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**SCANNED BY PLANNING** 

# ALLEY IMPROVEMENT PLAN OFF OF LOMAS BOULEVARD FOR GORMAN PROFESSIONAL BUILDING ALBUQUERQUE, NEW MEXICO

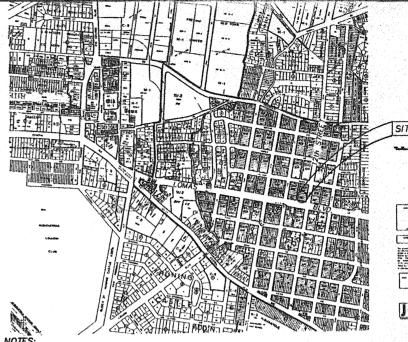
# TABLE OF CONTENTS

- COVER SHEET
- PLAN AND PROFILE
- GRADING AND DRAINAGE PLAN
- SIGNING PLAN
- TRAFFIC CONTROL PLAN

# For Information Only

APPROVED AS RECORD DRAWINGS DESIGN REVIEW SECTION CITY CONSTRUCTION ENGINEER T DATE: 1-27-2011

Not as-built drawing



GENERAL NOTES:

CITY OF ALBUQUEROUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED THROUGH UPDATE

CITY OF ALEDQUEROUS STANDARD SECTION TONS FOR PUBLIC WORKS CONSTRUCTION 1980 EDITION AS AMERICAL INFOCUSE OPPORTS.

THO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE THE LOCATION OF EXISTING UTILITIES.

PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE

THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIMSION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION DO-ORDINATION DIMSION. THE CONTRACTOR SHALL NOTIFY THE BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED STRIPING BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.

ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOUR CONSTRUCTION.

THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAYMENT, PAYMENT MARKINGS, CURB AND GUTTER, HANDICAP RAMPS AND SIDEMALY DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER CITY OF ALBUQUERQUE STANDARDS, AT HIS OWN EXPENSE.

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, ALL DIMENSIONS AND RADIO OF OURB AND CURB RETURNS ARE SHOWN TO FACE OF CURB UNLESS OTHERWISE NOTED.

BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.

SOURMALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED FOR TO ACCORDING TO SPECIFIED STREET USE.

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SOURMALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED FOR TO ACCORDING TO ACCORDING TO ACCORDING THE DOWN BY VEHICLES CABLES

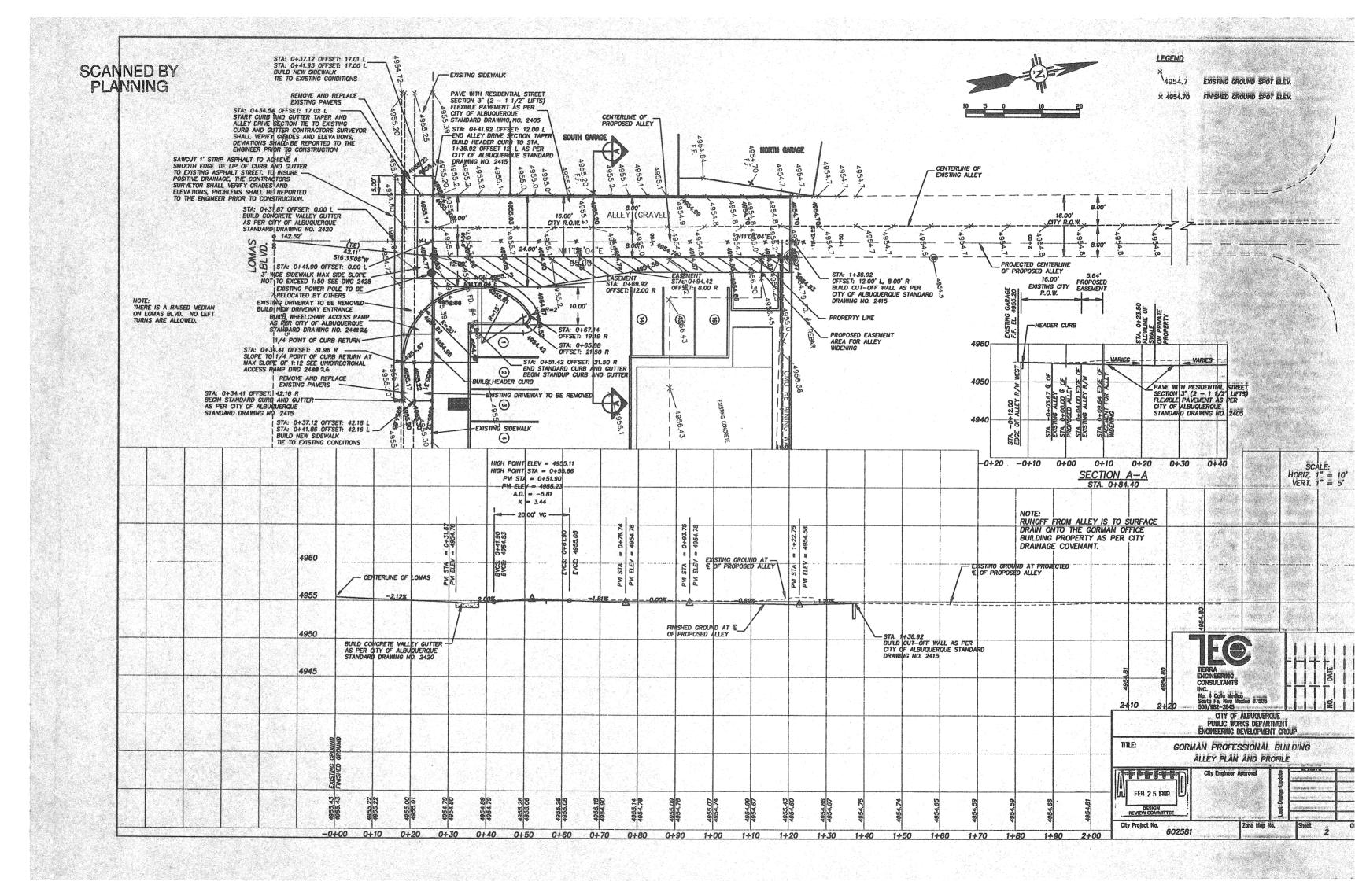
SHALL BE DONE BY THE RESPONSIBLE UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS.

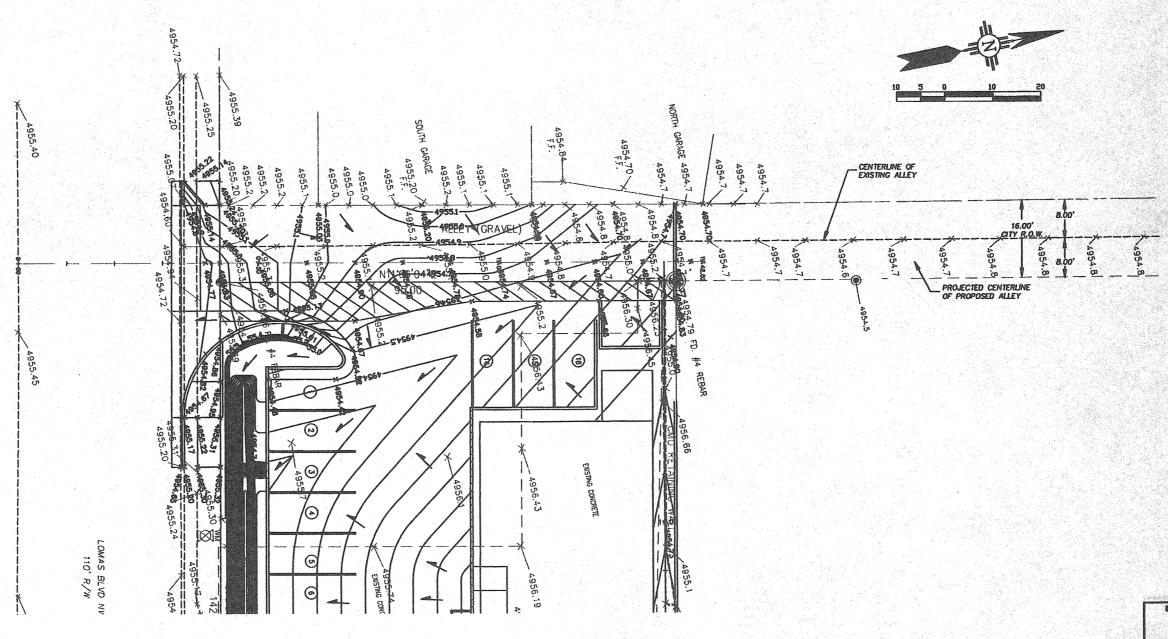
IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES.

THE CONTRACTOR WILL BE REQUIRED TO CONFINE HIS WORK MITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VECETATION AND PRIVATE PROPERTY. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVENAY OR DESIGNATED BRIVING LANES.

A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, ASPHALTIC PAYING, CONCRETE CURBS AND SIDEWALKS, ETC., SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE FIELD ENGINE ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND METERS AND SIDEWALKS.

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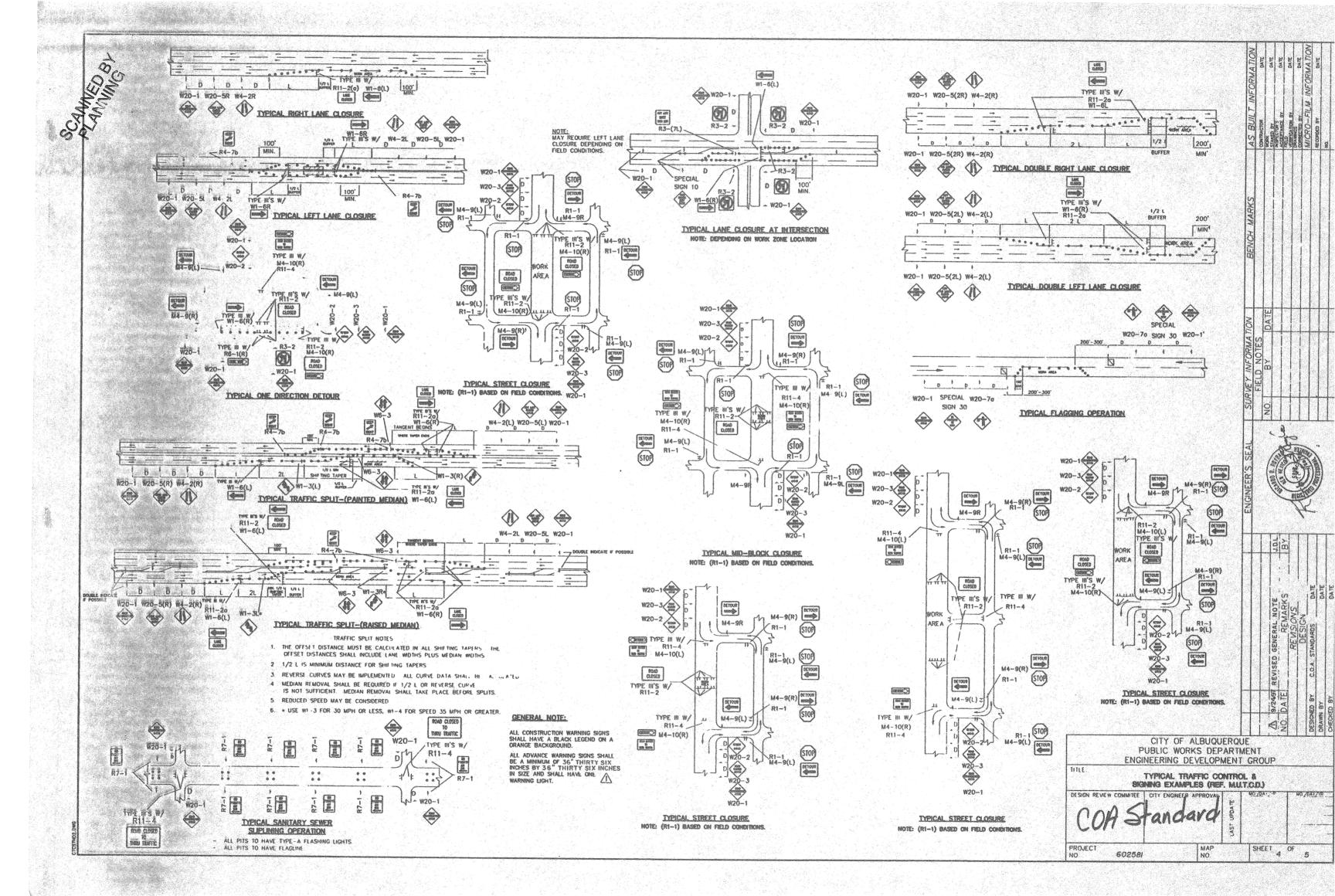
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT CROUP

TITLE:
GORMAN PROFESSIONAL BUILDING
ALLEY GRADING AND DRAINAGE PLAN

City Engineer Approvid

City Project No. 60258

Zone Map No. Sheet



# CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

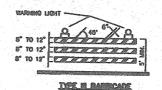
- 1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS—OF—WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED
- 2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED. PERMITS WILL NOT BE ISSUED.
- 3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY
- 4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
- 5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING STORY CHANGES.
- 6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION PER SECTION 64-4 OF THE MUTCH LATEST. CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST
- 7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR
- 8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
- 9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
- 10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
- 11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS A 24HOUR PER DAY BASIS UNTIL COMPLETED.
- 12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
- 13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELLED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
- 14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
- 15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED 17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
- 18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCH, LATEST EDITION.
- 19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
- 20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION

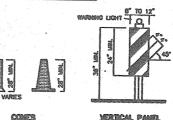
- 21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
- CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING: CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:

  1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

  2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.

  3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
- 23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
- 24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
- 25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
- 26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGTH AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE MU.T.C.D.
- 27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.





MERTICAL PANEL

## **LEGEND**

WORK AREA BARRICADE - TYPE I, TYPE II, OR BARREL BARRICADE - TYPE III

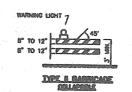
VERTICAL PANEL

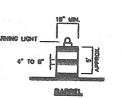
SPEED

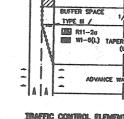
WARNING SIGN DISTANCE BETWEEN SIGNS - À DISTANCE MEASURED IN FEET EQUÂ TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET

FLAGMAN POSITION N SPACING BETWEEN BARRICADES- A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET

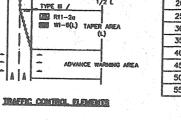
TAPER LENGTH - SEE CHART BELOW THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET







END

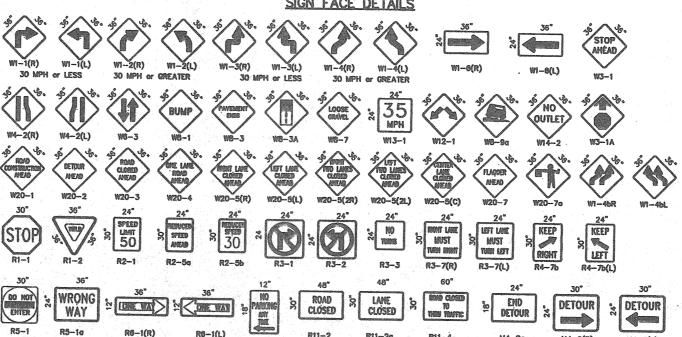


# (FEET) 12' LANE

TAPER REQUIREMENTS

#### DEVICES ALONG AFTER FOR TAPER TAPER 70 75 80 5 20 20 20 25 105 115 125 6 25 25 150 165 180 7 30... 30 30 35 205 225 245 8 35 35 40 270 295 320 9 40 40 40 45 45 450 50 500 550 600 13 50 50 55 550 605 660 13 55 55

### SIGN FACE DETAILS



	WI-1(R) 30 MPH	WI-1(L) or LESS	W1-2(R) 30 MPH er	WI-2(L) GREATER	WI-3(R) 30 M	WI-3(L)	Wi-4(R)	WI-4(L) or GREATER	% ₩1-6	% (R)	W1-8(L)	STOP ANÉAD W3-1		
	₩4-2(R)	45 W4-2(L)	45 45. W6-3	BUMP WB-1	PAVELERITY BRIEF W8-3	WB-3A	LOOSE GRAVEL WS-7	35 MPH W13-1	₩12-1	-5, v.b. W8−9q	NO NO WI4-2	\$5 00 00 00 00 00 00 00 00 00 00 00 00 00		
	ROAD CONSTRUCTION NEAD W20-1	DETOUR NEAD W20-2	ROMD CLOSED AMEAN W20-3	the Line non near	190 UNE CLORED W20-5(R)	45. 197 LHE 03589 MELS WZO-S(L)	10 Uses 10 Use	100 UMES COMES (MEAN) W20-5(2L)	46 Carrell	FLAGOER AVEAU	49. W20-76	45 db.	\$\$\displays{\displaystyle}{\displaystyle}\$.  W1−4bL	
200	STOP RI-1	36° 16. 1-2	SPEED LIMIT 50	R2-5g	24° *S 30 R2-5b	24° R3-1	24° R3-2	24° № 100 Numb	ROMT LANE MUST TABLE BRANT R3-7(R)	24"  LETT LINE MUST THIN LETT  R3-7(L)	KEEP KEEP RIGHT	KEEP KEEP LEFT R4-7b(L)		
98	30" 80 NOT ENTER	WRONG WAY R5-10	36" [DRE WA] R8-1(R)	3: 2: \( \sum \)	-1(L)		ROAD SED	LANE CLOSED S	60° RMS CLOSED TO THEM TEMPTIC	END DETOU	R & DET	OUR & D	30° ETOUR	

ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A

SPECIAL

### RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED MILES PER HOUR	MAMAJAN DIS Between Signs	TANCE IN FEET FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	TO X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

#### JACOR CONTENA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER SHIFTING TAPER	L MINIMUM 1/2 L MINIMUM
SHOULDER TAPER TWO-WAY TRAFFIC TAPER	1/2 L MINIMUM 100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

#### TAPER LENGTH COMBUTATION

그러지 아이들 그는 그녀가 수 그리는 것이 없었다. 무류하	15 MPH OR GREATER L = W ;	O MPH OF	LESS	L={
45 MPH OR GREATER L = W		15 MPH OF	GREATER	L= i

