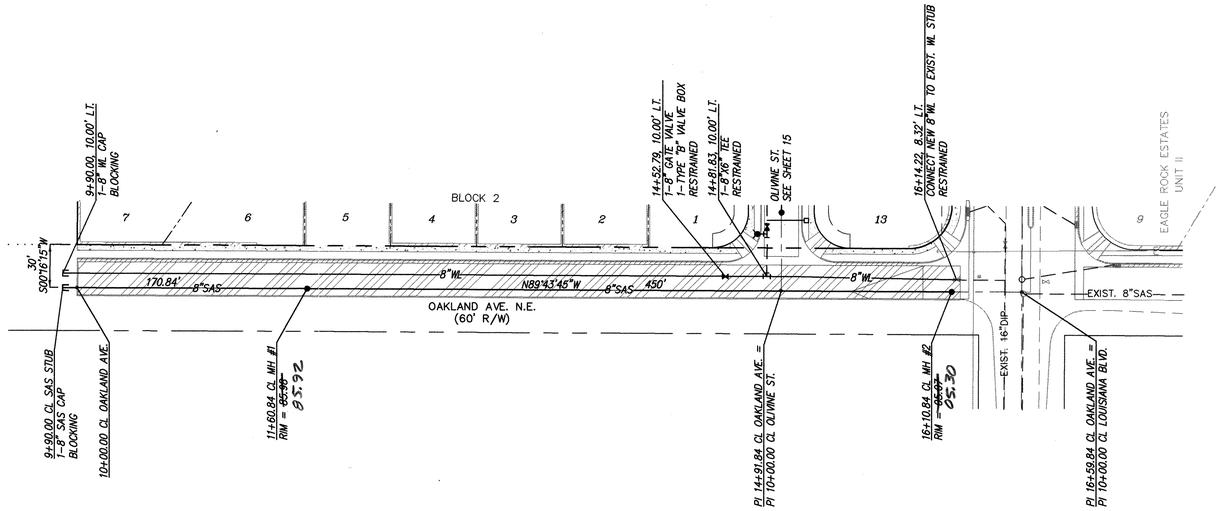
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

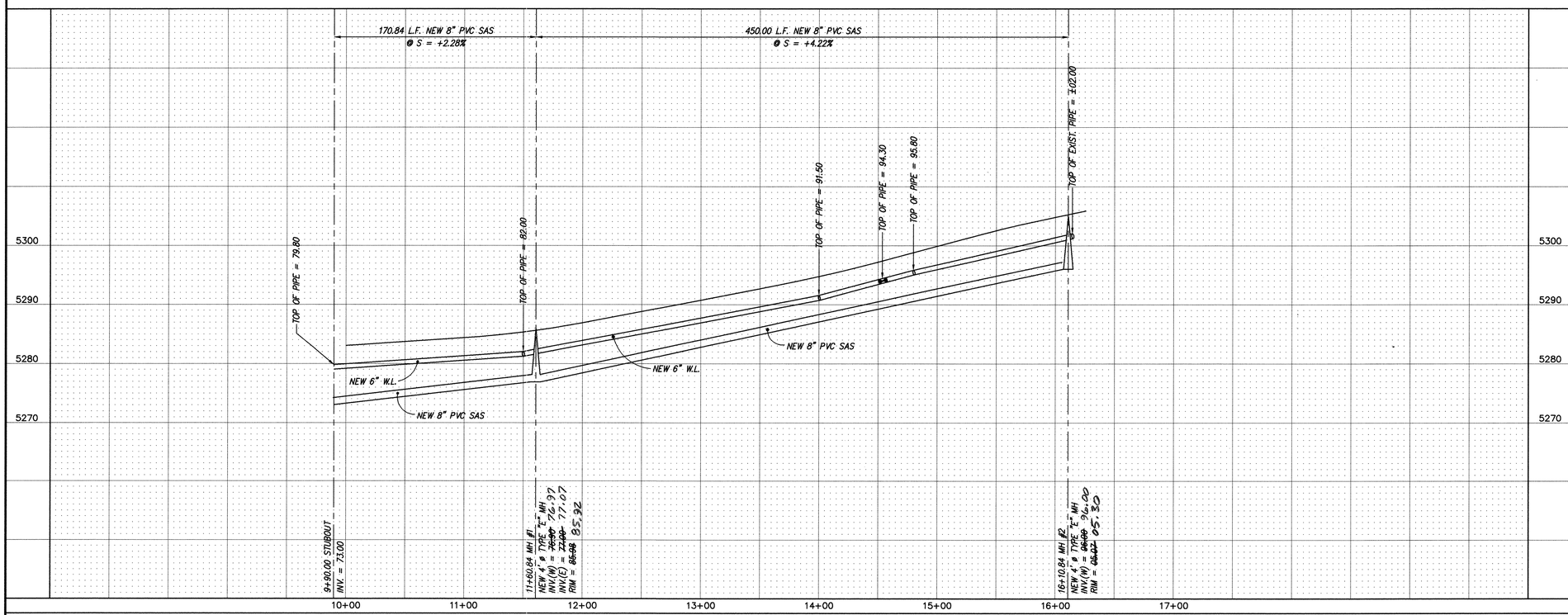
TITLE: EAGLE ROCK ESTATES - UNIT III
UTILITY IMPROVEMENTS
OLIVINE STREET AND SHALE STREET

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO. 580183 | ZONE MAP NO. C-18 | SHEET 15 OF 19



OAKLAND AVE.
STA. 9+90.00 TO STA. 16+59.84
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

NO.	DATE	REMARKS	BY

REVISIONS

DESIGNED BY	DLH	DATE 02/98
DRAWN BY	DBC, BLN	DATE 02/98
CHECKED BY	DMG	DATE 02/98

ENGINEER'S SEAL

DANE HOELZER NEW MEXICO 15867 REGISTERED PROFESSIONAL ENGINEER 02/09/98

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

BENCH MARKS

STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5305.00

AS BUILT INFORMATION

CONTRACTOR	Von Kubo CB Inc	DATE 6/98
WORK STAKED BY		DATE
INSPECTOR'S ACCEPTANCE BY	MIGA	DATE 4/99
FIELD VERIFICATION BY	JS Inc	DATE CA
DRAWINGS CORRECTED BY	JS Inc	DATE 2/99

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: EAGLE ROCK ESTATES - UNIT III
UTILITY IMPROVEMENTS
OAKLAND AVENUE

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

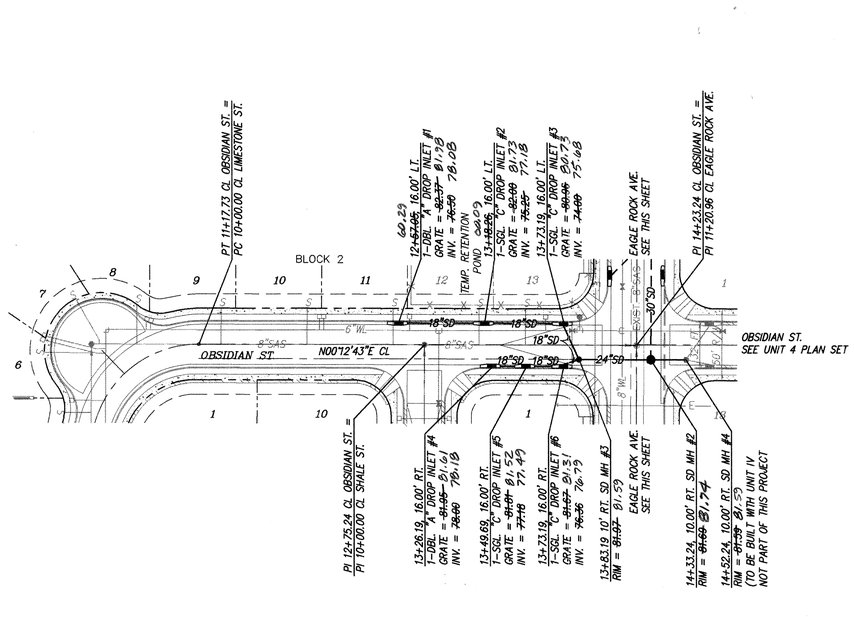
LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
580183	C-18	16	19

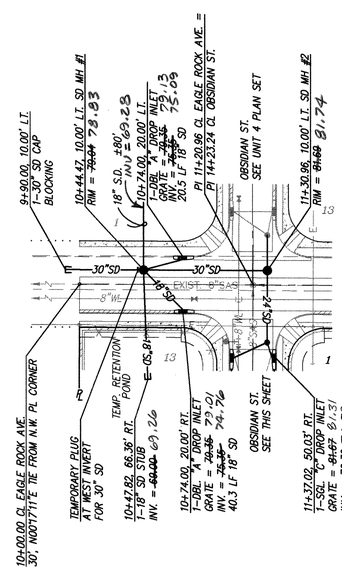
7058UNI3\UP-OAKLD\02-09-98

SCANNED BY
MESA REPRO

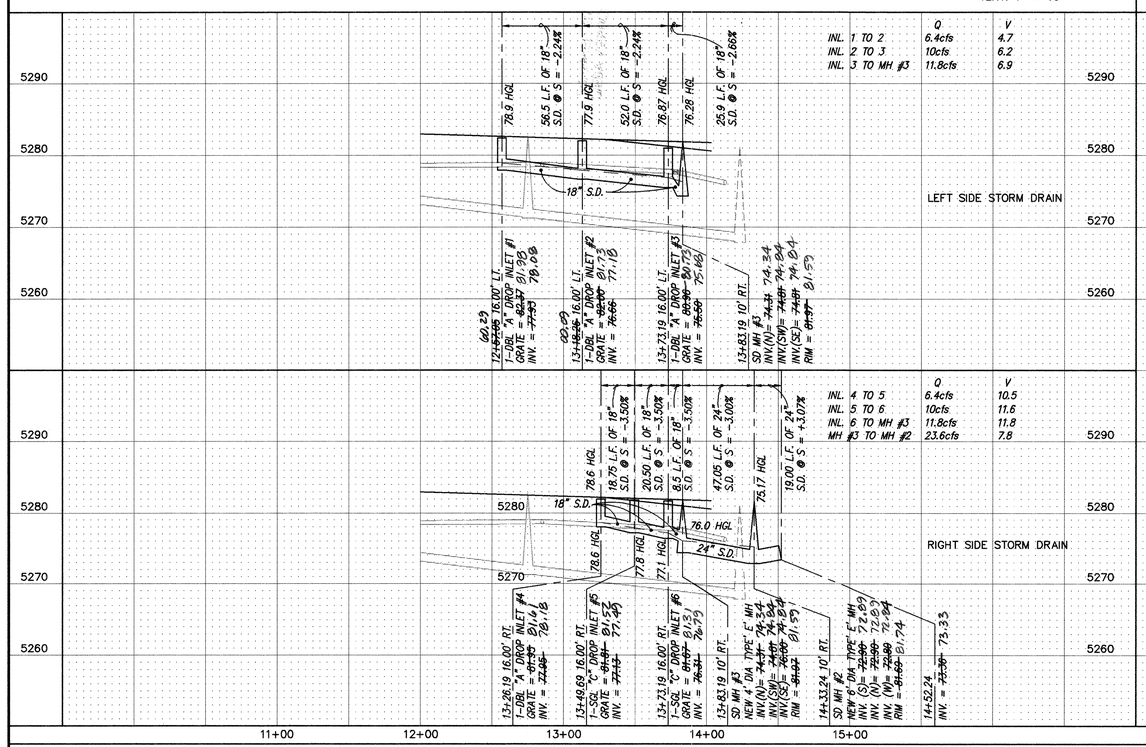
SCANNED BY
MESA REPRO

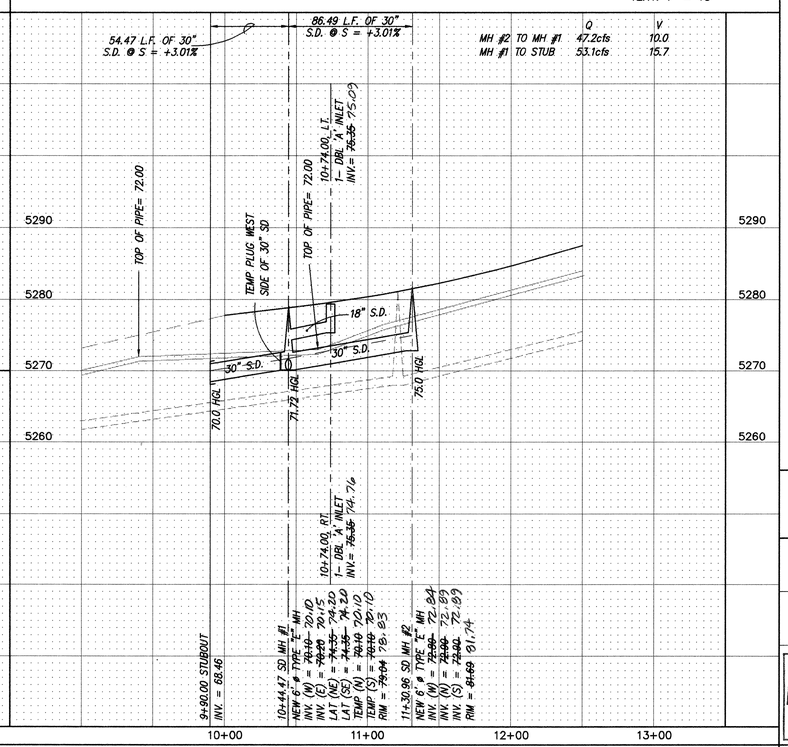


OBSIDIAN STREET
STA. 11+17.73 TO STA. 14+33.24
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



EAGLE ROCK AVE.
STA. 9+90.00 TO STA. 11+37.02
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'





NOTE: SEE FILED PLAT FOR FINAL LOT LOCATIONS

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

AS BUILT INFORMATION

CONTRACTOR		DATE
WORK STAKED BY		DATE
ACCEPTANCE BY		DATE
FIELD VERIFICATION BY		DATE
DRAWINGS CORRECTED BY		DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

STANDARD ACS ALUMINUM CAP STAMPED "11-C18"
X = 404,894.49
Y = 1,523837.39
Z = 5305.00

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

NEW MEXICO REGISTERED PROFESSIONAL ENGINEER DONALD L. HOLT 12-2-98

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN		
DESIGNED BY	DLH	DATE 02/98
DRAWN BY	DBC, BLN	DATE 02/98
CHECKED BY	DMG	DATE 02/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: EAGLE ROCK ESTATES - UNIT III
STORM DRAIN IMPROVEMENTS
OBSIDIAN STREET AND EAGLE ROCK AVE.

DESIGN REVIEW COMMITTEE: APPROVED APR 29 1998 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
580183	C-18	17	19

7058UNI3\PP-STORM\04-17-98

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.

2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.

3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.

4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.

5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.

6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.

8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.

9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.

10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.

SCANNED BY MESA REPRO

11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24HOUR PER DAY BASIS UNTIL COMPLETED. △1

12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.

13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELLED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.

15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.

16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.

17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.

18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

19. △2 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.

20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.

22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
   1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
   2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
   3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.

23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.

24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.

25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

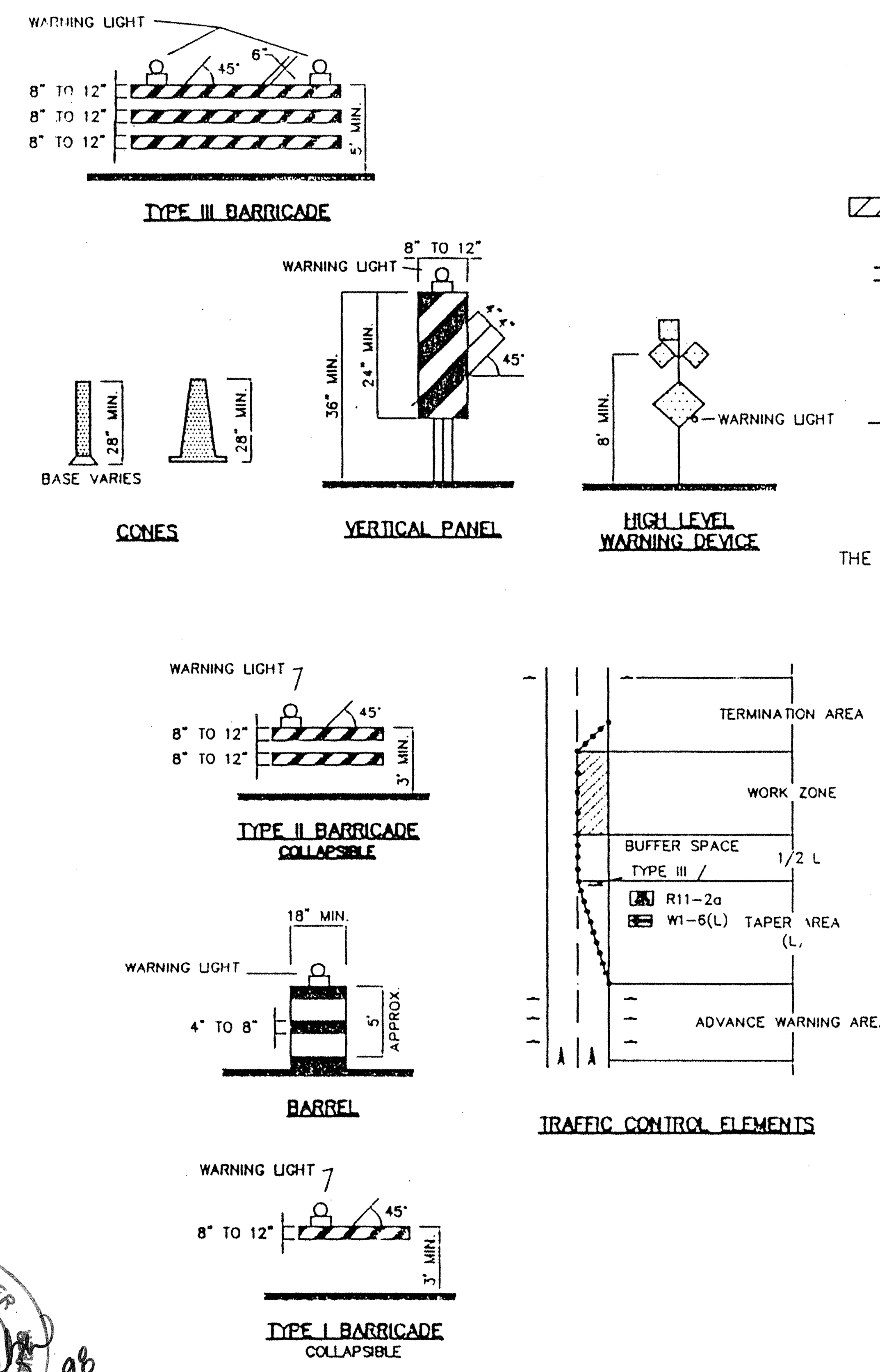
26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGTH AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D. △3

27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY. △4

TRAFFIC CONTROL PLAN FOR EAGLE ROCK AVENUE CLOSURE,
for street paving and installation of water and storm drain.

1. ***On Eagle Rock Avenue west of Louisiana Blvd. use a typical Road Closed Barrier(R11-2) and special access signs for the "C.O.A. Convenience Center" at Eagle Rock directing traffic to go south on Louisiana Blvd., west on Alameda Blvd. And north on San Pedro Avenue.***
2. ***On Eagle Rock Avenue east of San Pedro Avenue, use a typical Road Closed to Thru Traffic barrier will still maintaining access for the recycling trucks.***

DIANE HOELZER NEW MEXICO 11967 REGISTERED PROFESSIONAL ENGINEER
4-20-98



LEGEND

- (hatched) WORK AREA
- • BARRICADE – TYPE I, TYPE II, OR BARREL
- ⊣ BARRICADE – TYPE III
- X VERTICAL PANEL
- WARNING SIGN
- D DISTANCE BETWEEN SIGNS – A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
- FLAGMAN POSITION
- S SPACING BETWEEN BARRICADES– A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET
- L TAPER LENGTH – SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENTS

SPEED LIMIT (MPH)	TAPER LENGTH (L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED MILES PER HOUR	MINIMUM DISTANCE IN FEET BETWEEN SIGNS	MINIMUM DISTANCE IN FEET FROM LAST SIGN TO TAPER
0–20	10 X SPEED LIMIT	10 X SPEED LIMIT
25–30	10 X SPEED LIMIT	10 X SPEED LIMIT
30–35	10 X SPEED LIMIT	10 X SPEED LIMIT
40–45	10 X SPEED LIMIT	10 X SPEED LIMIT
50–60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

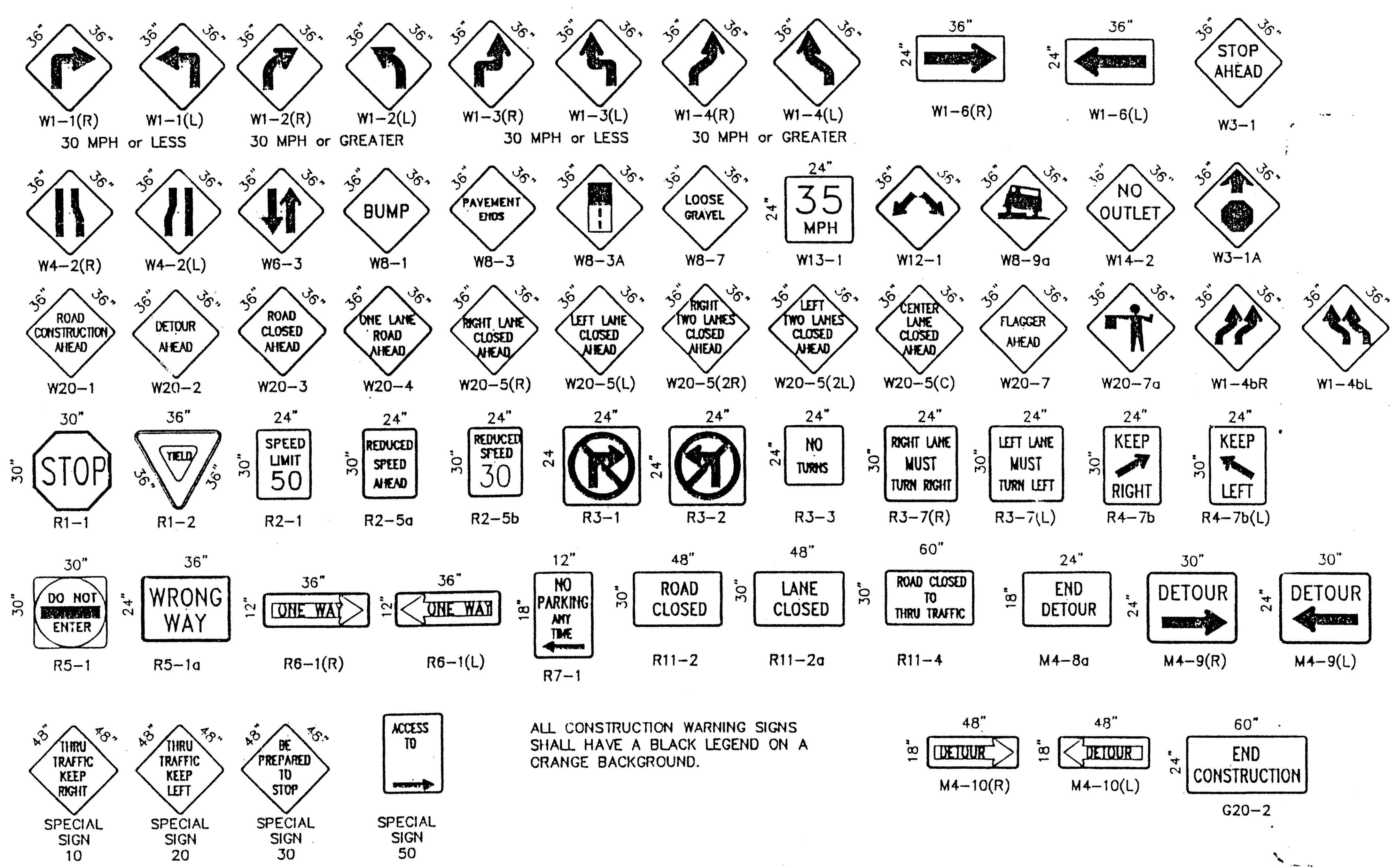
TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	
40 MPH OR LESS	$L = \frac{WS^2}{60}$
45 MPH OR GREATER	$L = W \times S$

L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

AS BUILT INFORMATION		
CONTRACTOR	Franklins	DATE
WORK STAKED BY	AIS, Inc	DATE 98/99
INSPECTOR'S ACCEPTANCE BY		DATE
FIELD VERIFICATION BY	AIS, Inc	DATE 99
DRAWINGS CORRECTED BY	AIS, Inc	DATE 2/99
MICRO-FILM INFORMATION		
RECORDED BY		DATE
NO.		

BENCH MARKS

SURVEY INFORMATION — FIELD NOTES: NO. | BY | DATE

ENGINEER'S SEAL — RICARDO R. ROYBAL NEW MEXICO 9915 REGISTERED PROFESSIONAL ENGINEER 1/30/95

NO.	DATE	REMARKS	BY
△4	9/25/97	ADD NOTE NO. 27	J.D.L
△3	9/24/97	REVISED NOTE NO. 26	J.D.L.
△2	9/24/97	REVISED NOTE NO. 19	J.D.L.
△1	9/24/97	REVISED NOTE NO. 11	J.D.L.

REVISIONS

DESIGN		
DESIGNED BY		DATE
DRAWN BY	C.O.A. STANDARDS	DATE
CHECKED BY		DATE

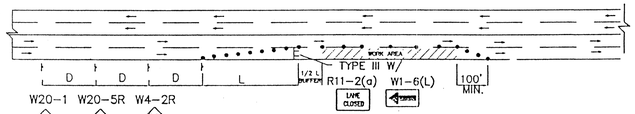
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE:
SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS

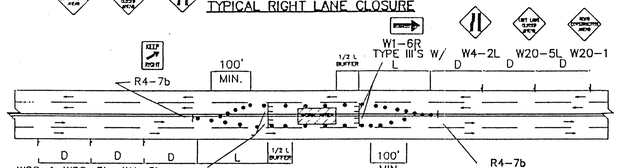
DESIGN REVIEW COMMITEE: APPROVED APR 1993 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
LAST UPDATE — MO./DAY/YR — MO./DAY/YR

PROJECT NO. 580183 | MAP NO. C-18 | SHEET 18 OF 19

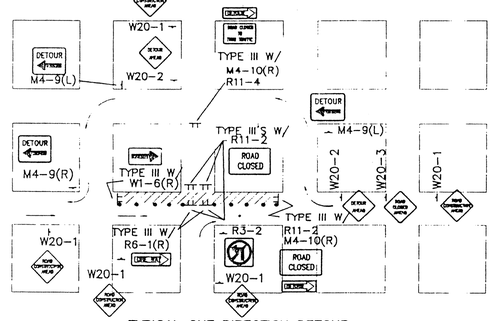
CTCSTND1.DWG



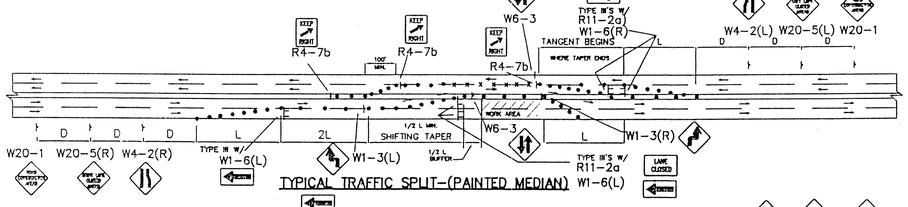
TYPICAL RIGHT LANE CLOSURE



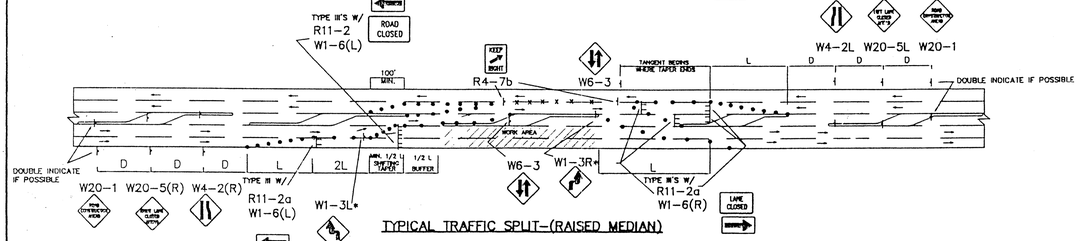
TYPICAL LEFT LANE CLOSURE



TYPICAL ONE DIRECTION DETOUR



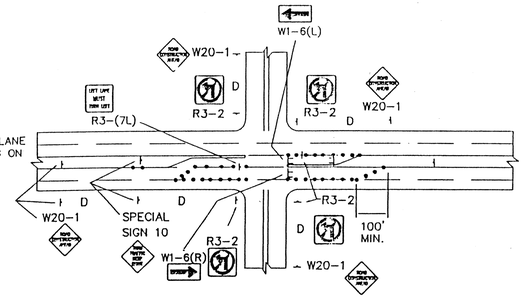
TYPICAL TRAFFIC SPLIT-(PAINTED MEDIAN)



TYPICAL TRAFFIC SPLIT-(RAISED MEDIAN)

TRAFFIC SPLIT NOTES:

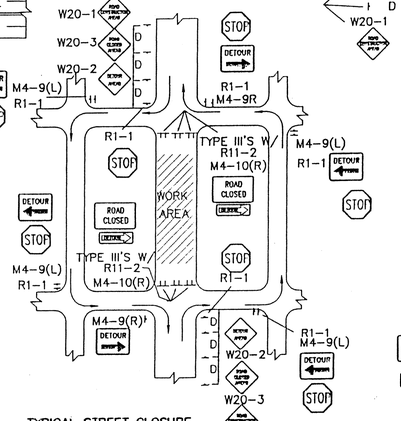
1. THE OFFSET DISTANCE MUST BE CALCULATED IN ALL SHIFTING TAPERS. THE OFFSET DISTANCES SHALL INCLUDE LANE WIDTHS PLUS MEDIAN WIDTHS.
2. 1/2 L IS MINIMUM DISTANCE FOR SHIFTING TAPERS.
3. REVERSE CURVES MAY BE IMPLEMENTED. ALL CURVE DATA SHALL BE CALCULATED.
4. MEDIAN REMOVAL SHALL BE REQUIRED IF 1/2 L OR REVERSE CURVE IS NOT SUFFICIENT. MEDIAN REMOVAL SHALL TAKE PLACE BEFORE SPLITS.
5. REDUCED SPEED MAY BE CONSIDERED.
6. * USE W1-3 FOR 30 MPH OR LESS, W1-4 FOR SPEED 35 MPH OR GREATER.



NOTE:
MAY REQUIRE LEFT LANE CLOSURE DEPENDING ON FIELD CONDITIONS.

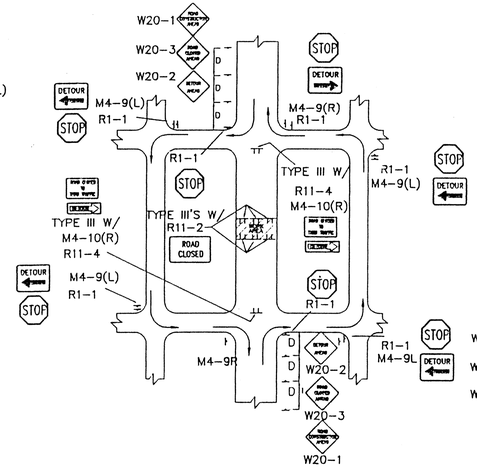
TYPICAL LANE CLOSURE AT INTERSECTION

NOTE: DEPENDING ON WORK ZONE LOCATION



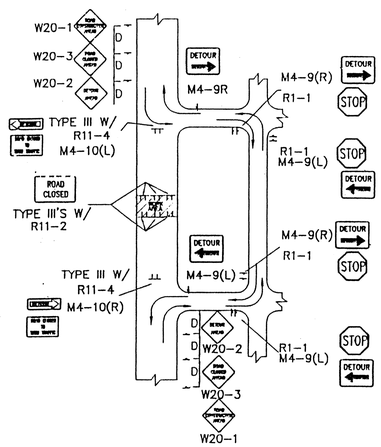
TYPICAL STREET CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.



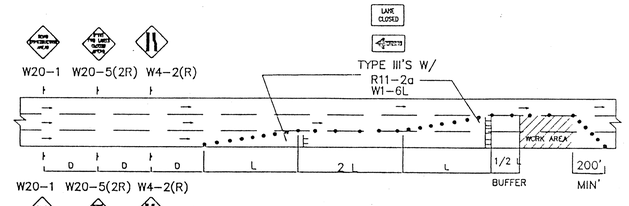
TYPICAL MID-BLOCK CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.

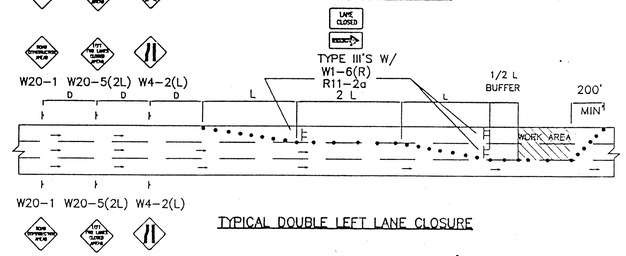


TYPICAL STREET CLOSURE

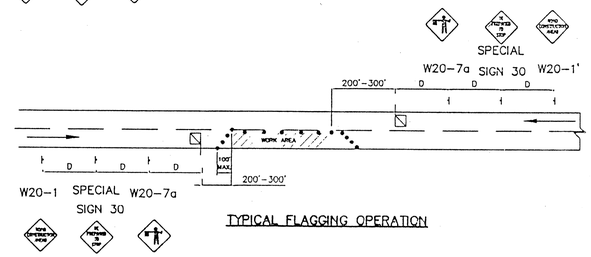
NOTE: (R1-1) BASED ON FIELD CONDITIONS.



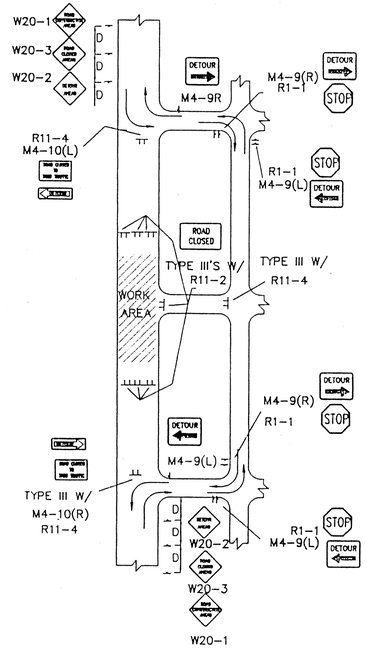
TYPICAL DOUBLE RIGHT LANE CLOSURE



TYPICAL DOUBLE LEFT LANE CLOSURE

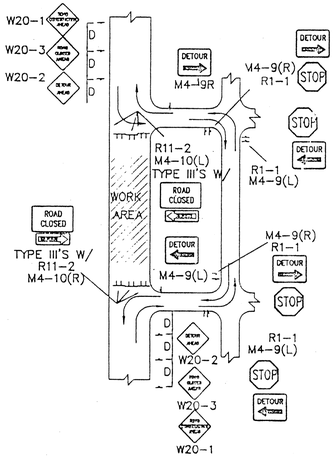


TYPICAL FLAGGING OPERATION



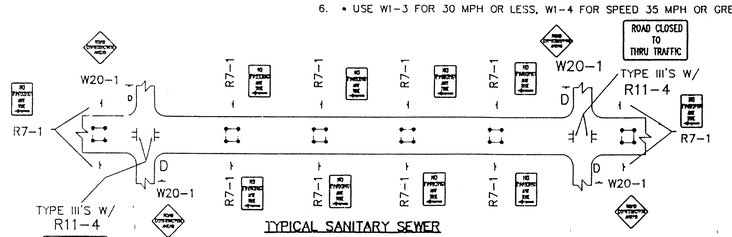
TYPICAL STREET CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.



TYPICAL STREET CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.



TYPICAL SANITARY SEWER SUPLINING OPERATION

- ALL PITS TO HAVE TYPE-A FLASHING LIGHTS.
- ALL PITS TO HAVE FLAGLINE.

GENERAL NOTE:

ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

ALL ADVANCE WARNING SIGNS SHALL BE A MINIMUM OF 36" THIRTY SIX INCHES BY 36" THIRTY SIX INCHES IN SIZE AND SHALL HAVE ONE WARNING LIGHT. ⚠

SCANNED BY MESA REPRO

CTCSTN02.DWG

AS BUILT INFORMATION
CONTRACTOR Transwuns DATE 8/99
WORK STAKED BY CJS, INC DATE 8/99
INSPECTOR'S ACCEPTANCE BY
FIELD VERIFICATION BY CJS, INC DATE 9/99
DRAWINGS CORRECTED BY CJS, INC DATE 9/99
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL

NO.	DATE	REVISED GENERAL NOTE	J.D.L.
1	9/24/99	REMARKS	BY

REVISIONS

DESIGN
DESIGNED BY C.O.A. STANDARDS DATE
DRAWN BY DATE
CHECKED BY DATE

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF. M.U.T.C.D.)

DESIGN REVIEW COMMITEE | CITY ENGINEER APPROVAL

COA Standard

LAST UPDATE MO./DAY/YR MO./DAY/YR

PROJECT NO. 580183 | MAP NO. C-18 | SHEET 19 OF 19