

CONSTRUCTION PLANS FOR *LOS PRADOS DE GUADALUPE* *SUBDIVISION* LOS RANCHOS DE ALBUQUERQUE, NEW MEXICO

APPROVAL OF AS BUILT DRAWINGS
CHIEF CONSTRUCTION ENGINEER
Celia Chang
DATE ~~4-14-00~~
4-14-00

INDEX TO DRAWINGS

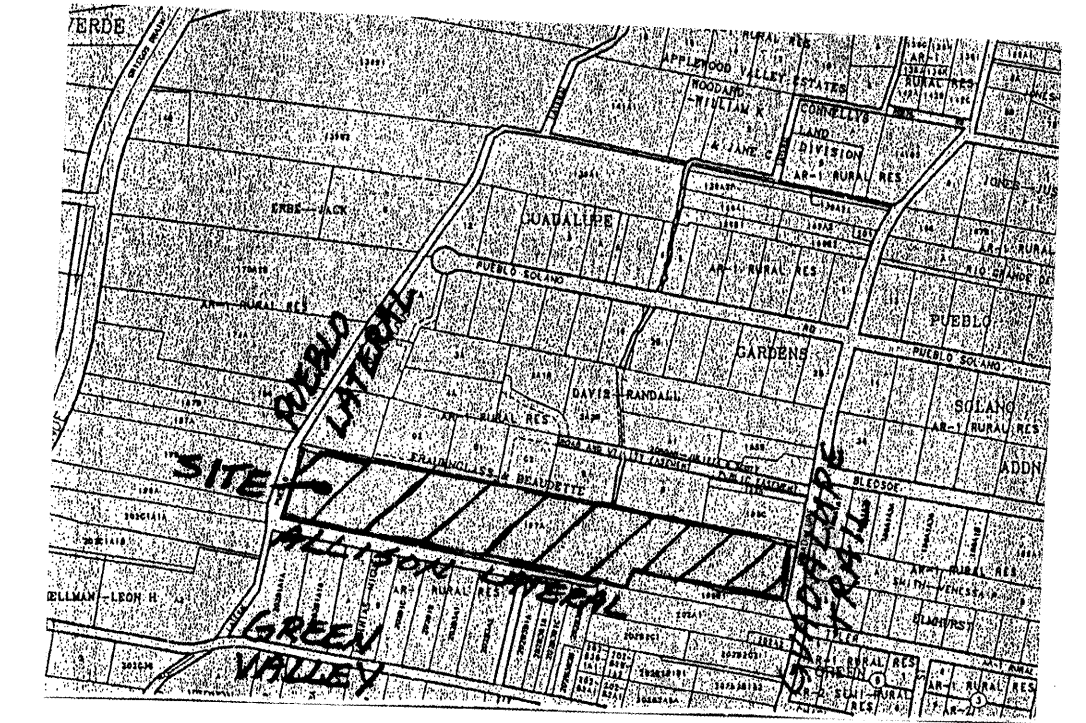
SHEET NO.	SHEET
1	TITLE SHEET
2-3	PLAT
4	GRADING AND DRAINAGE PLAN
5	MASTER PAVING PLAN
6-7	PAVING IMPROVEMENTS
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9-11	UTILITY IMPROVEMENTS

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or content of the record drawings.



Timothy Aldrich
Timothy Aldrich, P.S. No. 7719
08-19-99
Date



VICINITY MAP
ZONE ATLAS D-14-Z
SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR IN EXISTING OR NEW LOCATION AS INDICATED BY THIS SET.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
8. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOURS CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CAUTION:

NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****			
 <i>John M. MacKenzie</i> 12-24-98	DRC CHAIRMAN	<i>Billy G. Searles</i>		APPROVED FOR CONSTRUCTION			
	TRANSPORTATION	<i>N/A (Village)</i>					
	WATER/WASTEWATER	<i>R.W. Kama</i>	1-4-99				
	HYDROLOGY	<i>N/A (Village)</i>					
	CIP						
CONSTR. MNGMT.				CITY ENGINEER	DATE		
CITY PROJECT NO.				SHEET OF			
604181				1 11			



LOCATION MAP
ZONE ATLAS: D-14-Z
SCALE: NONE

SUBDIVISION DATA
PLAT CASE NO. 12.2371 AC
GROSS ACREAGE D-14-Z
ZONE ATLAS NO. 2 TRACTS
NO. OF EXISTING TRACTS/LOTS
NO. OF TRACTS/LOTS CREATED
NO. OF TRACTS/LOTS ELIMINATED
MILES OF FULL WIDTH STREETS CREATED
DATE OF SURVEY
MARCH, 1998
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER: 98033010260304

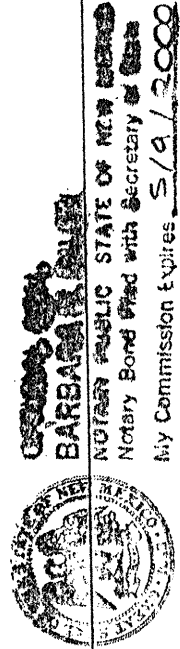
FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and irrigation easements shown hereon including the right to construct, operate, maintain and repair, and maintain facilities therein; and all public utility easements shown hereon for buried joint use of gas, electrical power and communication utilities where shown or indicated, and including the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

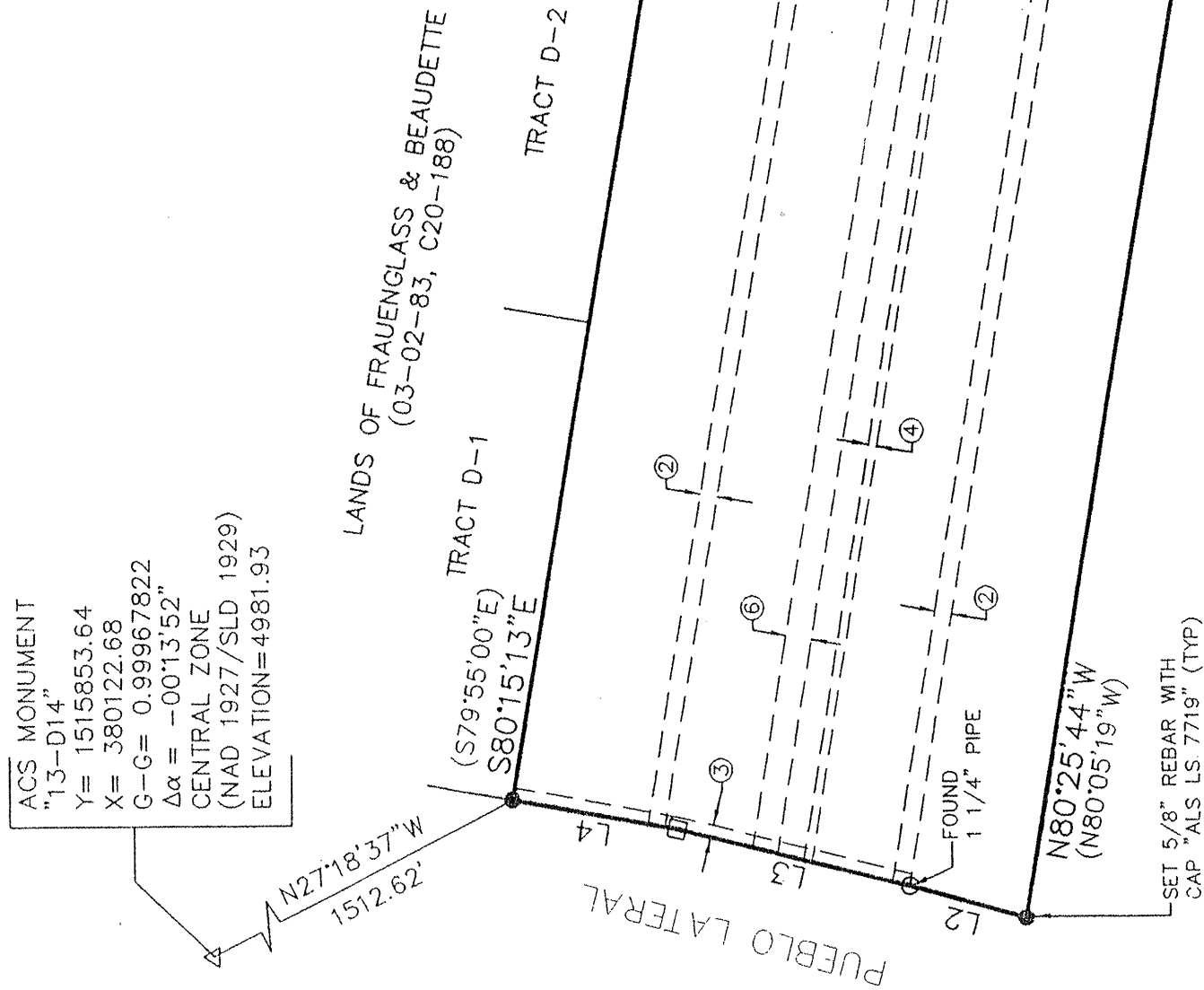
Timothy Aldrich
Paradise Acres Joint Venture
16/8/98
Mangomy Parcel

OWNER'S ACKNOWLEDGMENT

COUNTY OF NEW MEXICO } ss
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on December 8, 1998
by Timothy Aldrich 5/1/2000
NOTARY PUBLIC NY COMMISSION EXPIRES



LINE	DIRECTION	DISTANCE
L1	S09°20'40"W	71.24' (71.19')
L2	N15°58'43"E	70.48' (70.46')
L3	N16°21'36"E	139.12' (139.10')
L4	N10°06'47"E	97.49' (97.50')



- EASEMENT DATA
- EXISTING 5' PNM EASEMENT (02-05-93, 93C-32)
 - EXISTING 10' PNM EASEMENT (11-14-58, BK.D451, PG.80)
 - EXISTING 7' PNM & M.S.T.&T. EASEMENT (09-24-70, MISC. BK.189, PG.111)
 - EXISTING 5' M.S.T.&T. RIGHT-OF-WAY EASEMENT (04-08-74, MISC. BK.361, PG.480)
 - EXISTING 5' PNM & M.S.T.&T. EASEMENT (03-15-78, MISC. BK.594, PG.474)
 - EXISTING 15' GAS CO. OF N.M. RIGHT-OF-WAY & EASEMENT (09-22-83, MISC. BK.49A, PGS.573-574)
 - EXISTING 7' PNM & M.S.T.&T. EASEMENT (04-18-86, MISC. BK.343A, PG.140)
 - EXISTING 5' PNM & M.S.T.&T. EASEMENT (12-12-90, BK.BCR. 90-19, PGS. 8226-8227)

SHT. 2 of 11

SCANNED BY
MESA REPRO

LEGAL DESCRIPTION

A tract of land situate within the Elena Gallegos Grant, projected Section 20, Township 11 North, Range 3 East, New Mexico Principal Meridian, Village of Los Ranchos, Bernalillo County, New Mexico being all of TRACT 197A, MRGCD MAP NO. 27 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 5, 1983 in Volume 93C, Folio 32 and being more particularly described as follows:

BEGINNING at the northwest corner of the herein described tract, said point being on the easterly right-of-way line of LANDS OF FRAUENGLASS & BEAUDETTE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 2, 1983 in Volume C20, Folio 188 from whence the Albuquerque Control Survey Monument "13-014" bears N 27°18'37" W, 1512.62 feet;

THENCE leaving said easterly right-of-way line S 08°56'30" W, 228.83 feet to the southwest corner of the southerly line of said TRACT D-1 and TRACT D-2, LANDS OF FRAUENGLASS & BEAUDETTE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 5, 1983 in Volume C20, Folio 188 and TRACTS C-1 & C-2, LANDS OF FRAUENGLASS & BEAUDETTE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 10, 1984 in Volume C23, Folio 198 and TRACT B, LANDS OF FRAUENGLASS & BEAUDETTE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 18, 1981 in Volume C18, Folio 184 and TRACT 196C, MRGCD MAP NO. 27 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 14, 1969 in Volume C7, Folio 41 to the northeast corner, said point being common with the southeast corner of said TRACT 196C and further being on the westerly right-of-way line of Guadalupe Trail N.W.;

THENCE along said westerly right-of-way line S 08°56'30" W, 228.83 feet to the southwest corner, said point being common with the northeast corner of TRACT 199-b-1, MRGCD MAP NO. 27 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 5, 1993 in Volume 93C, Folio 32;

THENCE leaving said westerly right-of-way line N 80°28'04" W, 588.41 feet along a line common with the northerly line of said TRACT 199-b-1 to a point, said point being common with the northwest corner of said TRACT 199-b-1;

THENCE S 09°20' 3" W, 71.24 feet to a point, said point being common with the southwest corner of said TRACT 199-b-1;

THENCE N 80°25'44" W, 1321.63 feet along a line common with the northerly line of TRACT 202A1, TRACT 202B3B2A, TRACT 202B3B1C, TRACT 202B3B1B and TRACT 202B3B1A, MRGCD MAP NO. 27 and the northerly right-of-way line of the Allison Lateral to the southwest corner, said point being the intersection of said northerly line and the easterly right-of-way line of said Pueblo Lateral;

THENCE leaving said northerly right-of-way line N 15°58'43" E, 70.48 feet along said easterly right-of-way line to a point;

THENCE continuing N 14°02'38" E, 139.12 feet to a point;

THENCE continuing N 10°06'47" E, 97.49 feet to the point of beginning and containing 12.2371 acres more or less.

PURPOSE OF PLAT

- TO SUBDIVIDE EXISTING TRACT 197A INTO 19 LOTS AND OPEN SPACE.
- TO VACATE EXISTING EASEMENTS.

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Land Surveying and Mapping Act of the State of New Mexico (Effective November 1, 1969 and revisions effective December 25, 1991 and February 2, 1994), and is true and correct to the best of my knowledge and belief."

TIMOTHY ALDRICH, P.S. No. 7719 DATE

VACATION SHEET

- PUBLIC UTILITY EASEMENTS
- Public Utility Easements shown on this plat are granted for the common and joint use of:
- The PNM Electric Services Division for the installation, maintenance and service of all electric lines, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
 - The PNM Gas Services Division for installation, maintenance and service of all gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
 - U.S. West for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and ductures.
 - Jones Interchange for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain electric and gas lines, poles and other equipment, fixtures, structures and related facilities, including but not limited to the right to access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs, or other vegetation which may interfere with the installation, maintenance and service of such lines, cable and other related equipment and facilities. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed over, on, or adjacent to any easement shown on this plat. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of posts, decking or other structures adjacent to within or near easements shown on this plat.
- In approving this plat, the utility companies did not consent to the installation, maintenance and service of any other equipment, fixtures, structures and related facilities, including but not limited to above ground pedestals and ductures, which may have been granted by prior plat, easement rights which may have been granted by prior plat, or other document and which are not shown on this plat.

LANDS OF FRAUENGLASS & BEAUDETTE
(09-18-81, C18-184)
TRACT B

LANDS OF FRAUENGLASS & BEAUDETTE
(05-10-84, C23-188)
TRACT C-1

TRACT C-2

LANDS OF FRAUENGLASS & BEAUDETTE
(03-02-83, C20-188)
TRACT D-2

TRACT D-1

TRACT C-1

TRACT C-2

TRACT B

TRACT A

ALLISSON LATERAL

TRACT 197A

TRACT 196C

TRACT 199-b-1

TRACT 202A1

TRACT 202B3B2A

TRACT 202B3B1C

TRACT 202B3B1B

TRACT 202B3B1A

TRACT 202B3B1A

TRACT 202B3B1A

TRACT 202B3B1A

TRACT 202B3B1A

TRACT 202B3B1A

PLAT FOR
LOS PRADOS DE GUADALUPE
SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 20
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
VILLAGE OF LOS RANCHOES
BERNALILLO COUNTY, NEW MEXICO
MARCH 1998

NOTES

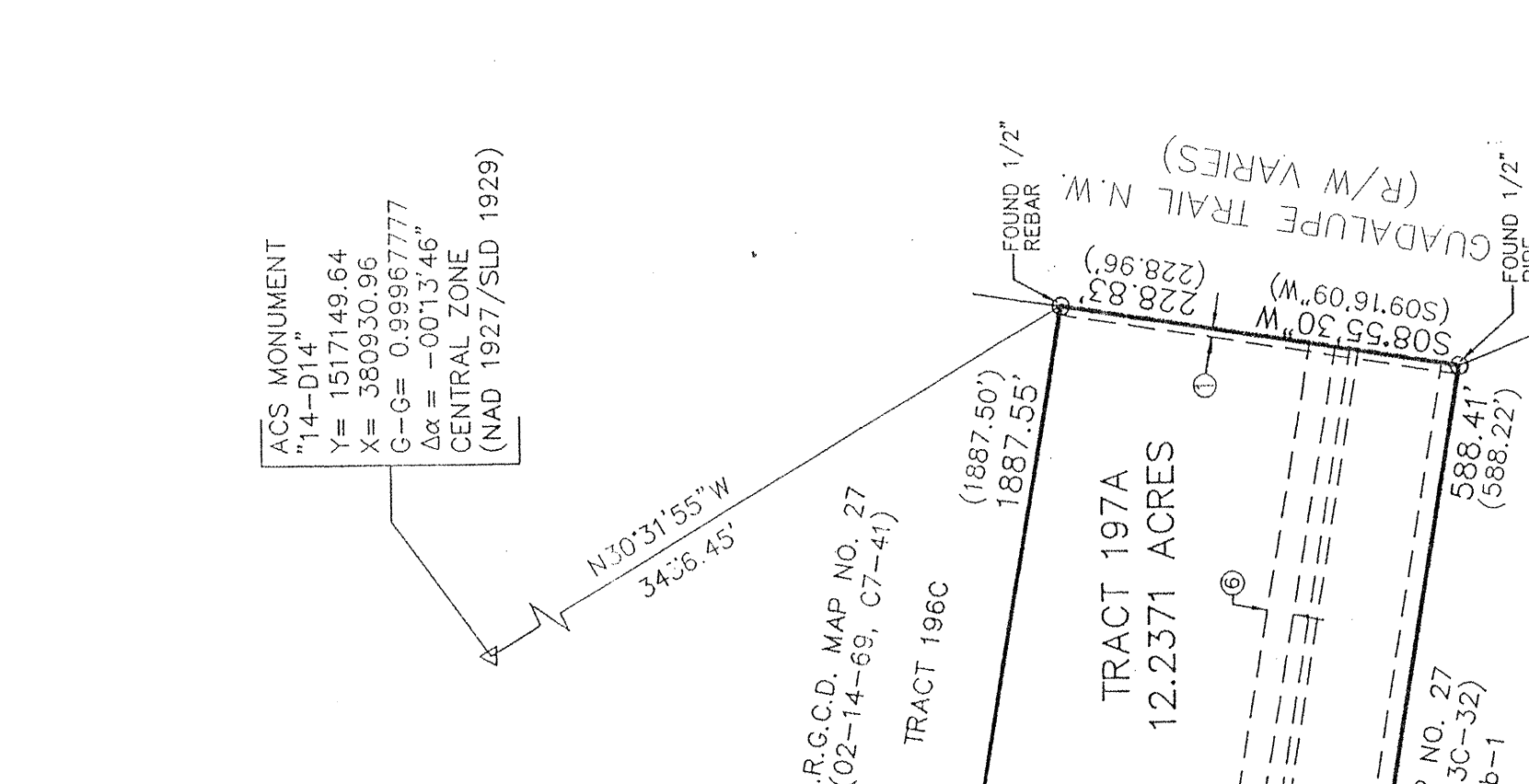
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in the parenthesis are record.
- Basis of boundary are the following plats and documents of record entitled:
"M.R.G.C.D. MAP NO. 27" (02-05-93, 93C-32)
"M.R.G.C.D. MAP NO. 27" (02-14-69, C7-41)
"LANDS OF FRAUENGLASS & BEAUDETTE" (03-02-83, C20-188)
"LANDS OF FRAUENGLASS & BEAUDETTE" (05-10-84, C23-198)
"LANDS OF FRAUENGLASS & BEAUDETTE" (09-18-81, C18-184)
- all being records of Bernalillo County, New Mexico.
- Field Survey performed March, 1998.
- Utility Council Location System Log No. 98033010260304
- Title Report: Commitment Number 66368 RAD
Provided by Fidelity National Title Insurance Company
(Effective date: March 16, 1998)
- A one foot reciprocal encroachment easement beyond the side lot line shall be granted to each lot by this plat.
- The Public Sanitary Sewer and Waterline Easements ("Water and Sewer Easement") shown on this plat are granted exclusively to the City of Albuquerque and its successors and assigns. City private access easements (collectively "Streets"), which shall be exclusive to the City for underground water and sanitary sewer easements, but surface uses such as ingress, egress, access, and drainage (but not including ponding) shall be allowed. In the event Grantor constructs any improvements (Encroachments) (but not including Sewer Easements) the City shall have the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification, or removal ("Work") it deems appropriate without liability to the City. If the Work affects any Encroachments, the City will not be financially otherwise responsible for the rebuilding or repairing of the Encroachments. The City shall have the right to remove any Encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Encroachments. In addition, perpendicular crossings of the City's Water and Sewer Easements by other utility (PUE) or irrigation easements are not prohibited by the exclusive nature of the City's easements.
- Private open space areas are reserved for sole use by the owners of lots within this subdivision, and are to be maintained by said owners.

APPROVED AND ACCEPTED BY:

Mayor, Village of Los Ranchos De Albuquerque, N.M.	Date
Clerk, Village of Los Ranchos De Albuquerque, N.M.	Date
PNM GAS	Date
U.S. West Telecommunications	Date
PNM ELECTRIC	Date
Jones Interchange, Inc.	Date

dwg: PLT-1	Drawn: DBC	Checked: ALS	Sheet 2 of 4
Scale: 1" = 100'	Date: 10-13-98	Job: 97001	

PLAT FOR
LOS PRADOS DE GUADALUPE
SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 20
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
VILLAGE OF LOS RANCHOES
BERNALILLO COUNTY, NEW MEXICO
MARCH 1998



- EASEMENT DATA
- EXISTING 5' PNM EASEMENT (02-05-93, 93C-32)
 - EXISTING 10' PNM EASEMENT (11-14-58, BK.D451, PG.80)
 - EXISTING 7' PNM & M.S.T.&T. EASEMENT (09-24-70, MISC. BK.189, PG.111)
 - EXISTING 5' M.S.T.&T. RIGHT-OF-WAY EASEMENT (04-08-74, MISC. BK.361, PG.480)
 - EXISTING 5' PNM & M.S.T.&T. EASEMENT (03-15-78, MISC. BK.594, PG.474)
 - EXISTING 15' GAS CO. OF N.M. RIGHT-OF-WAY & EASEMENT (09-22-83, MISC. BK.49A, PGS.573-574)
 - EXISTING 7' PNM & M.S.T.&T. EASEMENT (04-18-86, MISC. BK.343A, PG.140)
 - EXISTING 5' PNM & M.S.T.&T. EASEMENT (12-12-90, BK.BCR. 90-19, PGS. 8226-8227)

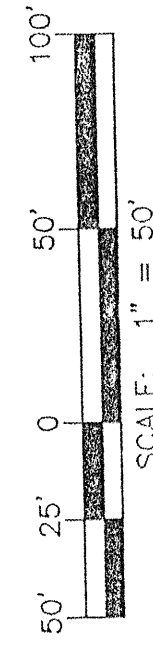
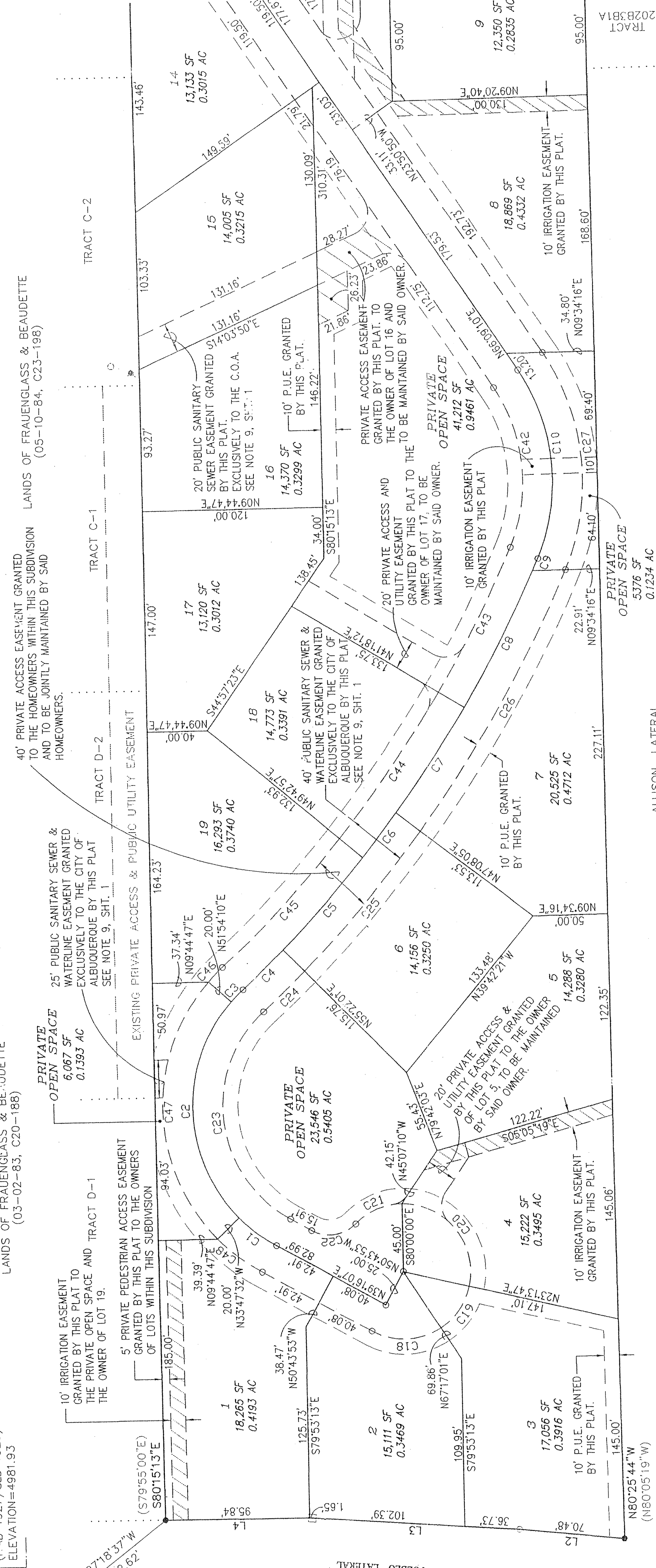
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Scale: 1" = 100' Date: 9-23-98 Job: 97001

WITHIN THE GRANT
ELENA GALLEGOS
PROJECTED SECTION 20
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
VILLAGE OF LOS RANCHOS
BERNALILLO COUNTY, NEW MEXICO
MARCH 1998

ACS MONUMENT
13-D14
Y= 1515953.64
X= 380930.96
C= 0.99967822
Z= -001352"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=4981.93

LANDS OF FRAUENGLASS & BEAUDETTE
(03-02-83, C20-188)

LANDS OF FRAUENGLASS & BEAUDETTE
(05-10-84, C23-198)



dwg: ALL-PLT Drawn: DBC Checked: ALS Sheet 3 of 4
Scale: 1" = 50' Date: 11-24-98 Job: 97001

PLAT FOR
LOS PRADOS DE GUADALUPE
SUBDIVISION

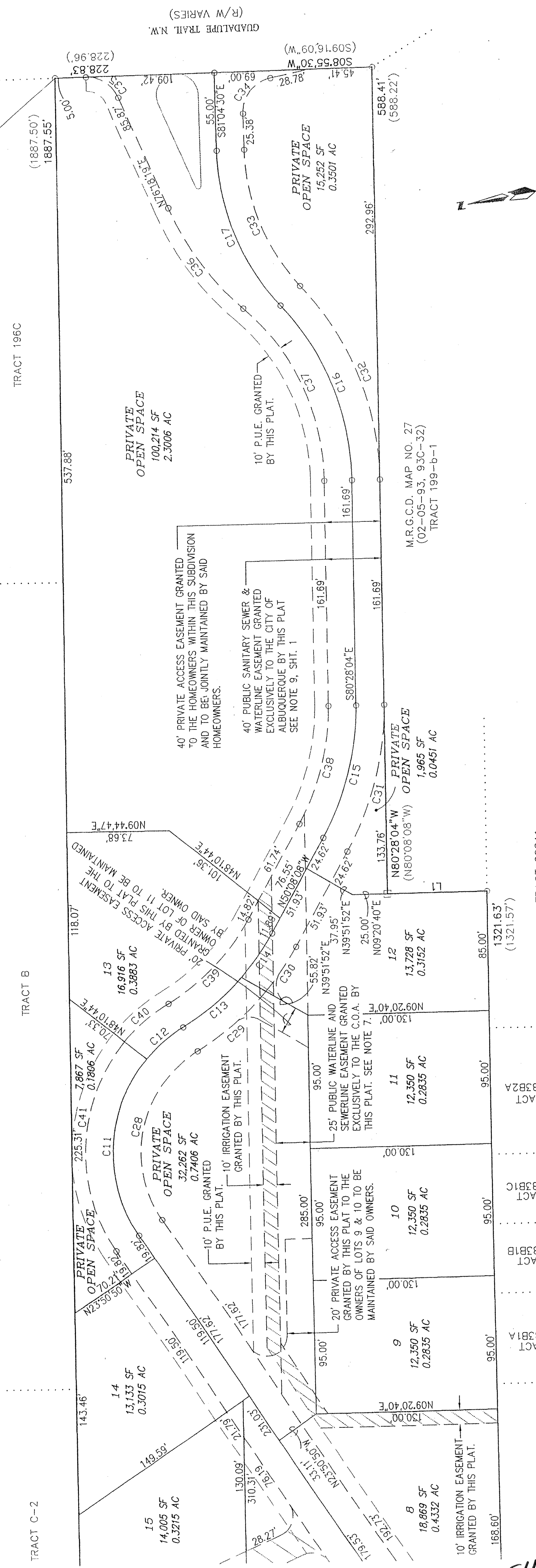
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TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
VILLAGE OF LOS RANCHOS
BERNALILLO COUNTY, NEW MEXICO
MARCH 1998

NUMBER	R	DELTA	L	CD	LC	T
C1	105.00	15 56'21"	31.04	S 47°44'17" W	30.93	15.64
C2	105.00	95°41'42"	117.04	S 80°56'41" E	142.81	97.39
C3	105.00	06°05'02"	111.15	S 33°03'18" E	111.14	53.58
C4	815.00	02°37'11"	37.26	S 33°13'23" E	37.26	18.64
C5	815.00	05°39'04"	80.38	S 37°27'31" E	80.35	40.22
C6	815.00	02°34'53"	36.72	S 41°24'23" E	36.71	18.26
C7	815.00	05°49'53"	82.95	S 45°46'52" E	82.91	41.51
C8	815.00	07°09'23"	101.80	S 52°16'30" E	101.73	50.96
C9	815.00	00°37'34"	18.91	S 56°09'58" E	18.91	4.45
C10	130.00	57°22'05"	130.16	S 85°09'48" E	124.79	71.19
C11	105.00	74°03'22"	135.71	S 76°49'09" E	126.46	72.20
C12	105.00	18°52'37"	34.59	S 30°21'07" E	34.44	17.46
C13	185.00	17°10'32"	55.46	S 29°30'07" E	55.23	27.94
C14	185.00	12°02'45"	38.89	S 44°06'46" E	38.82	19.52
C15	185.00	30°19'56"	97.94	S 65°18'06" E	96.80	50.15
C16	185.00	48°57'16"	136.69	N 78°03'19" E	135.47	72.79
C17	155.00	42°20'50"	121.95	N 77°45'06" E	119.19	63.91
C18	45.00	61°59'06"	48.68	N 08°16'34" E	46.34	27.03
C19	45.00	44°03'13"	34.60	N 44°36'54" W	33.75	18.21
C20	45.00	03°13'47"	81.08	N 61°36'54" E	70.55	56.81
C21	45.00	44°07'48"	34.66	N 12°03'54" W	33.81	18.24
C22	25.00	73°23'55"	32.03	S 02°04'10" W	29.88	18.63
C23	85.00	108°43'05"	151.29	S 86°32'23" E	138.16	119.55
C24	835.00	02°37'11"	38.18	S 33°19'23" E	38.17	19.09

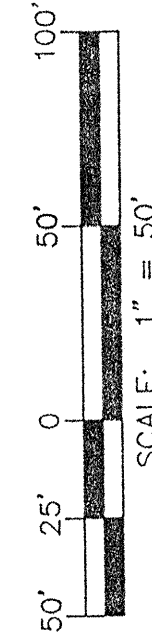
ACS MONUMENT
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X= 380930.96
C= 0.99967777
Z= -0013516"
CENTRAL ZONE
(NAD 1927/SLD 1929)

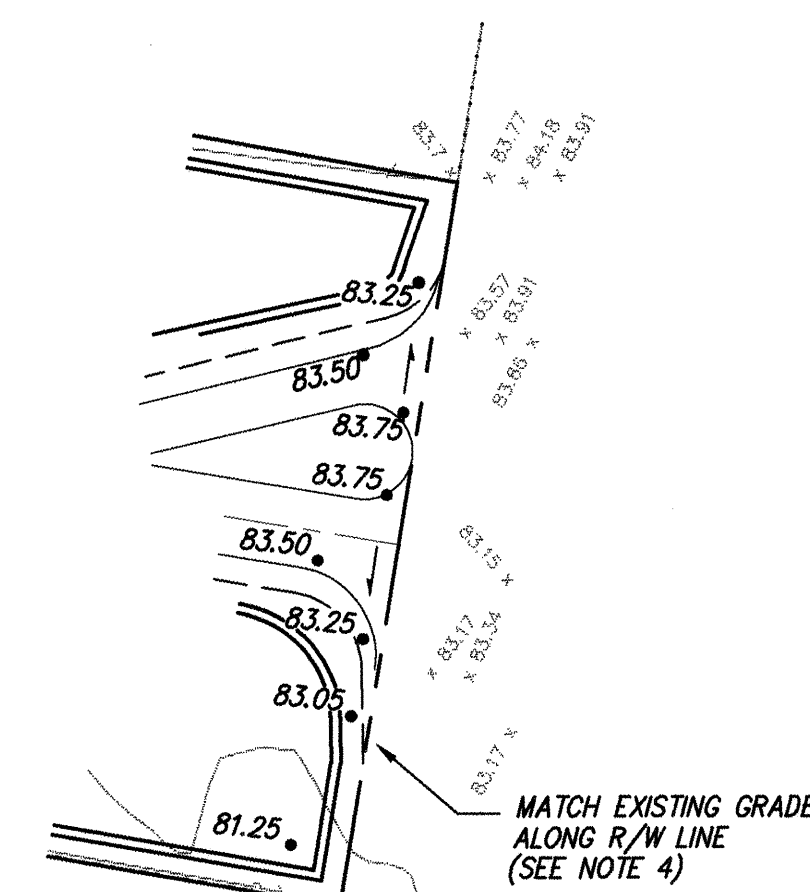
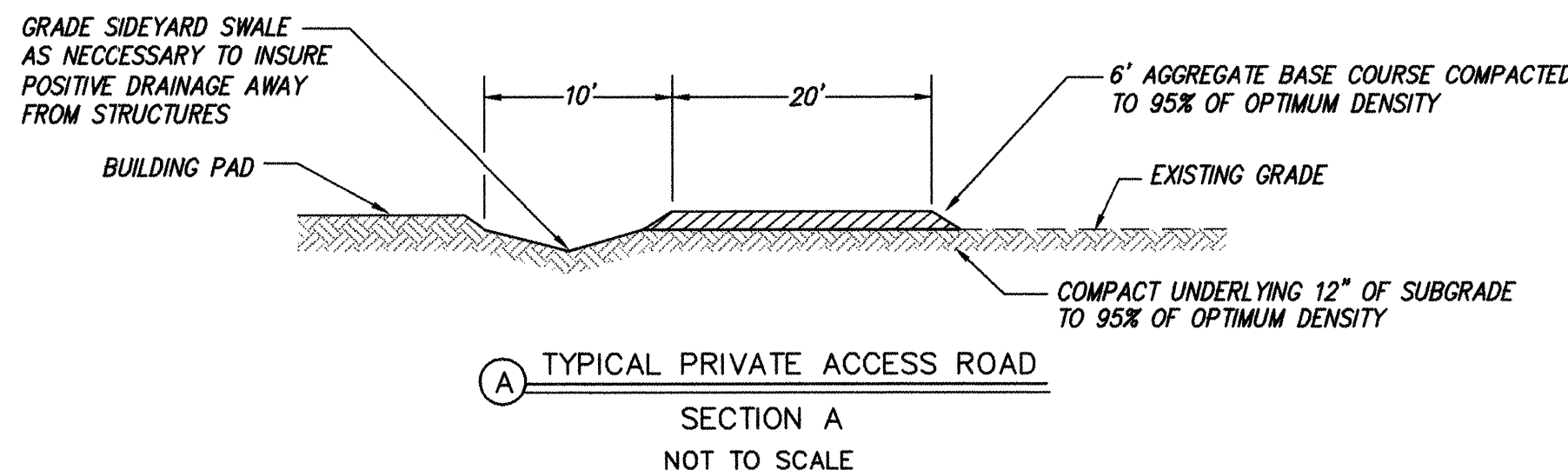
LANDS OF FRAUENGLASS & BEAUDETTE
(09-18-81, C18-184)

M.R.C.D. MAP NO. 27
(02-14-69, C7-41)



SHT. 3 of 11





VICINITY MAP ZONE MAP: D-14-Z

LEGAL DESCRIPTION

TRACT 197A, MRGCD MAP NO 27

ACS MONUMENT
"13-D14"
Y= 1515853.64
X= 380122.68
G= 0.99967822
Δα = -0°13'52"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=4981.93

M.R.G.C.D. MAP NO. 27
(02-14-69, C7-41)

TRACT 196C

M.R.G.C.D. MAP NO. 27
(02-05-93, 93C-32)
TRACT 199-b-1

DRAINAGE CALCULATIONS

$P_{100} = 2.01$
 $P_{300} = 2.35$
 $P_{1400} = 2.75$
 $Dt = 0.033 \text{ HR}$
 $Tp = 0.133 \text{ HR}$
 $A \text{ TOTAL} = 0.01672 \text{ SQ MI}$

EXISTING CONDITION

TYPE "A" = 53.0%
TYPE "B" = 20.0%
TYPE "C" = 15.0%
TYPE "D" = 12.0%
 $V_{100} = .7455 \text{ AC-FT}$

PROPOSED CONDITION

BASIN "A"

AREA = .004337 SQ. MI.
TYPE "A" = 40.0%
TYPE "B" = 14.0%
TYPE "C" = 13.0%
TYPE "D" = 33.0%
 $V_{100} = .2651 \text{ AC-FT}$
 $V_{100-10} = .3869 \text{ AC-FT}$
 $V_{\text{provided}} = .5348 \text{ AC-FT}$
MAX WATER SURFACE ELEVATION=82.47 M.S.L.

BASIN "B"

AREA = .003992 SQ. MI.
TYPE "A" = 50.0%
TYPE "B" = 14.0%
TYPE "C" = 13.0%
TYPE "D" = 23.0%
 $V_{100} = .2101 \text{ AC-FT}$
 $V_{100-10} = .2883 \text{ AC-FT}$
 $V_{\text{provided}} = .4763 \text{ AC-FT}$
MAX WATER SURFACE ELEVATION=82.61 M.S.L.

BASIN "C"

AREA = .008143 SQ. MI.
TYPE "A" = 60.0%
TYPE "B" = 12.0%
TYPE "C" = 10.0%
TYPE "D" = 18.0%
 $V_{100} = .3856 \text{ AC-FT}$
 $V_{100-10} = .5103 \text{ AC-FT}$
 $V_{\text{provided}} = 1.87 \text{ AC-FT}$
MAX WATER SURFACE ELEVATION=82.28 M.S.L.

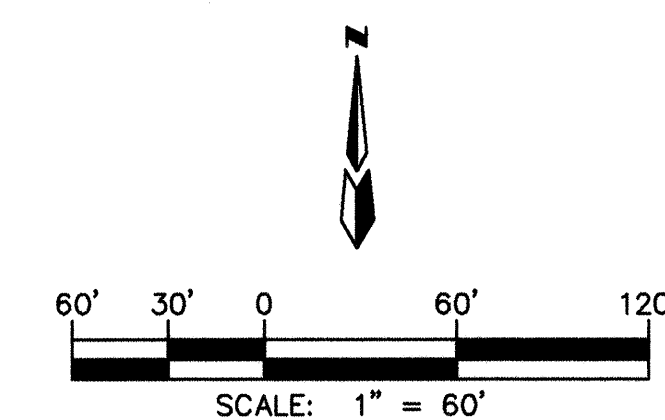
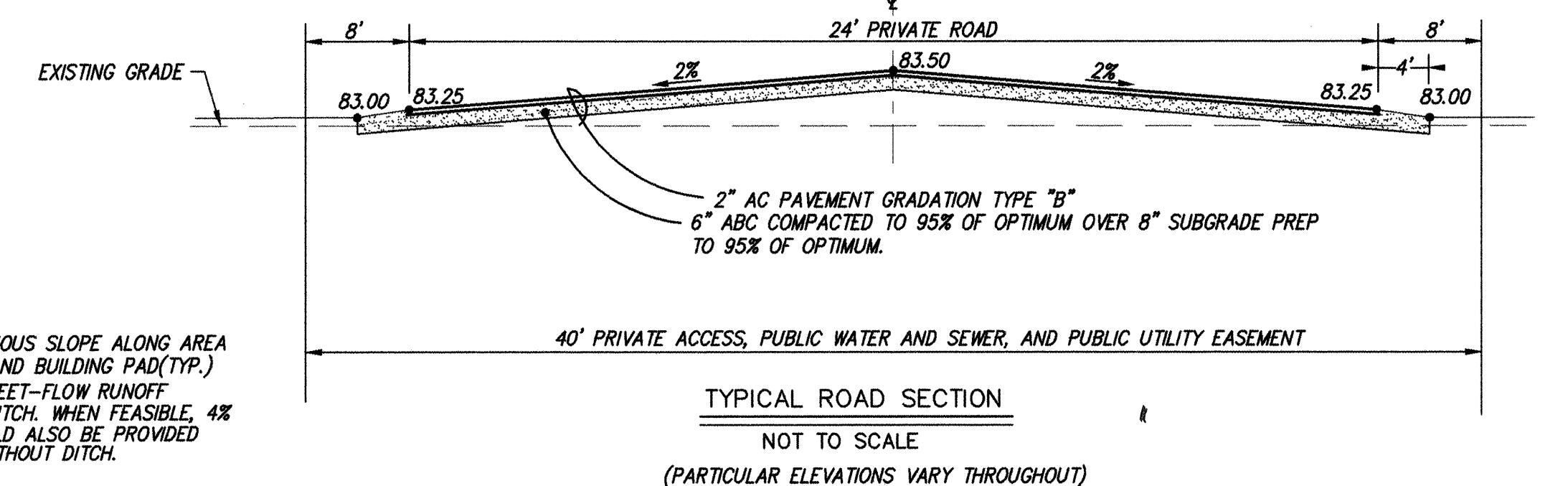
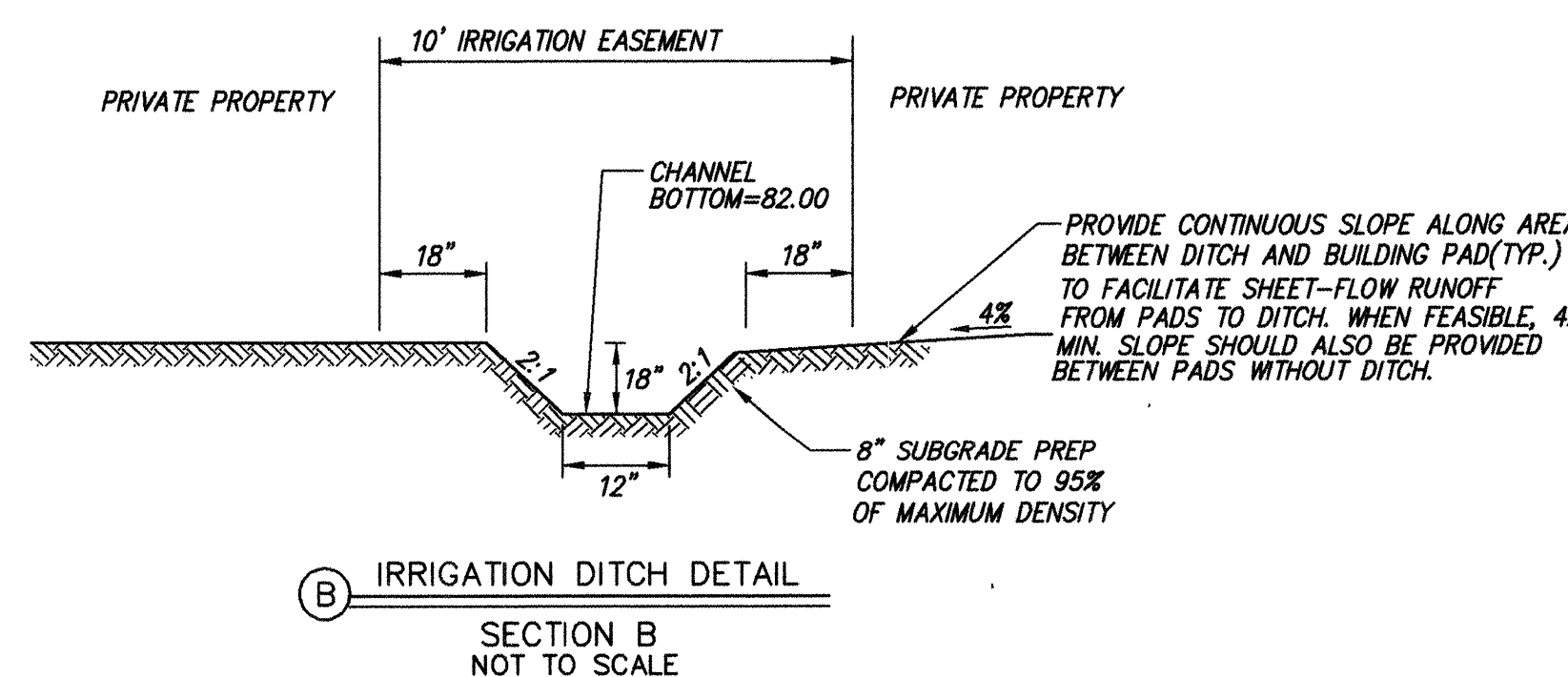
OFFSITE FLOWS DO NOT IMPACT THE SITE. THE ENTIRE SITE IS LOCATED WITHIN ZONE X AS SHOWN IN THE BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS, FLOOD INSURANCE RATE MAP NUMBER 35001C0117D.

LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	CENTERLINE
---	NEW CONTOUR
• 84.00	NEW FIRE HYDRANT
• 4985	NEW SPOT ELEVATION
x 82.6	EXISTING CONTOUR
x 82.6	EXISTING SPOT ELEVATION
---	EXISTING WOOD FENCE
---	EXISTING CHAIN LINK FENCE
○	EXISTING TREE
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING FIRE HYDRANT
---	PRIVATE ACCESS EASEMENT
---	FLOW LINE

NOTES

- ALL CMP SHALL BE FITTED WITH END SECTIONS.
- BUILDING PADS SHOWN HEREON ARE TO BE CONSTRUCTED BY THE HOME BUILDER AND REPRESENT THE MAXIMUM LIMITS OF THE BUILDING FOOTPRINT.
- ALL RUNOFF FROM ROOF DRAINS IS TO BE POSITIVELY CONVEYED TO LOT-SIDE SWALES WITH EROSION PROTECTION AT ROOF DRAIN OUTFALLS.
- EARTHWORK CONTRACTOR SHALL ALLOW FOR ALL RUNOFF FROM EXISTING ROADSIDE DEPRESSIONS TO BE CONVEYED INTO ADJACENT ON-SITE PONDING AREAS.
- EARTHWORK CONTRACTOR IS ADVISED TO FOLLOW RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION BY VINEYARD AND ASSOC., DATED JULY 15, 1998.



NO PADS HAVE
BEEN CONSTRUCTED

7001PA\7001GD60\11-20-98

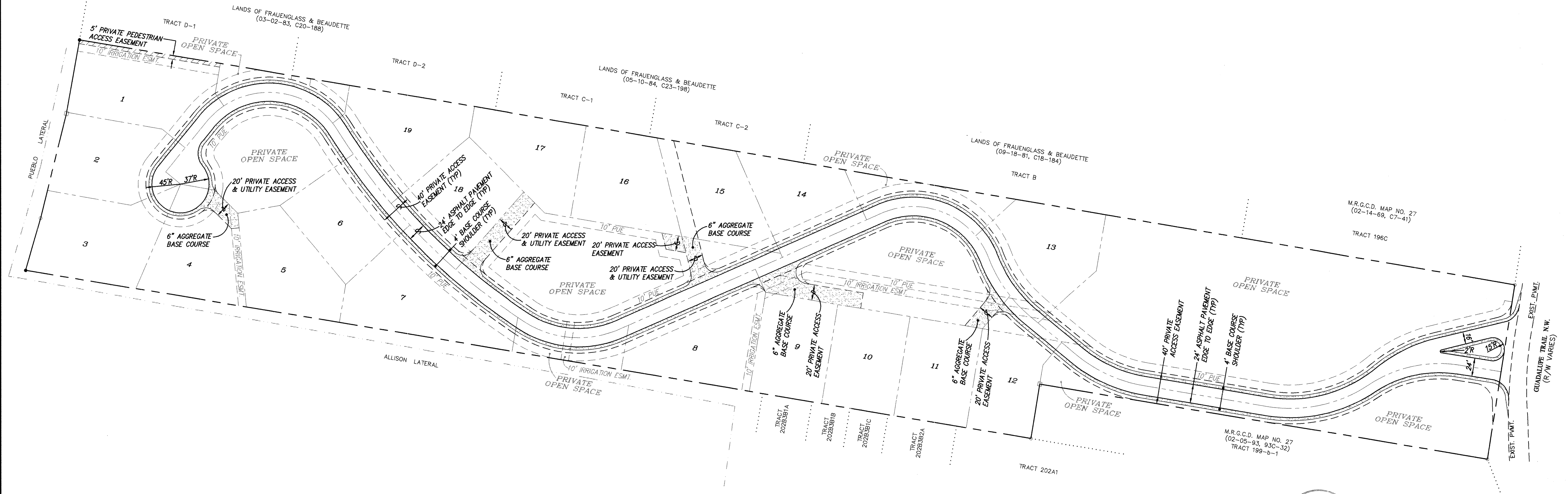
LOS PRADOS DE GUADALUPE GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

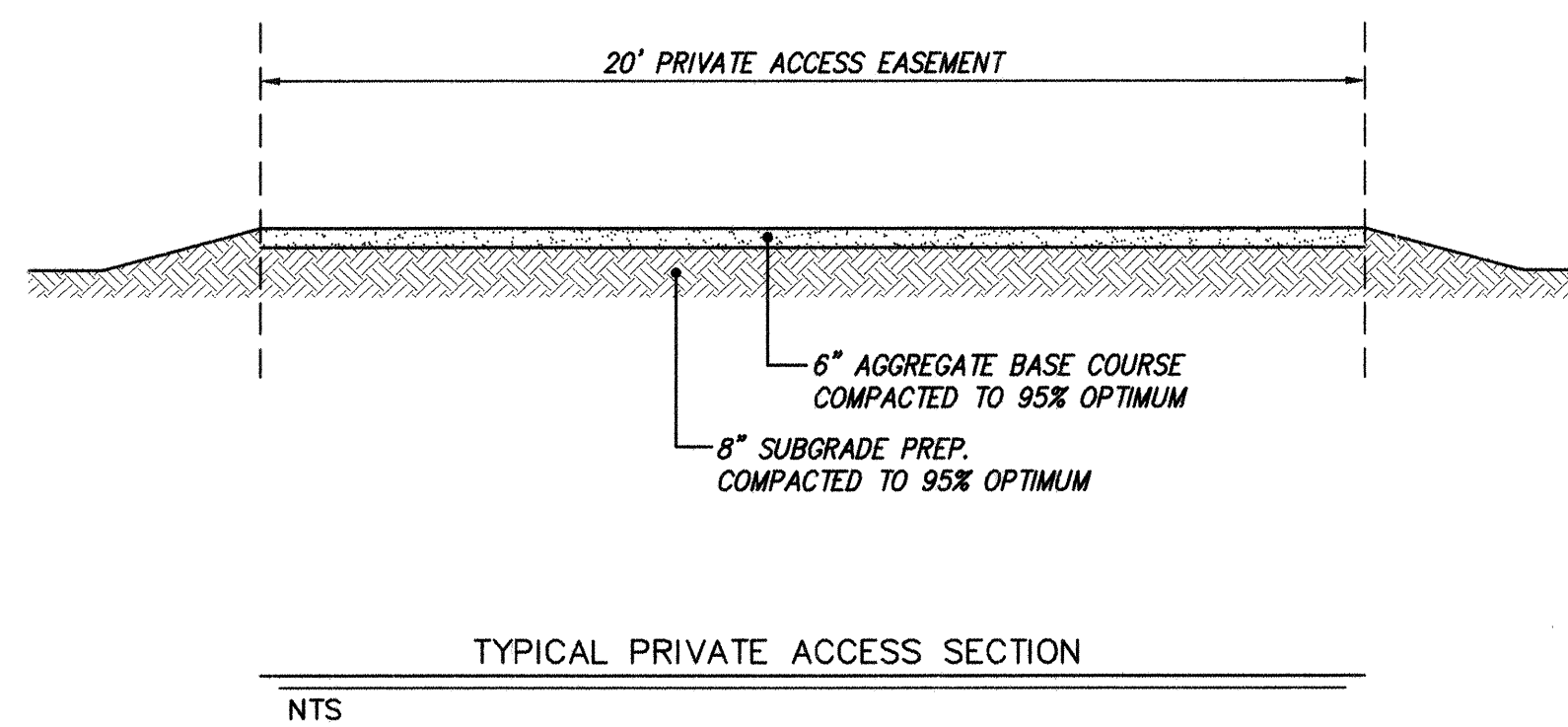
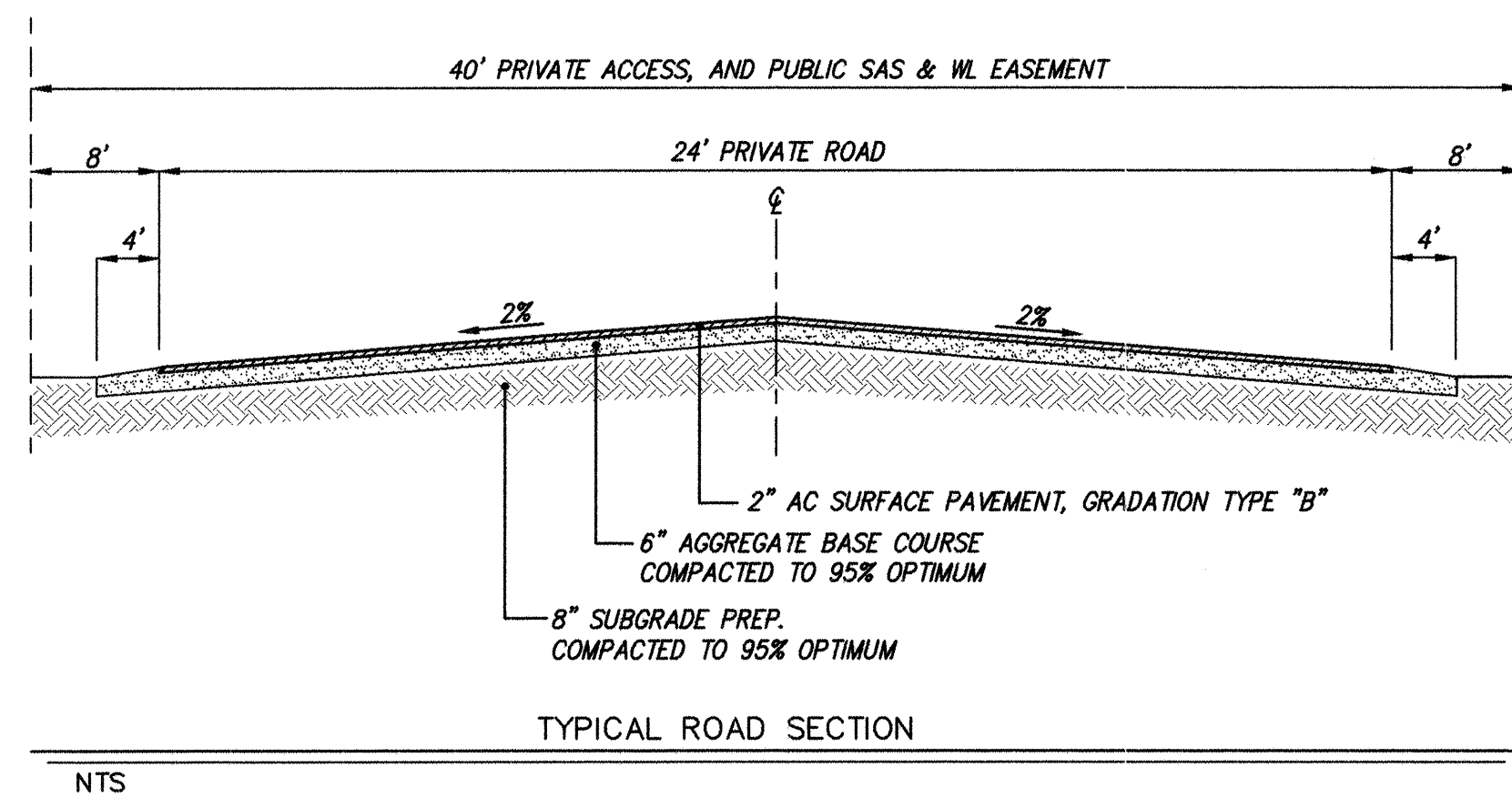
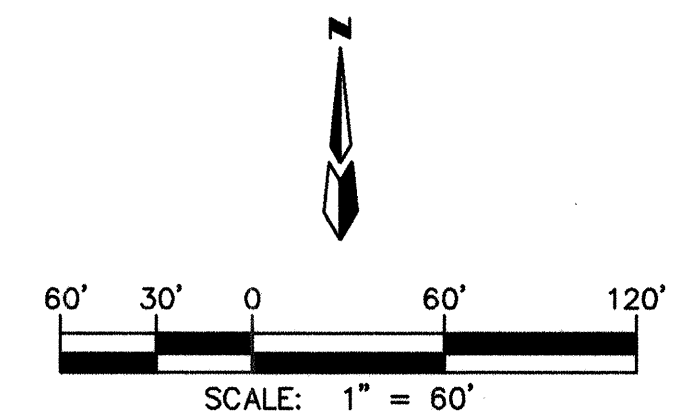
Designed: DPS Drawn: STAFF Checked: DMG Sheet 4 of 11
Scale: 1" = 60' Date: 11/98 Job: 97001

LEGEND

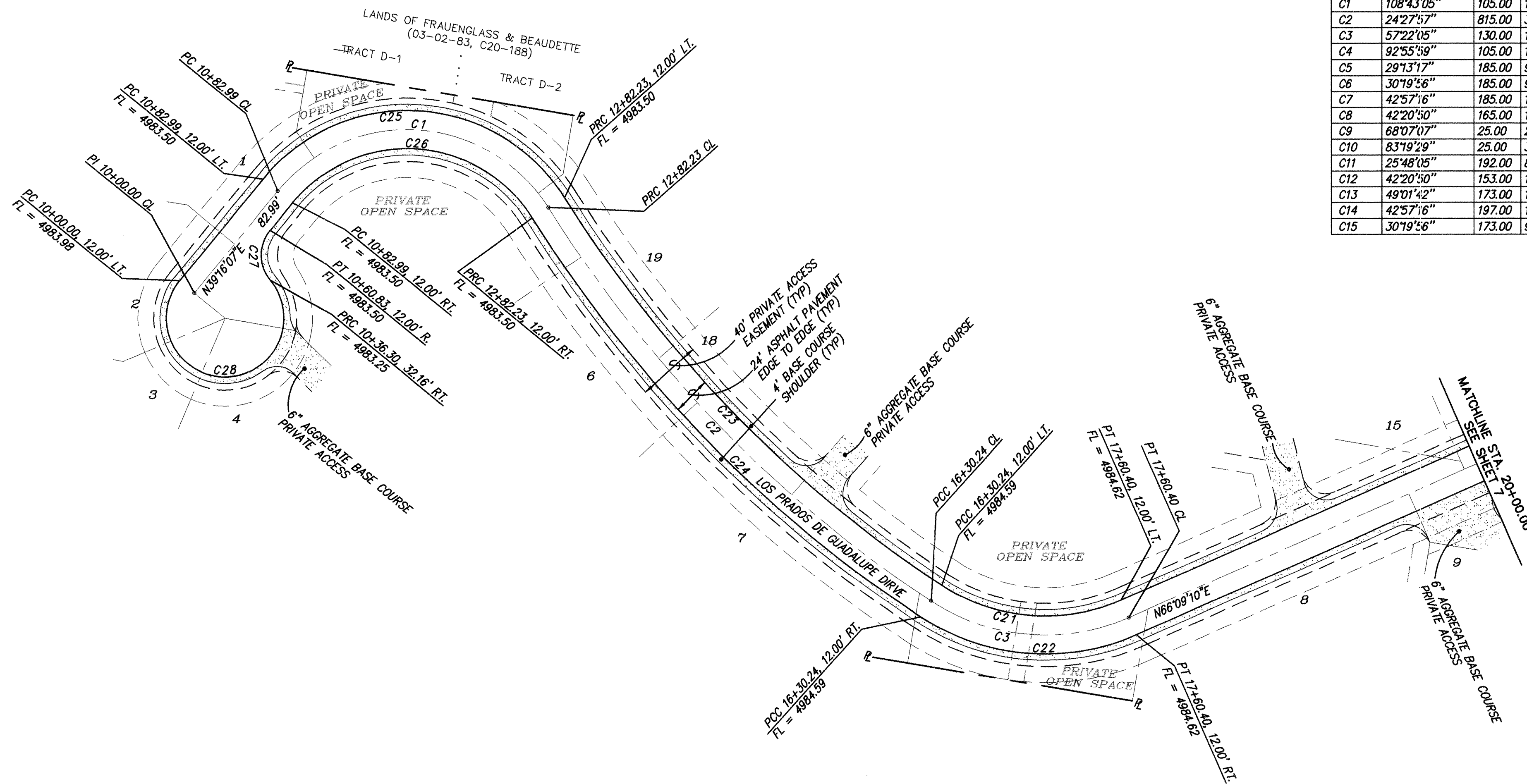
---	PROPERTY LINE
	6" AGGREGATE BASE COURSE
10	LOT NUMBER




John M. Madenzie
12-24-98



LOS PRADOS DE GUADALUPE			
MASTER PAVING PLAN			
 MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS			
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: JMM	Drawn: DBC	Checked: DMG	Sheet 5 of 11
Scale: 1" = 60'	Date: 11/98	Job: 97001	



LOS PRADOS DE GUADALUPE DRIVE
STA. 10+00.00 TO STA. 20+00.00
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

CURVE DATA DESCRIBES RIGHT-OF-WAY & EDGE OF PAVEMENT

NUMBER	DELTA	R'	L'	T'	NUMBER	DELTA	R'	L'	T'
C1	108°43'05"	105.00	199.24	146.44	C17	307°19'56"	197.00	104.29	53.40
C2	242°75'17"	81.05	348.01	176.70	C18	29°13'17"	173.00	88.23	45.10
C3	57°22'05"	130.00	130.16	71.13	C19	92°55'59"	197.00	100.47	35.15
C4	92°55'59"	105.00	170.31	110.52	C20	52°55'59"	197.00	189.77	123.15
C5	29°13'17"	185.00	94.35	48.23	C21	57°22'05"	93.00	150.84	97.89
C6	30°19'56"	185.00	97.94	50.15	C22	57°22'05"	118.00	118.15	64.56
C7	42°57'16"	185.00	138.69	72.79	C23	242°75'17"	142.00	142.18	77.69
C8	42°50'50"	165.00	121.95	63.91	C24	242°75'17"	803.00	348.99	174.10
C9	68°07'07"	25.00	29.72	16.90	C25	108°43'05"	827.00	353.14	179.30
C10	83°19'29"	25.00	36.36	22.24	C26	108°43'05"	117.00	222.01	163.18
C11	25°48'05"	192.00	86.46	43.98	C27	78°50'24"	93.00	176.47	129.71
C12	42°20'50"	153.00	113.08	59.26	C28	25°48'05"	25.00	34.40	20.55
C13	49°01'42"	173.00	148.04	78.89	C29	157°22'54"	37.00	167.15	45.01
C14	42°57'16"	179.00	147.69	77.51	C30	202°37'12"	2.00	5.49	10.00
C15	30°19'56"	173.00	91.59	46.89			15.00	53.05	N/A

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		A.C.S. MONUMENT "13-D14"			
		NO.	BY	DATE	ELEVATION = 4987.93		
						CONTRACTOR	hudson g.w.
						WORK STAKED BY	hudson g.w.
						INSPECTOR'S ACCEPTANCE BY	DATE 11/00
						FIELD VERIFICATION BY	DATE 11/00
						CHANGES CORRECTED BY	DATE 11/00
						MICRO-FILM INFORMATION	
						RECORDED BY	DATE
						NO.	

12.24.98

DESIGN	
DESIGNED BY JMM	DATE 11/98
DRAWN BY DBC	DATE 11/98
CHECKED BY DMG	DATE 11/98

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **LOS PRADOS DE GUADALUPE
PAVING IMPROVEMENTS**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.

ZONE MAP NO.	
--------------	--

SHEET OF

7001PA\7001-PP1\11-24-98

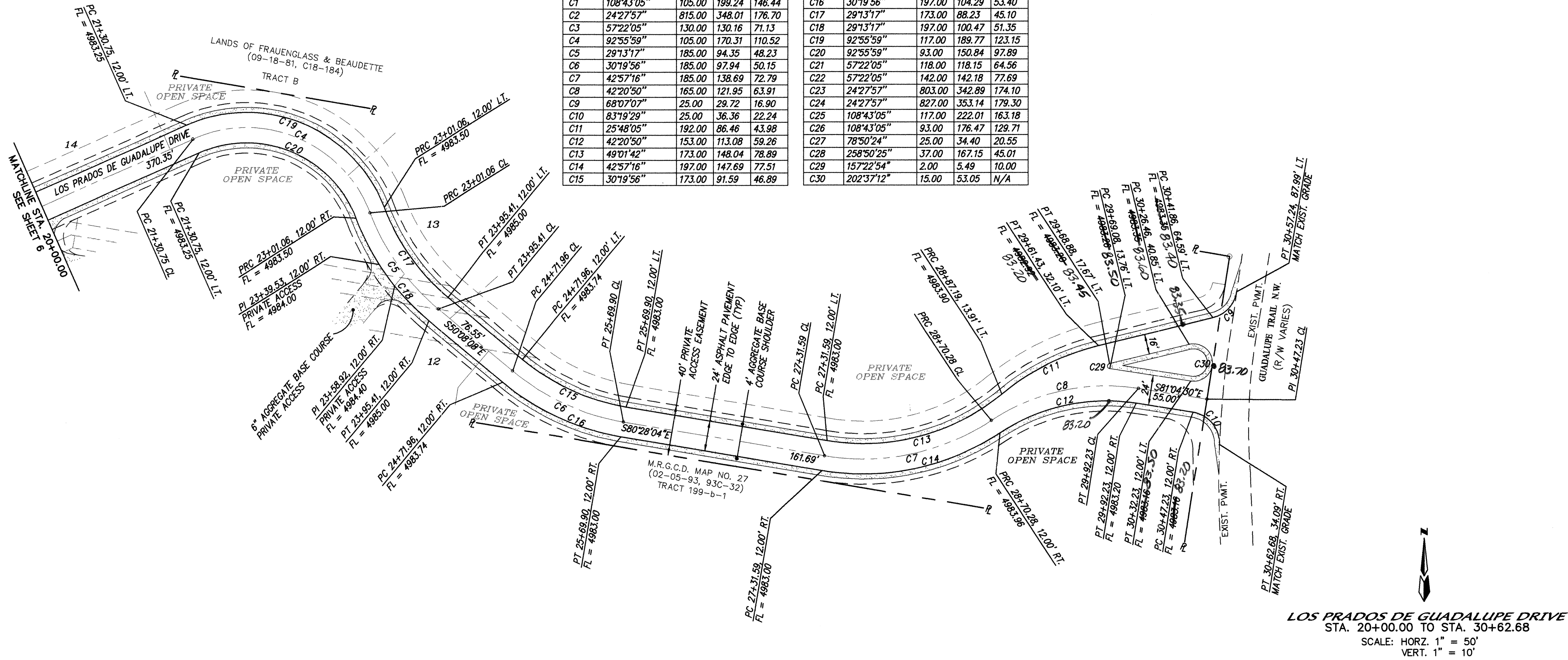
6041.81

D-14

6 11

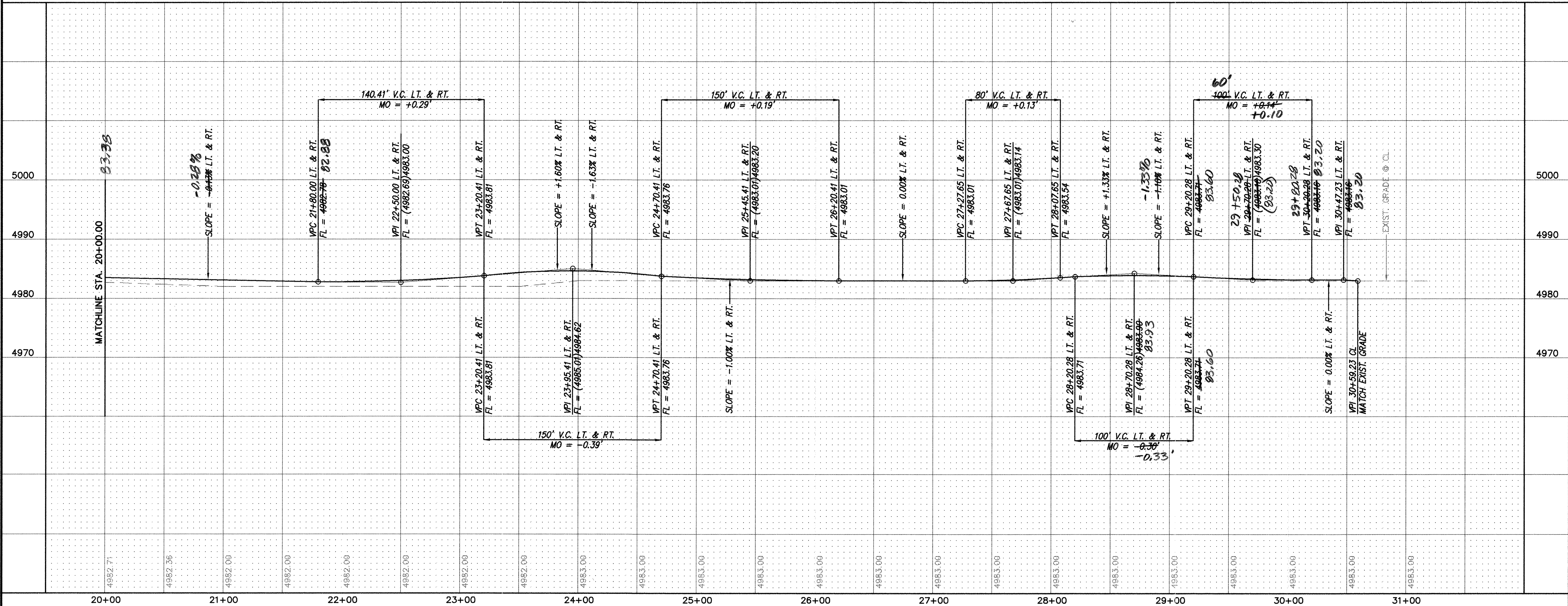
CURVE DATA DESCRIBES RIGHT-OF-WAY & EDGE OF PAVEMENT

NUMBER	DELTA	R'	L'	T'	NUMBER	DELTA	R'	L'	T'
C1	108°43'05"	105.00	198.24	146.44	C16	30°19'56"	197.00	104.29	53.40
C2	24°27'57"	815.00	348.01	176.70	C17	29°13'17"	173.00	88.23	45.10
C3	57°22'05"	130.00	130.16	71.13	C18	29°13'17"	197.00	100.47	51.35
C4	92°55'59"	105.00	170.31	110.52	C19	92°55'59"	117.00	189.77	123.15
C5	29°13'17"	185.00	94.35	48.23	C20	92°55'59"	93.00	150.84	97.89
C6	30°19'56"	185.00	97.94	50.15	C21	57°22'05"	118.00	118.15	64.56
C7	42°57'16"	185.00	138.69	72.79	C22	57°22'05"	142.00	142.18	77.69
C8	42°20'50"	165.00	121.95	63.91	C23	24°27'57"	803.00	342.89	174.10
C9	68°07'07"	25.00	29.72	16.90	C24	24°27'57"	827.00	353.14	179.30
C10	83°19'29"	25.00	36.36	22.24	C25	108°43'05"	117.00	222.01	163.18
C11	25°48'05"	192.00	86.46	43.98	C26	108°43'05"	93.00	176.47	129.71
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C13	49°01'42"	173.00	148.04	78.89	C28	258°50'25"	37.00	167.15	45.01
C14	42°57'16"	197.00	147.69	77.51	C29	157°22'54"	2.00	5.49	10.00
C15	30°19'56"	173.00	91.59	46.89	C30	202°37'12"	15.00	53.05	N/A



NOTES

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: LOS PRADOS DE GUADALUPE
PAVING IMPROVEMENTS

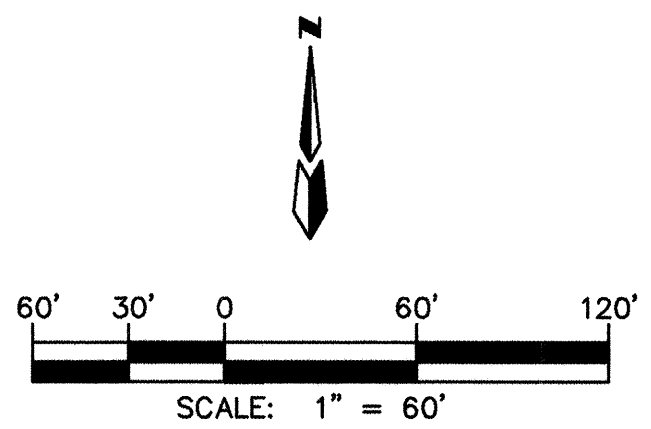
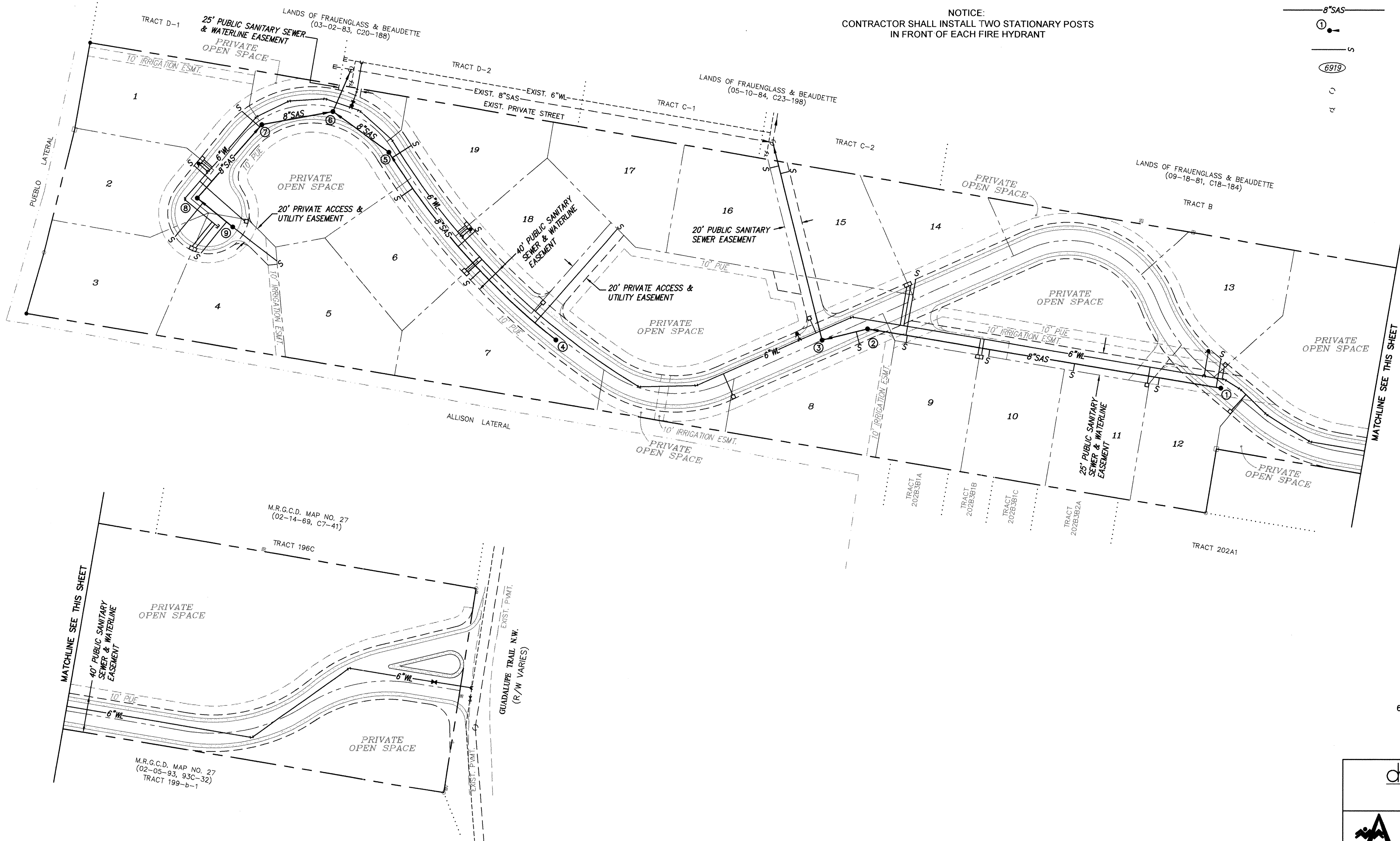
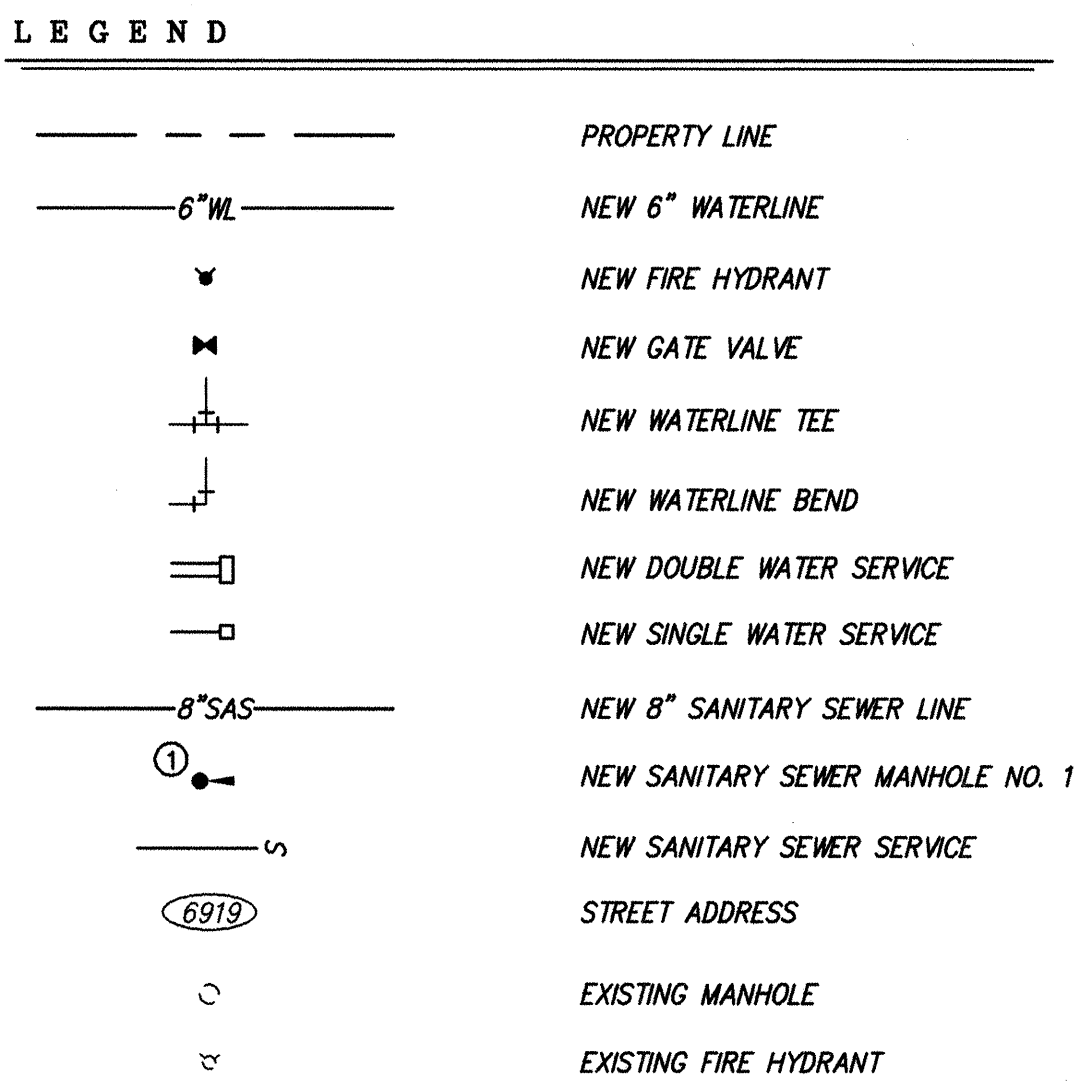
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 6041.81 ZONE MAP NO. D-14 SHEET 7 OF 11

LENGTH OF RESTRAINED PIPE (FEET)						
PIPE SIZE	90	45	22.5	11.25	TEE	VALVE
6"	18'	7'	4'	2'	*	55'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY. MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

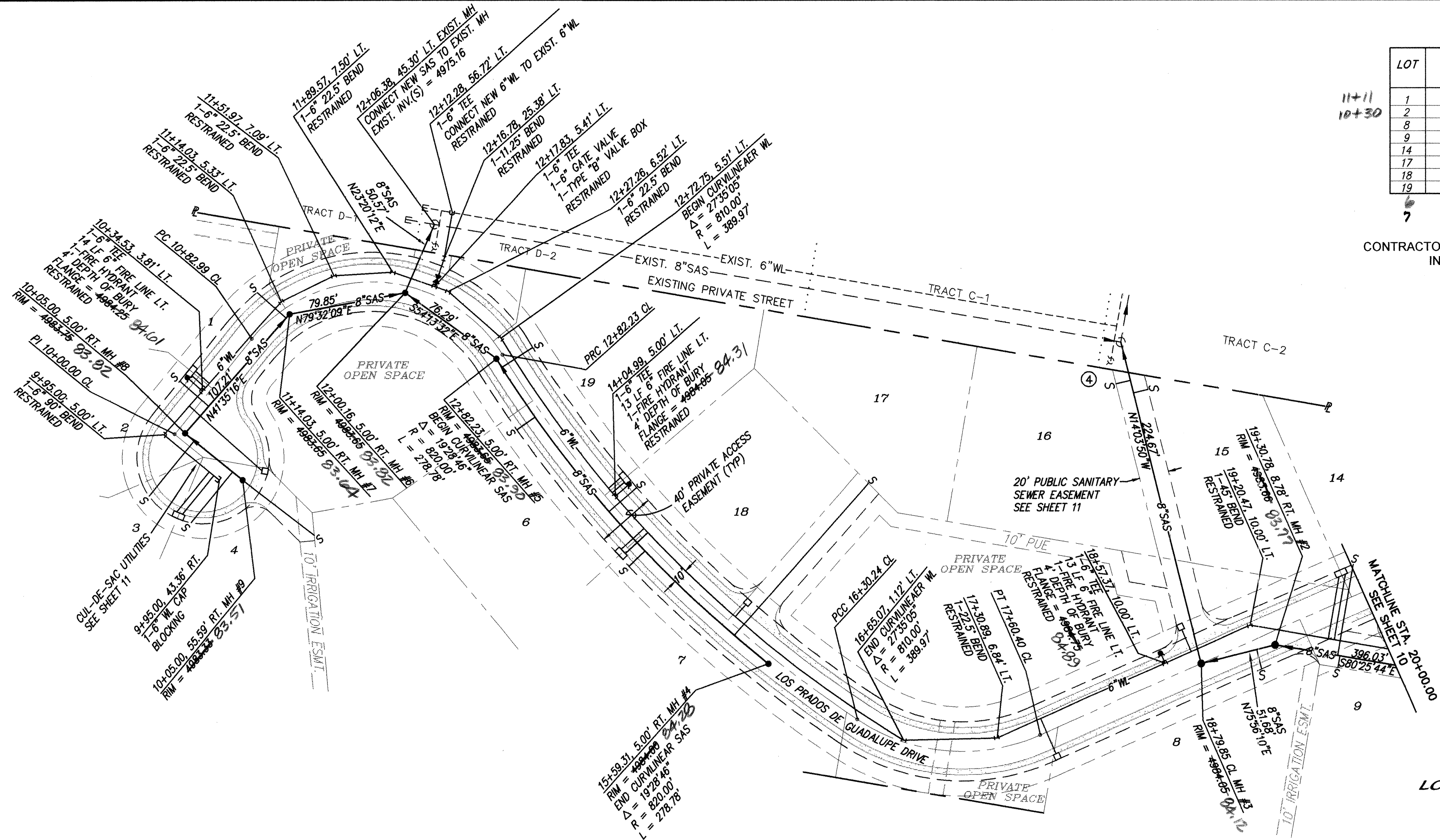
NOTICE:
CONTRACTOR SHALL INSTALL TWO STATIONARY POSTS
IN FRONT OF EACH FIRE HYDRANT



	MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS		DATE _____	
	P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539		NO. _____	DESIGNED BY _____ DRAWN BY _____ CHECKED BY _____
 CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP				
TITLE: <i>LOS PRADOS DE GUADALUPE MASTER UTILITY PLAN</i>				
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE _____ _____ _____ _____
CITY PROJECT NO. <i>6041.81</i>		ZONE MAP NO. <i>D-14</i>		SHEET <i>8</i> OF <i>11</i>

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	FIELD NOTES		A.C.S. MONUMENT "13-D14"	CONTRACTOR	WORKS INSPECTED BY
	BY	DATE			
			ELEVATION = 4881.93		DATE
				INSPECTOR'S ACCEPTANCE BY	DATE
				FIELD DRAWINGS	DATE
				CORRECTED BY	DATE
				MICRO-FILM INFORMATION	
				RECORDED BY	DATE
				NO.	

[illegible]



SANITARY SEWER SERVICES				
LOT	STA.	INV. ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
1	11+11	77.41	26'	N/A
2	10+30	77.81	26'	N/A
8	19+14	76.22	14'	N/A
9	19+64	76.38	8'	N/A
14	20+01	79.88	63'	N/A
17	15+29	80.86	138'	N/A
18	14+11	78.00	25'	N/A
19	12+89	77.40	25'	N/A
7	13+29	77.40	15'	
7	14+46	78.00	15'	

NOTICE:
CONTRACTOR SHALL INSTALL TWO STATIONARY POSTS
IN FRONT OF EACH FIRE HYDRANT

LOS PRADOS DE GUADALUPE DRIVE
STA. 9+95.00 TO STA. 20+00.00
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. SAS SERVICES MUST BE 4' DEEP AT CURB.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	A.C.S. MONUMENT	ELEVATION	FIELD NOTES	DATE	NO.	BY
STARK	DATE	13-D14	4981.93	NO.	DATE		
INSPECTOR'S	DATE						
FIELD	DATE						
VERIFICATION BY	DATE						
CORRECTED BY	DATE						
MICRO-FILM INFORMATION	DATE						
RECORDED BY	DATE						
NO.							

12-24-98

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	
DESIGNED BY	DATE	DATE	DATE
DRAWN BY	11/98	11/98	11/98
CHECKED BY	DMG	DMG	DMG

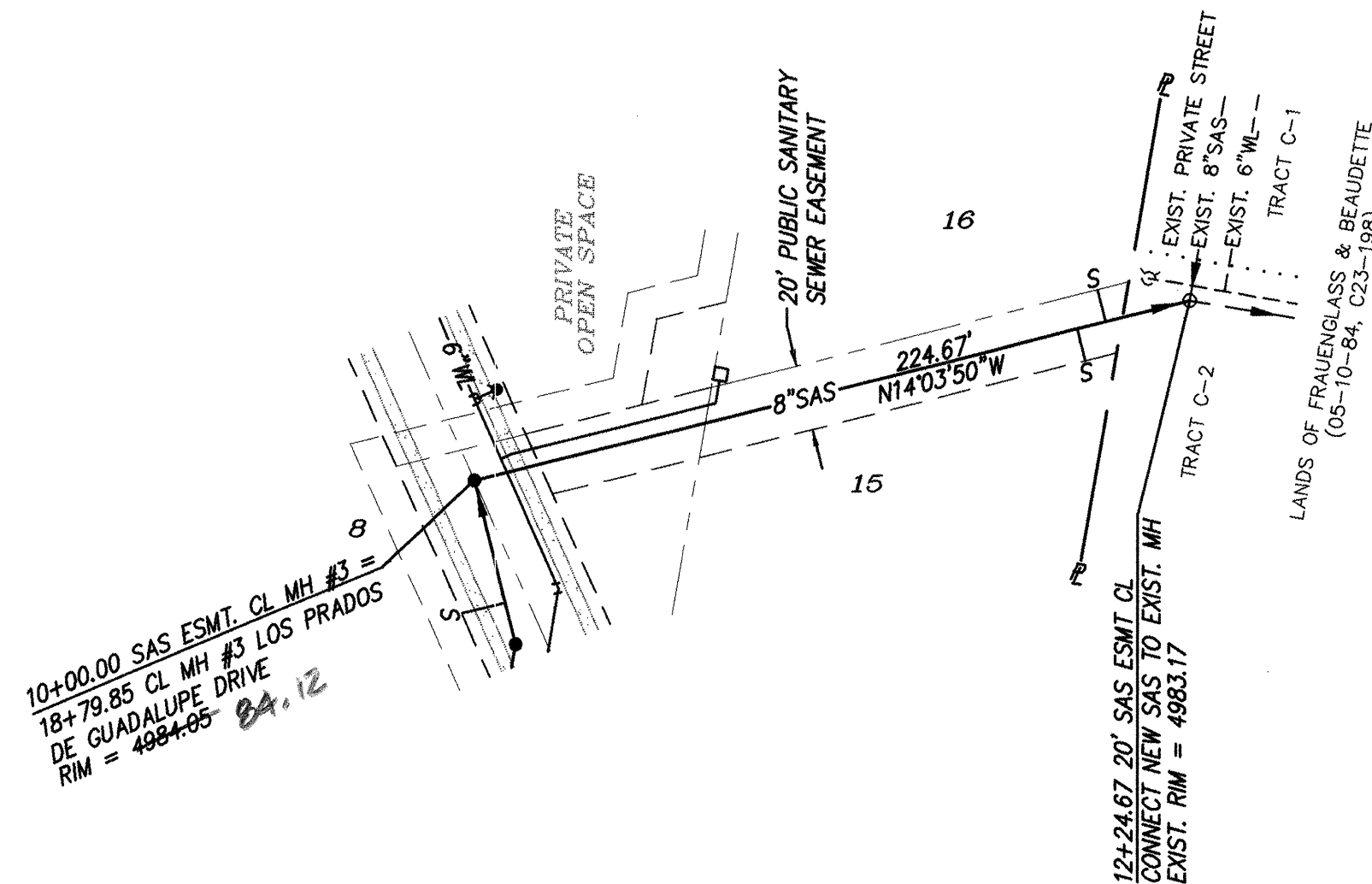
dmg MARK GOODWIN & ASSOCIATES, P.A.
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

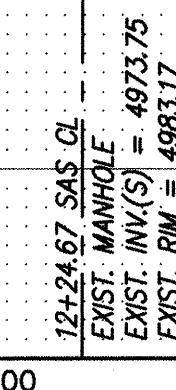
TITLE: LOS PRADOS DE GUADALUPE
UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

SANITARY SEWER SERVICES				
LOT	STA.	INV. ELEV. @ PL	LENGTH @ PL	INV. ELEV. @ M.H.
15	11+89	74.80	10'	N/A
16	11+98	74.80	10'	N/A



20' PUBLIC SAS EASEMENT
STA. 10+00.00 TO STA. 12+30.81
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



1. ALL STATIONING IS CENTERLINE STATIONING.
2. SAS SERVICES MUST BE 4' DEEP AT CURB.

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: ***LOS PRADOS DE GUADALUPE
UTILITY IMPROVEMENTS***

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

SHEET OF
11 11