

26-5830.83-2012

SCANNED BY
PLANNING

CONSTRUCTION PLANS FOR LOTS 3A, 4A AND 4B JEFFERSON COMMONS II PUBLIC WATER AND SEWER IMPROVEMENTS

ALBUQUERQUE, NEW MEXICO

MAY, 2011

INDEX TO DRAWINGS

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6.	CONSTRUCTION DETAILS
7.	CONSTRUCTION DETAILS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Steven K. Morrow, of the firm Brasher and Lorenz, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Lenore Armijo NMPS# 15511.

Steven K. Morrow, NMPE 13679

6-1-12
Date

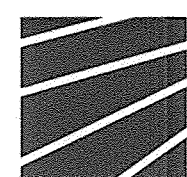


6-1-12

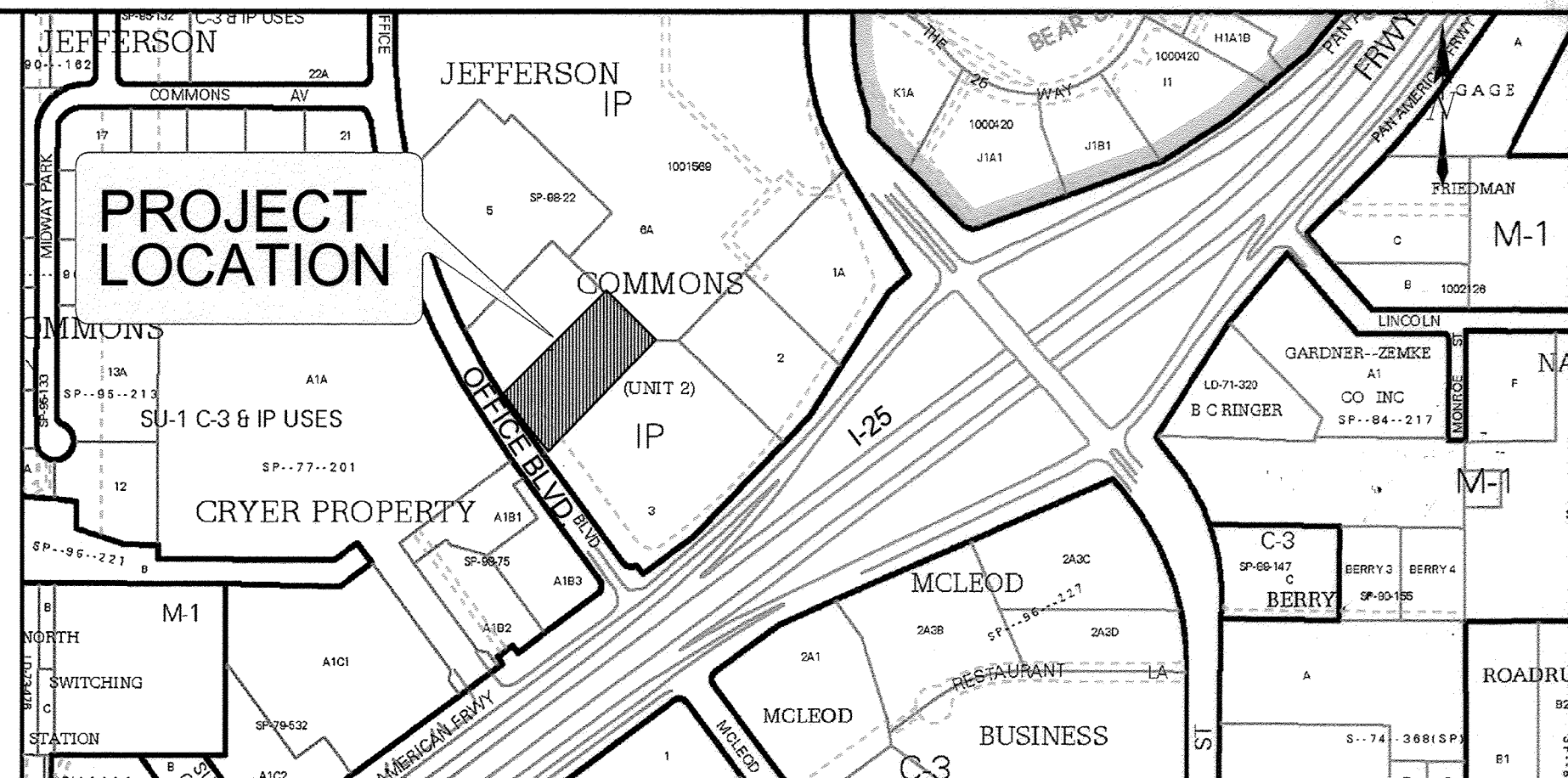
RECORD DRAWING

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY ENGINEER
DATE: 6/28/12

PROJECT 1000319



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-0088 Fax: (505) 888-6188



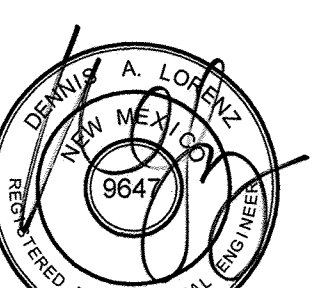
VICINITY MAP: F-17-Z

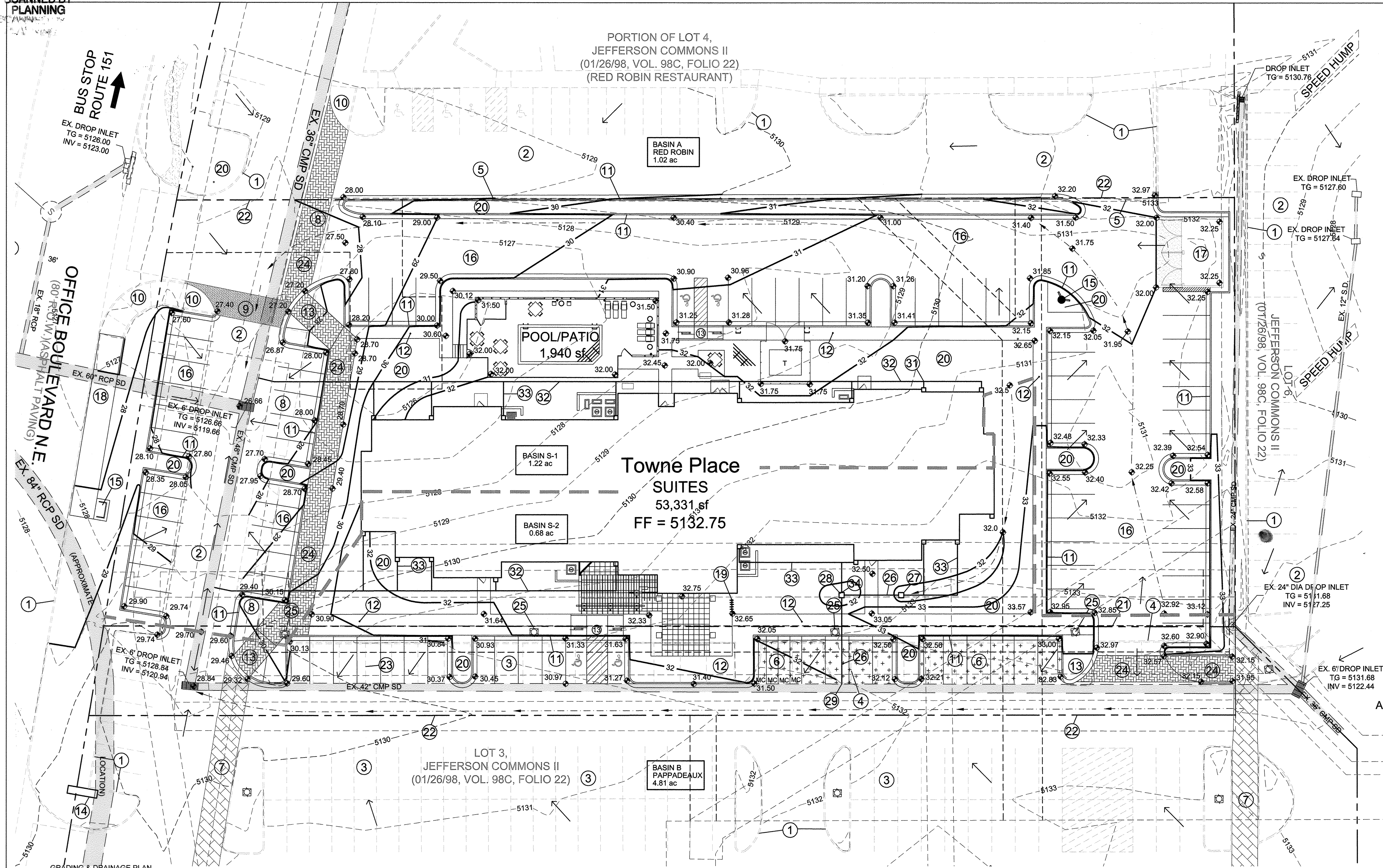
LOCATION MAP

NTS

GENERAL NOTES:

- CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 7, INCLUDING AMENDMENT #1, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS." ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (811 or 280-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) WORKING DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MARKER IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOUR CONSTRUCTION.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR WITH HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING. ALL NEW STRIPING SHALL BE HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, DRIVEPADS, WHEELCHAIR RAMPS AND SIDEWALKS DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER THE STANDARD SPECIFICATIONS AT HIS OWN EXPENSE.
- EXISTING UTILITY LINES AND PIPELINES SHOWN ON THESE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. UTILITIES MAY EXIST WHERE NONE ARE SHOWN. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES AND PIPELINES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO LOCATE AND PRESERVE EXISTING UTILITY LINES AND PIPELINES.
- THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE OWNERS FOR THE PREPARATION OF "RECORD DRAWINGS." THE CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY AND PREPARED BY BRASHER AND LORENZ, INC.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15 FEET (MINIMUM). CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) WORKING DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/)
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE STANDARD SPECIFICATIONS.
- PRIVATE STREETS REQUIRE STREET NAME SIGNS, STOP SIGNS AND ANY NECESSARY STRIPING (DEVELOPERS RESPONSIBILITY).
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE			APPROVALS		ENGINEER		DATE
 5-13-11			DRC Chair				6-7-11
			Transportation				6-8-11
			Water/Wastewater				5-30-11
			Hydrology				5-31-11
			CIP				
			Constr. Mgmt.				 10-27-11 City Engineer Date
			Constr. Coord.				
City Project No.			583083			Zone Map No. Sheet of	
						F-17-Z 1 of 7	



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 91 ROOM TOWNEPLACE SUITES HOTEL AND RELATED IMPROVEMENTS FOR JW MARRIOTT. PROPOSED SITE IMPROVEMENTS TO SUPPORT THE PROJECT INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PRESENTED TO ILLUSTRATE ESTABLISH GRADING AND DRAINAGE CRITERIA IN SUPPORT OF A BUILDING PERMIT APPLICATION.

DRAINAGE MASTER PLAN

THE DRAINAGE CRITERIA FOR THIS SITE WAS ESTABLISHED BY THE JEFFERSON COMMONS II DRAINAGE REPORT, PREPARED BY C.L. WEISS ENGINEERING, NOV. 1997. THE DMP IMPROVEMENTS INCLUDED PRIVATE INTERNAL SOTEM SEWER SYSTEM DESIGNED TO ACCEPT FULLY DEVELOPED FLOWS FROM THE MASTERPLAN AREA. FREE DISCHARGE WAS FACILITATED BY THE EXISTING STORM DRAINAGE SYSTEM AND CBC THAT SERVES THE JEFFERSON/25 INTERCHANGE AND SURROUNDING PROPERTIES. THE DRAINAGE SYSTEM CULMINATES IN A 8'X12' CBC THAT DISCHARGES TO THE VINEYARD CHANNEL, A TRIBUTARY TO THE NORTH DIVERSION CHANNEL. THE PROJECT SITE IS PROGRAMMED TO DRAIN TO THE PRIVATE INTERNAL STORM SEWER SYSTEM.

EXISTING CONDITIONS

THE SITE IS A PORTION OF LOT 4, JEFFERSON COMMONS II. AN EXISTING RED ROBIN RESTAURANT IS LOCATION ON THE NORTHWESTERN PORTION OF THE PROPERTY. THE SITE IS PRESENTLY UNDEVELOPED WITH THE EXCEPTION OF THE EXISTING PRIVATE STORM SEWER SYSTEM AND THE PAVED FRONTAGE ROAD ALONG OFFICE BLVD. ALL ONSITE FLOWS DRAIN SOUTH TO THE EXISTING ARREA DRAINS. OFF-SITE FLOWS ARE ALL MANAGED BY THE PRIVATE STORM SEWER SYSTEM AROUND THE SITE PERIMTER. NO OFF-SITE FLOWS ENTER THE SITE.

AS SHOWN BY THE ATTACHED FIRM PANEL, THIS PROPERTY IS LOCATED WITHIN A DESIGNATED ZONE 'X' (500 YEAR) FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

IN ACCORDANCE WITH THE DMP, ALL SITE FLOWS WILL DRAIN TO THE EXISTING PRIVATE STORM SEWER AND AREA DRAINS LOCATED AT THE SOUTHERN END OF THE SITE. A PLATTING PROPOSAL WILL ADJUST THE EXISTIN PROPERTY LINES TO CREATE A PARCEL FOR RED ROBIN, AND RECONFIGURE THE HOTEL SITE. DUE TO THE LOT LINE ADJUSTMENTS, A PORTION OF THE RED ROBIN SITE WILL DRAIN ONTO THE PROJECT SITE TO AN EXISTING AREA DRAIN. THE EAST LOT LINE ADJUSTMENT PLACES THE PAPPADEAUX'S AREA DRAIN (LOT 3) ON THE SUBJECT SITE. PRIVATE STORM DRAINAGE EASEMENTS EXIST FOR THE EXISTING PRIVATE STORM SEWER. ADDITION EASEMENTS WILL BE GRANTED FOR SURFACE FLOWS.

PROJECT HYDROLOGY									
AHYMO									
ZONE:	2								
P ₂₄ HOUR	2.35								
P ₁₀ DAY	3.95								
EXISTING CONDITIONS									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	1.90	0.00	0.14	0.28	1.48	1.88	8.1	0.032	
A	1.02	0.00	0.07	0.08	0.87	1.95	4.5	0.168	
B	4.81	0.00	0.36	0.36	4.09	1.95	21.2	0.782	
DEVELOPED CONDITIONS									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	1.90	0.00	0.14	0.28	1.48	1.88	8.1	0.032	
S-1	1.22	0.00	0.09	0.18	0.95	1.88	5.2	0.021	
S-2	0.68	0.00	0.05	0.10	0.53	1.88	2.9	0.011	
A	1.02	0.00	0.07	0.08	0.87	1.95	4.5	0.168	
B	4.81	0.00	0.36	0.36	4.09	1.95	21.2	0.782	

KEYED NOTES

- EXISTING CONCRETE CURB TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING CONCRETE PAVEMENT TO REMAIN
- REMOVE AND DISPOSE EXISTING CONCRETE CURB
- REMOVE AND DISPOSE EXISTING TEMP AC CURB
- REMOVE AND DISPOSE CONCRETE PAVEMENT TO LIMITS AND GRADES SHOWN
- EXISTING BRICK PEDESTRIAN WALK TO REMAIN
- REMOVE AND DISPOSE EXISTING SIDEWALK AND HC RAMPS
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING HC RAMP TO REMAIN
- NEW 6\"/>

DRAWING LEGEND	EXISTING	PROPOSED
RETAINING WALL		
DRAINAGE BASIN DIVIDE		
TOP OF ASPHALT ELEV.		
SPOT ELEV.		
CURB		
FLOWLINE ELEV.		
TOP OF CURB ELEV.		
CONTOUR		
SWALE		
DIRECTION OF FLOW		
STORM SEWER		

PROJECT DATA

LEGAL DESCRIPTION:
Lot 4, Jefferson Commons II

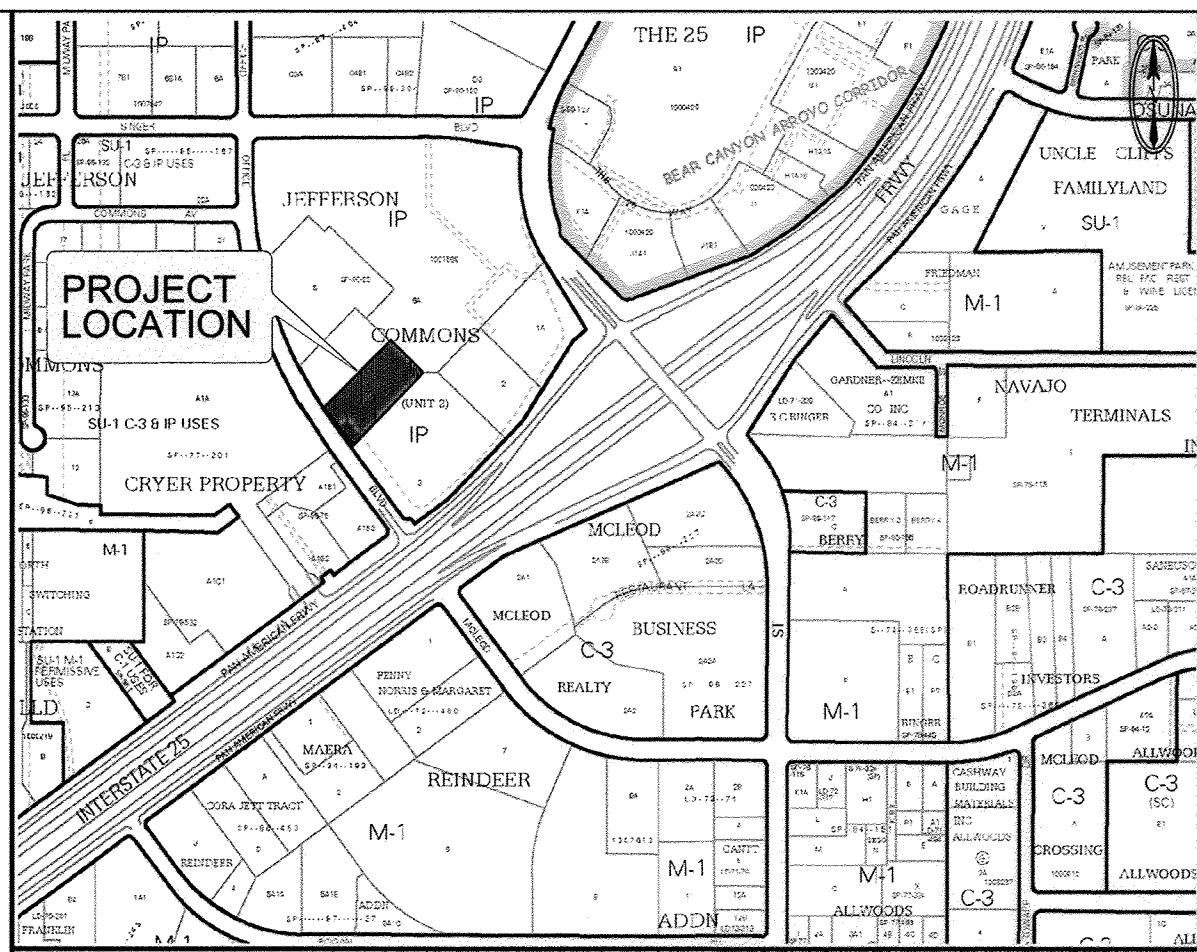
PROPERTY ADDRESS:
5531 Office Boulevard NE
Albuquerque, New Mexico 87109

SURVEY:
Topographic Mapping prepared by Brasher & Lorenz, Inc.
December 2010.
Lenore Armijo, NMPS 15511

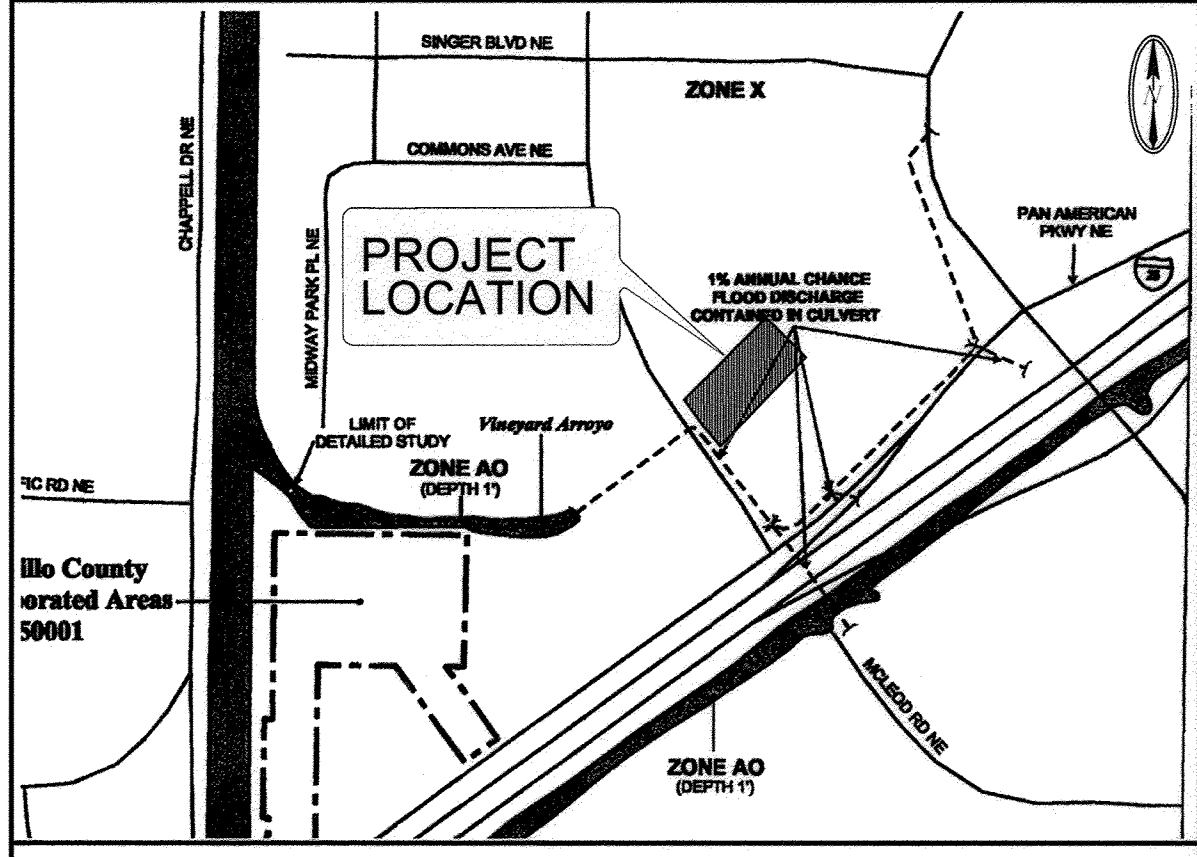
SITE AREA:
1.90 Acres (82,764 Square Feet)

PROJECT BENCHMARK:
ACS Control Station "I-25-18"
Elevation 5128.340 feet
NMSP Central Zone
NAD 83, NAVD 88

THIS SHEET SHOWN FOR
INFORMATION ONLY.
NOT IN CONTRACT.



F-17-Z LOCATION MAP NTS

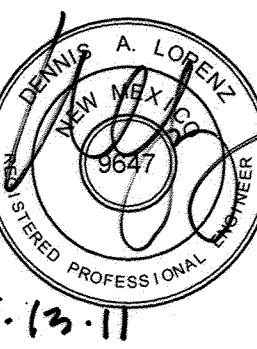


FIRM PANEL 35001C138E NTS

Architecture+

Architecture+
Architects Planners
A Professional Corporation
Washington Plaza, Suite 400
300 Washington Street
Monroe Louisiana 71201

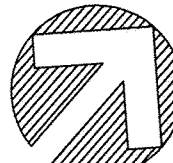
Towneplace Suites By Marriott
91 Unit, 4 Story
Albuquerque, New Mexico



Job No.
Date May 13, 2011
Revisions
No. Date
ISSUED FOR BUILDING PERMIT 3-18-11

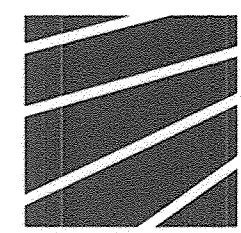
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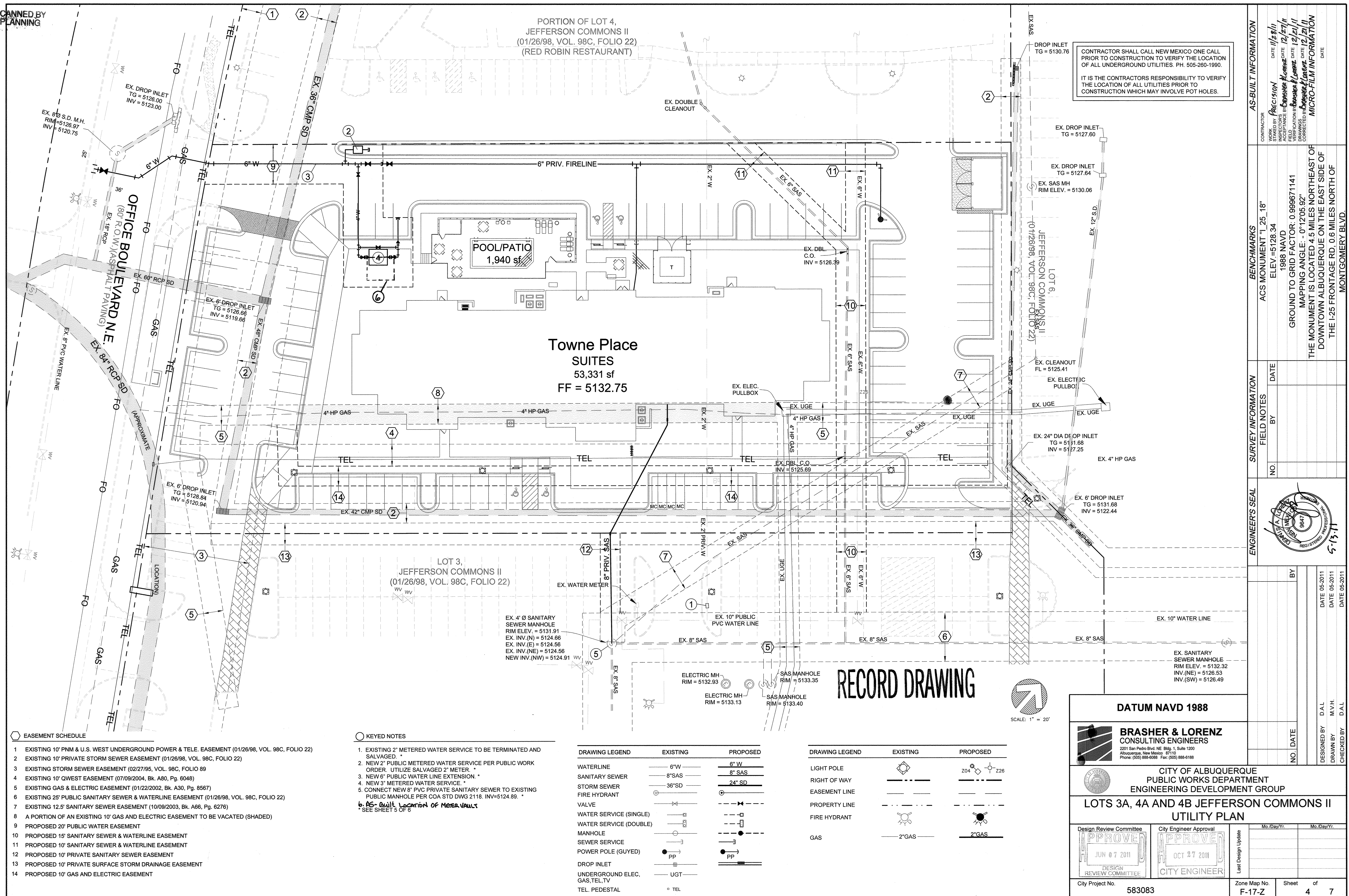


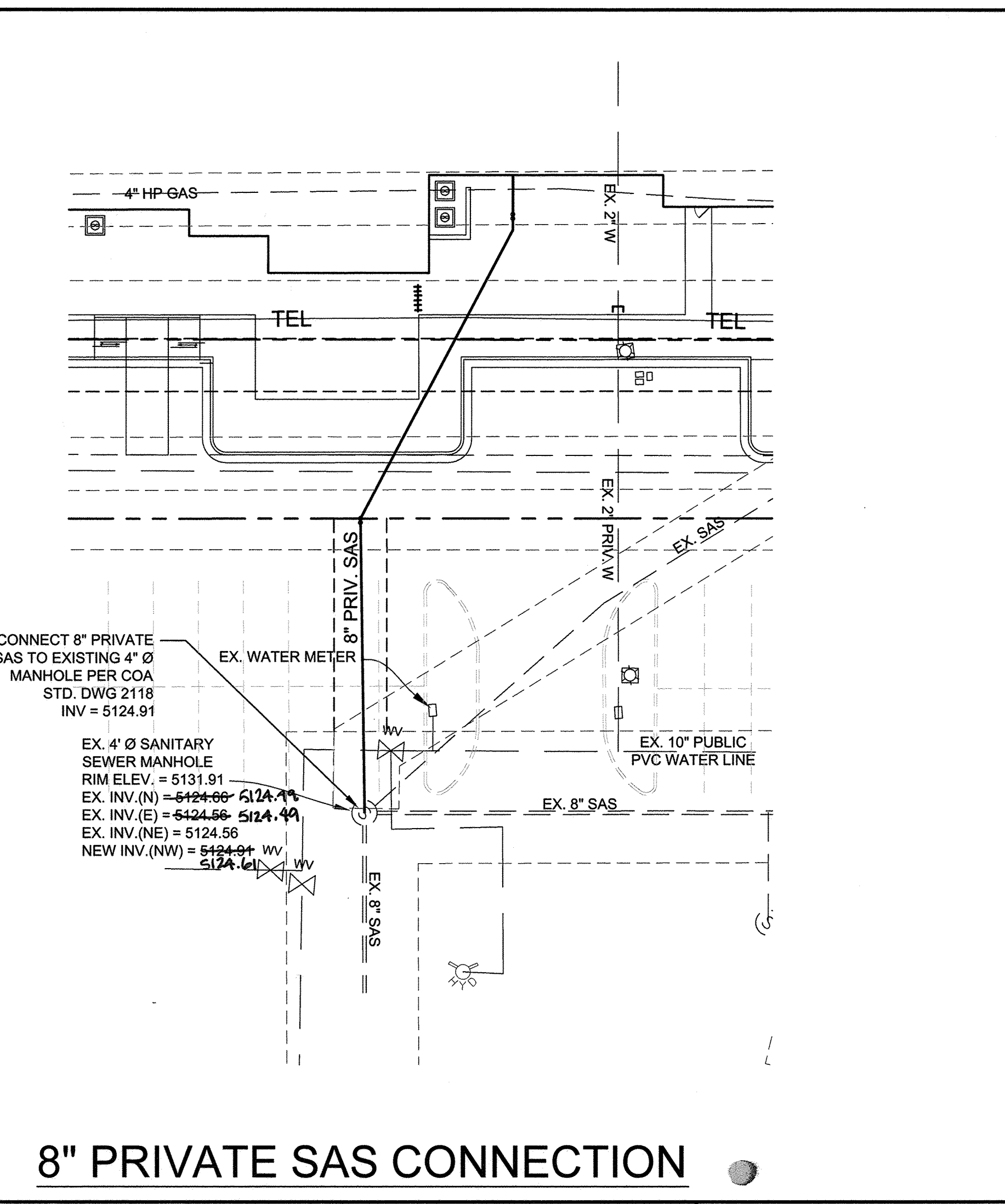
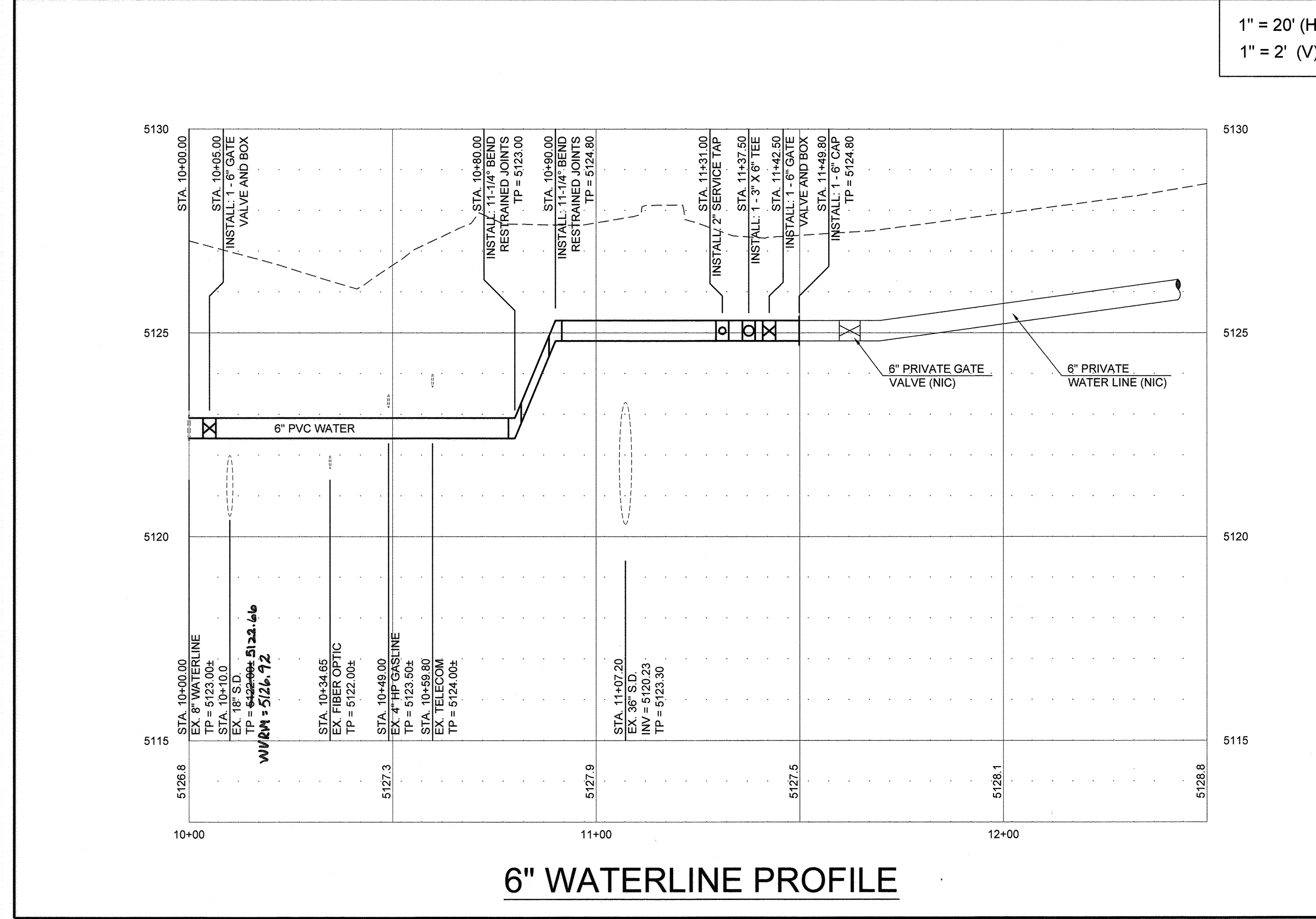
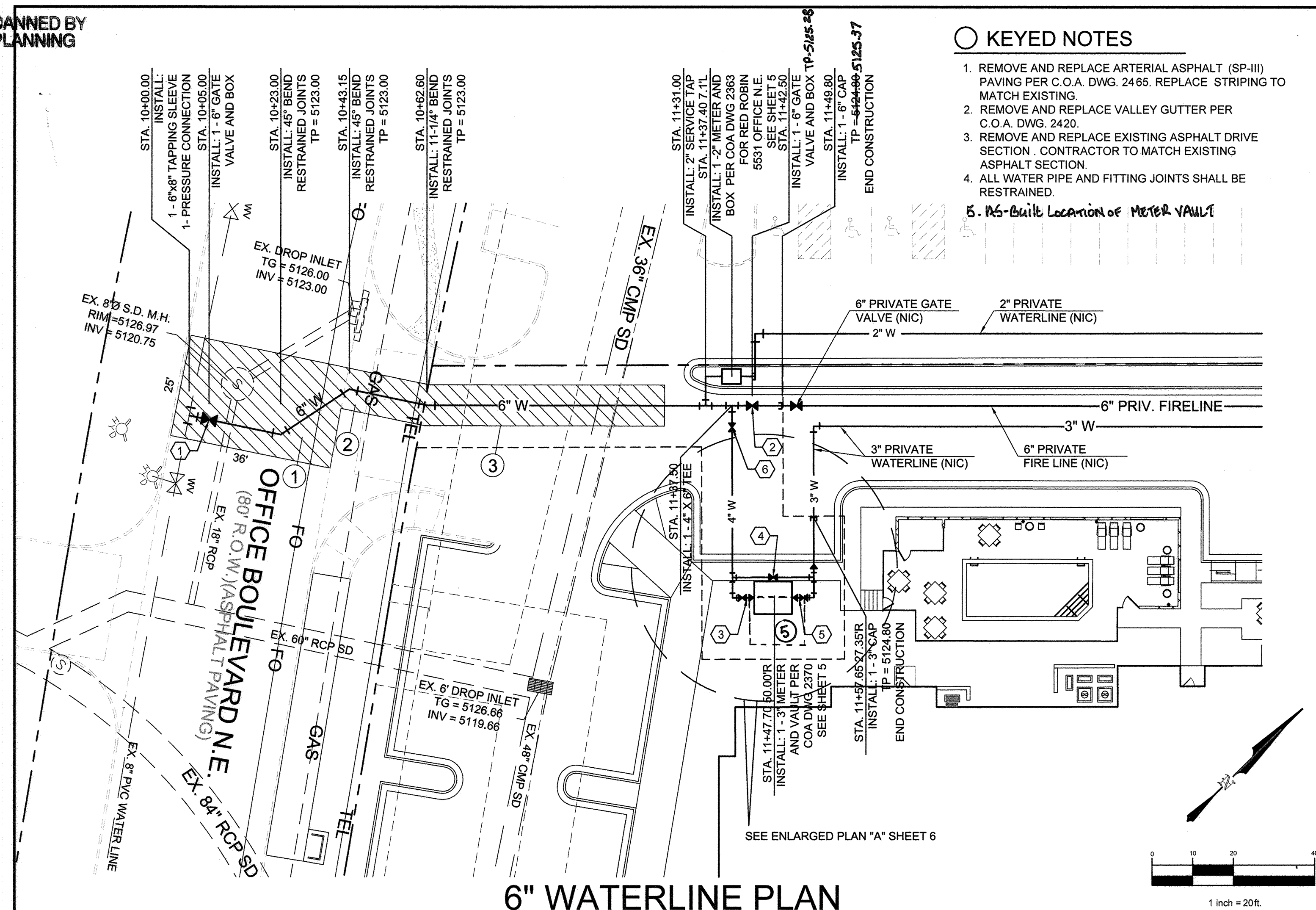
GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'



BRASHER & LORENZ
CONSULTING ENGINEERS & SURVEYORS
2201 San Pedro NE, Building 1, Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188





LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
LIGHT POLE		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE		
OVERHEAD UTILITY LINE		
CURB ELEVATIONS		
RIGHT OF WAY		
POWER POLE WITH ANCHOR		
CONTOUR W/ ELEVATION		
SIDEWALK		

ASBUILT WATER VALVE GPS COORDINATES

WATER VALVE NO.	NORTHING	EASTING	ELEV.
1	1507366.1240	1536309.4380	5123.91
2	1507470.7910	1536408.5020	5126.53
3			
4			
5			
6	1507465.7990	1536408.7790	5125.94

CAUTION!

EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL NEW MEXICO ONE CALL 260-1990 PRIOR TO CONSTRUCTION.

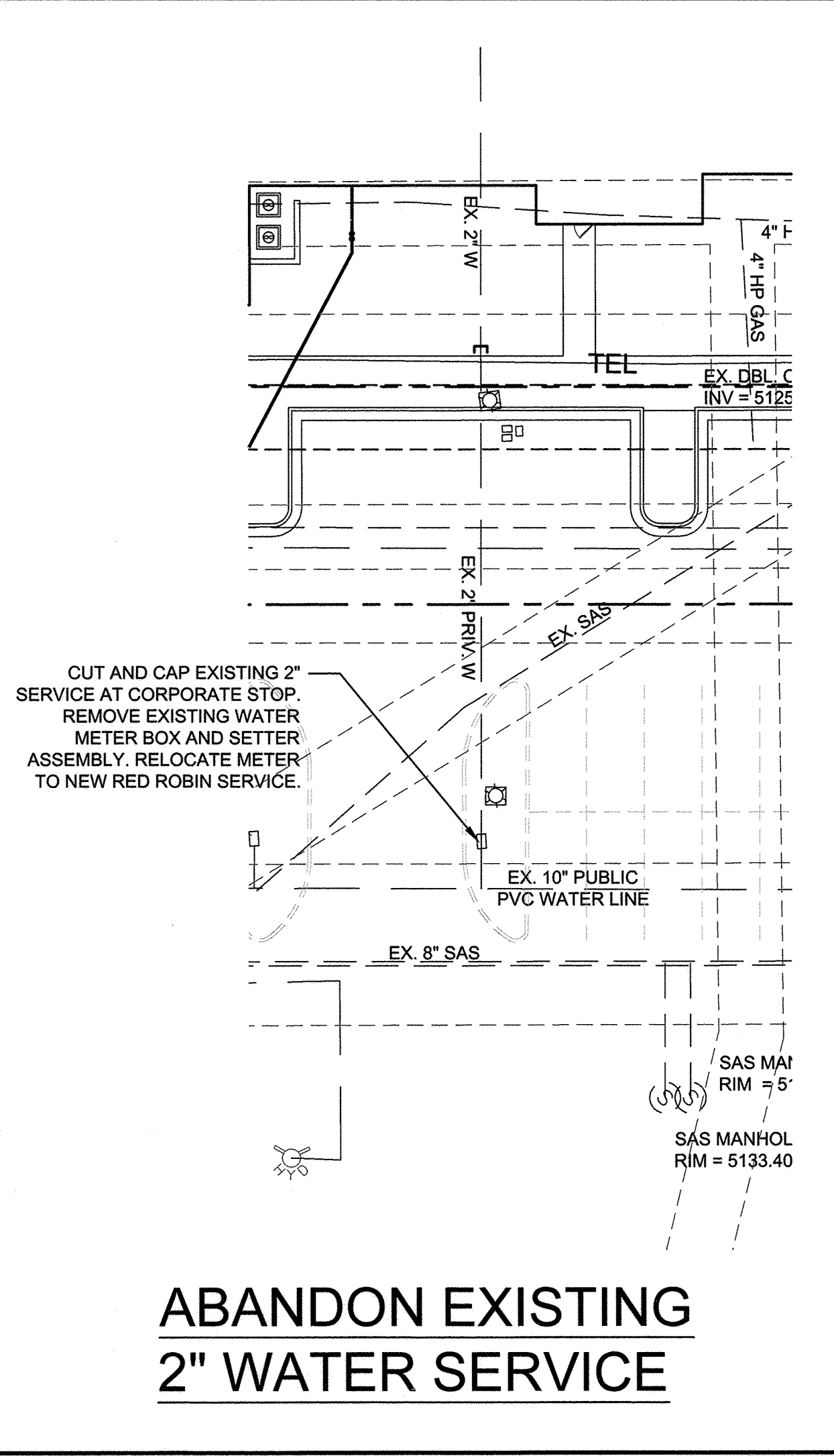
CONTRACTOR SHALL NOTIFY NEW MEXICO GAS COMPANY PRIOR TO EXPOSING 4" VHP GAS LINE WITHIN CONSTRUCTION ZONE. CONTACT JOE HERRERA 891-6995

AS-BUILT INFORMATION	
CONTRACTOR	BRASHER & LORENZ CONSULTING ENGINEERS
WORK ORDER NO.	1988 NAVD
INSPECTOR'S DATE	11/28/11
ACCEPTANCE BY DATE	11/27/11
VERIFICATION BY DATE	11/21/11
DRAWN BY	BRASHER & LORENZ
CHECKED BY	BRASHER & LORENZ

SURVEY INFORMATION	
FIELD NOTES	NO.
DATE	DATE
BY	BY

ENGINEER'S SEAL	
NO.	DATE
BY	DATE

DESIGNED BY	
D.A.L.	DATE 05-2011
M.V.H.	DATE 05-2011
CHECKED BY	DATE 05-2011



PROJECT LOCATION

WATER SHUT OFF PLAN

1. ALL VALVES HYDRANTS AND APPURTENANCES OF THE WATER SYSTEM SHALL BE OPERATED BY A.B.C.W.U.A. PERSONNEL ONLY.
2. THE CONTRACTOR SHALL PROVIDE A.B.C.W.U.A. 7 WORKING DAYS PRIOR NOTICE OF THE NEED FOR SYSTEM SHUTDOWN. CALL 857-8250.
3. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) WORKING DAYS IN ADVANCE OF TAKING FIRE HYDRANT "A" (AS SHOWN ON THE PLAN ABOVE) OFF LINE.
4. IF A NON-PRESSURIZED CONNECTION IS REQUIRED TO THE 8-INCH LINE IN OFFICE BLVD. IT REQUIRES CLOSING VALVES, 171 AND 112.

DATUM NAVD 1988

BRASHER & LORENZ CONSULTING ENGINEERS

2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-6088 Fax: (505) 888-6188

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP

LOTS 3A, 4A AND 4B JEFFERSON COMMONS II WATERLINE PLAN AND PROFILE

Design Review Committee	
APPROVE	DESIGN REVIEW COMMITTEE
JUN 07 2011	

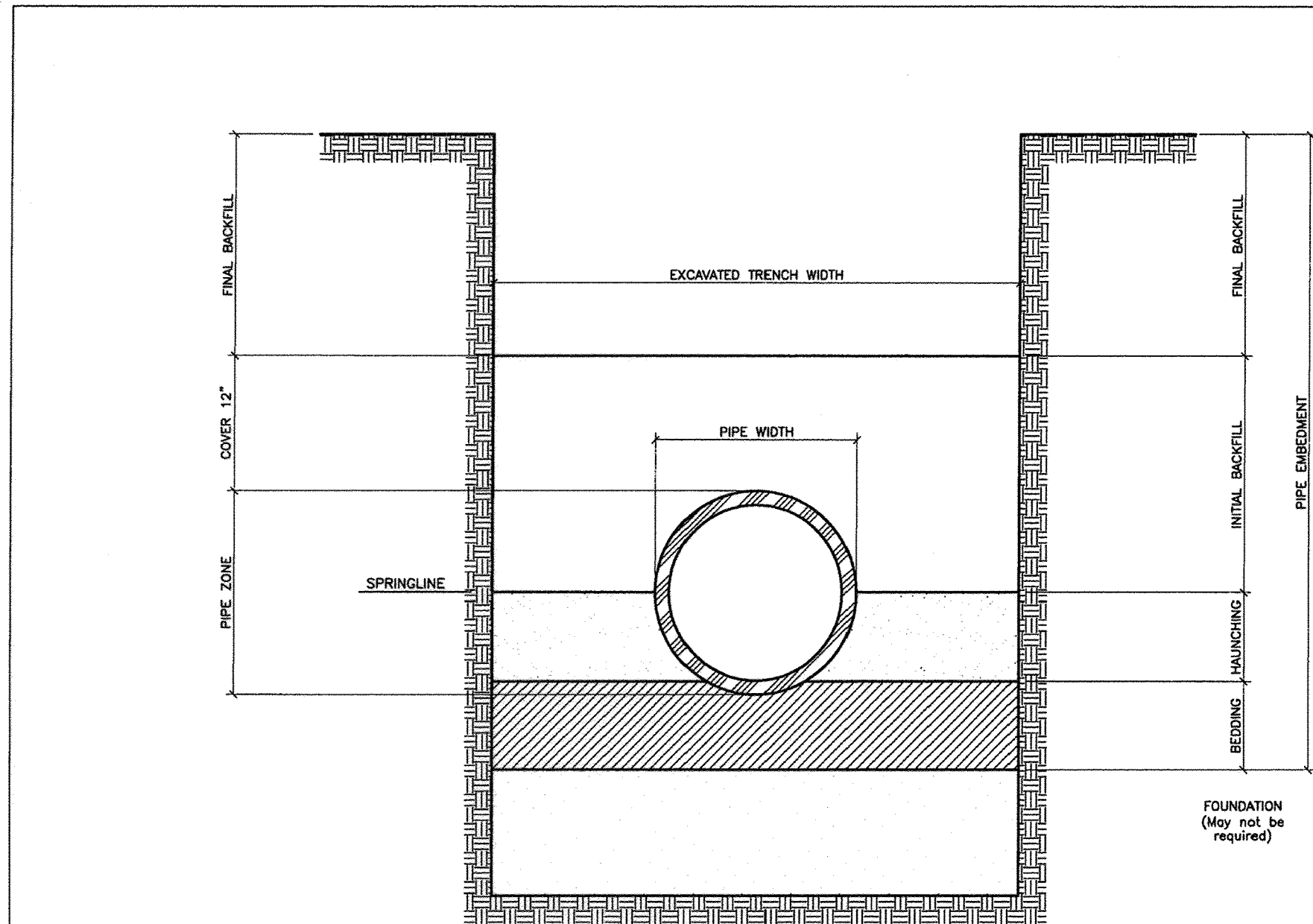
City Engineer Approval	
APPROVE	CITY ENGINEER
OCT 27 2011	

Last Design Update	
Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	
583083	

Zone Map No.	
F-17-Z	

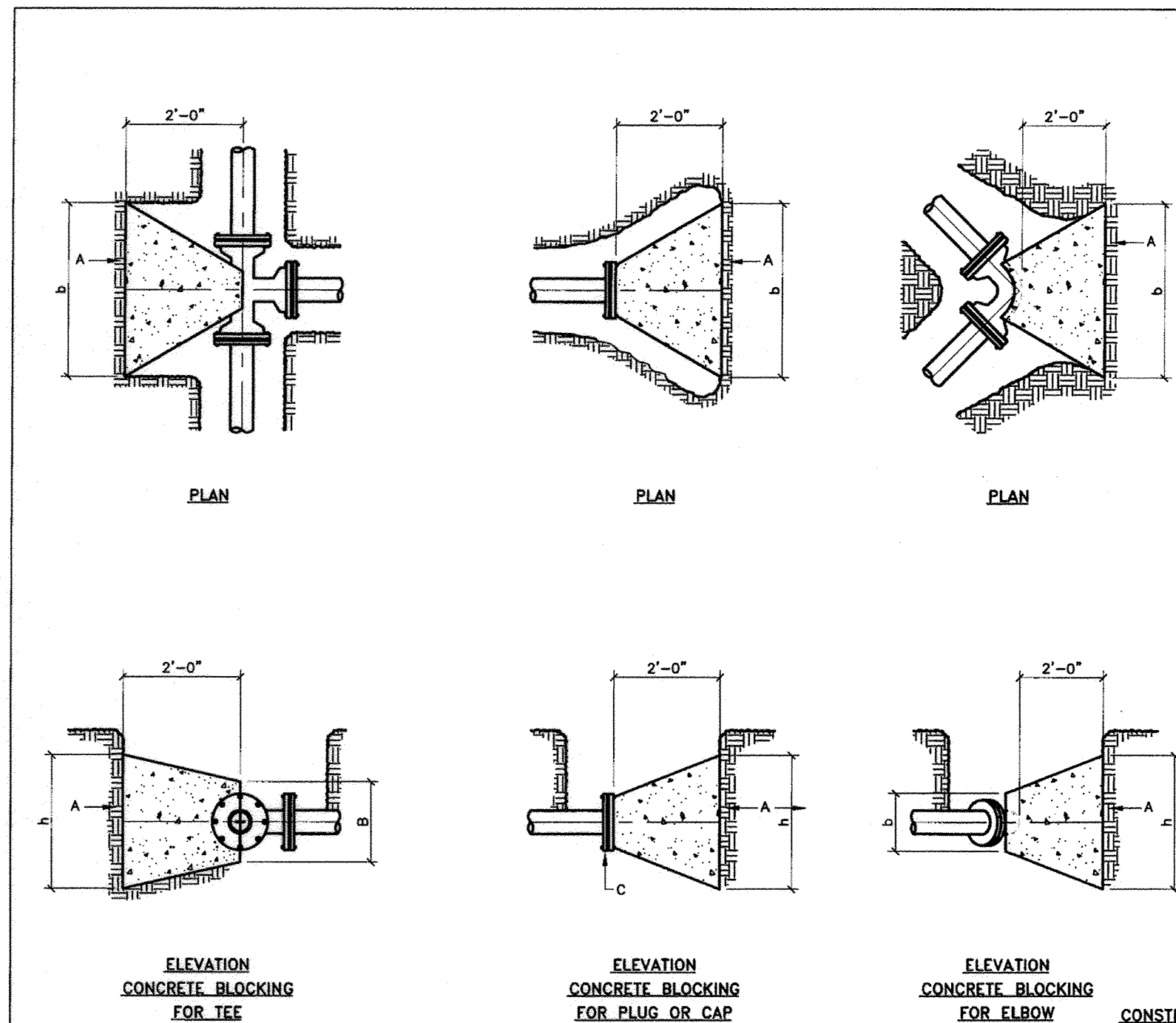
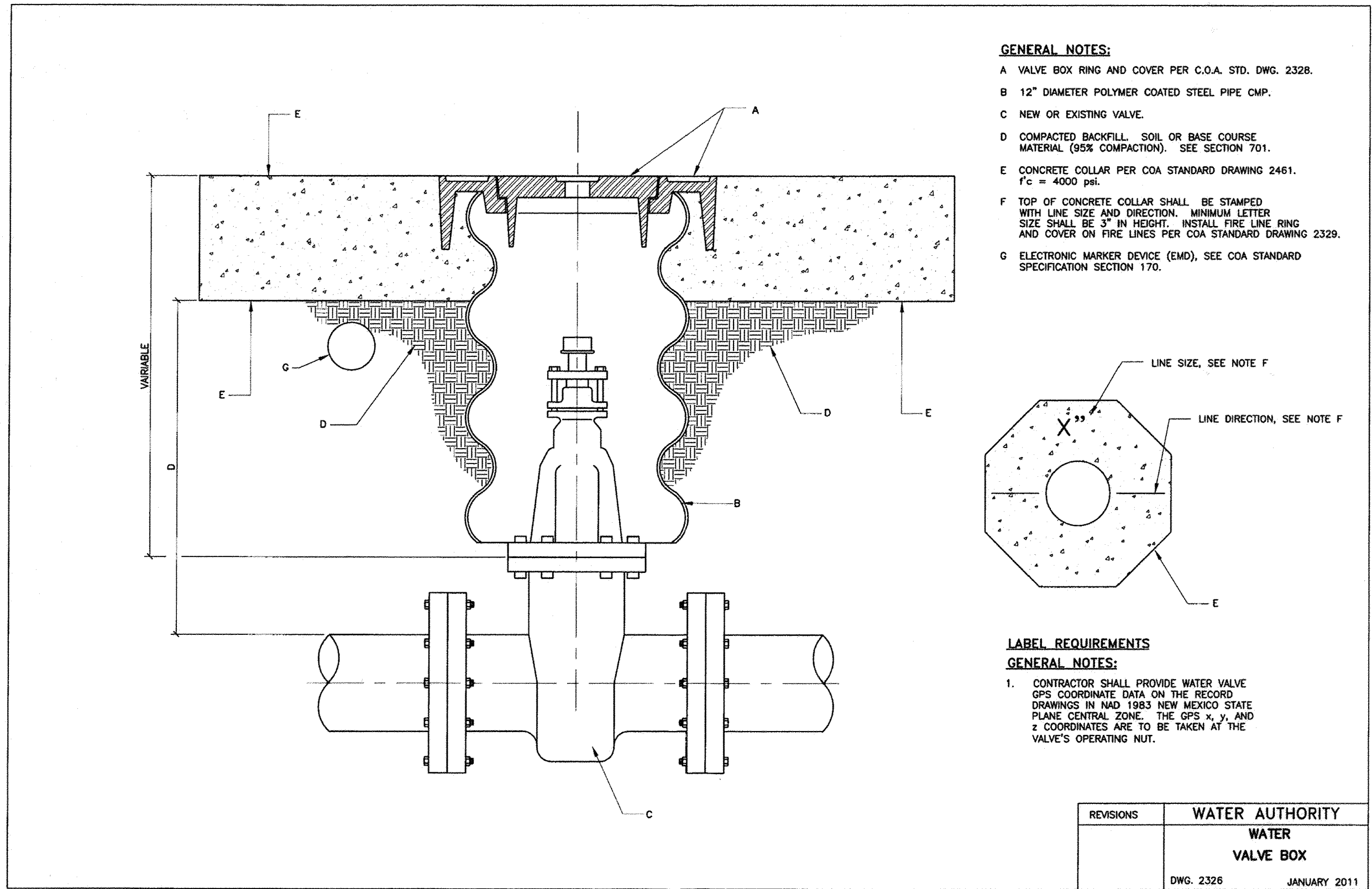
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GENERAL NOTES:

- MECHANICAL TAMPERS SHALL NOT BE USED IN THE INITIAL BACKFILL REGION FOR FLEXIBLE PIPE. WHEN FLEXIBLE PIPE IS USED, CONTRACTOR SHALL PRIOR TO THE START OF CONSTRUCTION, PROVIDE THE PROPOSED COMPACTION METHOD IN THE INITIAL BACKFILL REGION TO THE WATER AUTHORITY FOR APPROVAL.
- MINIMUM CLASS "C" BEDDING WILL BE USED.
- ALL COMPACTION WILL BE TO 95% OF THE STANDARD PROCTOR.

REVISIONS	WATER AUTHORITY
	WATER PIPE TRENCH TERMINOLOGY
	DWG. 2315 JANUARY 2011



GENERAL NOTES:

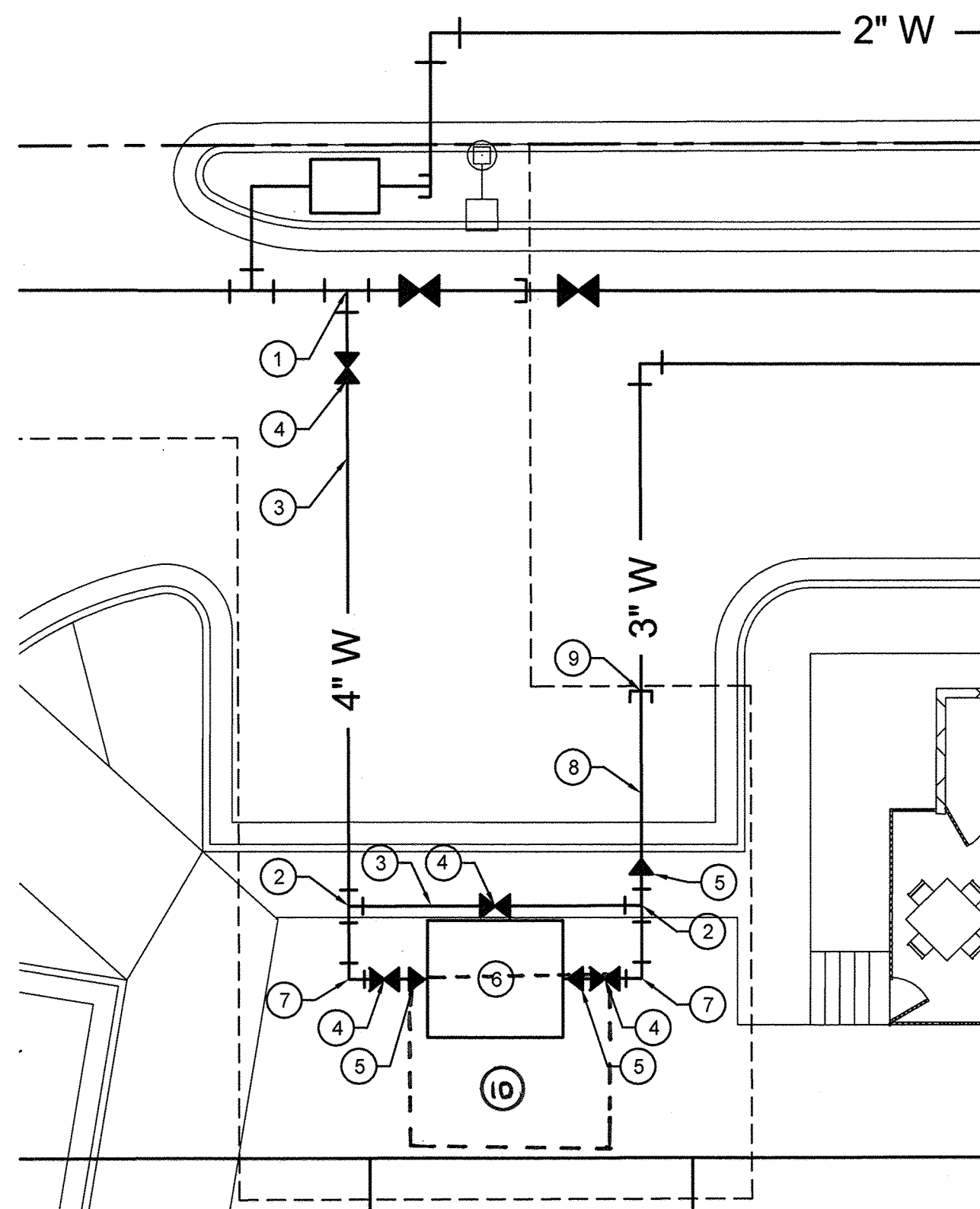
- ALL THRUST CONTROL BY RESTRAINED JOINTS ONLY, UNLESS DIRECTED BY ENGINEER, AND FOR "SPECIAL" SITUATIONS SPECIFIED BY THE WATER AUTHORITY.
- PIPE SIZE GREATER THAN 14" REQUIRES DESIGN BY ENGINEER TO BE SUBMITTED TO THE WATER AUTHORITY FOR APPROVAL.
- CONCRETE BLOCKING PER SEC. 101 EXTERIOR CONCRETE, $f'_c=3000$ psi @ 28 DAYS.

PIPE SIZE	ELBOW ANGLE	ELBOW (b) DIM.	ELBOW (n) DIM.	TEE OR PLUG (b) DIM.	TEE OR PLUG (n) DIM.
4"	90° 45'	2'	2'	2'	1'
4"	22 1/2°	2'	2'		
6"	90° 45'	2'	2'	2'	2'
6"	22 1/2°	2'	2'		
8"	90° 45'	3'	3'	3'	3'
8"	22 1/2°	2'	2'		
10"	90° 45'	3'-6"	3'-6"	3'	3'
10"	22 1/2°	2'	2'		
12"	90° 45'	4'	4'	3'-6"	3'-6"
12"	22 1/2°	2'	2'		
14"	90° 45'	5'	5'	4'	4'
14"	22 1/2°	3'	3'		

CONSTRUCTION NOTES:

- UNDISTURBED EARTH.
- O.D. OF PIPE + 8".
- O.D. OF CAP OR PLUG, MIN. 12"x12".
- ONLY FOR EXCEPTIONAL SITUATIONS, USE OF MECHANICAL RESTRAINTS TAKES PRECEDENCE.

REVISIONS	WATER AUTHORITY
	WATER CONCRETE BLOCKING DESIGN
	DWG. 2320 JANUARY 2011



KEYED NOTES

- INSTALL 4" X 6" TEE.
- INSTALL 4" X 4" TEE.
- INSTALL 4" DUCTILE IRON WATERLINE.
- INSTALL 4" GATE VALVE.
- INSTALL 4" X 3" REDUCER.
- INSTALL 3" METER AND VAULT.
- INSTALL 4" 90° BEND.
- INSTALL 3" DUCTILE IRON WATERLINE.
- INSTALL 3" CAP.
- AS-BUILT LOCATION OF WATER METER.

ENLARGED PLAN "A"

SCALE: 1" = 10'

RECORD DRAWING

AS-BUILT INFORMATION

CONTRACTOR	DATE
INSPECTORS	DATE
FIELD	DATE
VERIFICATION	DATE
CORRECTED BY	DATE

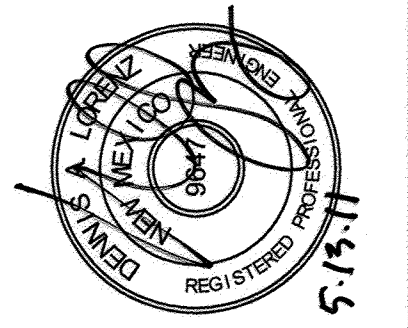
BENCHMARKS

ACS MONUMENT "1" 25.18"	DATE
ELEV = 5128.34	DATE
1988 NAVD	DATE
GROUND TO GRID FACTOR: 0.999671141	DATE
MAPPING ANGLE: -0°12'05.92"	DATE
THE MONUMENT IS LOCATED 4.5 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE I-25 FRONTAGE RD. 0.6 MILES NORTH OF MONTGOMERY BLVD.	DATE

SURVEY INFORMATION

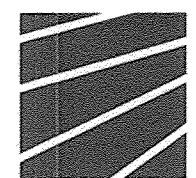
FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL



BY	DATE
DESIGNED BY	05-2011
DRAWN BY	05-2011
CHECKED BY	05-2011

DATUM NAVD 1988

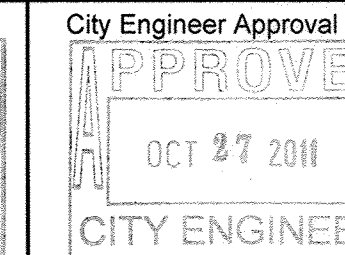


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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

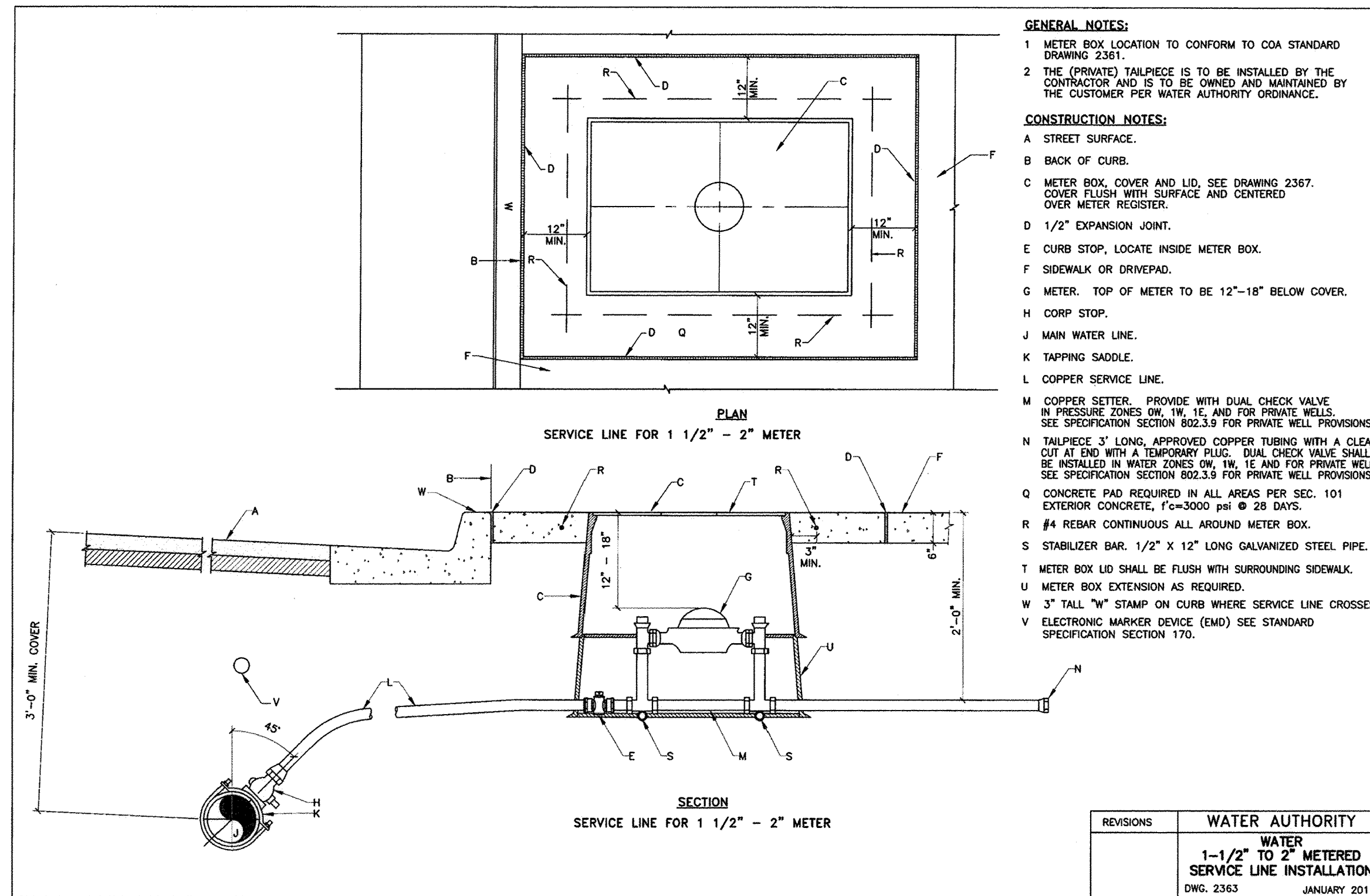
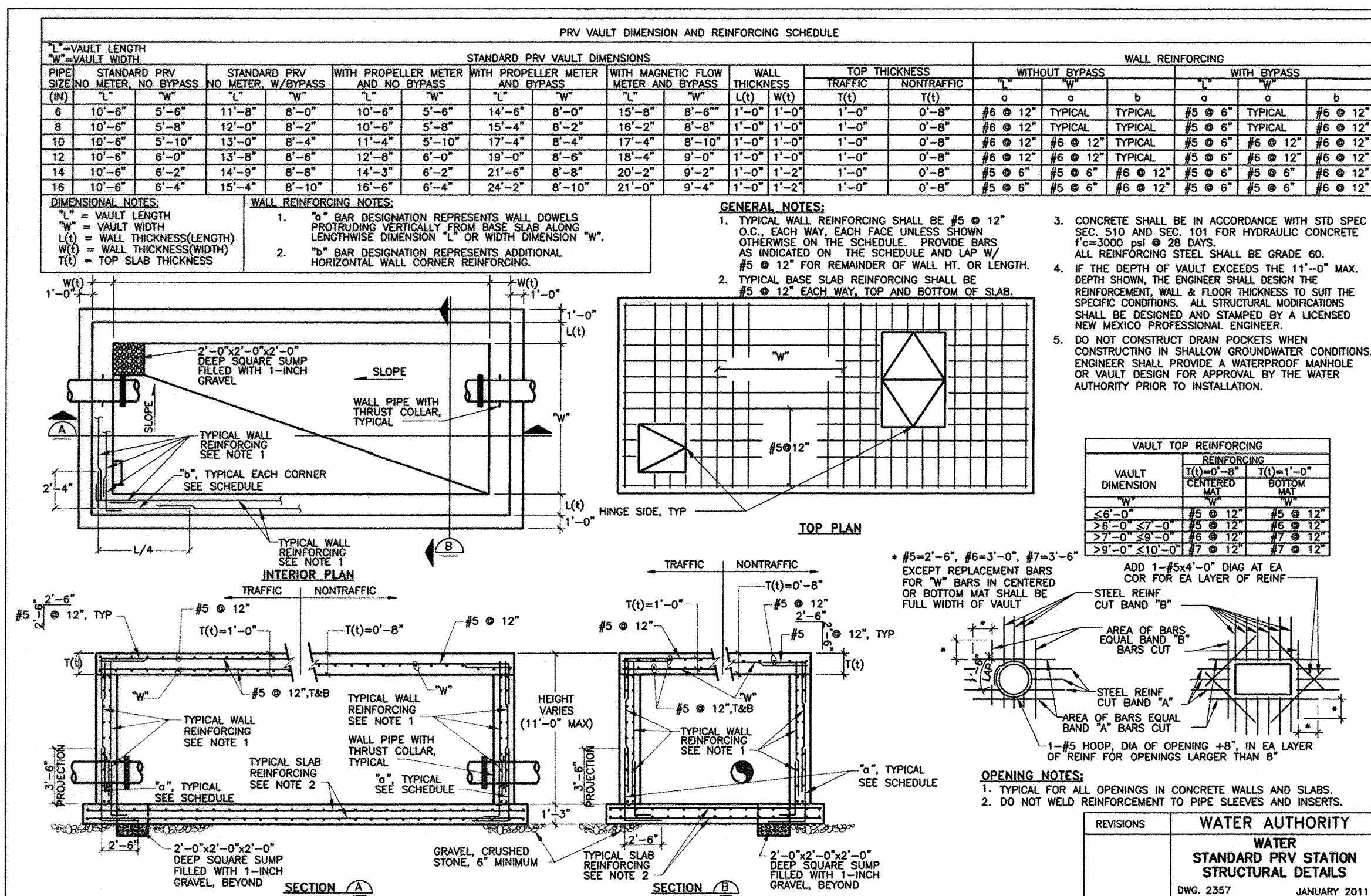
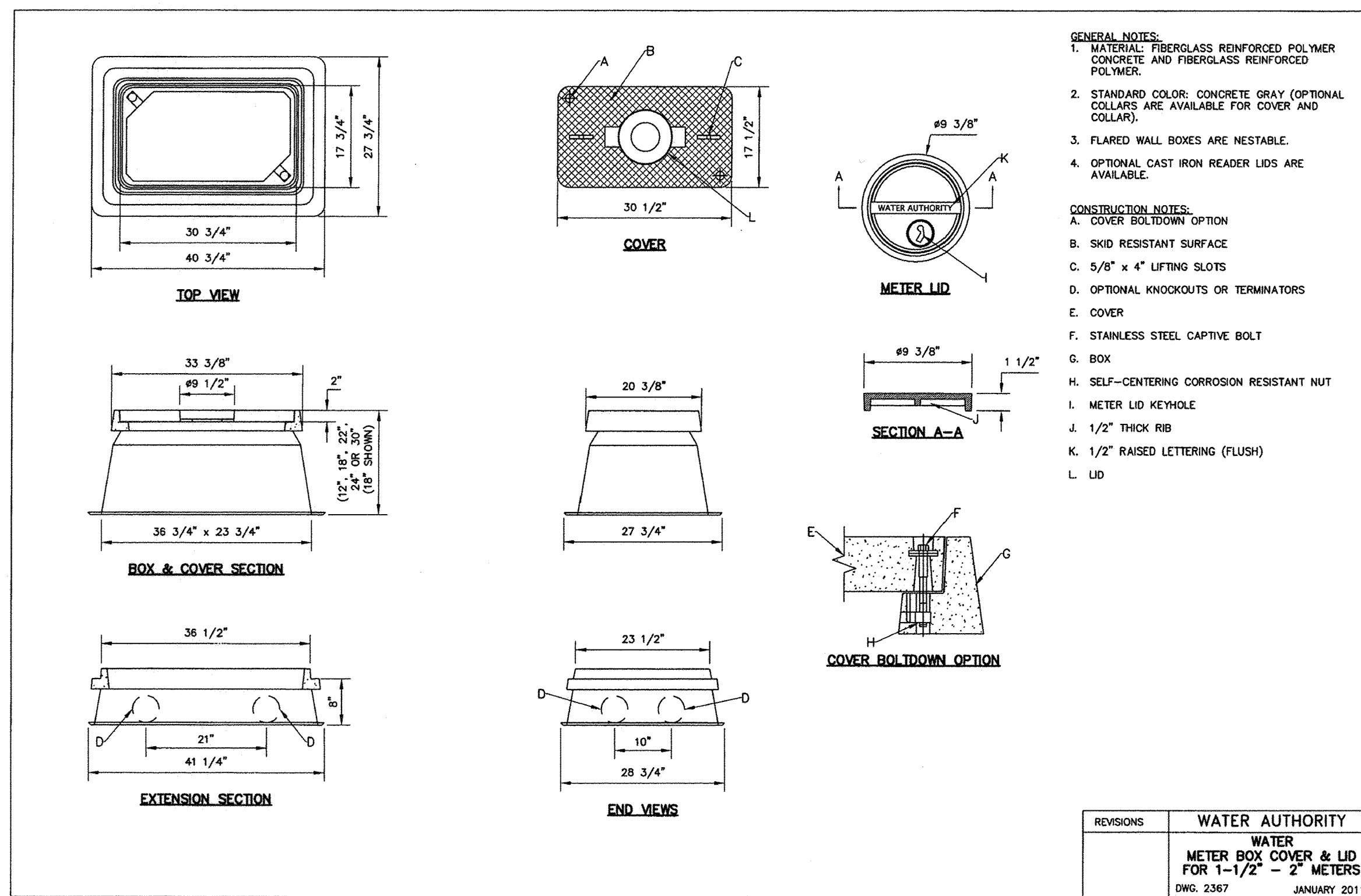
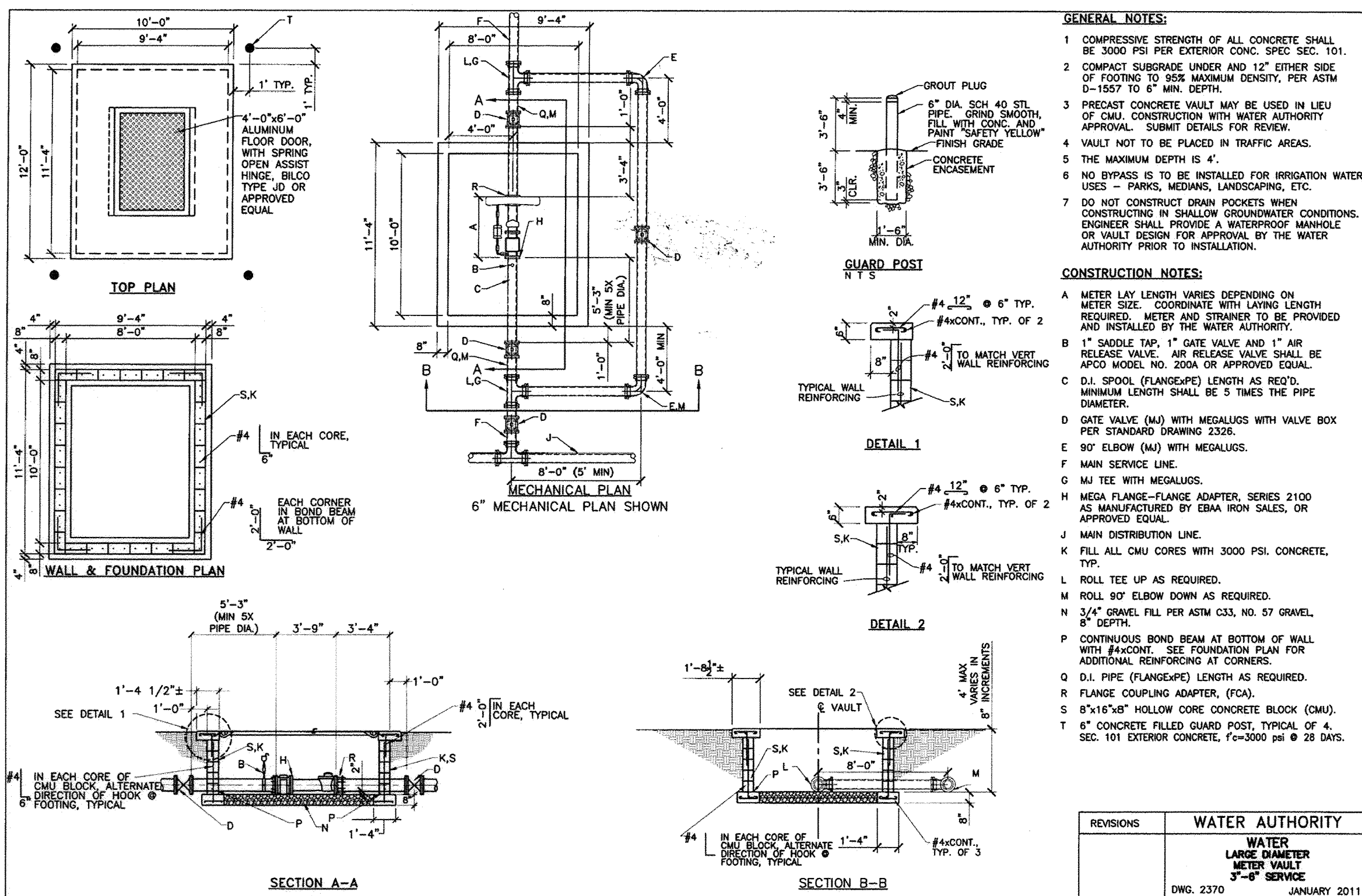
LOTS 3A, 4A AND 4B JEFFERSON COMMONS II
CONSTRUCTION DETAILS



Mo./Day/Yr.	Mo./Day/Yr.

City Project No. 583083

Zone Map No. F-17-Z Sheet 6 of 7



AS-BUILT INFORMATION			
CONTRACTOR	DATE	DATE	DATE
WORK STATED BY	1/28/11	1/27/11	1/21/11
INSPECTED BY	1/28/11	1/27/11	1/21/11
ACCEPTANCE BY	1/28/11	1/27/11	1/21/11
FIELD CORRECTIONS	1/28/11	1/27/11	1/21/11
DRAWINGS	1/28/11	1/27/11	1/21/11
CORRECTED BY	1/28/11	1/27/11	1/21/11
MICRO-FILM INFORMATION			
DATE	DATE	DATE	DATE

BENCHMARKS			
ACS MONUMENT "I"	25.18"	DATE	DATE
ELEV	5128.34	BY	BY
1988 NAVD		NO.	NO.
GROUND TO GRID FACTOR: 0.999671141			
MAPPING ANGLE: -0°12'05.92"			
THE MONUMENT IS LOCATED 4.5 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE I-25 FRONTAGE RD. 0.6 MILES NORTH OF MONTGOMERY BLVD.			

SURVEY INFORMATION			
FIELD NOTES	DATE	DATE	DATE
BY	BY	BY	BY
NO.	NO.	NO.	NO.

ENGINEER'S SEAL			
DESIGNED BY	DATE	DATE	DATE
DRAWN BY	DATE	DATE	DATE
CHECKED BY	DATE	DATE	DATE

DATUM NAVD 1988

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PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

LOTS 3A, 4A AND 4B JEFFERSON COMMONS II
CONSTRUCTION DETAILS

Design Review Committee
APPROVED
JUN 07 2011
DESIGN REVIEW COMMITTEE

City Engineer Approval
APPROVED
OCT 27 2011
CITY ENGINEER

City Project No. 583083

Zone Map No. F-17-Z

Sheet 7 of 7

RECORD DRAWING