

INDEX

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Figure 1

SUBDIVISION DATA

1. DRS No.
2. Zone Atlas Index No. B-9-2
3. Gross Subdivision Acreage: 14,965.9 Acres.
4. Total Number of Lots/Tracts created: 63 Lots.
5. This Plat shows existing easements.
6. Date of last survey: May, 10/96.
7. Dedicated street right-of-way: 2,974.2 Acres.
8. Total mileage of full width streets created: 0.3889 mile.

The purpose of this plat is to subdivide Tract 5, PLAT OF VENTANA RANCH, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 30, 1995 as Document No. 95122531 in Volume 86C folio 430, into Lots One (1) thru Sixty Three (63) inclusive, dedicate public street right-of-way to the City of Albuquerque, dedicate right-of-way to AMAFCA, and grant easements.

PUBLIC UTILITY EASEMENTS shown on this plot are for the common joint use of:

- A. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- B. The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. U.S. West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Jones Interconnect for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance and service of all electric and utility power lines across the easement (but not parallel with).

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over the premises hereby dedicated, and the right to install, place, erect, support, maintain, alter, repair, replace, move, remove, or otherwise transform with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purpose set forth herein. No building, sign, pool (above ground or subsurface), hot tub, spa, swimming pool, deck, patio, driveway, walkway, fence, gate, shed, garage, carport, porch, pergola, gazebo, or other structure shall be constructed on said easements nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of structures or any structures adjacent to or near easements shown on this plat.

A certain tract of land situated within the Town of Alameda Grant, within projected Section 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, more or less comprising all of Tract numbered Five (5) of the PLAT OF VENTANA, RICH C. ALBUQUERQUE, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereto, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on November 30, 1995 in Volume 95C, folio 430 as Document No. 95122531 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) and ground distances as follows:

[illegible][illegible]

LAS VENTANAS LIMITED PARTNERSHIP
A NEW MEXICO LIMITED PARTNERSHIP

Robert M. Murphy, President
Sandra Properties Ltd., Co.
Managing Partner

State of New Mexico }
County of Bernalillo)

This instrument was acknowledged before me on _____ day of _____, 1998 by Robert M. Murphy, President of Sandia Properties Ltd., Co., a New Mexico limited liability company, Managing Partner for Las Ventanas Limited Partnership, a New Mexico Limited Partnership.

My Commission Expires: _____

I, A. Edwin Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in February 1934 and meets the minimum requirements for documentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bahannon Huston
Courtyard I
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109

A. Dwight Hoover
New Mexico Professional Surveyor 6544

Date: _

APPROVALS

PLAT NUMBER _____	
PLANNING DIRECTOR _____	DATE _____
CITY ENGINEER _____	DATE _____
A.M.A.F.C.A. _____	DATE _____
TRAFFIC ENGINEER _____	DATE _____
CITY SURVEYOR _____	DATE _____
PROPERTY MANAGEMENT _____	DATE _____
UTILITY DEVELOPMENT DEPARTMENT _____	DATE _____
DESIGN & DEVELOPMENT, CIP _____	DATE _____
PWM ELECTRIC SERVICES _____	DATE _____
U.S. WEST COMMUNICATIONS _____	DATE _____
PWM GAS SERVICES _____	DATE _____
NEW MEXICO UTILITIES, INC. _____	DATE _____
THIS IS TO CERTIFY THAT TAKES ARE CURRENT AND PAID ON UPC# _____	
PROPERTY OWNER OF RECORD: _____	
BERNALILLO COUNTY TREASURER'S OFFICE _____	DATE _____

Site is located within projected Section 9, T11N, R2E, N.M.P.Z.

2. Bearings are New Mexico State Plane Grid Bearings (Control Zone) NAD 1927 Datum also being the same as bearings shown on PLAT OF VENTURA RANCH, Tract: November 30, 1985 on Document No. 25122515 in Volume 350, folio 430D.

3. Centeline (in lieu of R/W monumentation) to be installed at all centeline P.C.'s, P.T.s, and angle points prior to acceptance of subdivision improvements and will consist of a standard four foot wide aluminum nailer with "SURVEY MARKER".

4. "SQUARE CORNER" SURVEILING MONUMENTATION, "SURVEY MARKER". DO NOT DISTURB." PLS 6544

5. These properties are within the New Mexico Utilities, Inc. Facilities, not the City of Albuquerque, and military infrastructure improvement projects have been approved by both the City of Albuquerque and NMU, Inc.

6. Temporary blanket drainage easements including temporary drainage easement for proposed channels shall herein disclose to AMAFCA are with subsequent approval of AMAFCA and the City of Albuquerque. The City of Albuquerque and respective utility companies subject to licensed approval from AMAFCA. Temporary easements are in accordance with easements are in accordance with the Las Ventanas Partnership and Military Infrastructure Improvement Project. The Las Ventanas Industrial Drainage Facilities Plan, July, 1995 and the AMAFCA and Sandia Properties Agreement dated July 27, 1995. These temporary drainage easements are subject to adjustment in size, dimension and location based upon the desired design and construction of the project. Easements not required by the drainage improvements or above cited subservient users shall revert to Las Ventanas Partnership, its successors or assigns upon acceptance by AMAFCA of the physical improvements. Reversion by AMAFCA to Las Ventanas Partnership, its successors or assigns.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

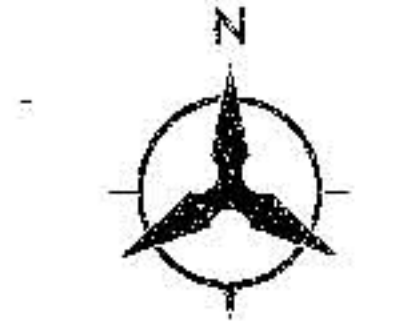
SHEET 1 OF 3

P:\9738\SURVEY\GRAPHICS\9738\A05\DWG\SHEET1.DWG 7/02/1998

DRAINAGE CERTIFICATION

KERRY L. DAVIS OF BOHANNAN
HUSTON, N.M.P.E. # 5984, HEREBY CERTIFY THAT THE
AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN
SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND
DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE
ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND
THE AS-BUILT ELEVATION ADDED. AS-BUILT ELEVATIONS WERE
VERIFIED BY SPARKLING CONSTRUCTION, L.S. #
6647. THIS STATEMENT DOES NOT REPRESENT
CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.

NAME Kerry L. Davis
DATE 4/27/99



SCALE: 1" = 50'
(HORIZ.)

- GENERAL NOTES
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY GEO-TEST, INC. DATED OCT. 13, 1994 & APRIL 13, 1994.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DIST. CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERRIS AS PER DETAIL SHEET 2, AND WEETING THE SOIL TO KEEP 1' FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FOLLOW UNLESS OTHERWISE NOTED.
 6. BOLLERS, GREATER THAN 3 FEET IN DIAMETER, EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

- PROPOSED DRAINAGE WALL
- PROPOSED RETAINING WALL
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING ELEVATION
- SECTION OF FIRM

I, David C. Clausen, New Mexico Professional Land Surveyor No. 6547, do hereby certify that the as-built information shown herein is the result of a field survey performed by me or under my direct supervision, and that the same is true and correct.

David C. Clausen N.M.L.S. # 6547



Bohannon & Huston

County One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

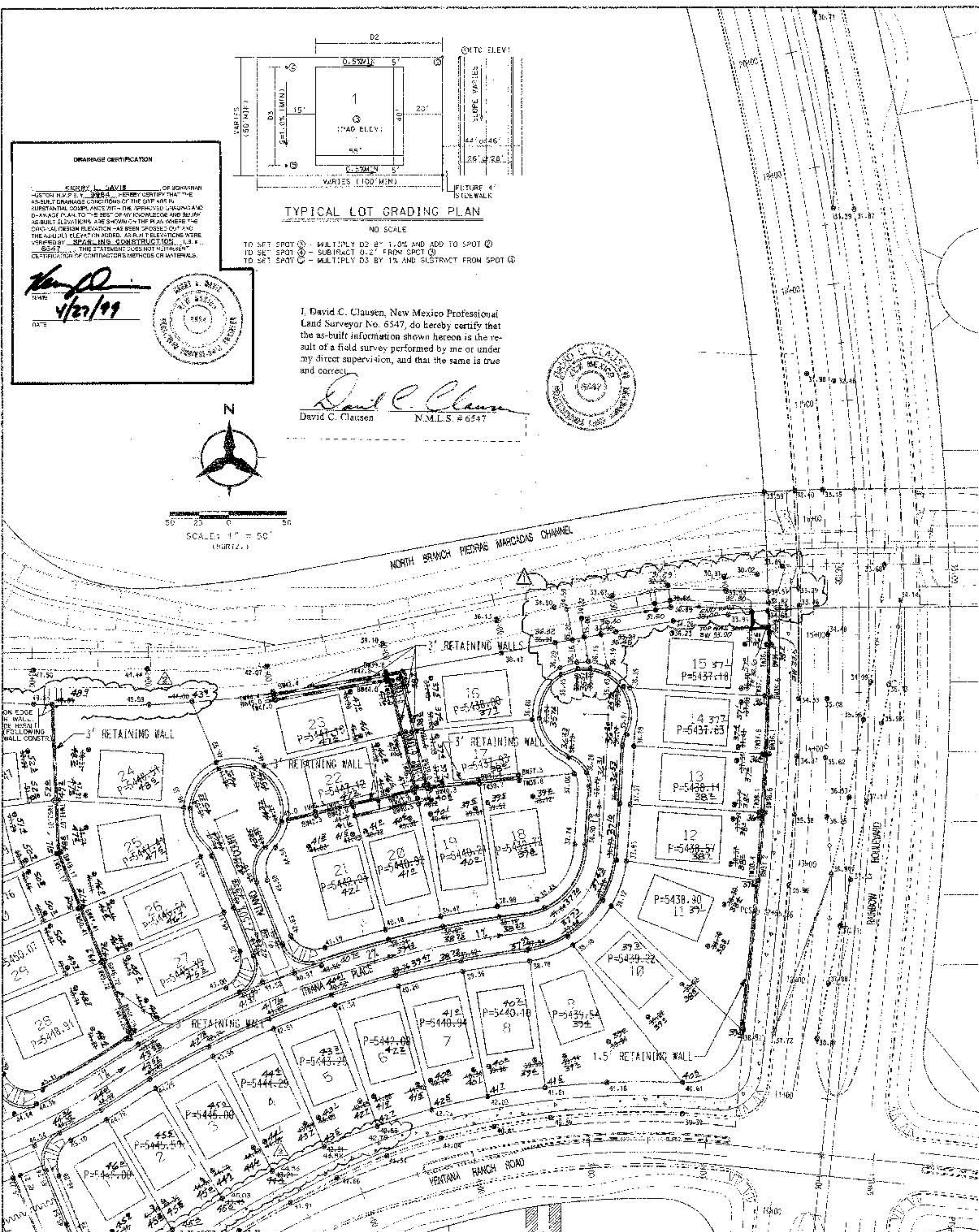
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

SONTERRA SUBDIVISION - VENTANA RANCH TRACT 6
FINAL GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	LAST DESIGN UPDATE
97 / 510	5 / 19 / 98	
CITY PROJECT NO.	ZONE MAP NO.	SHEET OF
5923.61	B-9	5 OF 26

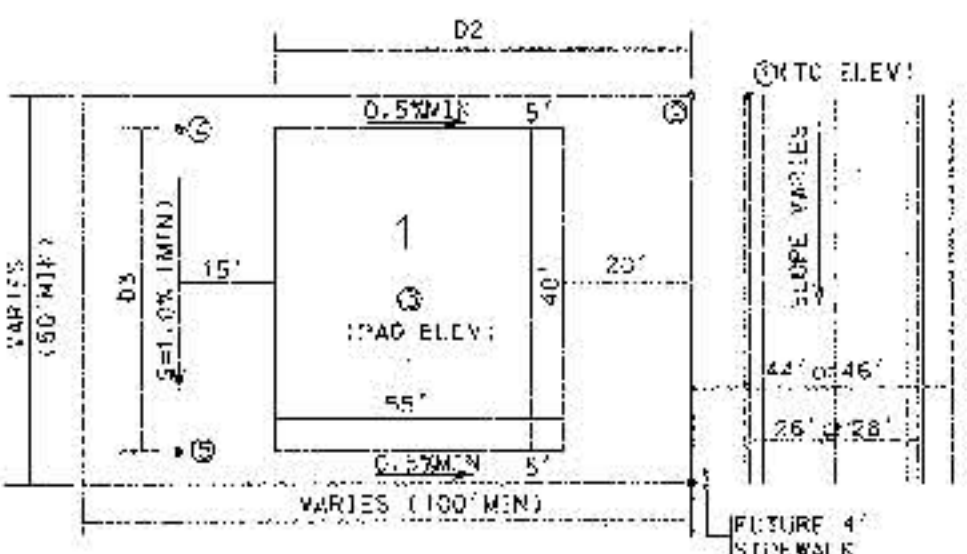
DATE: APR. 98



DRAINAGE CERTIFICATION

KERRY L. JAMES, OF BOHANNAN & HASTON, P.C., HEREBY CERTIFY THAT THE ASSUMED DRAINAGE LOCATIONS OF THE SHOWN ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPLICABLE ORDINANCES AND THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE ORIGINAL ELEVATION HAS BEEN SPOILED OUT AND THE AS-BUILT ELEVATION IS KNOWN. AS-BUILT ELEVATIONS WERE VERIFIED BY SPARKLING CONSTRUCTION, L.L.C., 80671. THE STATEMENT DOES NOT GUARANTEE THE ACCURACY OF CONTRACTORS' METHODS OR MATERIALS.

Kerry L. James
4/27/99

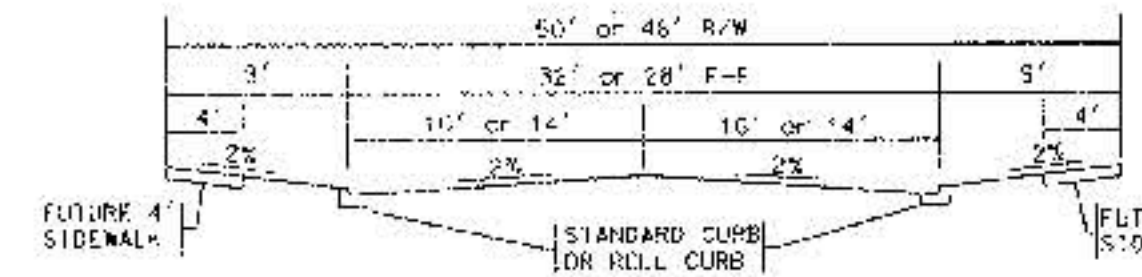


TYPICAL LOT GRADING PLAN
NO SCALE

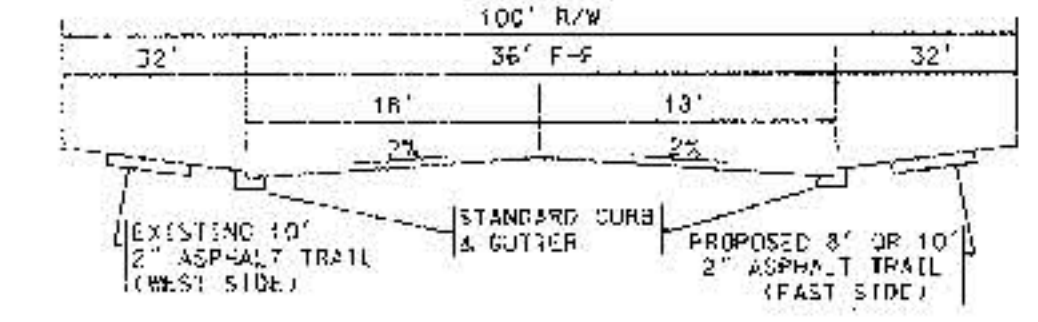
TO SET SPOT ① - MULTIPLY D2 BY 1.0% AND ADD TO SPOT ②
TO SET SPOT ② - SUBTRACT 0.2' FROM SPOT ①
TO SET SPOT ③ - MULTIPLY D3 BY 1% AND SUBTRACT FROM SPOT ②

I, David C. Clausen, New Mexico Professional Land Surveyor No. 6547, do hereby certify that the as-built information shown herein is the result of a field survey performed by me or under my direct supervision, and that the same is true and correct.

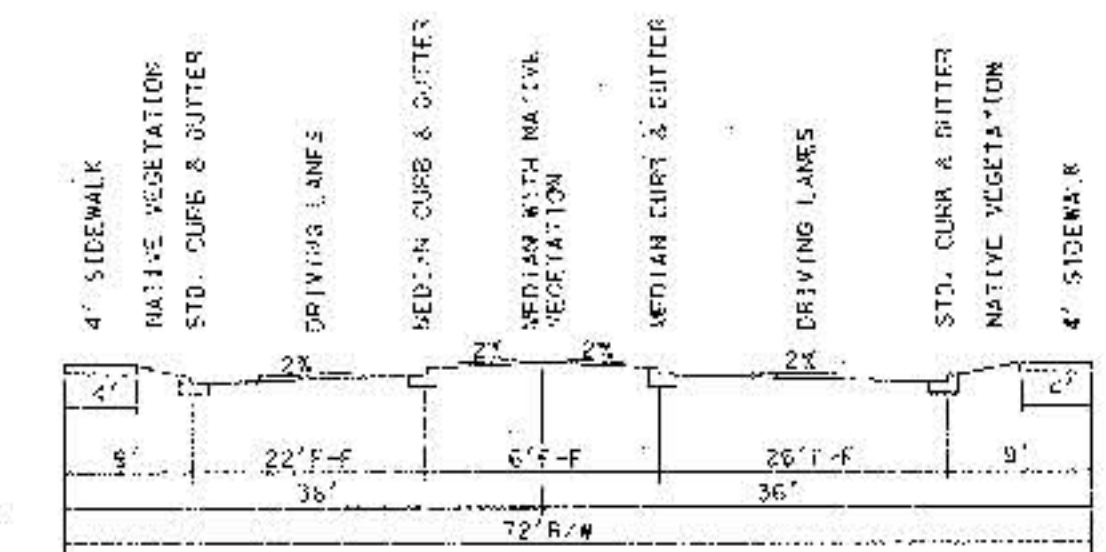
David C. Clausen
David C. Clausen N.M.L.S. # 6547



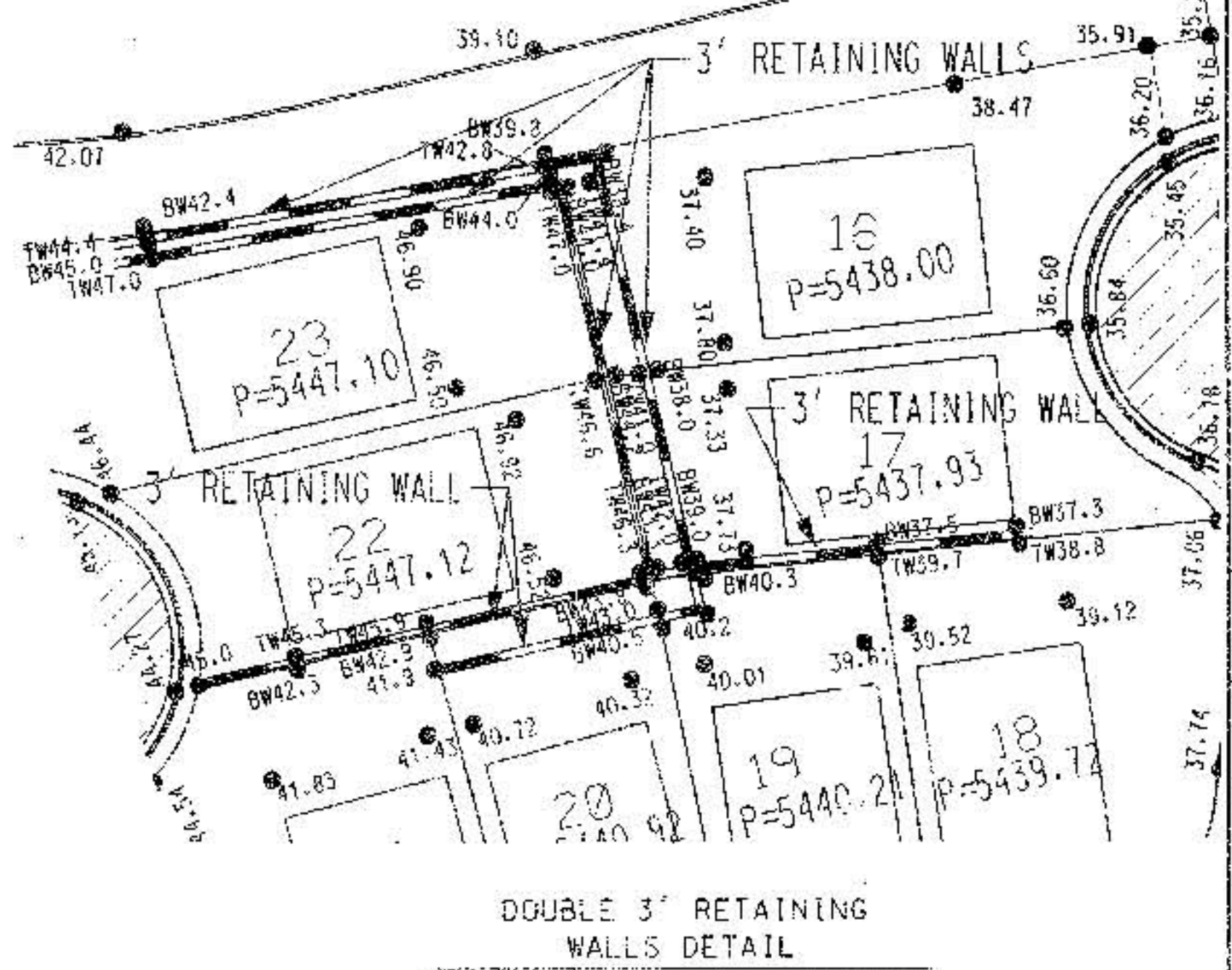
TYPICAL STREET SECTION
NO SCALE



EXISTING VENTANA RANCH RD. TYPICAL STREET SECTION
NO SCALE (MAJOR LOCAL)



ENTRADA PLACE ENTRANCE STREET SECTION
NO SCALE (RESIDENTIAL)



DOUBLE 3' RETAINING WALLS DETAIL

GENERAL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY GEO-TEST, INC. DATED OCT. 13, 1994 & APRIL 13, 1994.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL SHEET 2 AND SETTING THE SOIL TO KEEP IT FROM BLOWING.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- BOULDERS, GREATER THAN 3 FEET IN DIAMETER, EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. (WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.)

LEGEND

- PROPOSED DRAINAGE WALL
- PROPOSED RETAINING WALL
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- DIRECTION OF FLOW

EROSION CONTROL PLAN
NO SCALE

A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT.

Bohannon & Haston
Consulting Engineers 7500 HILFERTSON NE ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

**SONTERRA SUBDIVISION - VENTANA RANCH TRACT 5
FINAL GRADING PLAN**

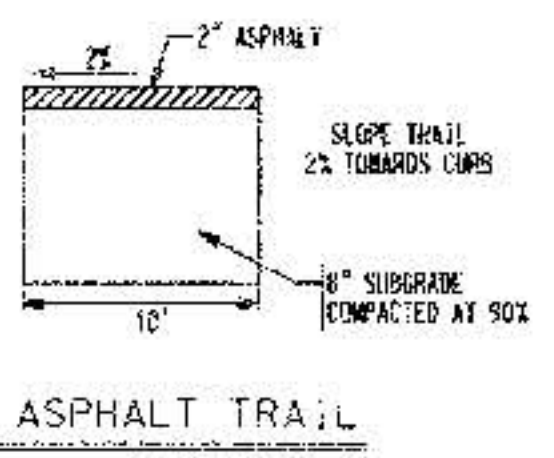
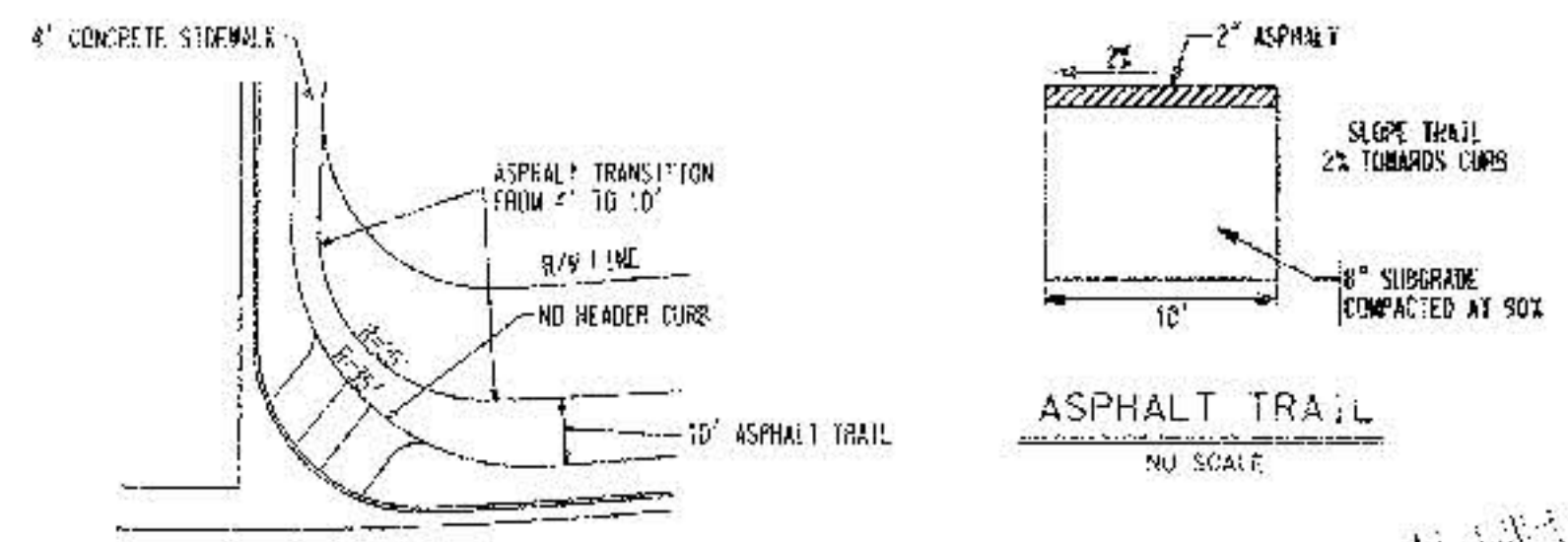
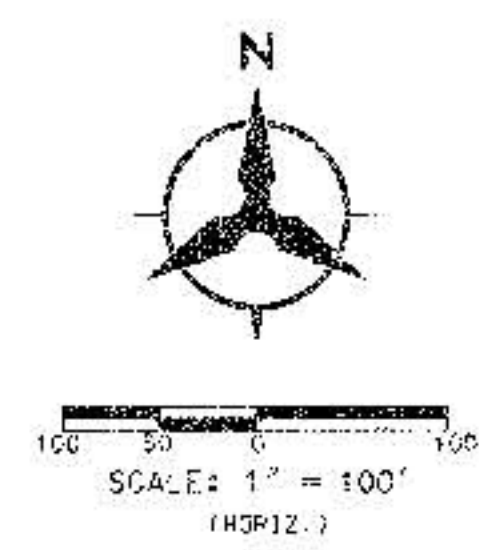
DESIGN REVIEW BOARD NO. 97-510 APPROVAL DATE 5/19/98

CITY PROJECT NO. 5923.81 ZONE MAP NO. B-9 SHEET 26 OF 26

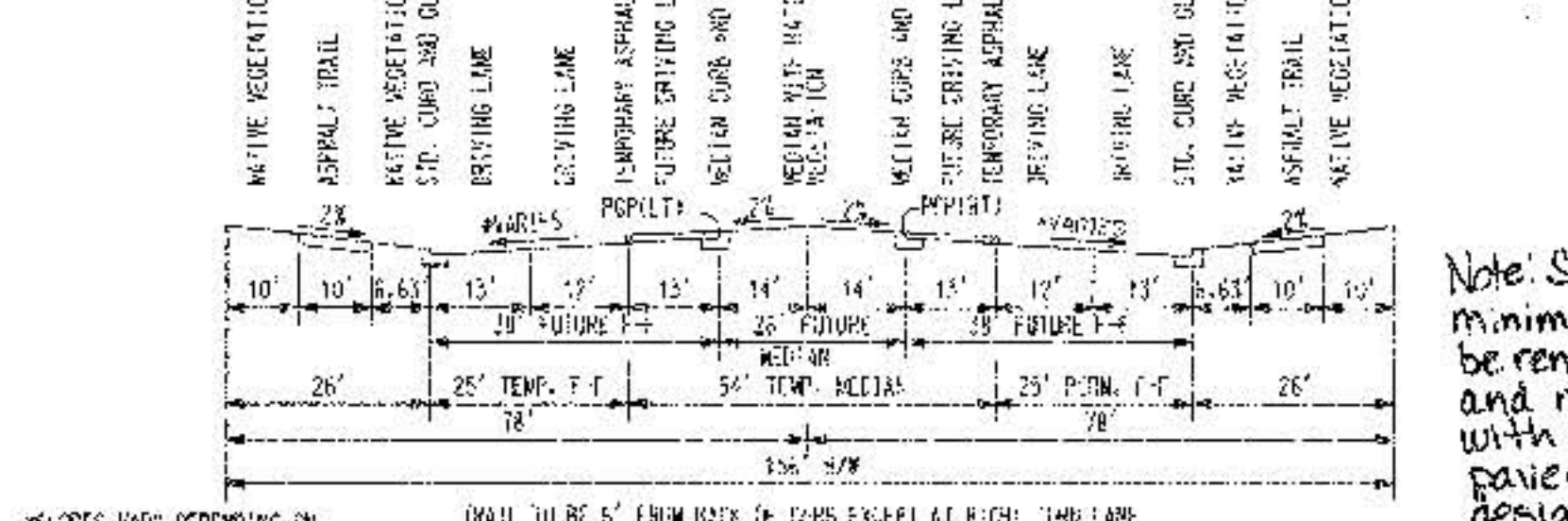
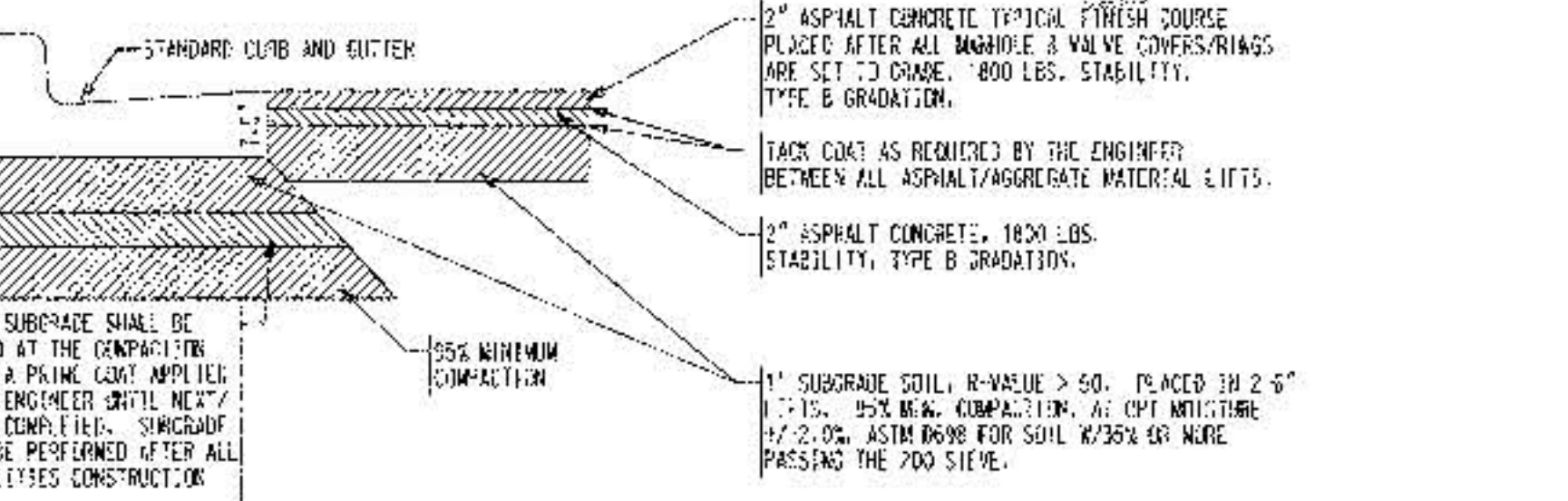
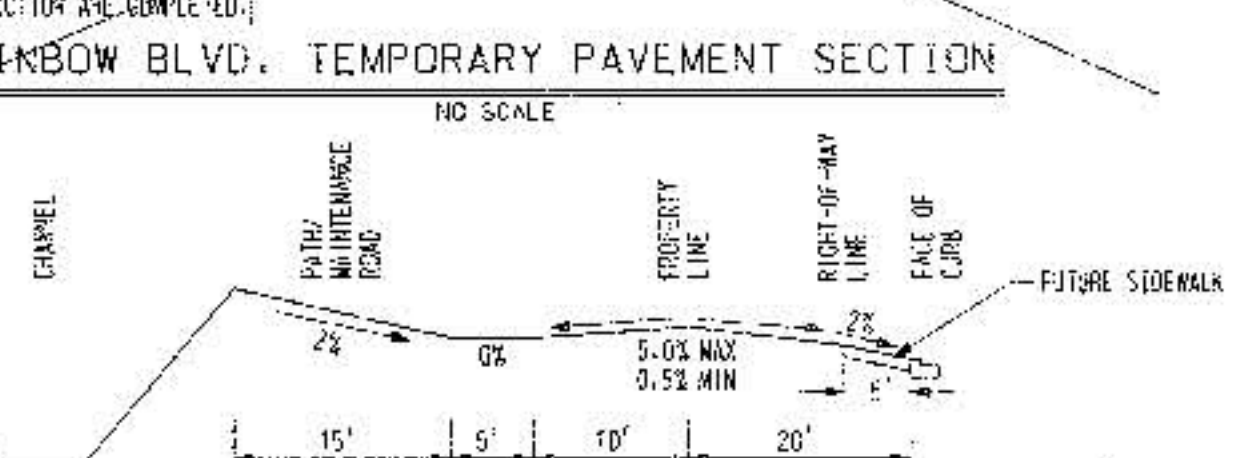
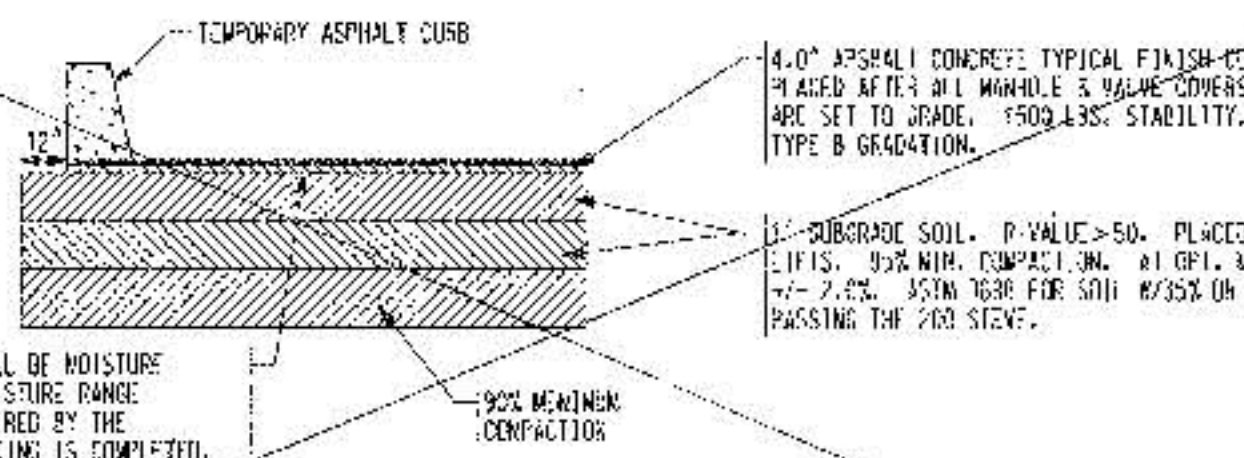
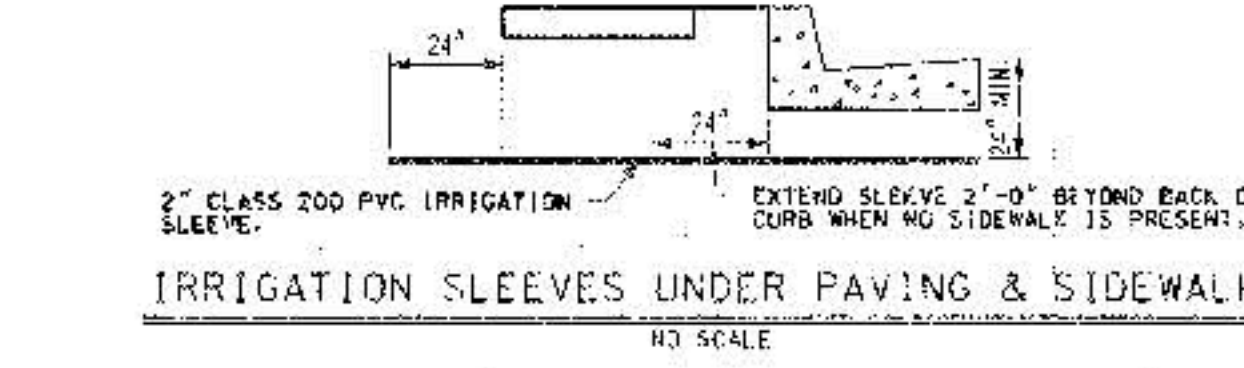
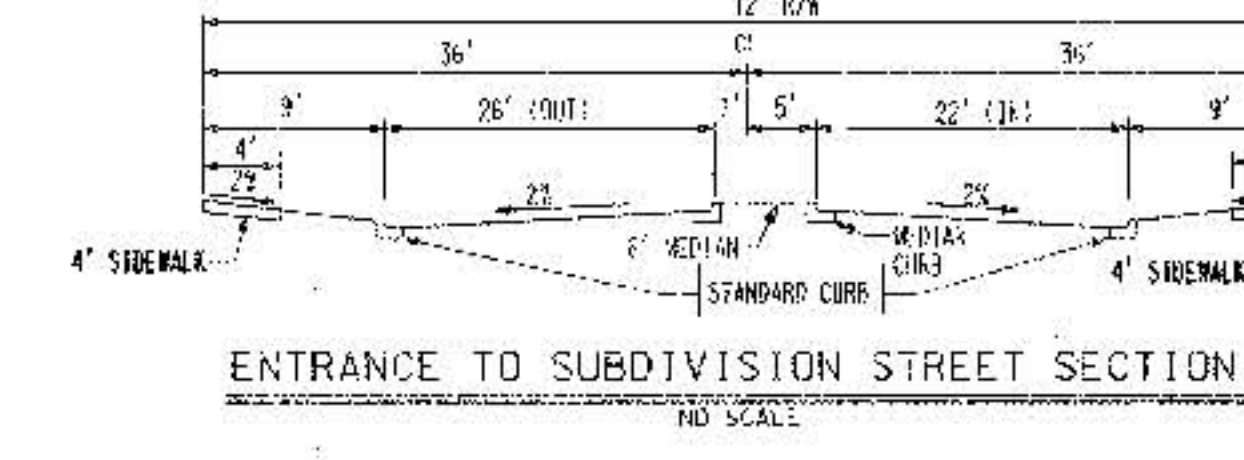
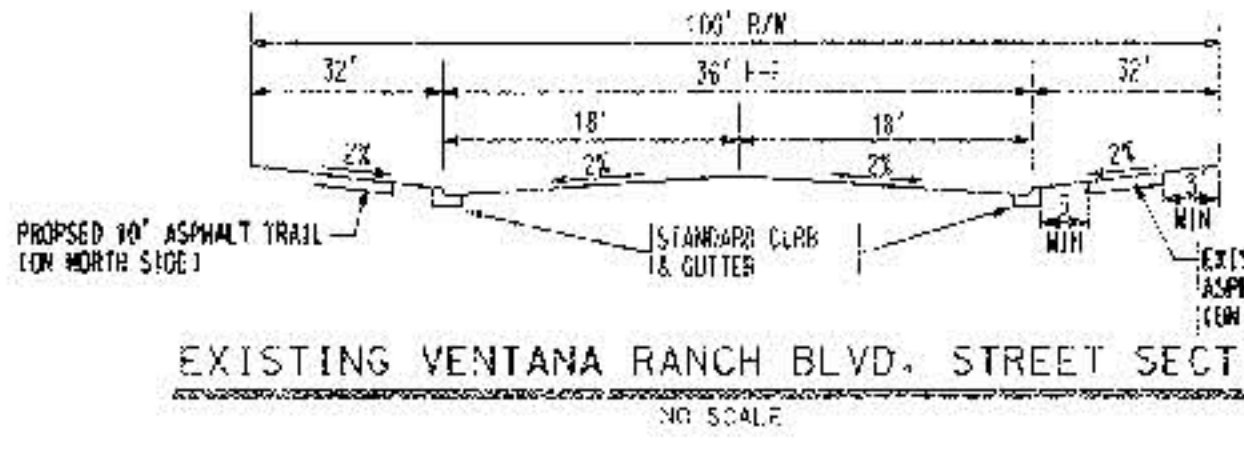
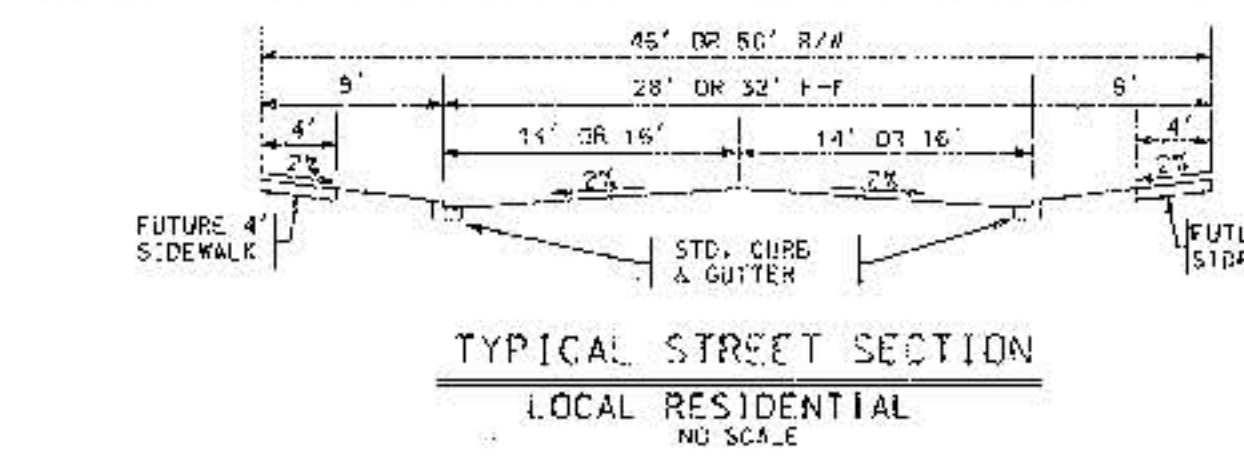
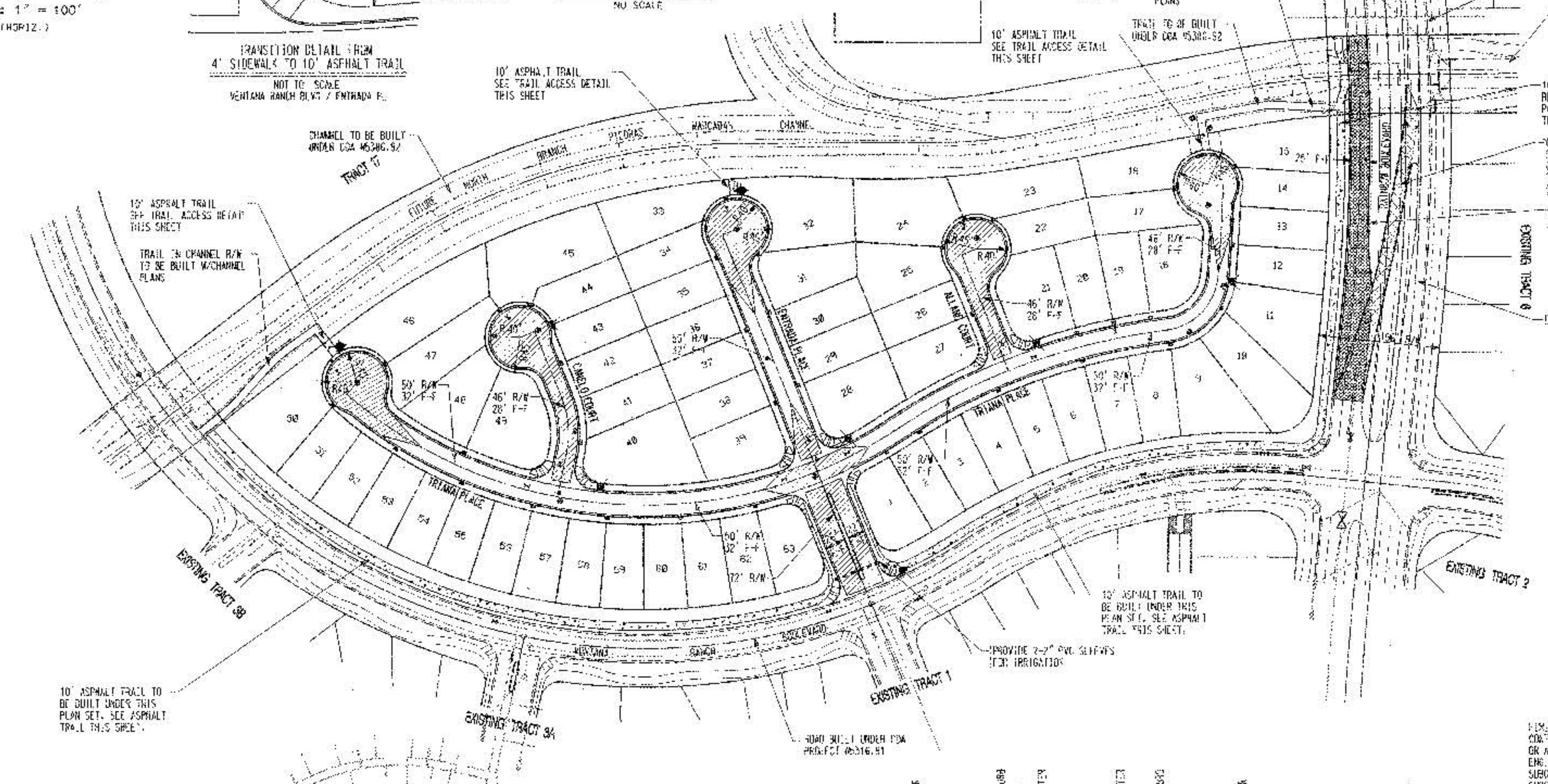
REVISIONS

NO.	DATE	REMARKS
1	4/27/99	DESIGN
2	4/27/99	REVISIONS
3	4/27/99	DESIGN

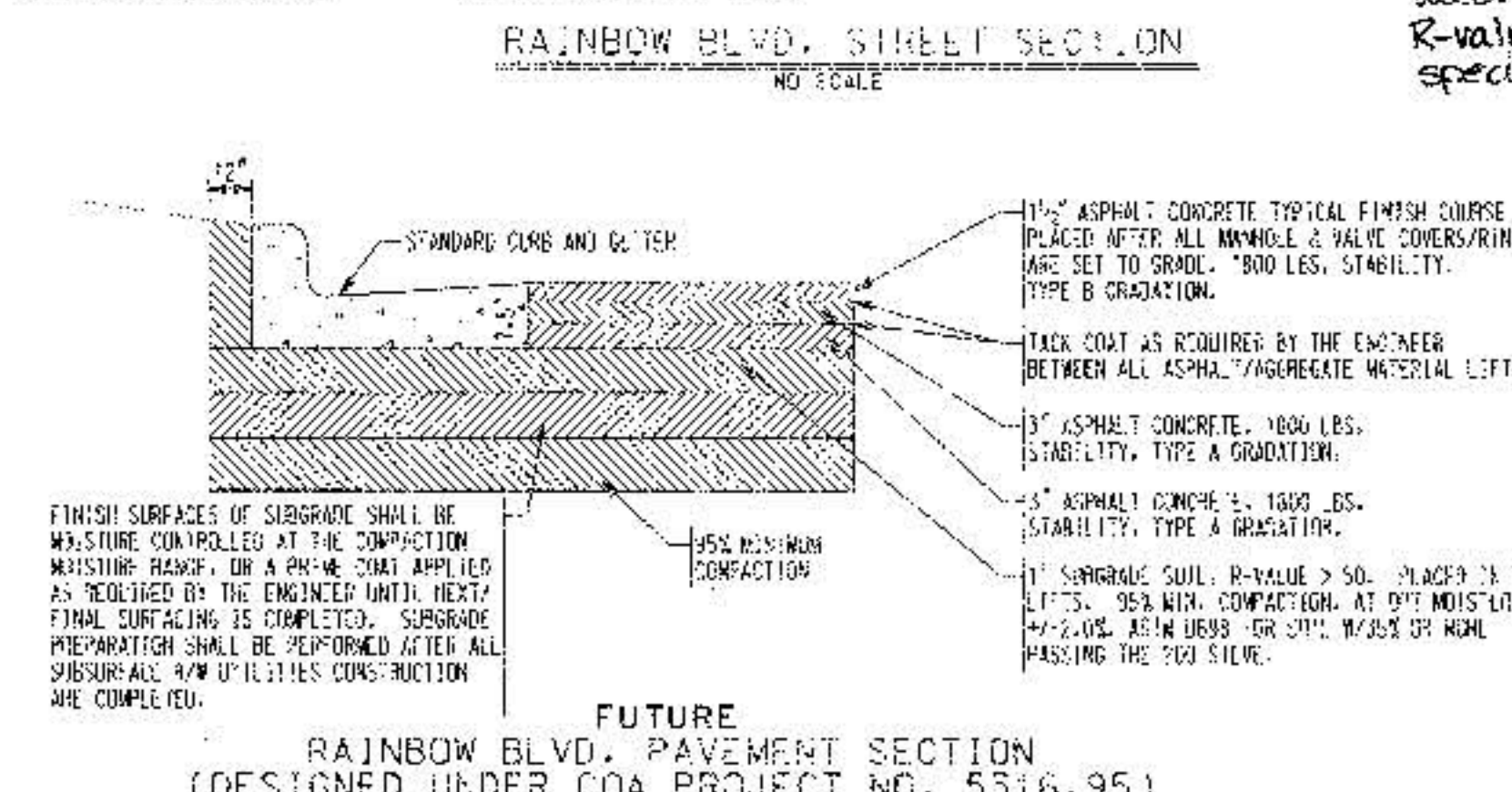
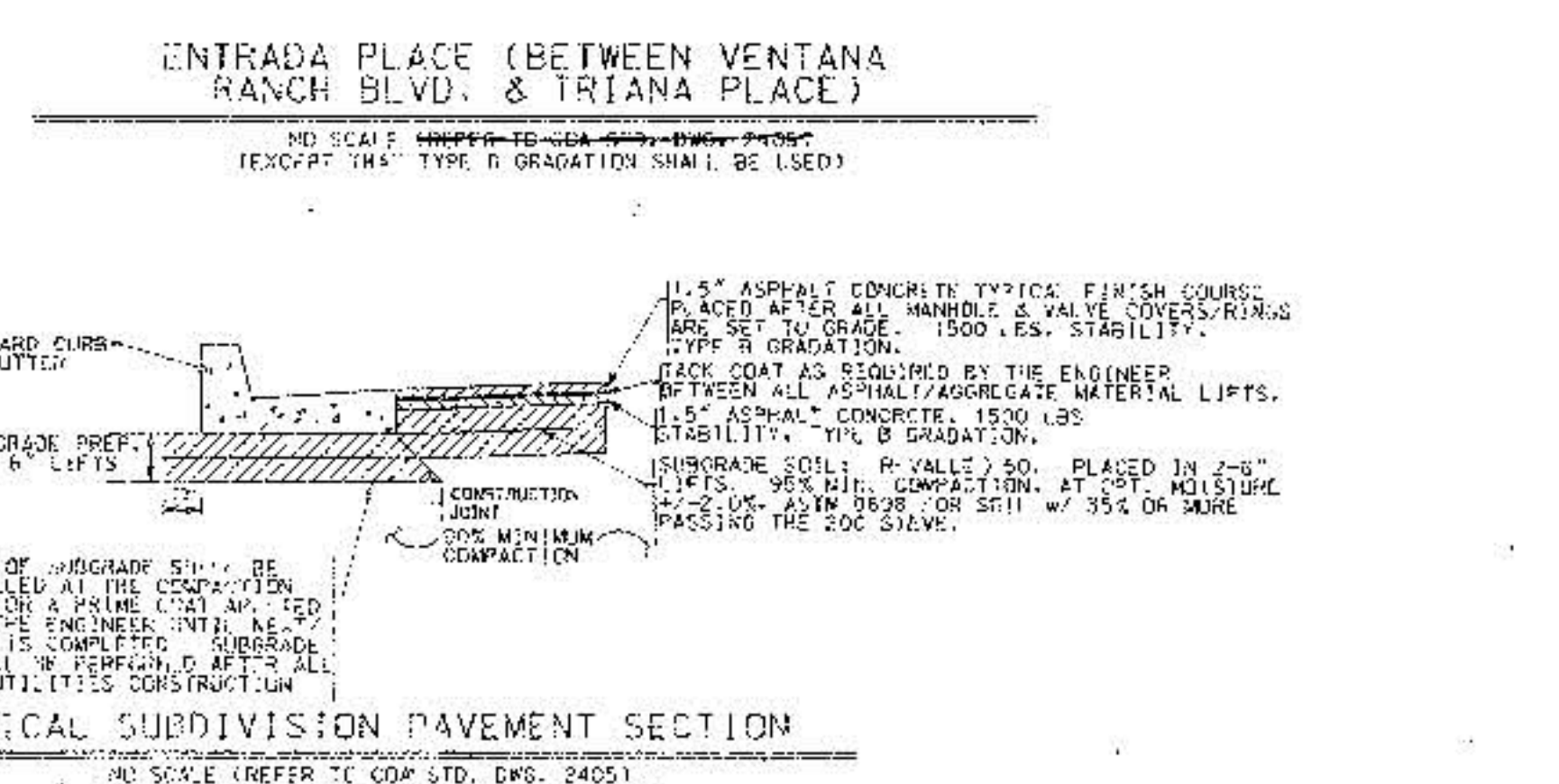
DESIGNER: JMS
DRAWN BY: JMS
CHECKED BY: JMS



NOTE: 10' TRAIL PATTERN AREA TO BE BUILT UNDER THIS PROJECT



Note: Soil not having the minimum R-value of 50, shall be removed to a depth of 2 feet and replaced, by the contractor, with suitable material or a pavement section shall be designed by the consultant accommodating the existing R-value per COA standard specifications.



- LEGEND
- PROPOSED CURB AND CUTTER
 - EXISTING CURB AND CUTTER
 - FUTURE CURB AND CUTTER
 - PROPOSED SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED FIRE HYDRANT
 - PROPOSED GATE VALVE
 - EXISTING GATE VALVE
 - PROPOSED STREET LIGHT
 - 10' ASPHALT TRAIL

Bohannon & Heston
7500 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

SONTERRA SUBDIVISION - VENTANA RANCH TRACT 5
OVERALL PAVING PLAN

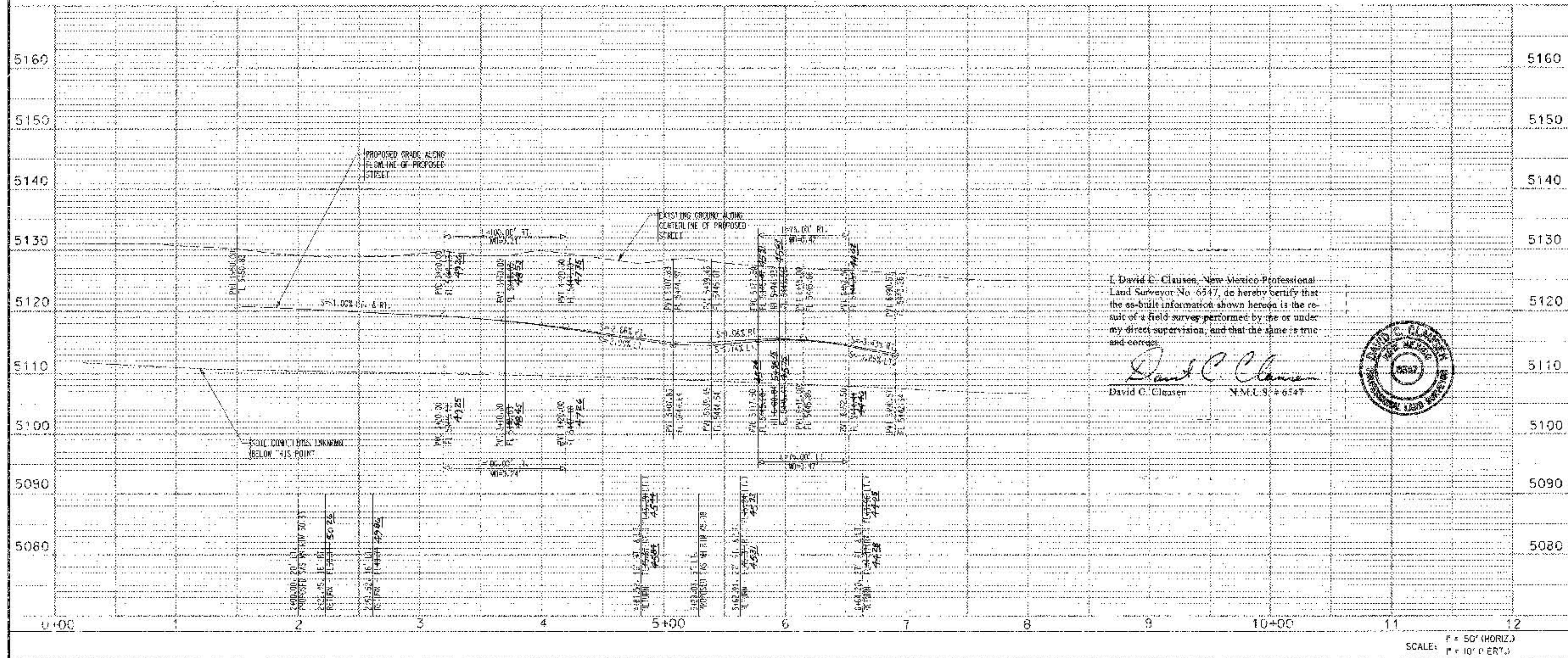
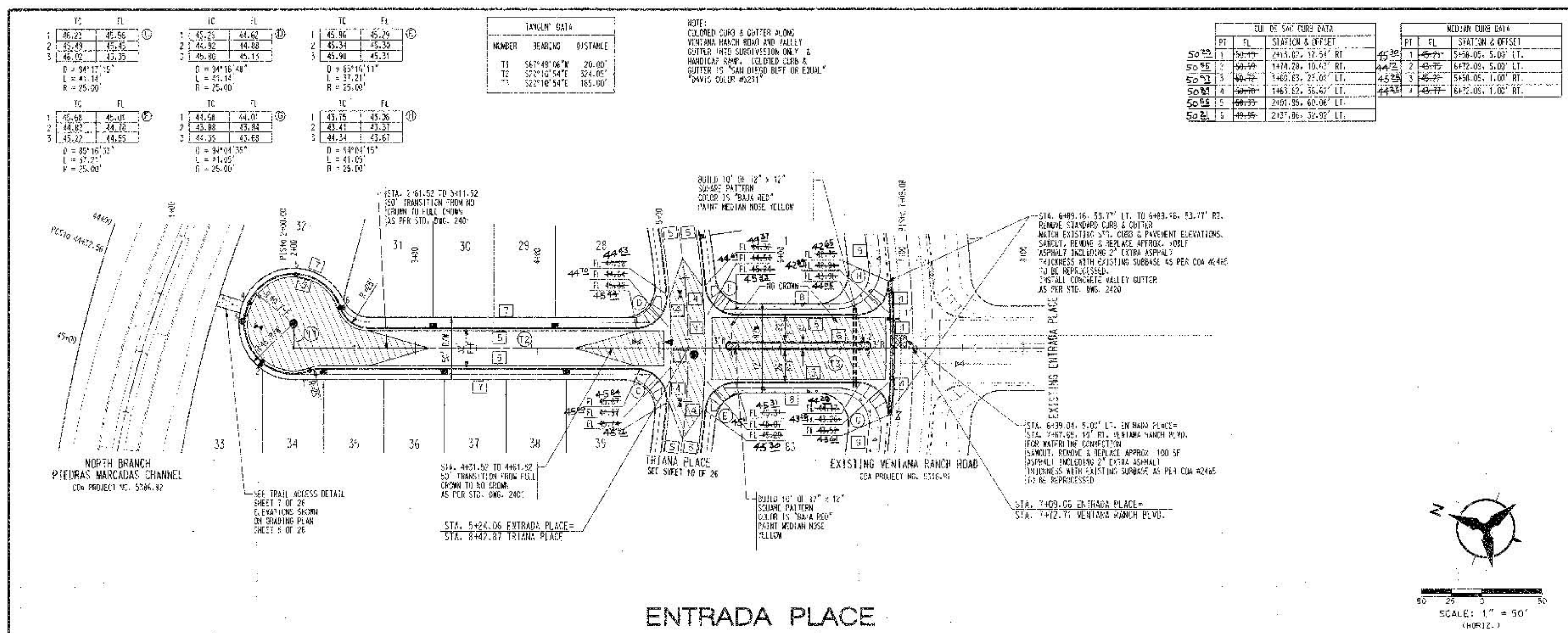
DESIGNED BY: JS
DRAWN BY: MKC/BJC
CHECKED BY: KJD

DATE: 5/98
DATE: 5/98
DATE: 5/98

CITY PROJECT NO. 5323.81
ZONE MAP NO. B-9
SHEET 7 OF 26

LAST DESIGN UPDATE: []
CITY ENGINEER APPROVAL: []
DATE: MAY, 1998

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACCS	SHADES	TRAIL	STAMPED	NO.	BY	DATE	NO.
STAKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
MADE BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
REVISIONS	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DRAWN BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CHECKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE



NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURB RETURN RADIUS SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
- ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND LMD AT THE END OF EACH SANITARY SEWER SERVICE.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
- ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
- CONTRACTOR SHALL PROVIDE THE INSPECTOR (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
- CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
- ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANSKAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER CCA STD. DWG. 2415 (SAWCUT ONLY).
- WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

KEYED GENERAL NOTES

- INSTALL CONCRETE VALLEY GUTTER AS PER STD. DWG. 2420
- INSTALL CONCRETE VALLEY GUTTER AS PER STD. DWG. 2421
- INSTALL WHEELCHAIR RAMP AS PER STD. DWG. 2415, CASE 1
- INSTALL WHEELCHAIR RAMP AS PER STD. DWG. 2415, CASE 11 WITH ALTERNATE SECTION A
- STD. CURB & GUTTER AS PER STD. DWG. 2415
- MEDIAN CURB & GUTTER AS PER STD. DWG. 2415
- FUTURE 4' SIDEWALK
- BUILD 4' SIDEWALK
- BUILD 10' ASPHALT TRAIL

David C. Clausen
David C. Clausen
N.M.C.S. # 6147

Behanahan & Houston
Courtney One 7500 JEFFERSON NE, Albuquerque, NEW MEXICO 87109

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

SONTERA SUBDIVISION - VENTANA RANCH TRACT
PAVING PLAN & PROFILE
ENTRADA PLACE

DESIGNED BY JS
DRAWN BY MKC/BUG
CHECKED BY KJ

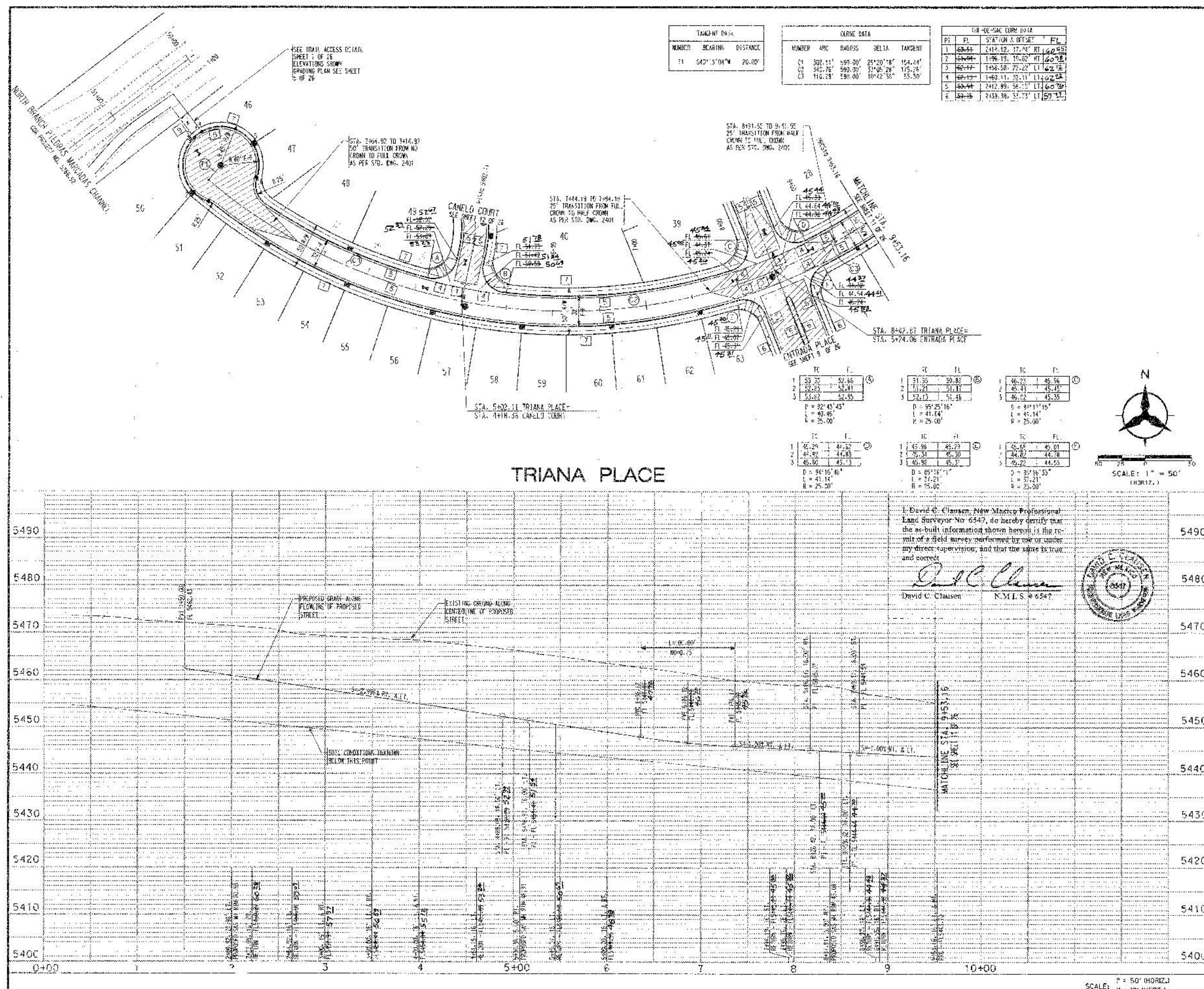
DATE 5/98
DATE 5/98
DATE 5/98

NO. DATE
REVISIONS
DESIGN

SCALE: 1" = 50' (HORIZ.)
SCALE: 1" = 10' (VERT.)

CITY PROJECT NO. 5923.81
ZONE MAP NO. B-9
SHEET 9
OF 26

DATE: MAY, 1998

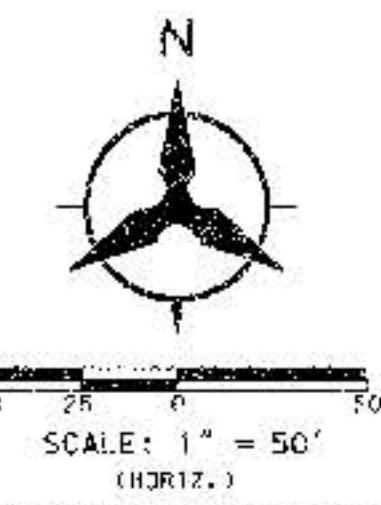


TANGENT DATA		
NUMBER	BEARING	DISTANCE
11	S42° 5' 04" W	20.00'

CURVE DATA				
NUMBER	APC	RADIUS	DELTA	TANGENT
1	302.11'	590.00'	25° 20' 18"	154.44'
2	340.76'	590.00'	31° 06' 28"	175.24'
3	110.29'	590.00'	10° 22' 36"	55.30'

SUB-DE-SAC CURVE DATA			
PI	FL	STATION & OFFSET	FL
1	59.54	2414.12, 17.43' RT	60.58
2	64.44	1496.19, 10.62' RT	60.98
3	68.17	1496.58, 22.22' LT	62.12
4	69.17	1460.11, 22.11' LT	62.22
5	69.17	2412.89, 58.25' LT	60.70
6	59.16	2439.38, 32.73' LT	59.71

- NOTES
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURB RETURN RADIUS SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
 3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 4. GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FIDLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
 5. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
 6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 8. CONTRACTOR SHALL PROVIDE THE INSPECTORS (CITY AND PRIVATE) WITH THE PROPOSED HYDROLOGIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
 9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC., DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 11. REMOVAL OF THE EXISTING CURB AND CUTTER SHALL BE AS PER STD. DWG. 2415 (SAWCUT ONLY).
 12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.



I, David C. Clausen, New Mexico Professional Land Surveyor No. 6347, do hereby certify that the as-built information shown herein is the result of a field survey performed by me or under my direct supervision, and that the same is true and correct.

David C. Clausen
David C. Clausen NMLS # 6347



- KEYED GENERAL NOTES
1. INSTALL CONCRETE VALLEY CUTTER AS PER STD. DWG. 2420
 2. INSTALL CONCRETE VALLEY CUTTER AS PER STD. DWG. 2421
 3. INSTALL WHEELCHAIR RAMP AS PER STD. DWG. 2441, CASE 1
 4. INSTALL WHEELCHAIR RAMP AS PER STD. DWG. 2441, CASE 1 WITH ALTERNATE SECT. ON 2A
 5. STD. CURB & GUTTER AS PER STD. DWG. 2415
 6. MEDIAN CURB & GUTTER AS PER STD. DWG. 2415
 7. FUTURE 4' SIDEWALK
 8. BUILD 4' SIDEWALK
 9. 10' ASPHALT TRAIL

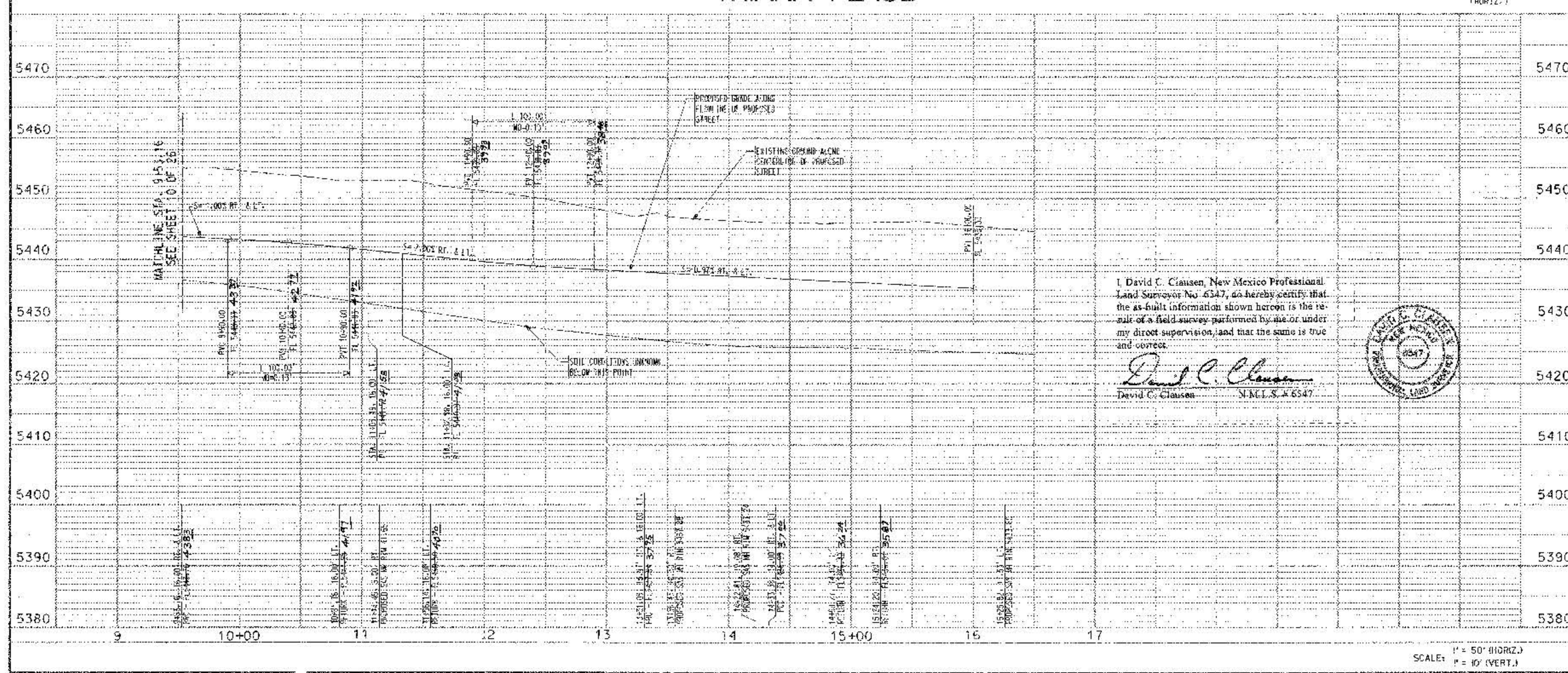
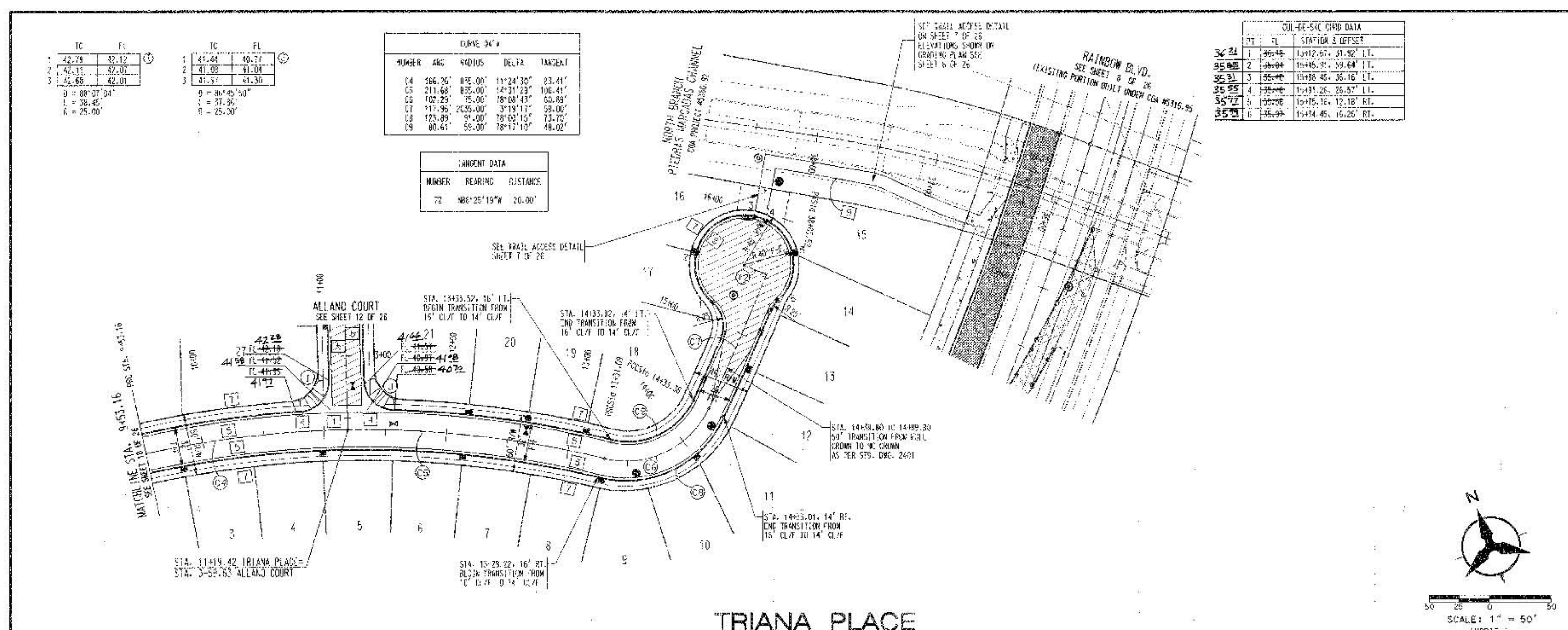
Bohannon & Hoston
Courtney One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

SONTERA SUBDIVISION - VENTANA RANCH TRACT 5
PAVING PLAN & PROFILE
TRIANA PLACE STA. 1+00 TO STA. 9+53.16

REVISIONS		NO.	DATE	REMARKS
1	5/98	DATE	5/98	DESIGN
2	5/98	DATE	5/98	REVISIONS
3	5/98	DATE	5/98	DESIGN

ENGINEER'S SEAL SURVEY INFORMATION		NO.	DATE	REMARKS
1	5/98	DATE	5/98	DESIGN
2	5/98	DATE	5/98	REVISIONS
3	5/98	DATE	5/98	DESIGN



NOTES

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- REMOVAL OF THE EXISTING CURB AND CUTTER SHALL BE AS PER CDA STD. DWG. 24-5 (SAWCUT ONLY).
- WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & CUTTER.

KEYED GENERAL NOTES

- INSTALL CONCRETE VALLEY GUTTER AS PER STD. DWG. 24-0
- INSTALL CONCRETE VALLEY GUTTER AS PER STD. DWG. 24-1
- INSTALL WHEELCHAIR RAMP AS PER STD. DWG. 24-1, CASE I
- INSTALL WHEELCHAIR RAMP AS PER STD. DWG. 24-1, CASE II WITH ALTERNATE SECTION AA
- STD. CURBS & CUTTER AS PER STD. DWG. 24-5
- MEDIAN CURB & CUTTER AS PER STD. DWG. 24-5
- FUTURE 4' SIDEWALK
- BUILD 4' SIDEWALK
- 10' ASPHALT TRAIL

Bohannon & Huston

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ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

SONTERRA SUBDIVISION - VENTANA RANCH TRACT 5
PAVING PLAN & PROFILE
TRIANA PLACE STA. 9+50.00 TO STA. 16+28.91

DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
MO. 2/28/99
MO. 2/28/99

DESIGN
LAST DESIGN UPDATE
DATE: 5/98
DATE: 5/98
DATE: 5/98

DESIGNED BY JS
DRAWN BY MCB/JG
CHECKED BY KLD

CITY PROJECT NO. 5923.31
ZONE MAP NO. B-9
SHEET 11
OF 26

SCALE: 1" = 50' (HORIZ.)
1" = 10' (VERT.)

DATE: 5/98

DATE: 5/98

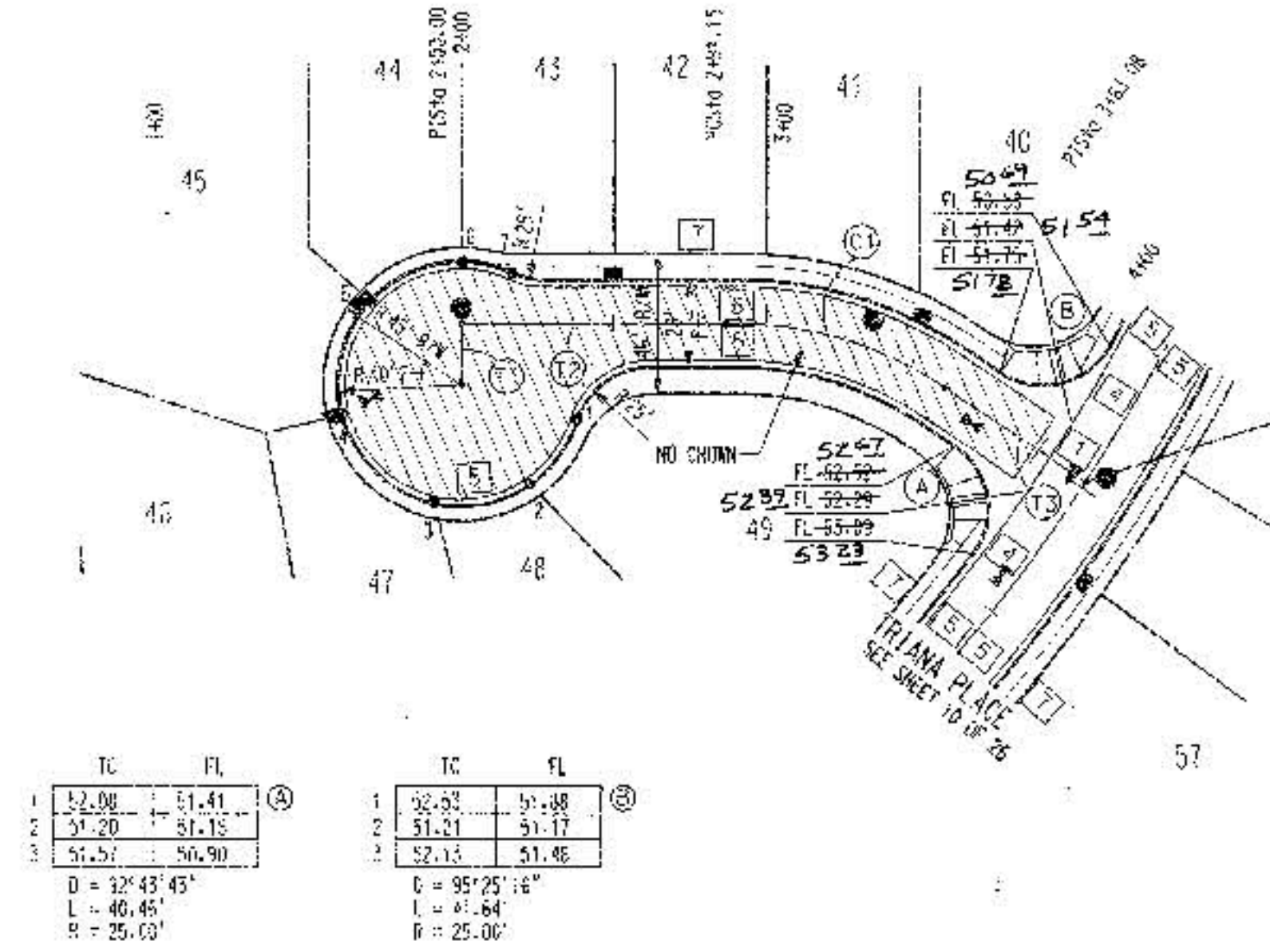
DATE: 5/98

ST	STATION & OFFSET
1	54.07 2438.25, 31.34' RT.
2	54.26 2422.81, 32.80' RT.
3	54.65 1491.22, 35.07' RT.
4	55.02 1461.26, 29.90' RT.
5	54.81 1470.30, 6.89' LT.
6	54.75 2400.45, 20.00' LT.
7	53.60 2416.79, 16.3' LT.

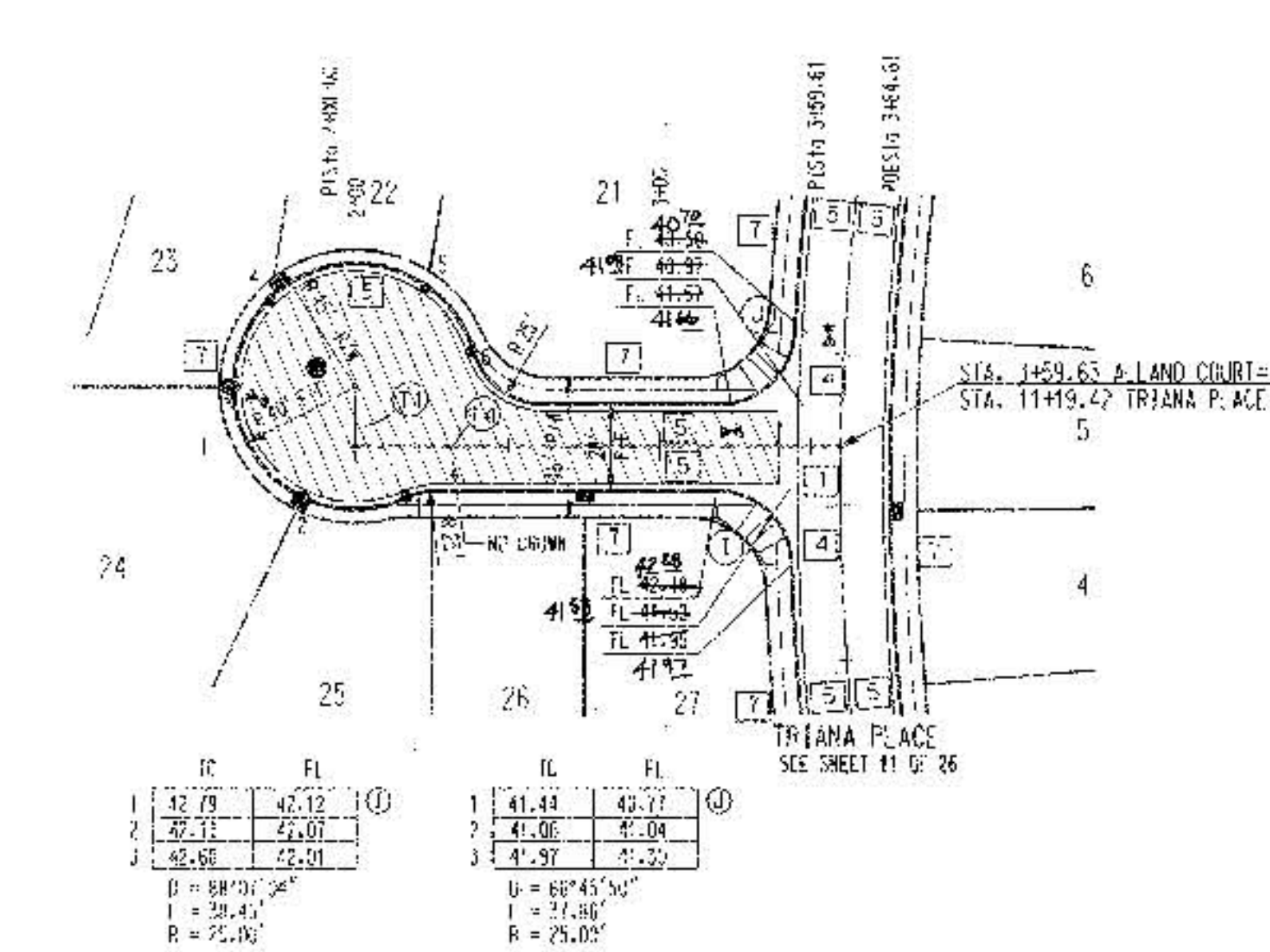
NUMBER	ARC	RADIUS	DELTA	TANGENT
C1	11.93'	120.00'	34°20'40"	31.08'

NUMBER	BEARING	DISTANCE
T1	S67°48'06"W	70.30'
T2	S27°10'54"E	91.16'
T3	S72°08'45"W	55.30'
T4	S22°10'14"E	159.63'

ST	STATION & OFFSET
1	44.69 2416.79, 16.3' RT.
2	46.50 1492.12, 15.08' RT.
3	46.71 1480.00, 20.00' LT.
4	46.35 1411.21, 40.31' LT.
5	44.77 2423.47, 32.38' LT.
6	45.44 2388.26, 37.80' LT.



CANELO COURT

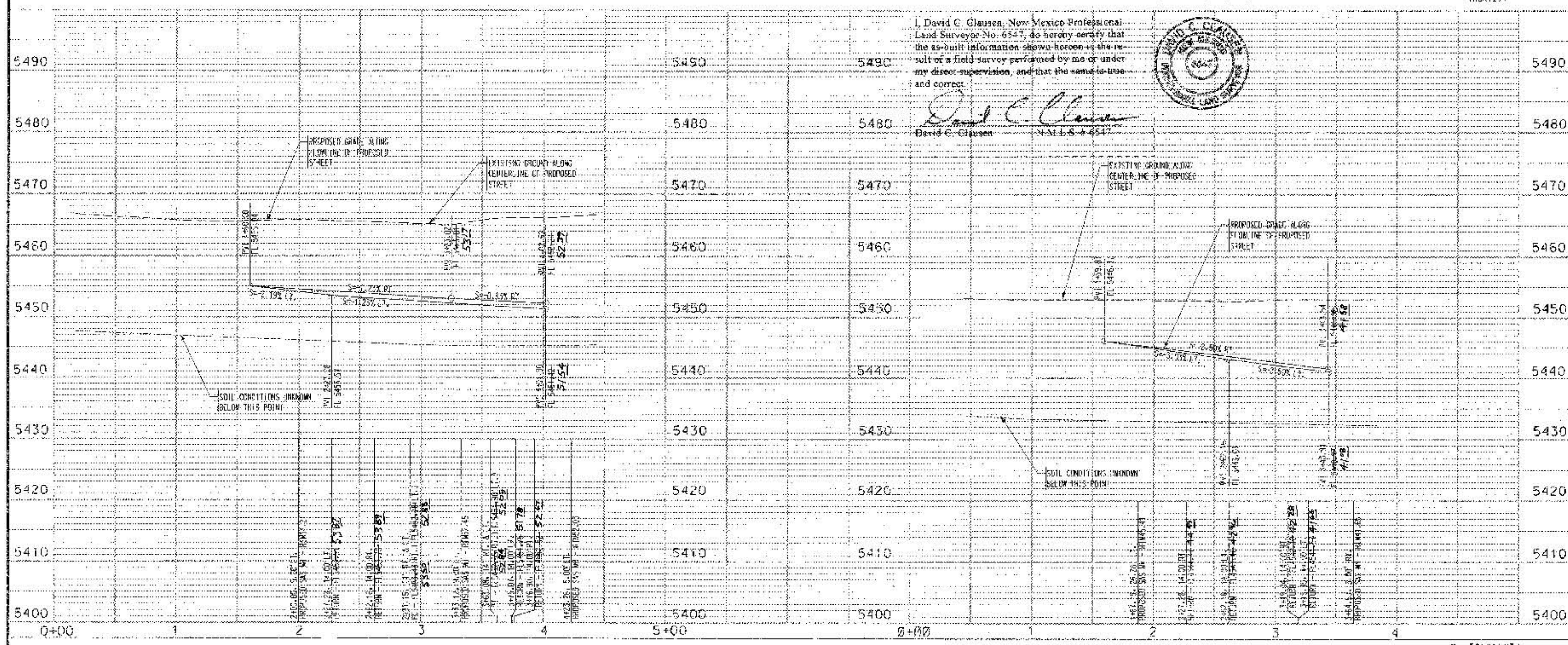


ALLANO COURT

- NOTES
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
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 11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER CDA STD. DWG. 2415 (SAWCUT ONLY).
 12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.



SCALE: 1" = 50'



I, David C. Clausen, New Mexico Professional Land Surveyor No. 6547, do hereby certify that the as-built information shown herein is the result of a field survey performed by me or under my direct supervision, and that the same is true and correct.

David C. Clausen
David C. Clausen
N.M.L.S. # 6547

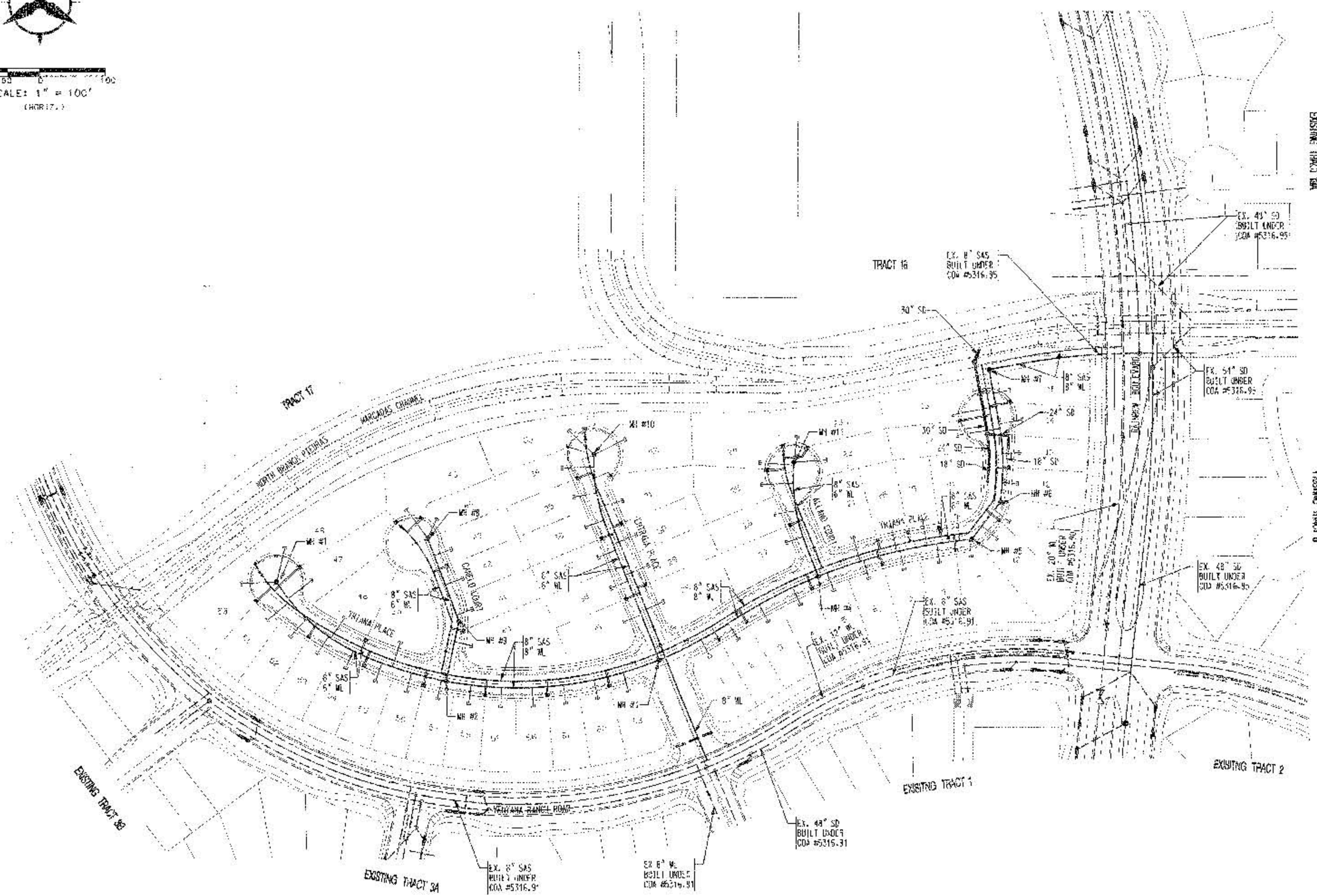
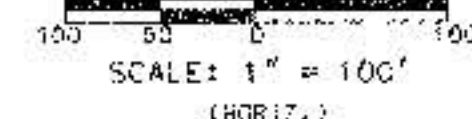


- KEYED GENERAL NOTES
1. INSTALL CONCRETE VALLEY GUTTER AS PER STD. DWG. 2420
 2. INSTALL CONCRETE VALLEY GUTTER AS PER STD. DWG. 2421
 3. INSTALL WHEELCHAIR RAMP AS PER STD. DWG. 2441, CASE 1
 4. INSTALL WHEELCHAIR RAMP AS PER STD. DWG. 2441, CASE 1 WITH ALTERNATE SECTION AA
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 7. FUTURE 4' SIDEWALK
 8. BUILD 4' SIDEWALK
 9. 10' ASPHALT TRAIL

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 Courtyard One 7500 JEFFERSON NE. Albuquerque, NEW MEXICO 87109
 ENGINEERS PLUMBERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

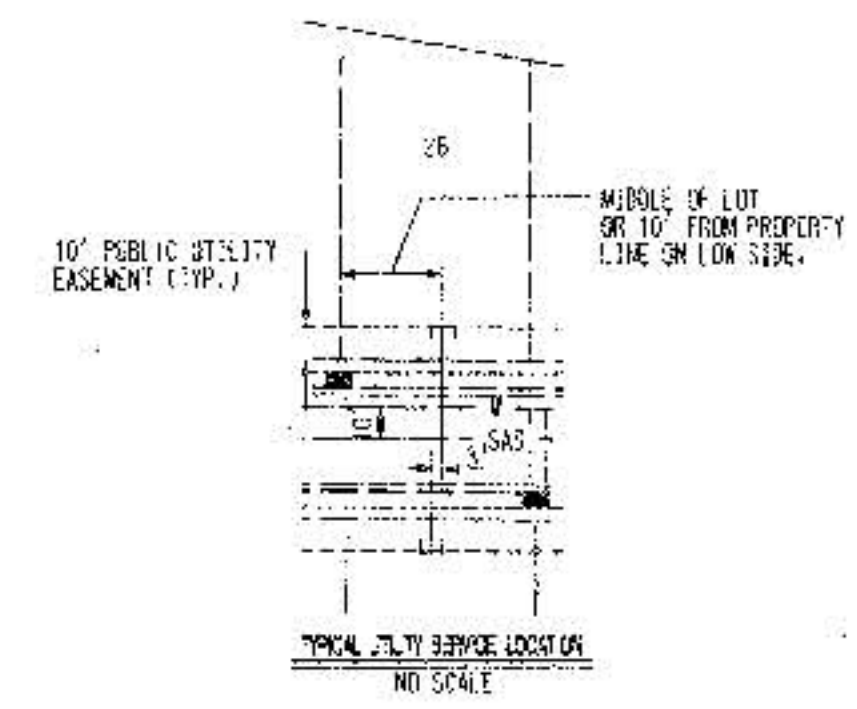
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
SONTERRA SUBDIVISION - VENTANA RANCH TRACT 5
 PAVING PLAN & PROFILE
 CANELO COURT / ALLANO COURT

CITY PROJECT NO.	5923.81	ZONE MAP NO.	B-9	SHEET	12	OF	26
DESIGNED BY	J.S.	CHECKED BY	KLB	DATE	5/98	DATE	5/98
DRAWN BY	MKC/HUG	DATE	5/98	DATE	5/98	DATE	5/98
REVISIONS	NO. DATE BY 1 5/98 J.S. 2 5/98 J.S. 3 5/98 J.S. 4 5/98 J.S. 5 5/98 J.S. 6 5/98 J.S. 7 5/98 J.S. 8 5/98 J.S. 9 5/98 J.S.						
LAST DESIGN UPDATE	CITY ENGINEER APPROVAL DATE: 5/98						



LEGEND

PROPOSED SANITARY SEWER MANHOLE	
EXISTING SANITARY SEWER MANHOLE	
PROPOSED FIRE HYDRANT	
EXISTING FIRE HYDRANT	
PROPOSED GATE VALVE	
EXISTING GATE VALVE	
PROPOSED SANITARY SEWER LINE	
EXISTING SANITARY SEWER LINE	
PROPOSED WATER LINE	
EXISTING WATER LINE	
PROPOSED SANITARY SEWER SERVICE	
PROPOSED WATER SERVICE	



APPROVED  6-25-98 DATE

Behrman & Huston

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GR

SONTERRA SUBDIVISION - VENTANA
OVERALL
UTILITY PLAN

DESIGN REVIEW COMPLETE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE
CITY PROJECT NO.	5923.81	ZONE MAP NO. B-0

COPIES: 10
DATE: MAY, 1993

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
FIELD NOTES					
NO.	BY	DATE	"1-B" 10"	CONTRACTOR	
			GEOGRAPHIC POSITION (HAD 1927)	ORDERED BY	
			N-M. STATE PLANE COORDINATES	NOTED BY	
			CENTRAL ZONE X=357,526.69	FIELD NO. USA BY	
			Y=1525,188.35	DATE	
			GROUND-TO-GRID FACTOR = .9996640	ORDERED BY	
			DELTA AL 544 = -20' 16.50"	DATE	
			NOV 1929 ELEVATION = 5419.822	BY	

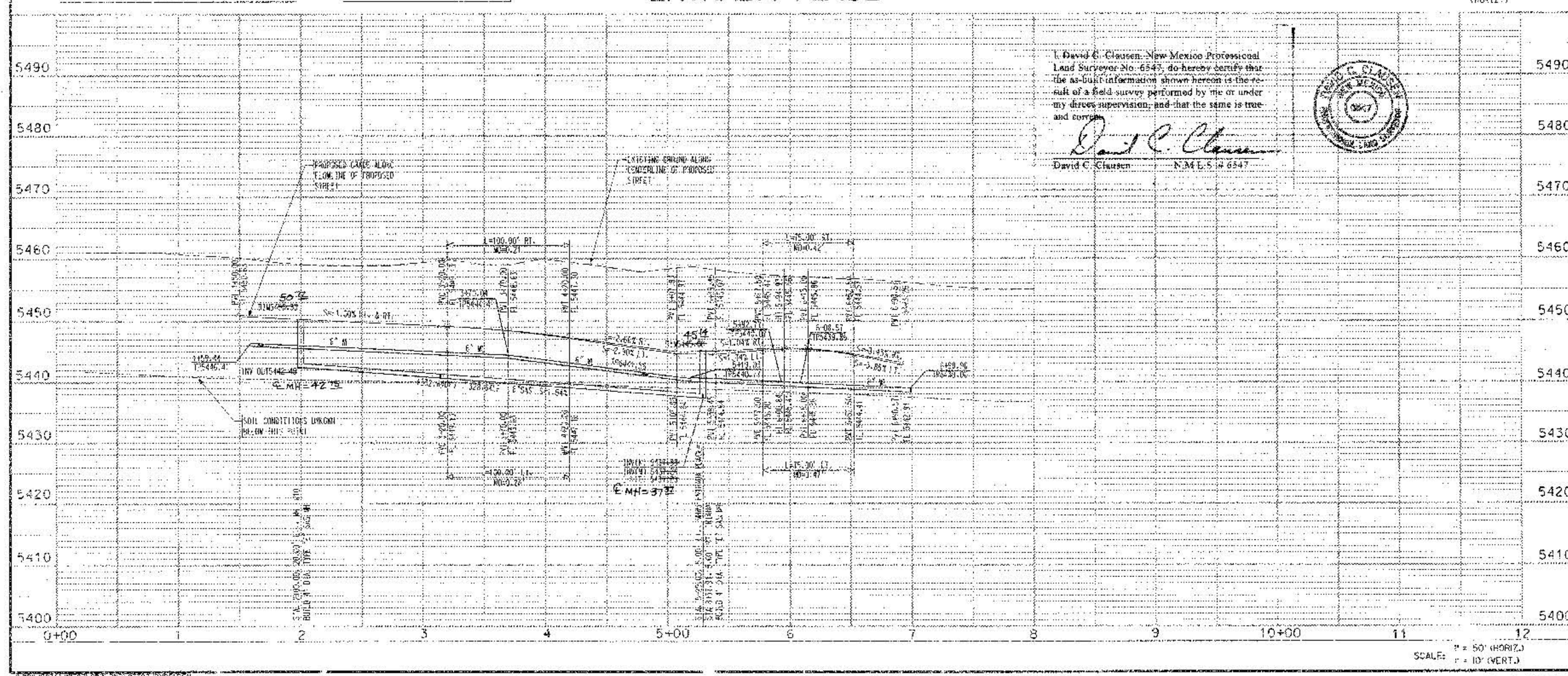
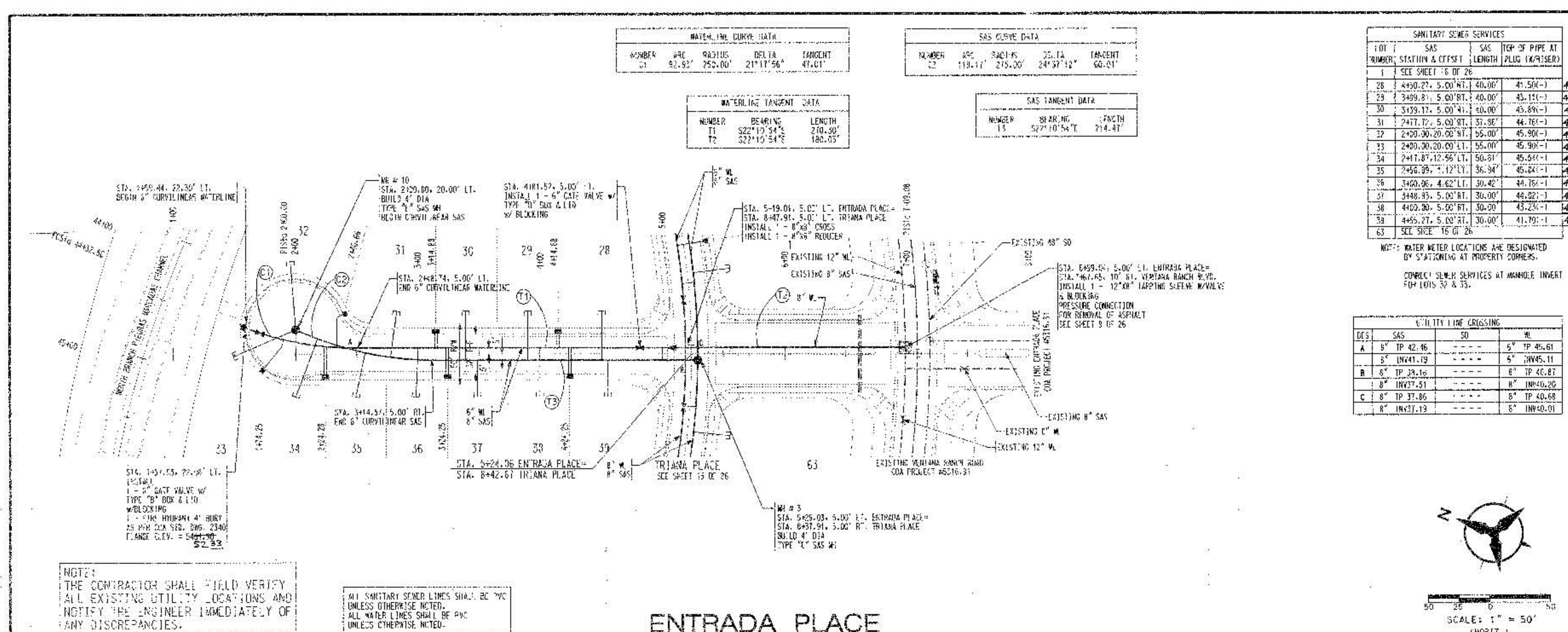
[illegible]

CUP

A RANCH TRACT 5

	WG./DAY/YR.	WG./DAY/YR.

G. SHEET OF
13 26



NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURB RETURN RAIL SHALL BE 20" UNLESS OTHERWISE SPECIFIED.
- ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
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AS-BUILT INFORMATION

CONTRACT OF SEWERING CONST. C-2

DESIGNED BY: SPARKLING CONST.

DATE: 5/98

BY: [Signature]

NO. DATE

REMARKS

REVISIONS

DESIGN

DESIGNED BY: JS

DRAWN BY: MKC/BJC

CHECKED BY: KLD

DATE: 5/98

DATE: 5/98

DATE: 5/98

ENGINEER'S SEAL SURVEY INFORMATION

FIELD NOTES

NO. DATE

REMARKS

REVISIONS

DESIGN

DESIGNED BY: JS

DRAWN BY: MKC/BJC

CHECKED BY: KLD

DATE: 5/98

DATE: 5/98

DATE: 5/98

ENTRADA PLACE

SCALE: 1" = 50'

(HORIZ.)

SCALE: 1" = 10'

(VERT.)

5923.81

B-9

14

26

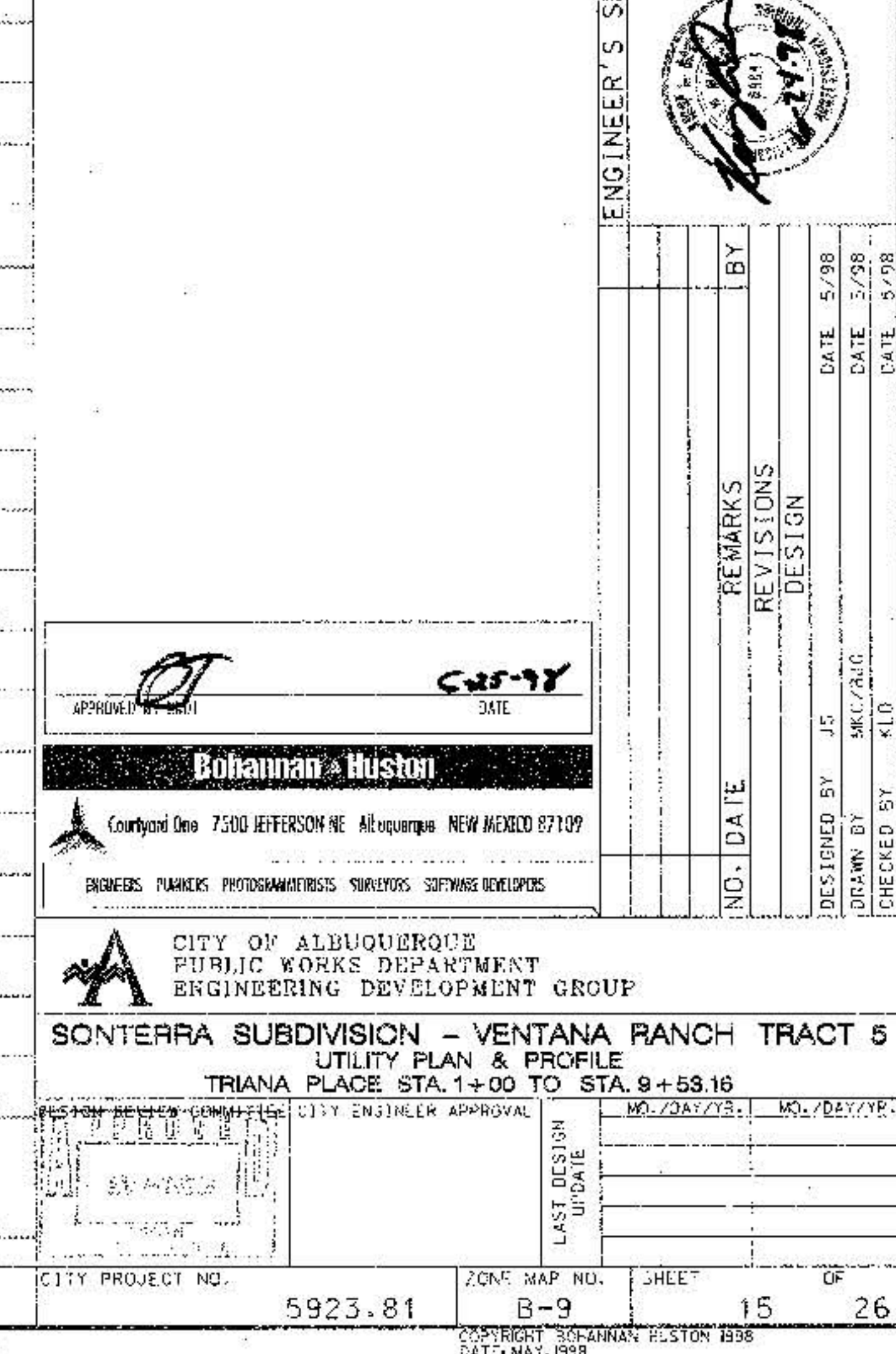
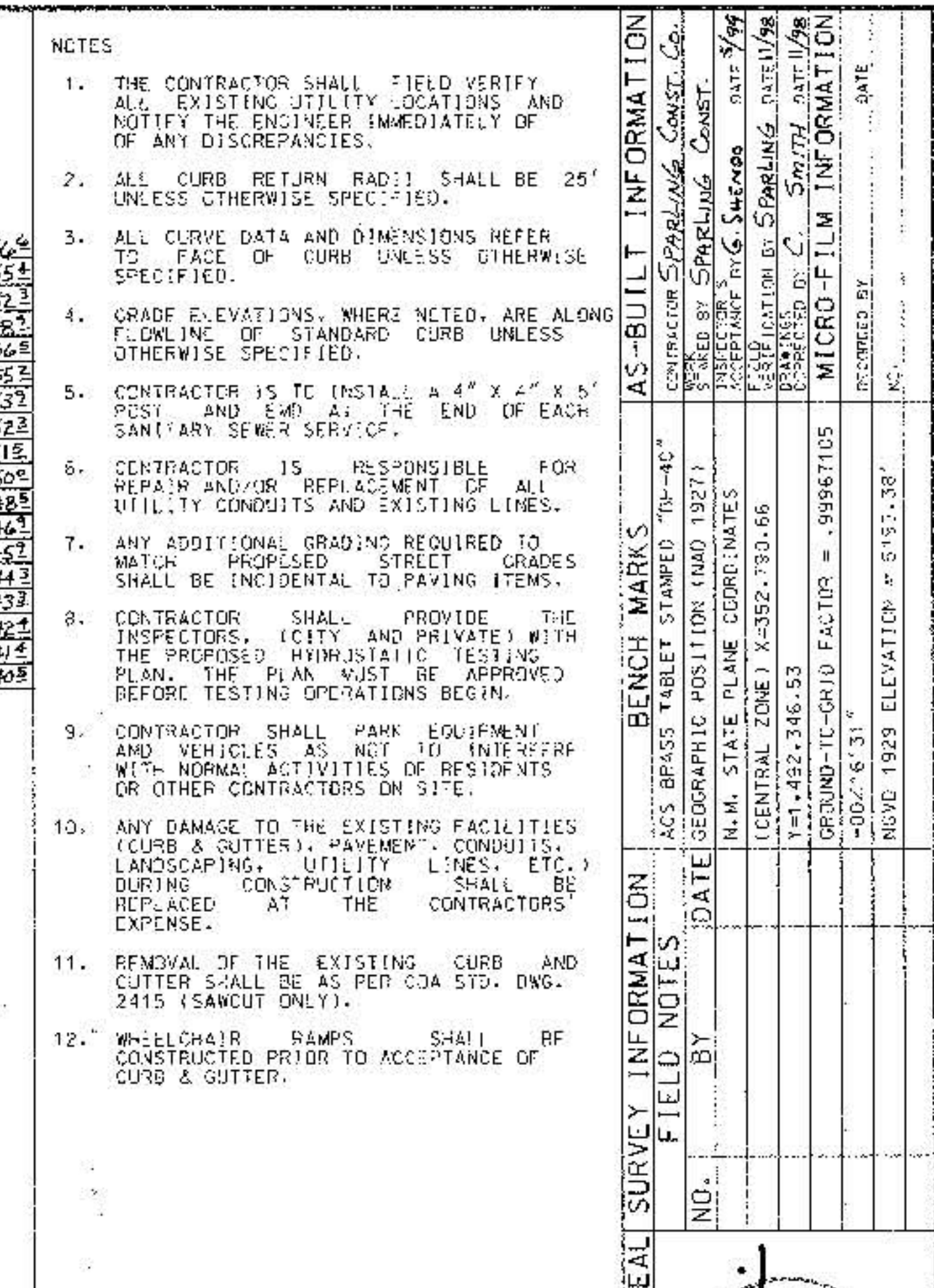
CITY PROJECT NO.

ZONE MAP NO.

SHEET

OF

DATE: MAY, 1998

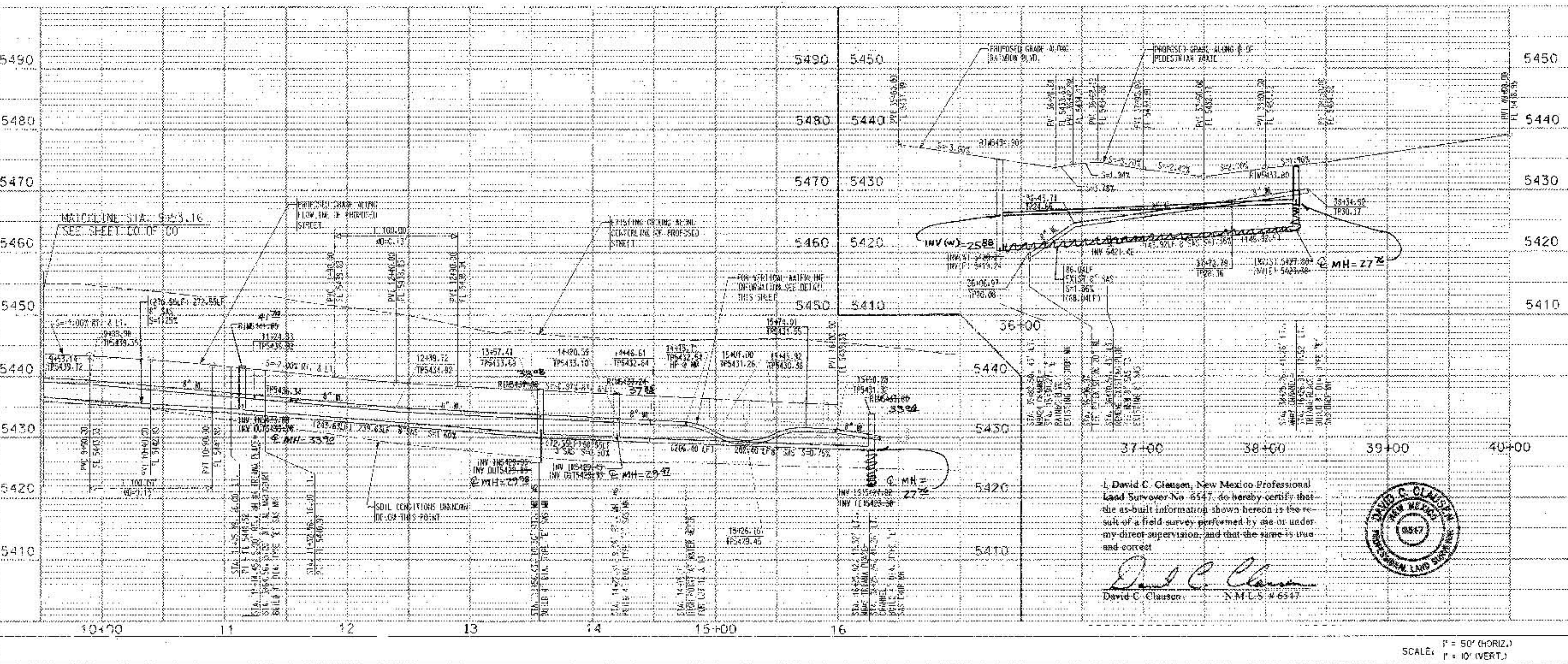
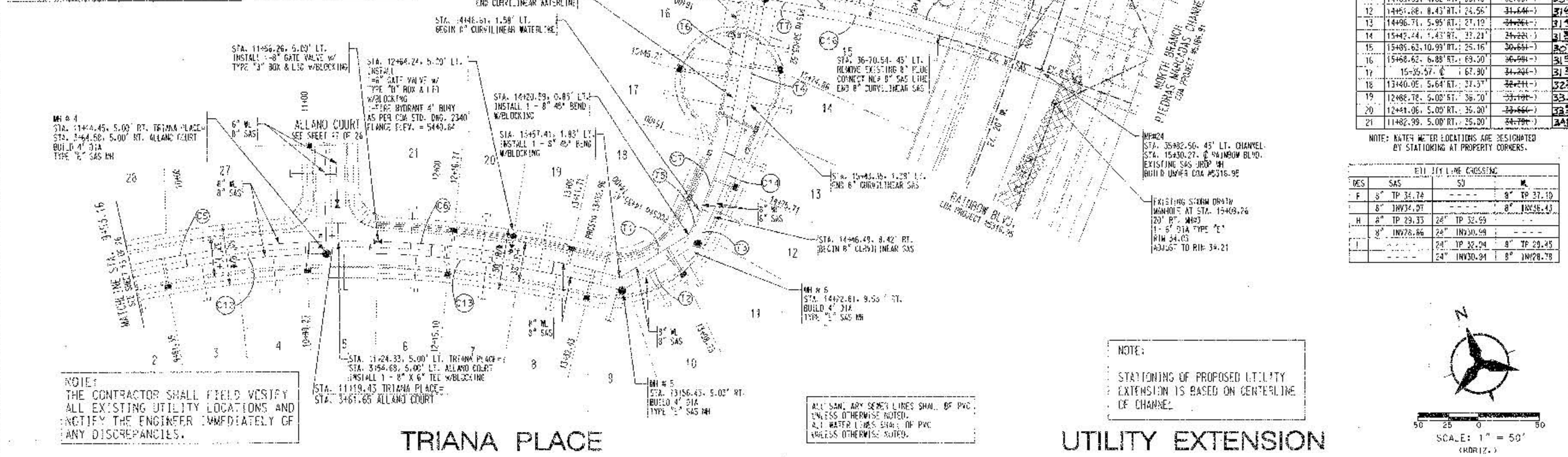


WATERLINE TANGENT DATA				
NUMBER	ARC	RADIUS	DELTA	TANGENT
1	112.23	840.00	11°44'43"	86.40
2	237.21	840.00	15°50'15"	116.85
3	34.86	350.00	5°32'03"	41.24
4	124.86	967.00	7°23'54"	62.52

SAS CURVE DATA				
NUMBER	ARC	RADIUS	DELTA	TANGENT
1	160.33	830.00	11°04'05"	89.41
2	243.52	830.00	16°49'54"	122.69
3	97.40	320.00	5°32'03"	45.78
4	94.75	336.81	5°40'25"	47.42

WATERLINE TANGENT DATA				
NUMBER	ARC	RADIUS	DELTA	TANGENT
1	112.23	840.00	11°44'43"	86.40
2	237.21	840.00	15°50'15"	116.85
3	34.86	350.00	5°32'03"	41.24
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1	160.33	830.00	11°04'05"	89.41
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ENGINEER'S SEAL SURVEY INFORMATION

NO. DATE

REMARKS

REVISIONS

DESIGN

DESIGNED BY: JS

DRAWN BY: MKC/BJS

CHECKED BY: KLD

DATE: 5/98

DATE: 5/98

DATE: 5/98

AS-BUILT INFORMATION

BENCH MARKS

STAMPED "B" - 40"

GEODINAMIC POSITION (NAD 1983)

BY: DATE

NO. DATE

REMARKS

REVISIONS

DESIGN

DESIGNED BY: JS

DRAWN BY: MKC/BJS

CHECKED BY: KLD

DATE: 5/98

DATE: 5/98

DATE: 5/98

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

ENGINEERING DEVELOPMENT GROUP

SONTERA SUBDIVISION - VENTANA RANCH TRACT 5

UTILITY PLAN & PROFILE

TRIANA PLACE STA 9+53.16 TO STA 16+28.91/UTILITY EXTENSION

PROJECT REVIEW COMMITTEE CITY ENGINEER APPROVAL

MO./DAY/YR. MO./DAY/YR.

LAST DESIGN UPDATE

CITY PROJECT NO. 5923.81

LINE MAP NO. 8-9

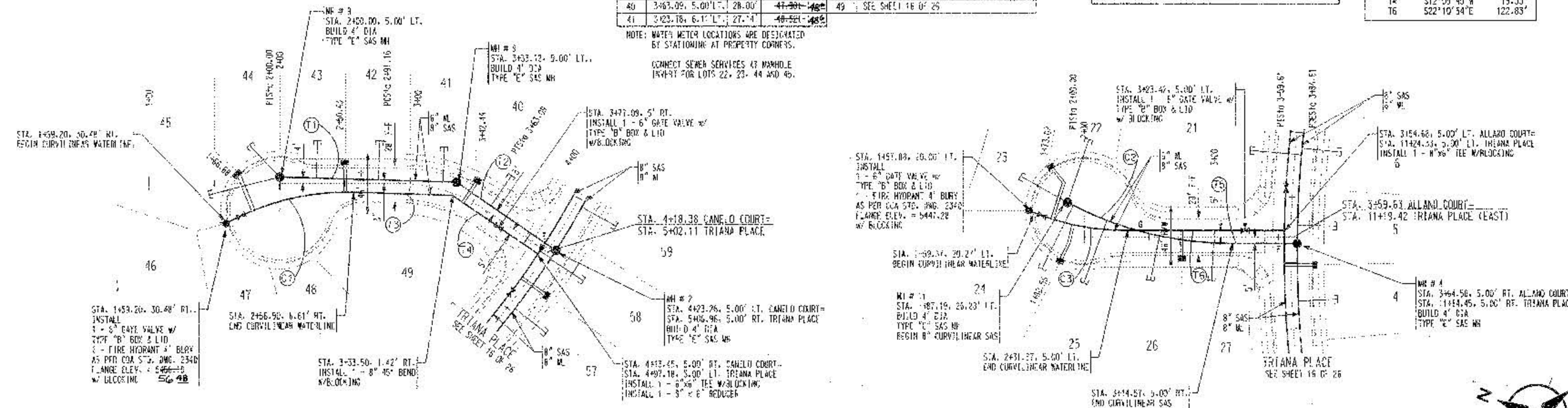
SHEET 16 OF 26

DATE: MAY, 1998

SARITARY SCANNER SERVICES							
LOT NUMBER	SAS STATION & OFFSET	SAS LENGTH	10' OF PIPE AT POINT (W/10'10'10')	LOT NUMBER	SAS STATION & OFFSET	SAS LENGTH	10' OF PIPE AT POINT (W/10'10'10')
21	SEE SHEET 16 OF 26			42	2+475.77, 2.87' L	30.00'	69+14' 15"
22	2+487.19, 26.20' L	51.33'	46+38' 34.5"	43	2+487.19, 4.21' L	28.58'	69+14' 15"
23	2+487.19, 26.38' L	40.95'	46+38' 34.5"	44	2+485.06, 5.00' L	33.80'	69+14' 15"
24	2+491.54, 24.00' L	34.06'	46+38' 34.5"	45	3+138.29, 5.00' L	25.48'	69+14' 15"
25	2+417.51, 12.45' L	50.93'	46+38' 34.5"	46	SEE SHEET 16 OF 26		
26	2+368.20, 0.54' L	34.51'	46+38' 34.5"	47	SEE SHEET 16 OF 26		
27	2+495.36, 4.63' R	28.43'	46+38' 34.5"	48	SEE SHEET 16 OF 26		
28	3+463.09, 5.00' L	28.00'	47+39' 41.5"	49	SEE SHEET 16 OF 26		
41	2+423.18, 6.11' L	27.74'	46+38' 34.5"				

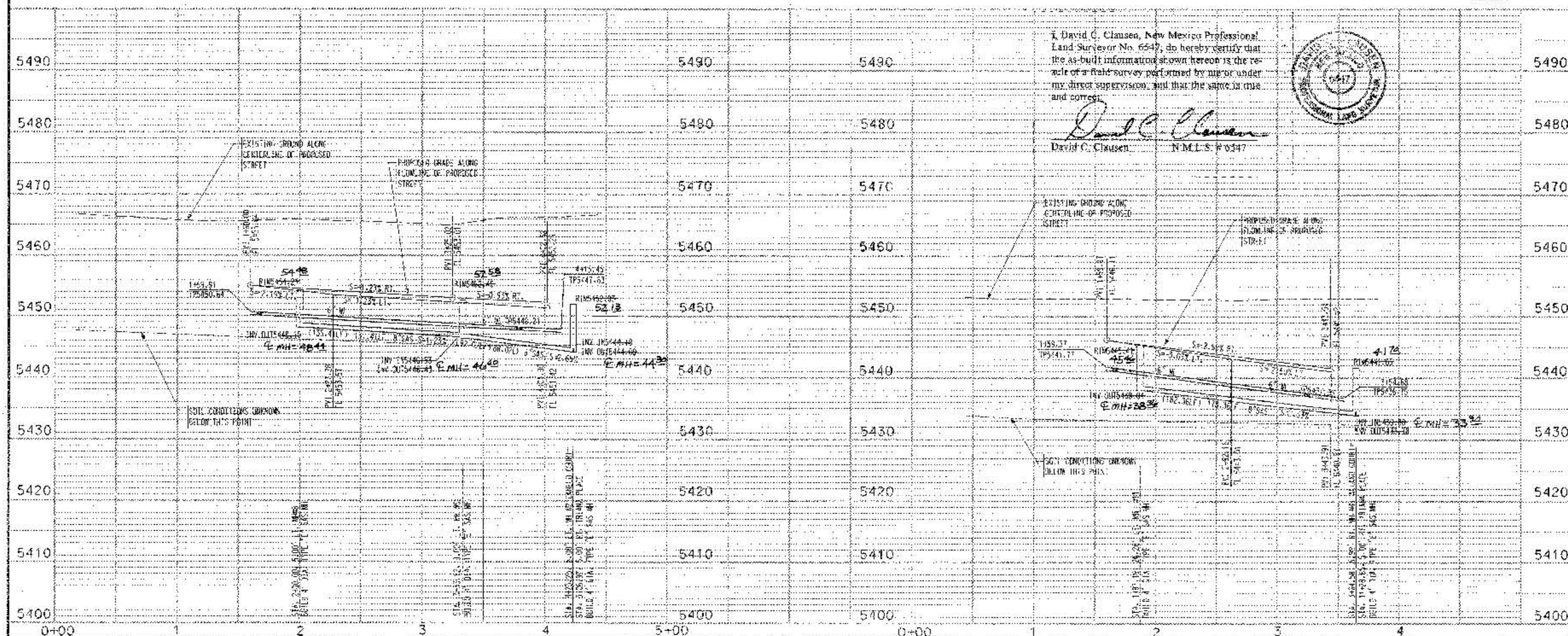
WATERLINE CURVE DATA				
NUMBER	ARC	RADIUS	DELTA	TANGENT
C1	101.79°	190.00'	30°41'39"	52.15'
C3	76.00°	190.00'	22°55'10"	38.52'

WATERLINE TANGENT DATA		
NUMBER	BEARING	LENGTH
T3	S20°34'10"E	125.2
T4	S12°09'45"W	79.33
T6	S22°10'54"E	122.83



1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
4. GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND RING AT THE END OF EACH SANITARY SEWER SERVICE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONCRETE, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SANDCUT ONLY).
12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

ALLANO COURT



I, David C. Clausen, New Mexico Professional Land Surveyor No. 6547, do hereby certify that the as-built information shown hereon is the result of a field survey performed by me or under my direct supervision and that the same is true and correct.

David C. Claugen N.M.

N.M.L.S. # 0347

APPROVED BY:  DATE: 6-25-92

Bohannon Huston

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

SONTERRA SUBDIVISION - VENTANA RANCH TRACT 5
UTILITY PLAN & PROFILE
CANELO COURT/ALLANO COURT

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
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U.S. DEPARTMENT OF JUSTICE
FEDERAL BUREAU OF INVESTIGATION
WASHINGTON, D.C. 20535

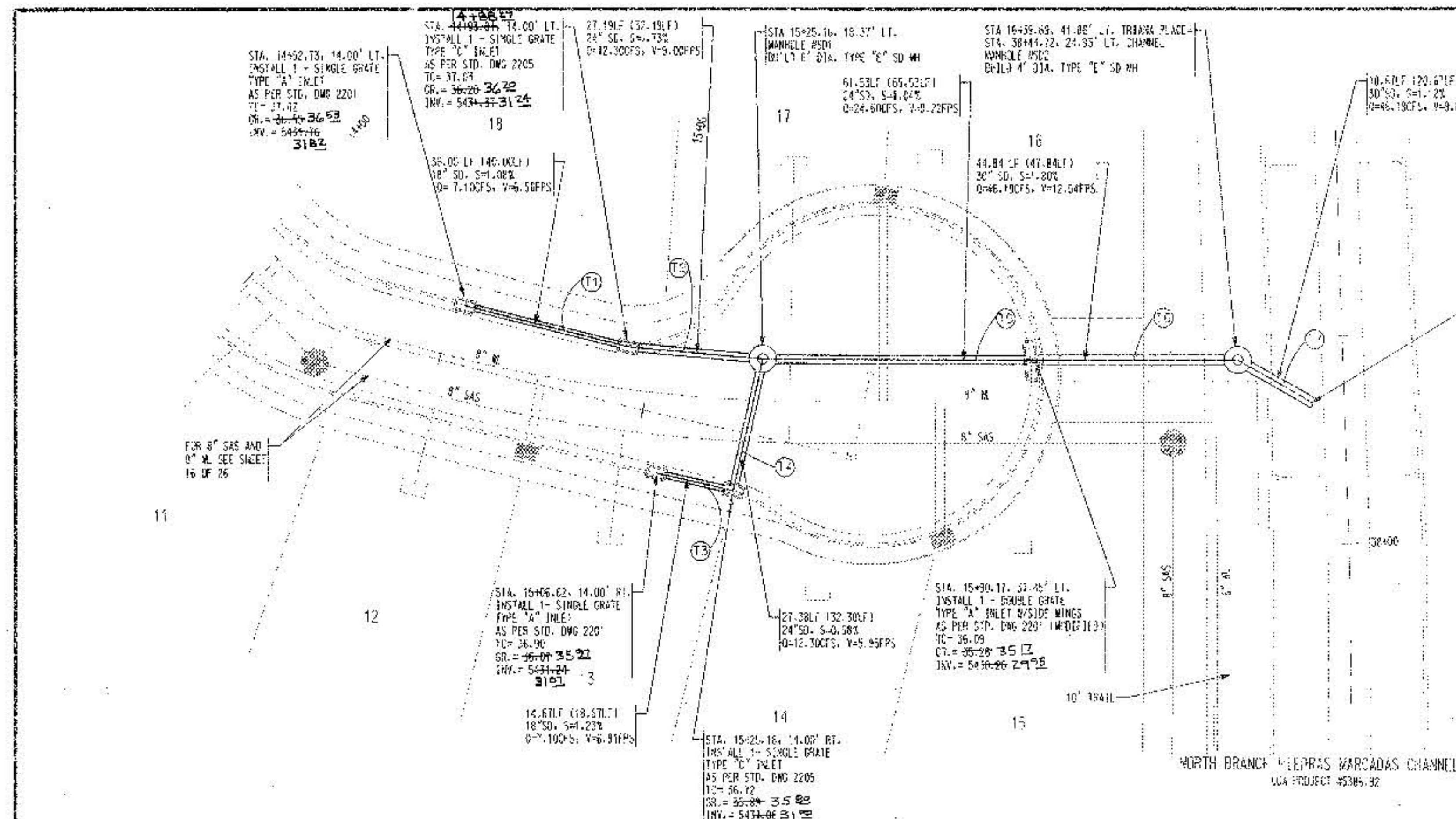
CITY PROJECT NO

ZONE MAP NO.	SHEET	OF
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SCALE: 1" = 50' (HORIZ)
1" = 10' (VERT.)

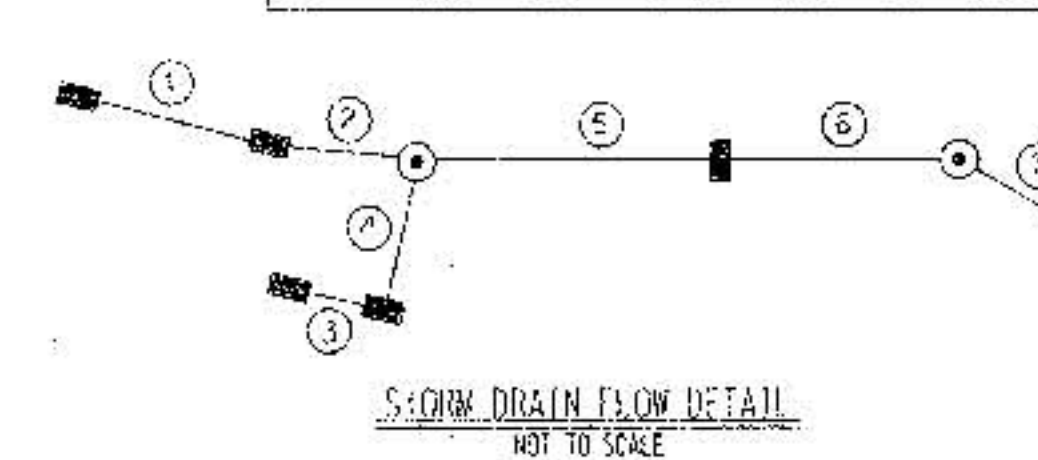
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COPYRIGHT SOFANNAR, HUSTON, 1958
DATE: MAY, 1958



SO LAMEN DATA		
NUMBER	BEARING	DISTANCE
11	N 03° 47' 06" E	45.36
12	N 05° 05' 02" W	32.19
13	N 02° 35' 01" E	18.61
14	N 07° 41' 12" W	32.38
15	N 19° 06' 37" W	65.33
16	N 10° 57' 12" W	41.84
17	N 19° 40' 50" E	26.61

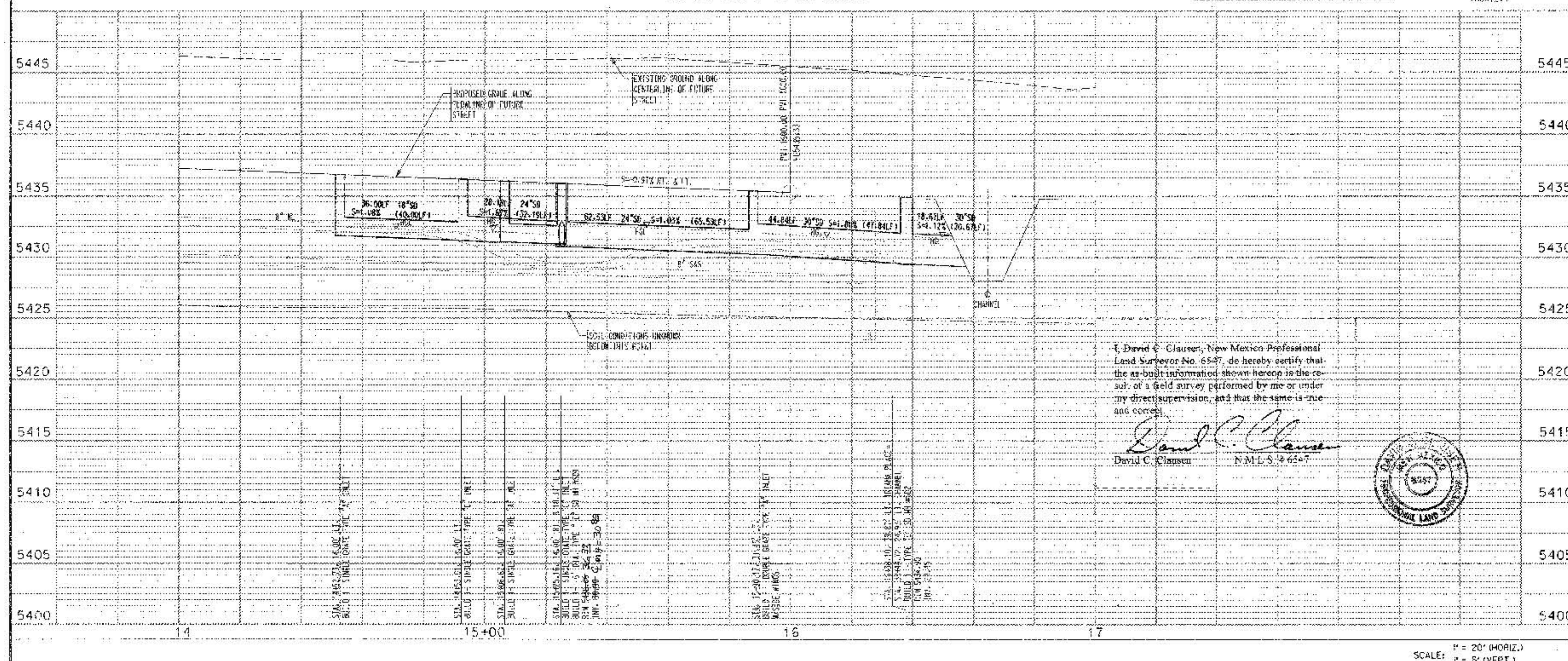
STORM DRAIN FLOW TABLE					
NUMBER	DI (ft)	W (ft)	DEPTH	LENGTH	SIZE
1	1.10	1.55	8.58"	36.00'	18"
2	12.30	9.00	10.75"	27.15'	30"
3	7.19	6.31	10.14"	14.62'	18"
4	12.30	5.35	15.00"	27.38'	24"
5	24.60	8.22	21.79"	81.65'	24"
6	46.19	12.54	21.06"	44.64'	30"
7	46.19	5.88	27.25"	18.67'	30"



SCALE: 1" = 20'
(HORIZ.)

NOTE:
ALL STORM DRAIN LINES SHALL BE RCP, CLASS III
UNLESS OTHERWISE NOTED.

- NOTES
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 - WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.



I, David C. Clausen, New Mexico Professional Land Surveyor No. 6527, do hereby certify that the as-built information shown hereon is the result of a field survey performed by me or under my direct supervision, and that the same is true and correct.

David C. Clausen
David C. Clausen
N.M.L.S. # 6527



APPROVED BY: *[Signature]* DATE: 6-25-11
Bohannon & Weston
Civil Engineers
7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

SONTERA SUBDIVISION - VENTANA RANCH TRACT 5
STORM DRAIN PLAN & PROFILE
TRIANA PLACE

DESIGNER: [Signature] CITY ENGINEER'S APPROVAL: [Signature]
LAST DESIGN UPDATE: [Signature]

CITY PROJECT NO. 5923.81 ZONE MAP NO. B-9 SHEET 18 OF 26

ENGINEER'S SEAL SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE
1		1		1	
2		2		2	
3		3		3	
4		4		4	
5		5		5	
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7		7		7	
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99		99		99	
100		100		100	

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.

2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.

3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.

4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND MAINTAINED BY CONSTRUCTION COORDINATION.

5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.

6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.

8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.

9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.

10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS, UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.

11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.

12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.

13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.

15. CONTRACTOR IS RESPONSIBLE FOR OBSTRUCTION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.

16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.

17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.

18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

19. 48 HOURS PRIOR TO OCCUPANCY OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.

20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.

22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.

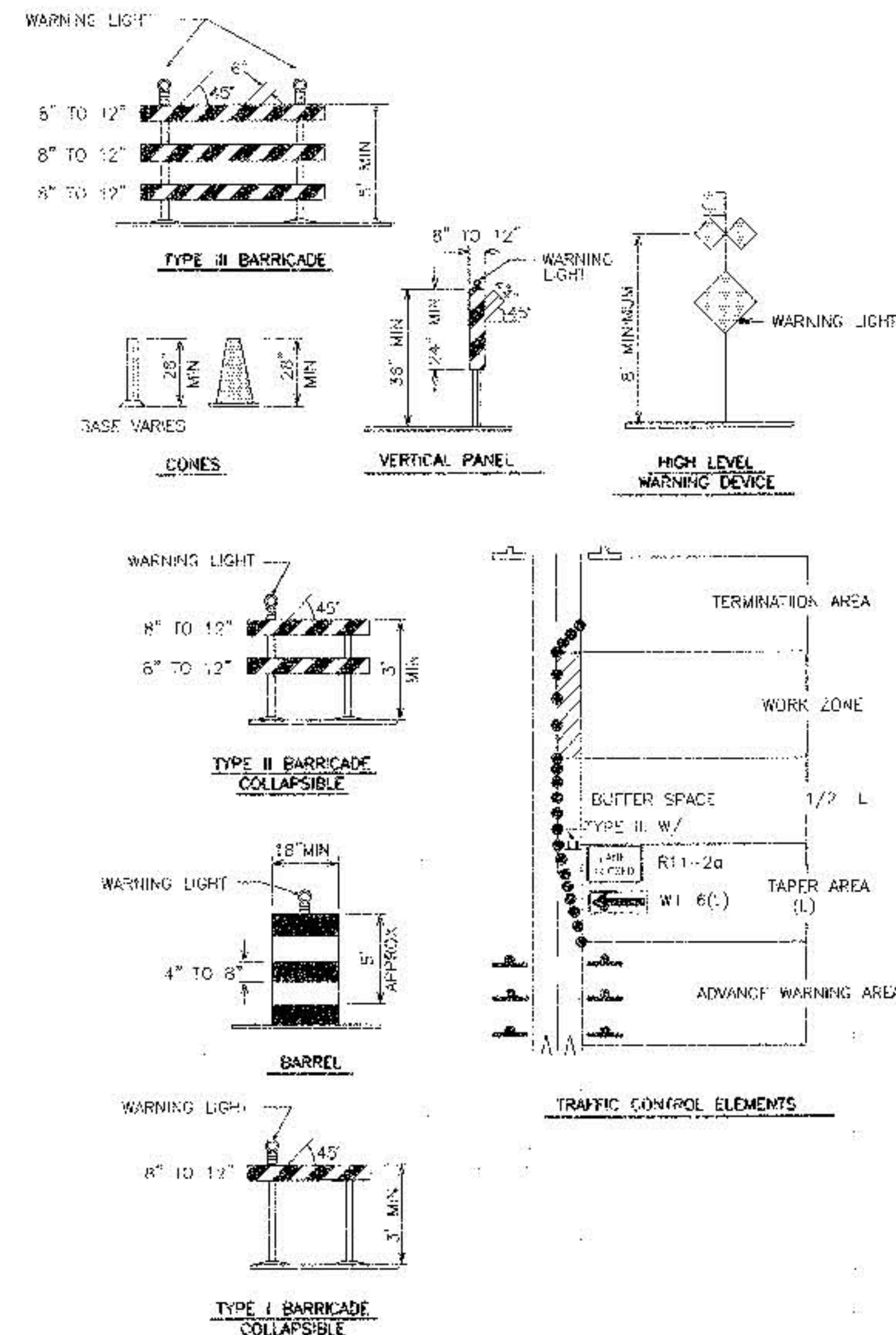
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.

24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO ITS PLACEMENT AND MAINTENANCE.

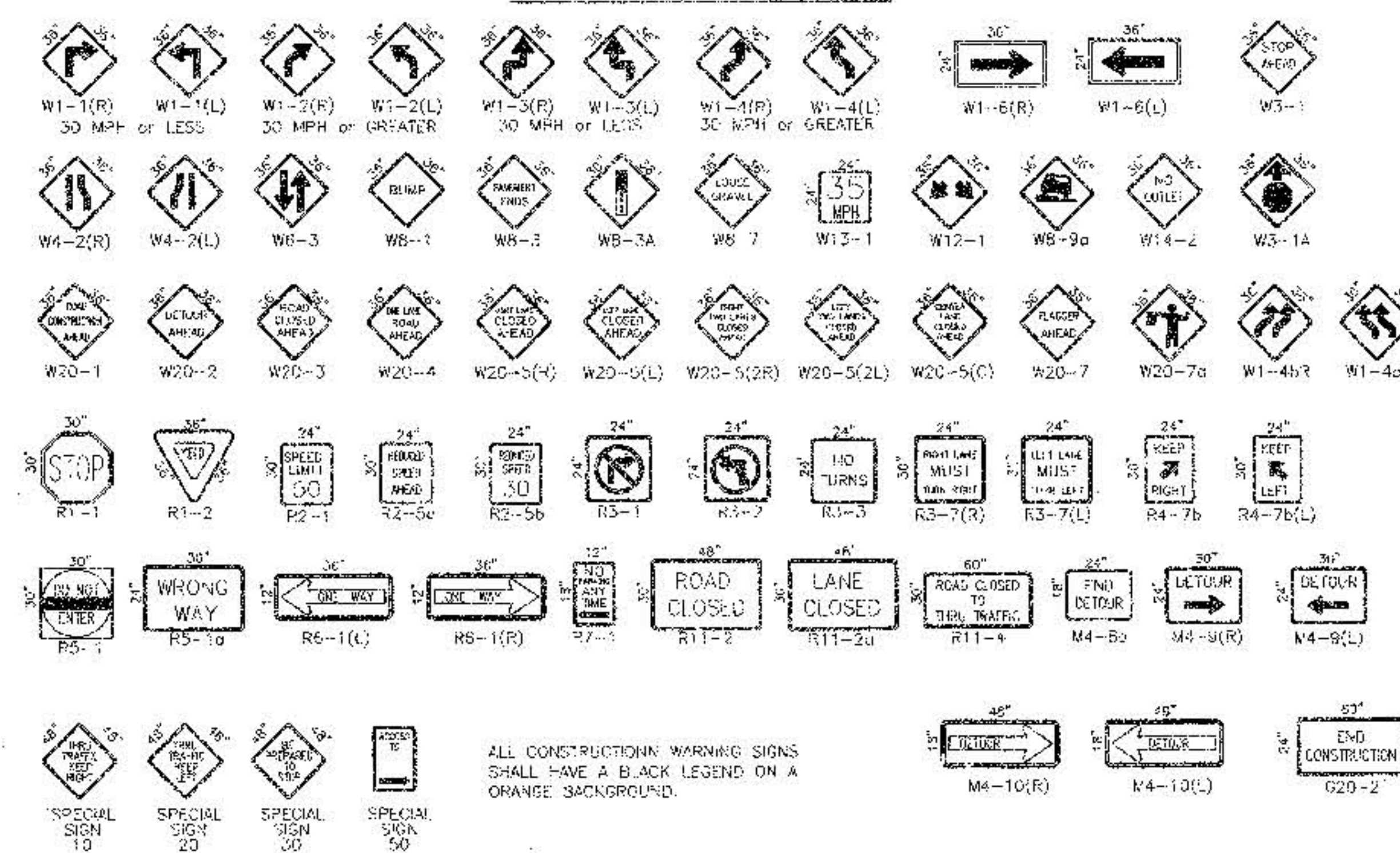
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE MUTCD.

27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

LEGEND

- WORK AREA
- BARRICADE - TYPE I, TYPE II, OR BARREL
- BARRICADE - TYPE III
- VERTICAL PANEL
- WARNING SIGN
- DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
- FLAGMAN POSITION
- SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE STREET LIMIT OF THE STREET
- TAPER LENGTH - SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENT

SPEED LIMIT (MPH)	TAPER LENGTH (L) (FEET)			MINIMUM NUMBER OF TRUCKS FOR TAPER	MINIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING (D) FOR ADVANCE WARNING SIGN SERIES

SPEED LIMIT (MPH)	MINIMUM DISTANCE BETWEEN SIGNS	MINIMUM DISTANCE FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH:
UPSTREAM TAPER:	
Merging Taper	L MINIMUM
Shifting Taper	1/2 L MINIMUM
Shoulder Taper	1/2 L MINIMUM
Two-Way Traffic Taper	100 FEET MAXIMUM
Downstream Tapers	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	L =
40 MPH OR LESS	$L = \frac{WS^2}{60}$
40 MPH OR GREATER	$L = W \times S$

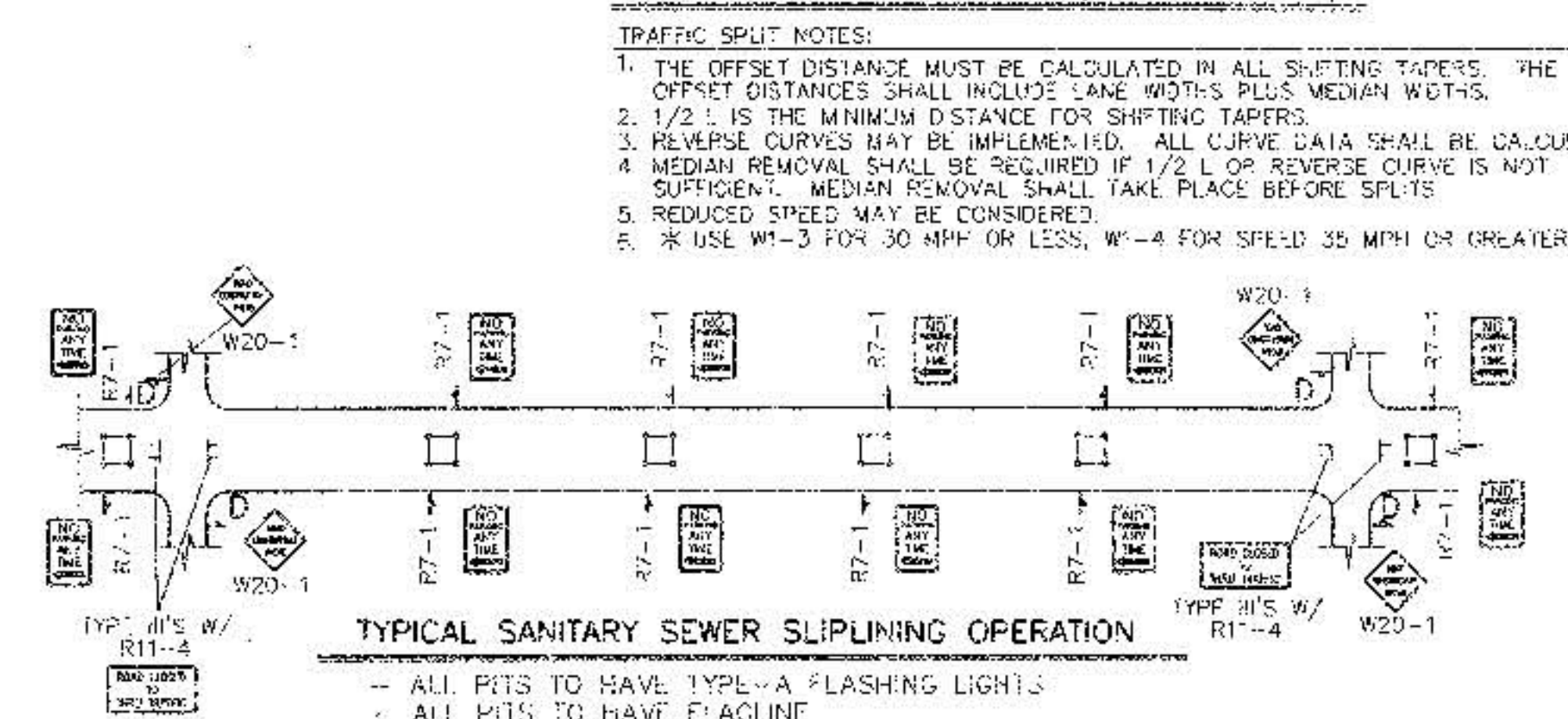
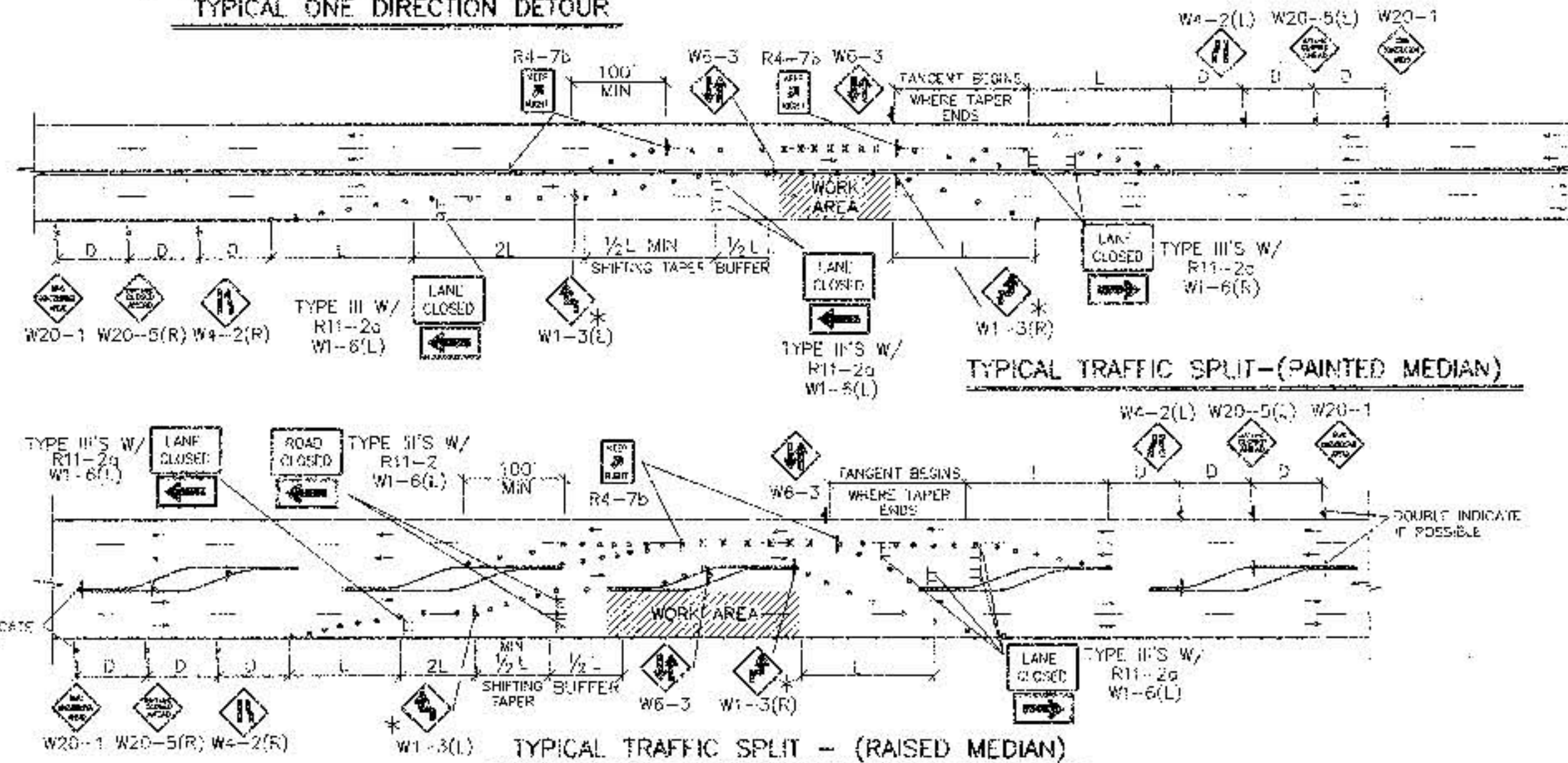
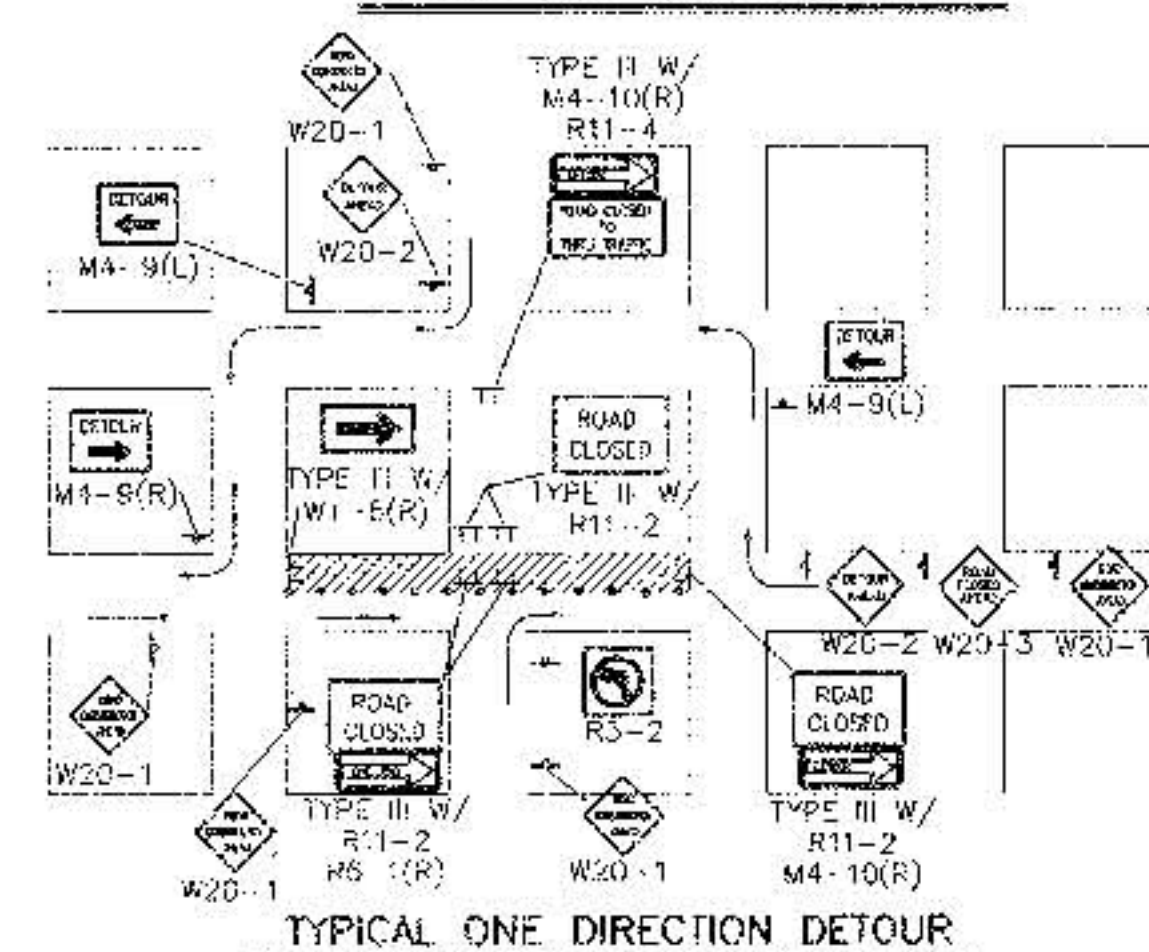
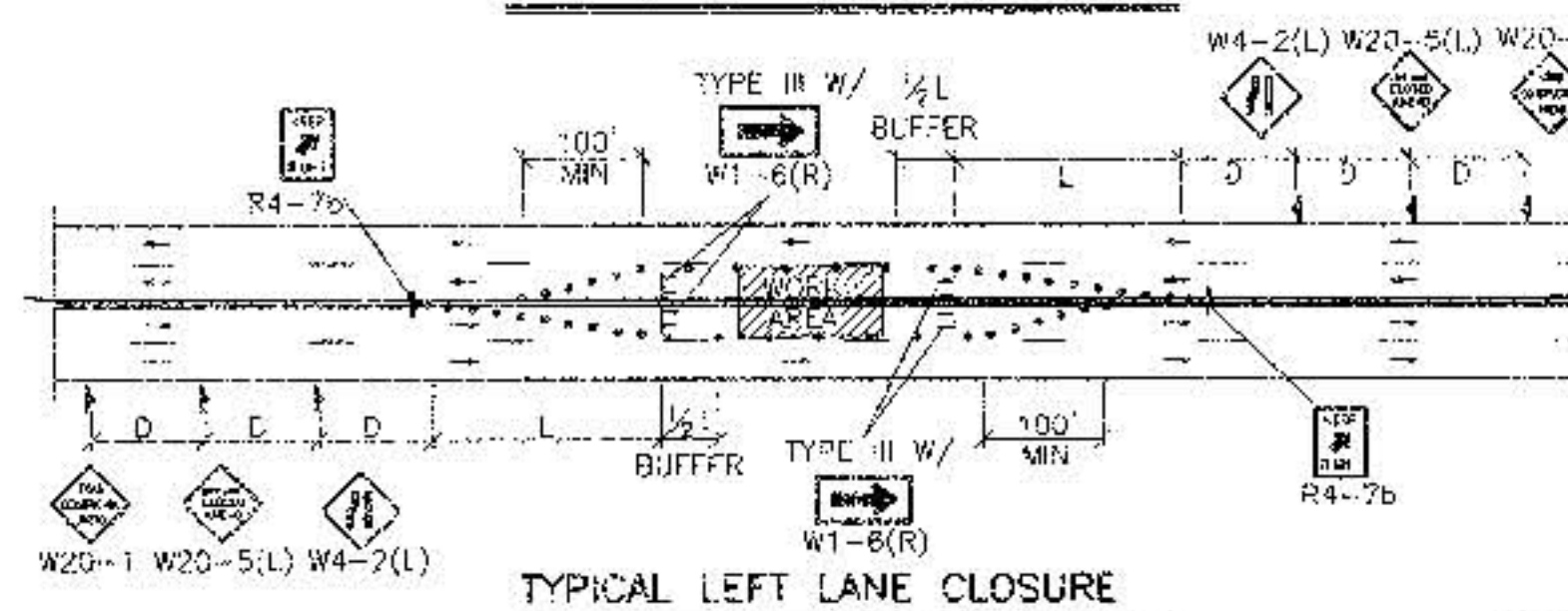
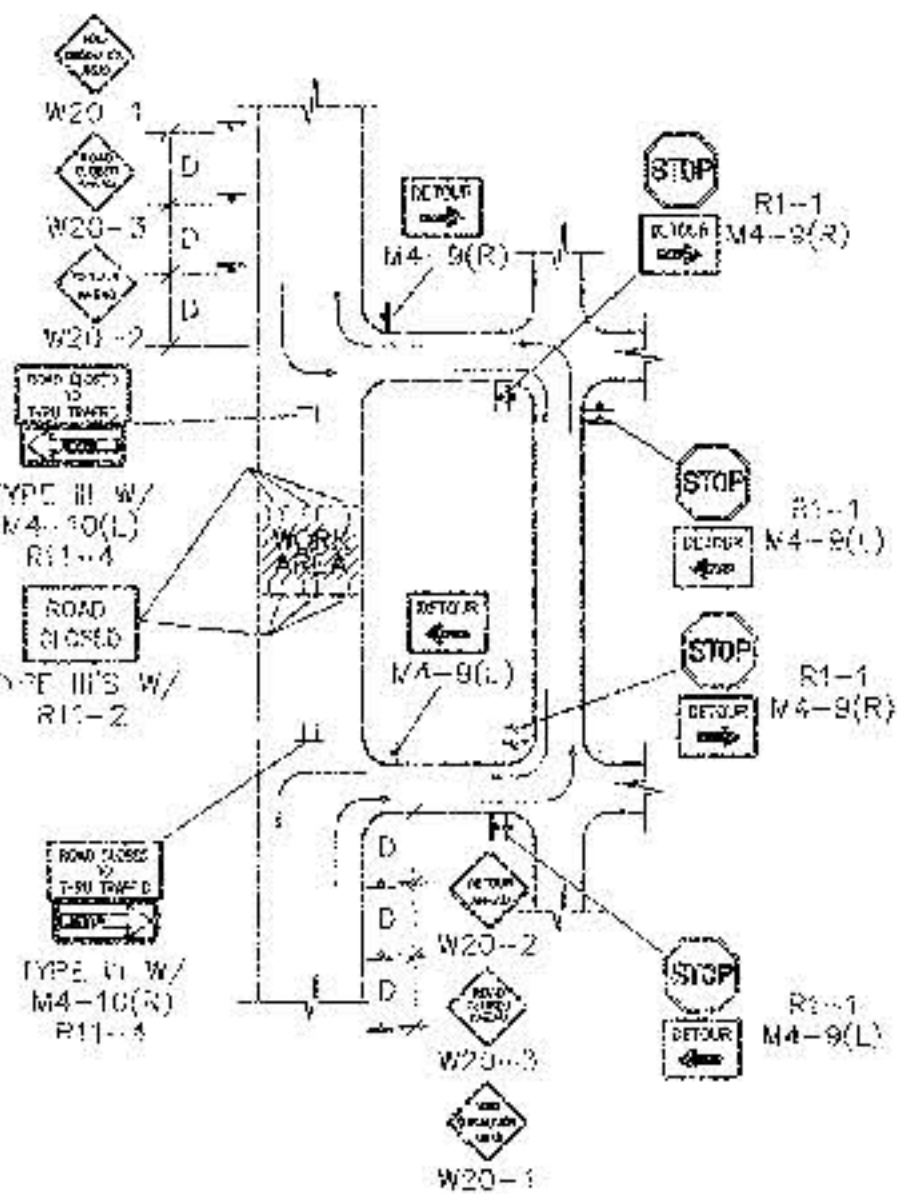
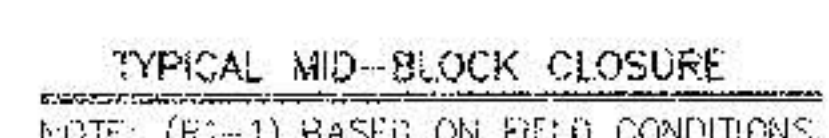
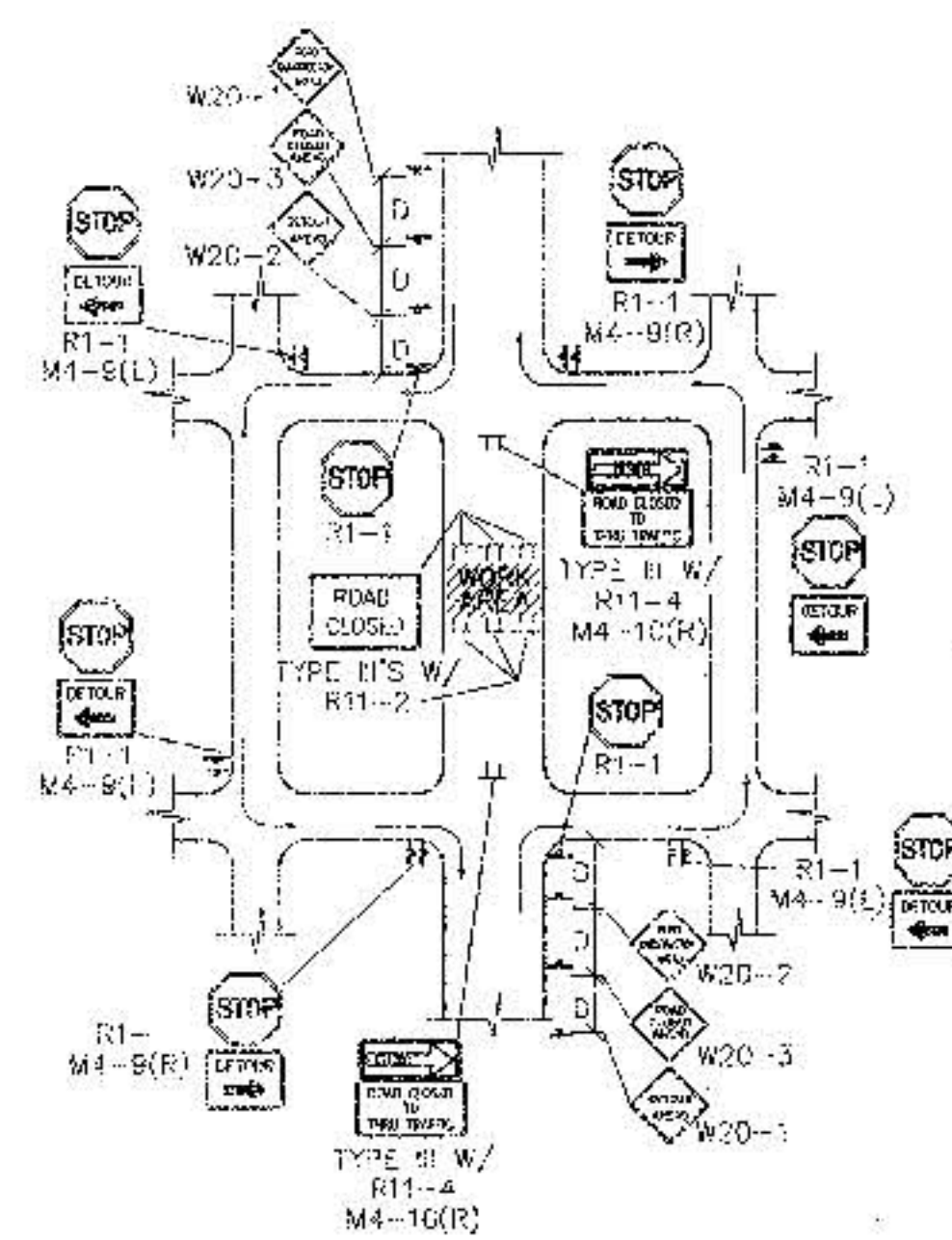
L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

Bohannon & Huston
Courtney Che 7500 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAPHERS SURVEYORS SOFTWARE DEVELOPERS

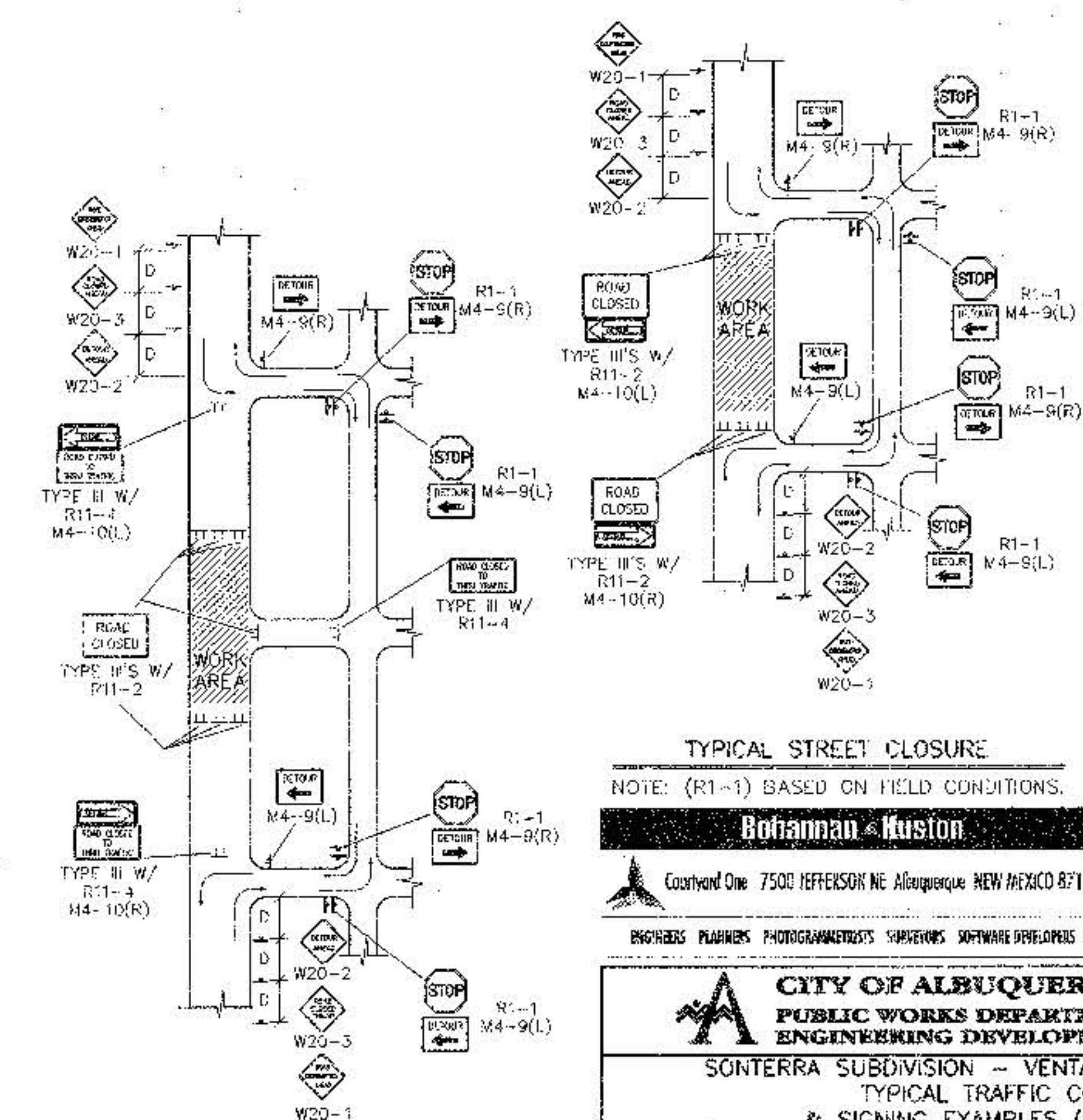
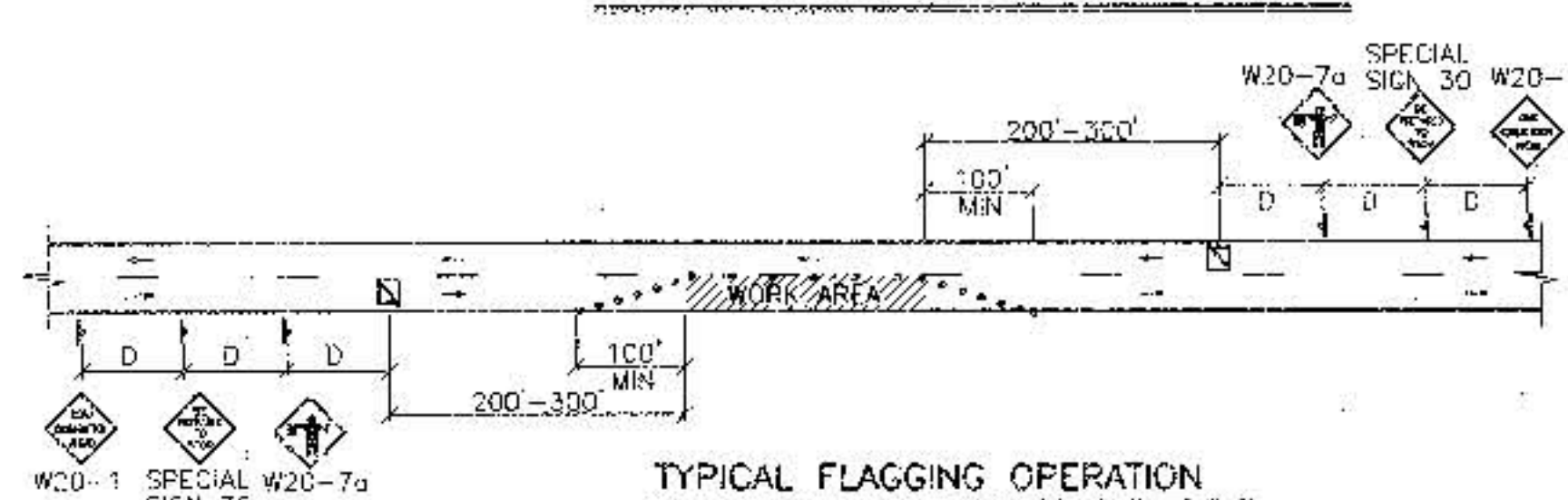
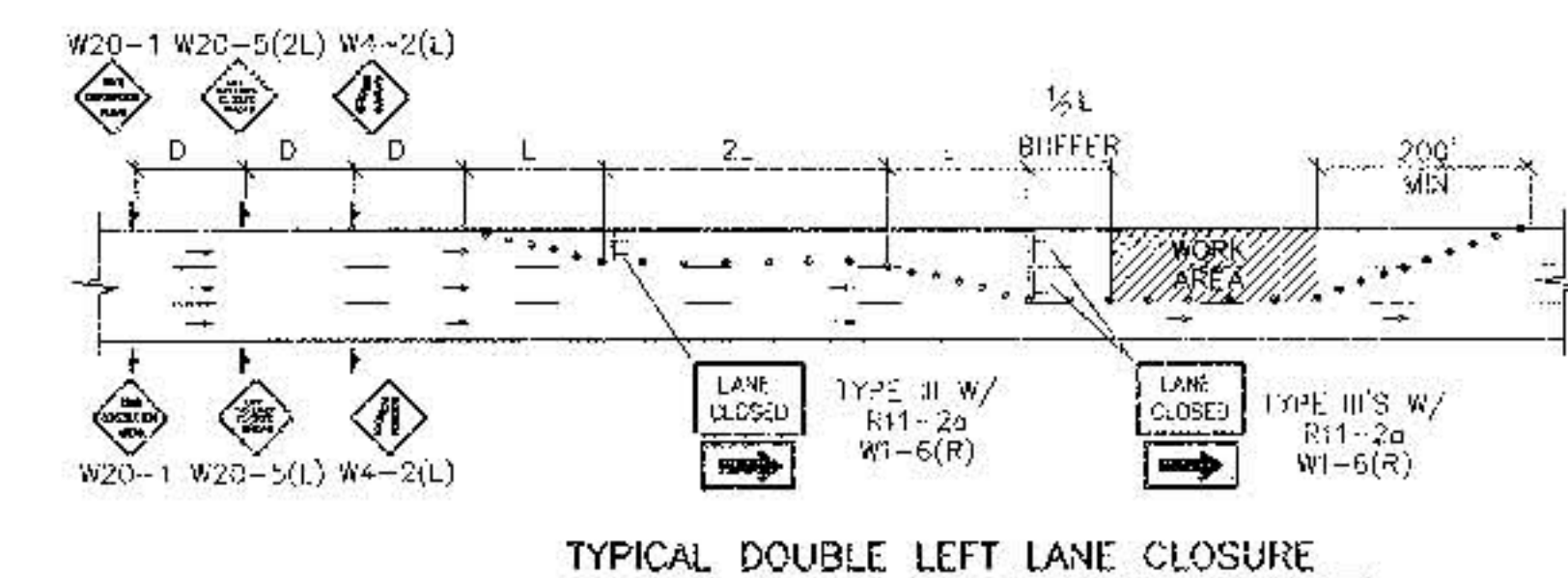
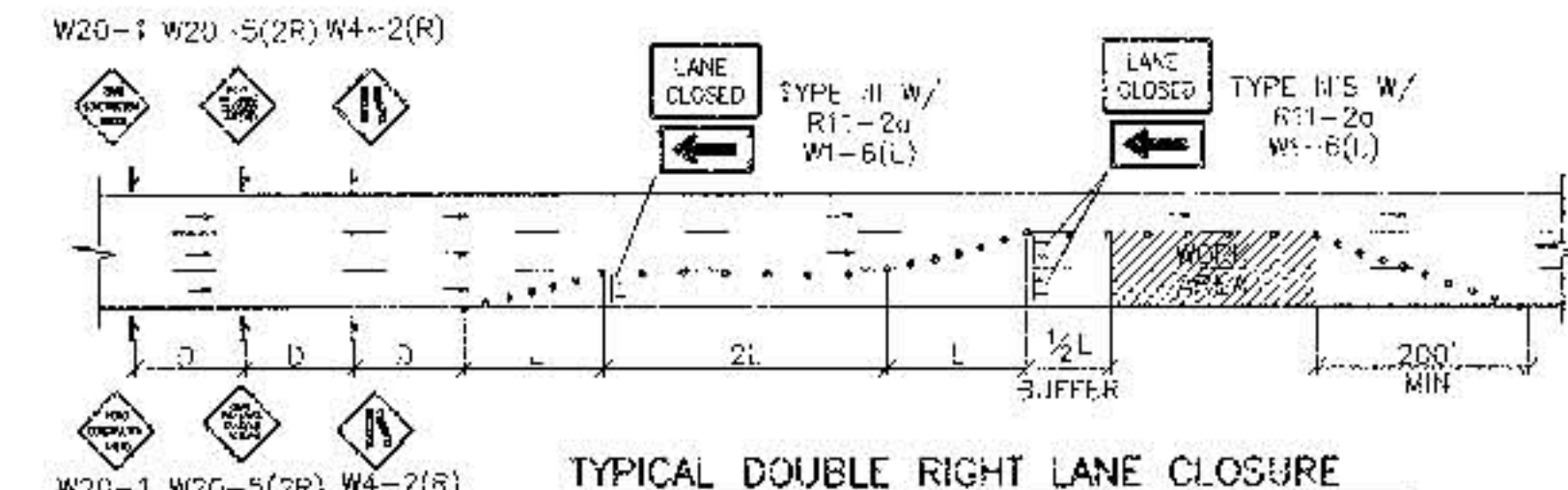
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
SONTERRA SUBDIVISION- VENTANA RANCH TRACT 5
TRAFFIC CONTROL
SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
NO./DAY/YR. NO./DAY/YR.
LAST DESIGN UPDATE
NO./DAY/YR.

CITY PROJECT NO. 5923.81 ZONE MAP NO. B-9 SHEET 19 OF 26

[illegible]

TYPICAL STREET CLOSURE.
NOTE: (R1-1) BASED ON FIELD CONDITIONS.



TYPICAL STREET CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.

Bohannon & Huston

Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

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CITY OF ALBUQUERQUE

 PUBLIC WORKS DEPARTMENT

ENGINEERING DEVELOPMENT

SONTERRA SUBDIVISION - VENTANA

TYPICAL TRAFFIC COM

8. SIGNING EXAMPLES (R)

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	
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10018 • J. Neurosci., September 24, 2008 • 28(39):10011–10018

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Figure 1 is a line graph showing the percentage of correct responses for the 100-item test across different numbers of items (10, 20, 30, 40, 50, 60, 70, 80, 90, 100). The percentage of correct responses increases as the number of items increases, starting from approximately 65% for 10 items and reaching 100% for 100 items. The graph is labeled "Figure 1" and "Percentage of correct responses".

CHY PROLEC: NO

5923.81	B-9
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AS-BUILT INFORMATION	
DATE	
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MICRO-FILM INFORMATION	
DATE	
DEC BY	

BENCH MARKS	
CONTRACT NO.	
STATE	
COUNTY	
SECTION	
TOWNSHIP	
RANGE	
FILE NO.	
DATE OF SALE	
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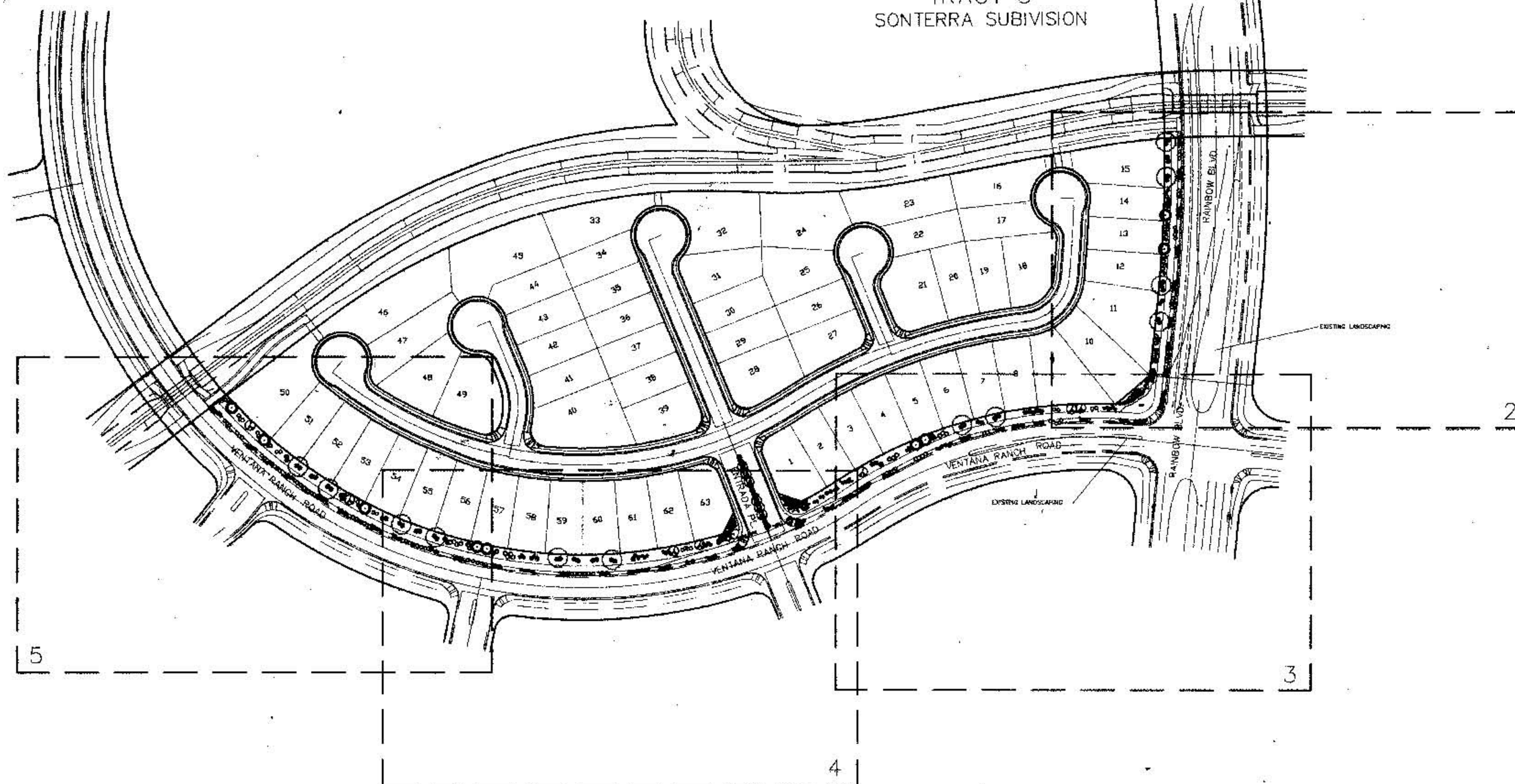
SHEET 20 OF 26

[illegible]



VENTANA RANCH

TRACT 5
SONTERRA SUBDIVISION



OVERALL SHEET LAYOUT
SEE INDIVIDUAL SHEETS
FOR DETAILS

LANDSCAPE NOTES:

All landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Pop-up sprinklers to sod lawn areas. Stretched large area irrigation heads to native seed areas. Bubbler to trees and drip irrigation to shrub areas. Irrigation system maintenance shall be the responsibility of the Ventana Ranch Community Assoc.

Landscape maintenance shall be the responsibility of the Ventana Ranch Community Assoc. Inc.

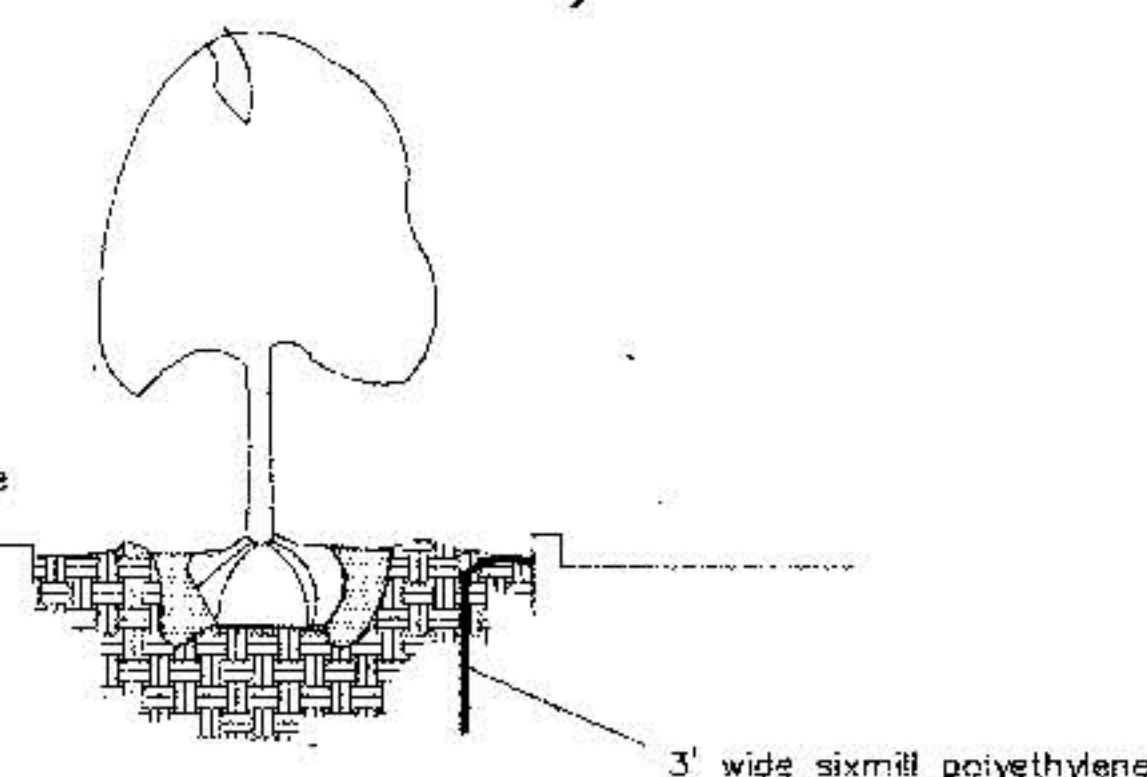
It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Ventana Ranch Community Assoc. Inc.

Landscape planting is to be adjusted in the field so that no plant is within 3' off the walk when planted.

TREE PLANTING NOTES:

All trees planted between walk and curb shall use a 3' wide sixmill polyethylene membrane hung vertically between the tree and curb.



TREE PLANTING - POLY. MEM.
SCALE: NOT TO SCALE

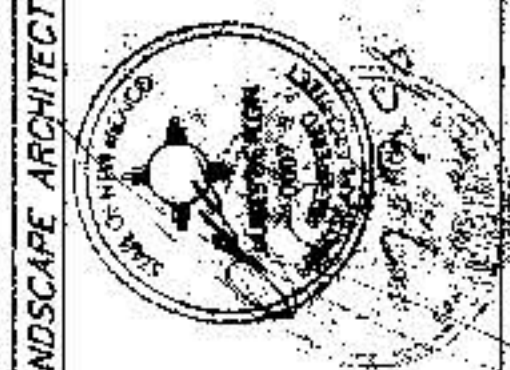
PLANTING LEGEND

SYMBOL	SIZE	NAME	NOTES
○	3" CAL.	WASHINGTON HAWTHORN	40' TO 80'
⊗	2 1/2" - 3"	BRADFORD PEAR	TO 25'
⊗	2 1/2" CAL.	ASH	TO 60'
○	2 1/2" - 3" CAL.	LOCUST	TO 80'
○	15 GAL.	DESERT WILLOW	TO 25'
○	6'-8'	PINON PINE	TO 35'
○	6'-8'	PINE	TO 35'
○	7 GAL.	MUGHO PINE	4' TO 5'
○	5 GAL.	APACHE PLUME	3' TO 8'
○		OCOTILLO	8 TO 25'
○		PALM YUCCA	TO 13'
○	5 GAL.	DWARF NADINA BAMBOO SHRUB	TO 18"
○	5 GAL.	INDIAN HAWTHORN	TO 3'
○	5 GAL.	PHOTINIA	TO 10'
○	5 GAL.	MAIDEN GRASS	TO 4'
○	1 GAL.	RUSSIAN SAGE	48 TO 60"
○	5 GAL.	ELEAGNUS	6 TO 15'
○	1 GAL.	AUTUMN SAGE	TO 3'
○	1 GAL.	"blue mist" SPIREA	TO 2'
○	1 GAL.	CHAMISA	2 TO 5'
○	5 GAL.	ZEBRA GRASS	TO 2'
○	1 GAL.	POTENTILLA	1 TO 3'
○	2 GAL.	BLOODGRASS	"O 2"
○	5 GAL. CLIMBING ROSE W/ TRELLIS		TO 6'
○	1 GAL. WILDFLOWERS		12 TO 18"
○	1 GAL. TAM JUNIPER		"O 18"
○	5 GAL. BUFFALO JUNIPER		TO 6"
○		OVERSIZED GRAVEL & BASALT BOULDERS	
○		SANTA ANA TAN 1 1/2" W/ FILTER FAB	

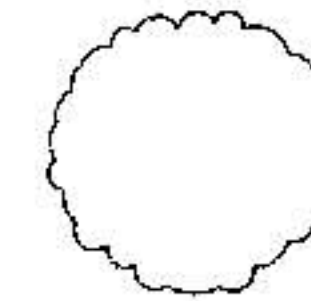
The Hilltop
LANDSCAPE ARCHITECTS AND CONTRACTORS
7906 EDITH BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
(505) 692-9992



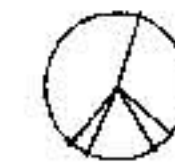
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		LANDSCAPE PLAN VENTANA RANCH TRACT 5	
DESIGN REVIEW COMMITTEE DATE: 5-22-99	CITY ENGINEER APPROVAL	NO./DAY/YR.	NO./DAY/YR.
DESIGNED BY: JAMES DEFLON	DRAWN BY: JAMES DEFLON	DATE: 6/10/98	DATE: 6/10/98
CHECKED BY: JAMES DEFLON	DATE: 6/10/98	CITY PROJECT NO. 5923.81	ZONE MAP NO. SHEET 22 OF 26



VENTANA RANCH
TRACT 5
SONTERRA SUBDIVISION



ASH(H)
Fraxinus pennsylvanica
2 - 2 1/2" - Cal



FLOWERING PEAR(H)
Pyrus calleryana
15" - Cal



AUSTRIAN PINE
Pinus nigra
6' - 8'



BLUEMIST
5 GAL



INDIAN HAWTHORN



POTENTILLA
1 GAL



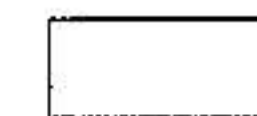
WILDFLOWER
1 GAL



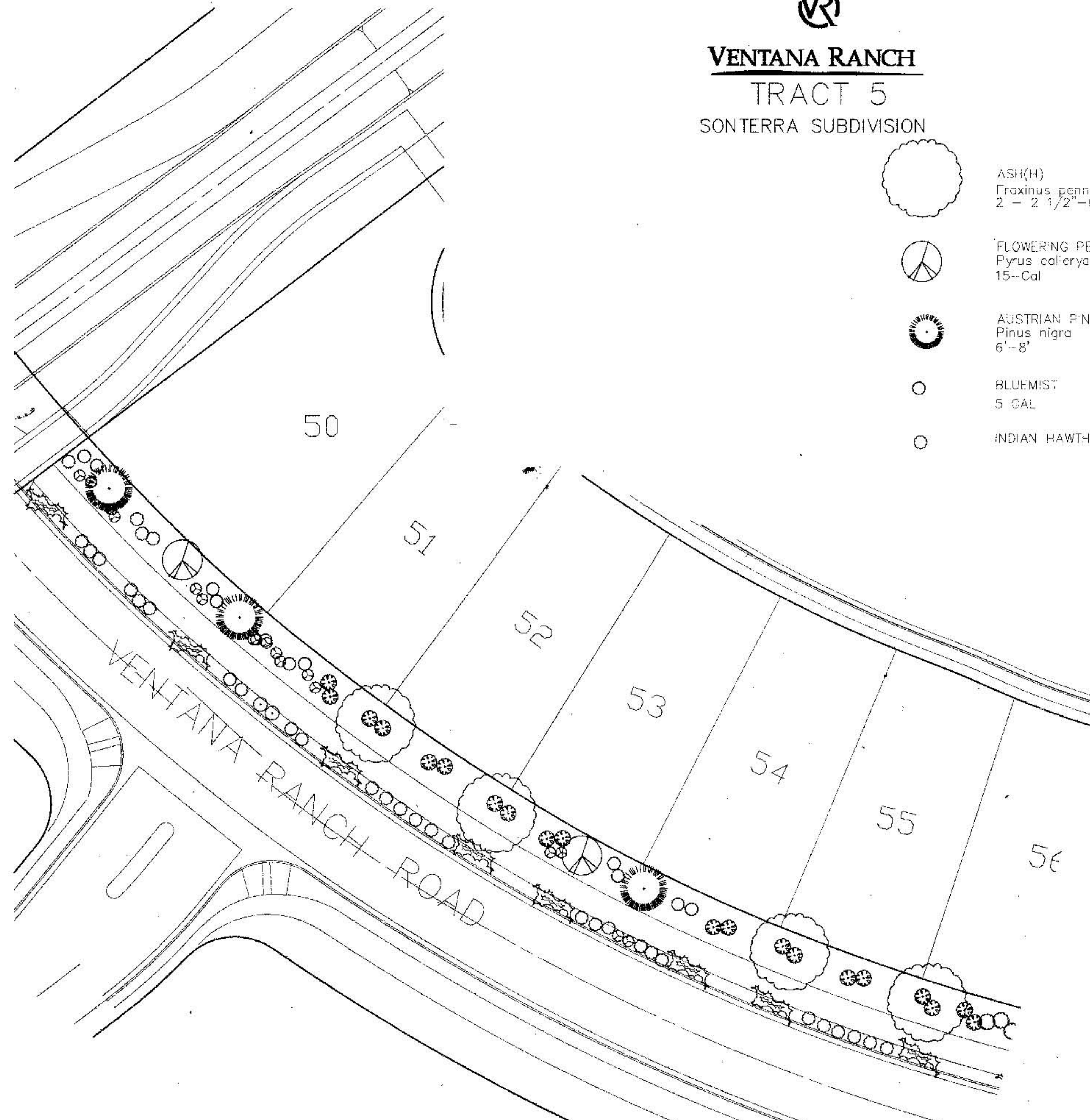
NANDINA
BAMBOO SHRUB
5 GAL



1 GAL. WILDFLOWERS



SANTA ANA TAN W/FF

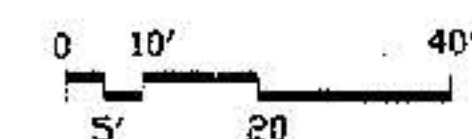


TREE PLANTING NOTES:

All trees planted between walk and curb shall use a 3' wide sixmill polyethylene membrane hung vertically between the tree and curb.

The Hilltop

GRAPHIC SCALE



THE HILLTOP LANDSCAPE ARCHITECTS AND CONTRACTORS 7905 HATH RD. N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 893-9680		CITY OF ALBUQUERQUE TITLE: LANDSCAPE PLAN VENTANA RANCH TRACT 5	
DESIGNED BY DAB 6/10/98	DRAWN BY DAB 6/10/98	CHECKED BY DAB 6/10/98	CITY PROJECT NO. 5923.81
ZONE MAP NO. SHEET 26 OF 26	CITY ENGINEER APPROVAL MO./DAY/YR.		

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTED BY	DATE
APPROVED BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

ENGINEER'S SEAL	
NO.	DATE
BY	
DATE	
BY	
DATE	